

I certify this 24th day of October, 2011 that the title to the property shown on this Site Record Plan is designated as Lot 1 in the Pittsburgh Courtyard by Marriott Subdivision Plan and is in the name of Cranberry NP Hotel Company, a Pennsylvania limited liability company and was acquired by deed instrument recorded on September 30, 2011 as instrument number 201109300023628 in the Butler County Recorder of Deeds Office.

Cranberry NP Hotel Company
By: 228 Hotel Company
Its: Managing Member

Witness
Jeff Eagle, authorized representative

sworn to and subscribed before me this 20th day of October, 2011.

My Commission Expires: January 26, 2015
Notary Public
KIMBERLY MCGUCKEN
NOTARY PUBLIC
STATE OF OHIO
Comm. Expires
January 26, 2015
Recorded in
Butler County

I certify that, to the best of my knowledge, the survey and plan shown hereon are correct and accurate to the standards required.

Michael J. Cannoni
Reg. No. 36934-E

Date

The board of supervisors of the Township of Cranberry, hereby gives notice that in approving this plan for recording, the Township of Cranberry has not accepted designation of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

10-28-11
Date
Chairman, Board of supervisors

The Township of Cranberry agrees not to issue building permits until the "planning module for land development" has been approved in accordance with the regulations of the Pennsylvania Department of Environmental Protection.

10-28-11
Date
Chairman, Board of supervisors

Approved by the Board of supervisors of the Township of Cranberry by Resolution no. 2011-23 effective this 20th day of October, 2011.

Chairman, Board of supervisors

Approved by the Planning Commission of the Township of Cranberry this ____ day of _____, 2011.

Secretary

Chairman

I, _____, a registered professional engineer, the Township Engineer of the Township of Cranberry, do hereby certify that this development plan meets all the engineering and design requirements of the Township Subdivision and Zoning Ordinance except as departures have been authorized by the approval authority.

10/28/11
Date
Reg. No.
Signature

Reviewed by the Butler County Planning Commission on this 13th day of SEPT. 2011

Chairman, Butler County Planning Commission

Recorded in the office of the Recorder of Deeds of the County of Butler, Commonwealth of Pennsylvania, in Plan Book Volume 327, Page(s) 1

Given under my hand and seal this 10th day of NOV. 2011

Secretary
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in Jan 2012

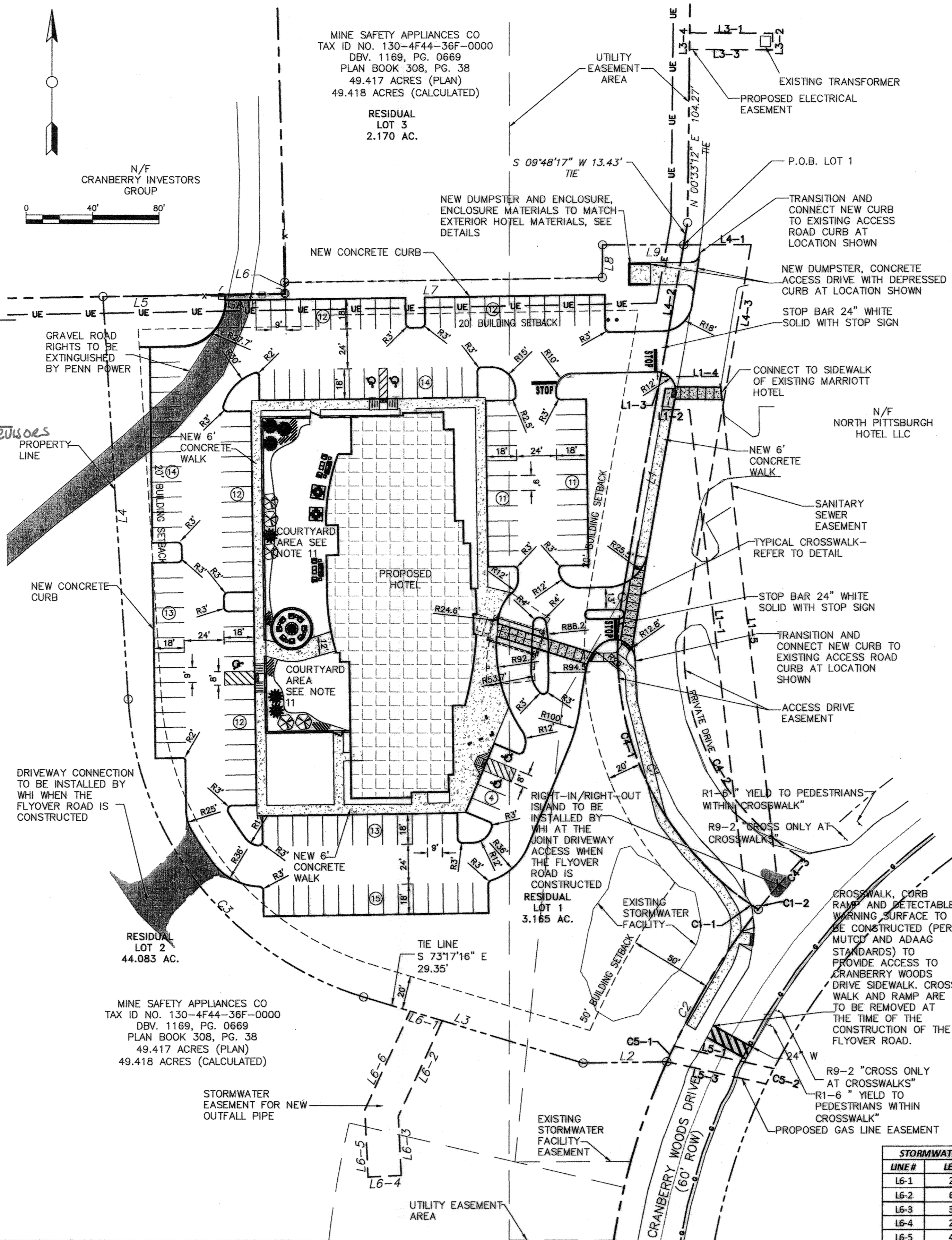
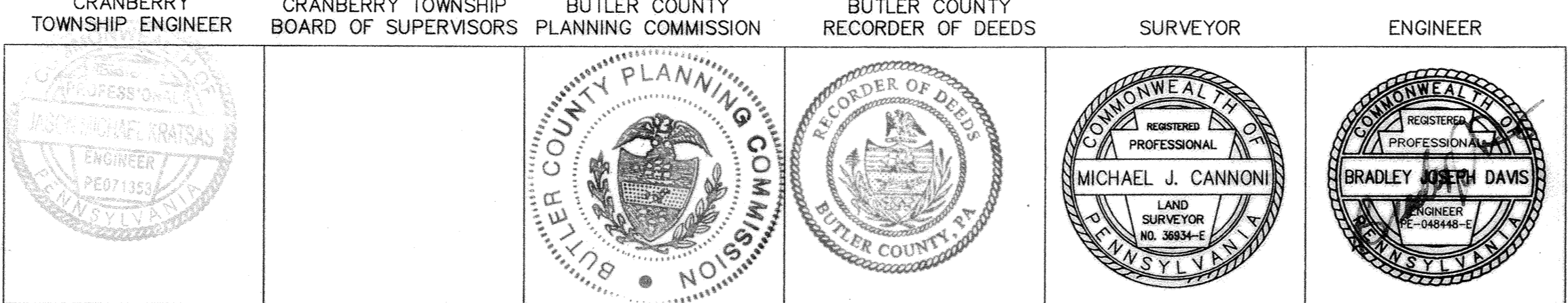
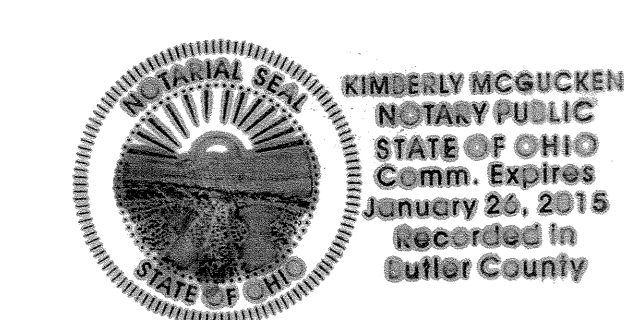
I certify this 24th day of October, 2011 that the title to the property subject to the access easement in favor of Cranberry NP Hotel Company as shown on this Site Record Plan is in the name of North Pittsburgh Hotel LLC, a Pennsylvania limited liability company and that such property is a part of the 100 Cranberry Woods Drive Plan of Lots, was acquired by deed instrument dated May 8, 2002 and recorded on May 10, 2002 as instrument number 200205100016375 in the Butler County Recorder of Deeds Office.

Cranberry NP Hotel Company
By: Three Rivers Hotel Company
Its: Managing Member

Witness
Jeff Eagle, authorized representative

sworn to and subscribed before me this 20th day of October, 2011.

My Commission Expires: January 26, 2015
Notary Public
KIMBERLY MCGUCKEN
NOTARY PUBLIC
STATE OF OHIO
Comm. Expires
January 26, 2015
Recorded in
Butler County



SANITARY SEWER EASEMENT LINE AND CURVE TABLE								
LINE #	LENGTH	DIRECTION	CURVE #	RADIUS	LENGTH	DELTA	CH DIST	CHORD DIRECTION
L1-1	297.43'	N 06° 40' 48" W	C1-1	186.55'	8.85'	02° 43' 05"	8.85	N 55° 37' 53" W
L1-2	20.90'	N 09° 00' 00" W						
L1-3	20.30'	N 09° 48' 17" E						
L1-4	35.24'	S 90° 00' 00" E						
L1-5	308.19'	S 06° 40' 48" E						
			C1-2	430.00'	18.51'	02° 27' 59"	18.51	S 39° 22' 00" W

GAS EASEMENT LINE AND CURVE TABLE								
LINE #	LENGTH	DIRECTION	CURVE #	RADIUS	LENGTH	DELTA	CH DIST	CHORD DIRECTION
L5-1	61.69'	S 77° 10' 25" E	C5-1	430.00'	10.22'	01° 21' 42"	10.22'	N 24° 36' 11" E
			C5-2	370.00'	10.29'	01° 35' 36"	10.29'	S 26° 32' 52" W
L5-2	61.34'	N 77° 10' 25" W						

STORMWATER EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L6-1	20.19'	S 73° 17' 16" E
L6-2	63.17'	S 24° 29' 11" W
L6-3	35.84'	S 02° 50' 24" E
L6-4	20.00'	S 87° 09' 36" W
L6-5	40.70'	N 02° 50' 24" W
L6-6	65.31'	N 24° 29' 11" E

ELECTRICAL EASEMENT LINE TABLE		
LINE #	LENGTH	DIRECTION
L3-4	10.00'	N 00° 33' 12" E
L3-1	50.00'	S 89° 26' 48" E
L3-2	10.00'	S 00° 33' 12" W
L3-3	50.00'	N 89° 26' 48" W

GENERAL NOTES:

1. THE CONTRACTOR SHALL OBTAIN AND CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL STANDARDS, SPECIFICATIONS AND REQUIREMENTS, INCLUDING THE LATEST REVISION OF THE TOWNSHIP'S CODE AND MUNICIPAL AUTHORITY STANDARDS AND REGULATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS AND PAYING ALL ASSOCIATED FEES NECESSARY FOR CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
3. EROSION AND SEDIMENTATION CONTROLS SHALL BE PROVIDED IN ACCORDANCE WITH THE APPROVED EROSION & SEDIMENTATION CONTROL PLAN PRIOR TO ANY CLEARING, GRUBBING, AND CONSTRUCTION.
4. THE CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES BY TEST PITS PRIOR TO CONSTRUCTION IN THE VICINITY OF THE EXISTING UTILITIES.
5. PIPE LENGTHS SHOWN ON THE PLANS ARE MEASURED IN A HORIZONTAL PLANE FROM THE CENTER OF STRUCTURE TO CENTER OF STRUCTURE. CONTRACTOR TO ADJUST PIPE LENGTHS TO ACCOUNT FOR SLOPE.
6. THE PURPOSE OF THESE STANDARDS IS TO DEFINE THE MINIMUM ACCEPTABLE QUALITY OF MATERIALS AND WORKMANSHIP. IT IS NOT INTENDED TO PRECLUDE OTHER MATERIALS OR DESIGNS. OTHER DESIGN DETAILS MAY BE USED, HOWEVER, PROVIDED THEY RECEIVE PRIOR WRITTEN APPROVAL OF THE TOWNSHIP AFTER RECOMMENDATION OF THE ENGINEER.
7. CONDITIONS AT THE SITE CANNOT ALWAYS BE ANTICIPATED. THIS MAY NECESSITATE DEVIATIONS FROM TOWNSHIP STANDARD DETAILS; THEREFORE, CRANBERRY TOWNSHIP HEREIN RESERVES THE RIGHT TO DIRECT CHANGES IN THE FIELD AS NEEDED AT ITS DISCRETION.
8. MATERIALS AND CONSTRUCTION REQUIREMENTS SHALL CONFORM TO THE DETAILS PROVIDED HEREIN.
9. EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE PROVIDED ON ALL SITES WHERE THE GROUND SURFACE IS DISTURBED. THESE FACILITIES SHALL BE DESIGNED IN ACCORDANCE WITH CURRENT MANUALS PUBLISHED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE BUTLER COUNTY CONSERVATION DISTRICT.
10. ALL DISTURBED AREAS SHALL BE PROMPTLY SEEDED, MULCHED AND FERTILIZED. THE FOLLOWING MINIMUM SEEDING FORMULAS SHALL BE USED IN ACCORDANCE WITH PENNDOT 40B:
 - FORMULA B LAWN AREAS
 - FORMULA W SLOPE AREAS 3:1 AND STEEPER
 - FORMULA E TEMPORARY SEEDING
11. FENCED IN AREA IS TO BE THE COURTYARD FOR THE MARRIOTT. THIS IS TO BE A RECREATIONAL/SITTING AREA FOR GUESTS OF THE HOTEL.
12. A 10 FOOT WIDE PLANTING BUFFER HAS BEEN PROVIDED IN THE NORTHWEST CORNER OF THE SITE (22-612, 2.A). DEVELOPER WAS GRANTED A WAIVER FOR THIS REQUIREMENT.

As per the approved stormwater management plan, the Township shall have right of access to the on site detention facility for the right of maintenance, monitoring and/or sampling, in the event the owner, assigns or heirs do not adequately maintain or monitor the facility. The owner, assigns or heirs shall reimburse the Township for all costs associated with said maintenance. The aforementioned rights granted the Township, in no way diminish the responsibility of the owner, assigns or heirs of said maintenance and monitoring and no liability will be assumed by the Township associated with required access for maintenance and monitoring purposes.

ZONING INFORMATION

ZONED SP-1 (SPECIAL GROWTH DISTRICT)

TOWNSHIP REQUIRED SETBACKS:
FRONT - REQUIRED 50'
SIDE - REQUIRED 20'
REAR - REQUIRED 20'

MINIMUM NET LOT AREA REQUIRED: 1 ACRE
TOTAL LOT PROVIDED - 137,869.43 S.F. (3.165 ACRES)

REQUIRED SITE LANDSCAPING BUFFER: 10'

MINIMUM LOT WIDTH: 80 FEET

BUILDING AREA:
1ST FLOOR = 16,034 S.F.
FLOORS 2 THRU 5 = 14,273 S.F. (EACH)
TOTAL AREA = 73,126 S.F.

MAXIMUM PERMISSIBLE BUILDING HEIGHT: 50 FEET UNLESS EVERY REQUIRED YARD IS INCREASED BY 1 FOOT FOR EACH ADDITIONAL 2 FEET OVER 50 FEET.

BUILDING HEIGHT: 50'

NO-PAVE ZONE (CRANBERRY WOODS DRIVE): 40'

MAXIMUM IMPERVIOUS SURFACE PERCENTAGE ALLOWED ON SITE: 70%

PROVIDED IMPERVIOUS SURFACE PERCENTAGE: 53%

REQUIRED INTERIOR SITE OPEN SPACE: 10%

PROVIDED INTERIOR SITE OPEN SPACE: 38%

EARTHWORK:
CUT(CY): 3,531
FILL(CY): 9,266
NET: 5,735 IMPORTED

PARKING REQUIRED: 142 SPACES, 5 HANDICAPPED ACCESSIBLE

PARKING PROVIDED: 142 SPACES, 5 HANDICAPPED ACCESSIBLE

ACCESS EASEMENT LINE AND CURVE TABLE								
LINE #	LENGTH	DIRECTION	CURVE #	RADIUS	LENGTH	DELTA	CH DIST	CHORD DIRECTION
L4-2	214.48'	N 09° 48' 17" E	C4-1	186.55'	217.48'	66° 47' 44"	205.37	N 23° 35' 35" W
L4-1	40.58'	S 89° 55' 28" E						
L4-3	221.34'	S 09° 48' 17" W						
			C4-2	146.55'	176.36'	68° 57' 02"	165.91	S 24° 40' 13" W
			C4-3	430.00'	40.50'	05° 23' 47"	40.48	S 40° 49' 53" W

PROPERTY LINE AND CURVE TABLE								
LINE #	LENGTH	DIRECTION	CURVE #	RADIUS	LENGTH	DELTA	CH DIST	CHORD DIRECTION
L1	214.48'	S 09° 48' 17" W						
			C1	186.55'	217.48'	66° 47' 44"	205.37'	S 23° 35' 35" E
			C2	430.00'	106.65'	14° 12' 41"	106.38'	S 31° 01' 40" W
L2	50.37'	S 89° 06' 28" W						
L3	138.11'	N 73° 17' 16" W						
			C3	200.00'	242.80'	69° 33' 25"	228.16'	N 38° 30' 33" W
L4	242.51'	N 03° 43' 51" W						
L5	109.63'	N 88° 54' 52" E						
L6	6.68'	N 01° 37' 16" W						
L7	191.35'	N 89° 06' 28" E						
L8	19.59'	N 00° 04' 32" E						
L9	48.86'	S 89° 55' 28" E						

ISSUE DATES:

03/08/11 LAND DEVELOPMENT SUBMISSION
06/03/11 LAND DEVELOPMENT SUBMISSION
06/20/11 RE-ISSUED SUBMISSION
RE-ISSUED SUBMISSION

REVISION DATES:

04/07/11 LAND DEVELOPMENT RESUBMISSION
04/28/11 FINAL RESUBMISSION
08/10/11 FINAL RESUBMISSION
10/13/11 OWNER REVISIONS

PITTSBURGH
COURTYARD BY
MARRIOTT

Winegardner & Hammons, Inc.
HOTELS AND RESORTS

L.R. Kimball
ARCHITECTURE-ENGINEERING-COMMUNICATIONS TECHNOLOGY
A CDI Company
415 Moon Clinton Road
Coraopolis, Pa. 15108
phone (412) 262-5400
fax (412) 262-3036
email plgrn@kimballcorp.com
web site www.kimballcorp.com

Instr: 201110002362 11/10/2011
Page: 1 F: 545.30 1: 11290
Michele Mustello
Butler County Recorder PL

PROJECT NUMBER:
10-1300-0586

HOTEL:
PITTSBURGH CBM
CRANBERRY WOODS DRIVE
CRANBERRY TWP, PA

Winegardner & Hammons, Inc.
4243 HUNT ROAD
CINCINNATI, OH 45242
513-891-1066

TITLE:
SITE RECORD PLAN

RECORDED Nov. 10, 2011
PLAN BOOK PAGE
327 1

SHEET:

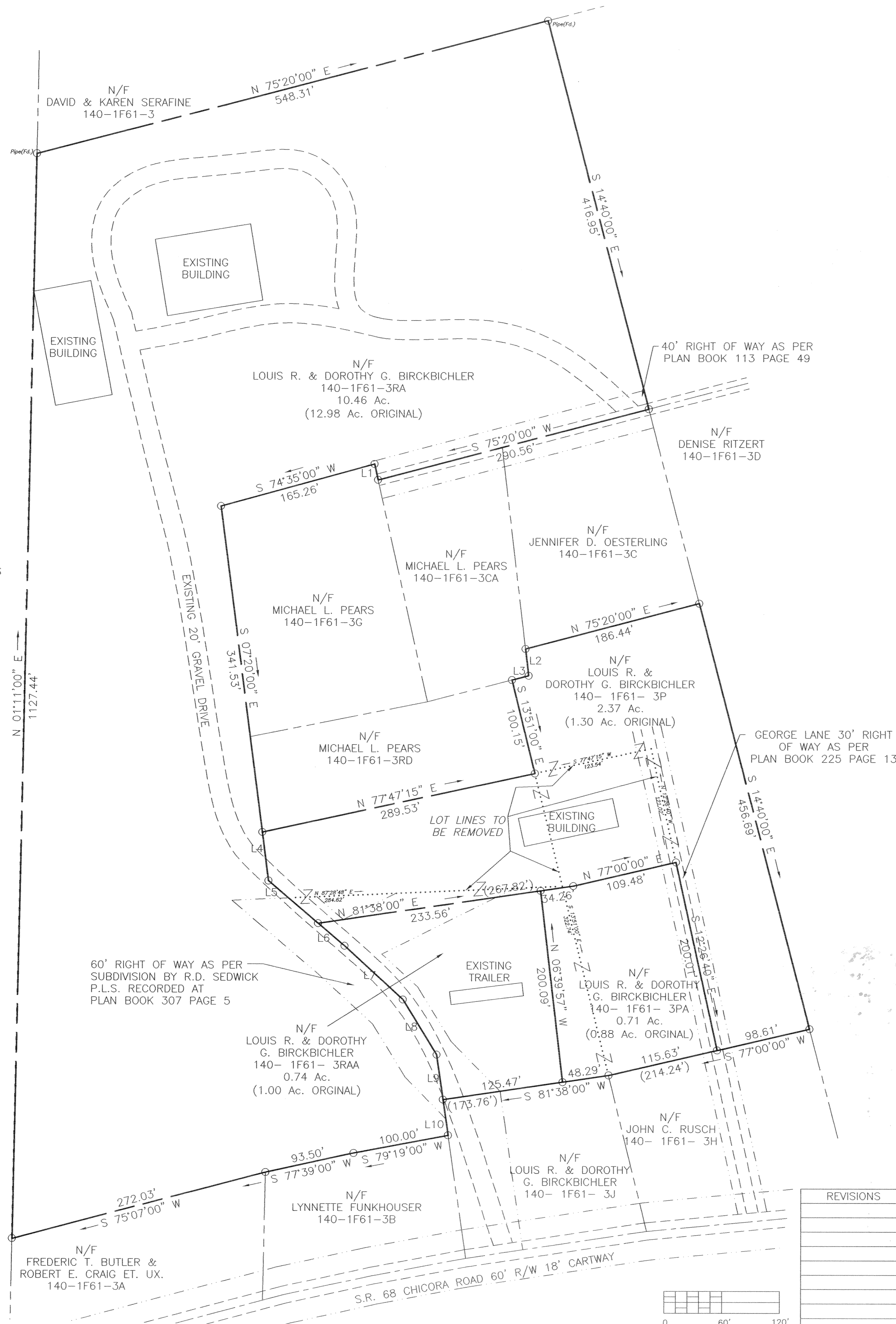
C1.10

LEGEND:

N/F
JEFFREY L. &
TYRA R. FRANCIS
140-1F61-4

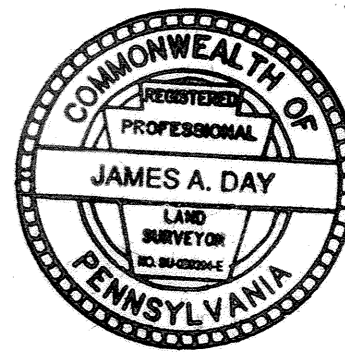
PLAN BOOK 113 PAGE 49
PLAN BOOK 225 PAGE 13

60' BUILDING LINE
10' SIDE YARD
10' REAR YARD

[illegible] $1'' = 2000'$ 

Instr: 201111140027972 11/14/2011
Page: 4 of 45 9:24

SEAL



James A. Day
10-31-2011

DATE _____

ENGINEER / SURVEYOR

KNOW ALL MEN BY THESE PRESENTS THAT LOUIS R. & DOROTHY G. BRICKBICHLER OF THE TOWNSHIP OF DONEGAL, COUNTY OF BUTLER, AND STATE OF PENNSYLVANIA FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTY, SITUATE IN THE TOWNSHIP OF DONEGAL COUNTY OF BUTLER AND STATE OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCURING TO US DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL DRIVES, ROADS, STREETS, LANES, AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND WE HEREBY RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF DONEGAL, THEIR SUCCESSORS, AND AS- SIGN FROM ANY LIABILITY FOR DAMAGE CAUSED BY ANY GRADING THEREOF TO ANY GRADES HERE- AFTER AT ANY TIME THEREOF ACCORDING TO SUCH ESTABLISHED GRADES. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNER(S) OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, HEREUNTO SET HAND(S) AND SEAL(S) THIS 1ST DAY OF Nov. 2011

Louis R. Barabaker
OWNER

Dorothy L. Bickbuckler
OWNER

COMMONWEALTH OF PENNSYLVANIA: :SS.
COUNTY OF BUTLER :

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY PERSONALLY CAME
LOUIS R. & DOROTHY G. BIRCKBICHLER AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN
TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH
WITNESS MY HAND AND NOTARIAL SEAL
THIS 1st DAY OF November, 2011

COMMONWEALTH OF PENNSYLVANIA
Notary Seal
Korin E. Allen, Notary Public
Conestoga Twp., Butler County

COMMONWEALTH OF PENNSYLVANIA
Notarial Seal
Karen E. Allen, Notary Public
Donegal Twp., Butler County
My Commission Expires Feb. 25, 2014
Member, Pennsylvania Association of Notaries

NOTARY PUBLIC

REVIEWED BY THE COUNTY PLANNING COMMISSION OF THE COUNTY OF BUTLER THIS
DAY OF OCT, 2011

John R. M.
SECRETARY


F. W. Graham
CHAIRMAN


APPROVED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF DONEGAL THIS DAY OF ,2011

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF DONEGAL THIS DAY OF 8TH NOV. 2011

Jessie Stewart SECRETARY *R. P. K. S.* CHAIRMAN

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF DONEGAL HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS PUBLIC ADOPTED STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN DONEGAL TOWNSHIP STREETS OR ROADS.


SECRETARY


CHAIRMAN

NOTE: THE MUNICIPALITY CAN ISSUE FINAL APPROVAL OF THE SUBDIVISION PLAN OR BUILDING PERMIT IF THE PLAN OR PERMIT CONTAINS THE WORDING THAT "A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE STATE HIGHWAY LAW (PL 1242, No 428)".

COMMONWEALTH OF PENNSYLVANIA
BUTLER COUNTY

RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEED PLANS, ETC IN SAID COUNTY
IN PLAN BOOK VOLUME 327 PAGE 2
GIVEN UNDER MY HAND AND SEAL THIS 11th DAY OF Nov., 2011

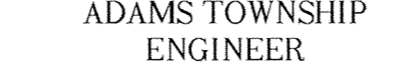
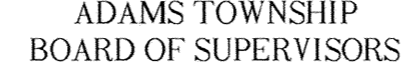
Michele M Mustello
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires 11/11/2014

RECORDED Nov 14 201

PLAN BOOK	PAGE
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327	2
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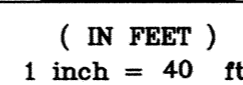
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Michele Mustello T20110039238
Butler County Recorder NO

BUTLER COUNTY RECORDER OF DEEDS
My Commission Expires First Monday in Jan 2012

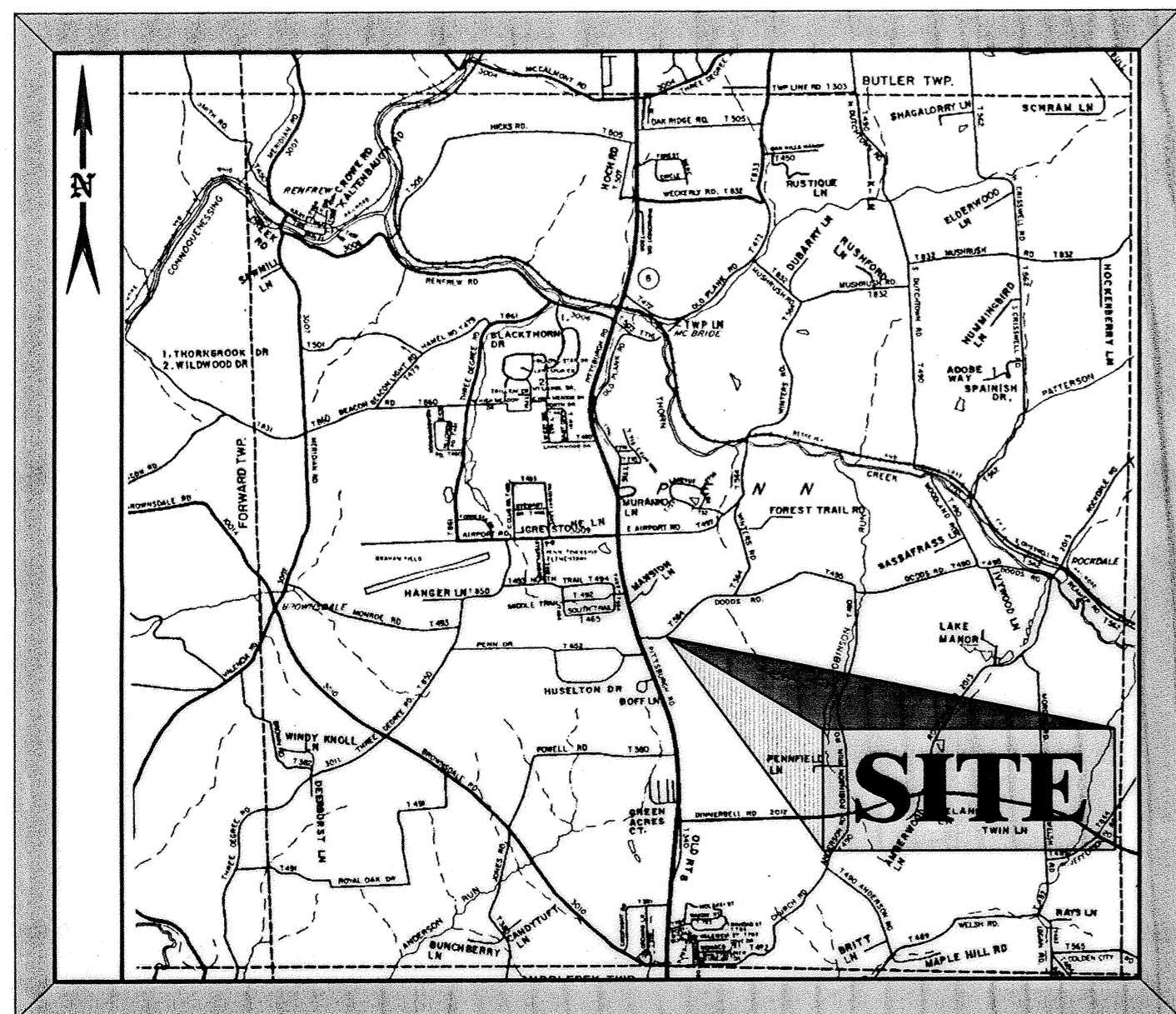
BEING A CONSOLIDATION OF LOT 1 AND LOT 2 IN THE
HENRY & MARGARET KREMIN PLAN OF LOTS
AS RECORDED IN PLAN BOOK 113, PAGE 7
ADAMS TOWNSHIP, BUTLER COUNTY, PA.

PREPARED FOR: ROBERT KENNEDY 115 HUCH ROAD MARS, PA 16046	 <p>James A. Spurdue, R.S. FLS Engineer Harrisburg, PA 17003 Phone 724-452-4362 Fax 724-452-9357 psurvey@comcast.net</p>	REVISIONS 09/29/2011 - PER TOWNSHIP ENGINEER REVIEW LETTER 11/04/2011 - ADD RECORDING INFORMATION TO KENNEDY	SHEET No. _____
SCALE: 1" = 40' SEPTEMBER 1, 2011 DWG # 1001-111056			

MINIMUM LOT AREA:	43,560 SQ.FT. (1.0 ACRE)
MINIMUM LOT WIDTH AT BUILDING LINE:	150.00 FEET
MINIMUM FRONT SETBACK:	50.00 FEET
MINIMUM SIDE SETBACK:	20.00 FEET PRIMARY / 10.00 FEET ACCESSORY
MINIMUM REAR SETBACK:	25.00 FEET PRIMARY / 10.00 FEET ACCESSORY



RECORDED Nov. 16, 2011	
PLAN BOOK	PAGE
327	3



NOT TO SCALE

Karen Thompson

(SEAL) ATTEST

Robert S. Noah

CHAIRPERSON

BEFORE YOU DIG ANYWHERE IN
PENNSYLVANIA CALL 1-800-242-1776

[illegible]

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REV.	REVISION DESCRIPTION	REV BY	CHK BY	DATE
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ENGINEERS • COMMUNITY PLANNERS • SURVEYORS • LANDSCAPE ARCHITECTS • GRANTS WRITERS/ADMINISTRATORS

126 S. MAIN STREET BUTLER PENNSYLVANIA 16001 (724) 282-4786 FAX (724) 282-7619 www.OlsenAndAssoc.com

HOWARD E. & AMY L. NEFF

LOT LINE REVISION PLAN SHEET NO. _____

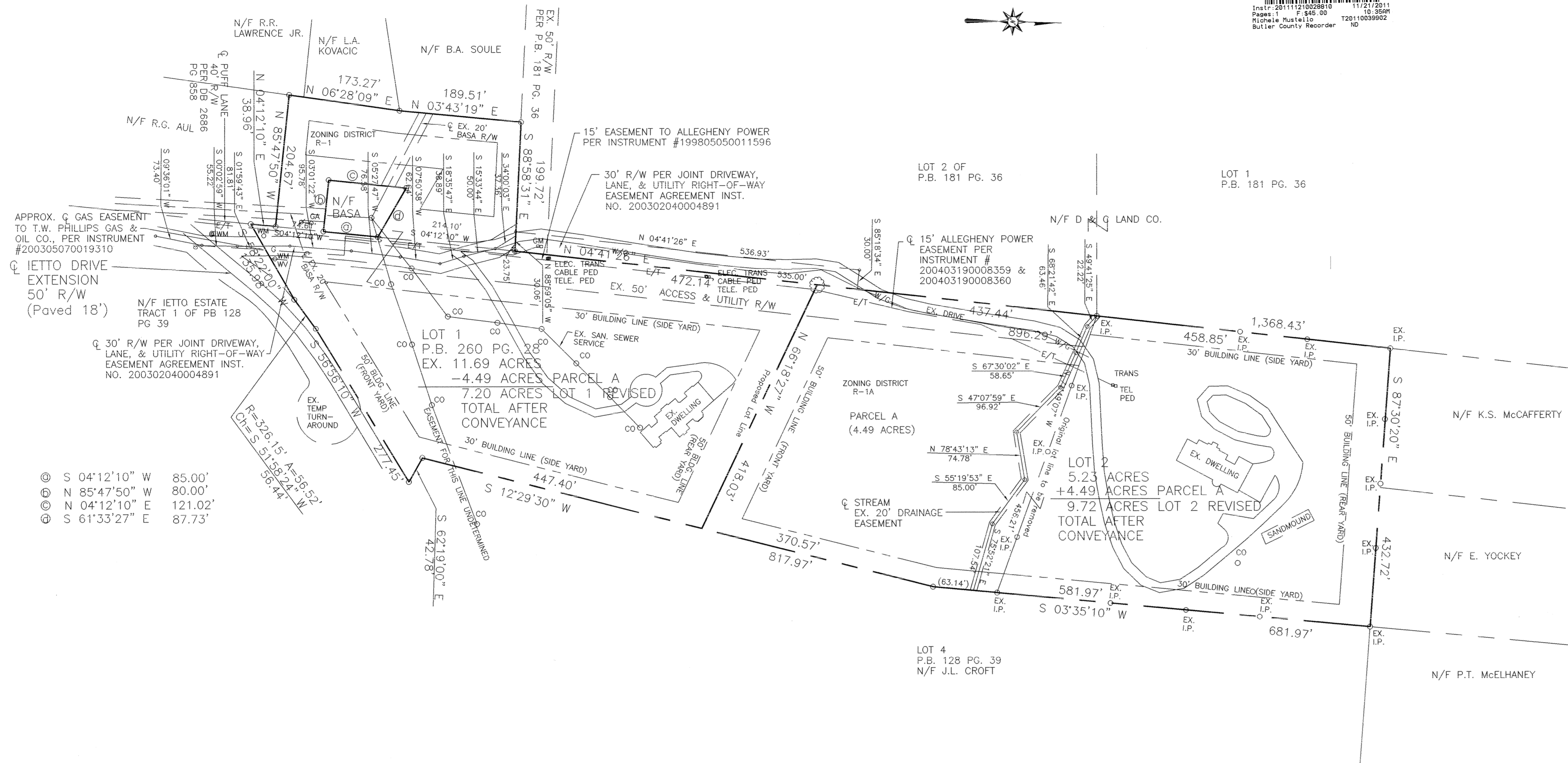
EXISTING SITE PLAN	C050
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PENN TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

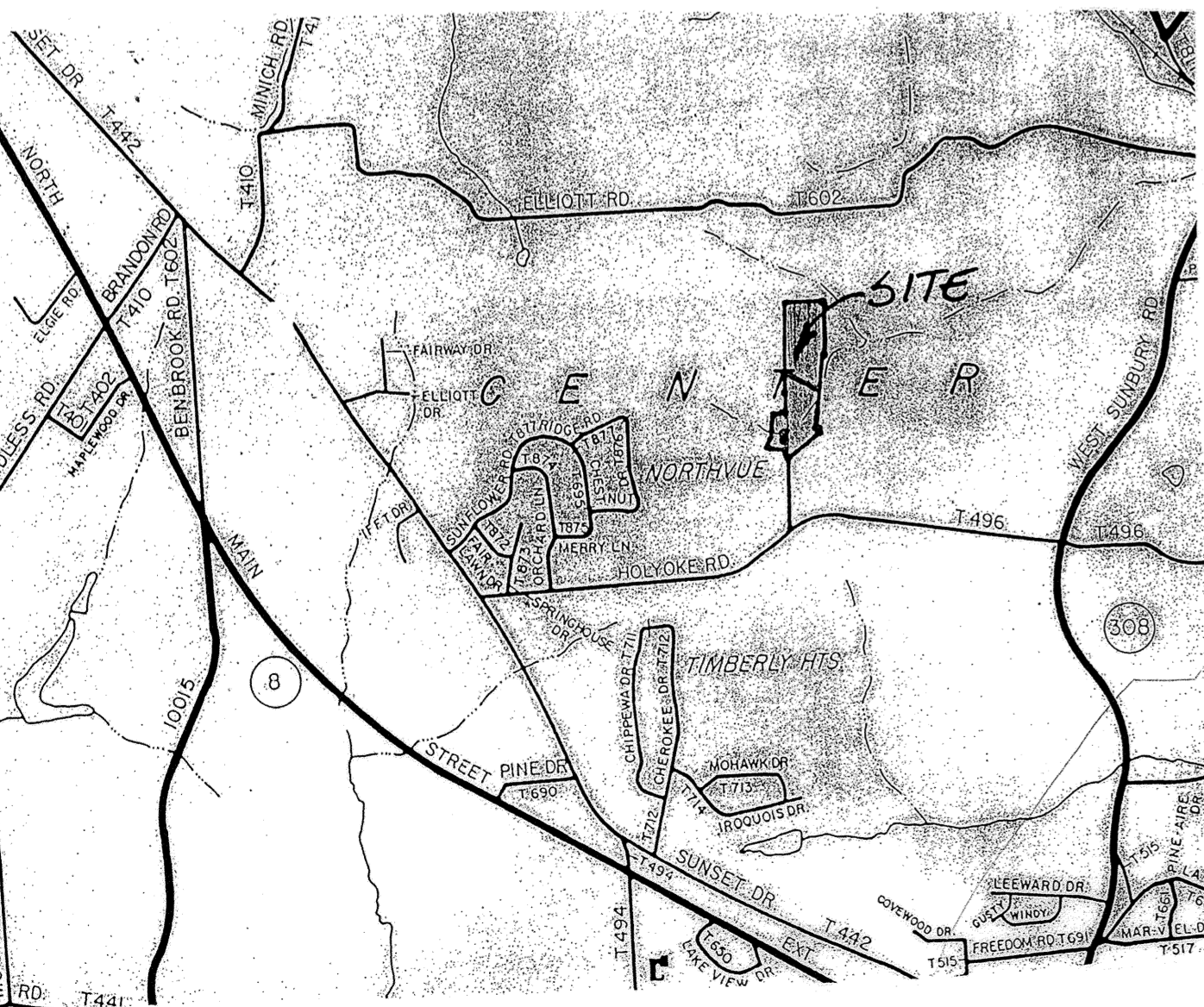
SCALE		CHKD. BY: RO	DRAWN BY: DIA	PROJECT NO. 2
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SOIL	0	100'	200'	DEPTH: 0' - 12'	DEPTH: 12' - 20'	DEPTH: 20' - 30'
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RONALD OLSEN, P.L.
SU-963-A
10-3-11
DATE



- © S 04°12'10" W 85.00'
- © N 85°47'50" W 80.00'
- © N 04°12'10" E 121.02'
- © S 61°33'27" E 87.73'



VICINITY MAP Scale: 1" = 2000'

NOTES:

SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.

REF: PLAN OF SUBDIVISION FOR JOSEPH WILLIAM PULLEKINES AND LINDA MARIE PULLEKINES BY LAND SURVEYORS, INC., 01/15/03, 02-227, P.B. 260 PG. 28

REF: SUBDIVISION NO. 2 FOR MARY JANE IETTO, P.B. 128 PG. 39.

REF: LOT LINE REVISION FOR JOSEPH W. PULLEKINES P.B. 234 PG. 28 - IETTO ESTATES SUB. NO. 7.

ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN.

ZONING: R-1A LOW DENSITY RESIDENTIAL DISTRICT

BUILDING REQUIREMENTS:

- 50' FRONT YARD SETBACK
- 50' REAR YARD SETBACK
- 30' SIDE YARD SETBACK
- MIN. LOT FRONTAGE: 125'
- MIN. LOT AREA (W/PUBLIC SAN. SEWER): 3/4 ACRE

R-1 SINGLE FAMILY RESIDENTIAL DISTRICT

BUILDING REQUIREMENTS:

- 35' FRONT YARD SETBACK
- 35' REAR YARD SETBACK
- 15' SIDE YARD SETBACK

THE PURPOSE OF THIS PLAN IS A LOT LINE REVISION ONLY, TO CONVEY PARCEL A TO ADJOINING LOT 1. NO NEW BUILDING LOTS ARE CREATED BY THIS PLAN.

IRON PINS TO BE SET AT NEW LOT CORNERS.

PROPERTIES ARE SERVED BY PUBLIC WATER, LINE LOCATION UNKNOWN.

PROPERTY OWNERS: RONALD E. & SHERRY A. DOUTHETT
104 HERITAGE LANE
BUTLER, PA 16001



KNOW ALL MEN BY THESE PRESENTS, that we, Ronald E. and Sherry A. Douthett, of the Township of Center, County of Butler, Commonwealth of Pennsylvania, for ourselves, heirs, executors, administrators and assigns, do hereby adopt this plan as our Plan of Subdivision of our property, situate in the Township of Center, Butler County, Pennsylvania, and for diverse advantages accruing to us, do hereby dedicate forever, for public use for highway, drainage, sewage and utility purposes, all drives, roads, lands, rights-of-way, easements, ways and other public ways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings and in consideration of the approval of said and any future acceptance of said public highways, rights-of-way and easements by said County of Butler or said Township of Center we, Ronald E. and Sherry A. Douthett, hereby agree to and by these presents do release and forever discharge said County of Butler, or said Township of Center, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways, and other public uses and physical grading thereof to any grades that may be established. This dedication and release shall be binding upon Ronald E. and Sherry A. Douthett, and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we, hereunto set our hands and seals this 17th day of

November A.D. 2011

ATTEST:

Notary Public

Notary Public

The foregoing adoption and dedication is made by Ronald E. and Sherry A. Douthett, with the full understanding and agreement that the approval of the Board of Supervisors of the Township of Center, if hereto attached, will become null and void unless this plan is recorded in the Recorder of Deeds Office of Butler County Courthouse, Butler, Pennsylvania within ninety (90) days of said approval.

COMMONWEALTH OF PENNSYLVANIA
Notary Seal
Darrin J. Nichol, Notary Public
Center Twp., Butler County
My Commission Expires March 5, 2012
Member, Pennsylvania Association of Notaries

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER)

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Ronald E. and Sherry A. Douthett who acknowledged the foregoing release and dedication and plan of subdivision to be their act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this 17th day of November

2011

My Commission expires the 06th day of March

SEAL

Notary Public

Notary Public

I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the lots, lands, streets, alleys, rights-of-way and highways as surveyed and plotted by me for the Owners, developers or agents.

November 7, 2011
DATE
SEAL
REGISTRATION NUMBER SU-32490-E

This plot of subdivision has been approved by the Planning Commission of the Township of Center,

Butler County, Pennsylvania on this 26th day of October, 2011

Chairman

Secretary

The Board of Supervisors of the Township of Center, Butler County, Pennsylvania, hereby gives public notice that it is approving this plan of subdivision for recording purposes only. The approval of this subdivision plot by the Township of Center does not constitute an acceptance of the roads, streets, alleys, storm water and sanitary sewage drainage facilities, easements or rights-of-way, water mains or any other services or improvements shown on this plan nor an assumption of maintenance responsibility, nor will the same be accepted or maintained until constructed in accordance with all Township Specification and requirements and officially accepted by action of the Board of Supervisors.

This plot of subdivision approved by resolution of the Board of Supervisors of the Township of Center,

Butler County, Pennsylvania on this 9th day of November, 2011

Chairman

Secretary

Reviewed with comments by the Butler County Planning Commission. Letter to Center Township

Board of Supervisors dated this 14th day of Oct. 2011

Chairman

Secretary

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER)

Recorded in the office for the recording of deeds, plats, etc. in said

County, in Plan Book Volume 327 page 5

Given under my hand and seal this 21st day of November, 2011

SEAL

Recorder

Recorder

Recorder

Recorder

Recorder

Recorder

Recorder

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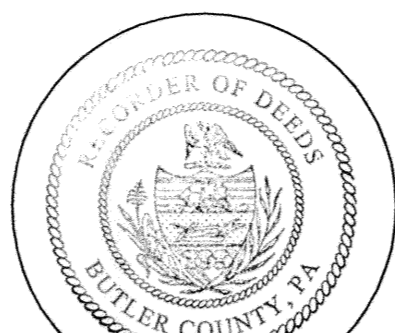
Recorder

Recorder



LOCATION MAP 1" = 1000'

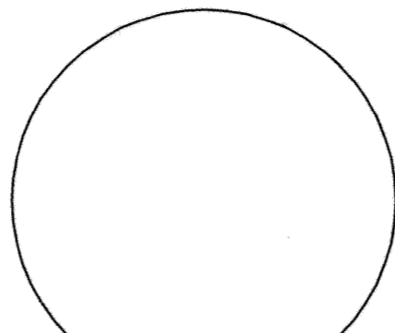
Instr: 201111300029634 11/30/2011
Pages: 1 of 445 2:45PM
Michele Mustello
Butler County Recorder



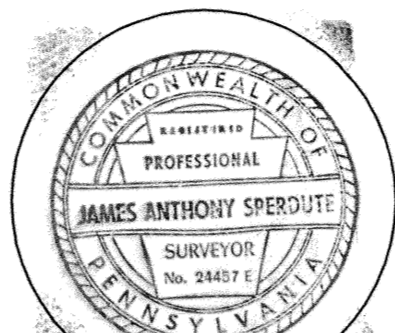
BUTLER COUNTY
RECORDER OF DEEDS



BUTLER COUNTY
PLANNING COMMISSION



ZELIENOPLE
BOROUGH COUNCIL



REGISTERED
SURVEYOR

KNOW ALL MEN BY THESE PRESENTS, THAT WE, THOMAS M. & HELEN A. OLIVIERO OWNERS, OF THE BOROUGH OF ZELIENOPLE, COUNTY OF BUTLER, AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS DO HEREBY ADOPT THIS PLAN AS OUR PLAN OF OUR PROPERTY SITUATED IN ZELIENOPLE BOROUGH AND DO HEREBY DEDICATE FOREVER FOR PUBLIC USE FOR HIGHWAY AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANES, WAYS, RIGHTS OF WAY AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, AND WE RELEASE, REMISE AND DISCHARGE THE BOROUGH OF ZELIENOPLE ITS SUCCESSORS AND ASSIGNS, OF AND FROM ALL LIABILITY COURSES OF ACTION, CLAIMS OR DAMAGES ARISING FROM OR PERTAINING TO IN ANY MANNER SAID ROADS AND RIGHTS OF WAY.

WE FURTHER AGREE THAT SAID PLAN IS APPROVED BY THE BOROUGH OF ZELIENOPLE FOR "PLANNING PURPOSES ONLY" AND THAT SAID BOROUGH SHALL NOT ISSUE ANY "BUILDING PERMITS" FOR ANY LOTS TO BE DEEDED UNTIL EITHER ALL OF SAID ROADS AND IMPROVEMENTS IN ACCORDANCE WITH THE BOROUGH OF ZELIENOPLE ORDINANCE OR UNTIL THE BOROUGH HAS APPROVED A BOND WITH SUFFICIENT SURETY TO GUARANTEE CONSTRUCTION OF THE SAME. IN WITNESS WHEREOF, WE HERETO SET OUR HAND AND SEAL THIS 10th DAY OF November, 2011

Thomas M. Oliverio
THOMAS M. OLIVIERO

Helen A. Oliverio
HELEN A. OLIVIERO

COMMONWEALTH OF PENNSYLVANIA)
COUNTY OF BUTLER)SS:

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED THE ABOVE NAMED THOMAS M. & HELEN A. OLIVIERO AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH. SWORN TO AND SUBSCRIBED BEFORE ME THIS 10th DAY OF November, 2011

MY COMMISSION EXPIRES THE 18th DAY OF January, 2015

Deborah L. Kirsch
NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA
Notarial Seal
Deborah L. Kirsch, Notary Public
Zelenople Boro, Butler County
My Commission Expires Jan. 18, 2015
MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES

KNOW ALL MEN BY THESE PRESENTS, THAT WE, RALPH & ROSE DAMBAUGH OWNERS, OF THE BOROUGH OF ZELIENOPLE, COUNTY OF BUTLER, AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS DO HEREBY ADOPT THIS PLAN AS OUR PLAN OF OUR PROPERTY SITUATED IN ZELIENOPLE BOROUGH AND DO HEREBY DEDICATE FOREVER FOR PUBLIC USE FOR HIGHWAY AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANES, WAYS, RIGHTS OF WAY AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, AND WE RELEASE, REMISE AND DISCHARGE THE BOROUGH OF ZELIENOPLE ITS SUCCESSORS AND ASSIGNS, OF AND FROM ALL LIABILITY COURSES OF ACTION, CLAIMS OR DAMAGES ARISING FROM OR PERTAINING TO IN ANY MANNER SAID ROADS AND RIGHTS OF WAY.

WE FURTHER AGREE THAT SAID PLAN IS APPROVED BY THE BOROUGH OF ZELIENOPLE FOR "PLANNING PURPOSES ONLY" AND THAT SAID BOROUGH SHALL NOT ISSUE ANY "BUILDING PERMITS" FOR ANY LOTS TO BE DEEDED UNTIL EITHER ALL OF SAID ROADS AND IMPROVEMENTS IN ACCORDANCE WITH THE BOROUGH OF ZELIENOPLE ORDINANCE OR UNTIL THE BOROUGH HAS APPROVED A BOND WITH SUFFICIENT SURETY TO GUARANTEE CONSTRUCTION OF THE SAME. IN WITNESS WHEREOF, WE HERETO SET OUR HAND AND SEAL THIS 7th DAY OF November, 2011

Ralph Dambaugh
RALPH DAMBAUGH

Rose Dambaugh
ROSE DAMBAUGH

COMMONWEALTH OF PENNSYLVANIA)
COUNTY OF BUTLER)SS:

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED THE ABOVE NAMED RALPH & ROSE DAMBAUGH AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH. SWORN TO AND SUBSCRIBED BEFORE ME THIS 7th DAY OF November, 2011

MY COMMISSION EXPIRES THE 18th DAY OF January, 2015

Deborah L. Kirsch
NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA
Notarial Seal
Deborah L. Kirsch, Notary Public
Zelenople Boro, Butler County
My Commission Expires Jan. 18, 2015
MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES

GENERAL PLAN NOTES:

PROPERTY OWNERS:

TAX PARCEL: 550-S4-A721
RALPH & ROSE DAMBAUGH
DBV 785, PAGE 393
LOTS 721 & 722 OF THE ZELIENOPLE EXTENSION PLAN OF LOTS

TAX PARCEL: 550-S4-A720
RALPH & ROSE DAMBAUGH
INSTRUMENT NO. 200112280037830
LOT 720 OF THE ZELIENOPLE EXTENSION PLAN OF LOTS

TAX PARCEL: 550-S4-719
THOMAS M. & HELEN A. OLIVIERO
INSTRUMENT NO 20111010026694
LOT 719 OF THE ZELIENOPLE EXTENSION PLAN OF LOTS

NOTE "A"

PARCEL "A", ORIGINALLY PART OF LOT 720 (TA X PARCEL 550-S4-A720) IS TO BE CONVEYED TO AND BECOME AN INTEGRAL PART OF THE ADJOINING LANDS OF RALPH & ROSE DAMBAUGH AND IS NOT TO BE CONSIDERED A SEPARATE PARCEL.

NOTE "B"

PARCEL "B", ORIGINALLY PART OF LOT 720 (TAX PARCEL 550-S4-A720) IS TO BE CONVEYED TO AND BECOME AN INTEGRAL PART OF THE ADJOINING LANDS OF THOMAS M. & HELEN A. OLIVIERO AND IS NOT TO BE CONSIDERED A SEPARATE PARCEL.

PLAN REFERENCE : THE ZELIENOPLE EXTENSION PLAN OF LOTS

PROPOSED WATER SUPPLY: PUBLIC / ZELIENOPLE BOROUGH
PROPOSED SEWAGE DISPOSAL: PUBLIC / WESTERN BUTLER COUNTY AUTHORITY

TOTAL PROPERTY AFFECTED BY THIS PLAN: 19,200 SQ. FT. OR 0.440 ACRES

THIS PROPERTY IS CURRENTLY ZONED R-3

R-3 ZONING REQUIREMENTS:

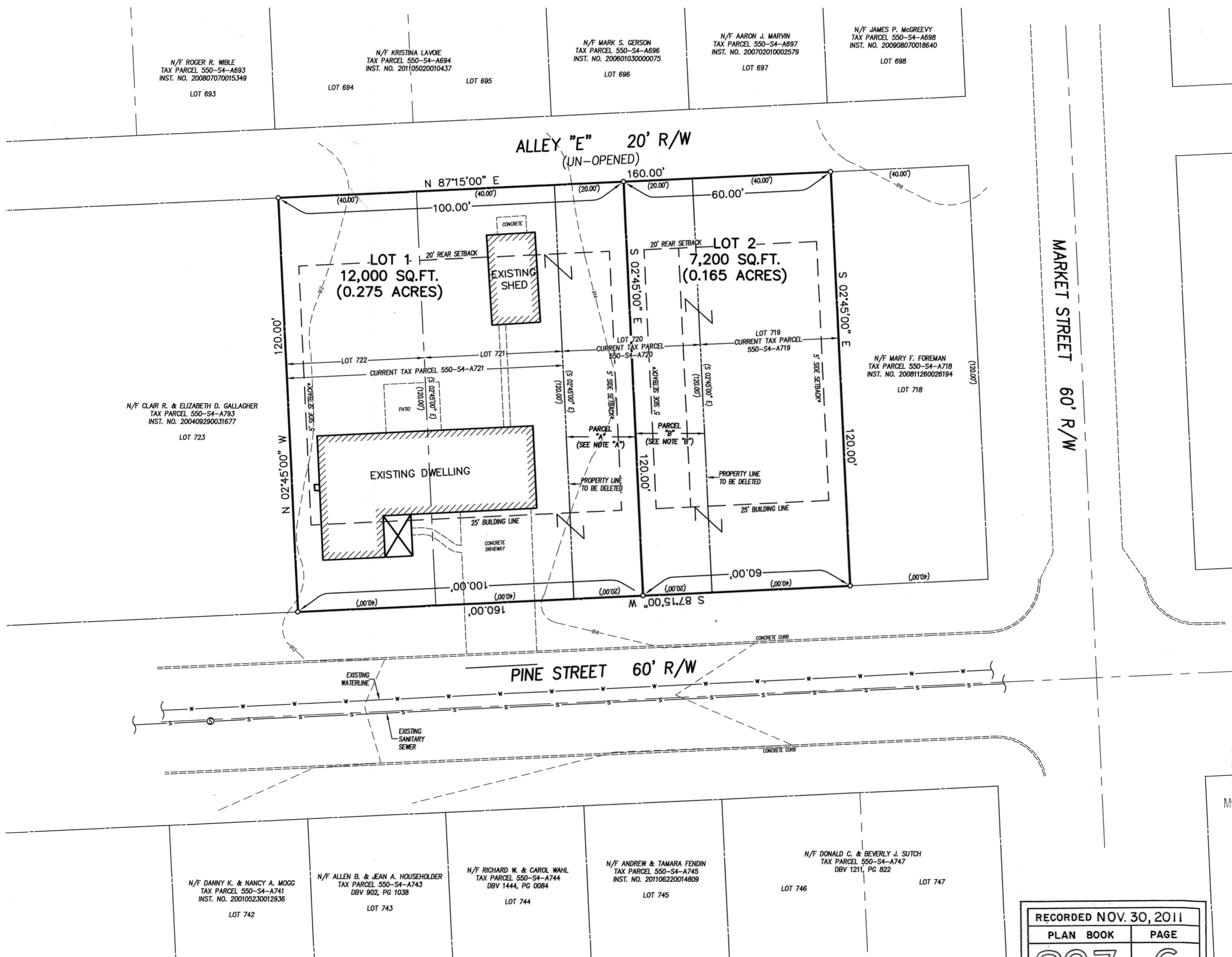
MINIMUM LOT AREA: 6,000 SQ.FT.
MINIMUM LOT WIDTH AT BUILDING LINE: 60.00 FEET
MINIMUM FRONT SETBACK: 25.00 FEET
MINIMUM SIDE SETBACK: 5.00 FEET MINIMUM ONE SIDE / 15.00 FEET TOTAL BOTH SIDES*
MINIMUM REAR SETBACK: 20.00 FEET
MINIMUM LOT FRONTAGE: 50.00 FEET
MAXIMUM BUILDING HEIGHT: 35.00 FEET
MAXIMUM LOT COVERAGE: 40%
MAXIMUM IMPERVIOUS COVERAGE: 65%

*THE SUM OF THE TOTAL SIDEYARD SETBACKS SHALL BE 15.00 FEET WITH 5 FEET AS A MINIMUM ON ONE SIDE. FOR LOT 2, THIS WILL RESULT IN A TOTAL BUILDABLE WIDTH OF 40.00 FEET ALONG THE FRONT BUILDING SETBACK. ANY STRUCTURE EXCEEDING 40.00 FEET IN WIDTH ALONG THE FRONT SETBACK WILL NOT MEET THE MINIMUM SIDEYARD REQUIREMENT.

CONTOURS SHOWN AT 2' INTERVALS. REFERENCE DATUM : NAVD88

ADDITIONAL PLAN REQUIREMENTS:

- SHOULD THE TOTAL IMPERVIOUS AREA OF ANY IMPROVEMENT PROPOSED FOR EITHER OF THE LOTS SHOWN EXCEED 2,500 SQUARE FEET BUT BE LESS THAN 5,000 SQUARE FEET, A SMALL PROJECT STORMWATER MANAGEMENT APPLICATION WILL BE REQUIRED. SHOULD THESE PROPOSED IMPROVEMENTS EXCEED 5,000 SQUARE FEET, A STORMWATER MANAGEMENT PLAN WILL BE REQUIRED.
- ANY PROPOSED DRIVEWAY FOR LOT 2 SHALL BE A MINIMUM OF 50.00 FEET FROM THE PINE STREET / MARKET STREET INTERSECTION. ADDITIONALLY, A CURB CUT APPLICATION WILL BE REQUIRED FROM THE BOROUGH.



THE BOROUGH COUNCIL OF THE BOROUGH OF ZELIENOPLE HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE BOROUGH ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN BOROUGH STREETS OR ROADS.

APPROVED BY THE BOROUGH OF ZELIENOPLE COUNCIL THIS 11th DAY OF October, 2011
Donald Lape SECRETARY
Charles Lindenberg CHAIRPERSON

APPROVED BY THE BOROUGH OF ZELIENOPLE PLANNING COMMISSION THIS 22nd DAY OF Sept. 2011
Polly R. Whitcomb SECRETARY
Douglas J. Hoff CHAIRPERSON

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 9th DAY OF September, 2011
Grace Hines SECRETARY
Frank Uhl CHAIRPERSON

I, JAMES A. SPERDUTE, A REGISTERED PROFESSIONAL SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THE PLAN AS SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES HAVE BEEN CORRECTLY SHOWN ON THE PLAT, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LAND, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

James A. Sperdute
JAMES A. SPERDUTE, R.S. 44457-E

11-2-11
DATE

COMMONWEALTH OF PENNSYLVANIA)
COUNTY OF BUTLER)

RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN THE COUNTY OF BUTLER IN PLAN BOOK 327 PAGE 6

GIVEN UNDER MY HAND AND SEAL THIS 30th DAY OF November, 2011
Michele M. Mustello
RECORDER OF DEEDS

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in Jan 2012

DAMBAUGH & OLIVIERO PLAN OF LOT LINE REVISION

BOROUGH OF ZELIENOPLE, BUTLER COUNTY PENNSYLVANIA

PREPARED FOR:
RALPH & ROSE DAMBAUGH
306 PINE STREET
ZELIENOPLE, PA 16063

THOMAS M. & HELEN A. OLIVIERO
100 SOUTH HIGH STREET
ZELIENOPLE, PA 16063



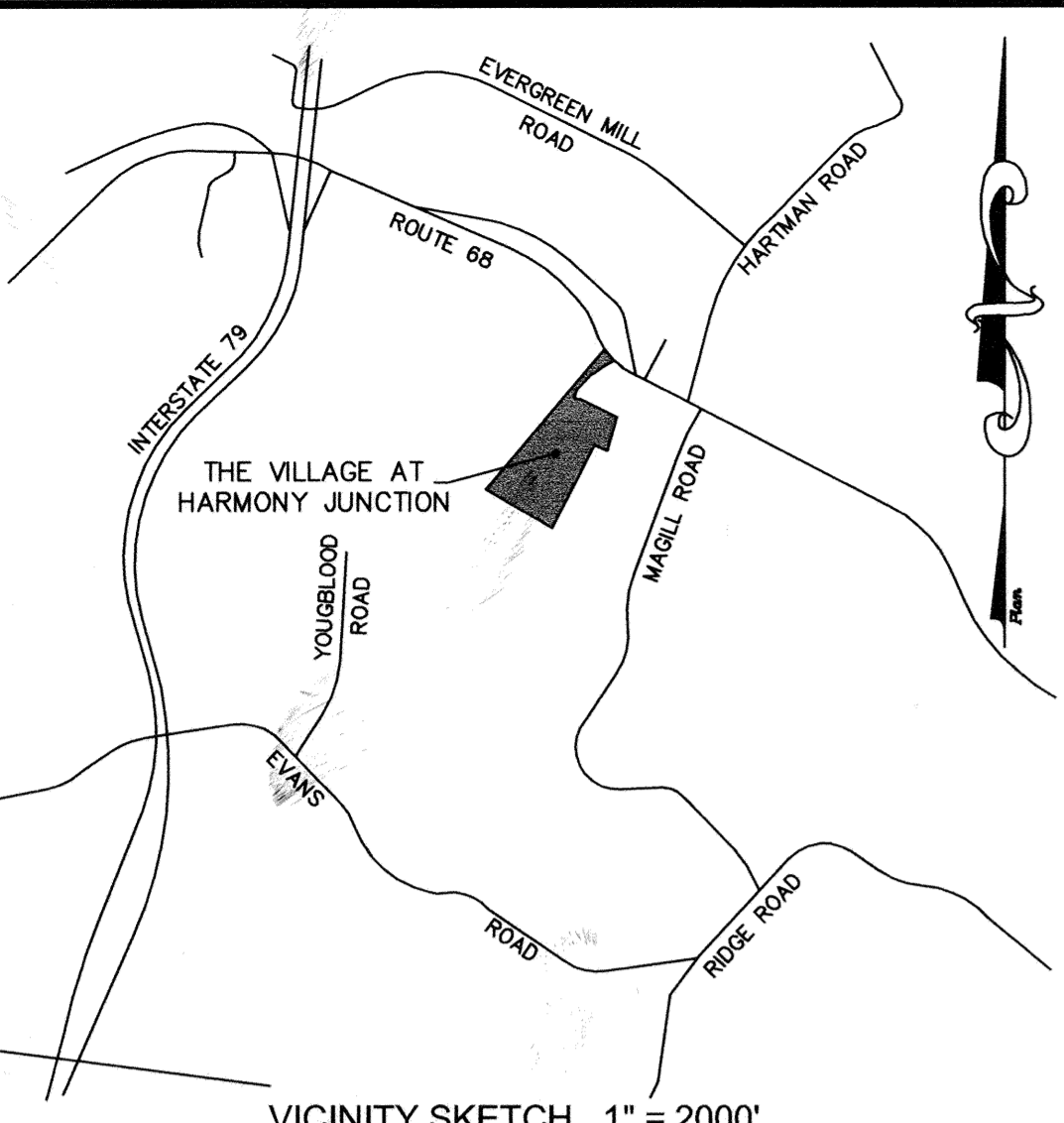
James A. Sperdute, R.S.
108 Deer Lane
Harrisburg, PA 17103
717-453-4362 (P)
717-453-3837 (F)
jasp@surveygroom.com

REVISIONS
08-15-2011 PER BOROUGH
ENGINEER LETTER DATED
9-12-2011
11-2-2011 ADD
INSTRUMENT NUMBER

RC1

SCALE: 1" = 20'
AUGUST 31, 2011
DWG # 1018-1111037

RECORDED NOV. 30, 2011
PLAN BOOK PAGE
327 6



General Plan Notes:

The purpose of this plan is to established party wall lot lines at the centers of the existing party walls to create fee-simple lots for each townhouse unit.

This plan is a re-subdivision of Lot 20 of The Village at Harmony Junction Plan as recorded in Plan Book 292, Pages 13 - 15

Property Owner / Developer:

Maronda Homes Inc.
11 Timberglen Drive
Pittsburgh, PA 15275

Lot 20R ownership reference:
Tax Parcel 180-57-C20
Inst No. 200706070014376

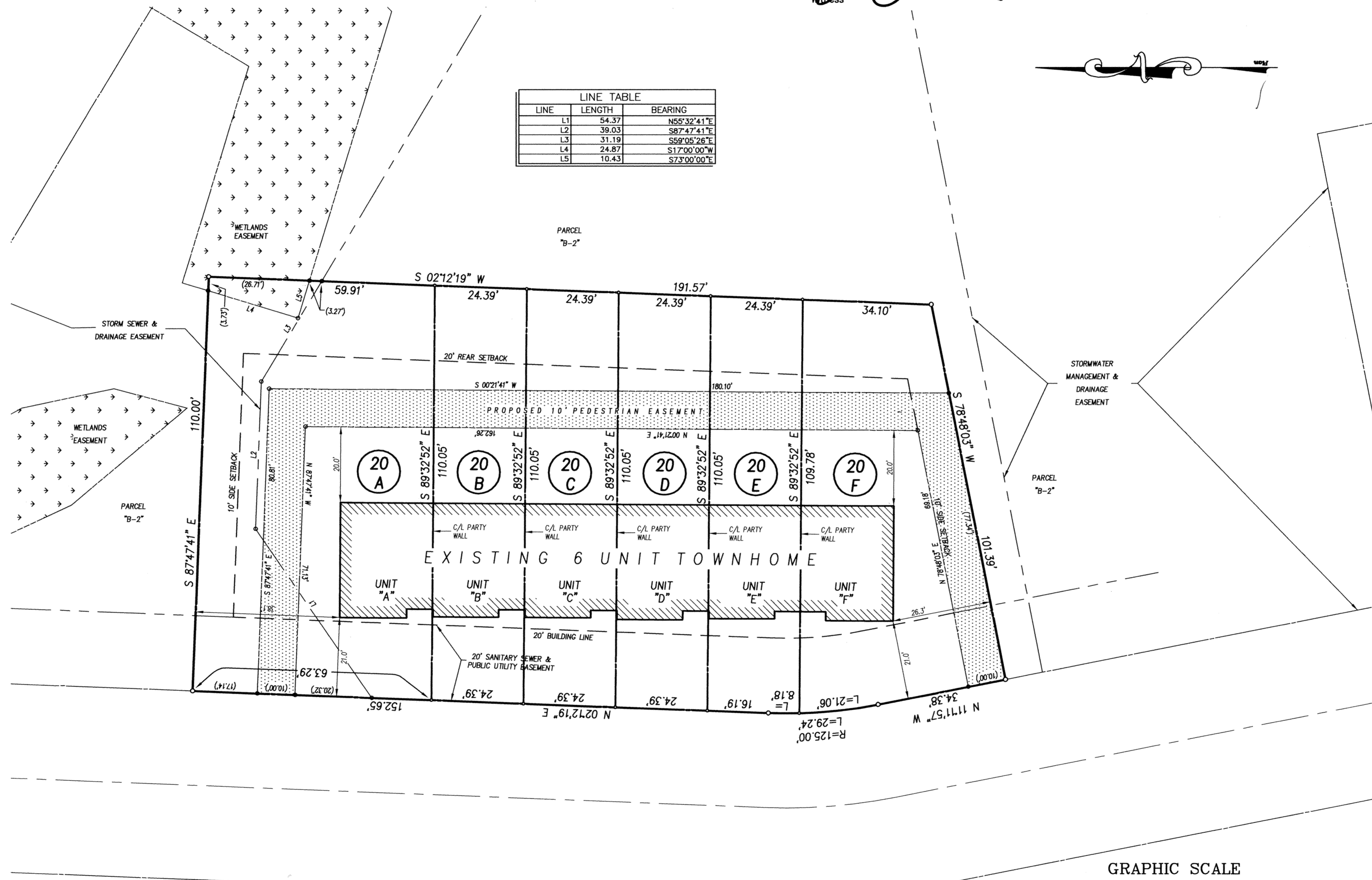
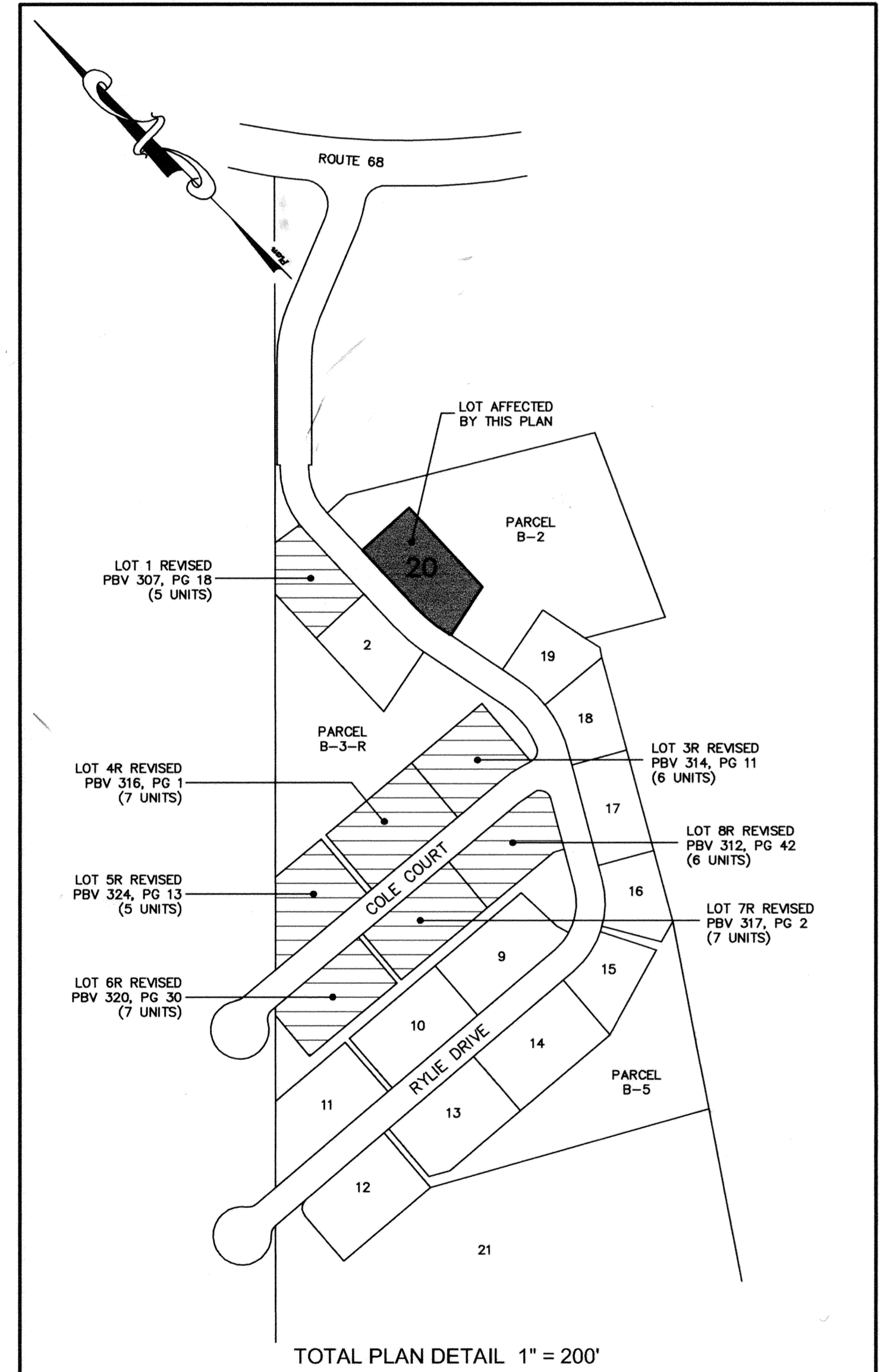
The pedestrian easements shown shall be for the benefit of the owners shown hereon to access the rear yards of their respective units.

This plan is subject to the conditions of approval referenced in the Village at Harmony Junction Plan recorded with the Butler County Recorder of Deeds at Plan Book Volume 292, Pages 13-15 and the Village at Harmony Junction Plan Revision No. 1 recorded with the Butler County Recorder of Deeds at Plan Book 300, Pages 26 & 27.

Current Zoning Requirements - RH - Residential High Density		
	REQUIRED	PROPOSED
Min. Lot Area (Interior Unit)	2,000 SQ.FT.	2,682.50 SQ.FT. (Smallest)
Min. Lot Area (End Unit)	3,000 SQ.FT.	4,713.71 SQ.FT. (Smallest)
Min. Lot width at R/W	22.00'	24.39' (Smallest)
Min. Front Setback:	20.00'	20.00'
Min. Rear Setback:	20.00'	20.00'
Min. Side Setback (End Unit)	10.00'	10.00'

Unit Areas:		
Unit 20A	6,776.64 SQ.FT.	0.156 ACRES
Unit 20B	2,682.50 SQ.FT.	0.062 ACRES
Unit 20C	2,682.50 SQ.FT.	0.062 ACRES
Unit 20D	2,682.50 SQ.FT.	0.062 ACRES
Unit 20E	2,681.77 SQ.FT.	0.062 ACRES
Unit 20F	4,713.71 SQ.FT.	0.108 ACRES
Total area affected by this plan : 0.510 Acres		
Total number of units created: 6		

Shaded area = 10' Pedestrian Easement



LINE TABLE		
LINE	LENGTH	BEARING
L1	54.37	N88°32'41"E
L2	39.03	S87°47'41"E
L3	31.19	S89°05'26"E
L4	24.87	S17°00'00"W
L5	10.43	S73°50'00"E

By a resolution approved on the _____ day of _____, 20____, the Board of Directors of Maronda Homes, Inc., incorporated in the state of Pennsylvania, Owners of the land shown on The Village at Harmony Junction Lot 20 Revised Plan adopted this plan as its plan of lots and irrevocably dedicated all streets and other property identified for dedication on the plan to Jackson Township. This adoption shall be binding upon the corporation and upon its successors and assigns.

(SEAL) C.P. Howarth
Signature and title of officer

Kelly A. Campbell
Signature and title of authorized officer witnessing

Date: 11/4/11

Before me, the undersigned Notary Public in and for the Commonwealth of Pennsylvania and County of Allegheny, personally appeared C.P. Howarth of Maronda Homes Inc., who stated that he is authorized to execute the above adoption and dedication on behalf of the corporation and was present at the meeting at which the action of the corporation was taken to adopt this plan and dedicate public property contained thereon to The Township of Jackson.

Witness my hand and notarial seal this 11th day of November, 2011. My commission expires the 20th day of January, 2012.

(SEAL) Kelly A. Campbell
Notary Seal
Kelly A. Campbell, Notary Public
Fridley Twp., Allegheny County
My Commission Expires Jan. 20, 2014
Member, Pennsylvania Association of Notaries

We hereby certify that the title to the property contained in The Village at Harmony Junction Lot 20 Revised Plan is in the name of Maronda Homes, Inc. and is recorded at Instrument No. 200706070014379.

C.P. Howarth
Maronda Homes Inc.
Witness: Kelly A. Campbell
Printed Name & Title: C.P. Howarth VP

I hereby certify, to the best of my information, knowledge or belief that the survey and plan shown hereon are correct and accurate to the standards of the required ordinances of Jackson Township.

James A. Spurdute
JAMES A. SPURDUTE, R.S. # 24457-E
DATE: 11-4-11

The Township of Jackson agrees not to issue building permits until the "Planning Module for Land Development" has been approved in accordance with the regulations of the Pennsylvania Department of Environmental Protection.

C.P. Howarth
Township Manager / Secretary
DATE: 11-29-2011

Approved by the Planning Director of the Township of Jackson on the 31st day of October, 2011 pursuant to Chapter 22 of the Jackson Township Code of Ordinances, Subdivision and Land Development, as amended and subject to certain conditions referenced in the Township decision letter dated October 31, 2011. The Planning Director of the Township of Jackson gives notice that in approving this plan for recording, the Township of Jackson assumes no obligation to accept the dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

Signed and noted as approved this 29th day of November, 2011.

Sarah Richards
Township Secretary
Ronald E. Lutz
Planning Director

Approved by the Board of Supervisors of Jackson Township on the 29th day of November, 2011 subject to certain conditions referenced in the Township decision letter dated October 31, 2011. The Board of Supervisors of the Township of Jackson gives notice that in approving this plan for recording, the Township of Jackson assumes no obligation to accept the dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities. Signed and noted as approved this 29th day of November, 2011.

Sarah Richards
Township Secretary
Ronald E. Lutz
Chairperson

This plat was delivered to Maronda Homes Inc., by Jackson Township on 11-29-2011.

C.P. Howarth
Township Secretary/Manager

Reviewed by the Butler County Planning Commission this 5th day of Oct, 2011.

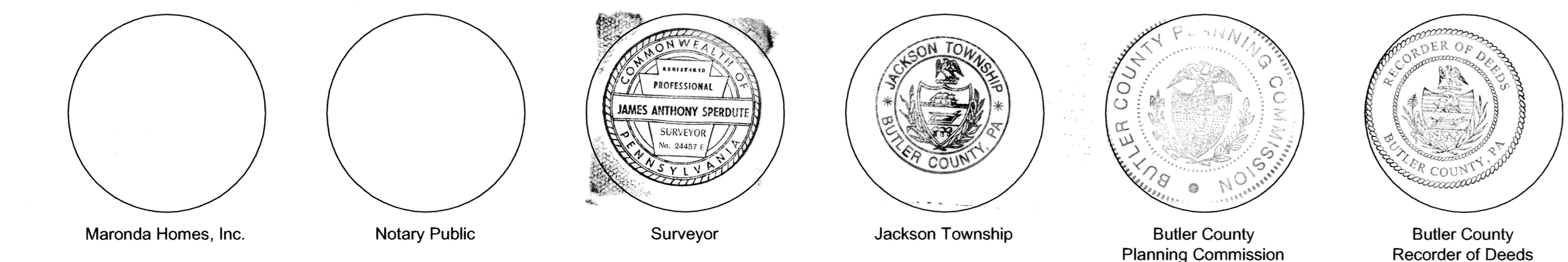
John G. M.
Secretary
F. W. L. G. M.
Chairman

Recorded in the office for Recording of Deeds, in and for Butler County, Pennsylvania, in Subdivision Plan Book, Volume 327, Page 7. Witness by hand and seal of office this 30th day of Nov, A.D. 2011.

SEAL Michele M. Mustello

Butler County Recorder of Deeds

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in Jan 2012



RECORDED NOV. 30, 2011	PLAN BOOK	PAGE
327	7	

Inst# 20111300029635
Pages: 1 P. \$45.00 2 48PM
Michele Mustello
Butler County Recorder
FL

OWNER / DEVELOPER

Maronda Homes
11 TIMBERGLEN DRIVE
IMPERIAL, PA 15126

THE VILLAGE AT
HARMONY JUNCTION
LOT 20 REVISED

BEING A RE-SUBDIVISION OF LOT 20 OF THE
VILLAGE AT HARMONY JUNCTION PLAN
RECORDED IN PLAN BOOK 292, PAGES 13 - 15
JACKSON TOWNSHIP
BUTLER COUNTY, PENNSYLVANIA

RECORDING INFORMATION

DRAWING SCALE: 1"=20' DATE: SEPTEMBER 23, 2011
DRAWING NUMBER: 1009-1110902S DRAWN BY: JSS CK'D BY: JAS

SPERDUTE LAND SURVEYING

JAMES A. SPURDUTE, R.S.
108 DEER LANE
HARMONY, PA 15037
724-452-4362
724-452-9357 FAX
pasurvey@bzbzoom.net

REVISIONS SHEET
11-3-11... REMOVE ENGINEER
CERTIFICATE

CHEESEMAN METER STATION R.E. GAS DEVELOPMENT, LLC MUDDY CREEK TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA PRELIMINARY/FINAL LAND DEVELOPMENT PLAN NOVEMBER 16, 2011

Instr: 20111300029644 11/30/2011
Page: 5 of 5
Michele Mustello
Butler County Recorder

CERTIFICATES:

B-01. DEVELOPER'S ADOPTION.

KNOW ALL MEN BY THESE PRESENTS, that We, George V. Cheeseman and Elizabeth A. Cheeseman, of the Township of Muddy Creek, County of Butler, Commonwealth of Pennsylvania, for ourselves, and our heirs, executors, administrators and assigns, do hereby adopt this as our land development plan for our property, situate in the Township of Muddy Creek, County of Butler, Commonwealth of Pennsylvania.

We fully understand and agree that the approval of the Board of Supervisors of the Township of Muddy Creek, if hereto attached, will become null and void unless this plan is recorded in the Butler County Recorder of Deeds Office, County Court House, Butler, Pennsylvania, within ninety (90) days of date of said approval.

George V. Cheeseman
George V. Cheeseman

Elizabeth A. Cheeseman
Elizabeth A. Cheeseman

B-02. INDIVIDUAL ACKNOWLEDGMENT.

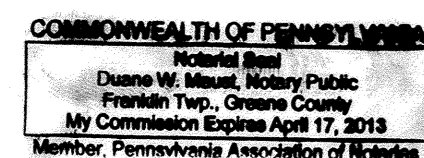
COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared, who being duly sworn according to law, deposes and says that they are the owners of the property shown on this plan, and that the plan thereof was made at the direction of R.E. Gas Development, LLC, pursuant to its easement, dated October 3, 2011, with the George V. Cheeseman and Elizabeth A. Cheeseman, that they acknowledge the same to be their act and deed, and that they desire the same to be recorded as such.

WITNESS MY HAND AND NOTARIAL SEAL this day 16 of November, 2011.

D. W. Mustello
Notary Public

SEAL



B-05. CERTIFICATE OF TITLE -- NO MORTGAGE.

R.E. Gas Development, LLC, hereby certified that the title to the servient estate who hereon is in the name of George V. and Elizabeth A. Cheeseman and is recorded in Deed Book Volume 1518, Page 303, (being instrument No. 200712190031924).

We further certify that there is no mortgage, lien or other encumbrance against this property.

WITNESS:

Steen M. Harris
D. W. Mustello

R.E. Gas Development, LLC:
By: Russell Macaw
Name: RUSSELL MACAW
Title: V.P. APPALACHIAN

B-07. TOWNSHIP PLANNING COMMISSION RECOMMENDATION FOR APPROVAL.

This plan has been recommended for approval by the Planning Commission of the Township of Muddy Creek, Butler County, Commonwealth of Pennsylvania on this 14th day of November, 2011.

ATTEST:

Kelly G. Givens
Secretary

Chairman
Chairman

B-08. BOARD OF SUPERVISORS FINAL APPROVAL CERTIFICATE.

The Board of Supervisors of the Township of Muddy Creek hereby gives public notice that it is approving this plan for recording purposes only. The Board of Supervisors has not accepted dedication of any streets, lands or public facilities and has no obligation, legal or otherwise, to improve or maintain such streets, lands or public facilities. This plan approved by action of the Board of Supervisors of the Township of Muddy Creek, Butler County, Pennsylvania on this 16th day of November, 2011.

ATTEST:

Kelly G. Givens
Secretary, Board of Supervisors

Chairman, Board of Supervisors
Chairman, Board of Supervisors

SEAL



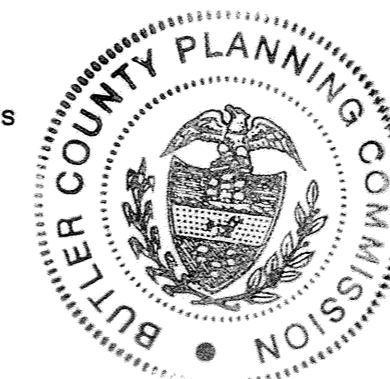
CERTIFICATES CONTINUED:

B-09 BUTLER COUNTY PLANNING COMMISSION CERTIFICATE.

Reviewed with or without comments by the Butler County Planning Commission this

16th day of Nov, 2011.
John J. Sec Director
Chair

SEAL



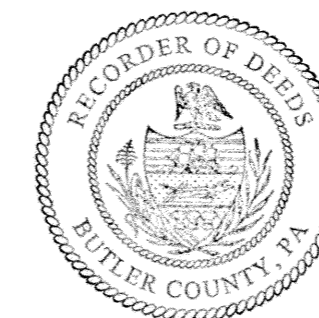
B-10. PROOF OF RECORDING.

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUTLER

Recorded in the office for the recording of deeds, plats, etc., in said County, at Instrument Number 20111300029644
Given under my hand and seal this 30th day of Nov, AD. 2011. Book 327 Pg 8-12

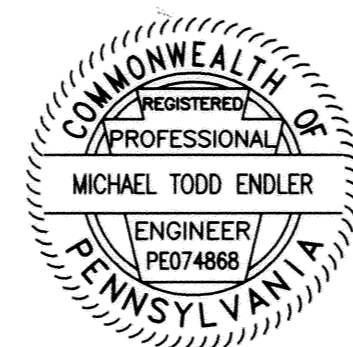
Recorder

Michele M. Mustello
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in Jan 2012



B-11. PROFESSIONAL ENGINEER CERTIFICATE.

I, Michael T. Endler, a Professional Engineer of the Commonwealth of Pennsylvania, do hereby certify that this plan shown hereon is based upon actual field survey of the land described and that all angles, distances, and courses are correctly shown, that the monuments and markers as shown on the plat have been set, and to the best of my knowledge, that this plan correctly represents the lots, lands, streets, and highways as surveyed and plotted by me for the owners or agents.



Date: 11/16/2011

Michael T. Endler
MICHAEL T. ENDLER
Engineer's Name
Engineer's Registration No. 074868

B-12. DEVELOPER'S RELEASE AND ACCEPTANCE OF RESPONSIBILITY FOR STORMWATER DRAINAGE FACILITIES AND CONTROL OF STORMWATER DRAINAGE.

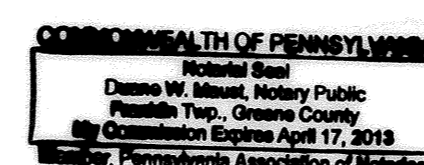
KNOW ALL MEN BY THESE PRESENTS, that R.E. Gas Development, LLC of State College, Pennsylvania, for itself and its successors and assigns, and for subsequent grantees of the dominate estate associated with the Cheeseman Meter Station, do hereby accept full and complete responsibility, liability, expense and provision of facilities for the drainage and control of stormwater over, across and through both the dominant and servient estates situated in Muddy Creek Township, Butler County, Pennsylvania, until such time as R.E. Gas Development, LLC, or its successors and/or assigns construct stormwater drainage facilities in accordance with Pennsylvania Department of Environmental Protection's specifications and requirements and the same is officially accepted by action of the Board of Supervisors of Muddy Creek Township. Until such formal acceptance, R.E. Gas Development, LLC, for itself and its successors and/or assigns, does hereby release and forever discharge the Township of Muddy Creek from any responsibility in connection therewith and/or from any expense, liability or damage in connection therewith. This acceptance of responsibility and release shall be binding upon R.E. Gas Development, LLC's and its successors and assigns.

IN WITNESS WHEREOF, We hereunto set our hands and seals this 16 day of November 2011.

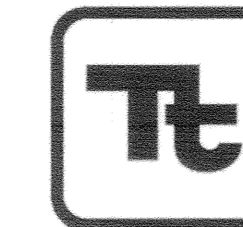
R.E. Gas Development, LLC

By: Russell Macaw
Name: RUSSELL MACAW
Title: V.P. APPALACHIAN
Notary Public
April 17, 2013
My commission expires:

SEAL



PREPARED BY:



TETRA TECH

complex world | CLEAR SOLUTIONS™



661 ANDERSEN DRIVE -- FOSTER PLAZA VII, PITTSBURGH, PA 15220
TEL: (412) 921-7090 | FAX: (412) 921-4040

PREPARED FOR:

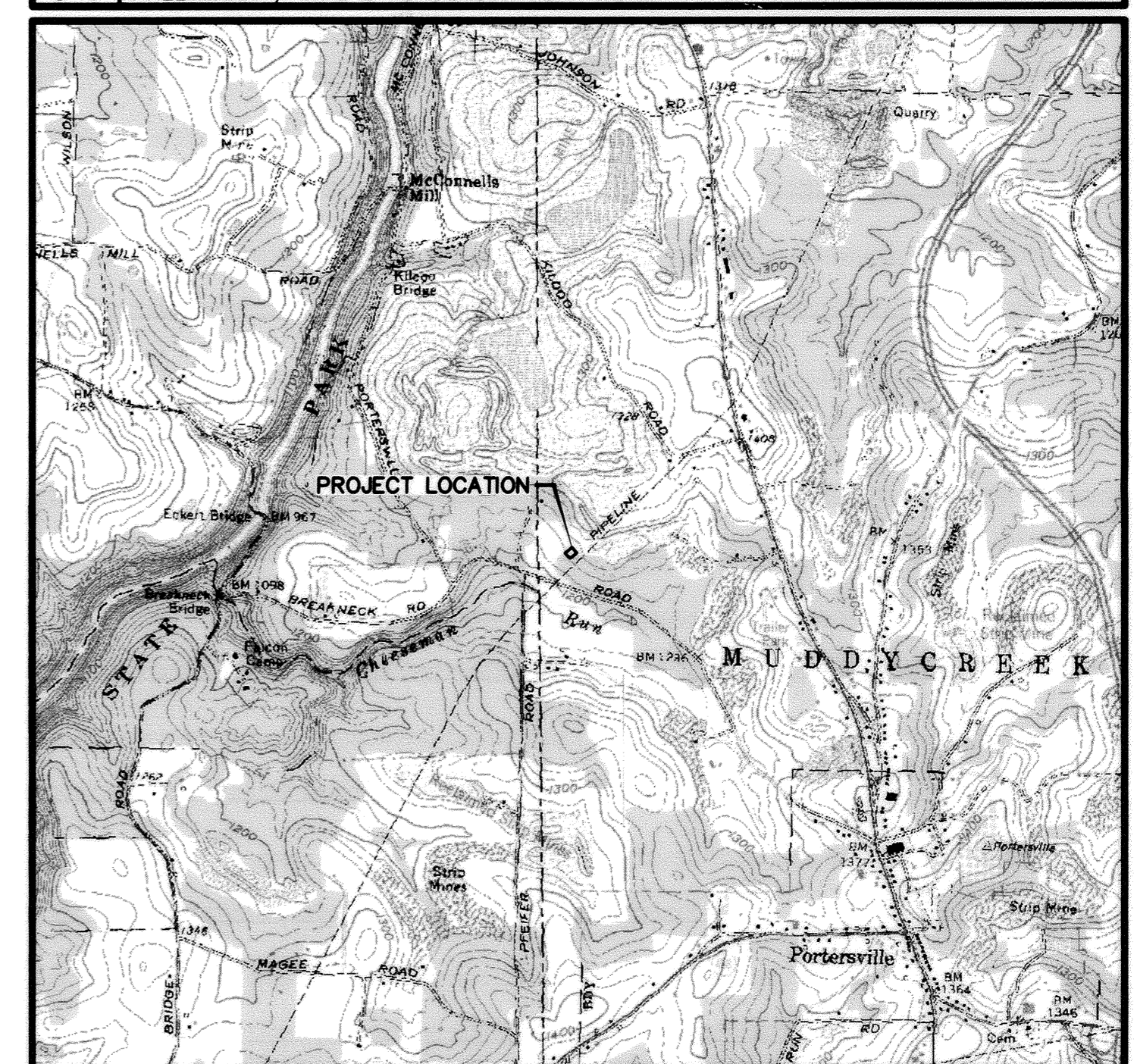


REX
ENERGY®

476 ROLLING RIDGE DRIVE, SUITE 300, STATE COLLEGE, PA 16801

DRAWING INDEX

No.	DRAWING TITLE
C-1	INDEX MAP (SHEET 1 OF 3)
C-2	INDEX MAP (SHEET 2 OF 3)
C-3	INDEX MAP (SHEET 3 OF 3)
C-4	PRELIMINARY/FINAL LAND DEVELOPMENT PLAN



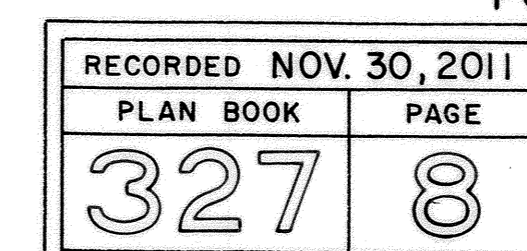
LOCATION MAP

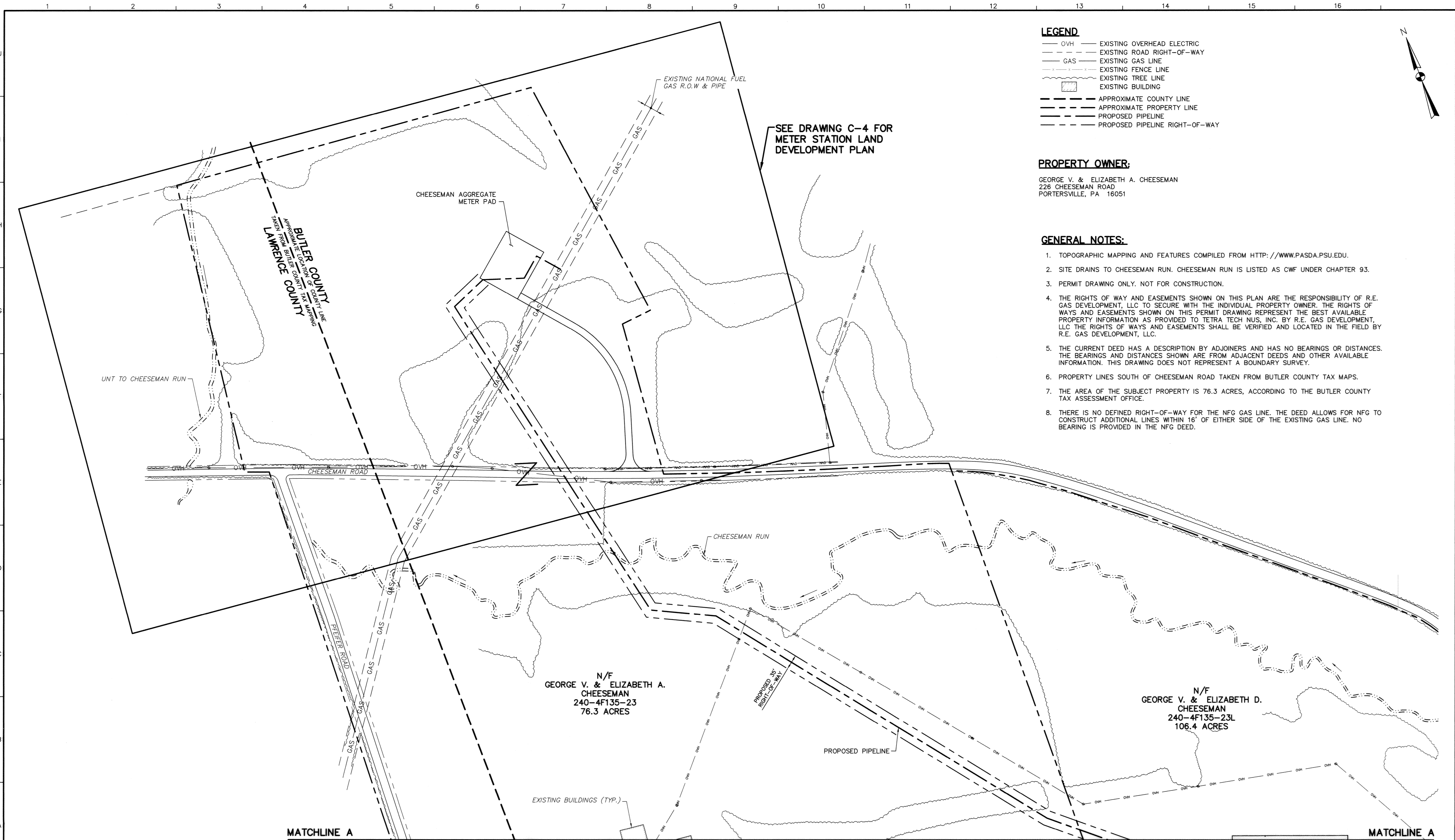
PORTERSVILLE, PA. -- USGS 7.5' QUADRANGLE
CHEESEMAN METER STATION
BUTLER COUNTY, PENNSYLVANIA

SCALE: 1" = 2000'

0 2000 4000

SCALE: 1" = 2000'





- LEGEND**
- OVH — EXISTING OVERHEAD ELECTRIC
 - - - EXISTING ROAD RIGHT-OF-WAY
 - GAS — EXISTING GAS LINE
 - - - EXISTING FENCE LINE
 - - - EXISTING TREE LINE
 - ▭ EXISTING BUILDING
 - - - APPROXIMATE COUNTY LINE
 - - - APPROXIMATE PROPERTY LINE
 - - - PROPOSED PIPELINE
 - - - PROPOSED PIPELINE RIGHT-OF-WAY

PROPERTY OWNER:
GEORGE V. & ELIZABETH A. CHEESEMAN
226 CHEESEMAN ROAD
PORTERSVILLE, PA 16051

- GENERAL NOTES:**
1. TOPOGRAPHIC MAPPING AND FEATURES COMPILED FROM [HTTP://WWW.PASDA.PSU.EDU](http://www.pasda.psu.edu).
 2. SITE DRAINS TO CHEESEMAN RUN. CHEESEMAN RUN IS LISTED AS CWF UNDER CHAPTER 93.
 3. PERMIT DRAWING ONLY. NOT FOR CONSTRUCTION.
 4. THE RIGHTS OF WAY AND EASEMENTS SHOWN ON THIS PLAN ARE THE RESPONSIBILITY OF R.E. GAS DEVELOPMENT, LLC TO SECURE WITH THE INDIVIDUAL PROPERTY OWNER. THE RIGHTS OF WAYS AND EASEMENTS SHOWN ON THIS PERMIT DRAWING REPRESENT THE BEST AVAILABLE PROPERTY INFORMATION AS PROVIDED TO TETRA TECH NUS, INC. BY R.E. GAS DEVELOPMENT, LLC. THE RIGHTS OF WAYS AND EASEMENTS SHALL BE VERIFIED AND LOCATED IN THE FIELD BY R.E. GAS DEVELOPMENT, LLC.
 5. THE CURRENT DEED HAS A DESCRIPTION BY ADJOINERS AND HAS NO BEARINGS OR DISTANCES. THE BEARINGS AND DISTANCES SHOWN ARE FROM ADJACENT DEEDS AND OTHER AVAILABLE INFORMATION. THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY.
 6. PROPERTY LINES SOUTH OF CHEESEMAN ROAD TAKEN FROM BUTLER COUNTY TAX MAPS.
 7. THE AREA OF THE SUBJECT PROPERTY IS 76.3 ACRES, ACCORDING TO THE BUTLER COUNTY TAX ASSESSMENT OFFICE.
 8. THERE IS NO DEFINED RIGHT-OF-WAY FOR THE NFG GAS LINE. THE DEED ALLOWS FOR NFG TO CONSTRUCT ADDITIONAL LINES WITHIN 16' OF EITHER SIDE OF THE EXISTING GAS LINE. NO BEARING IS PROVIDED IN THE NFG DEED.

MATCHLINE A

RECORDED NOV. 30, 2011	
PLAN BOOK	PAGE
327	9

SCALE: 1" = 100'

MATCHLINE A

www.tetrattech.com
661 ANDERSEN DRIVE - FOSTER PLAZA 7
PITTSBURGH, PA 15220
T: (412) 921-7090 | F: (412) 921-4040

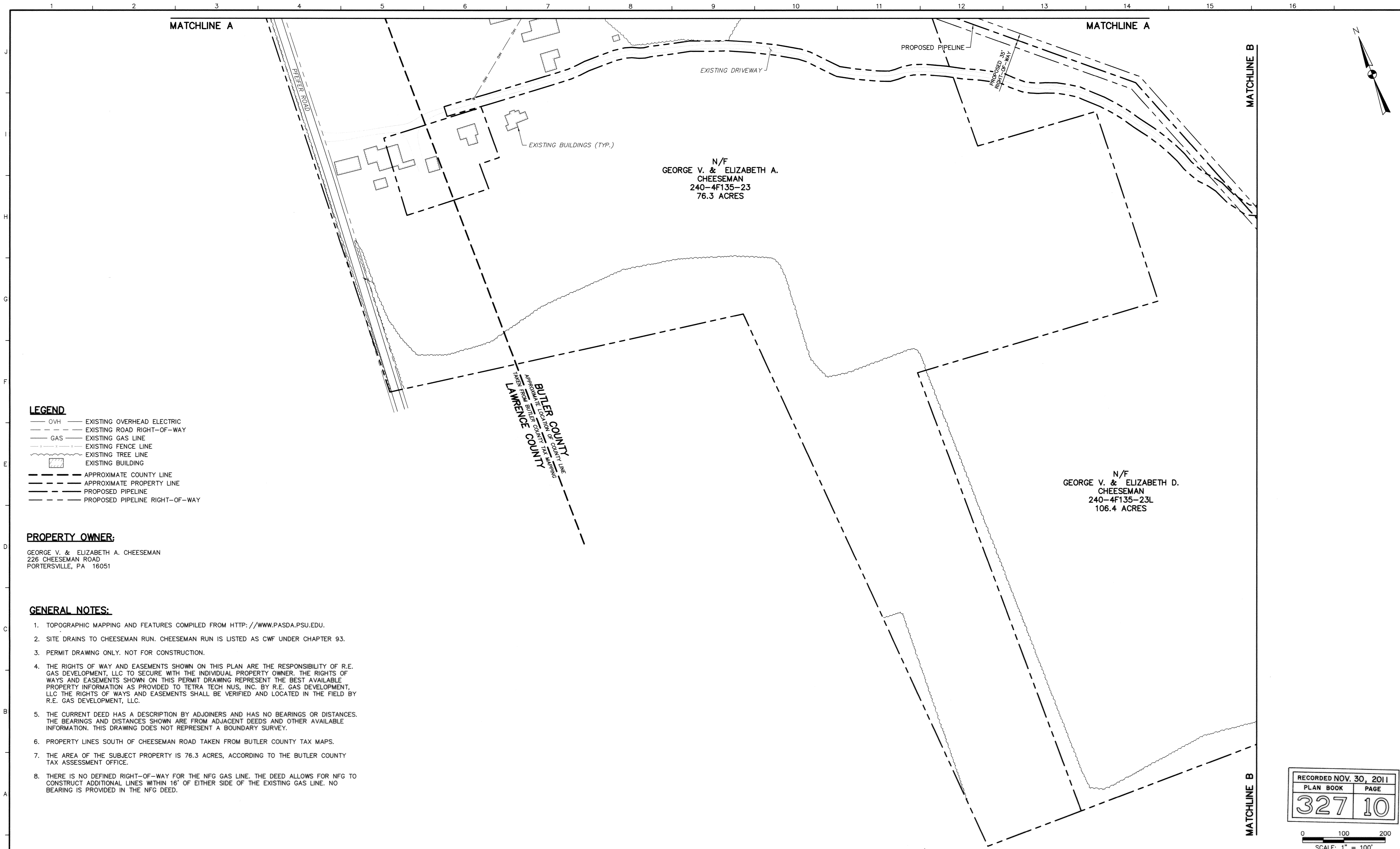
MARK	DATE	DESCRIPTION	BY

R.E. GAS DEVELOPMENT, LLC
STATE COLLEGE, PENNSYLVANIA

**CHEESEMAN METER STATION
INDEX MAP (SHEET 1 OF 3)**

SCALE: 1" = 100'

DATE: 11/16/11
PROJECT NO.: 112C03537
DESIGNED BY: ME
DRAWN BY: BH
CHECKED BY: ME
SHEET: 1 OF 4
COPYRIGHT TETRA TECH INC.
C-1



LEGEND

- OVH — EXISTING OVERHEAD ELECTRIC
- — — EXISTING ROAD RIGHT-OF-WAY
- — — EXISTING GAS LINE
- - - - - EXISTING FENCE LINE
- - - - - EXISTING TREE LINE
- ▨ EXISTING BUILDING
- - - - - APPROXIMATE COUNTY LINE
- - - - - APPROXIMATE PROPERTY LINE
- - - - - PROPOSED PIPELINE
- - - - - PROPOSED PIPELINE RIGHT-OF-WAY

PROPERTY OWNER:

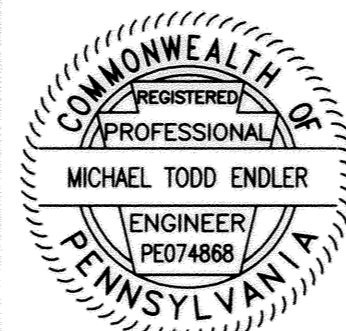



GEORGE V. & ELIZABETH A. CHEESEMAN
226 CHEESEMAN ROAD
PORTERSVILLE, PA 16051

GENERAL NOTES:

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RECORDED NOV. 30, 2011	
PLAN BOOK	PAGE
327	10

0 100 200
SCALE: 1" = 100'

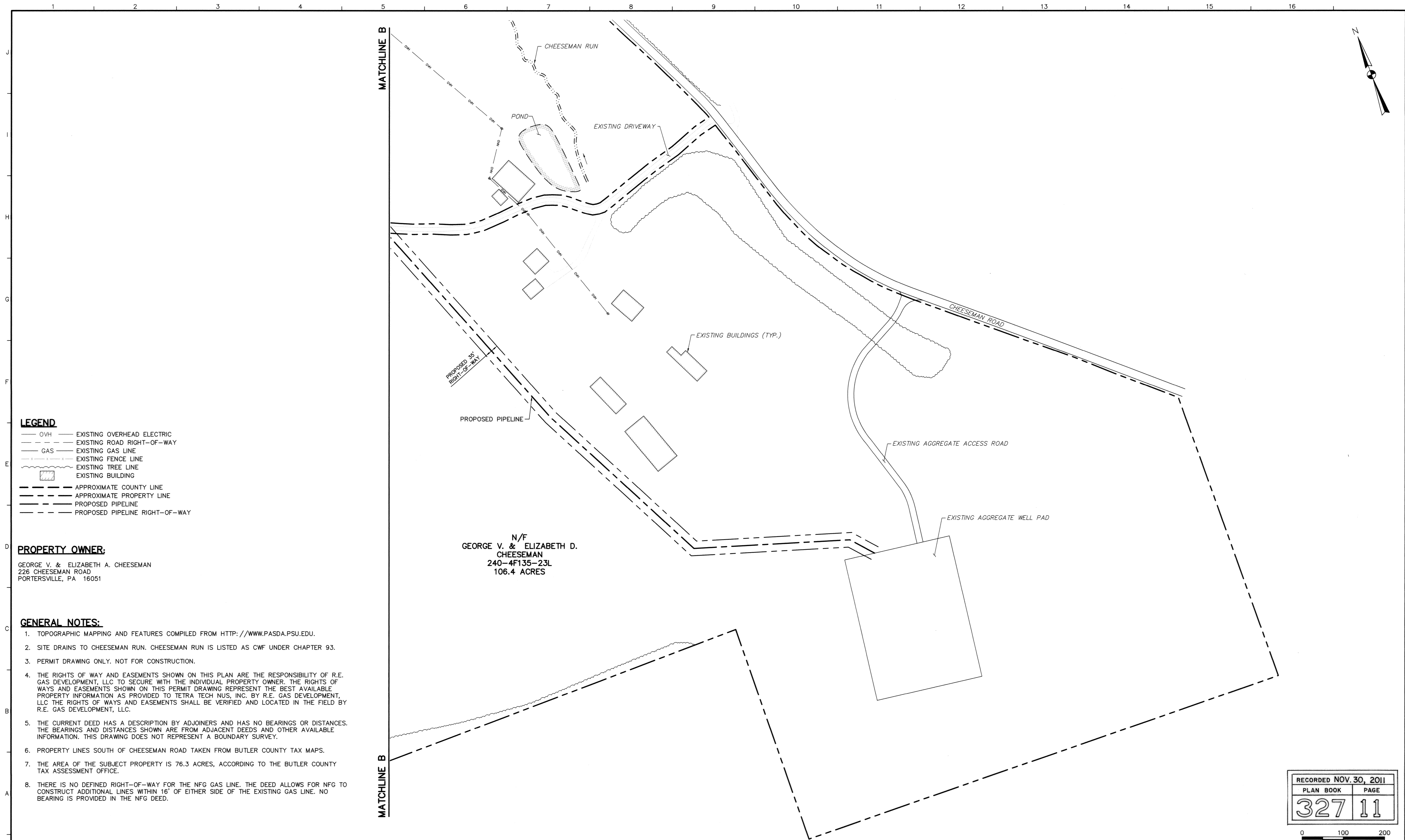



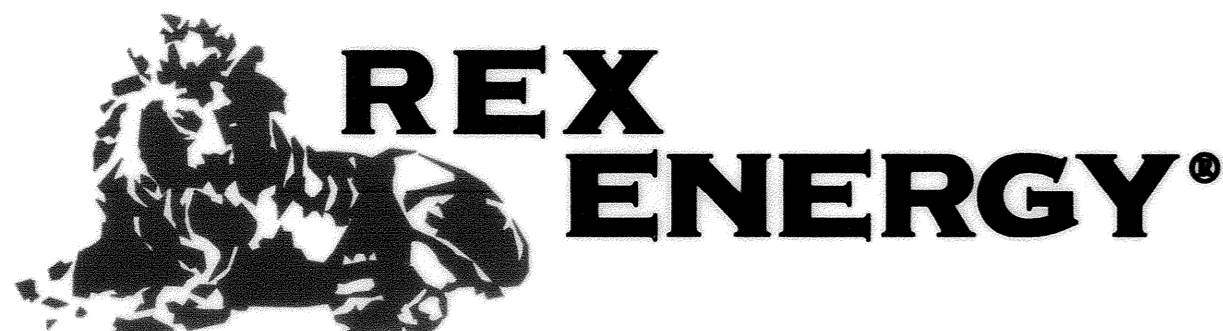

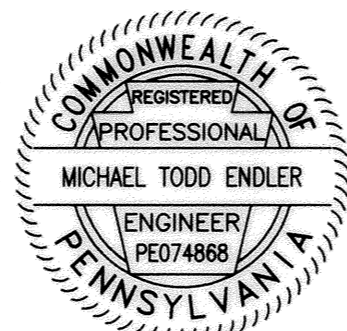
MARK	DATE	DESCRIPTION	BY

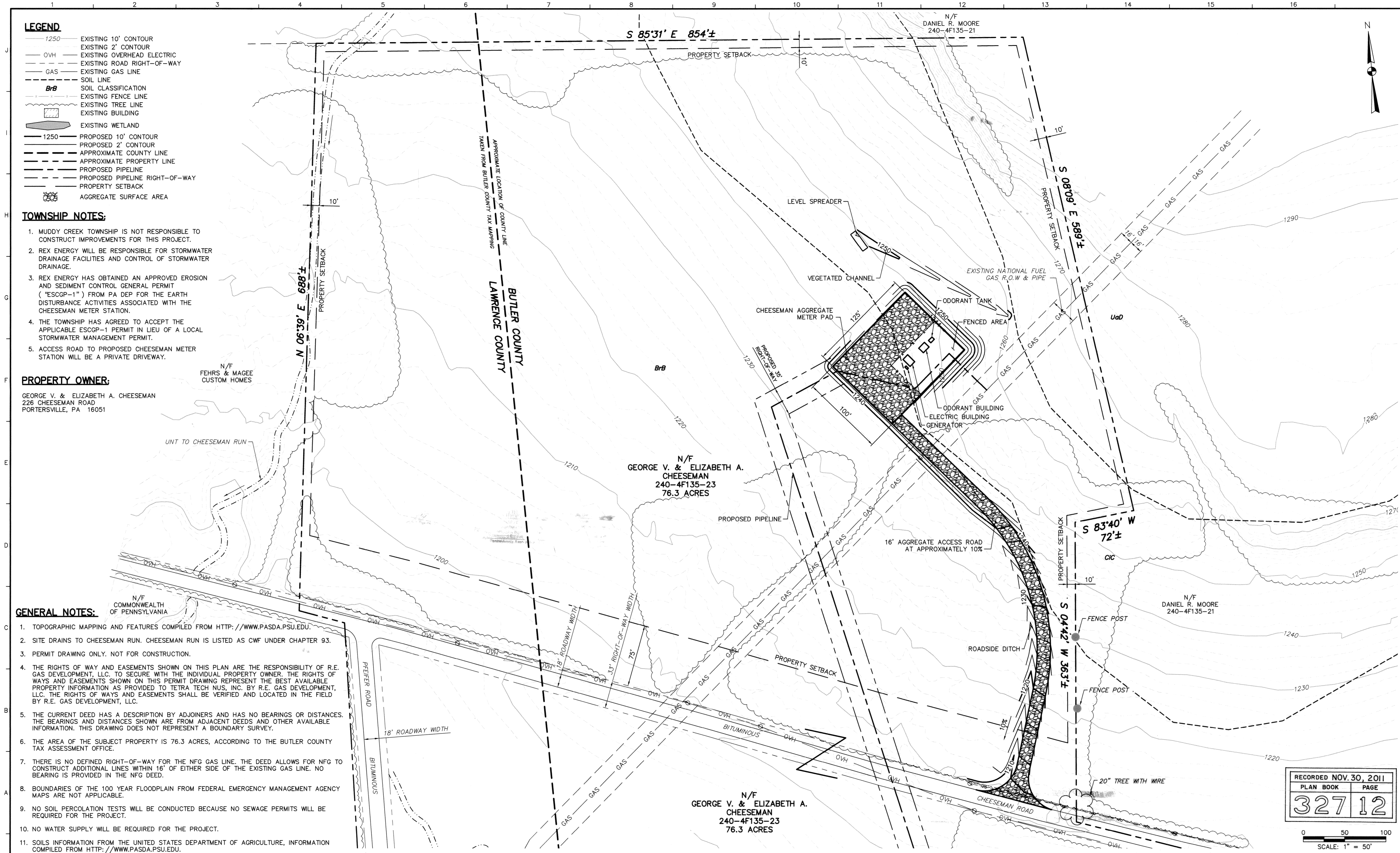
R.E. GAS DEVELOPMENT, LLC
STATE COLLEGE, PENNSYLVANIA

CHEESEMAN METER STATION
INDEX MAP (SHEET 2 OF 3)
SCALE: 1" = 100'

DATE:	11/16/11
PROJECT NO.:	112C03537
DESIGNED BY:	ME
DRAWN BY:	BH
CHECKED BY:	ME
SHEET:	2 OF 4
COPYRIGHT TETRA TECH INC.	
C-2	



		 <p>www.tetrattech.com</p> <p>661 ANDERSEN DRIVE - FOSTER PLAZA 7 PITTSBURGH, PA 15220 T: (412) 921-7090 F: (412) 921-4040</p>		<table><tr><th>MARK</th><th>DATE</th><th>DESCRIPTION</th><th>BY</th></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></table>	MARK	DATE	DESCRIPTION	BY																													<p>R.E. GAS DEVELOPMENT, LLC STATE COLLEGE, PENNSYLVANIA</p> <p>CHEESEMAN METER STATION INDEX MAP (SHEET 3 OF 3)</p> <p>SCALE: 1" = 100'</p>	<table><tr><td>DATE:</td><td>11/16/11</td></tr><tr><td>PROJECT NO.:</td><td>112C03537</td></tr><tr><td>DESIGNED BY:</td><td>ME</td></tr><tr><td>DRAWN BY:</td><td>BH</td></tr><tr><td>CHECKED BY:</td><td>ME</td></tr><tr><td>SHEET:</td><td>3 OF 4</td></tr><tr><td colspan="2">COPYRIGHT TETRA TECH INC.</td></tr><tr><td colspan="2">C-3</td></tr></table>	DATE:	11/16/11	PROJECT NO.:	112C03537	DESIGNED BY:	ME	DRAWN BY:	BH	CHECKED BY:	ME	SHEET:	3 OF 4	COPYRIGHT TETRA TECH INC.		C-3	
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CHECKED BY:	ME																																																					
SHEET:	3 OF 4																																																					
COPYRIGHT TETRA TECH INC.																																																						
C-3																																																						



- LEGEND**
- 1250 EXISTING 10' CONTOUR
 - EXISTING 2' CONTOUR
 - OVH EXISTING OVERHEAD ELECTRIC
 - EXISTING ROAD RIGHT-OF-WAY
 - GAS EXISTING GAS LINE
 - SOIL LINE
 - BrB SOIL CLASSIFICATION
 - EXISTING FENCE LINE
 - EXISTING TREE LINE
 - EXISTING BUILDING
 - EXISTING WETLAND
 - 1250 PROPOSED 10' CONTOUR
 - PROPOSED 2' CONTOUR
 - APPROXIMATE COUNTY LINE
 - APPROXIMATE PROPERTY LINE
 - PROPOSED PIPELINE
 - PROPOSED PIPELINE RIGHT-OF-WAY
 - PROPERTY SETBACK
 - AGGREGATE SURFACE AREA

TOWNSHIP NOTES:

- MUDDY CREEK TOWNSHIP IS NOT RESPONSIBLE TO CONSTRUCT IMPROVEMENTS FOR THIS PROJECT.
- REX ENERGY WILL BE RESPONSIBLE FOR STORMWATER DRAINAGE FACILITIES AND CONTROL OF STORMWATER DRAINAGE.
- REX ENERGY HAS OBTAINED AN APPROVED EROSION AND SEDIMENT CONTROL GENERAL PERMIT ("ESCGP-1") FROM PA DEP FOR THE EARTH DISTURBANCE ACTIVITIES ASSOCIATED WITH THE CHEESEMAN METER STATION.
- THE TOWNSHIP HAS AGREED TO ACCEPT THE APPLICABLE ESCGP-1 PERMIT IN LIEU OF A LOCAL STORMWATER MANAGEMENT PERMIT.
- ACCESS ROAD TO PROPOSED CHEESEMAN METER STATION WILL BE A PRIVATE DRIVEWAY.

PROPERTY OWNER:

GEORGE V. & ELIZABETH A. CHEESEMAN
226 CHEESEMAN ROAD
PORTERSVILLE, PA 16051

GENERAL NOTES:

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- BOUNDARIES OF THE 100 YEAR FLOODPLAIN FROM FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS ARE NOT APPLICABLE.
- NO SOIL PERCOLATION TESTS WILL BE CONDUCTED BECAUSE NO SEWAGE PERMITS WILL BE REQUIRED FOR THE PROJECT.
- NO WATER SUPPLY WILL BE REQUIRED FOR THE PROJECT.
- SOILS INFORMATION FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE, INFORMATION COMPILED FROM [HTTP://WWW.PASDA.PSU.EDU](http://www.pasda.psu.edu).

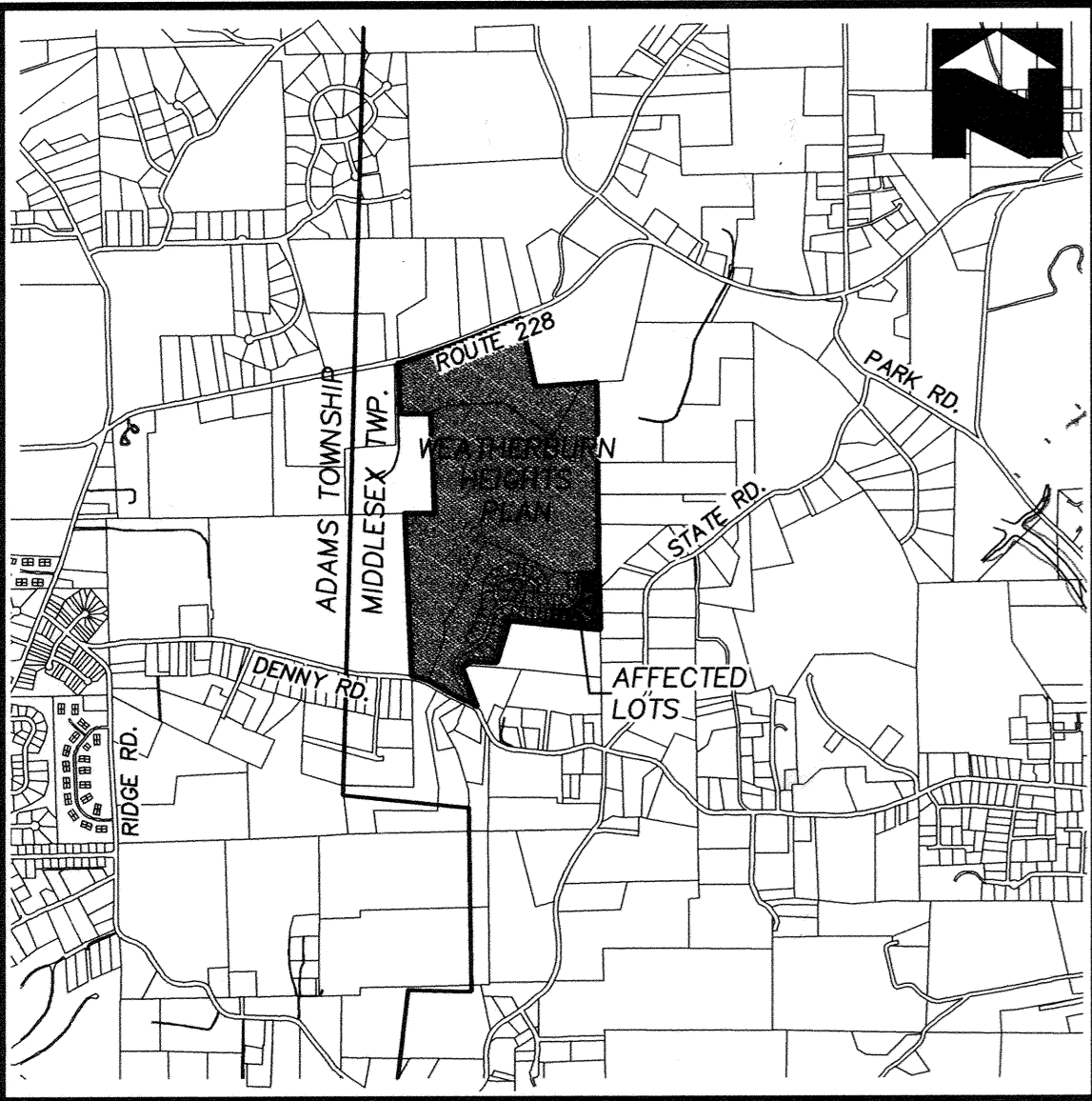
MARK	DATE	DESCRIPTION	BY

R.E. GAS DEVELOPMENT, LLC
STATE COLLEGE, PENNSYLVANIA

**CHEESEMAN METER STATION
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN**

SCALE: 1" = 50'

DATE: 11/16/11
PROJECT NO.: 112C03537
DESIGNED BY: ME
DRAWN BY: BH
CHECKED BY: ME
SHEET: 4 OF 4
COPYRIGHT TETRA TECH INC.
C-4



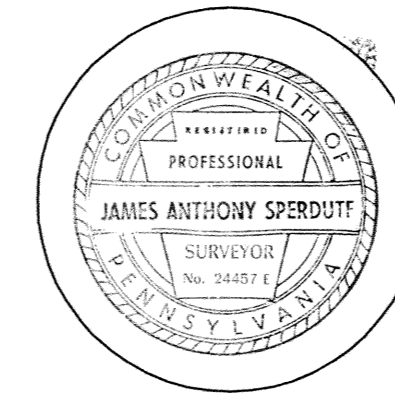
LOCATION MAP.....1" = 2000'

Instr. 2011020229783 12/02/2011
Page: 1 F 245 00 6:21PM
Michele Mustello
Butler County Recorder
10

I, JAMES A. SPERDUTE, R.S. DO HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THAT THE PLAN SHOWN HEREON CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME.

James A. Spurdute
JAMES A. SPERDUTE, R.S. 24457-E

10/25/11
DATE



SURVEYOR

THE GIGLIOTTI HOLDINGS, L.P., OWNERS OF THE LAND SHOWN ON THE WEATHERBURN HEIGHTS PRD REVISION NO. 1, HEREBY ADOPT THIS PLAN AS OUR PLAN OF LOTS AND IRREVOCABLY DEDICATE ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION TO THE PUBLIC. ANY FUTURE ACCEPTANCE OF SAID PUBLIC STREETS OR PROPERTY BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF MIDDLESEX, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF MIDDLESEX, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC STREETS OR PROPERTY AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON OUR HEIRS, EXECUTORS AND ASSIGNS.

Dominic Gigliotti
PRINTED NAME

Dominic Gigliotti
SIGNATURE OF GENERAL PARTNER

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED **Dominic Gigliotti**, AND ACKNOWLEDGED THE FOREGOING ADOPTION, DEDICATION AND PLAN TO BE THEIR ACT AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS **31st** DAY OF **October**, 2011

MY COMMISSION EXPIRES THE **15th** DAY OF **December**, 2014

Timothy A. Piper
NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA
Notarial Seal
Timothy A. Piper, Notary Public
Pine Twp., Allegheny County
My Commission Expires Dec. 15, 2014
MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES
NOTARY PUBLIC

I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE WEATHERBURN HEIGHTS PRD REVISION NO. 1 PLAN IS IN THE NAME OF GIGLIOTTI HOLDINGS, L.P. AND IS RECORDED AT INSTRUMENT NO.'S 200810010022290, 200810010022291 & 200810010022292.

Timothy A. Piper
SIGNATURE OF WITNESS

Dominic Gigliotti
SIGNATURE OF OWNER

Dollar Bank P.S.B. MORTGAGEE OF THE PROPERTY CONTAINED IN THE WEATHERBURN HEIGHTS PRD REVISION NO. 1 PLAN CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

Maguire M. Davis
SIGNATURE OF WITNESS

Maguire M. Davis v.p.
NAME, TITLE & MORTGAGEE

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF MIDDLESEX HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

[Signature]
SECRETARY

[Signature]
CHAIRMAN, BOARD OF SUPERVISORS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX BY RESOLUTION NO. 19 OF 2011 EFFECTIVE THIS **1st** DAY OF **December**, 2011

[Signature]
SECRETARY

[Signature]
CHAIRMAN, BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF MIDDLESEX, THIS **1st** DAY OF **December**, 2011

[Signature]
SECRETARY

[Signature]
CHAIRMAN, PLANNING COMMISSION

John Rusnak REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER OF THE TOWNSHIP OF MIDDLESEX, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

[Signature] 044023-E
NAME & REGISTRATION NO.

11-11-11
DATE

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS **20th** DAY OF **July**, 2011

[Signature]
SECRETARY

[Signature]
CHAIRMAN, PLANNING COMMISSION

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC., OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA IN PLAN BOOK **327** PAGE(S) **13**

GIVEN UNDER MY HAND AND SEAL THIS **2nd** DAY OF **December**, 2011

MICHELE M. MUSTELLO
RECORDER OF DEEDS

Michele M. Mustello
RECORDER OF DEEDS

My Commission Expires First Monday In Jan 2012

WEATHERBURN HEIGHTS PRD - REVISION No. 1

BEING A REVISION TO
LOTS 115 through 122 OF THE
WEATHERBURN HEIGHTS PRD
PHASE 1A SUBDIVISION PLAN
RECORDED IN PBV 317 PAGES 30-37

MIDDLESEX TOWNSHIP
BUTLER COUNTY, PENNSYLVANIA

SPERDUTE
LAND SURVEYING
JAMES A. SPERDUTE, R.S.
108 DEER LANE
HARMONY, PA 16037
724-452-4362
724-452-9357 FAX
pasurvey@gbzzoom.net

REVISIONS SHEET
10-12-11, ADD OPEN CHANNEL
EASEMENT, ADD LOTS 121 &
122

DRAWING SCALE: 1"=30' DATE: JUNE 1, 2011
DRAWING NUMBER: 1012-1110845 DRAWN BY: JSS CK'D BY: JAS

RECORDED DEC. 2, 2011
PLAN BOOK PAGE
327 13

TABLE OF ZONING REQUIREMENTS: PRD - PLANNED RESIDENTIAL DEVELOPMENT				
MINIMUM LOT SIZE :	9,000 SQ.FT. (0.206 AC.)			
MINIMUM LOT WIDTH :	75.00 FEET (AT BUILDING LINE)			
MINIMUM FRONT BUILDING LINE :	20.00 FEET			
MINIMUM REAR SETBACK :	10.00 FEET			
MINIMUM SIDE SETBACK :	10.00 FEET			

PROPERTY OWNERS:

GIGLIOTTI HOLDINGS, L.P.
11279 PERRY HIGHWAY
SUITE 509
PITTSBURGH, PA 15220-3434

GENERAL PLAN NOTES:

NOTE "A"

THE PURPOSE OF THIS PLAN IS TO: (A) - CREATE A 10 FOOT WIDE PRIVATE DRAINAGE EASEMENT ACROSS LOTS 115 THROUGH 120 AT THE TOE OF THE EXISTING SLOPE. (B) - CREATE A 15 FOOT WIDE OPEN CHANNEL DRAINAGE EASEMENT ALONG THE EXISTING DRAINAGE CHANNEL AT THE TOP OF THE SLOPE ACROSS LOTS 115 THROUGH 120. (C) - TO CREATE A VARIABLE WITH DRAINAGE EASEMENT ACROSS LOTS 121 & 122 THAT INCLUDES THE BOTH THE TOE OF THE EXISTING SLOPE AND THE EXISTING OPEN CHANNEL AT THE TOP OF THE SLOPE. NO ADDITIONAL BUILDING LOTS OR ALTERATIONS TO EXISTING LOT LINES ARE BEING PROPOSED BY THIS PLAN.

NOTE "B"

THE EXISTING 10 FOOT WIDE FIBER OPTIC LINE EASEMENT SHOWN WAS CREATED AFTER THE RECORDING OF THE WEATHERBURN HEIGHTS PRD PHASE 1A SUBDIVISION PLAN. THIS EASEMENT BELONGS TO GIGLIOTTI HOLDINGS, L.P. AND MCI COMMUNICATIONS SERVICES, INC. AS RECORDED AT INSTRUMENT NO. 201008310019460

NOTE "C"

ALL PROPERTIES BORDERING THE WEATHERBURN HEIGHTS DEVELOPMENT ARE CURRENTLY ZONED RURAL RESIDENTIAL (AG-A)

NOTE "D"

ALL PROPERTIES DIRECTLY ADJACENT TO THE AFFECTED LOTS ARE CURRENTLY USED FOR RESIDENTIAL PURPOSES.

PARCEL REFERENCES:

ORIGINAL LOT NO.	TAX PARCEL NO.	SQUARE FOOTAGE:	ACREAGE:
115	230-S16-A115	9,375.00 SQ.FT.	0.215 ACRE
116	230-S16-A116	11,977.53 SQ.FT.	0.275 ACRE
117	230-S16-A117	16,680.62 SQ.FT.	0.383 ACRE
118	230-S16-A118	29,342.69 SQ.FT.	0.674 ACRE
119	230-S16-A119	21,151.70 SQ.FT.	0.486 ACRE
120	230-S16-A120	14,945.92 SQ.FT.	0.343 ACRE
121	230-S16-A121	9,375.00 SQ.FT.	0.215 ACRE
122	230-S16-A122	9,375.00 SQ.FT.	0.215 ACRE

TOTAL AREA AFFECTED BY THIS REVISION: 2.806 ACRES

DOLLAR GENERAL
CENTER TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA
FINAL CONSTRUCTION PLANS

DEVELOPER/OWNER

GBT REALTY CORPORATION
201 SUMMIT VIEW DRIVE, STE 110
BRENTWOOD, TN 37027

ENGINEER

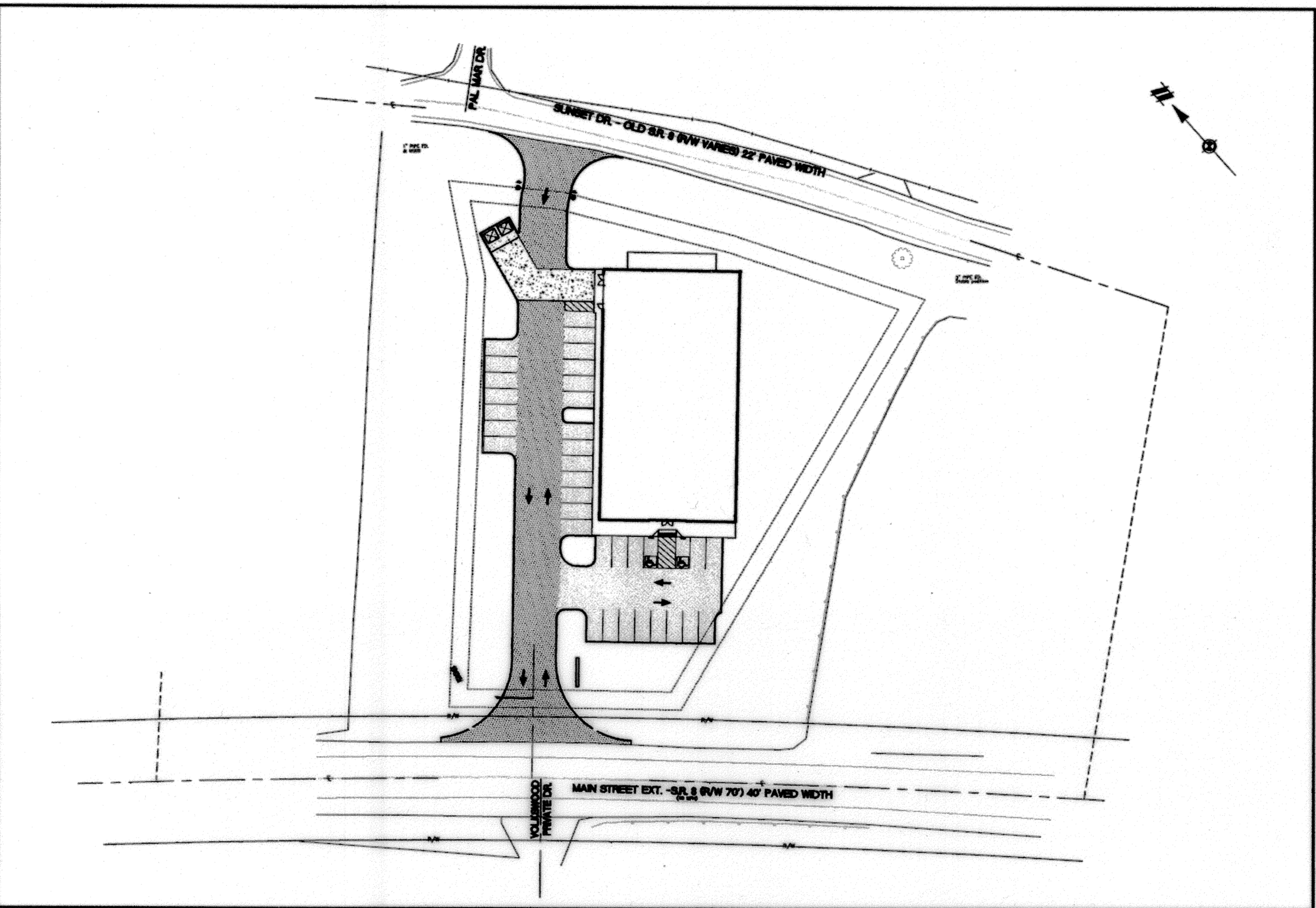
ATWELL, LLC
30575 BAINBRIDGE RD, SUITE 180
SOLON, OH 44139
PHONE: (440) 349-2000
FAX: (440) 349-2028

ARCHITECT

MJM ARCHITECTS
105 BROADWAY, SUITE 4
NASHVILLE, TENNESSEE 37201
(615) 244-8170 PHONE

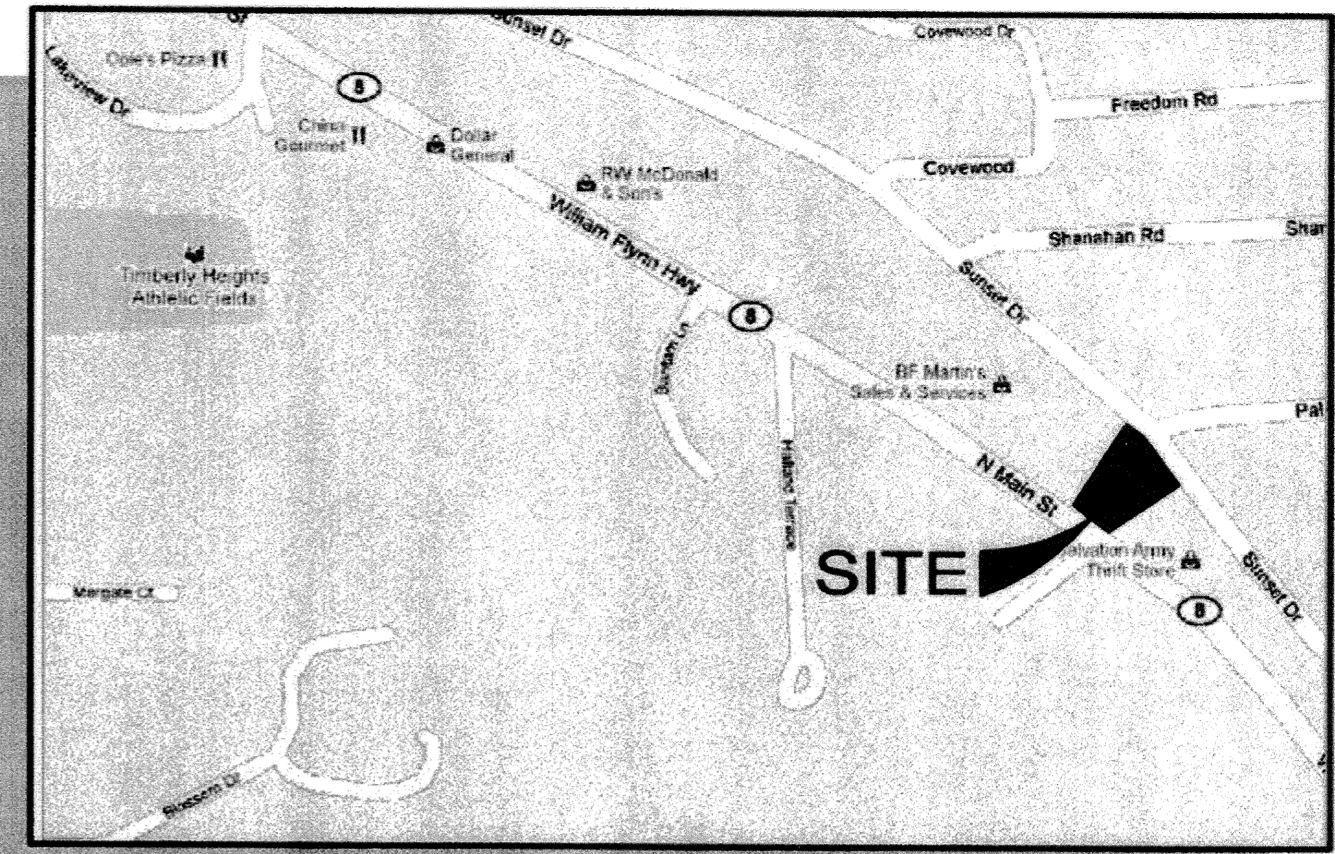
PROJECT PLAN

THIS SITE IS ± 1.73 AC. LOCATED BETWEEN MAIN STREET (SR 8) AND SUNSET DR NEAR CENTER TOWNSHIP IN BUTLER COUNTY, PENNSYLVANIA. THIS SITE IS VACANT. THE PROPOSED DOLLAR GENERAL STORE IS A 10,566 S.F. BUILDING AND WILL BE SERVICED BY MUNICIPAL SANITARY AND WATER SERVICE.



OVERALL DEVELOPMENT MAP

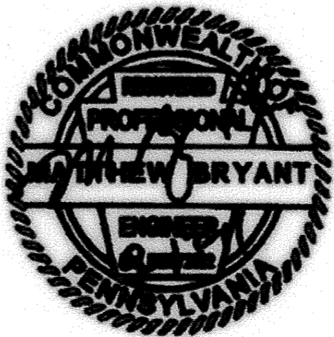
SCALE: 1" = 50'



VICINITY MAP
(NO SCALE)

SHEET INDEX

SHEET NO.	DESCRIPTION
C-1	COVER SHEET
C-1A	SIGNATURE SHEET
C-2	EXISTING CONDITIONS & DEMOLITION PLAN
C-3	LAYOUT PLAN
C-4	UTILITY PLAN
C-5	GRADING PLAN
C-6	EROSION AND SEDIMENT CONTROL STORM WATER POLLUTION PREVENTION PLAN
C-6A	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
C-7	STORM WATER POLLUTION PREVENTION DETAILS
C-8	DETAILS
C-9	DETAILS
C-10	LANDSCAPE PLAN
C-11	PHOTOMETRIC PLAN



SUBMITTED BY: Matthew W. Bryant, P.E. DATE: 9-13-11



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OR PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

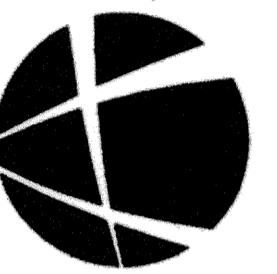
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RECORDED DEC. 6, 2011	
PLAN BOOK	PAGE
327	14

DOLLAR GENERAL

Land Development & Real Estate
Power & Energy
Telecommunications
Infrastructure & Transportation
Environmental & Solid Waste
Water & Natural Resources

ATWELL
866.850.4200 | www.atwell-group.com
OFFICES IN NORTH AMERICA AND ASIA
30575 BAINBRIDGE RD, SUITE 180
SOLON, OHIO 44139
440.349.2000



CENTER TOWNSHIP
BUTLER COUNTY, PENNSYLVANIA

CLIENT
GBT REALTY CORP.
COVER SHEET

DATE
SEPTEMBER 12, 2011

REVISIONS



SCALE 0 10 20
1" = 20 FEET
DR. --- CH. ---

P.M. BBORON
BOOK ---
CAD FILE:
11001410-SF-01-CV
JOB 11001410
FILE CODE: CD
SHEET NO.
C-1

TOWNSHIP OF CENTER
419 SUNSET DRIVE, BUTLER, PA 16001
TELEPHONE (724) 282-7805
OWNERS ADOPTION

Know All Men By These Presents, that (I or We) _____ of the _____
(City, Borough, Township) of _____, County of _____, Commonwealth
of (or State) _____, for (myself, ourselves), (my, our) heirs, executors, administrators and assign, do
hereby adopt this as (my, our) Plan of Subdivision of (my, our) property, situated in the Township of Center, County of
Butler, Commonwealth of Pennsylvania, and for divers advantages accruing to (me, us) do hereby dedicate forever,
for public use for highway, drainage, sewage and utility purposes, all drives, roads, lands, rights-of-way, easements,
ways and other public ways shown upon the plan, with the same force and effect as if the same had been opened
through legal proceedings and in consideration of the approval of said plan and any future acceptance of said public
highways, rights-of-way and easements by said County of Butler or Township of Center (I or We) _____ hereby agree

(Name of Owner or Owners)
to and by these presents do release and forever discharge said County of Butler or said Township of Center, their
successors or assigns from any liability for damages arising and to arise from the appropriation of said ground for
public highways, and other public uses and the physical grading thereof to any grades that may be established. This
dedication and release shall be binding upon _____ and
assigns and purchasers of lots in this plan. (Name of Owner or Owners)

IN WITNESS WHEREOF, (I or We) hereunto set (my, our) hands(s) and seal(s) this _____ day of _____,
A.D. 20____.

ATTEST:

(Owner or Owners)

(Owner or Owners)

The foregoing adoption and dedication is made by _____
(Name of Individual)

with the full understanding and agreement that _____
(Owner or Owners)
the approval of the Board of Supervisors of the Township of Center, if hereto attached, will become null and void
unless this plan is recorded in the Recorder of Deeds Office of Butler County, County Courthouse, Butler
Pennsylvania within ninety (90) days of said approval.

(SEAL)

TOWNSHIP OF CENTER
419 SUNSET DRIVE, BUTLER, PA 16001
TELEPHONE (724) 282-7805

INDIVIDUAL ACKNOWLEDGMENT

COMMONWEALTH OF PENNSYLVANIA; } ss:
COUNTY OF BUTLER }

Before me, the subscriber, a Notary Public in and for said County and Commonwealth, personally appeared the
above named _____
(Owner or Owners)
who acknowledged the foregoing release and dedication and plan of subdivision to be (his, her, their) act and deed
and desired the same to be recorded as such:

WITNESS MY HAND AND NOTARIAL SEAL this _____ day of _____, 20____.

(Notary Public) (SEAL)

My Commission Expires the _____ day of _____, 20____.

TOWNSHIP OF CENTER
419 SUNSET DRIVE, BUTLER, PA 16001
TELEPHONE (724) 282-7805
BUTLER COUNTY PLANNING COMMISSION REVIEW

KNOW ALL MEN BY THESE PRESENTS:

That Butler DPPV, LLC, by virtue of a Resolution
_____ (Name of Corporation)
of the Board of Directors, thereof does hereby adopt this as its Plan of Subdivision of its Property situate in the
Township of Center, County of Butler, Commonwealth of Pennsylvania, and for divers advantages accruing to it,
does hereby dedicate forever, for public use for highway, drainage, sewage and utility purposes, all drives, roads,
streets, lanes, rights-of-way, easements, ways and other public ways shown upon the plan, with the same force and
effect as if the same had been opened through legal proceedings and in consideration of the approval of said plan
and any future acceptance of said public highways, rights-of-way and easements by said County of Butler or
Township of Center Butler DPPV, LLC hereby covenants and
(Name of Corporation)

agrees to and by these presents does release and forever discharge said County of Butler or said Township of
Center, their successors or assigns from any liability for damages arising and to arise from the appropriation of said
ground for public highways and other public uses and the physical grading thereof to any grades that may be
established. This dedication and release shall be binding upon Butler DPPV, LLC its
(Name of Corporation)

successors and assigns and purchasers of lots in this plan.

In Witness whereof, the said Corporation has caused its Corporate Seal to be affixed by the hand of its President
and same to be attested by its secretary, this _____ day of _____, A.D. 20____.

Butler DPPV, LLC (SEAL)
By: Butler Texas Properties V, LLC, Sole Member

ATTEST: Joe Moore (SEAL) Butler DPPV, LLC (SEAL)
(Secretary) (President)

The foregoing Adoption and Dedication is made by Butler DPPV, LLC
(Name of Corporation)

with full understanding and agreement that the approval of the Board of Supervisors of the Township of Center, if
hereto attached, will become null and void unless this plan is recorded in the Recorder of Deeds of Butler County,
Courthouse, Butler, Pennsylvania, within ninety (90) days of date of said approval.

Butler DPPV, LLC (SEAL)
(Name of Corporation)

Butler Texas Properties V, LLC, Sole Member (SEAL)
(President)

TOWNSHIP OF CENTER
419 SUNSET DRIVE, BUTLER, PA 16001
TELEPHONE (724) 282-7805
CORPORATION ACKNOWLEDGMENT

State of Tennessee
COMMONWEALTH OF PENNSYLVANIA; } ss:
COUNTY OF BUTLER }

On this _____ day of _____, A.D. 20____, before me, a Notary Public in and for said County and
Commonwealth, personally appeared

George B. Tomlin, President, Dollar Texas Properties V, LLC, Sole Member
(Name and Title of Officer)
of Butler DPPV, LLC
(Name of Corporation)

who being duly sworn, deposeth and saith that he was personally present at the execution of the adoption, release
and dedication and saw the common and corporate seal of the said Corporation duly signed and sealed by and as
for the act and deed of the said Butler DPPV, LLC
(Name of Corporation)

for the uses and purposes therein mentioned, and that the name of this deponent subscribed to the said release and
dedication as President of Dollar Texas Properties V, LLC, Sole Member of
(Title of Officer)

of Butler DPPV, LLC
(Name of Corporation)

due execution and delivery of said release and dedication of this deponent's own and proper and respective
handwriting.

George B. Tomlin (SEAL)
(Name of Officer)

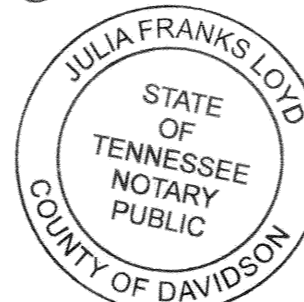
President of Dollar Texas Properties V, LLC, Sole Member
(Title of Officer)

Sworn to and subscribed before me the day and date above written.

WITNESS MY HAND AND NOTARIAL SEAL this _____ day of _____, 20____.

Julia Franks Loyd (SEAL)
(Notary Public)

My commission expires the _____ day of _____, A.D. 20____.



TOWNSHIP OF CENTER
419 SUNSET DRIVE, BUTLER, PA 16001
TELEPHONE (724) 282-7805

BUTLER COUNTY PLANNING COMMISSION REVIEW

ACKNOWLEDGMENTS

The following acknowledgments should be used on subdivision plans for municipalities with adopted subdivision
ordinance:

1-Lot Subdivision

Reviewed with comments by the Butler County Planning Commission. Letter to Center Township Board of
Supervisors dated this _____ day of _____, 20____.

Multi-Lot Subdivision

Reviewed with comments by the Butler County Planning Commission at a meeting held this _____ day of _____,
20____. Letter to Center Township Board of Supervisors, dated _____.

Sic. Jeane Hines Chair. Frank E. Uhl
Dec. 6, 2011

PROOF OF RECORDING

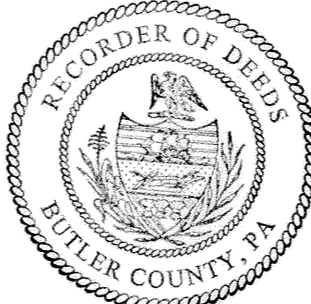
COMMONWEALTH OF PENNSYLVANIA; } ss:
COUNTY OF BUTLER }

Recorded in the office for the recording of deeds, plats, etc., in said County, in Plan Book Volume 327 Page 14-26

Given under my hand and seal this _____ day of _____, 20____.

Michele M. Mustello
(Recorder of Deeds)

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in Jan 2012



TOWNSHIP OF CENTER
419 SUNSET DRIVE, BUTLER, PA 16001
TELEPHONE (724) 282-7805

TOWNSHIP PLANNING COMMISSION APPROVAL

This plat of subdivision has been approved by the Planning Commission of the Township of Center, Butler County,
Pennsylvania on this _____ day of _____, 20____.

ATTEST: Robert J. Boush (Secretary) James J. Spenshield (Chairman)

APPROVAL BY TOWNSHIP OF CENTER

The Board of Supervisors of the Township of Center, Butler County, Pennsylvania, hereby gives public notice that it
is approving this plan of subdivision for recording purposes only. The approval of this subdivision plat by the
Township of Center does not constitute an acceptance of the roads, streets, alleys, storm water and sanitary sewage
drainage facilities, easements or rights-of-way, water mains or any other services or improvements shown on this
plan nor an assumption of maintenance responsibility, nor will the same be accepted or maintained until constructed
in accordance with all Township Specifications and requirements and officially accepted by action of the Board of
Supervisors.

This plat of subdivision approved by resolution of the Board of Supervisors of the Township of Center, Butler County,
Pennsylvania on this _____ day of _____, 20____.

ATTEST: Matthew C. Bissett (Secretary of Board) John Schick (Chairman of Board)

SEAL:

TOWNSHIP OF CENTER
419 SUNSET DRIVE, BUTLER, PA 16001
TELEPHONE (724) 282-7805

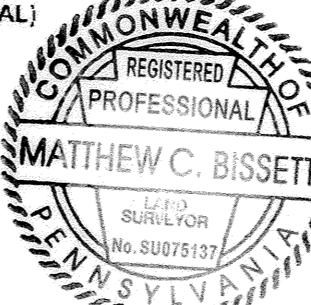
SURVEYOR'S CERTIFICATE

I, Matthew C. Bissett, a Registered Professional Land Surveyor of the
Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the lots, lands, streets, alleys
rights-of-way and highways as surveyed and plotted by me for the Owners, developers or agents.

(SEAL) Matthew C. Bissett (Surveyor)

66075137
(Registration Number)

11/27/11
(Date)



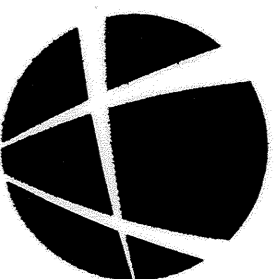
RECORDED DEC. 6, 2011

PLAN BOOK PAGE

327 15

Land Development & Real Estate
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Infrastructure & Transportation
Environmental & Solid Waste
Water & Natural Resources

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OFFICES IN NORTH AMERICA AND ASIA
30575 SANDHURST RD., SUITE 180
SAN JOSE, CA 95134
415.349.2000

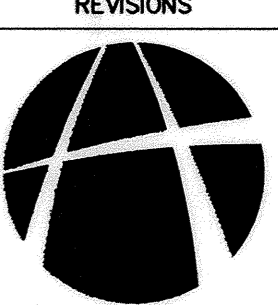


CENTER TOWNSHIP
BUTLER COUNTY, PENNSYLVANIA

GBT REALTY CORP.
SIGNATURE PAGE

DATE
SEPTEMBER 12, 2011

REVISIONS



SCALE 0 10 20

DR. -- CH. --
P.M. BBORON
BOOK --

CAD FILE:
11001410-SF-01A-SP

JOB 11001410

FILE CODE: CD

SHEET NO.

1A



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE
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BASIS OF BEARINGS:

BEARINGS ARE TO AN ASSUMED MERIDIAN AND USED TO DENOTE ANGLES ONLY

DATUM:

CANTER TOWNSHIP SEWER DISTRICT

BENCHMARK: NORTH RIM OF SANITARY MANHOLE 585

SURVEY REFERENCES:

1. SURVEY BY R. B. SHANNON & ASSOCIATES, INC. DATED FEBRUARY 11, 1986, AND RECORDED IN PLAN BOOK 114, PAGE 16 OF THE BUTLER COUNTY MAP RECORDS

2. PLAN OF SUBDIVISION FOR NICKLES AND BARBARA SPRYN AND BARNES PSP, INC. AS RECORDED IN PLAN BOOK 124, PAGE 38 OF THE BUTLER COUNTY MAP RECORDS.

3. PROPERTY SUBDIVISION FOR STEPHEN J. AND TAMMY ALLMAN RECORDED IN PLAN BOOK 124, PAGE 33 OF THE BUTLER COUNTY MAP RECORDS.

ZONING DESIGNATIONS:

DISTRICT: C1

BUILDING SETBACKS:

FRONT 50 FEET
SIDE 15 FEET
REAR 50 FEET

PARKING REQUIREMENTS:

MINIMUM SPACE SIZE: 9' X 18'
DRIVE AISLE WIDTH: 24'
5' PARKING SETBACK

LEGEND

12" A	EXISTING FENCE
8" A	EXIST. STORM SEWER
8" A	EXIST. MANHOLE
8" A	EXIST. CATCH BASIN/INLET
8" A	EXIST. SANITARY SEWER
8" A	EXIST. CLEANOUT
8" A	EXIST. WATER MAIN
8" A	EXIST. HYDRANT
8" A	EXIST. SHUTOFF OR CURB BOX
8" A	EXIST. GATE VALVE IN BOX
8" A	EXIST. OVERHEAD ELECTRIC
8" A	EXIST. UNDERGROUND ELECTRIC
8" A	EXIST. WATER METER
8" A	EXIST. WATER VALVE
8" A	EXIST. GAS LINE
8" A	EXIST. GAS RISER & MARKER
8" A	EXIST. GAS VALVE
8" A	EXIST. GAS METER
8" A	EXIST. LIGHT POLE
8" A	EXIST. UTILITY POLE
8" A	EXIST. GUY WIRE
8" A	EXIST. ELEC. METER
8" A	EXIST. BOLLARD / GUARD POST
8" A	EXIST. TELEPHONE BOX
8" A	EXIST. ANTENNA MOUNTED ON POLE
8" A	EXIST. AIR VENT
8" A	EXIST. CABLE TELEVISION BOX
8" A	EXIST. UNDERGROUND ELECTRIC
8" A	EXIST. UNDERGROUND TELEPHONE
8" A	EXIST. TRAFFIC SIGNAL BOX / POLE
8" A	EXIST. SIGN
8" A	EXIST. CONTOUR
8" A	EXIST. GUARD RAIL
8" A	EXIST. CURB AND GUTTER
8" A	EXIST. DECIDUOUS TREE
8" A	EXIST. CONIFEROUS TREE
8" A	EXIST. PARKING COUNT
8" A	PROPERTY LINE
8" A	CENTERLINE
8" A	RIGHT OF WAY
8" A	FOUND STEEL PIN
8" A	SET STEEL PIN
8" A	FOUND CONCRETE MONUMENT
8" A	FOUND STEEL PIN IN MONUMENT BOX
8" A	FOUND CONCRETE NAIL
8" A	SET PK NAIL
8" A	FORMERLY KNOWN AS
8" A	INST. NUMBER
8" A	RECORD INFORMATION
8" A	MEAS. INFORMATION
8" A	CALC. INFORMATION

UTILITIES CONTACTS:

PA ONE CALL TICKET NO. 2011-136-0181
CALL DATE: 05/16/2011

ARMSTRONG CABLE	724.482.4480
CENTURY LINK	724.283.1399
BUTLER SEWER AUTHORITY	724.287.2139
COLUMBIA GAS (EMLENTON)	724.758.5507
CENTER TOWNSHIP	724.282.7805
T W PHILLIPS GAS & OIL	724.602.2062
COLUMBIA GAS (ROCHESTER)	724.774.7708
WEST PENN POWER/ALLEGHENY POWER	724.283.2395
PENN. AMERICAN WATER	724.654.0555

FLOOD CERTIFICATION:

THE SUBJECT PREMISES IS LOCATED IN ZONE 'X'. AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN, AS SHOWN ON COMMUNITY PANEL NO. 4214170015B OF THE FEDERAL FLOOD INSURANCE RATE MAPS WITH AN EFFECTIVE DATE OF JUNE 19, 1989.

SURVEY NOTES:

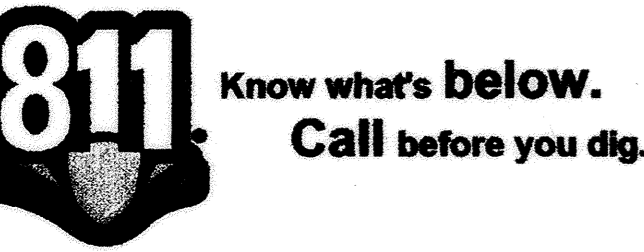
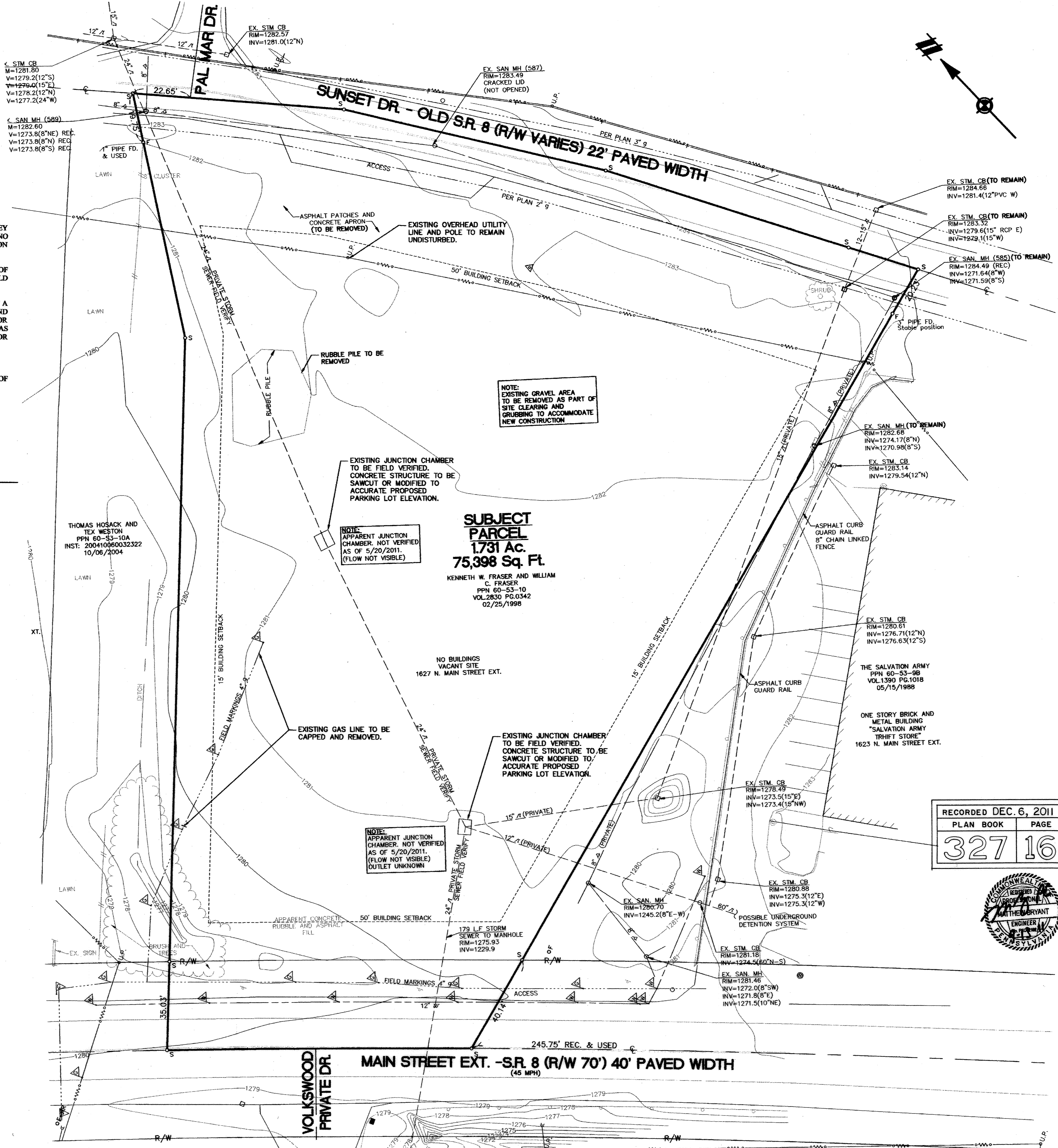
1. UNDERGROUND UTILITY INFORMATION SHOWN ON THIS SURVEY SHOULD BE VERIFIED BY CONTRACTOR. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR GUARANTEES THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES OR OTHER UNDERGROUND FEATURES.
2. THIS SURVEY REFLECTS EXISTING CONDITIONS AS TO THE DATE OF THE SURVEY ONLY. CHANGES MADE TO THE SITE AFTER THE FIELD SURVEY ARE NOT THE RESPONSIBILITY OF THE SURVEYOR.
3. THIS BOUNDARY SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH AND REPORT. EASEMENTS, RESTRICTIONS, AND COVENANTS MAY BURDEN TITLE TO THIS PARCEL, AND SURVEYOR ASSUMES NO RESPONSIBILITY FOR AND MAKES NO GUARANTEES AS TO THE ACCURACY OF ANY SHOWN EASEMENTS, RESTRICTIONS, OR COVENANTS.
4. SURVEY PERFORMED BY ATWELL, LLC, ON MAY 20, 2011.
5. JUNCTION CHAMBERS WERE UNABLE TO BE OPENED AT TIME OF SURVEY. PIPE SIZES, DIRECTIONS, AND DEPTHS SHOULD BE VERIFIED.
6. NO STRIPED PARKING ON SUBJECT PROPERTY.

GENERAL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING CONSTRUCTION FENCE, SIGNS, ETC. TO WARN AND KEEP PEOPLE OFF SITE OR THE DURATION OF THE PROJECT.

GENERAL DEMOLITION NOTES:

1. ALL WORK TO BE ACCOMPLISHED IN STRICT ACCORDANCE WITH ALL LOCAL ORDINANCES, CITY OR STATE.
2. WITHIN THE SUBJECT PROPERTY, THE INTENT IS TO HAVE A CLEAN, CLEAR SITE, FREE OF ALL EXISTING ITEMS NOTED TO BE REMOVED IN ORDER TO PERMIT THE CONSTRUCTION OF THE NEW PROJECT.
3. ALL ITEMS NOTED TO BE REMOVED SHALL BE DONE SO AS PART OF THE CONTRACT FOR GENERAL CONSTRUCTION.
4. REMOVE ALL UTILITIES TO EXISTING STRUCTURES TO ACCOMMODATE PROPOSED CONSTRUCTION. CUT AND CAP ALL UNDERGROUND LINES AT THE PROPERTY LINE UNLESS OTHERWISE NOTED. CONTACT ALL UTILITY COMPANIES PRIOR TO DISCONNECTION OR DEMOLITION.
5. REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALL UNDERGROUND ELEMENTS AS WELL INCLUDING, BUT NOT NECESSARILY LIMITED TO: FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, OLD PIPE, ETC TO ACCOMMODATE PROPOSED CONSTRUCTION.
6. BACKFILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK TO MEET THE REQUIREMENTS FOR FILL OUTLINED IN THE SOILS REPORT.
7. LIMITS OF REMOVAL SHOWN ON DEMOLITION PLAN ARE APPROXIMATE ONLY. ACTUAL QUANTITIES MAY VARY DUE TO CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION, REMOVAL AND RESTORATION WORK NECESSARY TO PERMIT CONSTRUCTION OF THE PROPOSED PROJECT.
8. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF THE TEMPORARY CONSTRUCTION FENCE IN THE FIELD WITH ALDI'S CONSTRUCTION PROJECT MANAGER.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND PROTECTION OF TRAFFIC THROUGHOUT CONSTRUCTION TO AND FROM THE ADJOINING TENANTS AND SHALL INSTALL TRAFFIC CONTROL DEVICES AND SIGNAGE AS NECESSARY IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
10. CONTRACTOR TO ESTABLISH ON SITE BENCH MARK PRIOR TO CONSTRUCTION COMMENCING NOTE.
11. CONTRACTOR IS REQUIRED TO OBTAIN AND REFER TO THE GEOTECHNICAL REPORT AND RECOMMENDATIONS FOR THIS PROJECT.



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:

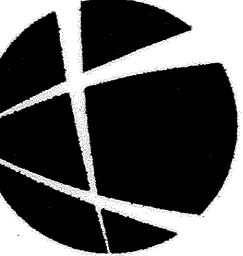
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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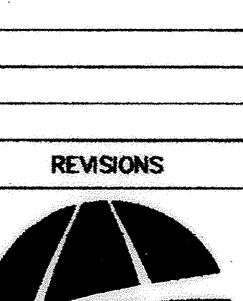


CENTER TOWNSHIP
BUTLER COUNTY, PENNSYLVANIA

EXISTING CONDITIONS & DEMOLITION PLAN

DATE: SEPTEMBER 12, 2011

RECORDED DEC. 6, 2011
PLAN BOOK 327 PAGE 16



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FILE CODE: CD
SHEET NO. C-2

LEGEND

	EXIST. STORM SEWER
	PROP. STORM SEWER
	EXIST. MANHOLE
	PROP. MANHOLE
	EXIST. EDGE DRAIN
	PROP. EDGE DRAIN
	EXIST. CATCH BASIN/INLET
	PROP. CATCH BASIN/INLET
	EXIST. SANITARY SEWER
	PROP. SANITARY SEWER
	EXIST. CLEANOUT
	PROP. CLEANOUT
	EXIST. WATER MAIN
	PROP. WATER MAIN
	EXIST. HYDRANT
	EXIST. POST INDICATOR VALVE
	PROP. POST INDICATOR VALVE
	EXIST. SHUTOFF OR CURB BOX
	PROP. SHUTOFF OR CURB BOX
	EXIST. GATE VALVE IN BOX
	PROP. GATE VALVE IN BOX
	EXIST. GATE VALVE IN MANHOLE
	PROP. GATE VALVE IN MANHOLE
	EXIST. OVERHEAD ELECTRIC
	PROP. OVERHEAD ELECTRIC
	EXIST. UNDERGROUND ELECTRIC
	PROP. UNDERGROUND ELECTRIC
	EXIST. LIGHT POLE
	PROP. LIGHT POLE
	EXIST. PRIVATE RD STREET LIGHT
	PROP. PRIVATE RD STREET LIGHT
	EXIST. UTILITY POLE
	PROP. UTILITY POLE
	EXIST. ELECTRIC TRANSFORMER
	PROP. ELECTRIC TRANSFORMER
	EXIST. OVERHEAD TELEPHONE
	PROP. OVERHEAD TELEPHONE
	EXIST. UNDERGROUND TELEPHONE
	PROP. UNDERGROUND TELEPHONE
	EXIST. GAS
	PROP. GAS
	EXIST. TELEPHONE RISER
	PROP. TELEPHONE RISER
	EXIST. CURB AND GUTTER
	PROP. CURB AND GUTTER
	CENTERLINE OF DITCH OR EDGE OF WATER
	EDGE OF WETLAND
	EXIST. FENCE
	PROP. FENCE
	EXIST. PROPERTY LINE
	PROP. PROPERTY LINE
	EXIST. GUARD RAIL
	PROP. GUARD RAIL
	EXIST. RAILROAD TRACK
	PROP. RAILROAD TRACK
	CENTERLINE
	EXIST. SIGN
	PROP. SIGN
	HANDICAPPED PARKING SPACE
	STOP BAR
	CONCRETE PAVEMENT
	ASPHALT PAVEMENT
	HEAVY-DUTY ASPHALT PAVEMENT
	AIR CONDITIONING

SITE NOTES

- DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- INSTRUCTIONAL SYMBOLS SHALL BE COLOR WHITE AND PARKING LOT STRIPING SHALL BE COLOR YELLOW.
- ACCESSIBLE PARKING, SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH PENNSYLVANIA BARRIER FREE STANDARDS.
- REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR SITE LIGHTING. POLE HEIGHT SHALL BE IN ACCORDANCE WITH LOCAL STANDARDS.
- CUSTOMER PARKING AREA MINIMUM SLOPE 1.0% AND MAXIMUM SLOPE 3.5%.
- ACCESSIBLE PARKING, SIGNAGE, WARNING STRIPES AND STRIPING SHALL BE IN ACCORDANCE WITH CURRENT ADA STANDARDS FOR ACCESSIBLE DESIGN.
- SEE ARCHITECTURAL DRAWINGS FOR SITE LIGHTING INFORMATION.
- ACCESSIBLE PARKING, SIGNAGE, AND STRIPING SHALL BE IN ACCORDANCE WITH ADA STANDARDS FOR ACCESSIBLE DESIGN.
- CUSTOMER PARKING AREA MINIMUM SLOPE 1.0% AND MAXIMUM SLOPE 3.5%.

STRIPING LEGEND

YELLOW CURBING AND BOLLARDS - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY AND METAL SURFACES FREE OF HEAVY RUST 2 COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKID ENAMEL SAFETY YELLOW B55Y300
STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY, TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT YELLOW IM5495
HANDICAP STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY, TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT "H.C." BLUE

PUBLIC UTILITIES

UTILITY	UTILITY OWNER	AVAILABLE
WATER	PENNSYLVANIAN AMERICAN WATER	YES
SANITARY	BUTLER SEWER AUTHORITY	YES
STORM	COUNTY-WIDE STORMWATER MANAGEMENT PLAN	N/A
ELECTRIC	NORTHWESTERN RURAL ELECTRIC COMPANY	YES
TELEPHONE	WINDSTREAM 1-800-328-5607 EXT. 2289 P.O.C.: NIKKI	YES
GAS	NATIONAL FUEL	NO

ZONING INFORMATION

LOCATION: STATE HIGHWAY 8			
ZONE: N/A			
USE: DOLLAR GENERAL			
ITEM #	ITEM	REQUIREMENTS	PROPOSED
1	MINIMUM FRONT SETBACK	50	N/A
2	MINIMUM SIDE SETBACK	15	N/A
3	MINIMUM REAR SETBACK	N/A	N/A

PARKING INFORMATION

ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	PARKING REQUIRED BY CITY	NONE	35 SPACES	NO
2	MINIMUM PARKING STALL SIZE	9x20	9x20	NO
3	MINIMUM AISLE WIDTH	NOT SPECIFIED	36 FEET	NO
4	PARKING AREA/PAVEMENT AREA	NONE	18,000 SF	NO



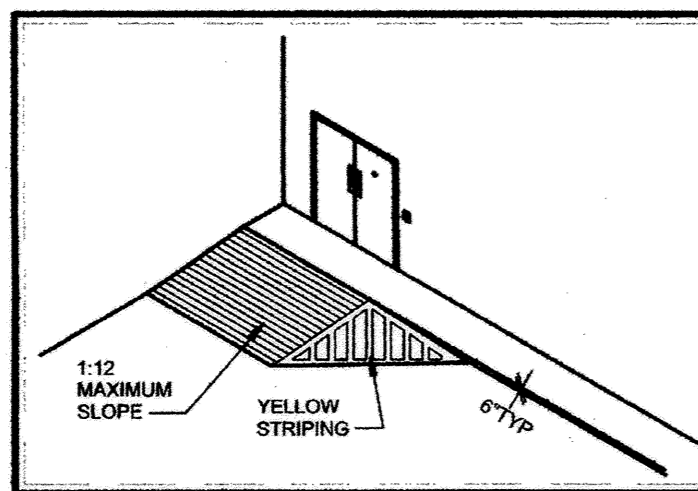
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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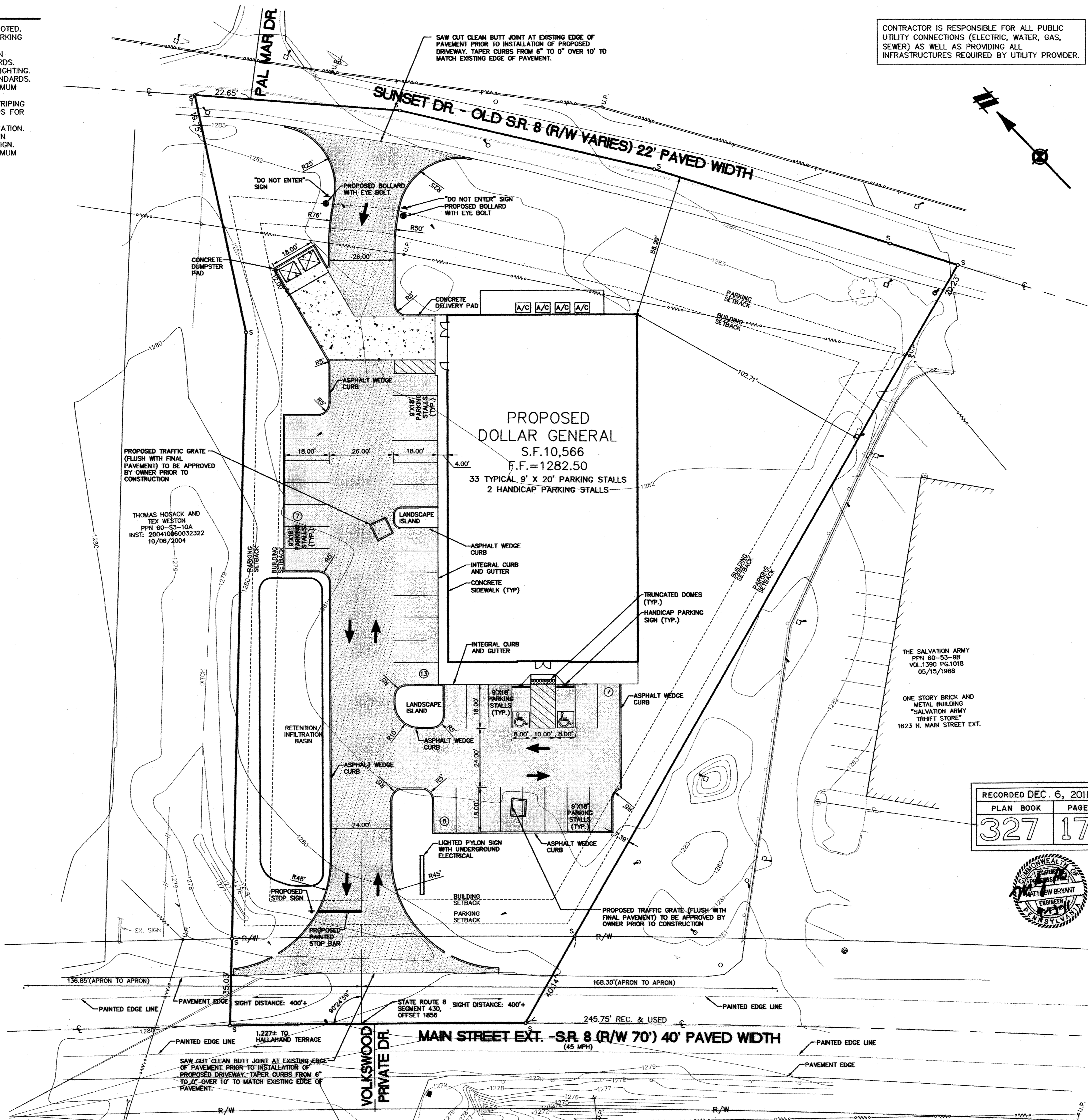
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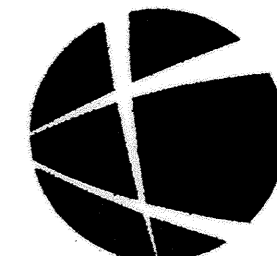
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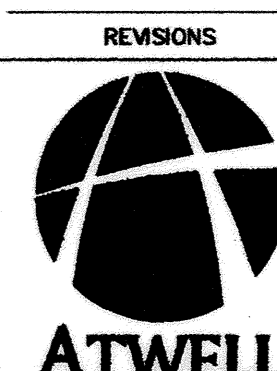


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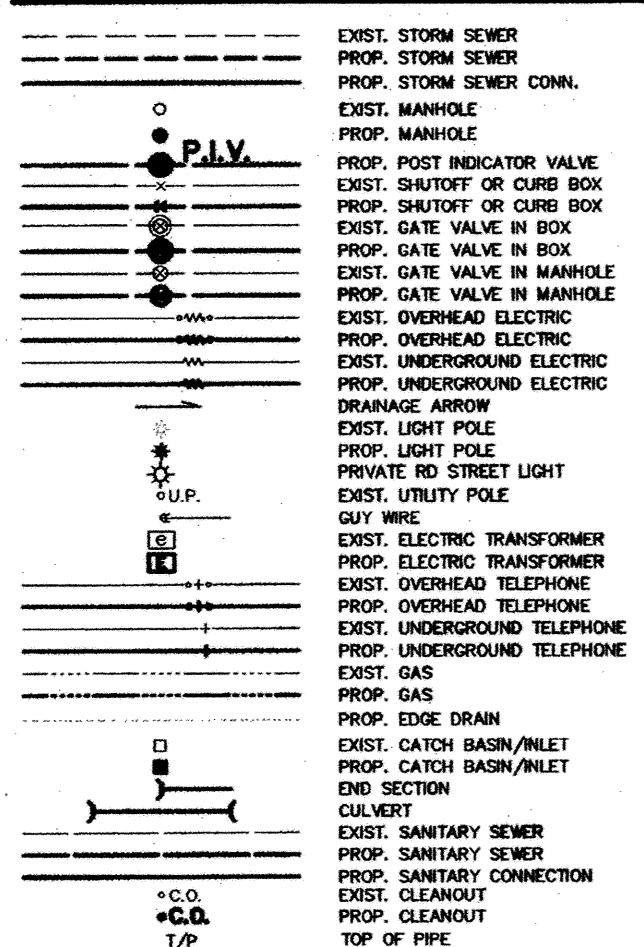
LAYOUT PLAN

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JOB: 11001410
FILE CODE: CD
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LEGEND



UTILITY CONTACTS

GAS
GEN KOABLER
1.W.PHILLIPS
724-287-2751

WATER
SANDY SHEPPARD
PENN AMERICAN WATER
724-287-1636

SANITARY
JIM TOMAZICH
BUTLER SEWER AUTHORITY
724-282-1976

ELECTRIC
DAVE BARTRUC
ALLEGHENY POWER
866-523-4081

PHONE
BRAD LAVERRE
EMBARQ
724-284-8429

GENERAL UTILITY NOTES:

1. PROPER COORDINATION WITH THE RESPECTIVE UTILITY COMPANIES SHALL BE PERFORMED BY THE CONTRACTOR TO INSURE THAT ALL UTILITY COMPANIES, LOCAL MUNICIPALITY, AND LOCAL COUNTY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES, PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT PA ONE AND 811 CALL BEFORE YOU DIG AT LEAST 72 HOURS BEFORE START OF WORK AND VERIFY ALL EXISTING UTILITY LOCATIONS.
3. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS EXISTING UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE CONSTRUCTION MANAGER IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
4. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS AND MAIN AND SERVICE RELOCATIONS. THE CONTRACTOR SHALL COORDINATE THE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL SECURE ALL PERMITS AND PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION, AS NECESSARY.
5. RELOCATION OF ANY UTILITY COMPANY FACILITIES TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY AND LOCAL MUNICIPALITY OR AGENCY.
6. THE CONTRACTOR SHALL COMPACT PIPE BACKFILL PER GEOTECHNICAL ENGINEERING REPORT AND RECOMMENDATIONS, ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION.
7. CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC. AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING/CANOPY SUB-OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADS, TO STORM DRAINAGE SYSTEM, AND TO SANITARY SYSTEM.
8. UTILITY CONDUIT PIPE SHALL BE SCHEDULE 80 PVC AND/OR AS REQUIRED BY THE LOCAL UTILITY COMPANY. SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 12" CLEAR SPACE BETWEEN SERVICES. MINIMUM COVER SHALL BE 36" ON ELECTRIC CONDUITS AND 24" ON TELEPHONE AND CABLE CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS.
9. UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION PRIOR TO APPROVAL FOR BACKFILL, IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY, LOCAL MUNICIPALITY, AND/OR LOCAL COUNTY REQUIREMENTS.
10. THE CONTRACTOR SHALL RESTORE ANY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. DISTURBED DURING CONSTRUCTION TO THE ORIGINAL CONDITION OR BETTER.
11. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MATERIALS AND STRUCTURES TO THE CONSTRUCTION MANAGER AND ARCHITECT/ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION, OR INSTALLATION.
12. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF WATER MAINS & SERVICES TO A POINT 5' OUTSIDE OF EACH BUILDING. THE INDIVIDUAL BUILDING CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CONNECTIONS TO INTERIOR PLUMBING.

STORM SEWER CALCULATIONS

Line Length (ft)	Inlet Area (sq ft)	Total Area (sq ft)	Runoff Conc (C)	Inlet Conc (C)	Total Conc (C)	Inlet Time (min)	Runoff Time (min)	Total Time (min)	Inlet Flow (cfs)	Runoff Flow (cfs)	Total Flow (cfs)	Capacity (cfs)	Velocity (ft/s)	Pipe Size (in)	Pipe Slope (%)	Inlet Elev (ft)	Runoff Elev (ft)	Total Elev (ft)	Ground Elev (ft)	Ground Slope (ft/ft)	Line ID
23,000	0.18	0.00	0.90	0.16	0.00	15.0	0.0	0.0	0.00	0.00	0.00	0.00	0.00	12	0.44	1274.00	1274.10	1274.50	1278.00	1280.65	R3 to Outfall
106,000	0.26	0.00	0.90	0.23	0.00	15.0	0.0	0.0	0.00	0.00	0.00	0.00	0.00	12	0.44	1276.05	1276.52	1276.35	1276.82	1280.65	R2 to R3
110,000	0.14	0.00	0.20	0.03	0.00	15.0	0.0	0.0	0.00	0.00	0.00	0.00	0.00	12	0.44	1276.52	1277.00	1276.90	1277.13	1280.65	R1 to R2
76,000	0.20	0.00	0.90	0.18	0.00	15.0	0.0	0.0	0.00	0.00	0.00	0.00	0.00	12	0.44	1276.52	1276.84	1276.83	1277.16	1280.65	R4 to R3

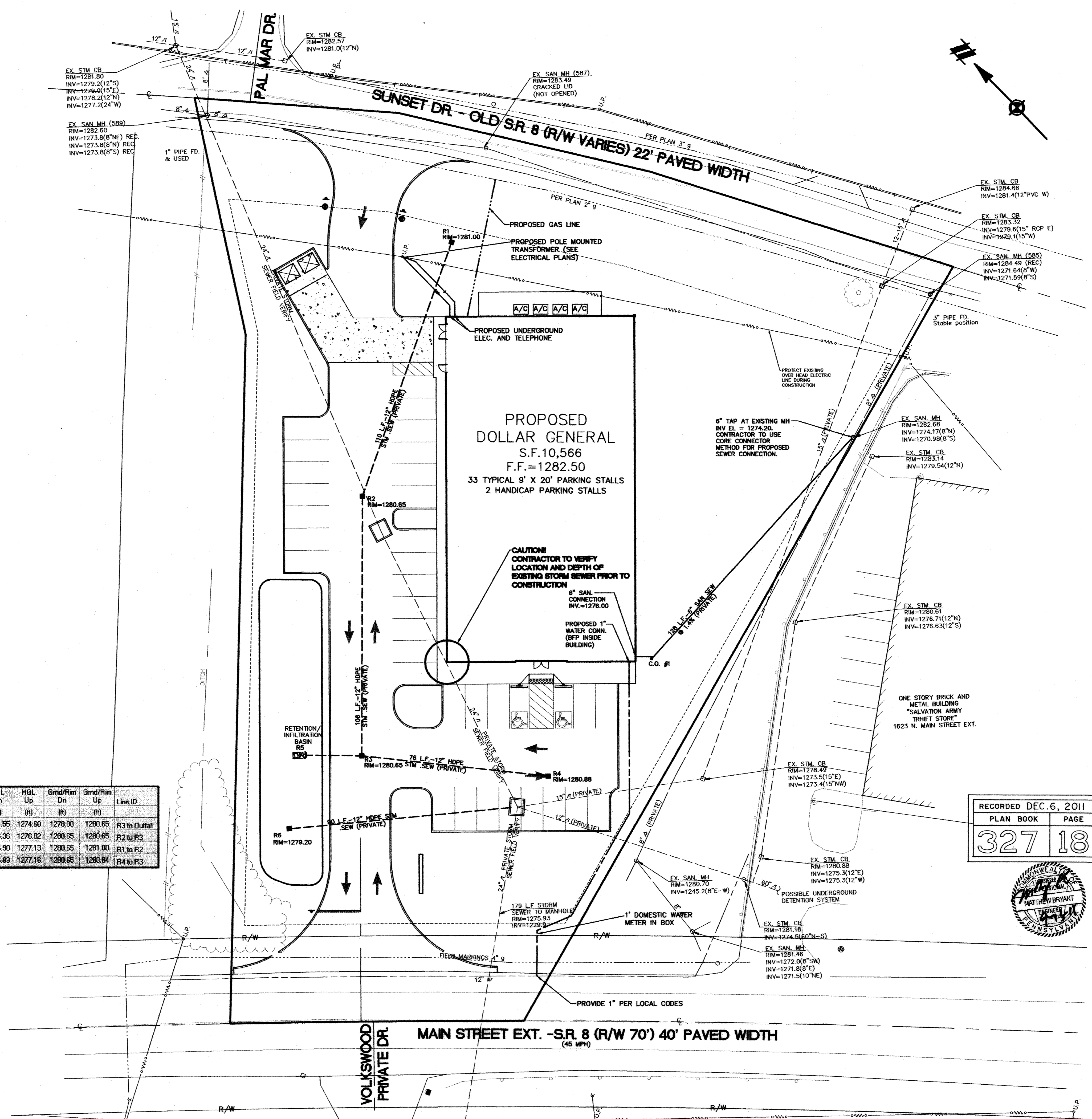


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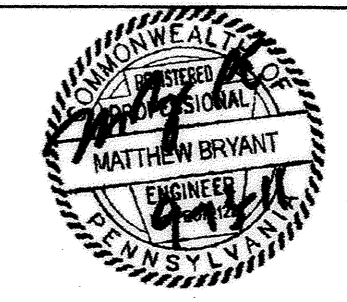
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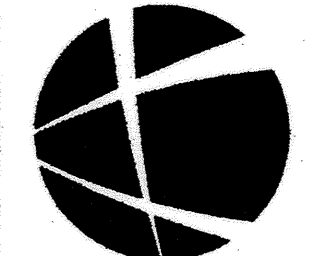


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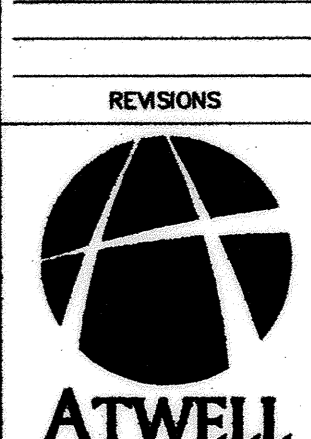


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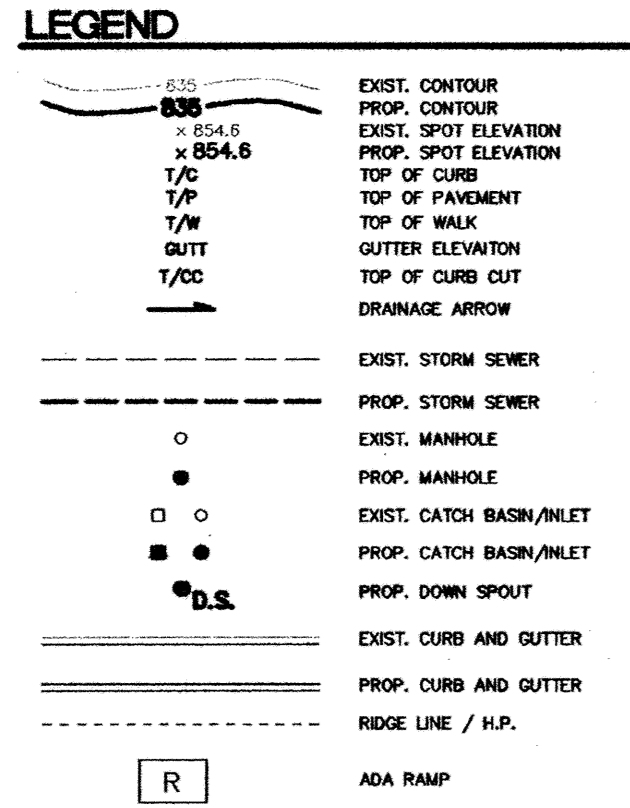
UTILITY PLAN

DATE
SEPTEMBER 12, 2011

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SITE GRADING NOTES

1. TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
2. EXISTING AND PROPOSED GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. PERMANENT BENCHMARKS SHALL BE ESTABLISHED ON-SITE PRIOR TO CLEARING AND DEMOLITION.
5. DURING THE CONSTRUCTION PROCESS, PAVEMENT SHALL BE MAINTAINED FREE OF DIRT, SILT, AND CONSTRUCTION DEBRIS. PROPER DUST CONTROL SHALL BE MAINTAINED DURING CONSTRUCTION BY USE OF WATER TRUCKS AND/OR CHLORIDE AS REQUIRED.
6. CONSTRUCTION STAGING ACTIVITIES SHALL OCCUR WITHIN THE SITE BOUNDARIES.
7. CONTRACTOR IS RESPONSIBLE FOR UNDERCUTTING EXISTING POOR SOIL AND REPLACING WITH APPROVED FILL PER GEOTECHNICAL ENGINEERS REPORT, RECOMMENDATION, AND DIRECTION. CONTRACTOR IS REQUIRED TO OBTAIN A COPY OF THE GEOTECHNICAL ENGINEERING REPORT.
8. CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
9. SPOT ELEVATIONS ARE SHOWN TO TOP OF PAVEMENT/EDGE OF METAL, UNLESS OTHERWISE NOTED.
10. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
11. UN-SURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL SEED AND MAINTAIN DISTURBED AREAS IN ACCORDANCE WITH CITY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
12. ALL WALKS TO MEET ADA CURRENT REQUIREMENTS AND ALL CROSS SLOPES TO BE A MAXIMUM OF 2%.
13. ALL PARKING GRADES TO BE A 3.5% SLOPE OR LESS.
14. ALL EXCESS SOIL AND MATERIAL (SUITABLE OR UNSUITABLE) TO BE CONTRACTORS PROPERTY AND RESPONSIBILITY ALSO TO BE REMOVED OFF-SITE OF PROJECT PROPERTY.
15. CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE GEO TECHNICAL ENGINEERING REPORT AND FOLLOW THE RECOMMENDATIONS, AND DEPICTION OF THE REPORT AND FIELD DIRECTION OF THE GEOTECHNICAL ENGINEER.

FLOOD CERTIFICATION:

THE SUBJECT PREMISES IS LOCATED IN ZONE 'X'. AREAS DETERMINED TO BE OUTSIDE OF THE 500 YEAR FLOOD-PLAIN AS SHOWN ON COMMUNITY PANEL NO. 421417 0015B OF THE FEDERAL FLOOD INSURANCE RATE MAPS WITH AN EFFECTIVE DATE OF JUNE 19, 1989.

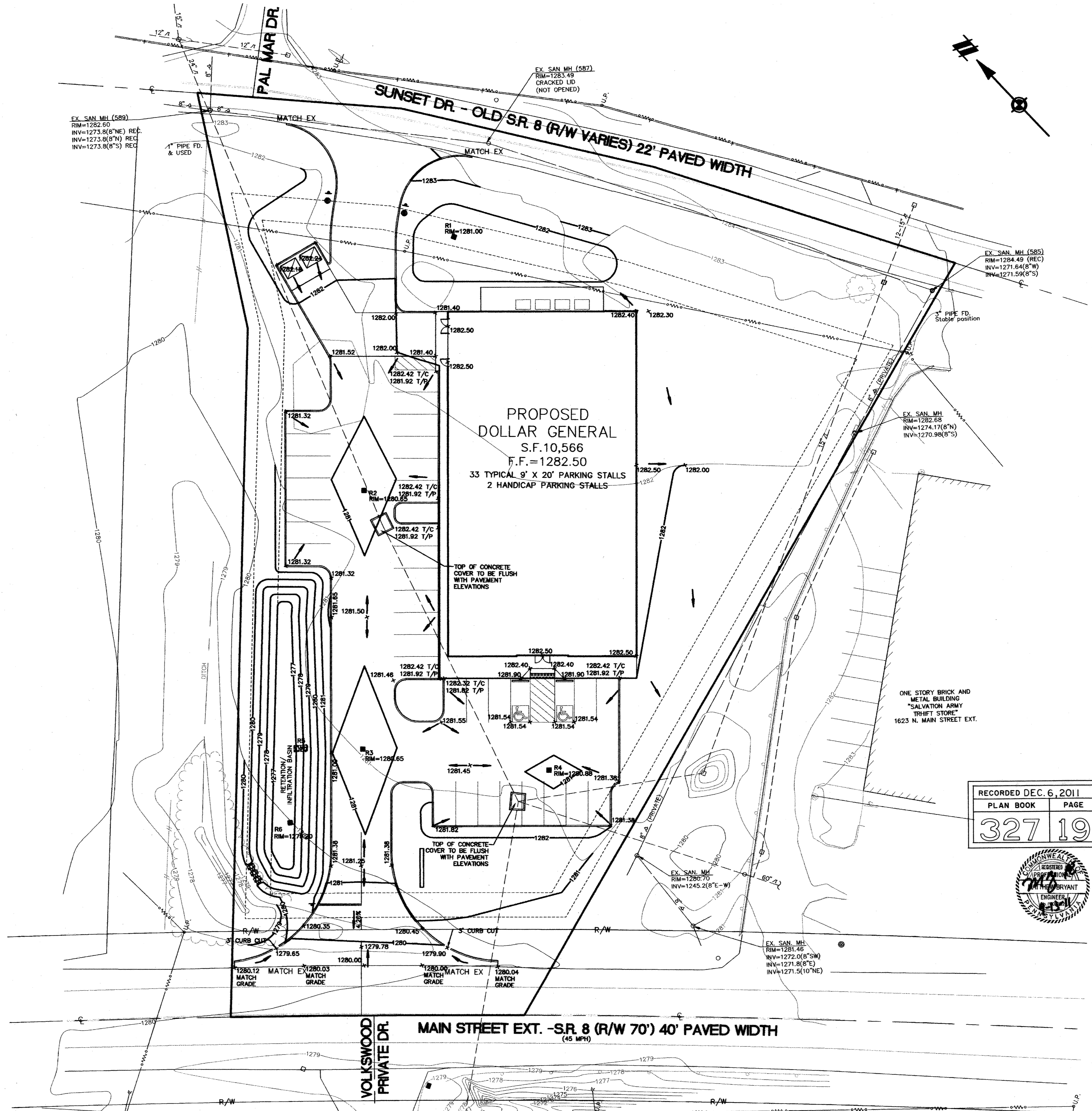


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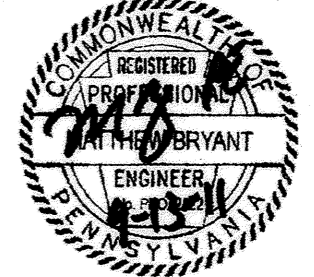
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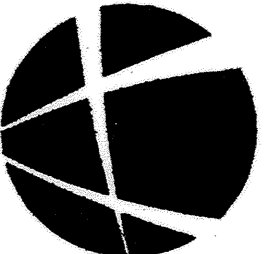


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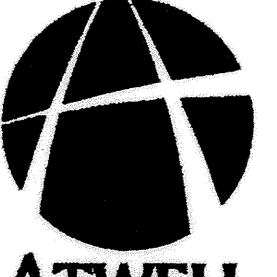


CENTER TOWNSHIP
BUTLER COUNTY, PENNSYLVANIA

GBT REALTY CORP.
GRADING PLAN

DATE
SEPTEMBER 12, 2011

REVISIONS



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DR. --- CH. ---

P.M. BBORON

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FILE CODE: CD

SHEET NO. C-5

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES MUST CONFORM TO THE SPECIFICATION OF RAINWATER AND LAND DEVELOPMENT, OHIO STANDARDS FOR STORM WATER MANAGEMENT, LAND DEVELOPMENT AND URBAN DRAINAGE PROGRAM.
2. CONSTRUCTION ACTIVITIES SHALL BE SCHEDULED SUCH THAT A MINIMUM AREA OF THE SITE IS DISTURBED AT A TIME. CONSTRUCTION OPERATION SHALL BE SCHEDULED AND PERFORMED SO AS TO MINIMIZE THE DISTURBANCE OF THE SITE. EROSION CONTROL MEASURES ARE TO BE PLACED PRIOR TO EXCAVATION OF CRITICAL AREAS AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILL OPERATIONS. CONTRACTOR SHALL REDUCE EFFECTS OF STORM WATER BY USING AND/OR MAINTAINING GRASSES, SLURRIES, INFILTRATION STRUCTURES, OR WATER DIVERSIONS.
3. SPECIAL PRECAUTIONS WILL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
4. CLEANUP WILL BE DONE IN A MANNER TO ENSURE THAT EROSION CONTROL MEASURES ARE NOT DISRUPTED.
5. THE SOIL EROSION CONTROLS ARE TO BE INSPECTED EVERY ONE WEEK AND WITHIN 24 HOURS OF A 0.5 INCH OR GREATER RAIN EVENT. A WRITTEN LOG OF THESE INSPECTIONS AND IMPROVEMENTS TO CONTROLS SHALL BE KEPT ON SITE. THE LOGS SHALL INCLUDE THE DATE OF INSPECTION, NAME OF THE INSPECTOR, WEATHER CONDITIONS, ACTIONS TAKEN TO CORRECT ANY PROBLEMS AND THE DATE CORRECTIVE ACTIONS WERE TAKEN.
6. TEMPORARY SOIL STABILIZATION SHALL BE COMPLETED WITHIN 7 DAYS AFTER ROUGH GRADING IF THE AREA WILL REMAIN OPEN LONGER THAN 21 DAYS. ANY DISTURBED AREA THAT IS NOT GOING TO BE WORKED FOR 21 DAYS OR MORE MUST BE SEEDED AND MULCHED BY NOVEMBER 1 OR MUST HAVE A DORMANT SEEDING OR MULCH COVER APPLIED BETWEEN NOVEMBER 1 AND MARCH 1.
7. TRENCHES FOR UNDERGROUND UTILITY LINE AND PIPES SHALL BE TEMPORARILY STABILIZED WITHIN 7 DAYS IF THEY ARE TO REMAIN INACTIVE FOR 21 DAYS. TRENCH DRAINING DEVICES (DANDY BAGS - SEE DETAIL SHEET) SHALL DISCHARGE IN A MANNER THAT FILTERS SOLID-LAID WATER BEFORE DISCHARGING IT TO A RECEIVING DRAINAGE DITCH OR POND. IF SEEDING, MULCHING OR OTHER EROSION AND SEDIMENT CONTROL MEASURES WERE PREVIOUSLY INSTALLED, THESE PROTECTIVE MEASURES SHALL BE REINSTALLED. PIPES WITH JOINTS THAT ALLOW WATER TO LEAK INTO THE TRENCH ARE TO BE REPAIRED. THE TRENCH WITH THE PIPE JOINT ASSEMBLY MADE IN THE TRENCH REQUIRE AN OPEN PIPE WITHIN 24 HOURS. IF THE PIPE IS LONGER THAN THE LENGTH OF PIPE BEING INSTALLED, THE TOTAL LENGTH OF EXCAVATED TRENCH OPEN AT ANY TIME SHOULD NOT BE THE GREATER THAN THE TOTAL LENGTH OF PIPELINE/UTILITY LINE THAT IS BEING INSTALLED. THE TRENCH SHALL BE BACK-FILLED IN ONE WORKING DAY. NO MORE THAN 50 LINEAL FEET OF OPEN TRENCH SHOULD EXIST WHEN PIPELINE/UTILITY LINE INSTALLATION CEASES AT THE END OF THE WORK DAY.
8. SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED TO PREVENT SOIL LOSS.
9. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 7 DAYS OF FINAL GRADING. FURTHER, SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETE, AT WHICH TIME TEMPORARY MEASURES WILL BE REMOVED. PERMANENT VEGETATION IS A GROUND COVER DENSE ENOUGH TO COVER 90% OF THE SOIL SURFACE AND MATURE ENOUGH TO SURVIVE WINTER WEATHER CONDITIONS.
10. SILT FENCE TO BE 2' MINIMUM FROM PROPERTY LINES IN AREAS WHERE WORK IS NEAR ADJACENT PROPERTIES.
11. CONTRACTOR TO ESTABLISH PERMANENT ON SITE BENCHMARK PRIOR TO ANY CLEARING AND GRUBBING.
12. HAUL ROUTES- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP OF ANY MUD, DIRT, OR DEBRIS DEPOSITED ON HAUL ROUTES AS A RESULT OF HIS OPERATIONS. SOIL SHALL BE REMOVED FROM ROADS AND PAVED SURFACES AT THE END OF EACH DAY IN SUCH A MANNER THAT DOES NOT CREATE OFF-SITE SEDIMENTATION IN ORDER TO ENSURE SAFETY AND ABATE OFF-SITE SOIL LOSS. COLLECTED SEDIMENTS SHALL BE PLACED IN A STABLE LOCATION ON SITE OR TAKEN OFF-SITE TO A STABLE LOCATION. CONTRACTOR SHALL USE STATE ROUTES (AND SHORTEST DISTANCE NON-STATE ROUTES) FOR PROJECT HAUL ROUTE.
13. NO SOLID OR LIQUID WASTE SHALL BE SAVED OR SHALL BE DISCHARGED INTO STORM WATER RUNOFF.
14. DISPOSAL OF SOLID, SANITARY AND TOXIC WASTE--
ALL SOLID, SANITARY AND TOXIC WASTE SHALL BE HANDLED IN A PROPER MANNER IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS. IT IS PROHIBITED TO BURN, BURY OR POUR OUT ONTO GROUND OR INTO STORM SEWER ANY SOLVENTS, PAINT, STAINS, GASOLINE, DIESEL FUEL, USED MOTOR OIL, HYDRAULIC FLUID, ANTIFREEZE, CEMENT CURING COMPOUNDS AND OTHER SUCH TOXIC OR HAZARDOUS WASTE.
15. WASH OUT OF CLOTHES OR EQUIPMENT SHOULD OCCUR IN THE DESIGNATED AREA WHERE THE WASHING CAN COLLECT AND BE DISPOSED OF PROPERLY WHEN THEY HARDEN.
16. FUEL STORAGE TANKS SHOULD BE LOCATED IN Diked AREAS AWAY FROM DRAINAGE CHANNELS. THE DIKED AREAS SHOULD HOLD A VOLUME AT LEAST 110% OF THE LARGEST TANK. IT IS NECESSARY IF CONTRACTOR USES FUEL TANKS.
17. IF A CONCRETE WALKWAY AREA, AND/OR A STOCKPILE AREA ARE NEEDED, A DELINEATED AREA FOR EACH MUST BE PROVIDED AND MAINTAINED FOR THEM. AREAS CAN BE LOCATED IN AN ALTERNATE LOCATION THAN THAT SHOWN ON THE PLANS IF NECESSARY DUE TO CONSTRUCTION OPERATIONS AND OTHER FIELD CONSIDERATIONS.
18. NO FUEL STORAGE IS PERMITTED ON-SITE.

ALL STORM WATER CONTROL ON THE SITE ARE TO BE INSPECTED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN ONE-INCH OF RAIN. WITHIN 24 HOURS OF ANY WRITTEN RECORD DOCUMENTING THE RESULTS OF THESE INSPECTIONS MUST BE MAINTAINED. DISTURBED AREA EROSION CONTROL MEASURES THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF OR THE POTENTIAL FOR POLLUTANTS ENTERING THE STORM WATER FLOW. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE SWMP SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. DISCHARGE LOCATIONS SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION AND SEDIMENT CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACT TO THE RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT OR THE SITE SHALL BE INSPECTED FOR OFF-SITE VEHICLE TRACKING.

1. WHEN PRACTICES REQUIRE REPAIR OR MAINTENANCE. IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE IS IN NEED OF REPAIR OR MAINTENANCE, IT MUST BE REPAIRED OR MAINTAINED WITHIN THREE DAYS OF INSPECTION. WHEN PRACTICES FAIL TO SHOWS THEIR INTENDED FUNCTION. IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE FAILS TO PERFORM ITS INTENDED FUNCTION AND THAT ANOTHER, MORE APPROPRIATE CONTROL PRACTICE HAS BEEN IDENTIFIED, THE SWPP MUST BE AMENDED AND THE NEW CONTROL PRACTICE MUST BE INSTALLED WITHIN TEN DAYS OF INSPECTION. IF THE SWPP DESCRIBED ON THE SWPP ARE NOT INSTALLED. IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE HAS NOT BEEN IMPLEMENTED IN ACCORDANCE WITH THE SWPP, THE SWPP MUST BE AMENDED AND THE NEW CONTROL PRACTICE MUST BE INSTALLED WITHIN TEN DAYS OF INSPECTION. IF THE INSPECTION REVEALS THAT THE PLANNED CONTROL PRACTICE IS NOT NEEDED, THE RECORD MUST CONTAIN A STATEMENT OF EXPLANATION AS TO WHY THE CONTROL PRACTICE IS NOT NEEDED.

SWPP FORMS AND LOGS TO BE COMPLETED AND MAINTAINED BY CONTRACTOR AS PART OF THE SWPP. THESE FORMS AND LOGS CONSIST OF THE FOLLOWING

- 1.DUTY TO INFORM CONTRACTORS AND SUBCONTRACTORS FORM
- 2.STORM WATER CONSTRUCTION SITE INSPECTION REPORT.
- 3.SWPP AMENDMENT LOG.
- 4.CORRECTIVE ACTION LOG.
- 5.GRAIDING AND STABILIZATION ACTIVITIES LOG

ALL ADDITIONAL FORMS, REPORTS, LOGS, ETC. AS MAY BE REQUIRED TO COMPLY WITH THE SWPP ARE THE RESPONSIBILITY OF THE CONTRACTOR

During Construction

DURING CONSTRUCTION
TO BE PERFORMED BY CONTRACTOR

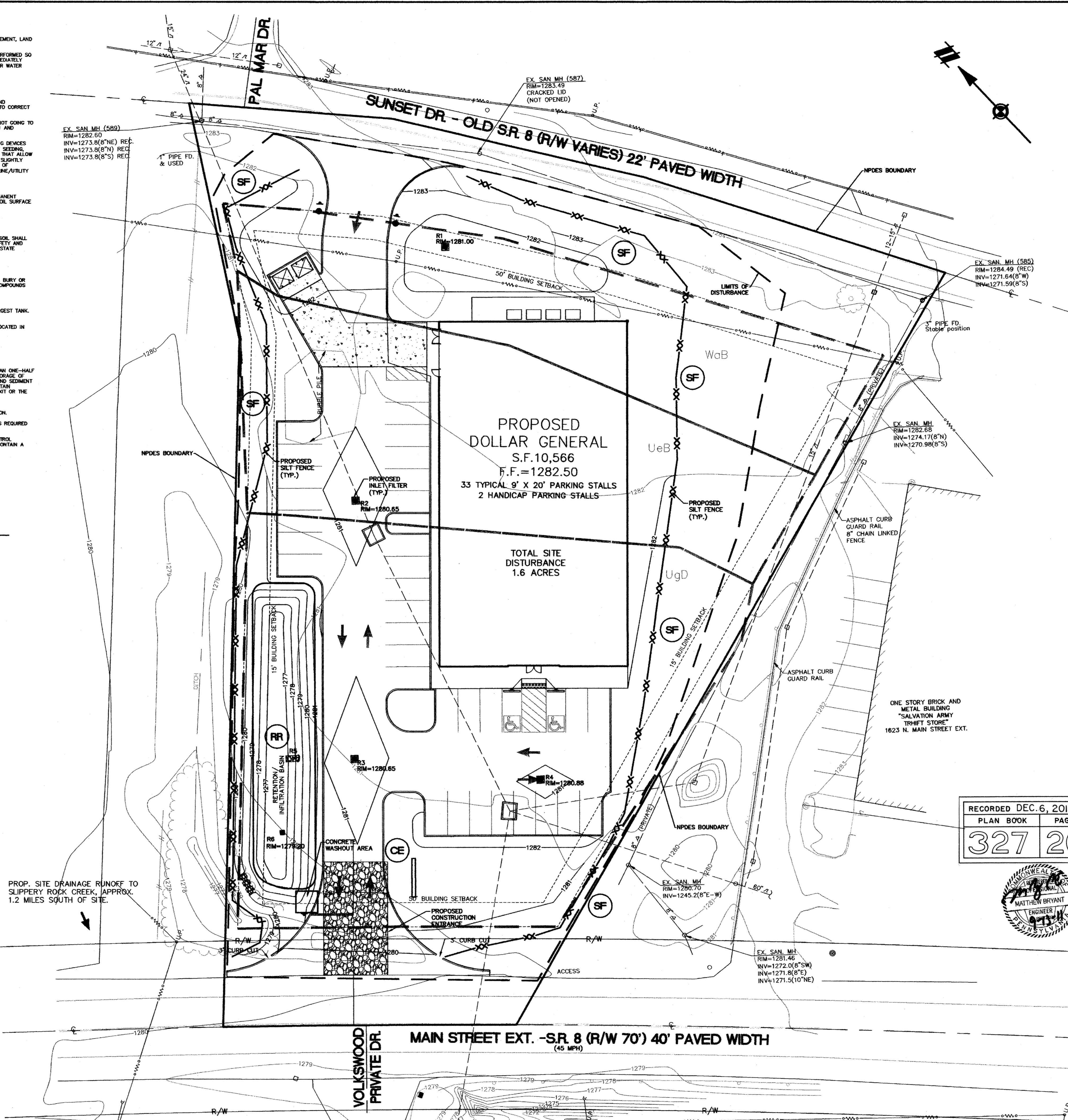
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ALL FILL MATERIAL MUST BE IN ACCORDANCE WITH THE PENN. DEPARTMENT OF ENVIRONMENT'S REQUIREMENTS FOR MANAGEMENT OF CLEAN FILL MATERIAL. FORM FP-001 MUST BE COMPLETED IF FILL MATERIAL TO BE PLACED ON SUBJECT PROPERTY.

START DAY	END DAY	SOIL EROSION CONTROL SEQUENCE OF CONSTRUCTION
1	1	STONE TRACKING PAD OR GEOTEXTILE LINER (MUD-MAT), INSTALL INLET FILTERS ON EXISTING CATCH BASINS
1	2	INITIAL CLEARING, GRUBBING AND DEMOLITION
2	3	INSTALL SILT FENCE AND PROTECTIVE FENCING
3	4	STRIP AND STOCKPILE TOP SOIL
5	10	ROUGH GRADE AND BALANCE SITE
10	35	INSTALL UNDERGROUND UTILITIES (I.E. SANITARY, STORM & WATER MAIN)
35	45	PLACE INLET FILTERS ON ALL STORM CATCH BASINS
35	40	INSTALL FRANCHISE UTILITIES (GAS, ELECTRIC, TELEPHONE & CABLE TV)
40	50	FINAL GRADE SITE
50	65	INSTALL CURB AND PAVEMENT
65	75	STABILIZE DITCHES, SWALES, COMMON AREAS AND SLOPES PER PLAN
70	75	ESTABLISH PERMANENT VEGETATION FOR ALL DISTURBED AREAS
75	75	REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES
75	75	FINAL SITE STORM DRAIN SYSTEM

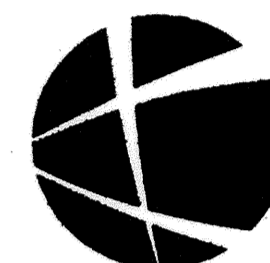
SF		SILT FENCE
ST		TEMPORARY SEDIMENT TRAP
CE		TEMPORARY CONSTRUCTION EROSION CONTROL
RR		RR--RAP
CD		CHECK DAM
IP		INLET PROTECTION
		EXIST. CONTOUR PROP. CONTOUR
		EXIST. STORM SEWER
		PROP. STORM SEWER
		EXIST. MANHOLE
		PROP. MANHOLE
		EXIST. CATCH BASIN/INLET
		PROP. CATCH BASIN/INLET
		SOILS BOUNDARY
		SOILS TYPE

PROP. SITE DRAINAGE RUNOFF TO
SLIPPERY ROCK CREEK, APPROX.
1.2 MILES SOUTH OF SITE



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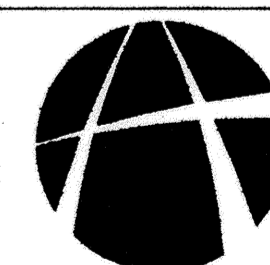
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DR. --	CH. --

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1. CATCH BASINS AND MAINHOLES SHALL BE INSPECTED WEEKLY AND AFTER EVERY RUNOFF EVENT.
2. MANUALLY CLEAN CATCH BASINS OF ALL DEBRIS AND SKIM AN OIL OR FLOATABLES FROM THE WATER SURFACE.
3. AFTER EVERY SYSTEM CLEANING, INSPECT AND CLEAN ALL STORM SYSTEM CATCH BASINS, MAINHOLES, AND INLET FILTERS.

1. CONSTRUCTION ACTIVITIES SHALL BE SCHEDULED SUCH THAT A MINIMUM AREA OF THE SITE IS DISTURBED AT A TIME. CONSTRUCTION OPERATION SHALL BE SCHEDULED AND PERFORMED SUCH THAT PREVENTATIVE SOIL EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION, CRITICAL AREAS AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILLING OPERATIONS. CONTRACTOR SHALL REDUCE EFFECTS OF STORM WATER BY USING AND/OR MAINTAINING GRASED SWALES, INFILTRATION STRUCTURES, OR WATER DIVERSIONS.
2. SPECIAL PRECAUTIONS WILL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
3. CLEARUP WILL BE DONE IN A MANNER TO ENSURE THAT EROSION CONTROL MEASURES ARE NOT DISTURBED.
4. TERRACING SHALL BE USED ALONG ALL SLOPES OF SIGNIFICANT LENGTH OR STEEPNESS. GRASSES WITH GRASSES GREATER THAN 1.5% AND ALL OTHER SLOPES GREATER THAN 0.5% WILL HAVE EROSION CONTROL BLANKETS/MATINGS INSTALLED AS STABILIZATION MEASURES.
5. THE SOIL EROSION CONTROLS ARE TO BE INSPECTED TWICE A WEEK AND WITHIN 24 HOURS OF A 0.5 INCH OR GREATER RAIN EVENT. A WRITTEN LOG OF THESE INSPECTIONS AND IMPROVEMENTS TO CONTROLS SHALL BE KEPT ON SITE. THE LOGS SHALL INCLUDE THE DATE OF INSPECTION, NAME OF THE INSPECTOR, A DESCRIPTION OF THE PROBLEMS IDENTIFIED TO CORRECT ANY PROBLEMS AND THE DATE CORRECTIVE ACTIONS WERE TAKEN.

1. SPECIAL PRECAUTIONS WILL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
2. CLEANUP WILL BE DONE IN A MANNER TO ENSURE THAT EROSION CONTROL MEASURES ARE NOT DISTURBED.
3. TERRACING SHALL BE USED ALONG ALL SLOPES OF SIGNIFICANT LENGTH OR STEEPNESS, DITCHES WITH GRADES GREATER THAN 1.5% AND ALL OTHER SLOPES GREATER THAN 6% WILL HAVE EROSION CONTROL, BLANKETS/MATINGS, INSTALLED AS STABILIZATION MEASURES
4. THE SOIL EROSION CONTROLS ARE TO BE INSPECTED TWICE A WEEK AND WITHIN 24 HOURS OF A 0.5 inch ground rain event. A WRITTEN LOG OF THESE INSPECTIONS AND WORK TO BE DONE TO CORRECT DEFICIENCIES MUST BE SUBMITTED TO THE OWNER. INCLUDE THE DATE OF INSPECTION, NAME OF THE INSPECTOR, WEATHER CONDITIONS, ACTIONS TAKEN TO CORRECT ANY PROBLEMS AND THE DATE CORRECTIVE ACTIONS WERE TAKEN.
5. TEMPORARY SOIL STABILIZATION SHALL OCCUR WITHIN 7 DAYS AFTER GROUND GRADING IF THE AREA WILL REMAIN DEE LONGER THAN 30 DAYS. ANY DISTURBED AREA THAT IS NOT COVERED BY WORK FOR 30 DAYS OR MORE MUST BE SEEDING AND MULCH BY NOVEMBER 1 OR MUST HAVE A DORMANT SEEDING OR MULCH COVER APPLIED BETWEEN NOVEMBER 1 AND MARCH.
6. TRENCHES FOR UNDERGROUND UTILITY LINE AND PIPES SHALL BE TEMPORARILY STABILIZED WITHIN 7 DAYS IF THEY ARE TO REMAIN INACTIVE FOR 30 DAYS. TRENCH DOWNGRADES SHALL BE DISCLOSED TO THE RECEIVING DRAINAGE DITCH OR ROAD. IF SEEDING, MULCHING OR OTHER EROSION AND SEDIMENT CONTROL MEASURES WERE PREVIOUSLY INSTALLED, THESE CONTROLS SHALL BE REMOVED AND THE TRENCH SHALL BE REINSTALLED. THE TOTAL LENGTH OF A MANUFACTURED LENGTH OF PIPE TO BE PLACED IN THE TRENCH WITH THE PIPE JOINT ASSEMBLED, MADE IN THE TRENCH REQUIRE AN OPEN PIPELINE TRENCH THAT IS ONLY AS LONG AS THE LENGTH OF THE PIPE AS BEING INSTALLED. THE TOTAL LENGTH OF EXCAVATED TRENCH OPEN AT ANY TIME SHOULD NOT BE THE GREATER THAN THE TOTAL LENGTH OF PIPELINE THAT CAN BE PLACED IN THE TRENCH AND BACK-FILLED IN ONE DAY. NO MORE THAN 50 LINEAL FEET OF OPEN TRENCH SHOULD EXIST WHEN PIPELINE UTILITY INSTALLATION CEASES AT THE END OF THE WORK DAY.
7. SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED TO PREVENT SOIL LOSS.
8. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 7 DAYS OF FINAL GRADING. UNTIL THE EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETE. AT THAT TIME TEMPORARY MEASURES WILL BE REMOVED. PERMANENT VEGETATION IS A GROUND COVER DENSE ENOUGH TO COVER 80% OF THE SOIL SURFACE AND NATURE ENOUGH TO SURVIVE WINTER WEATHER CONDITIONS.
9. SLT FENCE TO BE 2" MINIMUM FROM PROPERTY LINES IN AREAS WHERE WORK IS NEAR ADJACENT PROPERTIES.
10. CONTRACTOR TO ESTABLISH PERMANENT ON SITE BENCHMARK PRIOR TO ANY CLEARING AND GRUBBING.
11. HAIL ROUTES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP OF ANY MUD, DIRT, OR POLY FILL DEPOSITED ON THE HIGHWAY AS A RESULT OF HIS OPERATIONS. SHALL BE REMOVED FROM ROADS AND PAVED SURFACES AT THE END OF EACH DAY IN SUCH A MANNER THAT DOES NOT CREATE OFF-SITE SEDIMENTATION IN ORDER TO INSURE SAFE TRAVEL ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE TRAILER IN A STABLE LOCATION ON SITE OR TAKEN OFF-SITE TO A STABLE LOCATION. CONTRACTOR SHALL USE STATE ROUTES (AND SHORTEST DISTANCE NON-STATE ROUTES) FOR PROJECT HAUL ROUTE.
12. NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF.
13. ALL EROSION AND SEDIMENT CONTROL PRACTICES MUST CONFORM TO THE SPECIFICATIONS OF THE PENNSYLVANIA DEPT. OF ENVIRONMENTAL PROTECTION.
14. DISPOSAL OF SOLID, SANITARY AND TOXIC WASTE:
SOLID, SANITARY AND TOXIC WASTE MUST BE DISPOSED OF IN A PROPER MANNER IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. IT IS PROHIBITED TO BURN, BURIED, OR POOL OUT TOXIC WASTE. TOXIC WASTE INCLUDES BUT IS NOT LIMITED TO: GASOLINE, GASOLINE DIESEL FUEL, USED MOTOR OIL, HYDRAULIC FLUID, ANTI-FREEZE, CEMENT CURING COMPOUNDS AND OTHER SUCH TOXIC OR HAZARDOUS WASTE.
15. WASH OUT OF CEMENT TRUCKS SHOULD OCCUR IN THE DESIGNATED AREA WHERE THE WASHING CAN COLLECT AND BE DISPOSED OF PROPERLY WHEN THEY HARDEN.
16. FUEL STORAGE TANKS SHOULD BE LOCATED IN Diked AREAS AWAY FROM DRAINAGE CHANNELS. THE DIKED AREAS SHOULD HAVE A VOLUME AT LEAST 110% OF THE LARGEST TANK. DIKED AREAS ARE NOT NECESSARY IF CONTRACTOR USES SELF-CONTAINED SPILL

PROPERTY OWNER
GBT REALTY CORPORATION
201 SUMMIT VIEW DRIVE, STE 110
BRENTWOOD, TENNESSEE 37027
PHONE: (615) 370-0670

TO BE PERFORMED BY OWNER OR OWNER'S REP.

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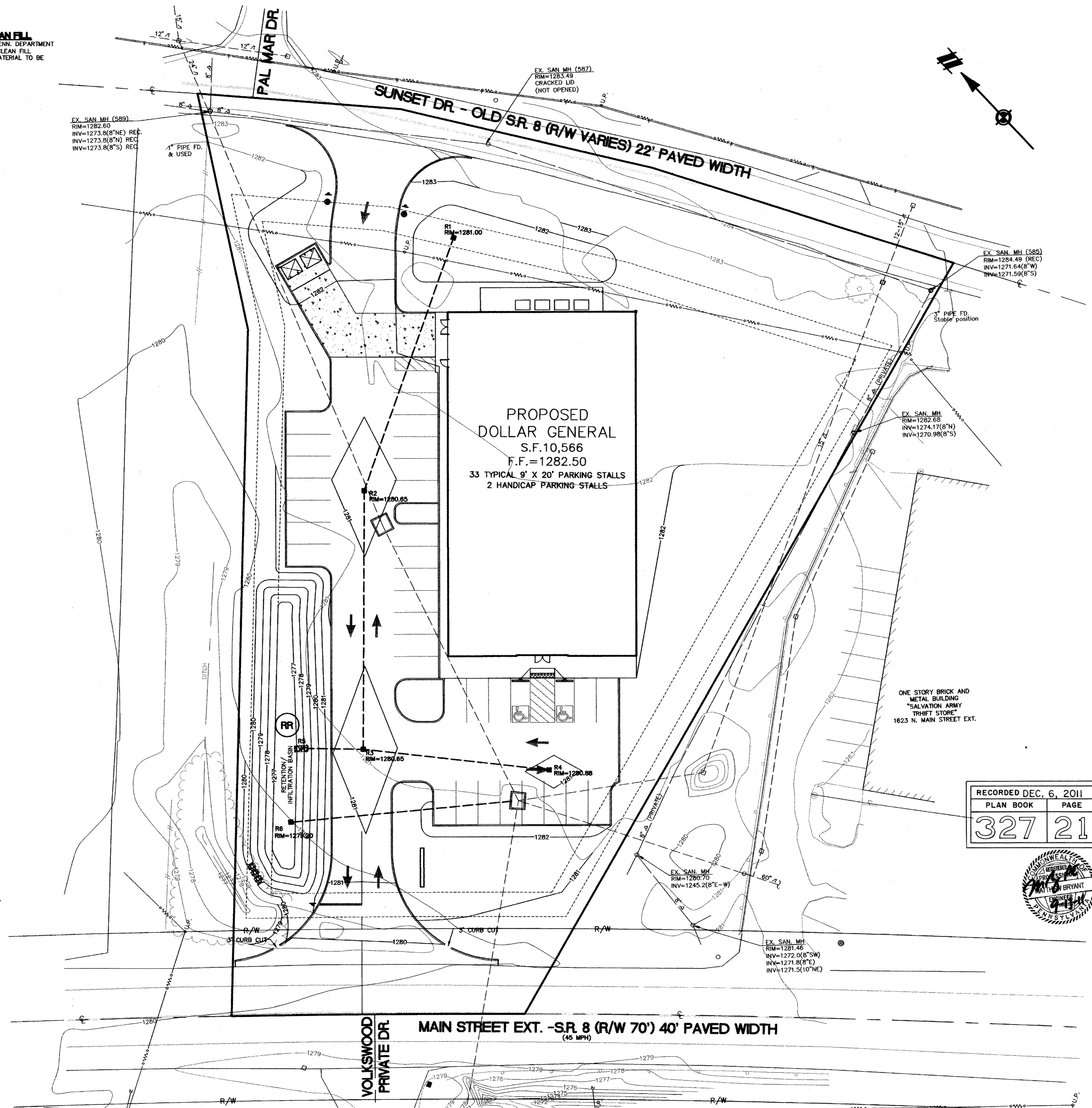
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		EXIST. CONTROL
		EXIST. MANHOLE PROTECTION
		EXIST. CATCHMENT
		PROG. MANHOLE CATCHMENT
		PROG. CATCHMENT

811 Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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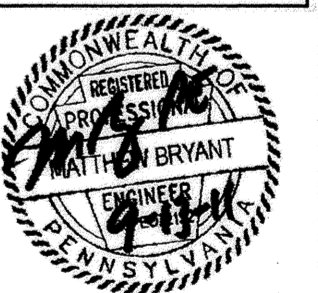
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BOILER COUNTY, PENNSYLVANIA

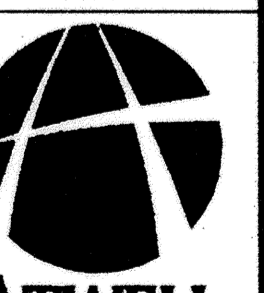
POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

SEPTEMBER 12, 2011

RECORDED DEC. 6, 2011	
PLAN BOOK	PAGE
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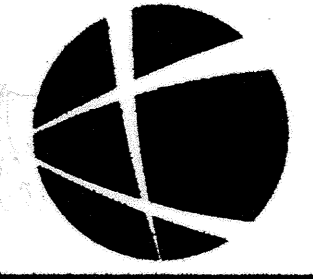
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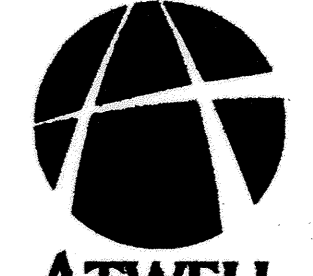


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BUTLER COUNTY, PENNSYLVANIA

DETAIL
GRT REALTY CORP.

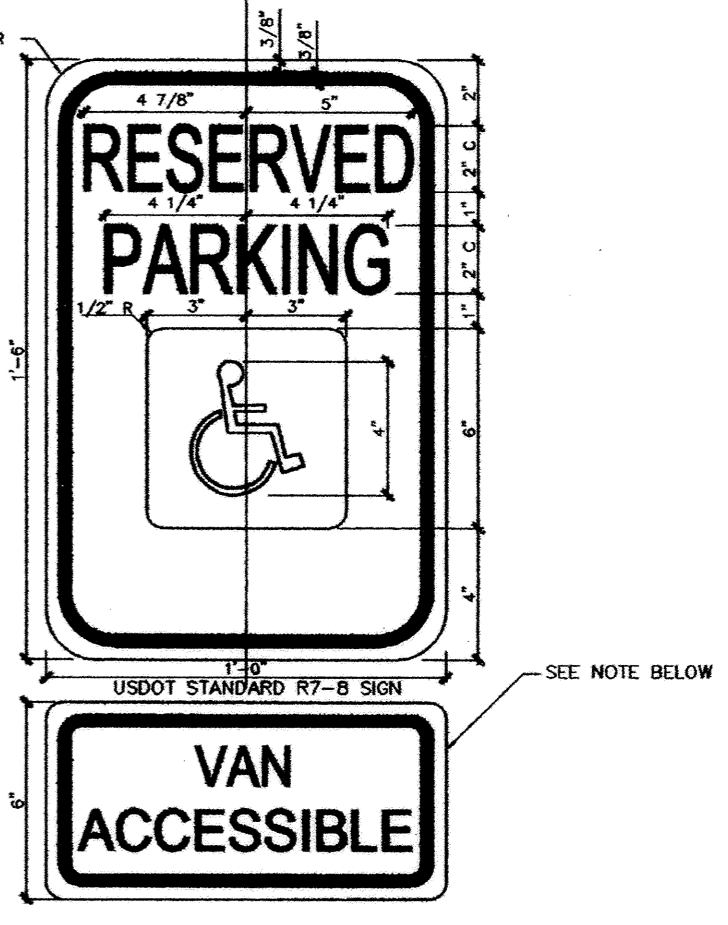
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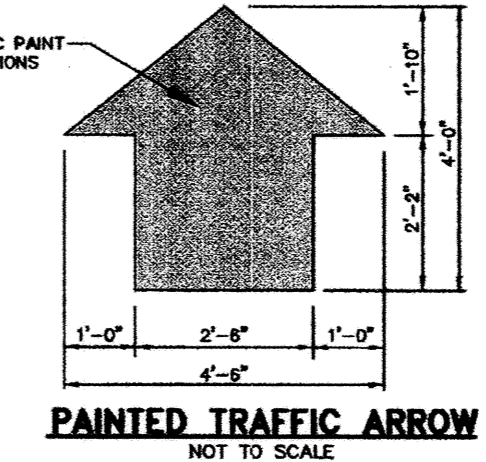
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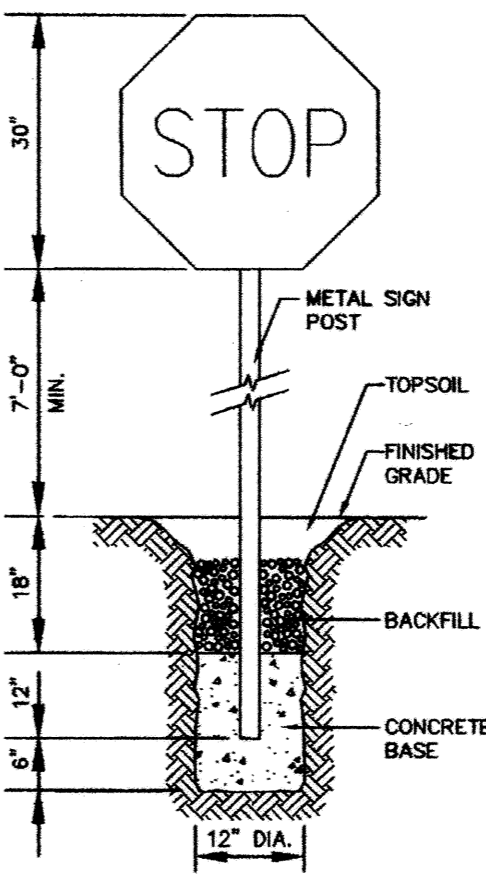


NOTE (R7-B SIGN): THIS IS A STANDARD SIGN AND MAY BE ORDERED FROM ANY TRAFFIC SIGN SUPPLIER BY NUMBER. THE SIGN MUST BE SUPPLEMENTED WITH A "VAN ACCESSIBLE" SIGN AS APPLICABLE AND/OR AMOUNT OF THE FINE FOR ILLEGALLY PARKING IN THE RESERVED SPACE(S) A MUNICIPALITY MAY IMPOSE. CONFIRM WITH LOCAL REGULATIONS.

ACCESSIBILITY SIGNAGE
NO SCALE



PAINTED TRAFFIC ARROW
NOT TO SCALE

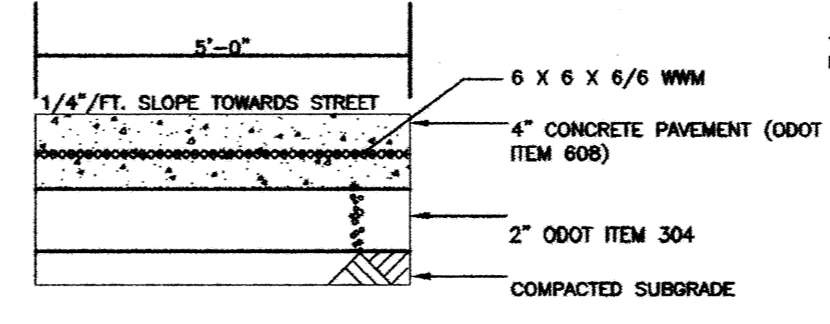
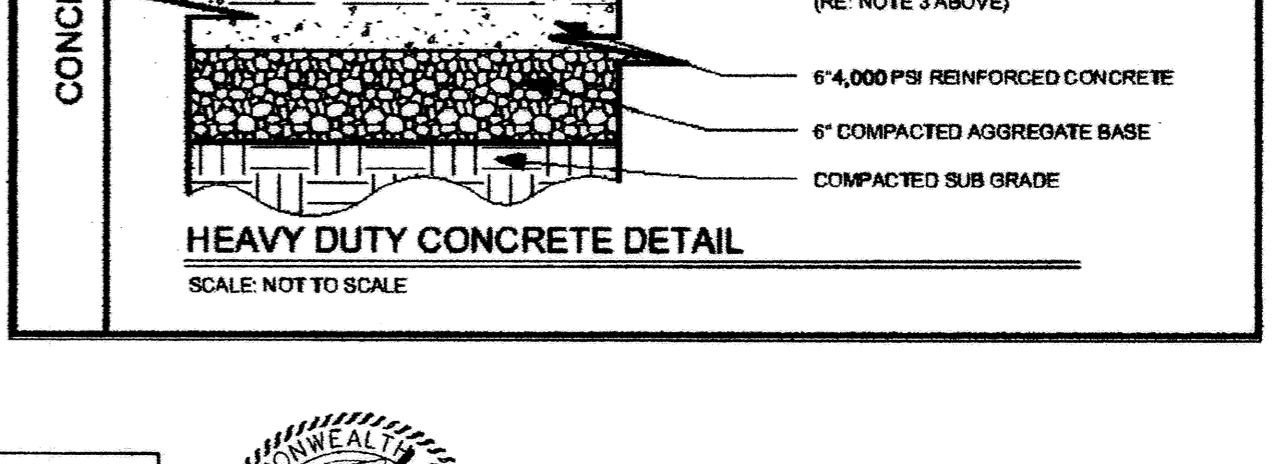
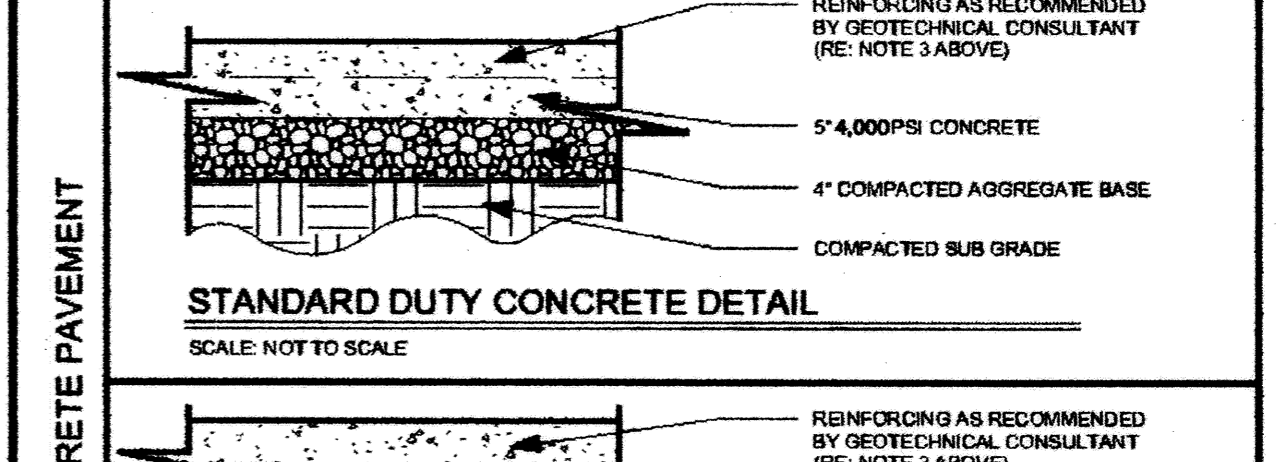
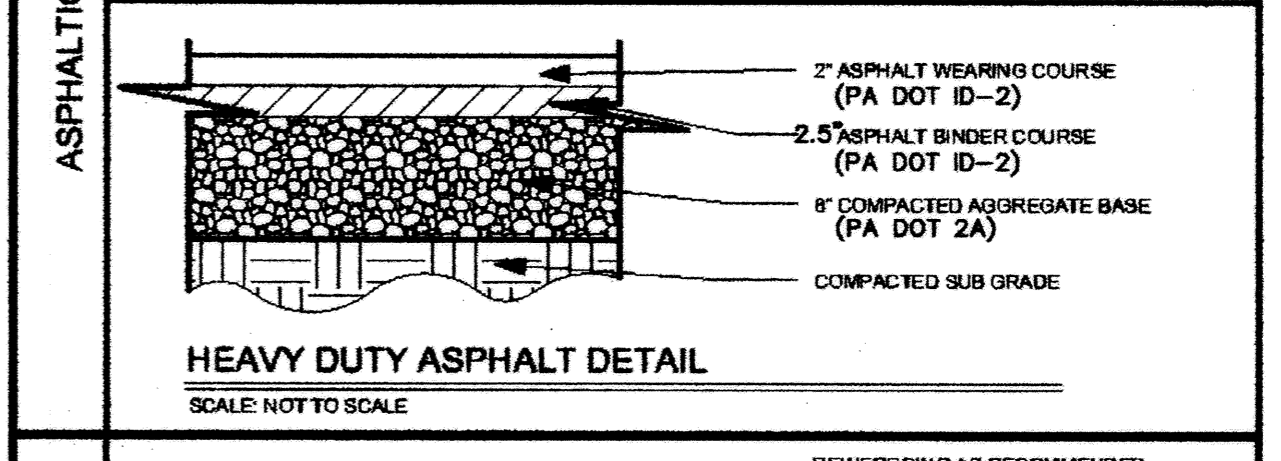
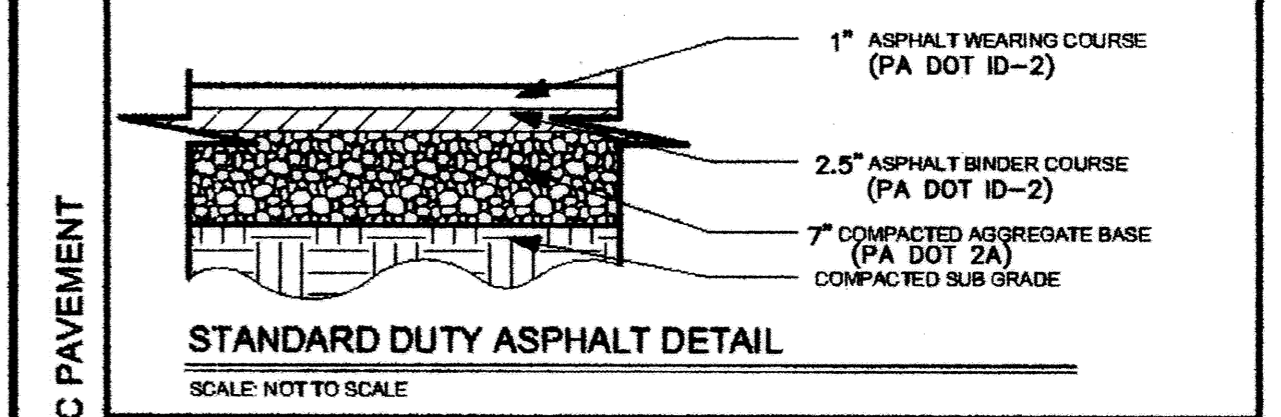


NOTE: PROVIDE SIGN IN ACCORDANCE WITH MUTCD SPECIFICATIONS.

STOP SIGN DETAIL
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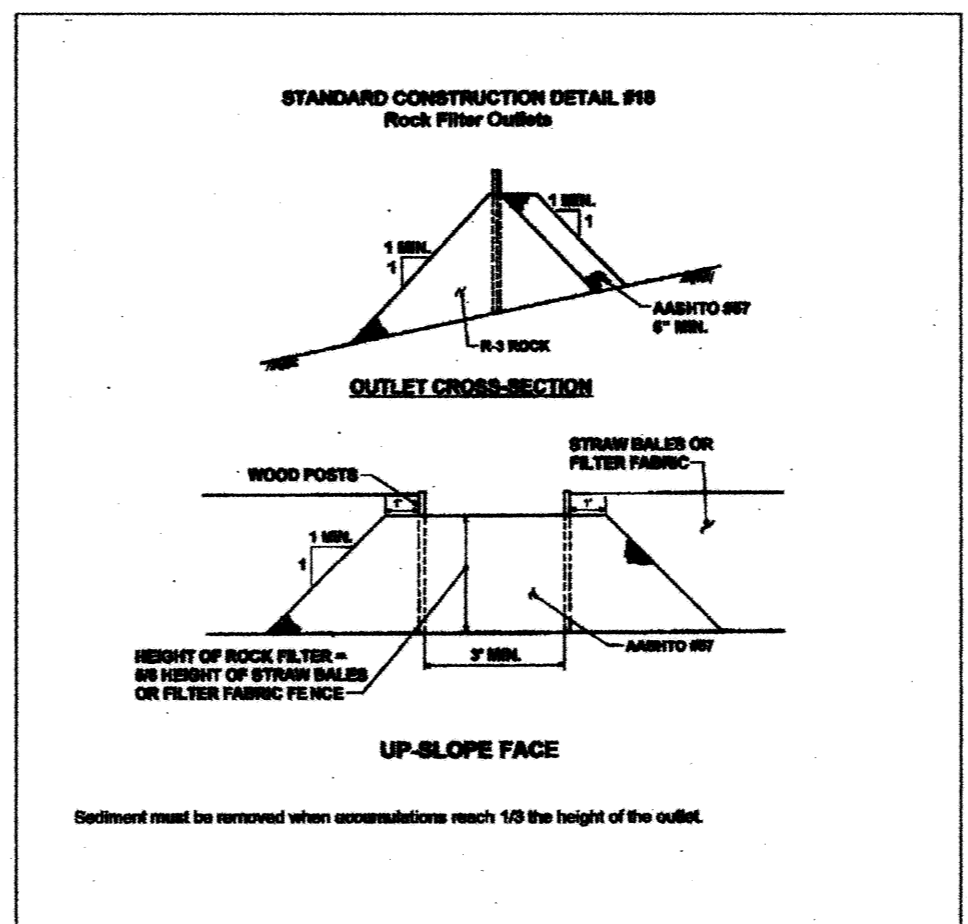
PAVEMENT DETAILS

1. DETAILS ARE DOLLAR GENERAL MINIMUM REQUIREMENTS AND MAY INCREASE WITH VARIOUS SOIL CONDITIONS. A GEOTECHNICAL INVESTIGATION WITH PAVEMENT DESIGN RECOMMENDATIONS SHALL BE COMPLETED FOR EACH DEVELOPMENT. THE FOLLOWING DETAILS ARE MINIMUM DOLLAR GENERAL PAVEMENT REQUIREMENTS. INCREASED RECOMMENDATIONS ARE TO BE USED.
2. THE SUBGRADE MATERIALS SHALL BE PROOF ROLLED AND/OR SCARIFIED AND COMPACTED PRIOR TO PLACEMENT OF BASE MATERIAL. WHERE EXISTING SUBGRADE MATERIALS ARE UNSUITABLE, THEY SHALL BE REMOVED AND REPLACED WITH COMPACTED SELECT MATERIAL IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.
3. HEAVY DUTY CONCRETE PAVEMENT AND STANDARD DUTY CONCRETE PAVEMENT (AS RECOMMENDED BY THE GEOTECHNICAL REPORT OF DOLLAR GENERAL, MINIMUMS) SHALL BE STEEL REINFORCED. REINFORCEMENT TYPE SHALL BE PRIOR APPROVED BY DOLLAR GENERAL.
4. CONCRETE PAVEMENT PLAN SHALL BE PROVIDED TO DOLLAR GENERAL FOR PRIOR APPROVAL. ALL JOINTS MUST BE SEALED WITH AN APPROVED SEALANT. STEEL REINFORCING SHALL BE USED AT JOINTS. REFER TO ACI 308R (GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS) FOR JOINT DESIGN AND LAYOUT.



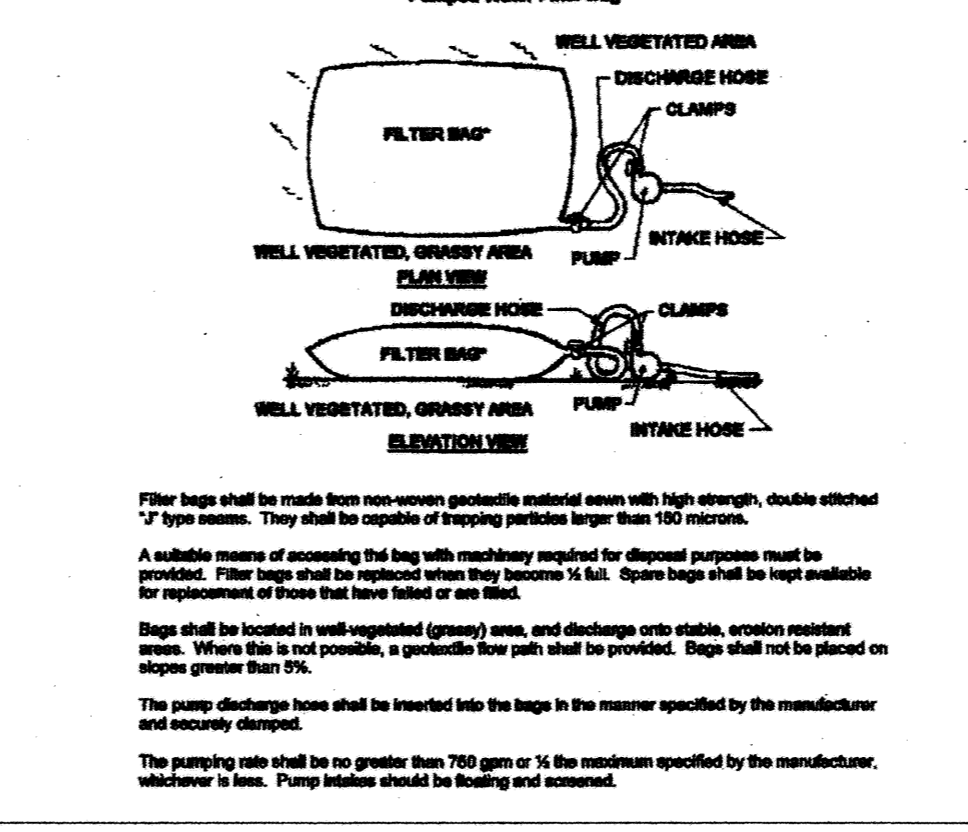
NOTES:
1. ALL PAVEMENT TO BE PLACED AS PER STANDARD ODOT SPECIFICATIONS.
2. PROOF-ROLL AND PREPARE SUBGRADE PER GEO-TECHNICAL REPORT AND RECOMMENDATIONS.

SIDEWALK DETAIL
NO SCALE



Bedform must be removed when accumulations reach 1/10 the height of the outlet.

UP-SLOPE FACE



Filter bags shall be made from non-woven polypropylene material with high strength, double attached "Y" type seams. They shall be capable of trapping particles larger than 150 microns.

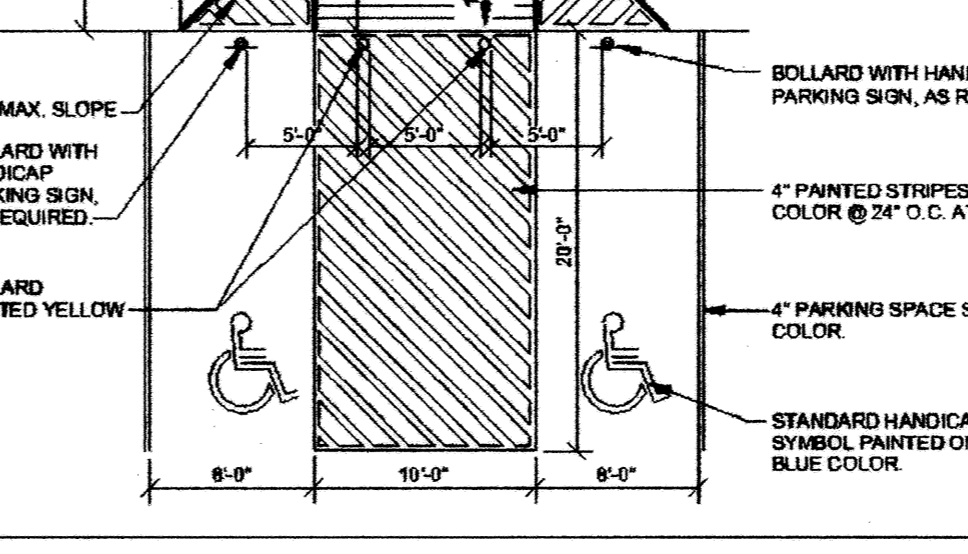
A suitable means of securing the bag with machinery required for disposal purposes must be provided. Filter bags shall be replaced when they become 1/4 full. Open bags shall be kept available for replacement at those that have failed or are full.

Bags shall be located in well-vegetated (grassy) areas, and discharge into stable, erosion resistant areas. Where this is not possible, a gravel/stone flow path shall be provided. Bags shall not be placed on slopes greater than 5%.

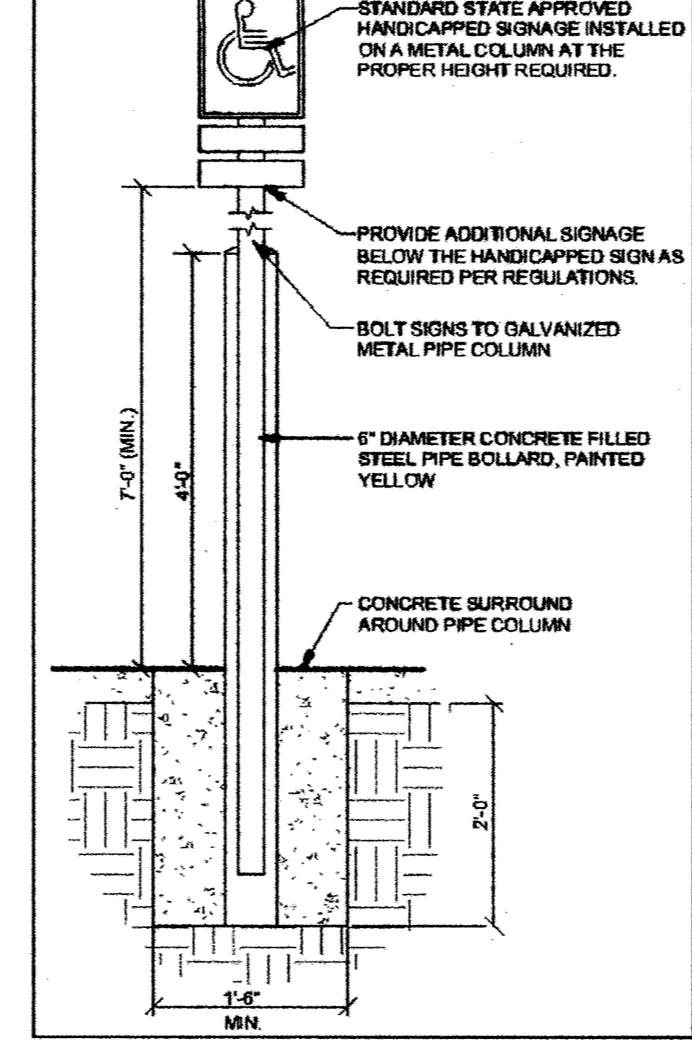
The pump discharge hose shall be inserted into the bags in the manner specified by the manufacturer and securely clamped.

The pumping rate shall be no greater than 750 gpm or 1/4 the maximum specified by the manufacturer, whichever is less. Pump intakes should be flooding and screened.

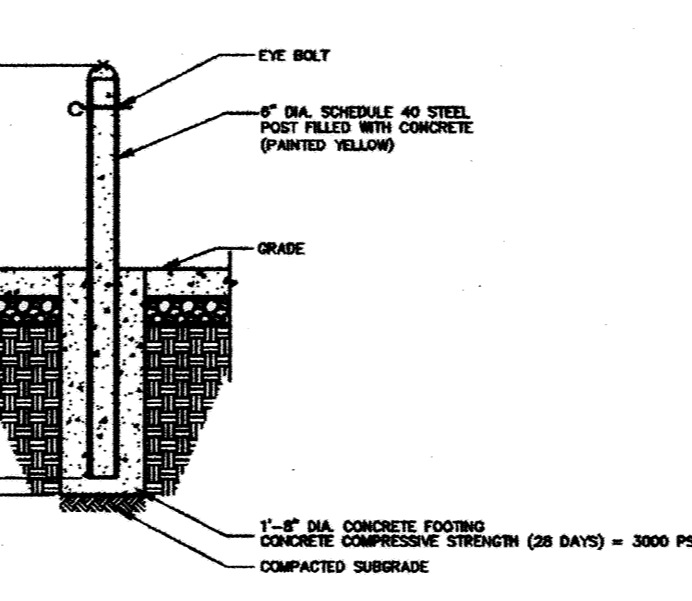
NOTE: ALL HANDICAPPED RAMP AND ACCESSIBLES SHALL MEET ALL CODES AND ADAAG REGULATIONS.



HANDICAP PARKING DETAIL
NOT TO SCALE

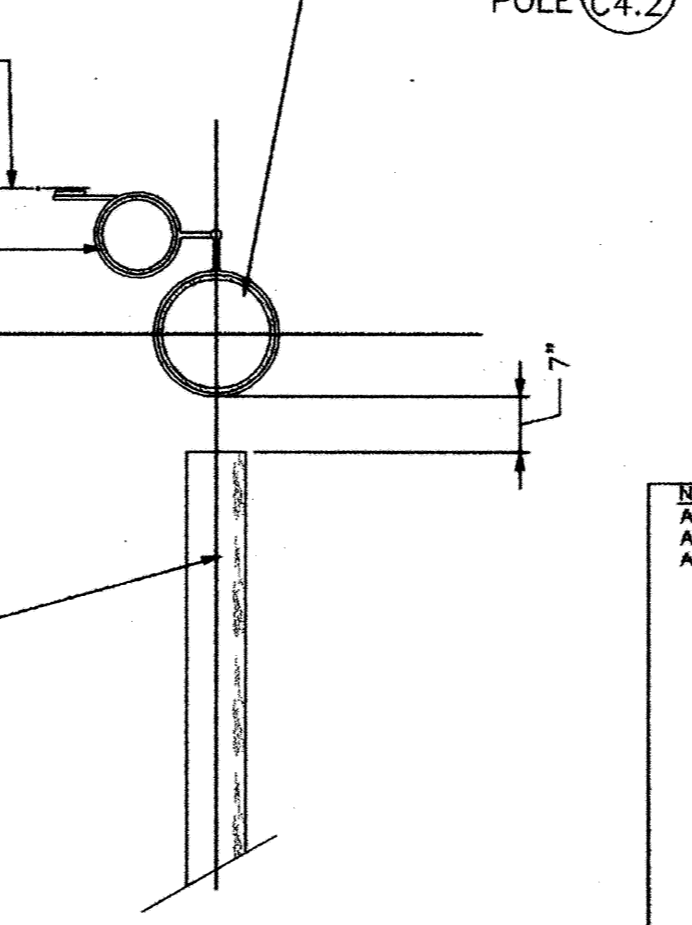


HANDICAP PARKING SIGN DETAIL
NOT TO SCALE

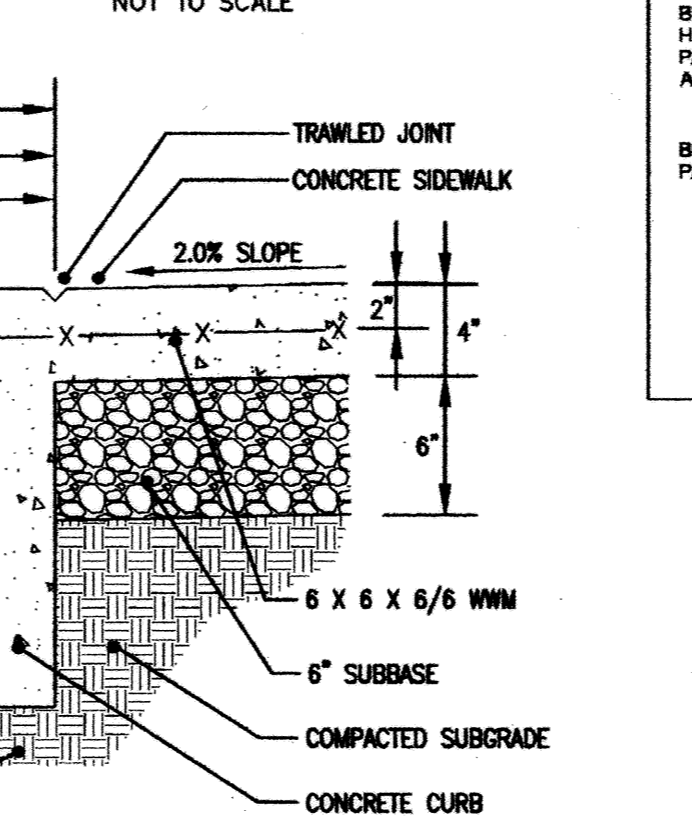


GUTTER DOWNSPOUT DETAIL

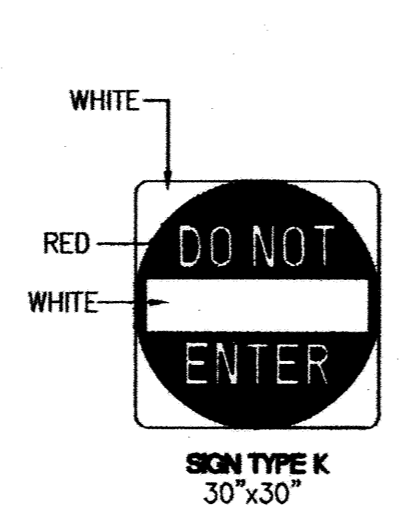
BOLLARD DETAIL
NOT TO SCALE



GATE HINGE
NOT TO SCALE



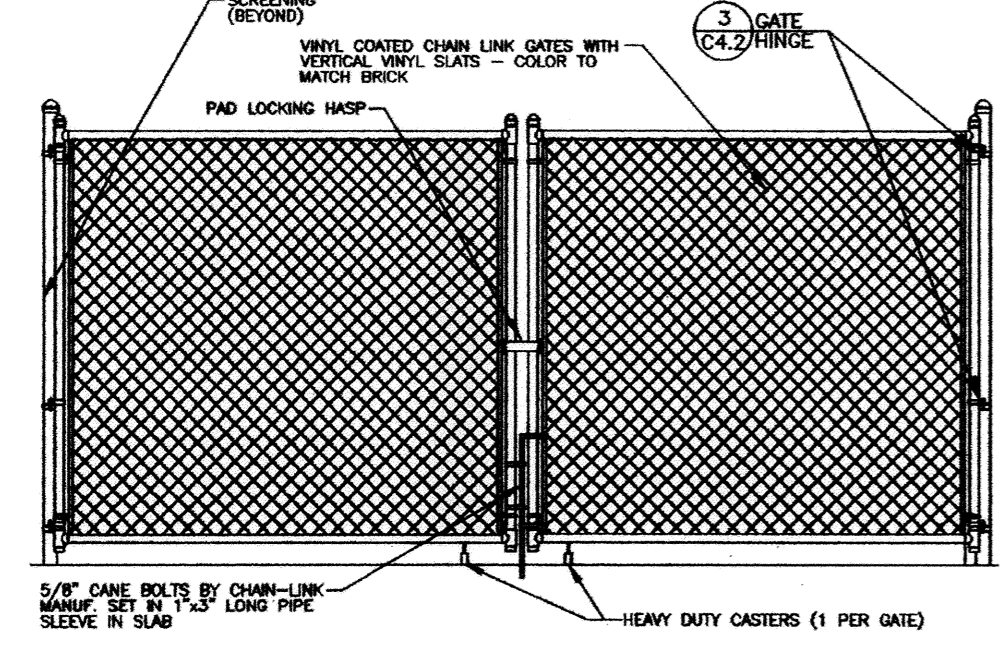
INTEGRAL CURB & SIDEWALK DETAIL
NO SCALE



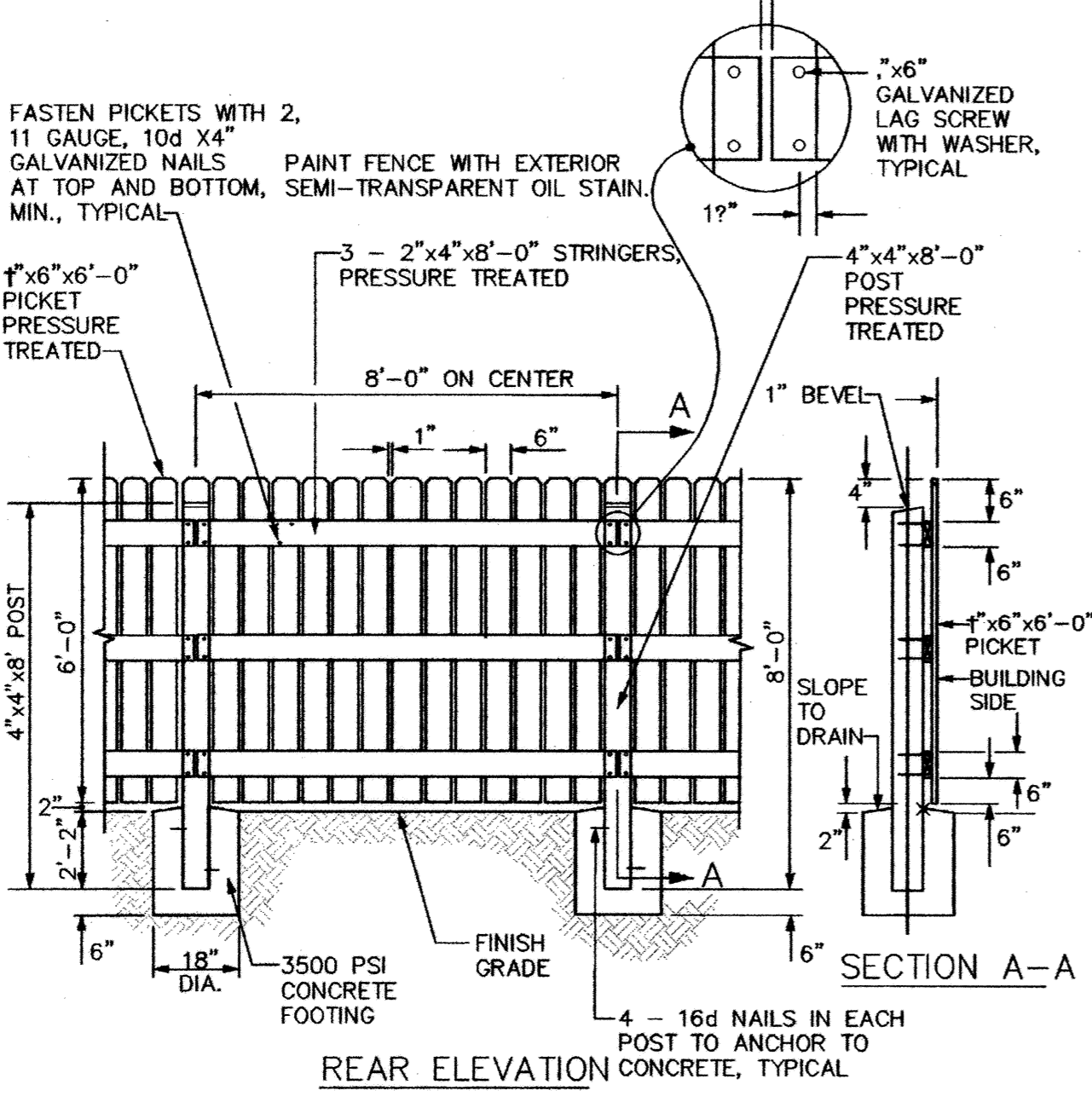
DO NOT ENTER SIGN DETAIL
NOT TO SCALE

- NOTE:
1. FABRICATE ALL SIGN PANELS OF 16 ga. ALUM.
2. POST MOUNT: USE NON-CORROSIVE 3/8\"/>

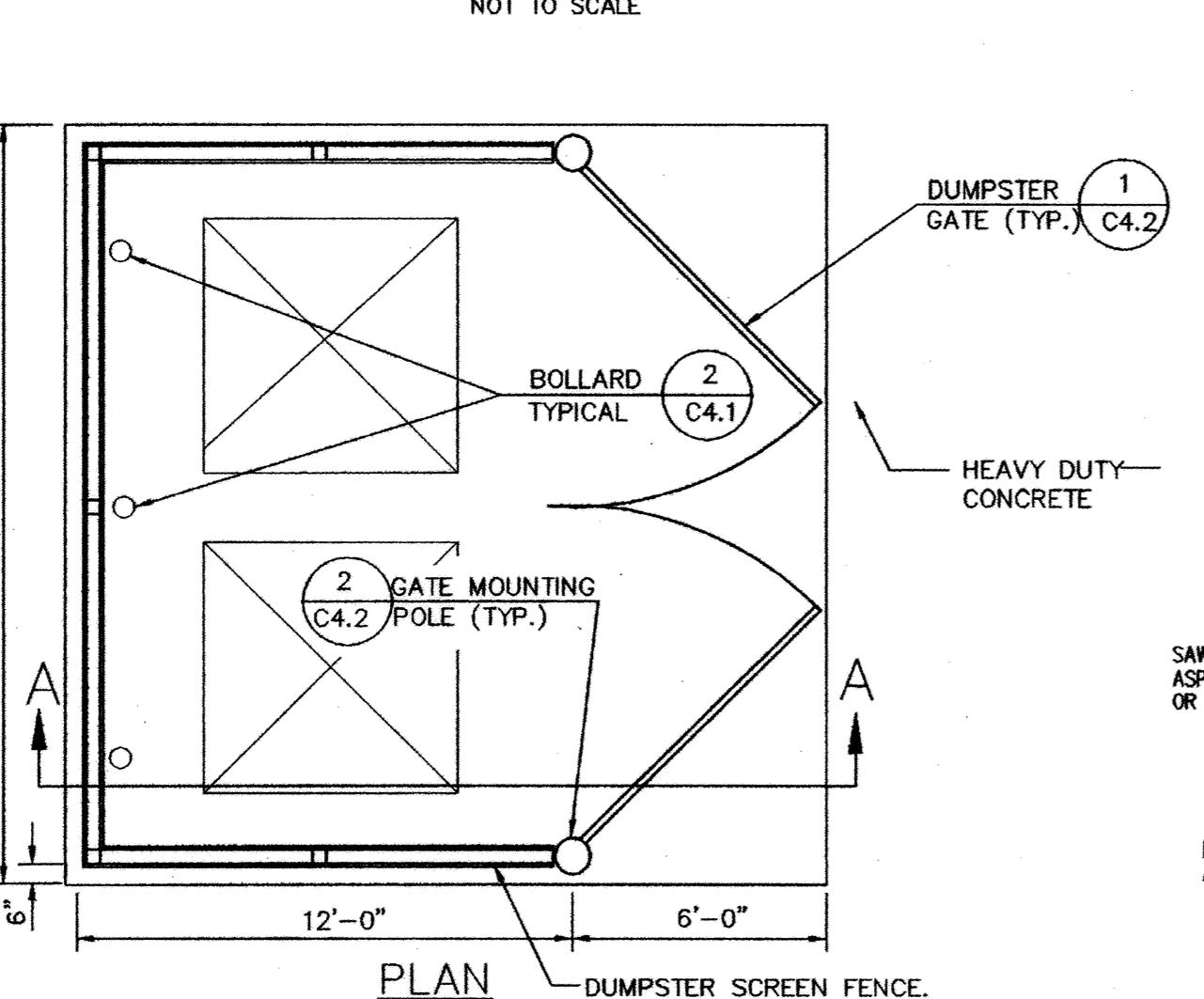
DO NOT ENTER SIGN DETAIL
NOT TO SCALE



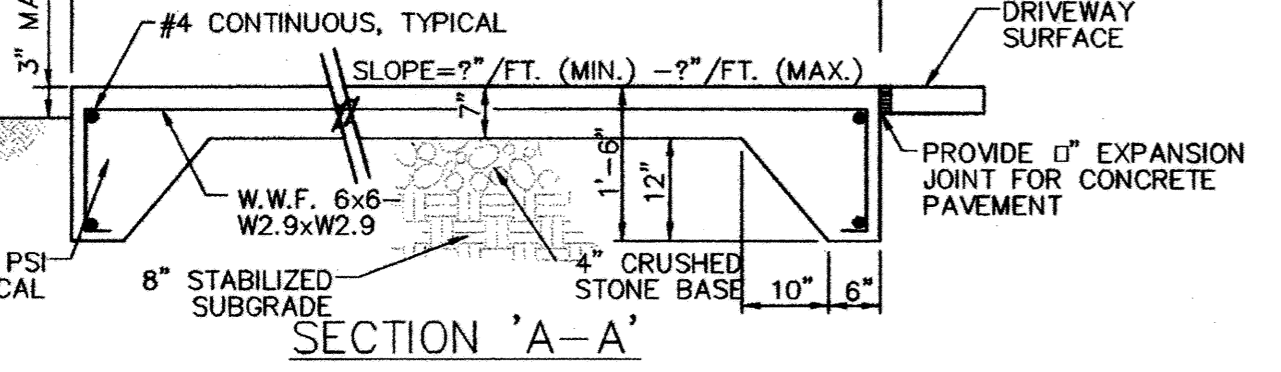
DUMPSTER GATE
NOT TO SCALE



WOOD SCREEN FENCE
NOT TO SCALE

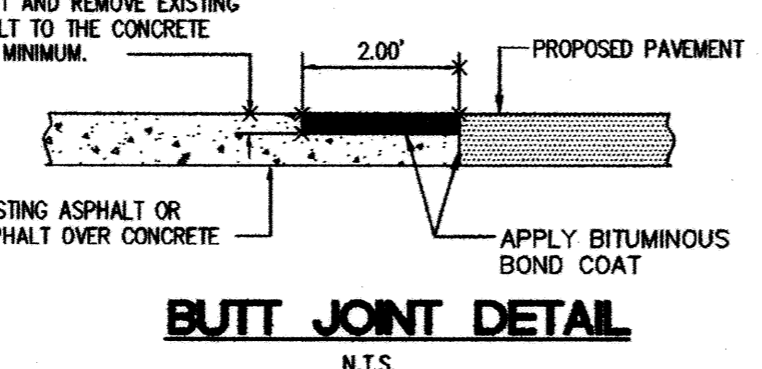


PLAN



SECTION 'A-A'

DUMPSTER PAD WITH SCREENING
NOT TO SCALE



BUTT JOINT DETAIL
N.T.S.

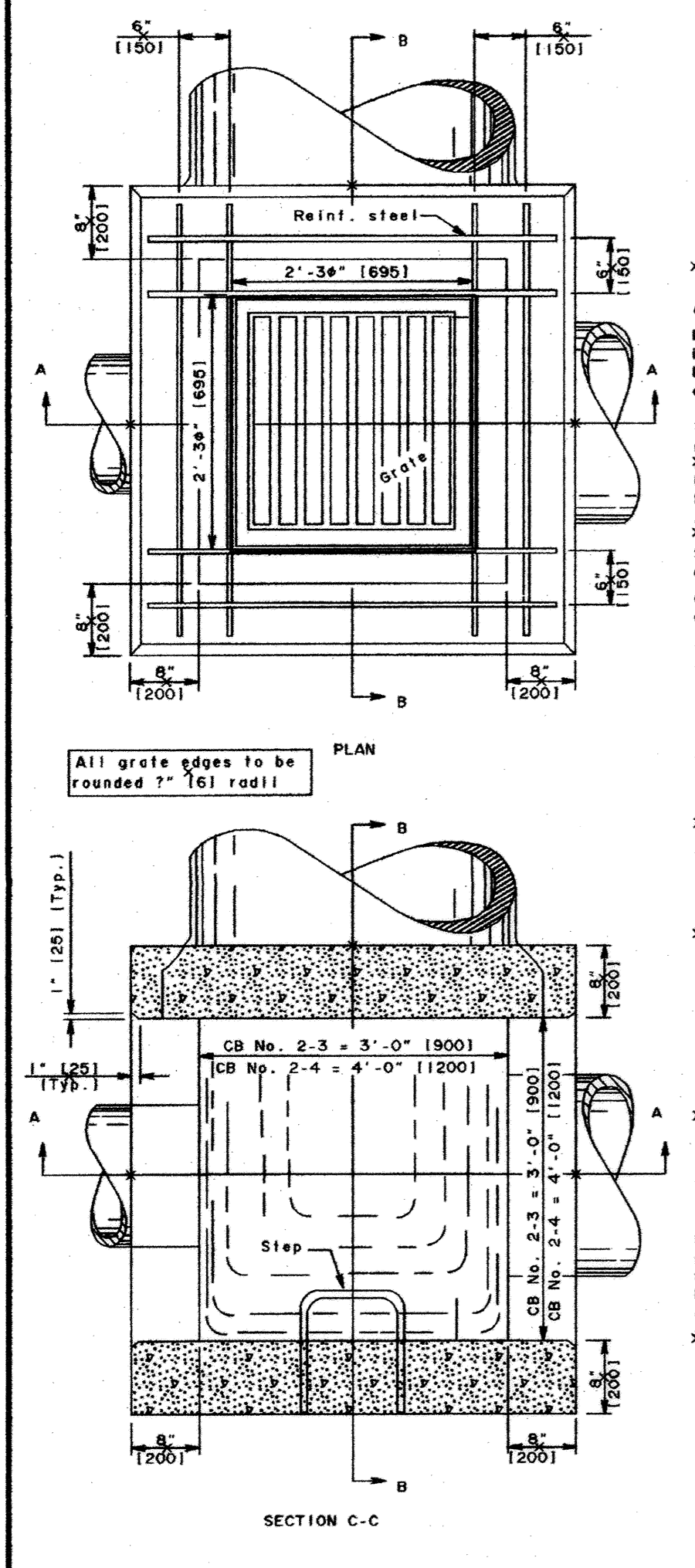
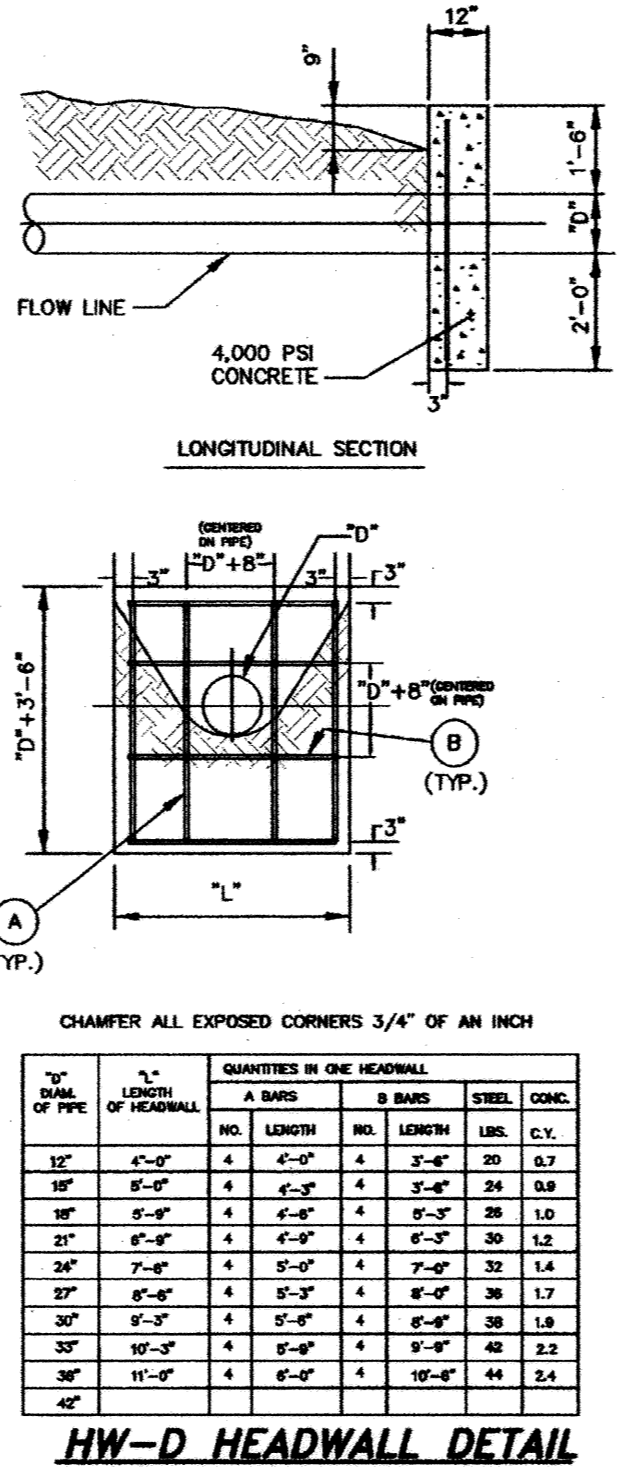
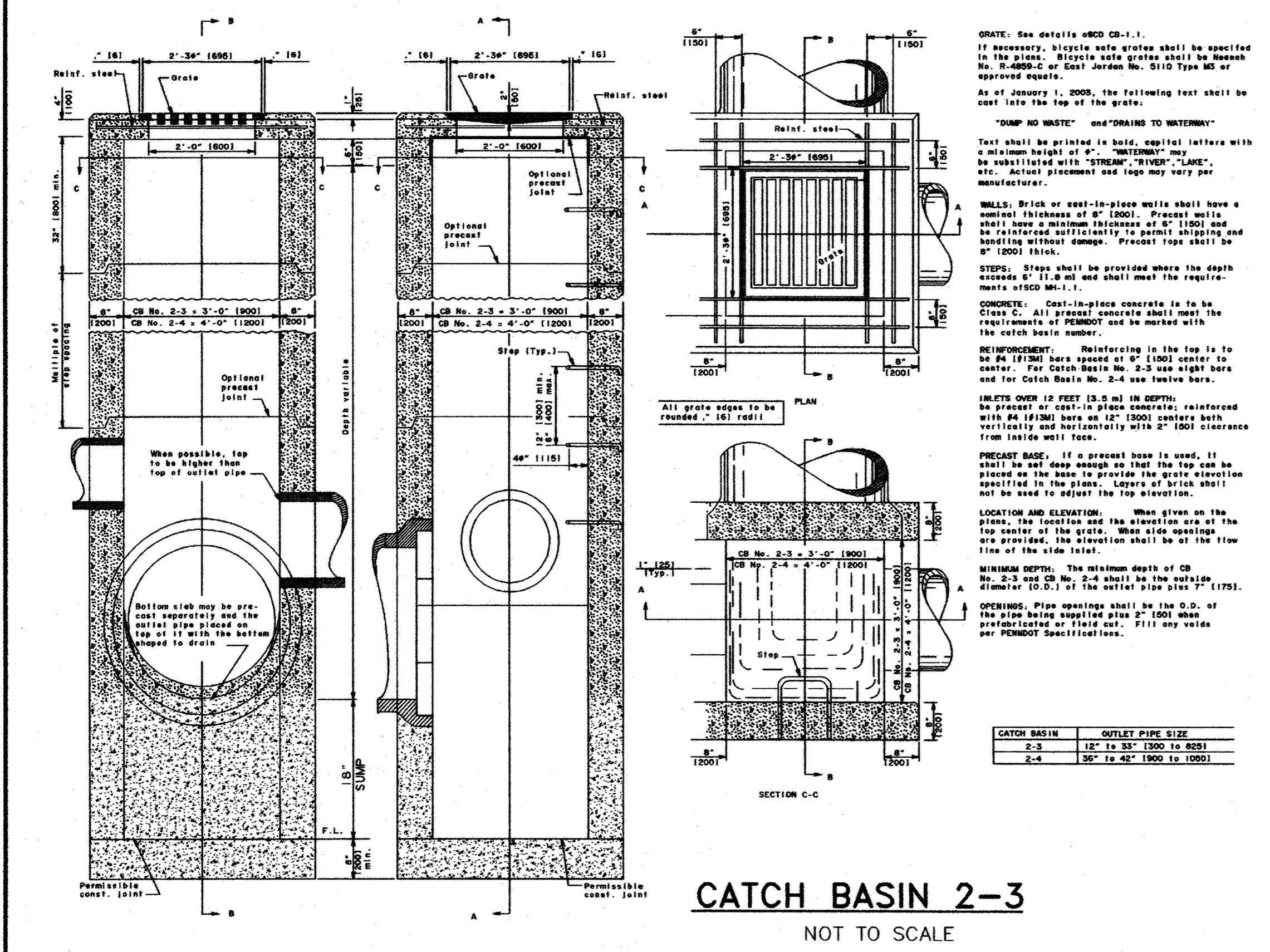
NOTICE:
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NOTE: ALL CONCRETE CURBS AND SIDEWALKS TO BE FC 4000 P.S.I. CONCRETE AT 28 DAYS

RECORDED DEC. 6, 2011
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NOTES

GRATE: If necessary, bicycle safe grates shall be specified in the plans. Bicycle safe grates shall be Neenah No. R-4059-C or East Jordan No. 5110 Type M3 or approved equals.

WALLS: Brick or cast-in-place walls shall have a nominal thickness of 8" (200). Precast walls shall have a minimum thickness of 8" (150) and be reinforced sufficiently to permit shipping and handling without damage. Precast tops shall be 8" (200) thick.

STEPS: Steps shall be provided where the depth exceeds 6" (1.8 m).

CONCRETE: Cast-in-place concrete is to be Class C.

REINFORCEMENT: Reinforcing in the top is to be #4 (#13M) bars spaced at 6" (150) center to center. For Catch Basin No. 2-3 use eight bars and for Catch Basin No. 2-4 use twelve bars.

INLETS OVER 12 FEET (3.6 m) IN DEPTH: Shall be precast or cast-in place concrete; reinforced with #4 (#13M) bars on 12" (300) centers both vertically and horizontally with 2" (50) clearance from inside wall face.

PRECAST BASE: If a precast base is used, it shall be set deep enough so that the top can be placed on the base to provide the grate elevation specified in the plans. Layers of brick shall not be used to adjust the top elevation.

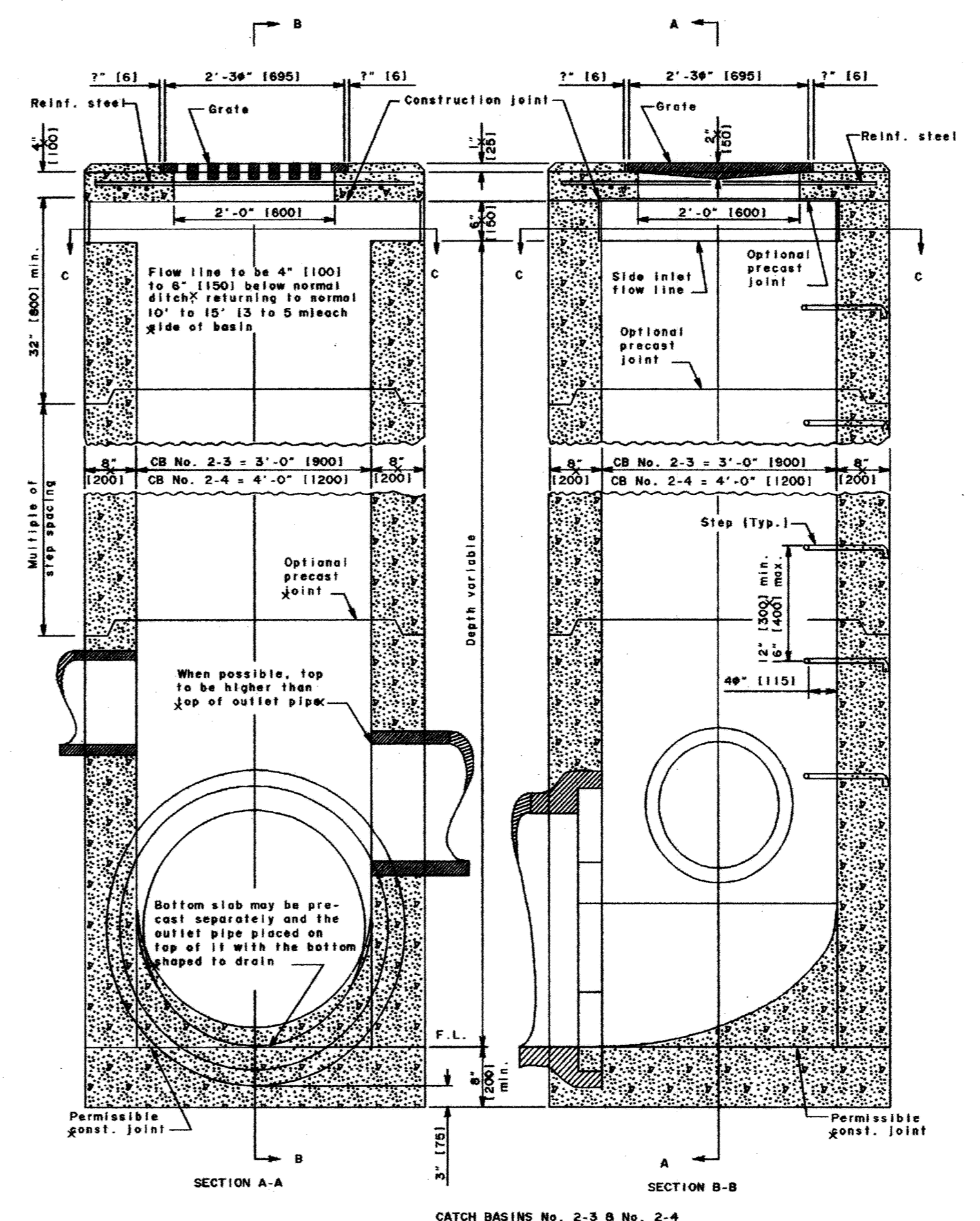
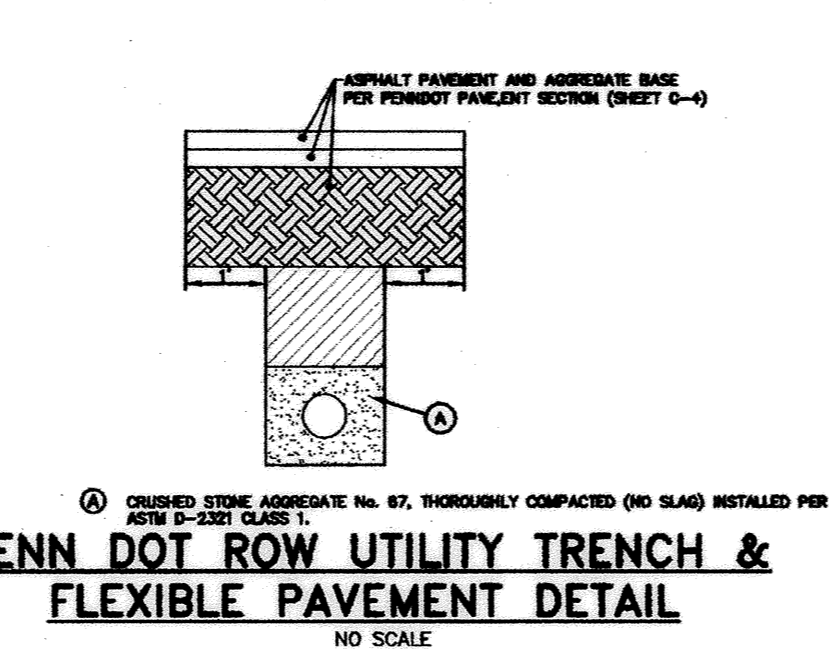
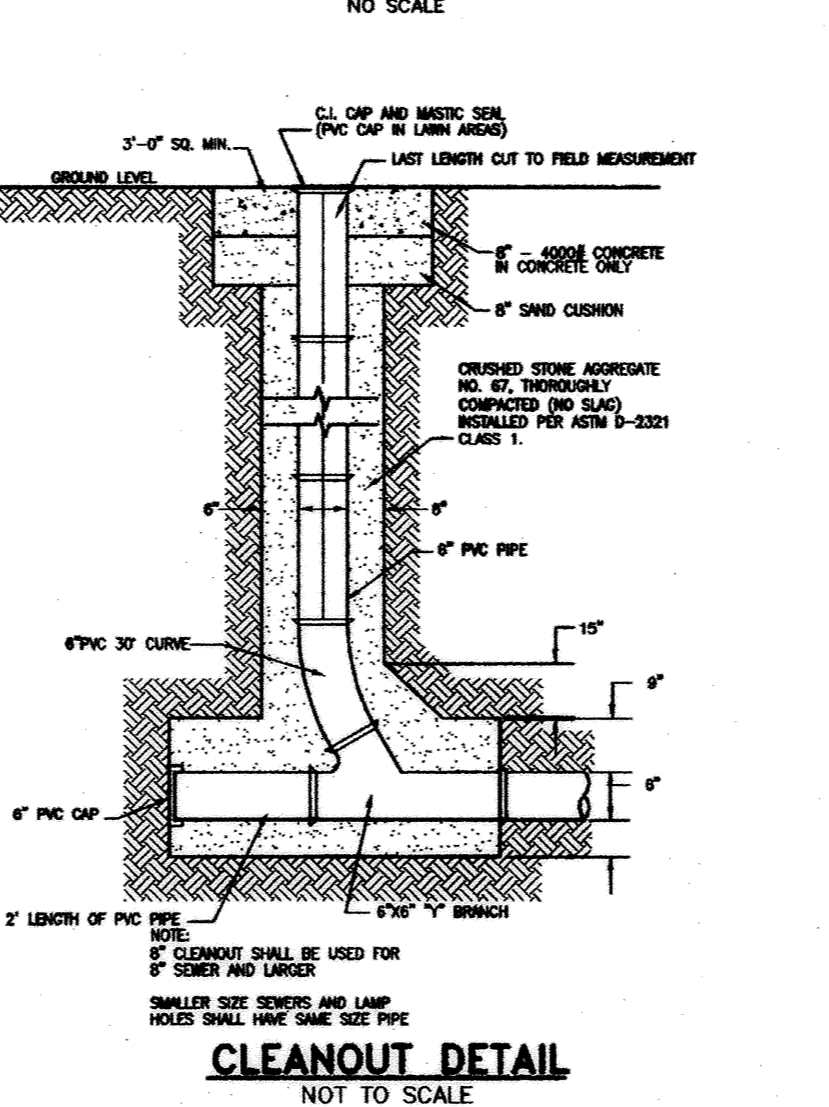
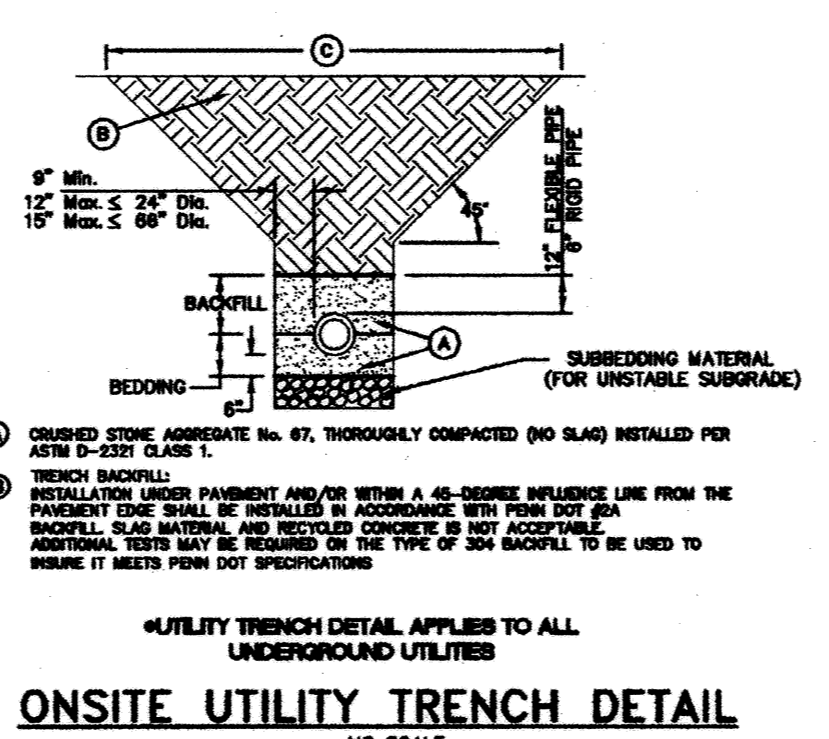
LOCATION AND ELEVATION: When given on the plans, the location and the elevation are at the top center of the grate. When side openings are provided, the elevation shall be of the flow line of the side inlet.

MINIMUM DEPTH: The minimum depth of CB No. 2-3 and CB No. 2-4 shall be the outside diameter (O.D.) of the outlet pipe plus 7" (175).

OPENINGS: Pipe openings shall be the O.D. of the pipe being supplied plus 2" (50) when prefabricated or field cut.

SIDE INLETS: Inlets shall be provided on both sides of the No. 2-3 and 2-4 catch basin in sags and on upstream side only where the ditch has a continuous down grade past the catch basin. Catch basins with side inlets shall not be used within the Clear Zone.

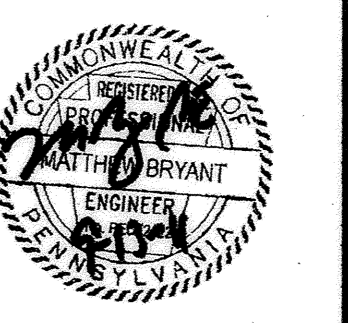
CATCH BASIN	OUTLET PIPE SIZE
2-3	12" to 36" (300 to 925)
2-4	36" to 42" (900 to 1050)



NOTICE:
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CENTER TOWNSHIP
BUTLER COUNTY, PENNSYLVANIA

DETAILS

CLIENT: GBT REALTY CORP.

DATE: SEPTEMBER 12, 2011

REVISIONS

ATWELL
SCALE 0 10 20
1" = 20 FEET

DR. --- CH. ---
P.M. BBORON
BOOK ---
CAD FILE: 11001410-SF-08-D
JOB: 11001410
FILE CODE: CD
SHEET NO. **C-9**

KEY	QUANT.	SPECIES	SIZE	COND
PN	9	PICEA ABIES	6' HG	B&B

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
2. ALL PLANTS MUST BE CONTAINER GROWN OR Balled and BURLAPPED AS INDICATED IN THE PLANT LIST.
3. ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
6. ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTINGS (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL THE PLANTINGS ARE ESTABLISHED AND ACCEPTED IN TOTAL BY THE OWNER.
10. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF 12 MONTHS BEGINNING WITH THE DATE OF THE LAST PAYMENT. IF THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
11. THE OWNER SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
12. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
13. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
14. ALL SHRUB, GROUND COVER AND SEASONAL COLOR ANNUAL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH HARDWOOD MULCH TO A MINIMUM DEPTH OF FOUR INCHES.
15. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
16. SAFE AND CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
17. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
18. ALL PLANTING AREAS (LAWN AND PLANT BEDS) ARE TO BE FREE OF ALL STUMPS, ROOTS, STONES (2" OR GREATER), OR ANY WASTE/GARBAGE MATERIAL. ALL TURFLAWN AREAS ARE TO RECEIVE A MIN. OF 4" OF TOP SOIL. ALL PROPOSED LAWN AREAS ARE TO BE HYDROSEDED AND HYDRONULCHED WITH A SLURRY MIXTURE OF SEED (AS NOTED), FIBER MULCH (AS NOTED), FERTILIZER, AND TACKFAS, AS RECOMMENDED BY THE FIBER MULCH MANUFACTURER. SEED COMPONENT IS TO BE DEPOSITED AT NOT LESS THAN THE SPECIFIED SEED SOWING RATE.
18. FIBER MULCH: BIODERIVATED, DYED-WOOD, CELLULOSE-FIBER MULCH; NONTOXIC AND FREE OF PLANT GROWTH OR PLANT GROWTH INHIBITING MATERIALS WITH A MAXIMUM MOISTURE CONTENT OF 15 PERCENT AND A PH RANGE OF 4.5 TO 6.5, COLOR TO BE GREEN.
20. MAINTAIN AND ESTABLISH TURF BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND PERFORMING OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE TURF. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMEDY TO PRODUCE A UNIFORM, SMOOTH TURF. PROVIDE MATERIAL FOR THE INSTALLATION THE SAME AS THOSE USED IN THE ORIGINAL INSTALLATION.

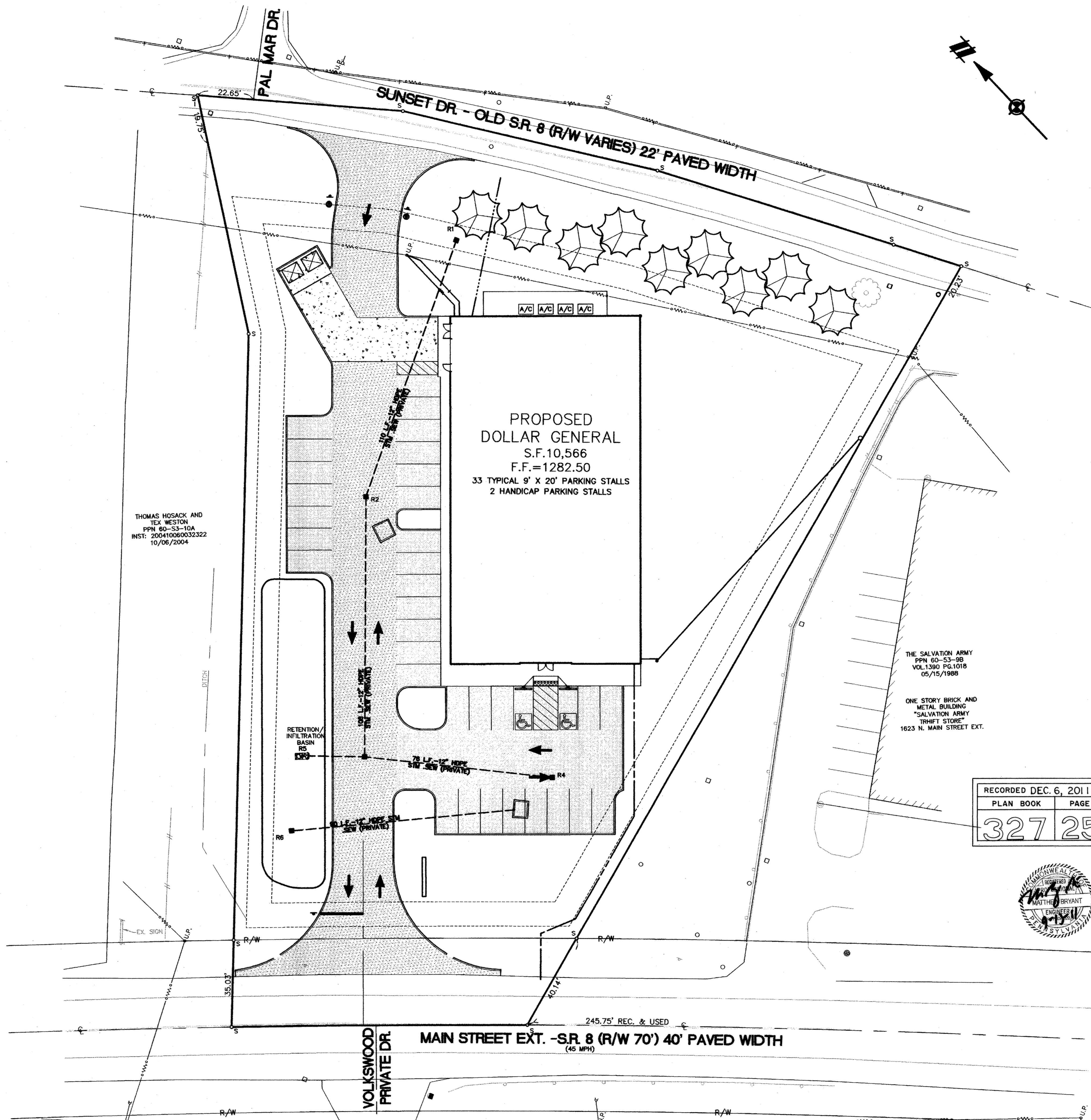


THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:

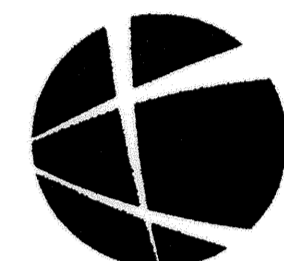
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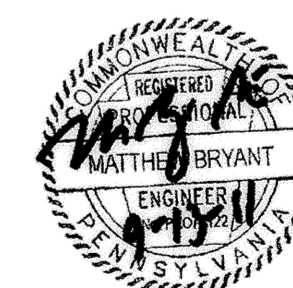


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BUTLER COUNTY, PENNSYLVANIA

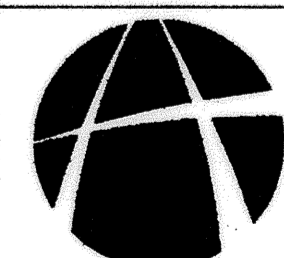
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CLIENT	
DATE	SEPTEMBER 12, 2011

RECORDED DEC. 6, 2011	
PLAN BOOK	PAGE
327	25



REVISIONS



SCALE 0 10 20

1" = 20 FEET

DR.	--	CH.	--
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P. M. BRORON

00014

CAD FILE:
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

11001410-3F-09-L
11001410-3F-09-L

JOB 11001410

FILE CODE: CD

SHEET NO.

C-10

Luminaire Schedule										
Symbol	Label	Image	QTY	Catalog Number	Description	Lamp	# Lamps	Lumens/Lamp	LLF	Wattage
	A		2	TFR 400M RB (PULSE START)	SPECIFICATION FLOODLIGHT, RB DISTRIBUTION, 400W MH, W CLEAR LAMP.	ONE 400-WATT CLEAR ED37 PULSE START METAL HALIDE, HORIZONTAL POSITION.	1	40000	0.94	466
	B		9	TWH 400M (PULSE START)	GENERAL PURPOSE BUILDING MOUNTED LUMINAIRE, 400W MH, W CLEAR LAMP.	ONE 400 WATT CLEAR ED28 PULSE START METAL HALIDE IN HORIZONTAL POSITION	1	38000	0.94	466
	C		2	KAD 400M SR3 (PULSE START)	Area Luminaire, 400W MH, High Performance SR3 Reflector, Full Cutoff MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA	ONE 400 WATT CLEAR ED28 PULSE START METAL HALIDE IN HORIZONTAL POSITION	1	38000	0.94	466

Luminaire Locations										
		Location						Aim		
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
3	A	305.30	193.90	17.00	17.00	166.38	75.24	320.50	131.17	0.00
4	A	304.00	193.90	17.00	17.00	208.56	75.96	271.50	134.17	0.00
21	B	268.90	194.05	16.00	16.00	180.00	0.00	268.90	194.05	0.00
21	B	338.90	194.05	16.00	16.00	180.00	0.00	338.90	194.05	0.00
21	B	304.30	336.30	16.00	16.00	-1.25	0.00	304.30	336.30	0.00
21	B	265.90	209.10	16.00	16.00	-90.00	0.00	265.90	209.10	0.00
8	B	265.90	265.10	16.00	16.00	-90.00	0.00	265.90	265.10	0.00
9	B	265.90	293.10	16.00	16.00	-90.00	0.00	265.90	293.10	0.00
10	B	265.90	321.10	16.00	16.00	-90.00	0.00	265.90	321.10	0.00
15	B	344.00	266.00	16.00	16.00	90.00	0.00	344.00	266.00	0.00
3	C	197.00	269.00	25.00	25.00	87.06	0.00	196.37	269.07	0.00
4	C	217.00	138.00	25.00	25.00	90.00	0.00	216.38	138.00	0.00
13	B	265.90	237.10	16.00	16.00	-90.00	0.00	265.90	237.10	0.00

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
DG Butler PA	+	4.2	26.4	0.0	N/A	N/A	0.2:1
Parking Lot Calcs	X	7.6	18.2	1.9	9.6:1	4.0:1	0.4:1

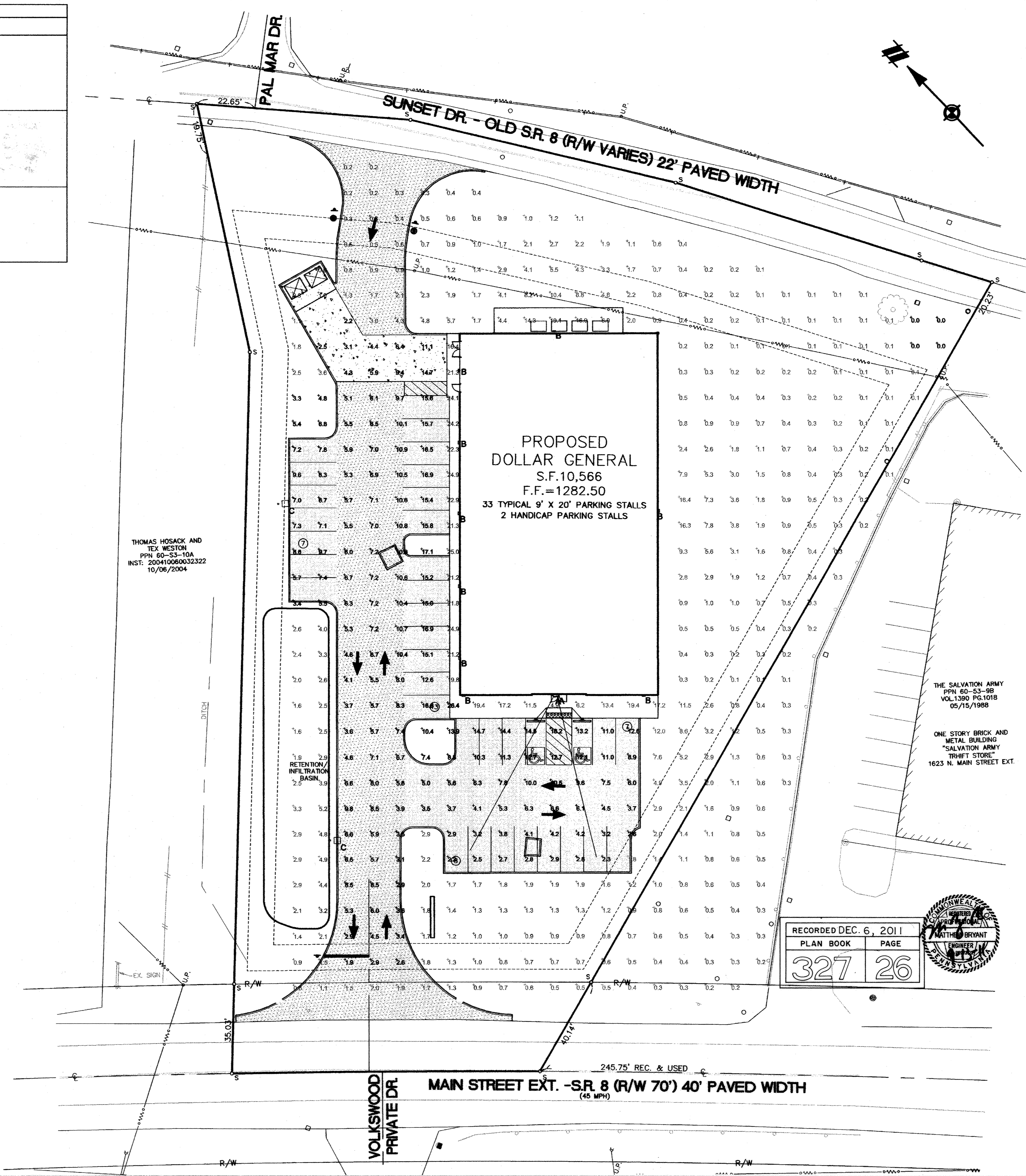
811

Know what's below.
Call before you dig.

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CENTER TOWNSHIP

BUTLER COUNTY, PENNSYLVANIA

GBT REALTY CORP.

PHOTOMETRIC PLAN

DATE

SEPTEMBER 12, 2011

REVISIONS

SCALE

0 10 20

1" = 20 FEET

DR.

CH.

P.M.

BOOK

CAD FILE:

11001410-SF-09-PM

JOB

11001410

FILE CODE:

CD

SHEET NO.

C-11

KNOW ALL MEN BY THESE PRESENTS, THAT I MARGARET M. BLESSING, DO HEREBY ADOPT THIS PLAN AS MY PLAN OF LOTS OF MY PROPERTY SITUATE IN WORTH TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCORDING TO IT, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF WORTH, MARGARET M. BLESSING, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA COUNTY OF BUTLER, AND TOWNSHIP OF WORTH, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON MARGARET M. BLESSING, MY SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 19 DAY OF October 2011

Attest:
WITNESS
MARGARET M. BLESSING

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER)

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED MARGARET M. BLESSING AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE HER ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

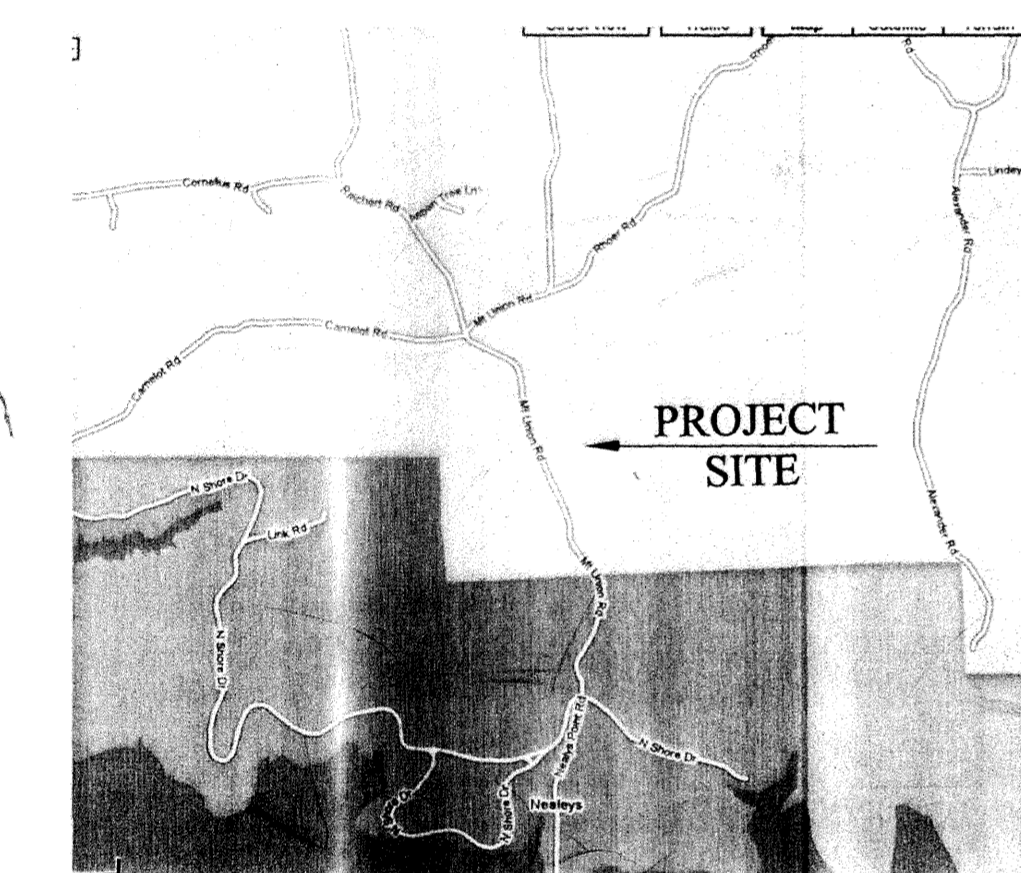
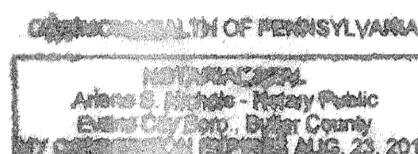
SWORN AND SUBSCRIBED BEFORE ME THIS DAY.

WITNESS MY HAND AND SEAL THIS 19 DAY OF October 2011

MY COMMISSION EXPIRES THE 23 DAY OF August 2014

Attest:
NOTARY PUBLIC

(SEAL)



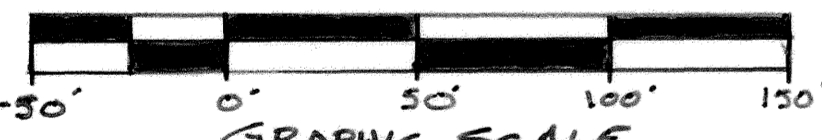
PROJECT SITE

LOCATION MAP

NO SCALE

N/F BLESSING
DBV. 2711 PG. 58

← I.P. DENOTES IRON PIN SET



TEST PIT / PERC HOLE LEGEND:

- ▲ - TEST PIT PASSED
- △ - TEST PIT FAILED
- - PERC HOLE

Zoning Requirements

	Agricultural/ Residential
GROSS LOT AREA	1.5 ACRE
LOT WIDTH @ B.L.	150 FT. MIN.
FRONT YARD DEPTH	50 FT. MIN.
SIDE YARD WIDTH	25 FT. MIN.
REAR YARD DEPTH	50 FT. MIN.

Agricultural/ Residential

TOTAL PLAN AREA = 15.1074 ACRES

KNOW ALL MEN BY THESE PRESENTS, THAT WE LOUIS F. AND SHERYL A. LONGOBARDI, DO HEREBY ADOPT THIS PLAN AS OUR PLAN OF LOTS OF OUR PROPERTY SITUATE IN WORTH TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCORDING TO IT, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF WORTH, LOUIS F. AND SHERYL A. LONGOBARDI, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA COUNTY OF BUTLER, AND TOWNSHIP OF WORTH, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON LOUIS F. AND SHERYL A. LONGOBARDI, OUR SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 27 DAY OF October 2011

Attest:
WITNESS
LOUIS F. LONGOBARDI
SHERYL A. LONGOBARDI

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER)

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED LOUIS F. AND SHERYL A. LONGOBARDI AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE THEIR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

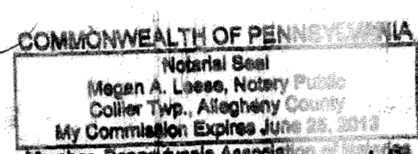
SWORN AND SUBSCRIBED BEFORE ME THIS DAY.

WITNESS MY HAND AND SEAL THIS 27 DAY OF October 2011

MY COMMISSION EXPIRES THE 25 DAY OF June 2013

Attest:
NOTARY PUBLIC

(SEAL)



REVIEWED BY THE WORTH TOWNSHIP PLANNING COMMISSION THIS 17th DAY OF November 2011
Attest:
SECRETARY
CHAIRMAN

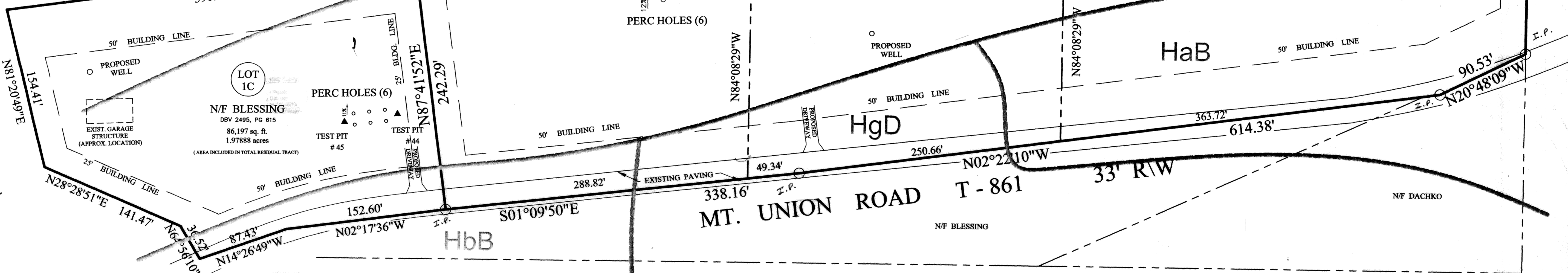
THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WORTH HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF WORTH ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS, OR ROADS, OR GRADES, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY IN TOWNSHIP STREETS OR ROADS.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WORTH, THIS 16th DAY OF December 2011
Attest:
CHAIRMAN, BOARD OF SUPERVISORS
SUPERVISOR

I, JOHN SCHLEICHER, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS AND OR AGENTS.
DATE 10-11-11
JOHN SCHLEICHER
Registration Number: SJ-053786-E

N/F BLESSING
DBV. 2711 PG. 58

S02°27'19"E
390.85'



OWNER:

MARGARET M. BLESSING
315 MT. UNION ROAD
PORTERSVILLE, PA 16051
(724) 368-9248

LOUIS F. & SHERYL A. LONGOBARDI
201 NORTHFIELD ROAD
CRANBERRY, PA 16066
(724) 272-3856

ENGINEER/SURVEYOR:
GIBSON-THOMAS ENGINEERING CO.
9951 OLD PERRY HIGHWAY
WEXFORD, PA 15090
(724) 935-8188

PROPOSED DRIVEWAY NOTE:

- ALL DRIVEWAYS SHALL MEET THE SPECIFICATIONS AS SET FORTH IN THE WORTH TOWNSHIP DRIVEWAY ORDINANCE

SOILS LEGEND:

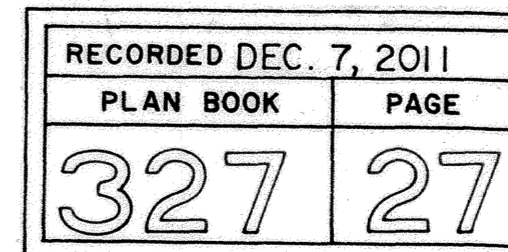
AoC - ANDOVER LOAM, 8-15% SLOPE, VERY STONEY
BxD - BUCHANAN LOAM, 8-25% SLOPE, VERY STONEY
HaB - HAZELTON CHANNERY LOAM, 3-8% SLOPE
HaC - HAZELTON CHANNERY LOAM, 8-15% SLOPE
HbB - HAZELTON LOAM, 0-8% SLOPE, VERY STONEY
HgD - HAZELTON AND GILPIN, 8-25% SLOPE, VERY STONEY
HgF - HAZELTON AND GILPIN, 25-70% SLOPE, VERY STONEY

PLAN NOTE:

- THE PURPOSE OF THIS PLAN IS TO COMBINE LOT 1A AND LOT 1B INTO ONE 13.13 ACRE TRACT. LOT 1C WILL REMAIN AS A RESIDUAL 1.98 ACRE TRACT.

SEWAGE DISPOSAL SYSTEMS NOTES:

- ONLOT SEWAGE DISPOSAL SYSTEMS AND WATER WELL LOCATIONS ARE SUBJECT TO ALL PENNSYLVANIA DEP. CHAPTER 73 STANDARDS AND SPECIFICATIONS AND ISOLATION DISTANCES.
- NO DISTURBANCE SHALL BE PERMITTED WITHIN THE PROPOSED ABSORPTION AREAS.
- REPLACEMENT ABSORPTION AREAS SHALL NOT BE DISTURBED IN THE EVENT THE PRIMARY ONLOT SYSTEM SHOULD FAIL.
- NO BUILDING PERMIT TO BE ISSUED UNTIL APPROVED ON-LOT SEWAGE DISPOSAL SYSTEM PERMIT HAS BEEN ISSUED.
- NO WATER WELL SHALL BE PLACED WITHIN 100' OF ANY ABSORPTION AREA.



BLESSING PLAN OF LOTS - REVISED

BEING A REVISION TO THE BLESSING PLAN OF LOTS AS RECORDED IN P.B.VOL. 307 PG. 46

SITUATE IN

WORTH TOWNSHIP, BUTLER CO., PA

MADE FOR

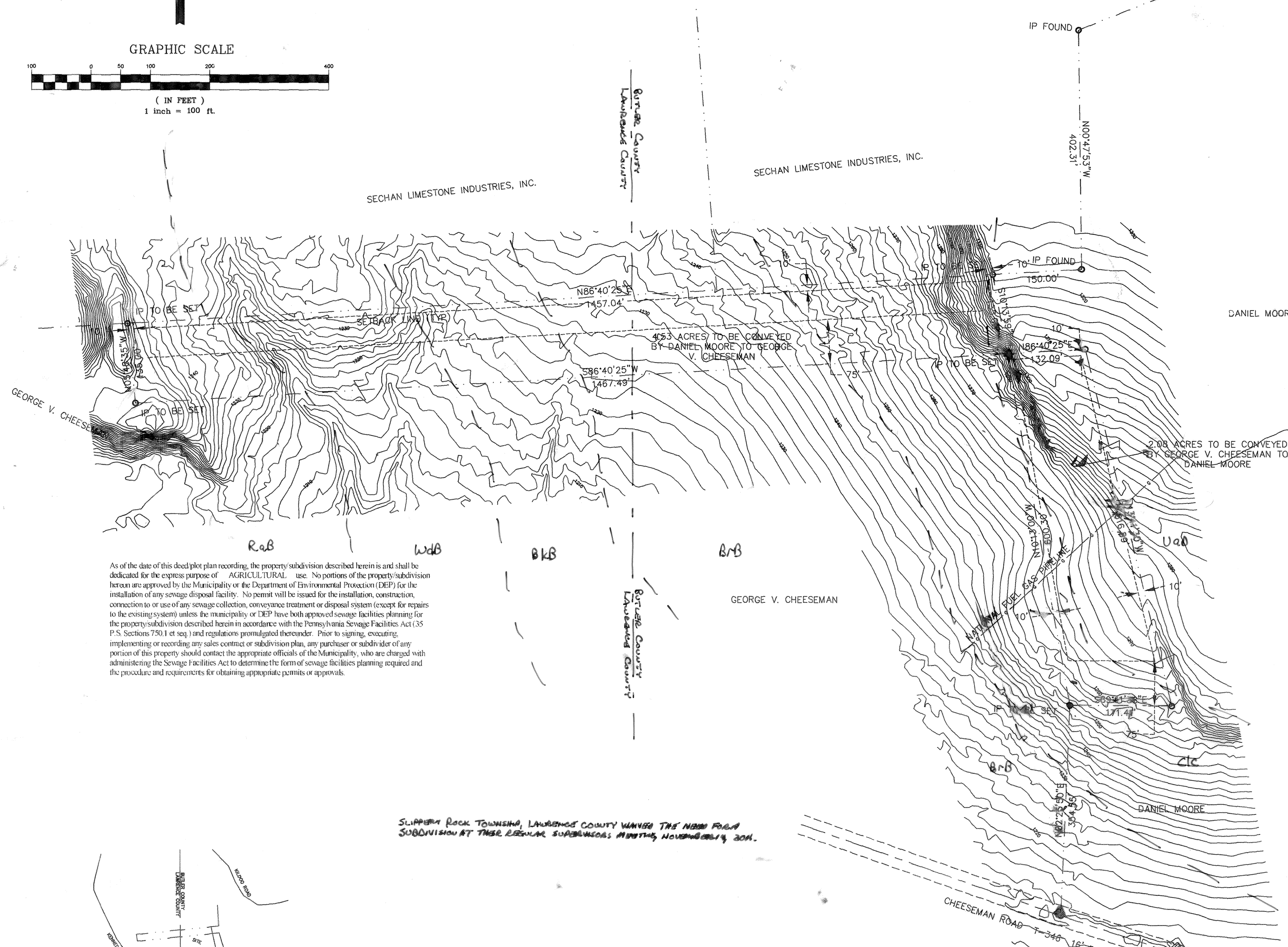
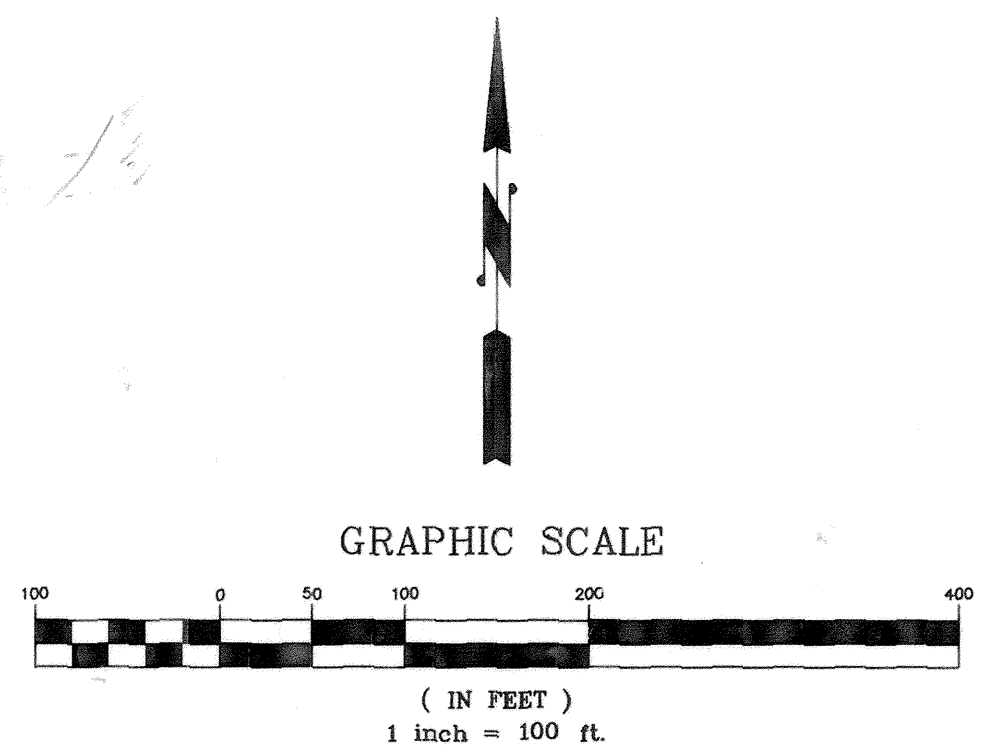
MARGARET M. BLESSING

SCALE: 1"= 50'

DATE: OCTOBER, 2010

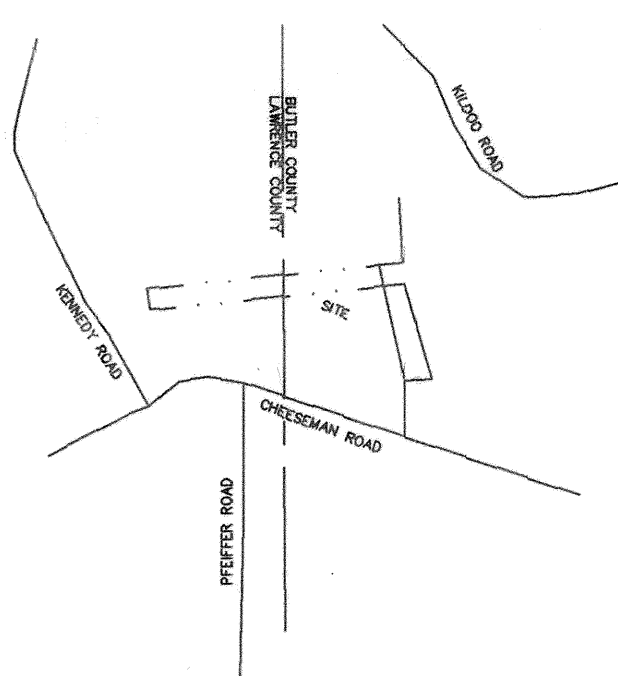
GIBSON-THOMAS ENGINEERING CO.
9951 OLD PERRY HIGHWAY WEXFORD, PA 15090

Instr: 20110042087
Pages: 1
F: \$45.00
Michele Mustello
Butler County Recorder
12/07/2011
4:58PM
T20110042087
ND



As of the date of this deed plot plan recording, the property/subdivision described herein is and shall be dedicated for the express purpose of AGRICULTURAL use. No portions of the property/subdivision hereon are approved by the Municipality or the Department of Environmental Protection (DEP) for the installation of any sewage disposal facility. No permit will be issued for the installation, construction, connection to or use of any sewage collection, conveyance treatment or disposal system (except for repairs to the existing system) unless the municipality or DEP have both approved sewage facilities planning for the property/subdivision described herein in accordance with the Pennsylvania Sewage Facilities Act (35 P.S. Sections 750.1 et seq.) and regulations promulgated thereunder. Prior to signing, executing, implementing or recording any sales contract or subdivision plan, any purchaser or subdivider of any portion of this property should contact the appropriate officials of the Municipality, who are charged with administering the Sewage Facilities Act to determine the form of sewage facilities planning required and the procedure and requirements for obtaining appropriate permits or approvals.

SUPPERA ROCK TOWNSHIP, LAWRENCE COUNTY WAIVED THE NEIGH FOR A SUBDIVISION AT THEIR REGULAR SUPERVISORS MEETING, NOVEMBER 14, 2011.



RECORDED DEC. 7, 2011	
PLAN BOOK	PAGE
327	28

GEORGE V. CHEESMAN
226 CHEESEMAN ROAD
PORTERSVILLE, PA 16051
PARCEL ID 4F135-23N
INT NO. 200712190031924

DANIEL MOORE
104 HILLTOP ROAD
PORTERSVILLE, PA 16051
PARCEL ID 4F135-21
INT NO. 200804170008231

GREGORY A. TOMO, P.L.S.
257 MOUNT HOPE FURNACE ROAD
PORTERSVILLE, PA 16051
TEL: (724) 924-9503
FAX: (724) 924-9503

KNOW ALL MEN BY THESE PRESENTS, THAT DANIEL MOORE AND GEORGE V. CHEESEMAN of the Township of Muddy Creek, County of Butler and the Commonwealth of Pennsylvania for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this plan as our plan of lots of our property situated in the Township of Muddy Creek, County of Butler and the Commonwealth of Pennsylvania, and for diverse advantages accruing to us, do hereby irrevocably dedicate forever, for public use for highway, drainage, sewage and utility purposes, all streets and other public property identified for dedication on the plan to the public. Any future acceptance of said public streets or property by the Commonwealth of Pennsylvania, County of Butler or township of Muddy Creek, DANIEL MOORE AND GEORGE V. CHEESEMAN hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Muddy Creek, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and other public uses, and to physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon DANIEL MOORE AND GEORGE V. CHEESEMAN, our heirs, executors, administrators and assigns and purchasers of lot in this plan.

IN WITNESS WHEREOF, we hereunto set our hand and seal this 26 day of September 2011.

Attest:
Daniel Moore
OWNER
George V. Cheesman
OWNER
Barbara J. Florida
Notary Public
My Commission Expires Aug. 18, 2012

COMMONWEALTH OF PENNSYLVANIA
Notarial Seal
Barbara J. Florida, Notary Public
Slippery Rock Twp., Lawrence County
My Commission Expires Aug. 18, 2012
Member, Pennsylvania Association of Notaries

We, DANIEL MOORE AND GEORGE V. CHEESEMAN, fully understanding and agree that the approval of the Board of Supervisors of the Township of Muddy Creek, IF hereto attached, will become null and void, unless this plan is recorded in the Recorder or Deed Office of Butler County, County Court House, Butler, Pennsylvania, within ninety (90) days of date of said approval.

Daniel Moore
OWNER
George V. Cheesman
OWNER

COMMONWEALTH OF PENNSYLVANIA: (SS)
COUNTY OF Butler: Lawrence

Before me the subscriber, a Notary Public in and for said Commonwealth and County personally appeared the above named DANIEL MOORE AND GEORGE V. CHEESEMAN who being duly sworn according to law, depose and says that they are the owners of the property shown on this plan, that the plan thereof was made at their direction, that they acknowledge the same to be their act and deed and that they desire the same to be recorded as such.

WITNESS MY HAND AND SEAL this 26 day of September 2011.
Barbara J. Florida
Notary Public
My Commission Expires Aug. 18, 2012

COMMONWEALTH OF PENNSYLVANIA
Notarial Seal
Barbara J. Florida, Notary Public
Slippery Rock Twp., Lawrence County
My Commission Expires Aug. 18, 2012
Member, Pennsylvania Association of Notaries

I, GREGORY A. TOMO, P.L.S., a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan is a true and correct copy of the field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers as shown on the plat have been examined to the best of my knowledge, that this plan correctly represents the lots, lands, streets and highways as surveyed and plotted by me for the owners and agents.

September 27, 2011
DATE

Gregory A. Tomo
Professional Land Surveyor
No. 031438-E

This plan has been recommended for approval by the Planning Commission of the Township of Muddy Creek, Butler County, Pennsylvania on this 23rd day of September, 2011.

ATTEST:
Kelly Annmarie
Secretary

Robert J. Badger
Elected member

The BOARD OF SUPERVISORS OF THE TOWNSHIP OF MUDDY CREEK hereby gives public notice that it is approving this plan for recording purposes only. The Board of Supervisors has not accepted dedication of any streets, roads, public facilities and has no obligation, legal or otherwise to improve or maintain any streets, lands, or public facilities.

This plan approved by action of the BOARD OF SUPERVISORS OF THE TOWNSHIP OF MUDDY CREEK, Butler County, Pennsylvania
this 16th day of November, 2011.

Kelly Annmarie
Secretary

Robert J. Badger
Chairman

Reviewed with or without comments by the Butler County Planning Commission this 16th day of Nov., 2011.

John F. Miller
SEAL - SEC

F. W. Miller
CHAIRMAN

COMMONWEALTH OF PENNSYLVANIA: (SS)
COUNTY OF BUTLER:

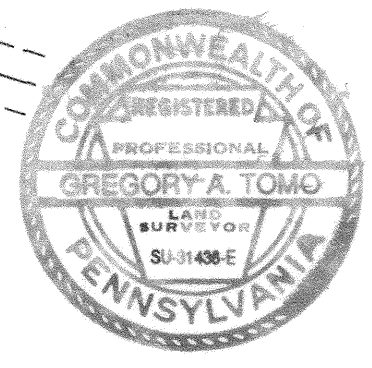
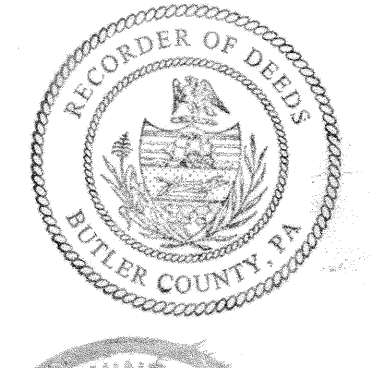
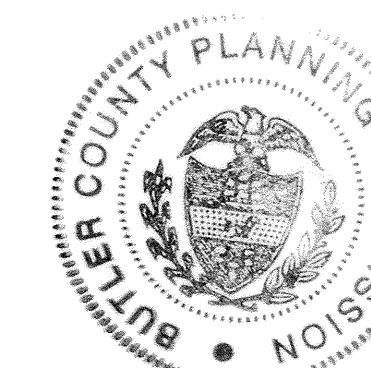
Recorded in the Office for the Recording of Deeds, Plans, etc. in said County at
Instrument Number Plan Book 327 Pg 28
Given under my hand and seal this 7th day of Dec 2011.

Michele M. Mustello
Recorder of Deeds

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in Jan. 2012

SUBDIVISION PLAN FOR
DANIEL MOORE AND GEORGE V. CHEESEMAN
MUDDY CREEK TWP.
SCALE: 1" = 100'
JULY 24, 2011
GREGORY A. TOMO, P.L.S.

REVISED 09-27-11
REVISED 11-14-11



KNOW ALL MEN BY THESE PRESENTS, THAT ANNE M. GRIFFITHS & PATRICIA A. ZIMMERMAN DO HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN SLIPPERY ROCK TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF SLIPPERY ROCK, ANNE M. GRIFFITHS & PATRICIA A. ZIMMERMAN HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF SLIPPERY ROCK, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON ANNE M. GRIFFITHS & PATRICIA A. ZIMMERMAN, OUR SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 12 DAY OF Oct. 2011

ATTEST:
WITNESS
OWNER
OWNER

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER)
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED ANNE M. GRIFFITHS & PATRICIA A. ZIMMERMAN AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.

WITNESS MY HAND AND SEAL THIS 12 DAY OF October 2011
MY COMMISSION EXPIRES THE 30 DAY OF April 2011

NOTARY PUBLIC
Dennis A. Grosky, Notary Public
Slippery Rock, Butler County
My Commission Expires Oct. 30, 2011
Member, Pennsylvania Association of Notaries

APPROVED BY THE SLIPPERY ROCK TOWNSHIP PLANNING COMMISSION THIS 14th DAY OF November 2011

SECRETARY
CHAIRMAN

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF SLIPPERY ROCK HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF SLIPPERY ROCK ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS, OR ROADS, OR GRADES, PAVES, AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF SLIPPERY ROCK, THIS 14th DAY OF November 2011

SECRETARY
CHAIRMAN, BOARD OF SUPERVISORS
SUPERVISOR

I, JAMES M. SHUTY, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

10-06-11
DATE
REG. NO. 3556B-E

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 19th DAY OF Oct 2011

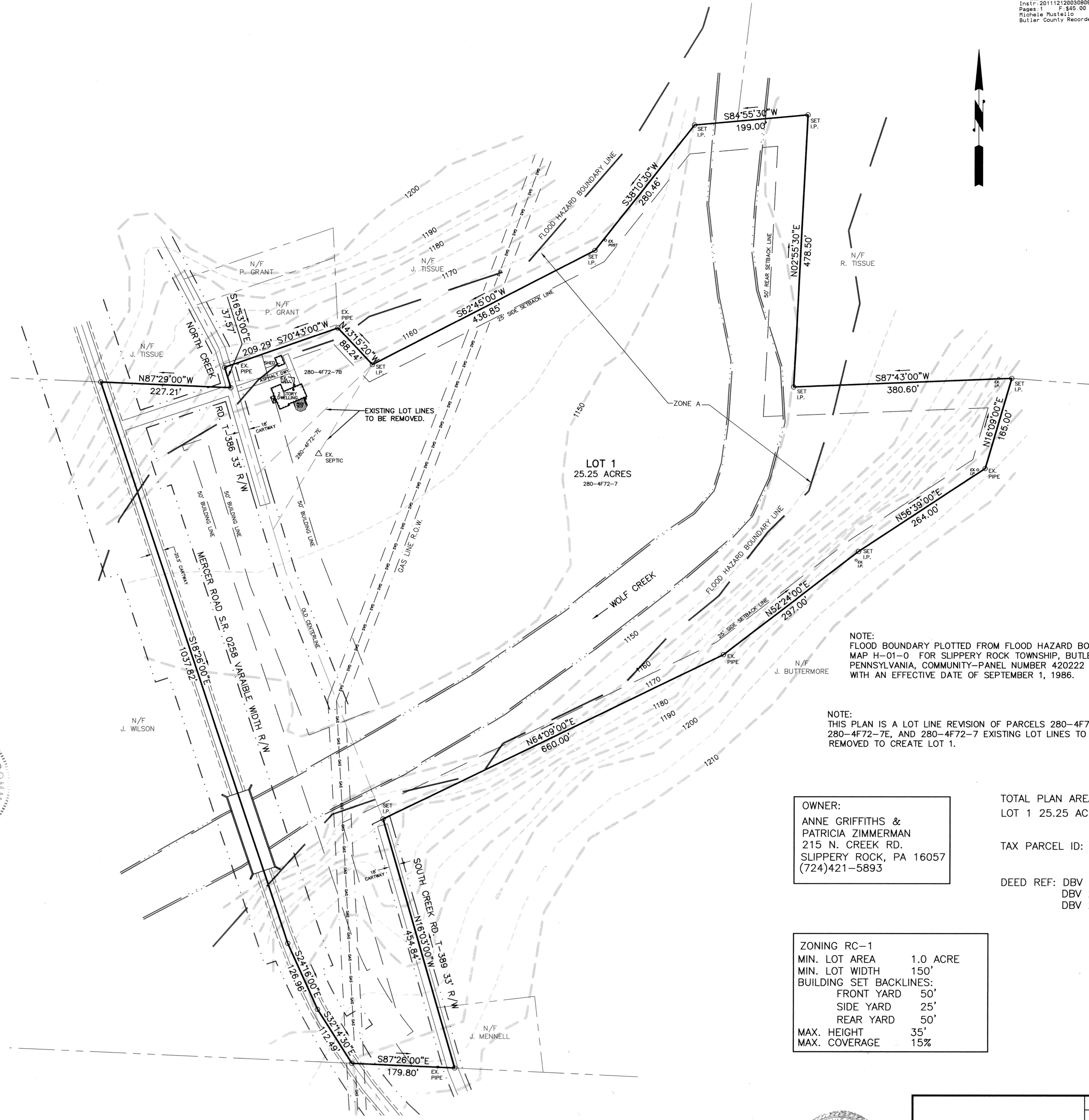
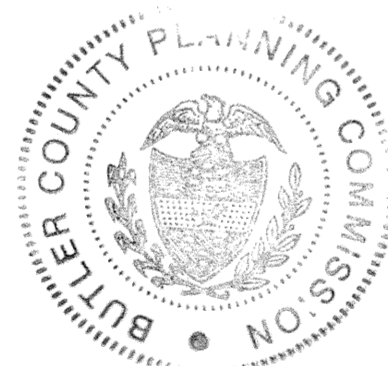
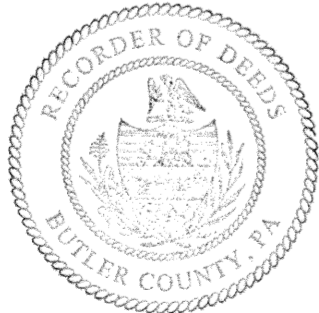
SECRETARY
CHAIRMAN

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER)

RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN SAID COUNTY IN PLAN BOOK VOLUME 327 PAGE 29

GIVEN UNDER MY HAND AND SEAL THIS 12 DAY OF December 2011

RECORDER
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in Jan 2012



NOTE:
FLOOD BOUNDARY PLOTTED FROM FLOOD HAZARD BOUNDARY MAP H-01-0 FOR SLIPPERY ROCK TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, COMMUNITY-PANEL NUMBER 420222 A, WITH AN EFFECTIVE DATE OF SEPTEMBER 1, 1986.

NOTE:
THIS PLAN IS A LOT LINE REVISION OF PARCELS 280-4F72-7B, 280-4F72-7E, AND 280-4F72-7 EXISTING LOT LINES TO BE REMOVED TO CREATE LOT 1.

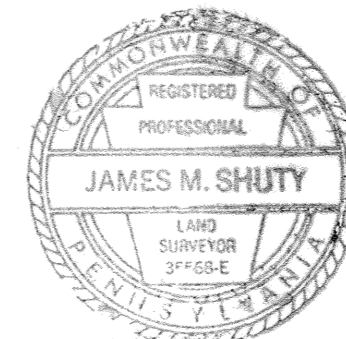
OWNER:
ANNE GRIFFITHS &
PATRICIA ZIMMERMAN
215 N. CREEK RD.
SLIPPERY ROCK, PA 16057
(724)421-5893

TOTAL PLAN AREA 25.25 ACRES
LOT 1 25.25 ACRES

TAX PARCEL ID: 280-4F72-7B
280-4F72-7E
280-4F72-7

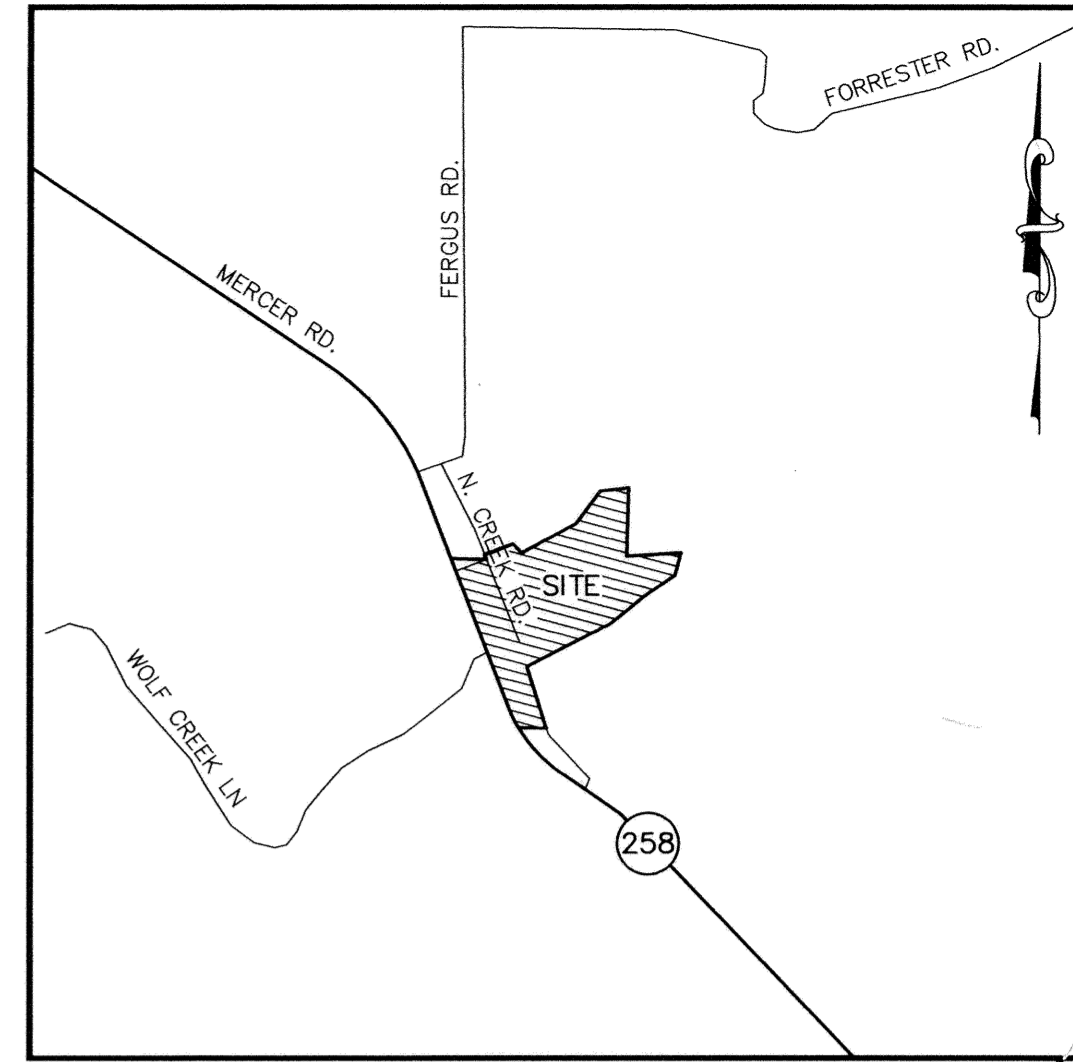
DEED REF: DBV 991 PG 495
DBV 2432 PG 805
DBV 2528 PG 001

ZONING RC-1
MIN. LOT AREA 1.0 ACRE
MIN. LOT WIDTH 150'
BUILDING SET BACKLINES:
FRONT YARD 50'
SIDE YARD 25'
REAR YARD 50'
MAX. HEIGHT 35'
MAX. COVERAGE 15%

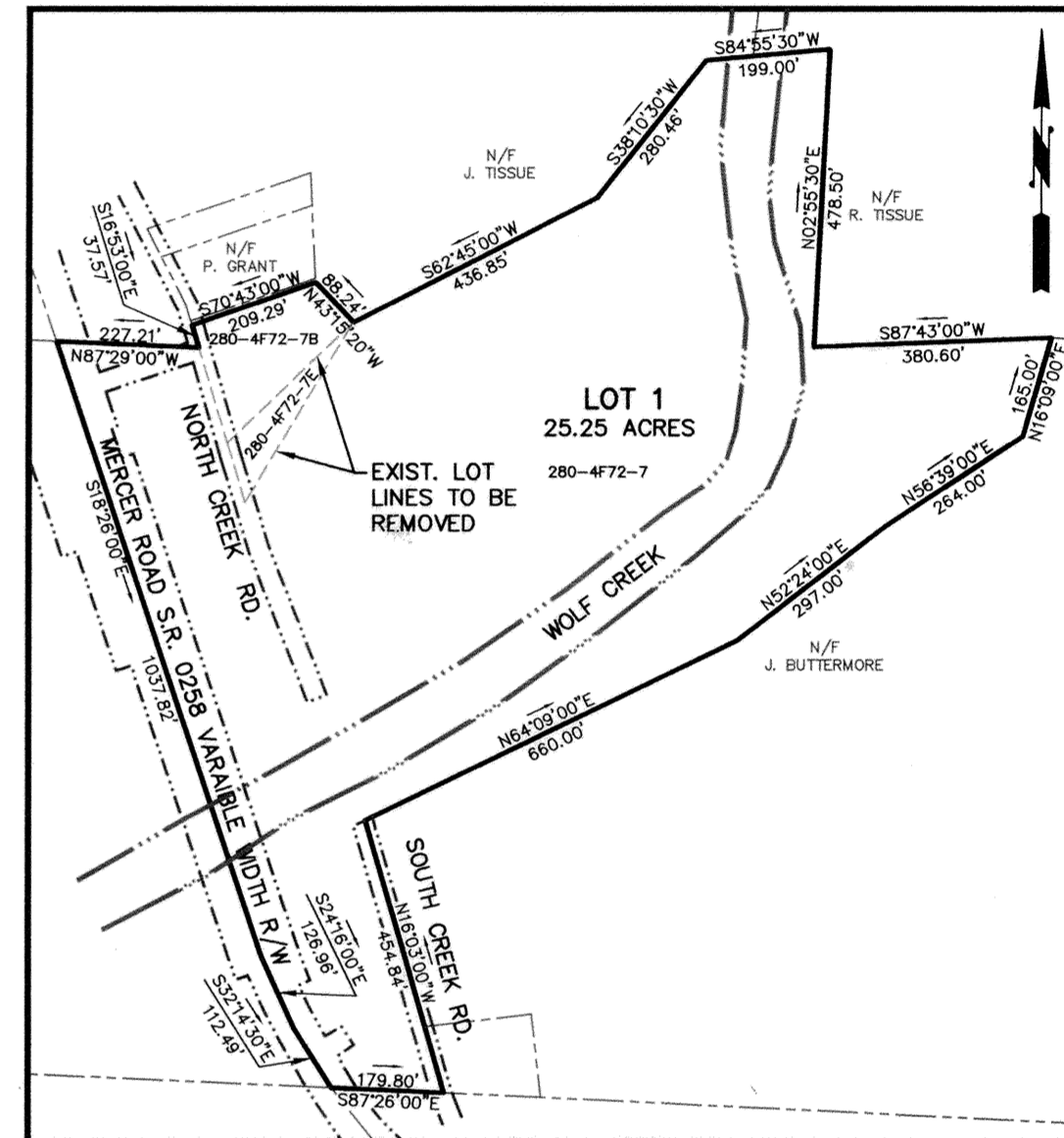


NORTHERN
SURVEYORS AND ASSOCIATES
137 LINK LANE
SLIPPERY ROCK, PA 16057
(724)530-6889

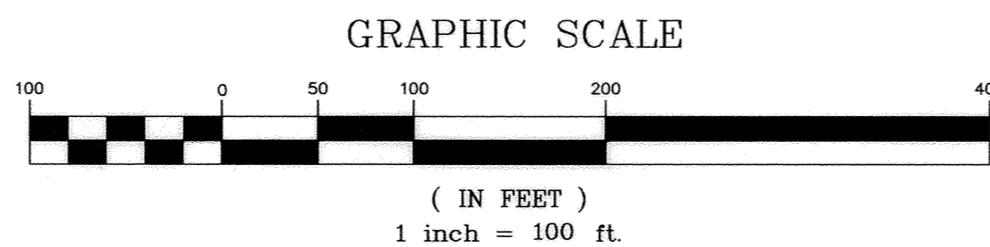
Scale 1" = 100'	Griffiths-Zimmerman Lot Line Revision	
Date Sept. 30, 2011	Situate in Slippery Rock Township Butler County, Pa.	
Job No. 2395	Prepared For Anne Griffiths & Patricia Zimmerman	
	Sheet No. 1 of 1	



LOCATION MAP



LOT LINE REVISION MAP
SCALE: 1" = 300'



NOTE:
The municipality can issue final approval of the subdivision plan or building permit if the plan or permit contains the wording that "A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE STATE HIGHWAY LAW (PL 1242, No. 428)"

KNOW ALL MEN BY THESE PRESENTS That We, Gary P., Jr. & Miriam E. Goerk and William J. & Carol M. Darney of the Township of Penn, County of Butler and Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this as our plan of lots of our property, situate in the Township of Penn, County of Butler and Commonwealth of Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever, for public use for highway purposes, all slope areas, drives, roads, streets, lanes and ways, and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in the consideration of the approval of said plan, and any future acceptance of said public highways by the Commonwealth of Pennsylvania, County of Butler and Township of Penn, we hereby covenant and agree to and by these presents do release and forever discharge the Commonwealth of Pennsylvania, County of Butler and Township of Penn, their successors and assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon the above named property owners, their heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, We hereunto set our hand and seal this 4th day of November 2011.

Gary P., Jr.
Owner

Miriam E. Goerk
Owner

William J. Darney
Owner

Carol M. Darney
Owner

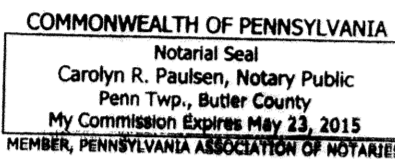
COMMONWEALTH OF PENNSYLVANIA : SS
COUNTY OF BUTLER :

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally came Gary P., Jr. & Miriam E. Goerk and William J. & Carol M. Darney and acknowledged the foregoing release and dedication and plan to be their act and deed and desired the same to be recorded as such.

WITNESS MY HAND AND NOTARIAL SEAL this 4th day of November 2011.

Carolyn R. Paulsen
Notary Public

Seal & Stamp



I, Stanley D. Graff, a Registered Professional Surveyor of the Commonwealth of Pennsylvania, do hereby certify, to the best of my knowledge, that this plan as shown herein is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan correctly represents the lots, lands, streets and highways as surveyed and plotted by me for the purposes herein.

4 Nov '11
Date



The Board of Supervisors of the Township of Penn, hereby gives public notice that in approving this plan for recording purposes only, the Township of Penn assumes no obligations, legal or otherwise, expressed or implied either to accept said streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

Approved by the Supervisors of the Township of Penn this 13th day of December 2011.

David D. Zupars
Secretary

Seal

Samuel Unad
Chairman

Approved by the Penn Township Planning Commission this 7 day of Nov 2011.

Rosemary
Secretary

Rosemary
Chairman

Reviewed by the Butler County Planning Commission this 8th day of Nov 2011.

John G. R. M.
Secretary

Seal

John G. R. M.
Chairman

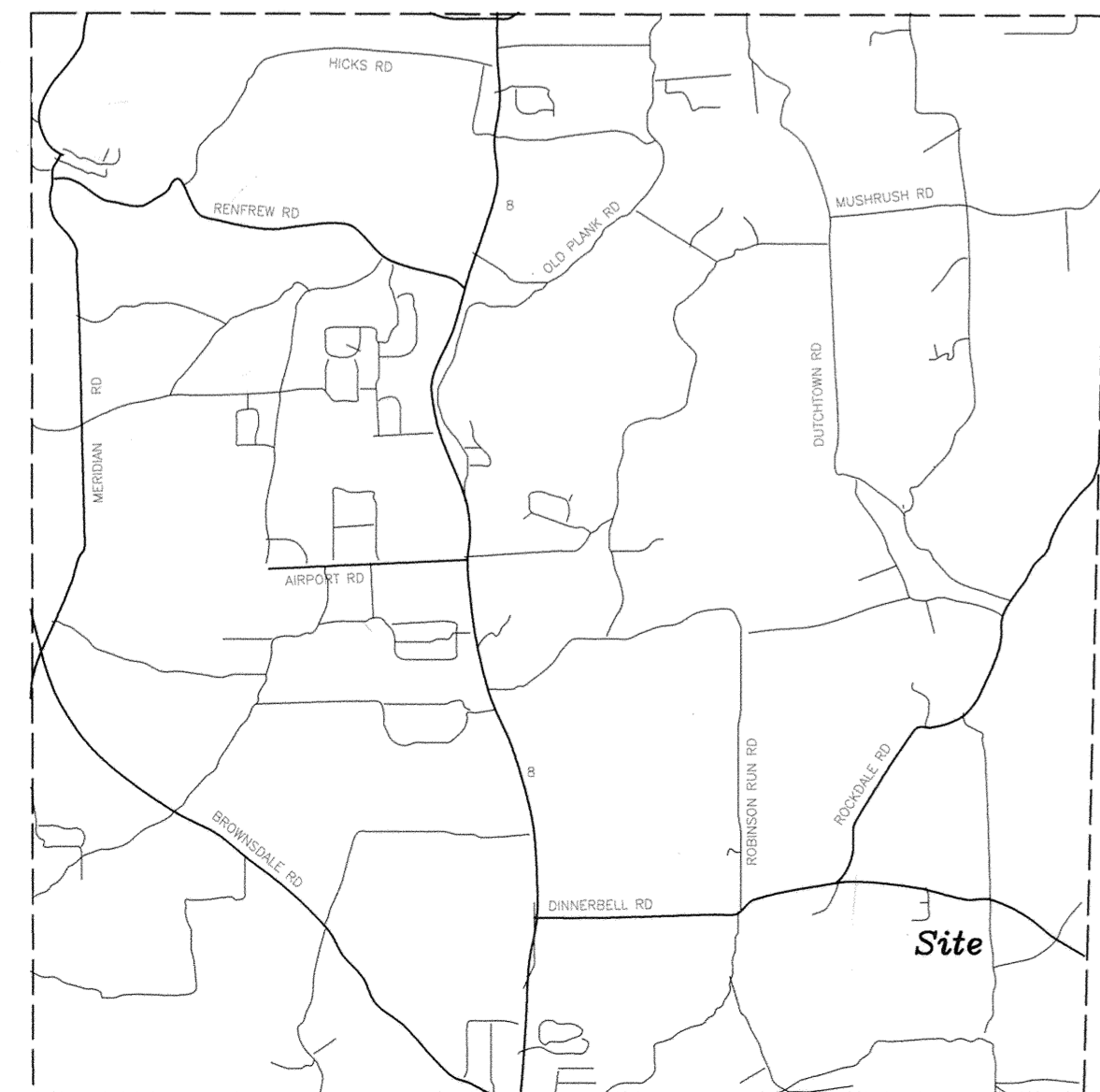


COMMONWEALTH OF PENNSYLVANIA : SS
COUNTY OF BUTLER :

Recorded in the Recorder's Office for the recording of deeds, plans, etc., in said County in Plan Book Volume 327 Page 32.

Given under my hand and seal this 19th day of Dec 2011.

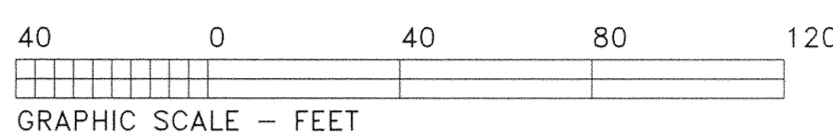
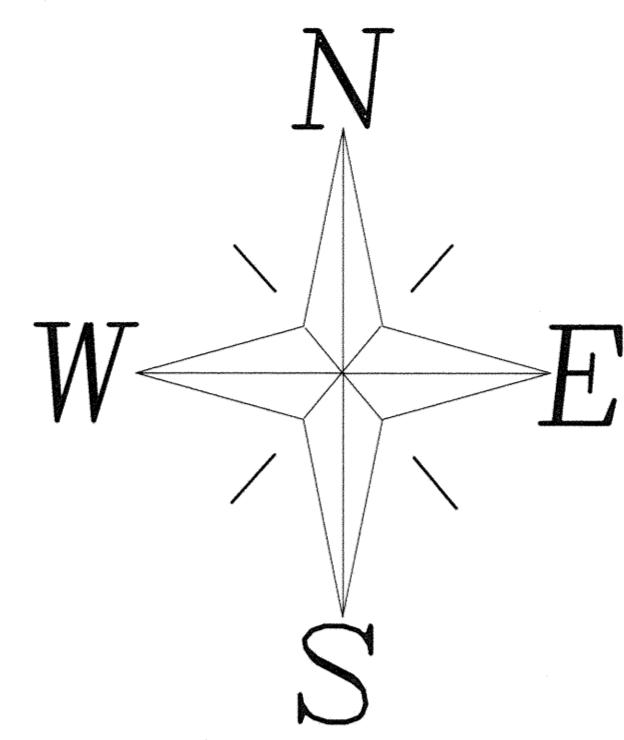
Michele M. Mustello
Recorder
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in Jan 2012



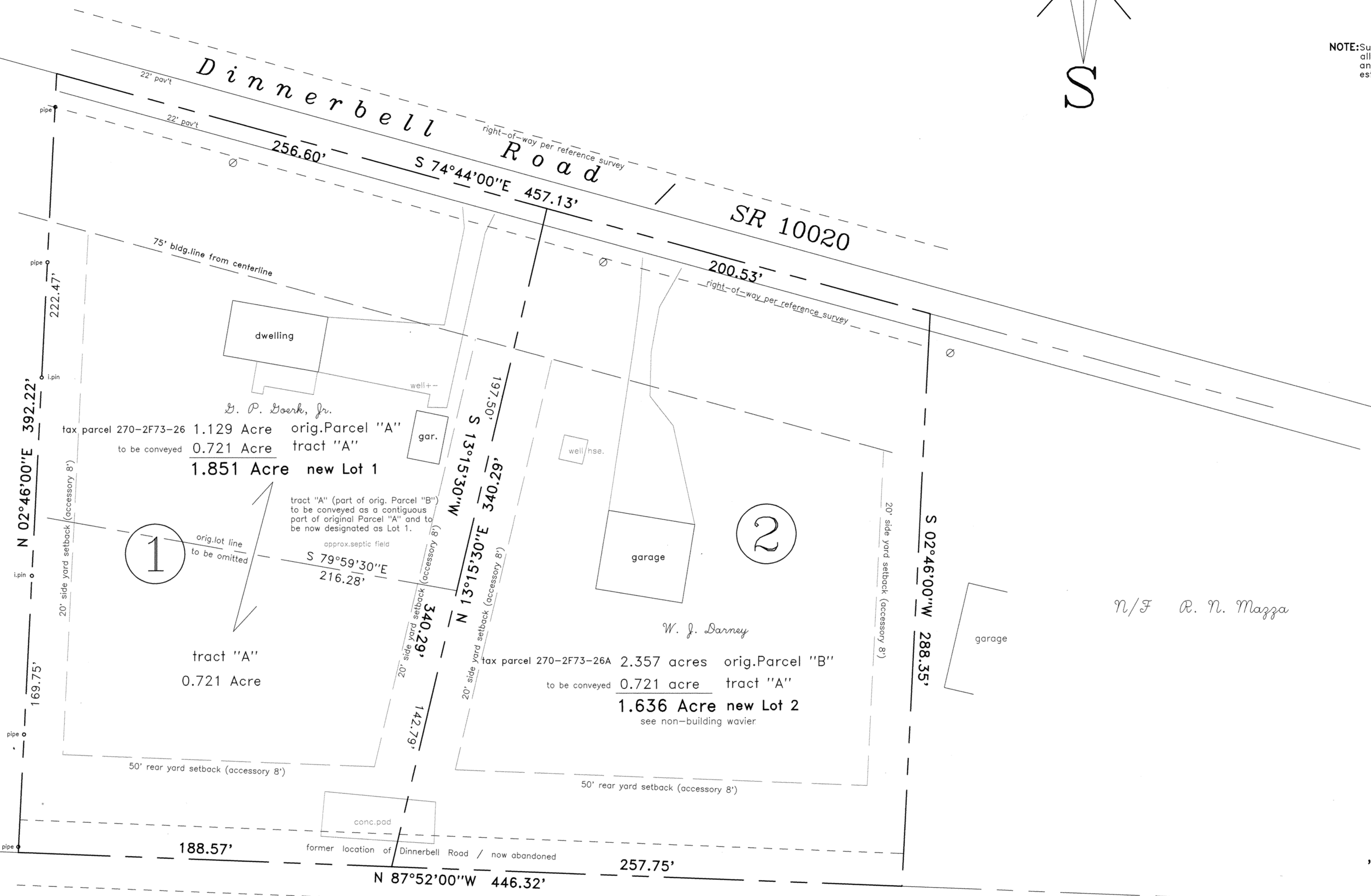
Vicinity Map



"As of the date of this plan recording, the residual tract of this subdivision is dedicated for the express purpose of a vacant lot. No portion of lot 2 of this subdivision has been recently approved by the municipality or the Department of Environmental Protection for the installation of sewage disposal facilities. No sewage permit will be issued for the installation, construction, connection to or use of any sewage collection, conveyance, treatment or disposal system (except for repairs to existing systems) unless the municipality and DEP have approved sewage facilities planning for the residual tract of the subdivision described herein in accordance with the Sewage Facilities Act (35 P. S. Sections 7501 et. seq.) and regulations promulgated thereunder. Prior to signing, executing, implementing or recording any sales contract or subdivision plan, any purchaser or subdivisor of any portion of this residual tract should contact the municipality which is charged with administering the Sewage Facilities Act to determine what sewage facilities planning is required and the procedure and requirements for obtaining appropriate permits or approvals."



NOTE: Subject to and together with any and all existing rights-of-way, easements and conditional clauses of record or established by due process.



Reference:
'60 W.L. Pressau Survey
for Louis & Marie Bortz
an Unrecorded Subdivision

Total 3.486 Acres
Zone / RE - Residential Estate

Goerk / Darney Plan

being a Lot Line Revision of
Parcel "A" & Parcel "B"
Louis & Marie Bortz Subdivision
Unrecorded

RECORDED DEC. 19, 2011	
PLAN BOOK	PAGE
327	32
SHEET	of

LOT LINE REVISION SURVEY for
PROJECT No: 111160
SITUATE: PENN TOWNSHIP, BUTLER COUNTY, PA
DATE: 11/02/11 REV: 1
OWNED BY: Sdg
CHK BY: Sdg
S. D. GRAFF Professional Surveying
P. O. Box 521 275 Thelma Dr. Saxenburg, PA 16056
(724) 352-1059 FAX 352-1059

12/21/2011
12/21/2011
F 345.00
Michelle Mustello
Butler County Recorder

PHASE 8-C-2
20,515.48 SQ.FT.
0.471 ACRES
(PART OF PARCEL C-2)
"MUST BE BUILT"

TWICKERHAM LANE
(20' UTILITY & PRIVATE ALLEY EASEMENT)

PHASE 8-B-2
20,858.60 SQ.FT.
0.479 ACRES
(PART OF PARCEL B-2)
"MUST BE BUILT"

ISLEWORTH LANE 33' PUBLIC R/W

CLERKENWELL LANE
(20' UTILITY & PRIVATE ALLEY EASEMENT)

WEALDSTONE ROAD 50' PUBLIC R/W

PHASE 8-B-1
20,858.60 SQ.FT.
0.479 ACRES
(PART OF PARCEL B-1)
"MUST BE BUILT"

FELTHAM LANE (20' UTILITY & PRIVATE ALLEY EASEMENT)

I, James A. Spurdute, A Professional Land Surveyor duly licensed by and in the Commonwealth of Pennsylvania, hereby certify that the plats and plans of the Villas at Islesworth, A condominium to which this certificate is affixed, consisting of _____ pages, accurately contains all information required by Sections 3210(b) and (c) of the Pennsylvania Uniform Condominium Act, Act 82 of 1980 (68 Pa.C.S.A. Section 3210(b) and (c)).

Date: 12/21/11 By: James A. Spurdute
James A. Spurdute, Surveyor Reg. No. 24457-E

COMMONWEALTH OF PENNSYLVANIA } SS:
COUNTY OF BUTLER }
On the 21 day of December, 2011, before me, a Notary Public for the Commonwealth of Pennsylvania, personally appeared James A. Spurdute, known to me to be the person whose name is subscribed to the above Certification and being duly sworn made solemn oath to the truth of the statement to which his name is subscribed.

IN WITNESS WHEREOF, I hereunto set my hand and notarial seal.
James A. Spurdute
Notary Public

COMMONWEALTH OF PENNSYLVANIA } SS:
COUNTY OF BUTLER }
My Commission Expires: _____

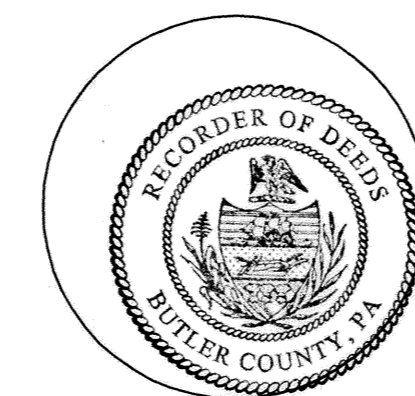
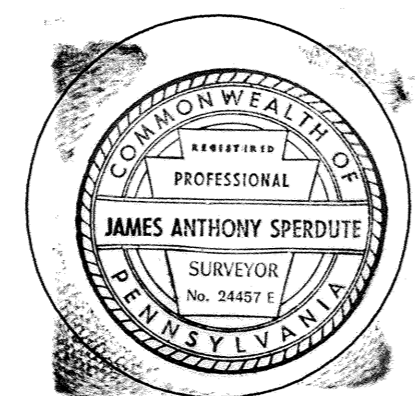
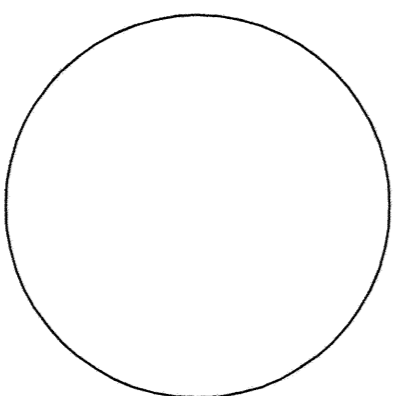
Recorded in the Recorder's Office for the recording of deeds, plans, etc. in County in Plan Book 327 Pages 33

Given under my hand and seal this 21st day of Dec, 2011.
MICHELE M. MUSTELLO
Recorder of Deeds

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in Jan 2012

PREVIOUSLY RECORDED AREAS
LIMITED COMMON ELEMENTS (COMPLETED)
LIMITED COMMON ELEMENTS (NOT COMPLETED) MUST BE BUILT

ABBAY STYLE UNIT
CANTERBURY STYLE UNIT
CHATEAU STYLE UNIT
VILLA STYLE UNIT



NOTARY PUBLIC

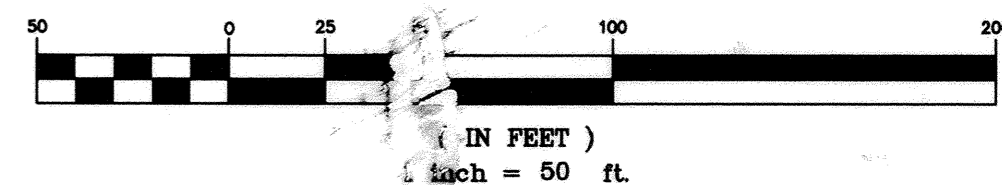
SURVEYOR

BUTLER COUNTY RECORDER OF DEEDS

NOTES:
1. EASEMENTS AND SETBACK RESTRICTIONS HAVE ONLY BEEN SHOWN ON THE PARCELS BEING DECLARED. REFER TO THE RECORDING PLAN FOR ADDITIONAL EASEMENTS, SETBACKS & RESTRICTIONS AFFECTING FUTURE PHASES.

AREA REMAINING FOR DEVELOPMENT: (CONVERTIBLE / WITHDRAWABLE REAL ESTATE)
REMAINING PORTION OF PARCEL "A" 0.000 SQ.FT. or 0.000 ACRES
REMAINING PORTION OF PARCEL "B-1" 25,235.94 SQ.FT. or 0.579 ACRES
REMAINING PORTION OF PARCEL "B-2" 23,291.60 SQ.FT. or 0.534 ACRES
PARCEL "C-1" 26,631 SQ.FT. or 0.611 ACRES
REMAINING PORTION OF PARCEL "C-2" 18,283.52 SQ.FT. or 0.420 ACRES
REMAINING PORTION OF PARCEL "C-3" 0.000 SQ.FT. or 0.000 ACRES
TOTAL 93,442.06 SQ.FT. or 2.144 ACRES

Reference: Bellevue Park Plan No. 1
Plan Book 305, Pages 46 - 60
Bellevue Park Plan No. 1 - Revised
Plan Book 309, Pages 42 - 49
Villas at Islesworth Condominium Plan 1
Plan Book 310, Pages 5-12
Villas at Islesworth Condominium Plan 2
Plan Book 313, Page 35
Villas at Islesworth Condominium Plan 3
Plan Book 316, Page 11
Villas at Islesworth Condominium Plan 4
Plan Book 319, Page 2
Villas at Islesworth Condominium Plan 5
Plan Book 321, Page 25
Villas at Islesworth Condominium Plan 6
Plan Book 323, Page 34
Bellevue Park Plan Phase 1 Revision 2
Plan Book 323, Pages 27-31
Villas at Islesworth Condominium Plan 7
Plan Book 325, Page 30

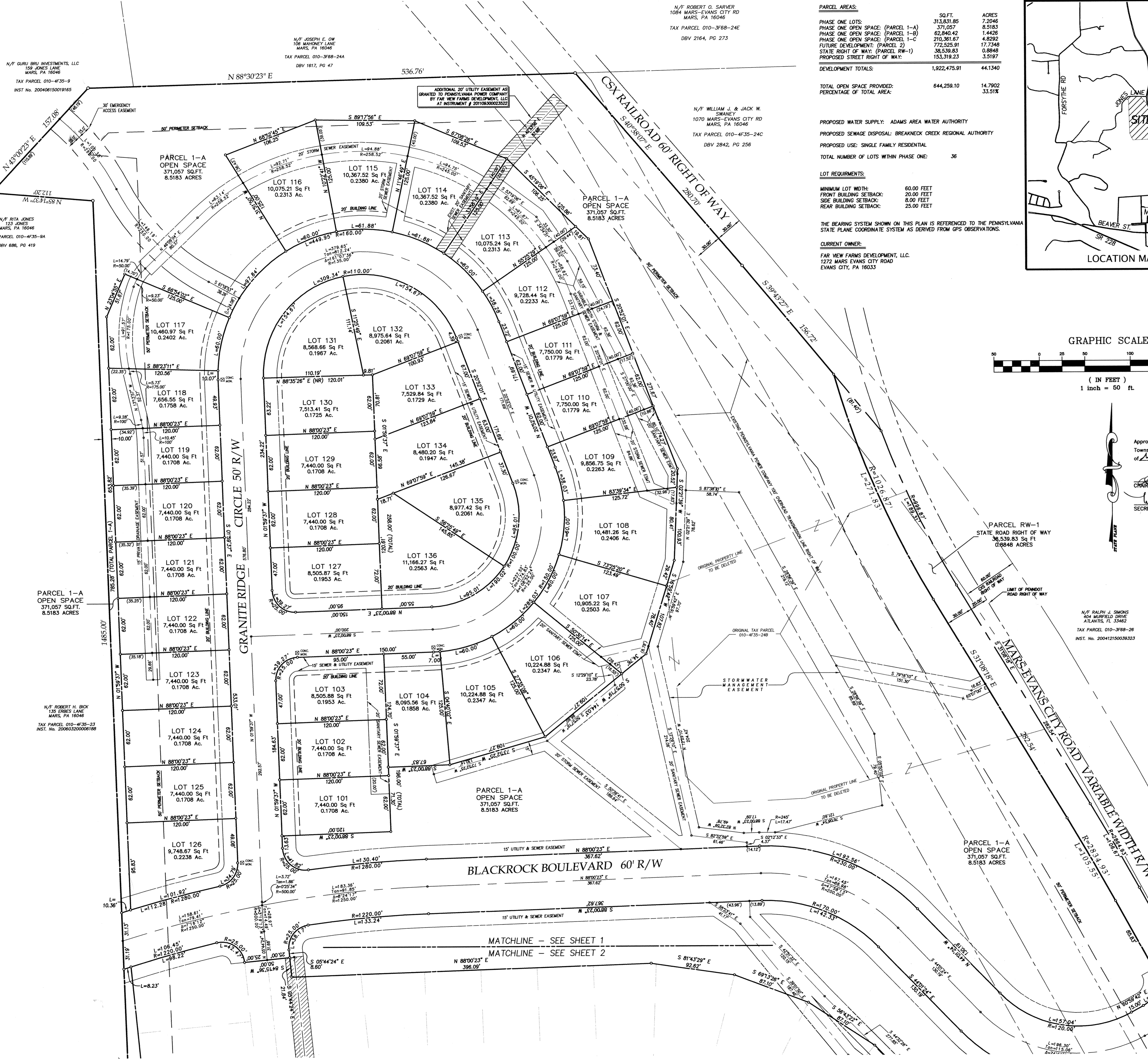


"PLATS & PLANS"

VILLAS AT ISLEWORTH
CONDOMINIUM PLAN 8
CRANBERRY TOWNSHIP, BUTLER COUNTY, PA.

PREPARED FOR:
BELLEVUE PARK PARTNERS
PO BOX 449
MARS, PA 16046
SCALE: 1" = 50'
DECEMBER 20, 2011
PROJECT NO. 1004-1111306





PARCEL AREAS:

	SQ. FT.	ACRES
PHASE ONE LOTS:	313,831.85	7.2046
PHASE ONE OPEN SPACE: (PARCEL 1-A)	371,057	8.5183
PHASE ONE OPEN SPACE: (PARCEL 1-B)	62,840.42	1.4426
PHASE ONE OPEN SPACE: (PARCEL 1-C)	210,361.67	4.8292
FUTURE DEVELOPMENT: (PARCEL 2)	772,555.81	17.7348
STATE RIGHT OF WAY: (PARCEL RW-1)	38,539.83	0.8848
PROPOSED STREET RIGHT OF WAY:	153,319.23	3.5197
DEVELOPMENT TOTALS:	1,922,475.81	44.1340

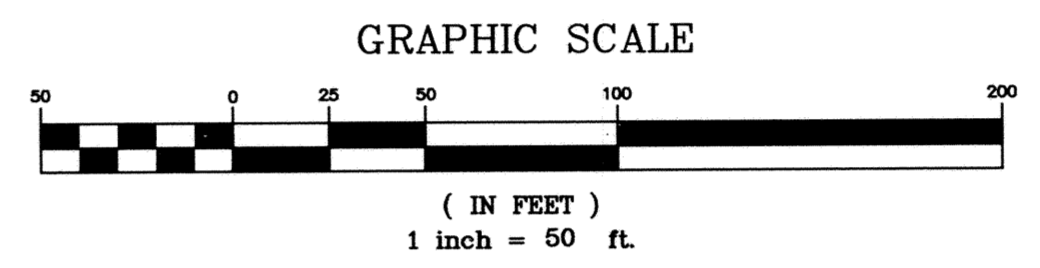
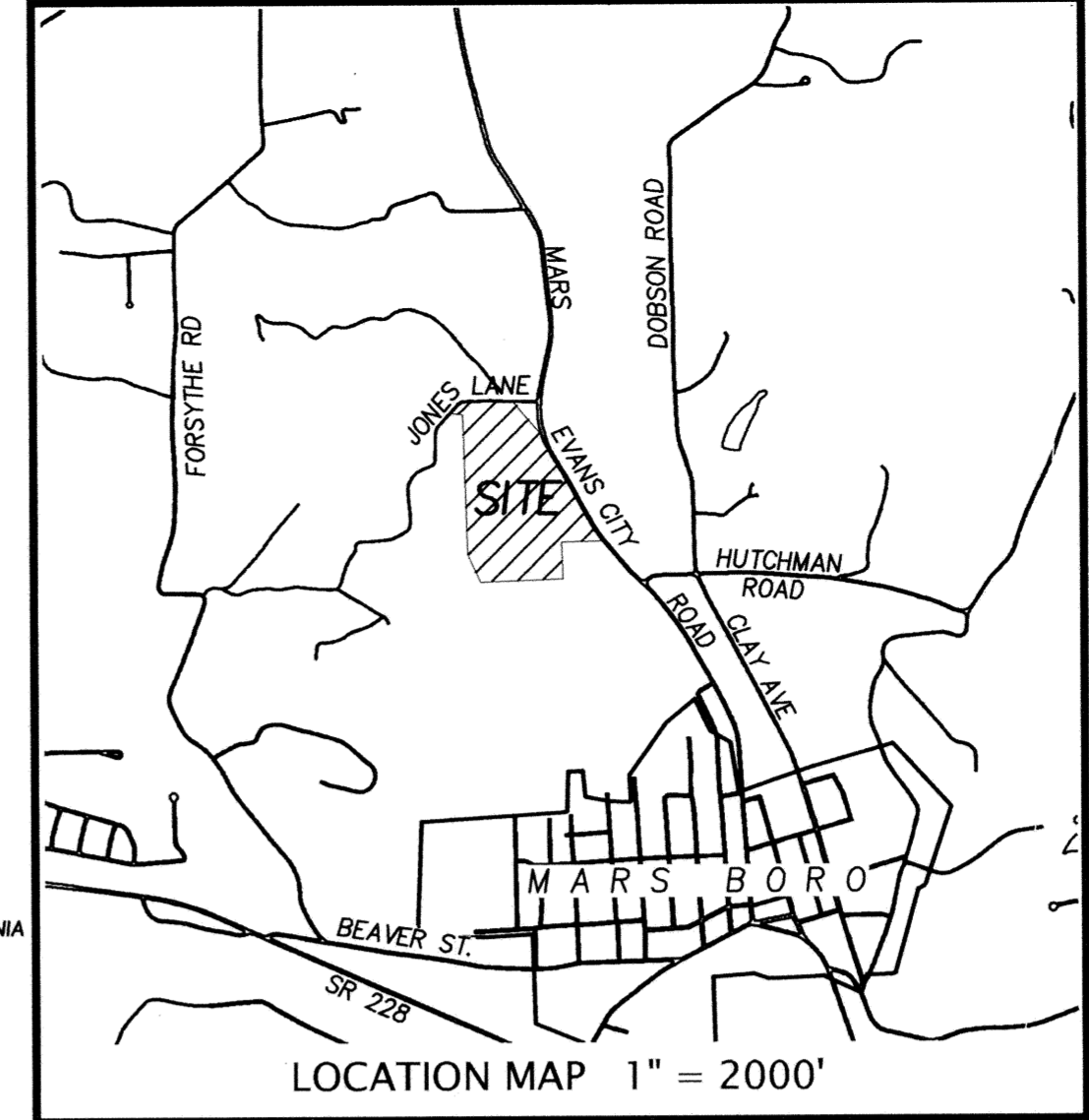
TOTAL OPEN SPACE PROVIDED: 644,259.10 14.7902
PERCENTAGE OF TOTAL AREA: 33.51%

PROPOSED WATER SUPPLY: ADAMS AREA WATER AUTHORITY
PROPOSED SEWAGE DISPOSAL: BREAKNECK CREEK REGIONAL AUTHORITY
PROPOSED USE: SINGLE FAMILY RESIDENTIAL
TOTAL NUMBER OF LOTS WITHIN PHASE ONE: 36

LOT REQUIREMENTS:
MINIMUM LOT WIDTH: 60.00 FEET
FRONT BUILDING SETBACK: 20.00 FEET
SIDE BUILDING SETBACK: 8.00 FEET
REAR BUILDING SETBACK: 25.00 FEET

THE BEARING SYSTEM SHOWN ON THIS PLAN IS REFERENCED TO THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM AS DERIVED FROM GPS OBSERVATIONS.

CURRENT OWNER:
FAR VIEW FARMS DEVELOPMENT, LLC.
1272 MARS EVANS CITY ROAD
EVANS CITY, PA 16033



Approved by the Planning Commission of the Township of Adams this 2nd day of November, 2011
Christopher L. Kacuk
CHAIRPERSON, PLANNING COMMISSION
James L. Lush
SECRETARY, PLANNING COMMISSION

Know All Men By These Presents that, FAR VIEW FARMS DEVELOPMENT, LLC., a Pennsylvania Limited Partnership does hereby adopt this as its plan of subdivision of its property situated in the Township of Adams, County of Butler, Commonwealth of Pennsylvania, and for divers advantages occurring to us, do hereby dedicate forever, for public use, for highway, drainage, sewage and utility purposes, all drives, roads, lands, rights of way, easements, ways and other public highways upon the plan, with the same force and effect as if the same had been opened through legal proceedings and in consideration of the approval of said plan and any future acceptance of said public highways, rights or way and easements by the Township of Adams, FAR VIEW FARMS DEVELOPMENT, LLC., hereby agree to and by these presents do release and discharge the Township of Adams, its successors or assigns from any liability for damages arising and to arise from the appropriation of said ground for public highways, and other public uses and the physical grading thereof to any grades that may be established. This dedication and release shall be binding upon FAR VIEW FARMS DEVELOPMENT, LLC., its heirs, executors, administrators and assigns and purchasers of lots in this plan. IN WITNESS WHEREOF, I, hereunto set my hands and seals this 1st day of December, 2011 A.D.

ATTEST:
Paula K. Rouda
NOTARY PUBLIC
My commission expires the 15 day of August, 2013 A.D.

The foregoing adoption and dedication is made by FAR VIEW FARMS DEVELOPMENT, LLC. with the full understanding and agreement that the approval of the Township Board of Supervisors of the Township of Adams, if attached, will become null and void unless this plan is recorded in the Recorder of Deeds Office of Butler County, County Courthouse, Butler Pennsylvania within 90 (ninety) days of the date of approval.

SECRETARY
COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUTLER
SS

Before me, the subscriber, a Notary Public in and for the County of Butler and Commonwealth of Pennsylvania, personally appeared the above named CHRISTOPHER L. KACUK general partner of FAR VIEW FARMS DEVELOPMENT, LLC., who acknowledged the foregoing release and dedication and plan of subdivision to be their act and deed and desired the same to be recorded as such: WITNESS MY HAND AND NOTARIAL SEAL this 3rd day of December, 2011 A.D.
Paula K. Rouda
NOTARY PUBLIC
My Commission Expires the 15 day of August, 2013 A.D.

The Board of Supervisors of the Township of Adams hereby gives public notice that in approving this plan for recording purposes only, the Township of Adams assumes no obligations, legal or otherwise, expressed or implied either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

Re-approved by the Board of Supervisors of the Township of Adams this 12th day of December, 2011
James L. Lush
SECRETARY, ADAMS TOWNSHIP SUPERVISORS
Donald C. Gilman
CHAIRMAN, ADAMS TOWNSHIP SUPERVISORS
John A. Krawchuk
ADAMS TOWNSHIP SUPERVISOR

I, James A. Sperdute, PLS Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify, to the best of my knowledge, information and belief, that this plan correctly represents the lots, lands, streets, and highways as surveyed and plotted by me for the owners or tenants.
James A. Sperdute
JAMES A. SPERDUTE, P.S. #24457-E DATE 12-1-2011

I, RONALD OLSEN, a Registered Professional Engineer for the Township of Adams, do hereby certify that this Subdivision Plan meets all the engineering and design requirements of the Adams Township Subdivision and Zoning Ordinances.
Ronald Olsen DATE 12-12-11 REG # 24400 E

Reviewed by the Butler County Planning Commission this 16th day of Nov., 2011
John JRM
SECRETARY, BUTLER COUNTY PLANNING COMMISSION
F. UL JRM
CHAIRMAN, BUTLER COUNTY PLANNING COMMISSION

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER
Recorded in the Recorder's Office for the recording of deeds, plans, etc. in said County in Plan Book Volume 327, page 34-35. Given under my hand and seal this 21st day of December, 2011
Michele M. Mustello
BUTLER COUNTY RECORDER OF DEEDS
MICHELE M. MUSTELLO
My Commission Expires First Monday in Jan 2012

RECORDED DEC. 21, 2011
PLAN BOOK PAGE
327 34

- THE PURPOSE OF THIS PLAN IS TO:
- 1) CHANGE THE OFFICIAL NAME OF THE DEVELOPMENT TO AMHERST VILLAGE PHASE NUMBER 1.
 - 2) CREATE A 20' MINIMUM WATERLINE EASEMENT THROUGH PARCEL 3 TO ALLOW FOR THE CONSTRUCTION OF A WATERLINE TO SERVICE PHASE 1 AND FUTURE PHASES.
 - 3) SHOW THE PREVIOUSLY RECORDED UTILITY EASEMENT GRANTED TO PENNSYLVANIA POWER COMPANY BETWEEN LOTS 113 & 114. THIS EASEMENT WAS CREATED BY DEED AFTER THE PREVIOUS PLAN WAS RECORDED.

AMHERST VILLAGE
PHASE NUMBER 1
ADAMS TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

PREPARED FOR:
FAR VIEW FARMS DEVELOPMENT, LLC.
1272 MARS EVANS CITY ROAD
EVANS CITY, PA 16033
724-432-3101

REVISIONS

NO.	DESCRIPTION	DATE

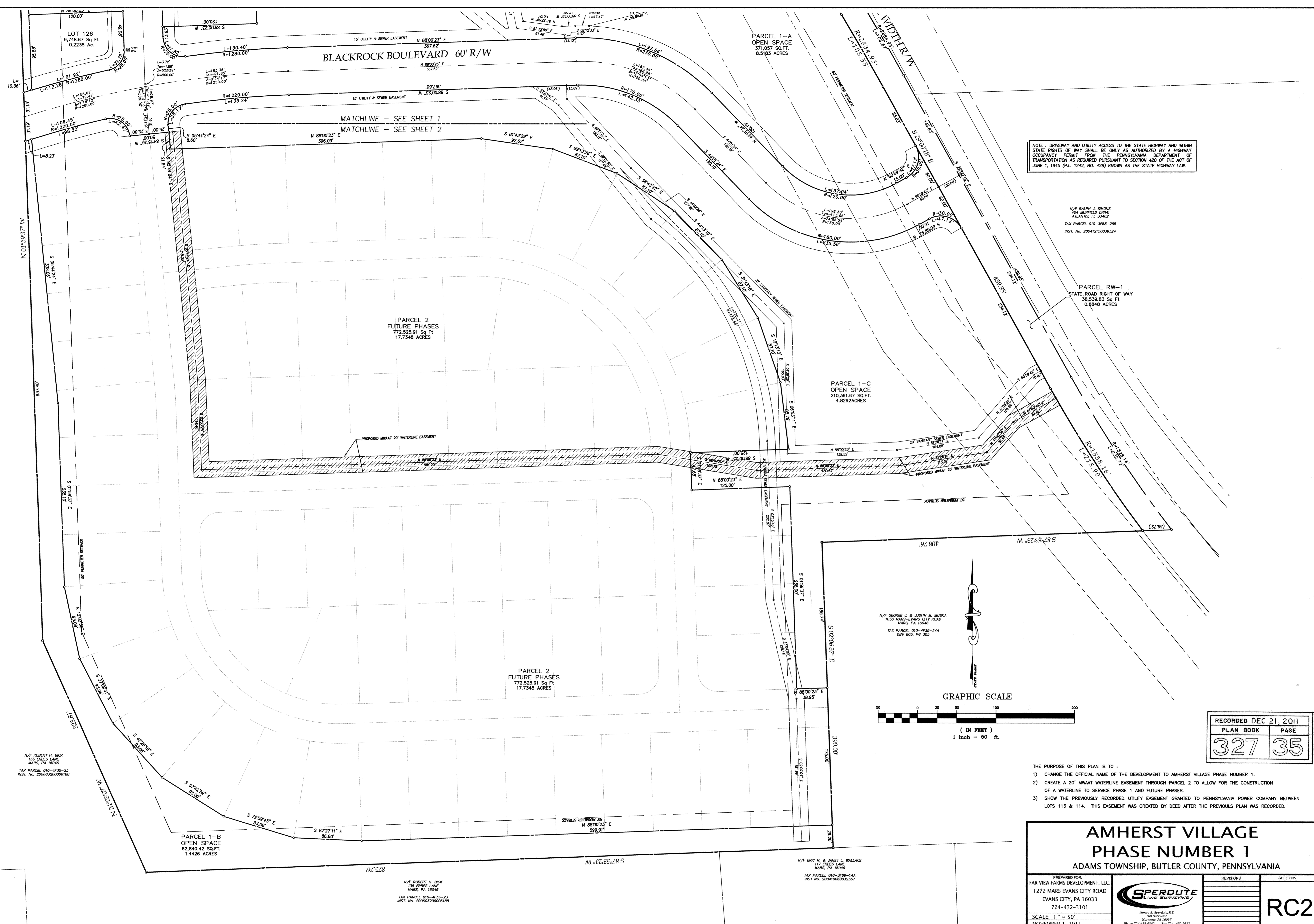
SHEET NO.

RC1

SCALE: 1" = 50'
NOVEMBER 1, 2011
DWG # 1001-1111192

SPERDUTE
LAND SURVEYING

James A. Sperdute, P.S.
1000 Deer Lane
Harrisburg, PA 17107
Phone 717-653-4362 Fax 717-653-4321
jasp@sperrygroup.com



NOTE : DRIVEWAY AND UTILITY ACCESS TO THE STATE HIGHWAY AND WITHIN STATE RIGHTS OF WAY SHALL BE ONLY AS AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT FROM THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION AS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428) KNOWN AS THE STATE HIGHWAY LAW.

N/F RALPH L. SMOKS
404 MUFFIELD DRIVE
ATLANTA, FL 33462
TAX PARCEL 010-3F68-268
INST. No. 200412150039324

PARCEL RW-1
STATE ROAD RIGHT OF WAY
38,539.83 Sq Ft
0.8848 ACRES

PARCEL 1-C
OPEN SPACE
210,361.67 SQ.FT.
4.8292ACRES

PARCEL 2
FUTURE PHASES
772,525.91 Sq Ft
17.7348 ACRES

PARCEL 2
FUTURE PHASES
772,525.91 Sq Ft
17.7348 ACRES

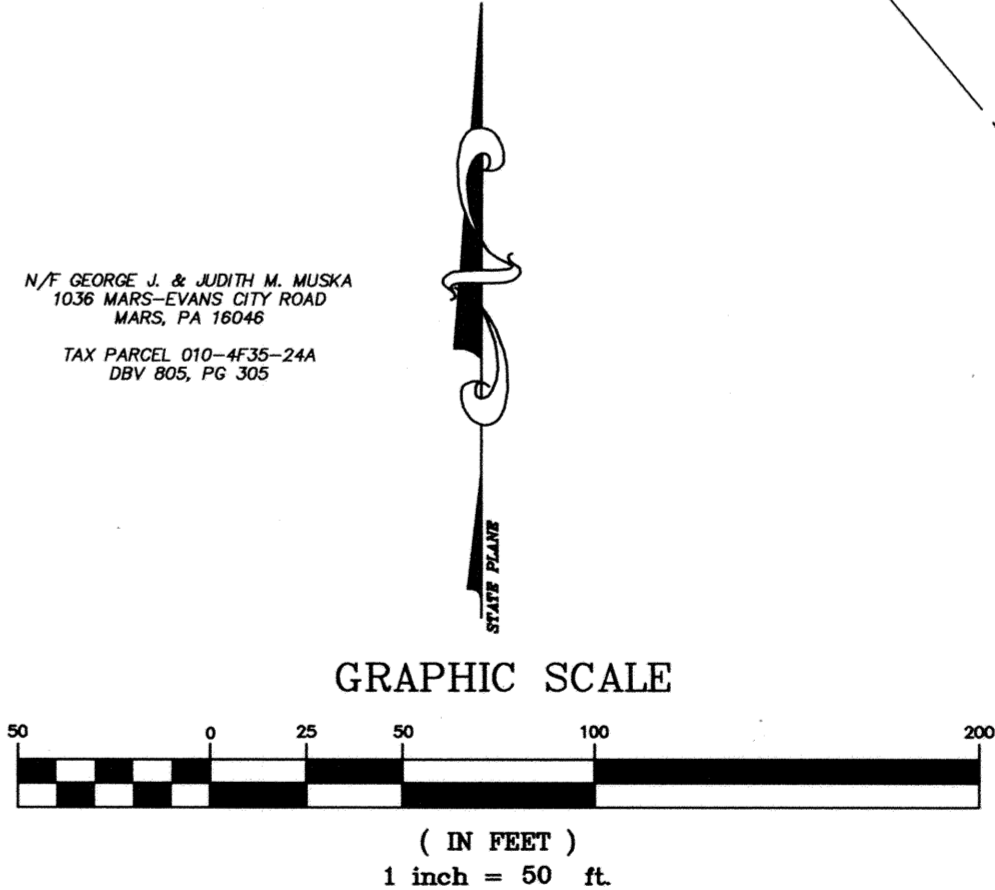
PARCEL 1-B
OPEN SPACE
62,840.42 SQ.FT.
1.4426 ACRES

N/F ROBERT H. BICK
130 DRIES LANE
MARS, PA 16046
TAX PARCEL 010-4F35-23
INST. No. 200603200006188

N/F ROBERT H. BICK
130 DRIES LANE
MARS, PA 16046
TAX PARCEL 010-4F35-23
INST. No. 200603200006188

N/F ERIC M. & JANET L. WALLACE
117 DRIES LANE
MARS, PA 16046
TAX PARCEL 010-3F68-14A
INST. No. 200410080013257

N/F GEORGE J. & JUDITH M. MUSKA
1038 MARS-EVANS CITY ROAD
MARS, PA 16046
TAX PARCEL 010-4F35-24A
DBV 805, PG 305



- THE PURPOSE OF THIS PLAN IS TO :
- 1) CHANGE THE OFFICIAL NAME OF THE DEVELOPMENT TO AMHERST VILLAGE PHASE NUMBER 1.
 - 2) CREATE A 20' MWAT WATERLINE EASEMENT THROUGH PARCEL 2 TO ALLOW FOR THE CONSTRUCTION OF A WATERLINE TO SERVICE PHASE 1 AND FUTURE PHASES.
 - 3) SHOW THE PREVIOUSLY RECORDED UTILITY EASEMENT GRANTED TO PENNSYLVANIA POWER COMPANY BETWEEN LOTS 113 & 114. THIS EASEMENT WAS CREATED BY DEED AFTER THE PREVIOUS PLAN WAS RECORDED.

AMHERST VILLAGE PHASE NUMBER 1

ADAMS TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

PREPARED FOR:
FAR VIEW FARMS DEVELOPMENT, LLC.
1272 MARS EVANS CITY ROAD
EVANS CITY, PA 16033
724-432-3101

SCALE: 1" = 50'
NOVEMBER 1, 2011
DWG # 1001-1111192

REVISIONS

SHEET No.

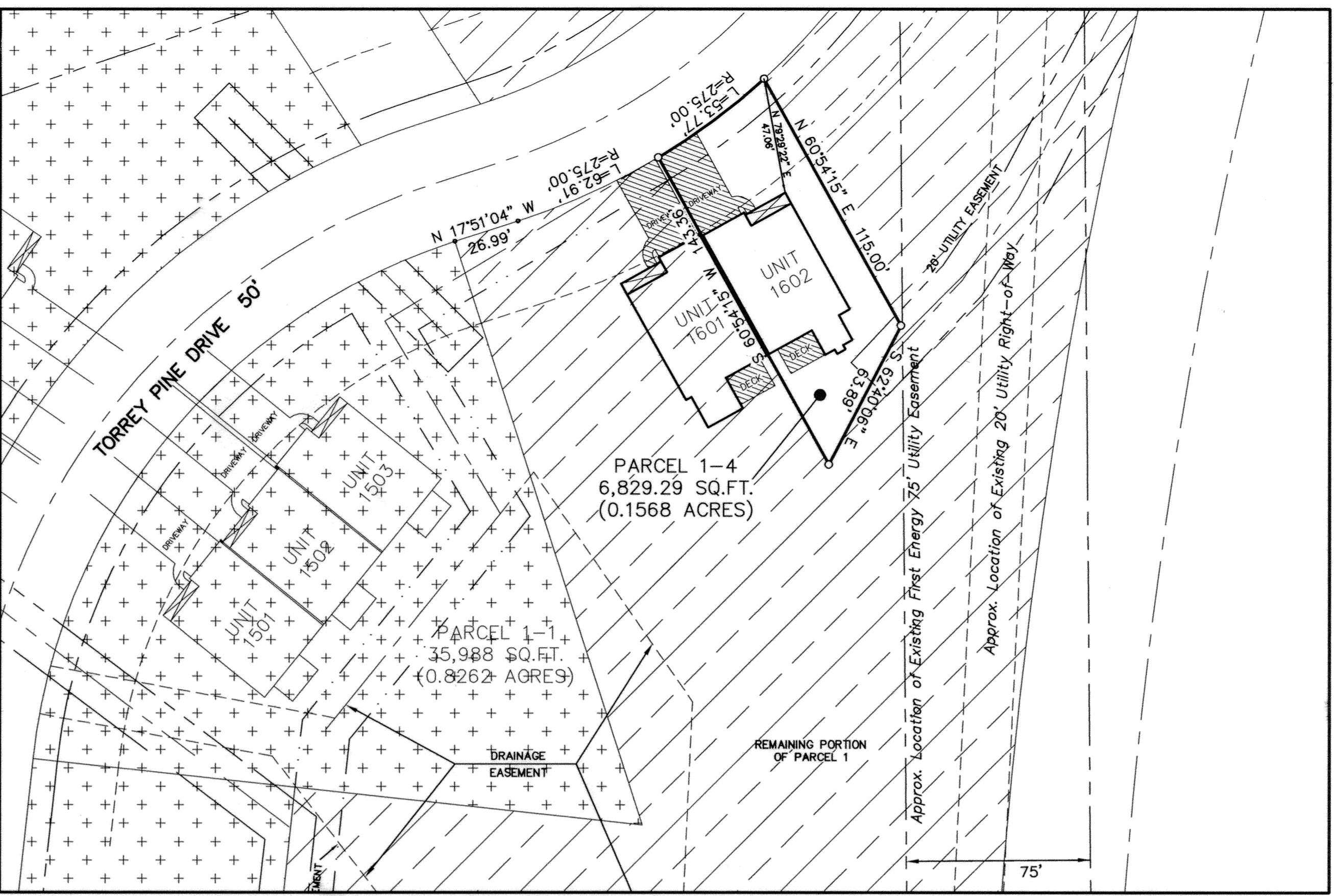
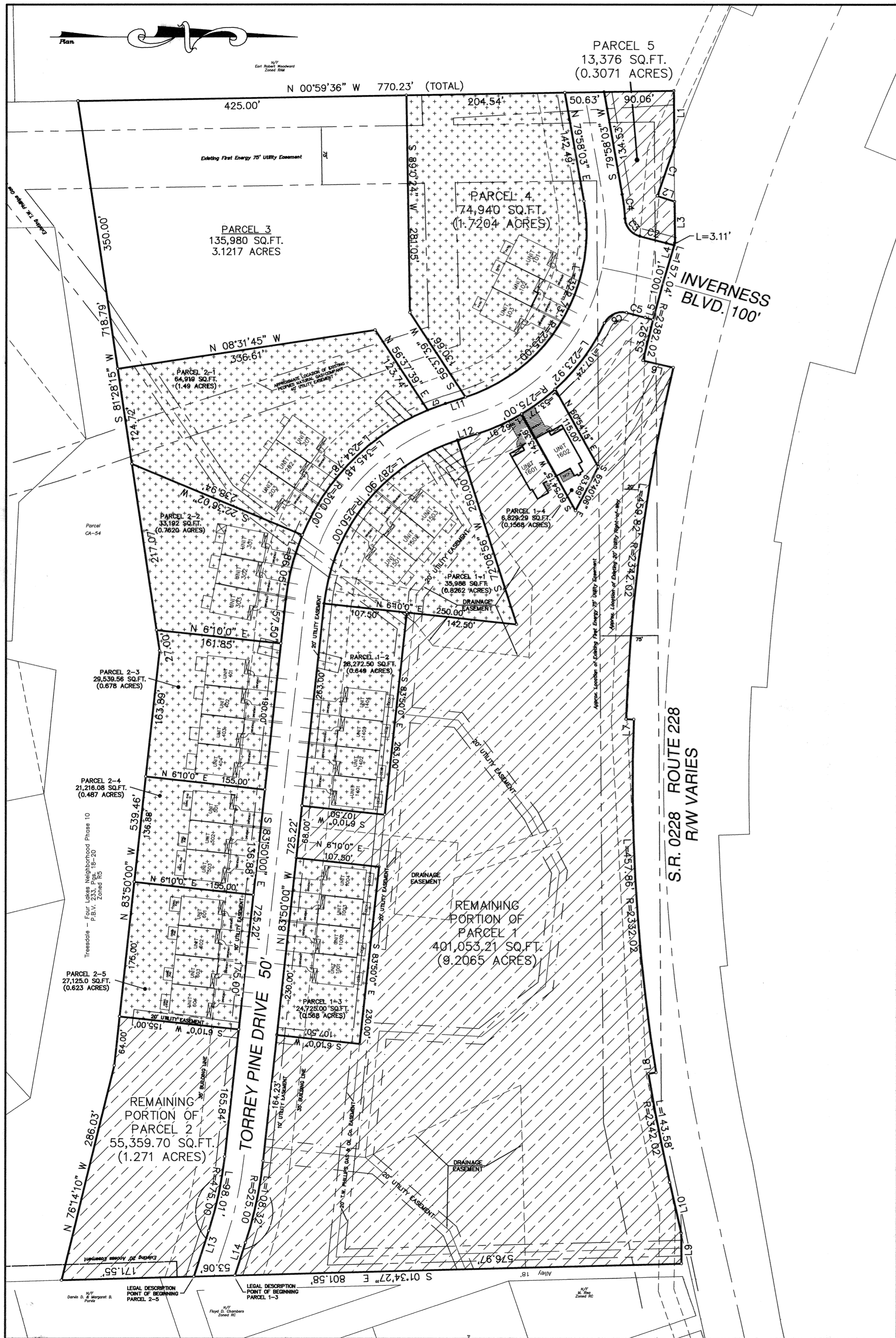
RC2

RECORDED DEC. 21, 2011

PLAN BOOK	PAGE
327	35

SPERDUTE
LAND SURVEYING

James A. Spurdute, R.S.
108 Deer Lane
Harrisburg, PA 17103
Phone 724-632-4902 Fax 724-432-9357
jason@spurdute.net



LEGAL DESCRIPTION OF PARCEL 1-4:
ALL THAT CERTAIN PARCEL OF LAND SITUATE IN THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, BEING KNOWN AND DESIGNATED AS A PORTION OF PARCEL 1 OF THE VILLAGE AT TREESDALE PLAN OF LOTS AS RECORDED IN PLAN BOOK 302, PAGES 38 & 39 (HEREIN AFTER REFERRED TO AS PARCEL 1-4) BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTH EAST CORNER OF PARCEL 1-1 IN SAID PLAN, THENCE ALONG THE NORTH RIGHT OF WAY LINE OF TORREY PINE DRIVE, NORTH 17° 51' 04" WEST, A DISTANCE OF 26.99 FEET, THENCE CONTINUING ALONG TORREY PINE DRIVE BY A CURVE TO THE LEFT HAVING A RADIUS OF 275 FEET AN ARC LENGTH OF 82.91 FEET TO THE TRUE PLACE OF BEGINNING, THENCE CONTINUING BY THE SAID CURVE AN ARC DISTANCE OF 53.77 FEET TO A POINT, THENCE ALONG THE REMAINING PORTION OF PARCEL 1 OF SAID PLAN THE FOLLOWING TWO COURSES: NORTH 60° 54' 15" EAST A DISTANCE OF 115.00 FEET TO A POINT, THENCE SOUTH 62° 40' 06" EAST A DISTANCE OF 63.89 FEET TO A POINT, THENCE THROUGH THE PARTY WALL OF UNITS 1601 AND 1602, SOUTH 60° 54' 15" WEST A DISTANCE OF 143.36 FEET TO THE TRUE PLACE OF BEGINNING.

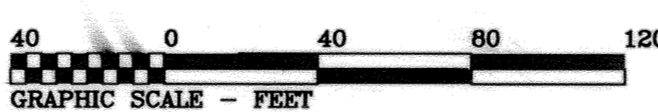
SAID PARCEL 1-4 CONTAINS AN AREA OF 6,829.29 SQ.FT. OR 0.1568 ACRES AND IS A PORTION OF THE ORIGINAL PARCEL 1 OF THE VILLAGE AT TREESDALE PLAN AS RECORDED IN PLAN BOOK 302, PAGES 38 & 39.

PRIOR PLAN REFERENCES:

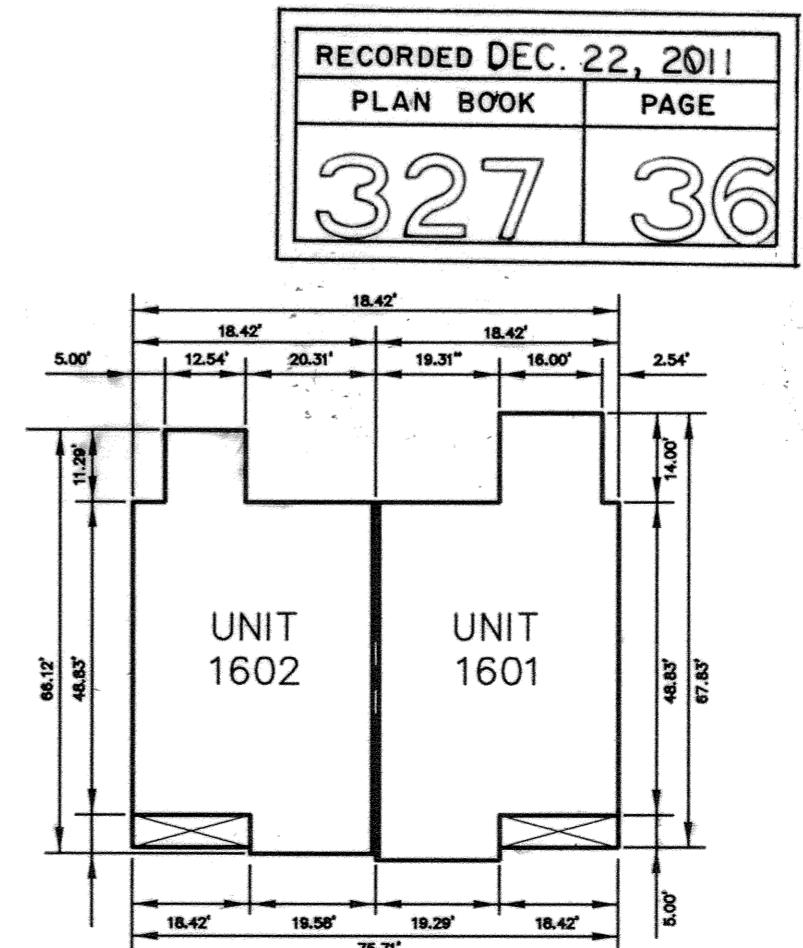
- THE VILLAGE AT TREESDALE PLAN PBV 302, PAGES 38 & 39
- THE VILLAGE AT TREESDALE - A CONDOMINIUM PLAN BOOK 310, PAGES 48 - 50
- THE VILLAGE AT TREESDALE - A CONDOMINIUM PLAN No. 2 PLAN BOOK 313, PAGES 42 - 46
- THE VILLAGE AT TREESDALE - A CONDOMINIUM PLAN No. 3 PLAN BOOK 315, PAGES 1 - 3
- THE VILLAGE AT TREESDALE - A CONDOMINIUM PLAN No. 4 PLAN BOOK 318, PAGES 18
- THE VILLAGE AT TREESDALE - A CONDOMINIUM PLAN No. 5 PLAN BOOK 320, PAGES 28
- THE VILLAGE AT TREESDALE - A CONDOMINIUM PLAN No. 6 PLAN BOOK 321, PAGES 29
- THE VILLAGE AT TREESDALE - A CONDOMINIUM PLAN No. 7 PLAN BOOK 324, PAGES 32

THE VILLAGE AT TREESDALE
A Condominium

- Denotes Limited Common Area
- Denotes Convertible Real Estate
- Denotes Previously Recorded Area



LINE TABLE			CURVE TABLE		
LINE	LENGTH	BEARING	CURVE	LENGTH	RADIUS
L1	75.63	S 89°53'19" W	C1	66.78	2422.01
L2	23.42	S 18°10'37" W	C2	35.25	800.00
L3	53.62	S 89°53'19" W	C3	32.01	25.00
L4	10.52	S 15°40'36" W	C4	31.43	275.00
L5	10.52	S 15°40'36" W	C5	25.01	700.00
L6	40.00	S 13°10'36" W	C6	34.09	25.00
L7	10.00	S 13°54'42" W	C7	24.65	300.00
L8	10.00	N 5°18'15" W			
L9	39.09	S 89°53'19" W			
L10	67.39	S 77°10'00" W			
L11	26.99	N 17°51'04" W			
L12	26.99	S 17°51'04" E			
L13	62.28	N 72°04'42" W			
L14	44.51	S 72°04'42" E			



BUILDING No. 1600
SCALE: 1"=30'
UNIT 1601 UNDER CONSTRUCTION

KNOW ALL MEN BY THESE PRESENTS, That Brennan Builders Inc., a Pennsylvania Corporation under the Laws of the Commonwealth of Pennsylvania, adopts the foregoing as its Plats and Plans pursuant to section 3210 of the Pennsylvania Uniform Condominium Act.

IN WITNESS WHEREOF, The said Pennsylvania Corporation has caused its seal to be affixed by the hand of its President and same to be witnessed this 22 day of December 2011.

Witness *President*

Commonwealth of Pennsylvania > SS:
County of Butler

Before me, the Subscriber, a Notary Public in and for said Commonwealth and County personally appeared Robert A. Brennan, who duly sworn, depose and saith that he was personally present at the execution of this survey of Final Construction Plans and that they were duly signed and sealed by and as for the act and deed of said Corporation, for the uses and purposes herein mentioned and that the name of this deponent subscribes to this as President of Brennan Builders Inc., in attestation of the due execution and delivery of said is this deponents own and proper and respective handwriting.

WITNESS my hand and seal this 22 day of December 2011.
Notary

I, James A. Spurdute, a Registered Surveyor of the Commonwealth of Pennsylvania do hereby certify that The plat to which this certificate is affixed, together with the plans of THE VILLAGE AT TREESDALE, A CONDOMINIUM, full and accurately depict all existing conditions regarding said Condominium and contain all information required by section 3210 of the Pennsylvania Uniform Condominium Act, Act 82 of 1980.

12/22/11 Date
Registration No. 24457-E

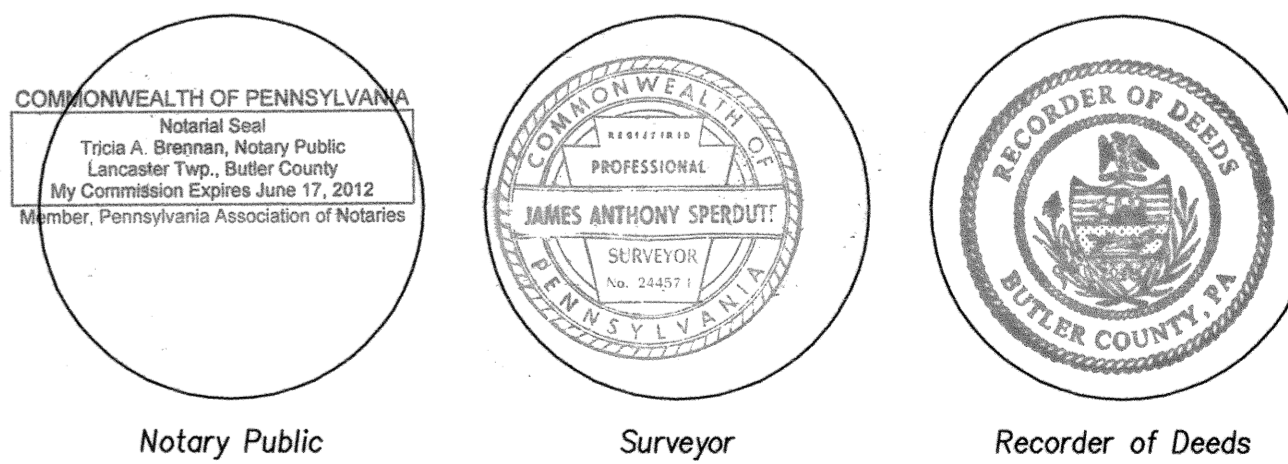
PROOF OF RECORDING
COMMONWEALTH OF PENNSYLVANIA > SS:
COUNTY OF BUTLER

Recorded in the Recorder Office for the recording of deeds, plans, etc., in the said County on Plan Book Volume 327 Page 36

Given under my hand and seal this 22nd day of December 2011

RECORDER
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in Jan 2012

Limited Common Elements: Driveways, Courtyards, and Decks



PLAN OF SURVEY PREPARED FOR:
THE VILLAGE AT TREESDALE
A CONDOMINIUM
- PLAN NUMBER 8 -
ADAMS TOWNSHIP
BUTLER COUNTY, PENNSYLVANIA
DRAWING SCALE: 1"=80' DATE: DECEMBER 12, 2011
DRAWING NUMBER: 1001-089281 DRAWN BY: SJS CKD BY: JAS

REVISIONS
12-22-11...
SHEET

JAMES A. SPURDUTE, R.S.
108 DEER LANE
HARMONY, PA 19037
724-452-4362
724-452-9357 FAX
pasurvey@zbzcom.net

KNOW ALL MEN BY THESE PRESENTS; THAT TRACY ANDERSON, DOES HEREBY ADOPT THIS PLAN AS ITS PLAN OF PROPERTY SITUATE IN ADAMS TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF ADAMS, TRACY ANDERSON, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF ADAMS, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON TRACY ANDERSON MY SUCCESSORS AND ASSIGNS AND PURCHASERS OF THE LOT IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 21 DAY OF November 2011.

ATTEST: [Signature] WITNESS
Tracy C. Anderson OWNER

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER)

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED TRACY ANDERSON AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.
WITNESS MY HAND AND SEAL THIS 21 DAY OF Nov. 2011.
MY COMMISSION EXPIRES THE 26 DAY OF Oct 2014
[Signature] NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA
Notarial Seal
Andrea L. Murphy, Notary Public
Middlesex Twp., Butler County
My Commission Expires Oct. 26, 2014
Member, Pennsylvania Association of Notaries

REVIEWED BY THE ADAMS TOWNSHIP PLANNING COMMISSION THIS 7TH DAY OF December, 2011.
[Signature] SECRETARY
[Signature] CHAIRMAN

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF ADAMS HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF ADAMS ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS, OR ROADS, OR GRADES, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF ADAMS, THIS 12TH DAY OF December, 2011.

[Signature] SECRETARY
[Signature] CHAIRMAN, BOARD OF SUPERVISORS
[Signature] SUPERVISOR

I, JAMES M. SHUTY, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS AND OR AGENTS.

11/17/11 DATE
[Signature] REG. NO. 35568-E

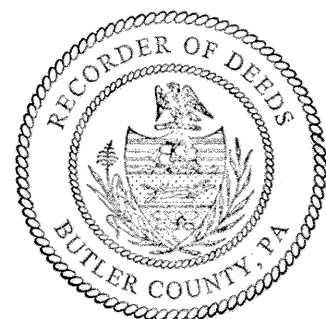
REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 19TH DAY OF OCT 2011.
[Signature] SECRETARY
[Signature] CHAIRMAN

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER)

RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN SAID COUNTY IN PLAN BOOK VOLUME 327 PAGE 37

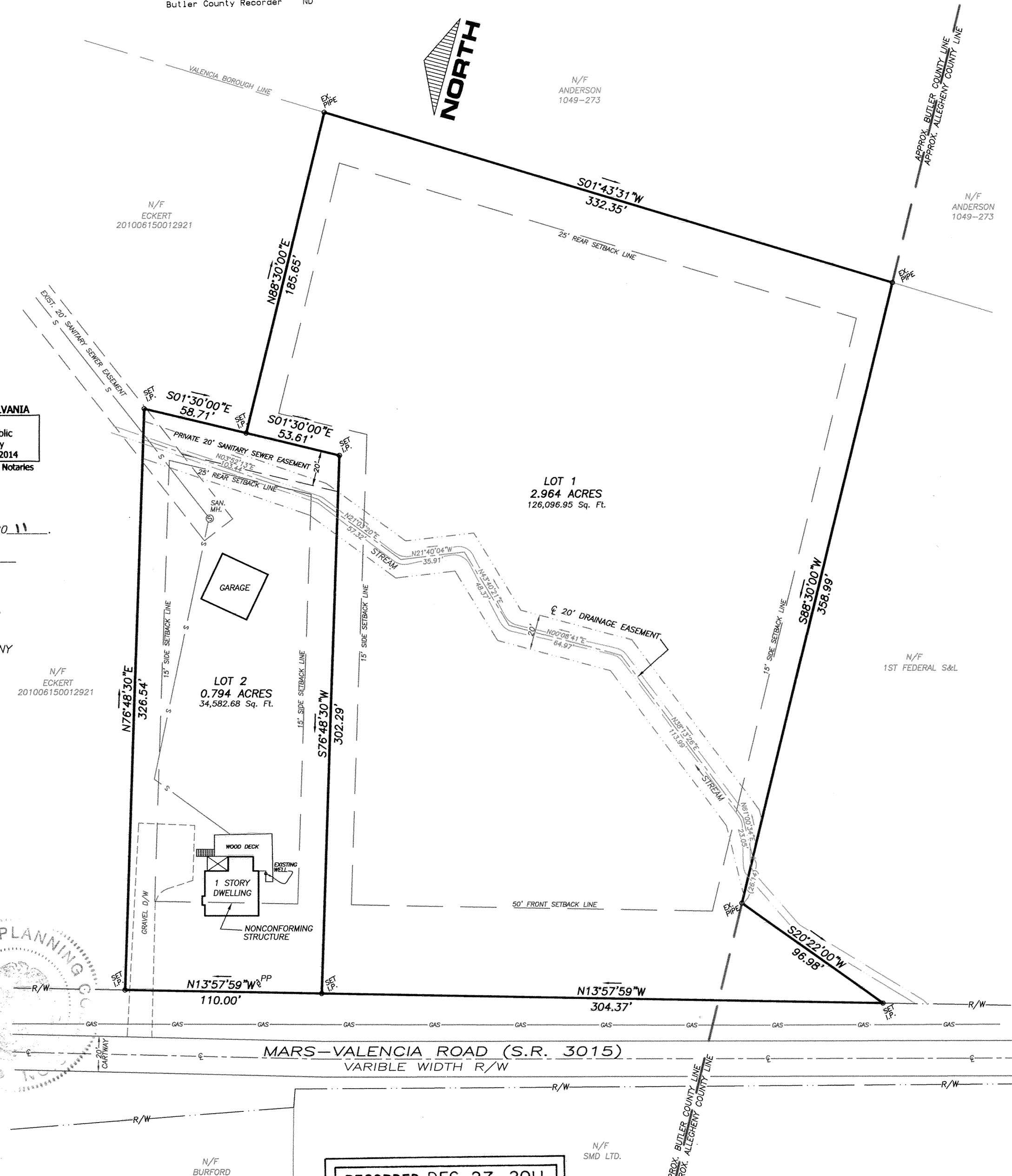
GIVEN UNDER MY HAND AND SEAL THIS 27TH DAY OF December 2011.
[Signature] RECORDER

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in Jan 2012



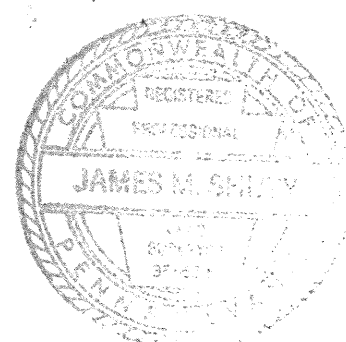
NOTE:
The municipality can issue final approval of the subdivision plan or building permit if the plan or permit contains the wording that "A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE STATE HIGHWAY LAW (PL 1242, No. 428)"

Instr: 201112270032116 12/27/2011
Pages: 1 F: \$45.00 11:14AM
Michele Mustello T20110044143
Butler County Recorder ND



RECORDED DEC. 27, 2011
PLAN BOOK PAGE
327 37

NOTE:
PUBLIC SEWER IS AVAILABLE FOR LOTS 1 AND 2.
PROVIDED BY BREAKNECK CREEK REGIONAL SEWER AUTHORITY



NORTHERN
SURVEYORS AND ASSOCIATES

137 LINK LANE
SLIPPERY ROCK, PA 16057
(724)530-6889

Scale 1" = 50'

Date Aug. 15, 2011

REV: NOV. 16, 2011

Job No.

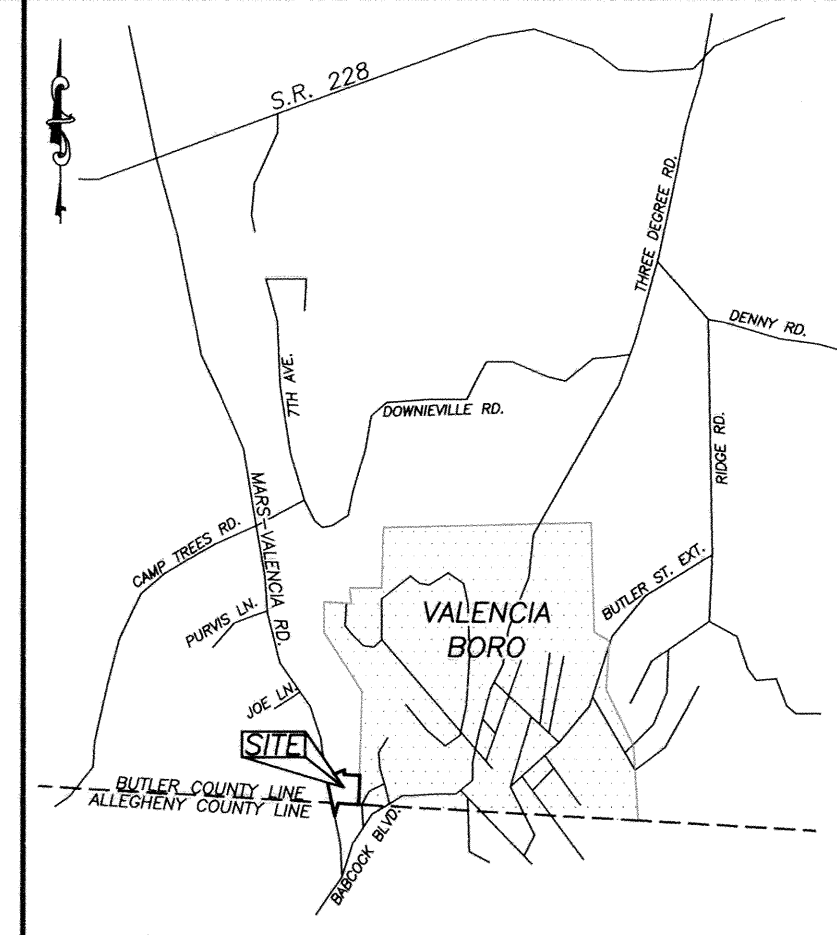
2348

Anderson Subdivision

Situate in Adams Township
Butler County, Pa.

Prepared For Tracy Anderson

Sheet No. 1 of 1



SITE LOCATION MAP

ZONING: B-BUSINESS DISTRICT

LOT AREA- 21,780 SQ. FT. W/ PUBLIC SEWER
43,560 W/ OUT PUBLIC SEWER

LOT WIDTH- 100' @ FRONT SETBACK
FRONT YARD SETBACK- 50'
SIDE YARD SETBACK- 15'
REAR YARD SETBACK- 25'

PROPERTY ADDRESS:
489 MARS-VALENCIA RD.
VALENCIA, PA 16059

DEED REF: DBV 2306, PG 62
TAX ID. 10-3F66-69B

AREA TABULATIONS

TRACT	AREA
LOT 1	2.964 ACRES
LOT 2	0.794 ACRES

TOTAL PLAN AREA 3.758 ACRES

OWNER:

TRACY ANDERSON
P.O. BOX 450
GIBSONIA, PA 15044

KNOW ALL MEN BY THESE PRESENTS That We, E. D. ELLIOTT and DONNA M. ELLIOTT of the Township of Center, County of Butler and Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this as our plan of lots of our property, situate in the Township of Center, County of Butler and Commonwealth of Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever, for public use for highway purposes, all slope areas drives, roads, streets, lanes and ways, and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in the consideration of the approval of said plan, and any future acceptance of said public highways by the Commonwealth of Pennsylvania, County of Butler and Township of Center, we hereby covenant and agree to and by these presents do release and forever discharge the Commonwealth of Pennsylvania, County of Butler and Township of Center, their successors and assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon the above named property owners, their heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, We hereunto set our hand and seal this 16 day of DECEMBER 2011.

E.D. Elliott
Owner

Donna M. Elliott
Owner

COMMONWEALTH OF PENNSYLVANIA : SS
COUNTY OF BUTLER :

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared E.D. ELLIOTT and DONNA M. ELLIOTT and acknowledged the foregoing release and dedication and plan to be their act and deed and desire the same to be recorded as such.

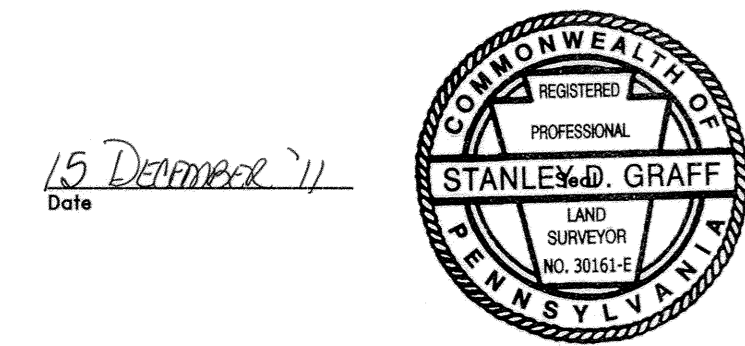
WITNESS MY HAND AND NOTARIAL SEAL this 16TH day of DECEMBER 2011

Alfred J. Jeffcoat
Notary Public

Seal & Stamp

COMMONWEALTH OF PENNSYLVANIA
Notarial Seal
Debra L. Jeffcoat, Notary Public
Jefferson Twp., Butler County
My Commission Expires Feb. 17, 2015
MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES

I, Stanley D. Graff, a Registered Professional Surveyor of the Commonwealth of Pennsylvania, do hereby certify, to the best of my knowledge, that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan correctly represents the lots, lands, streets and highways as surveyed by others and plotted by me for the owners or agents.



[Signature]
P. L. S. V. 30161-E

The Board of Supervisors of the Township of Center, hereby gives public notice that in approving this plan for recording purposes only, the Township of Center assumes no obligations, legal or otherwise, expressed or implied either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

Approved by the Supervisors of the Township of Center this 14th day of DECEMBER 2011.

[Signature]
Secretary

Seal

[Signature]
Chairman

Approved by the Center Township Planning Commission this 16th day of NOVEMBER 2011.

[Signature]
Secretary

[Signature]
Chairman

Reviewed by the Butler County Planning Commission this 12TH day of MAY 2011.

[Signature]
Secretary

Seal

[Signature]
Chairman

COMMONWEALTH OF PENNSYLVANIA : SS
COUNTY OF BUTLER :

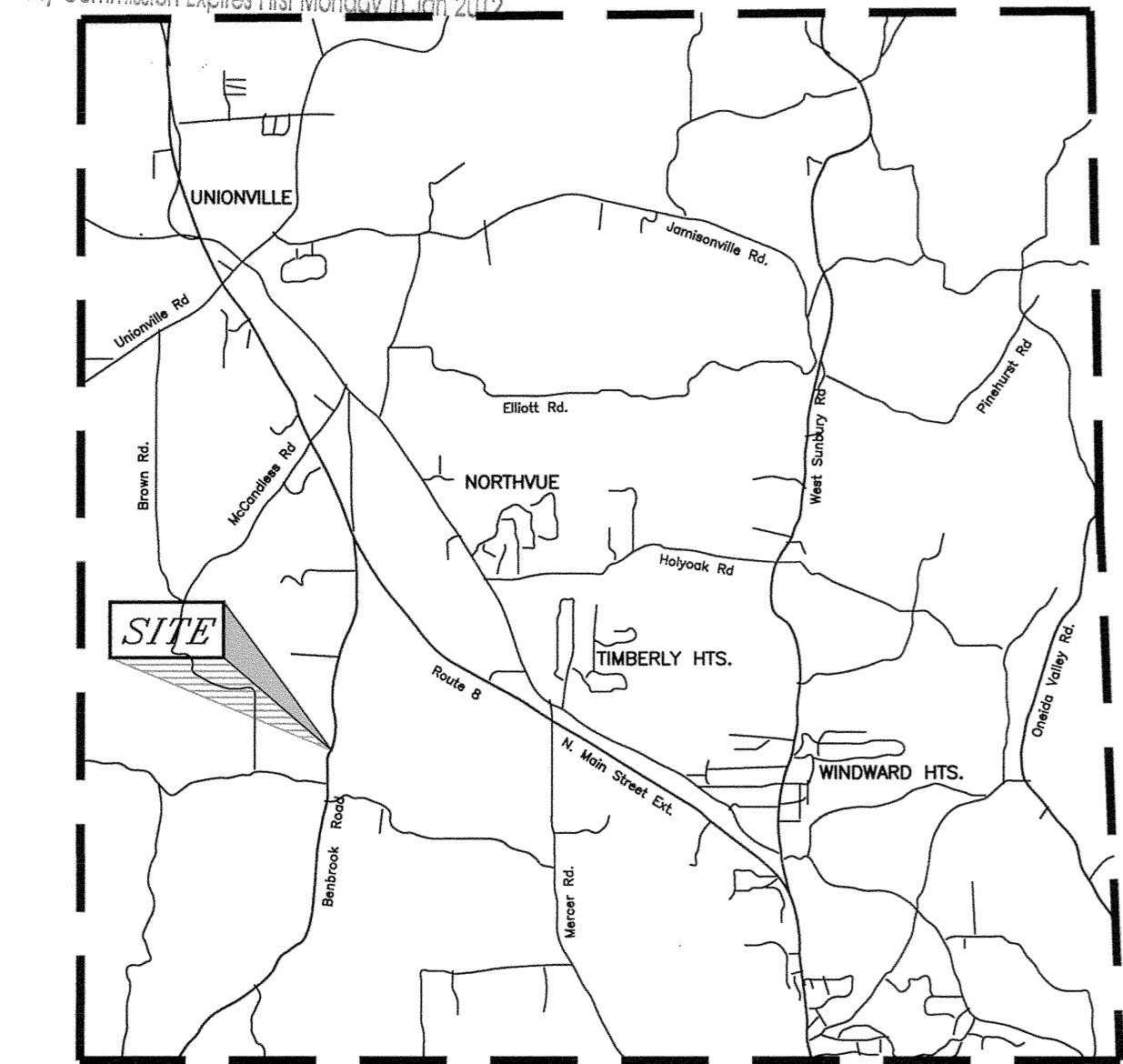
Recorded in the Recorder's Office for the recording of deeds, plans, etc.,
In said County in Plan Book Volume 327 Page 38

Given under my hand and seal this 29 day of December 2011.

Nichole M. Mustello
Recorder

Seal

NICHOLE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in Jan 2012



Vicinity Map

NOT TO SCALE

- NOTES:
- 1) CONSTRUCTION OF AN ON-LOT STORM WATER DETENTION SUMP WILL BE A CONDITION OF FUTURE LOT OWNERS RECEIVING A BUILDING PERMIT FROM CENTER TOWNSHIP.
 - 2) OWNER: E.D. ELLIOTT AND DONNA M. ELLIOTT
337 EAST BREWSTER ROAD
BUTLER, PA. 16001
 - 3) ZONING - R-1 SINGLE FAMILY RESIDENTIAL
REQUIREMENTS:
FRONT YARD = 35' FROM ROAD R/W
REAR YARD = 35'
SIDE YARD = 15' (2 REQUIRED)
FRONTAGE = 100' MIN.
LOT AREA = 0.5 ACRE

- 4) SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

- 5) PROPERTY LOCATION - STATE ROUTE 3007 (SOUTH BENBROOK ROAD)

- 6) SOURCE OF TITLE - INSTRUMENT NUMBER 200312050054135

- 7) THE SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE X (AREAS OUTSIDE OF THE 500 YEAR FLOOD PLAIN) AS PER THE FLOOD INSURANCE RAT MAP 421417 0015B

- 8) A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE STATE HIGHWAY LAW (P.L. 1242, No. 428).

- 9) ORIGINAL LOT NO. 1 = 3.377 ACRES

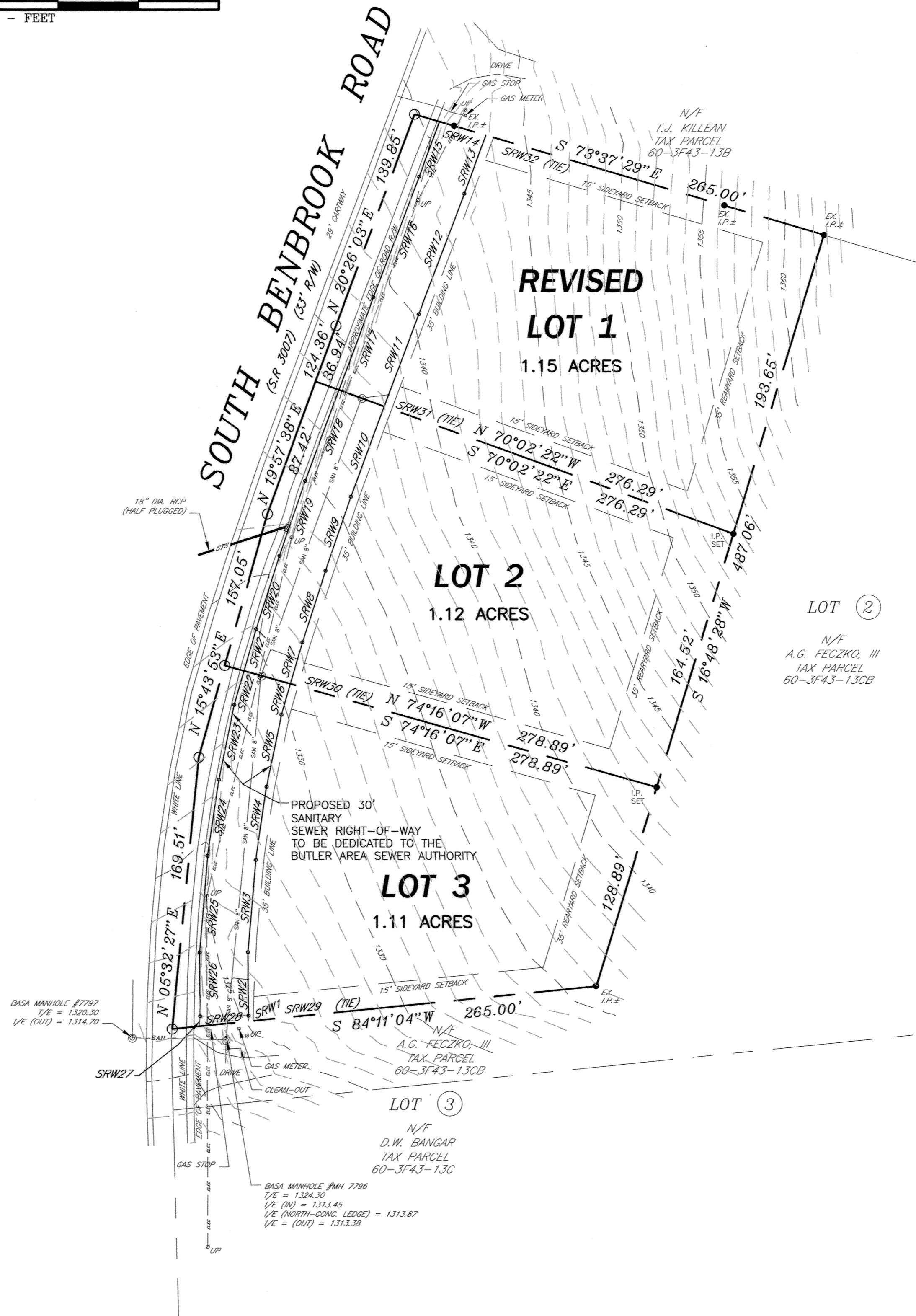
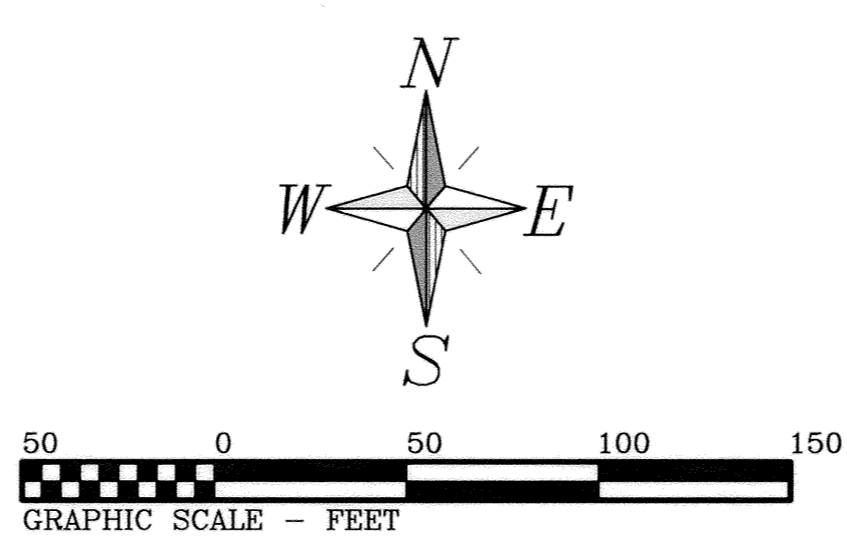
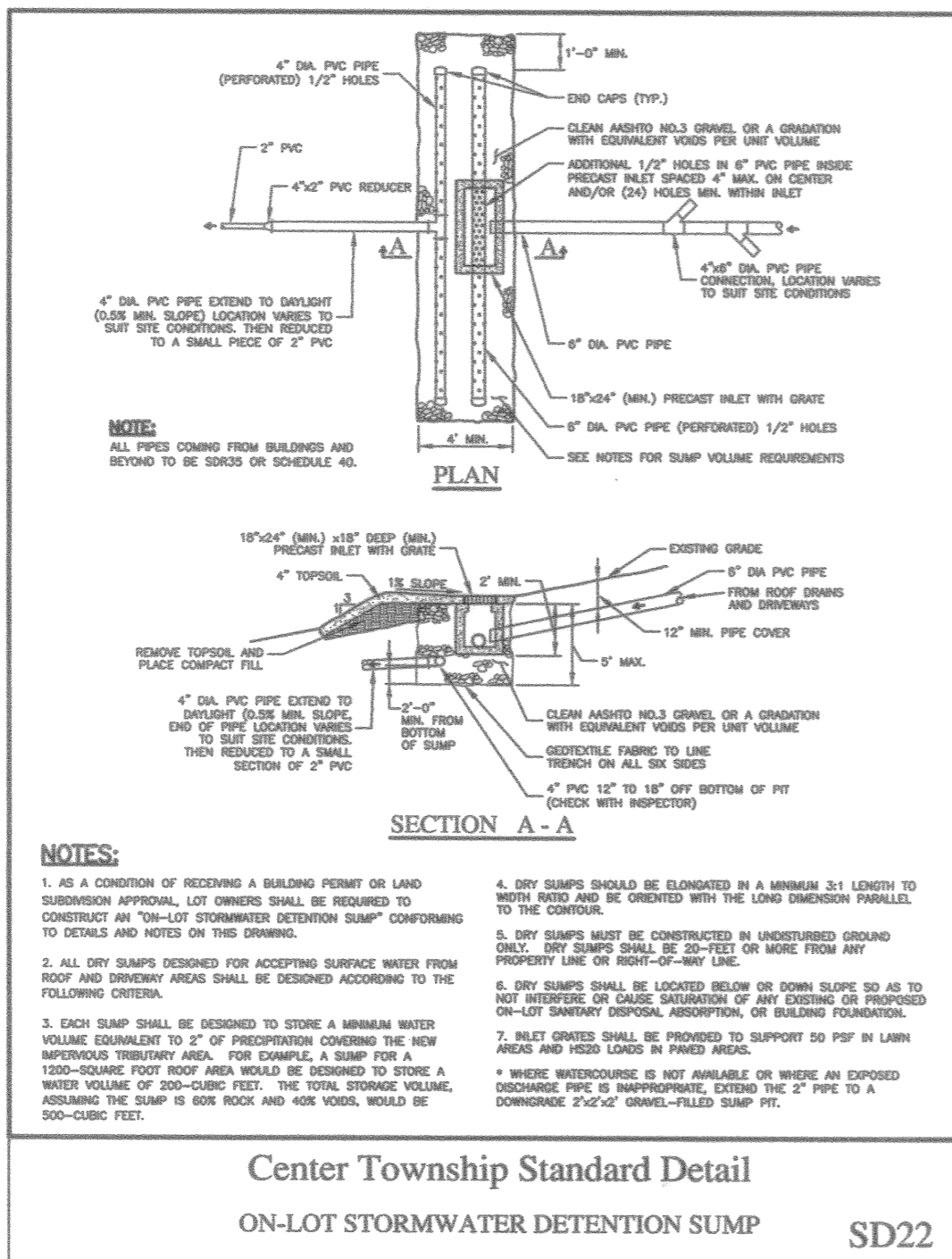
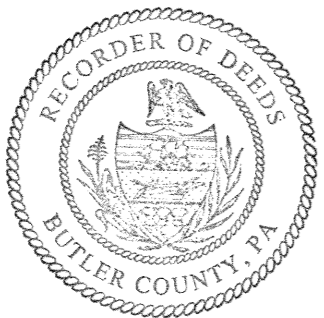
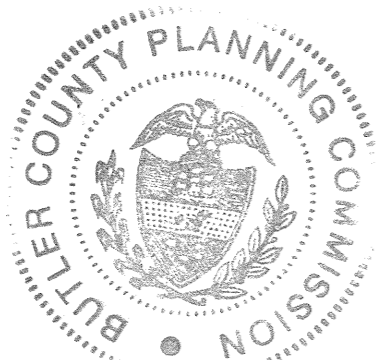
PROPOSED REVISED LOT 1 = 1.150 ACRES
PROPOSED LOT 4 = 1.120 ACRES
PROPOSED LOT 5 = 1.106 ACRES

- 10) ALL LOTS MUST BE SUPPLIED BY GRAVITY SEWER SERVICE. ALL LOTS MUST HAVE THE SANITARY SEWER SERVICE LATERAL EXTENDED AND INSPECTION TEES PER B.A.S.A. DRAWINGS 8 AND 14 INSTALLED AT THE PROPERTY LINE BY THE DEVELOPER. THE MINIMUM BASEMENT ELEVATION TO EACH LOT IS AS FOLLOWS:
LOT 1 REVISED = 1331.4±, 6"Ø PIPE @ 1% SLOPE
LOT 2 = 1325.1±, 6"Ø PIPE @ 1% SLOPE
LOT 3 = 1318.1±, 6"Ø PIPE @ 1% SLOPE

- 11) DATUM BASED ON BASA MANHOLE NO. MH7796 TOP ELEVATION OF 1324.30

REFERENCE:

WILLIAM BUNGAR PLAN
PLAN BOOK VOLUME 284 PAGE 32



30' SANITARY SEWER RIGHT-OF-WAY		
Course	Bearing	Distance
SRW1	N 00°41'27" W	3.56'
SRW2	N 00°23'20" W	39.50'
SRW3	N 04°45'45" E	57.50'
SRW4	N 08°21'33" E	45.80'
SRW5	N 11°47'10" E	45.60'
SRW6	N 15°58'45" E	19.08'
SRW7	N 15°58'45" E	26.02'
SRW8	N 17°53'05" E	46.70'
SRW9	N 18°47'45" E	48.50'
SRW10	N 20°23'00" E	59.69'
SRW11	N 20°25'14" E	61.18'
SRW12	N 20°44'20" E	79.01'
SRW13	N 20°21'40" E	38.59'
SRW14	N 23°37'29" W	30.07'
SRW15	S 20°21'40" W	36.30'
SRW16	S 20°44'20" W	80.00'
SRW17	S 20°24'35" W	61.50'
SRW18	S 20°23'00" W	48.38'
SRW19	S 18°47'29" W	47.70'
SRW20	S 17°51'53" W	47.70'
SRW21	S 15°53'08" W	27.04'
SRW22	S 15°53'08" W	22.04'
SRW23	S 11°43'17" W	47.68'
SRW24	S 08°13'50" W	60.19'
SRW25	S 04°38'50" W	60.72'
SRW26	S 00°22'24" E	39.72'
SRW27	S 05°32'27" E	6.28'
SRW28	N 84°11'04" W	30.81'
SRW29	S 84°11'04" W	217.37'
SRW30	S 74°16'07" W	236.44'
SRW31	S 70°02'22" E	230.85'
SRW32	S 73°37'29" E	218.78'

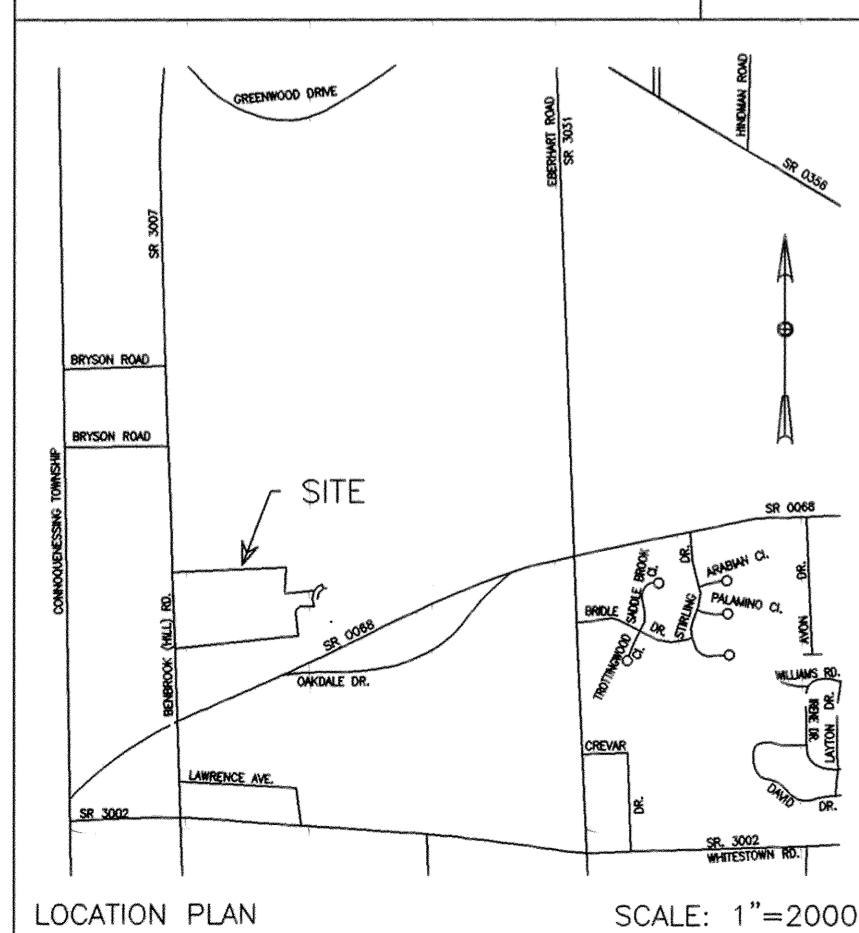
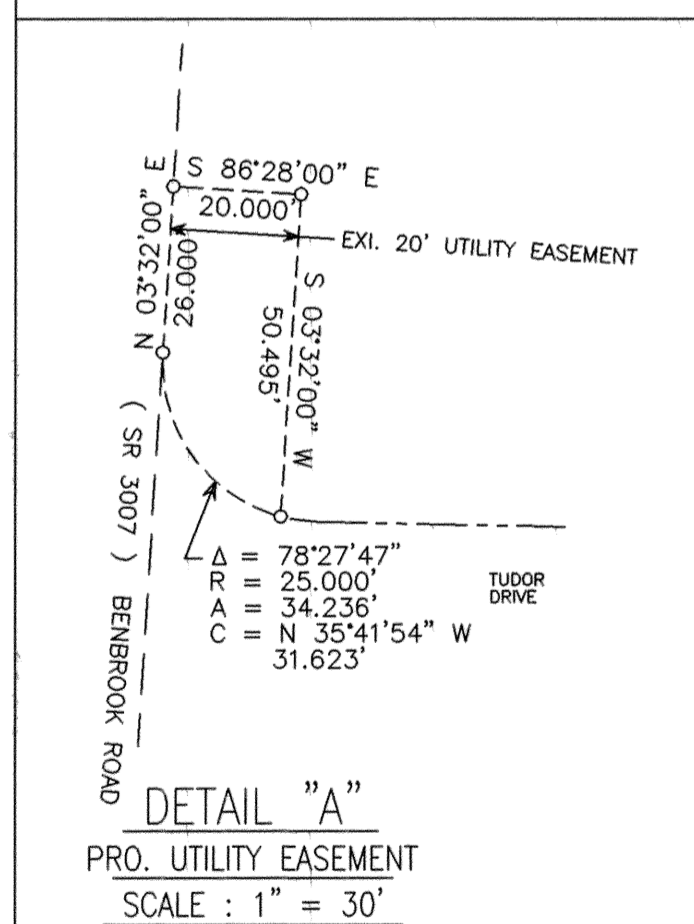
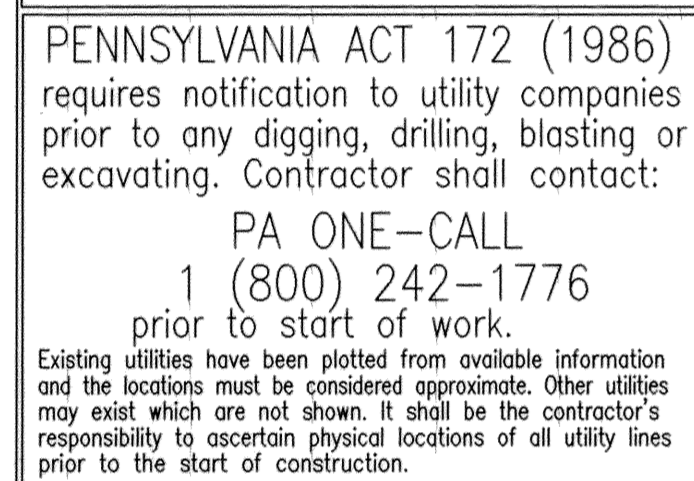
E.D. ELLIOTT PLAN

Being a subdivision of
Lot 1 / William Bungar Plan / rack 284 page 32

SUBDIVISION PLAN
PROJECT No: 11057
SITUATE: CENTER TOWNSHIP, BUTLER COUNTY, PA.
DATE: 5-10-11 REV: 8-10-11 DWN.BY: LR CHK.BY: FR Co. TAX No: 080-3F43-13CA
S. D. GRAFF Professional Surveying
P. O. Box 521 Saxonburg, PA 16056
330 Fisher Road
724-352-3811 FAX 724-352-1059

11073

RECORDED DEC. 29, 2011	
PLAN BOOK	PAGE
327	38
SHEET	of

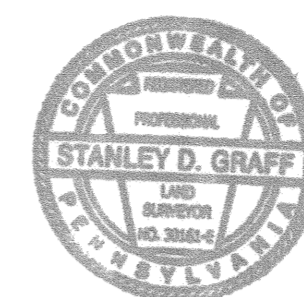


Instr: 201201030000095
 Pages: 2 F: \$85.00
 Michele Mustello
 Butler County Recorder

01/03/2012
 3:14PM
 T20120000155
 FL

#	CENTRAL ANGLE	RADIUS	ARC	CHORD
C1	34°42'52"	149.999'	90.882'	S 17°22'44" W 89.498'
C2	19°21'27"	225.600'	76.219'	S 09°59'37" E 75.857'
C3	40°06'38"	150.000'	105.010'	N 54°09'47" E 102.878'
C4	59°24'20"	100.000'	103.682'	S 45°03'41" W 99.100'
C5	15°39'41"	149.999'	41.001'	S 07°51'10" W 40.874'
C6	87°41'19"	25.000'	38.262'	S 47°22'48" W 34.636'
C7	92°30'01"	25.000'	40.361'	S 42°43'02" E 36.119'
C8	87°29'59"	25.000'	38.179'	N 47°16'55" E 34.576'
C9	92°18'59"	25.000'	40.281'	N 42°37'24" W 36.063'
C10	87°41'25"	75.000'	114.786'	N 47°22'42" E 103.906'
C11	87°41'24"	125.000'	191.130'	N 47°22'42" E 173.177'
C12	180°00'00"	93.000'	292.168'	S 01°13'23" W 186.000'
C13	180°00'00"	143.000'	449.248'	S 01°13'22" W 286.000'
C14	09°05'04"	143.000'	22.673'	S 16°49'29" W 22.649'
C15	51°58'12"	143.000'	129.707'	S 13°42'08" E 125.307'
C16	19°37'52"	143.000'	48.996'	S 49°30'10" E 48.757'
C17	29°27'32"	143.000'	73.524'	S 74°02'52" E 72.717'
C18	180°00'00"	117.29'	368.48'	N 00°00'00" E 234.58'
C19	87°11'03"	95.29'	145.00'	S 47°35'51" W 131.41'

I, Stanley D. Graff, PLS a Registered Surveyor of the Commonwealth of Pennsylvania do hereby certify that the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plat, and that this plan correctly represents the lots, land, streets and highways as surveyed and plotted by me for the owners or agents. The property is subject to all rights of way and easements of record whether shown or not.



SU030161E
Registration No

Know all men by these presents, that KATE, Inc. a Corporation formed under the laws of the Commonwealth of Pennsylvania, Adopts the foregoing as it's Plats and Plans pursuant to section 3210 of the Pennsylvania Uniform Condominium Act.

In witness whereof, the said Corporation has caused it's seal to be affixed by the hand of it's President and same to be attested by it's Secretary this 1ST day of NOVEMBER, 2011.

KATE, Inc.

Indeth A. Krenstary
Secretary

by : Joseph D. Priddy
President

On this, the 15TH day of NOVEMBER, 2011, before me, a Notary Public in and for the state and county aforesaid, the undersigned officer, personally appeared Joseph Krenitsky who acknowledged himself to be the President of Kate, Inc., a Pennsylvania Corporation, and that as such President, he executed the foregoing instrument on behalf of Kate, Inc., for the purposes therein contained.

COMMONWEALTH OF PENNSYLVANIA

In witness whereof, I hereunto set my hand and official seal

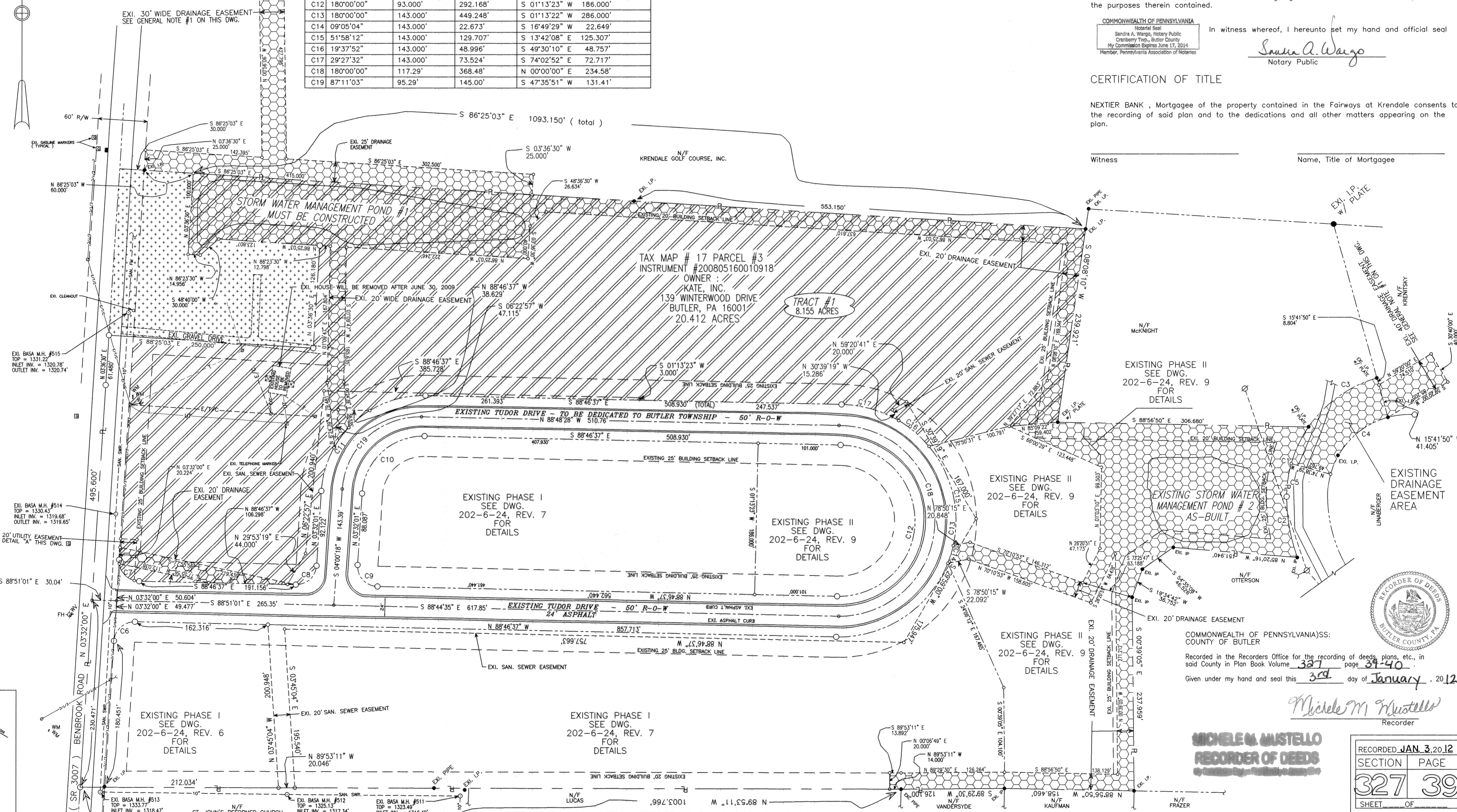
Sandra A. Wargo
Notary Public

CERTIFICATION OF TITLE

NEXTIER BANK, Mortgagee of the property contained in the Fairways at Krendale consents to the recording of said plan and to the dedications and all other matters appearing on the plan.

Witness

Name, Title of Mortgagee



COMMONWEALTH OF PENNSYLVANIA)SS
COUNTY OF BUTLER

Recorded in the Records Office for the recording of deeds, plans, etc., in
said County in Plan Book Volume 327 page 34-40.
Given under my hand and seal this 3rd day of January, 2012

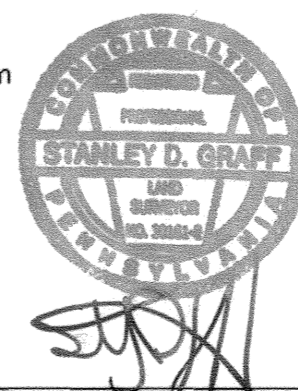
Michele M Mustello
Recorder

MICHELE M. MUSTELLO
RECORDER OF DEEDS
OFFICE OF THE RECORDER OF DEEDS

RECORDED <u>JAN. 3, 2012</u>	
SECTION	PAGE
<u>327</u>	<u>39</u>
SHEET _____ OF _____	

I, Stanley D. Graff, a Professional Surveyor duly licensed by and in the Commonwealth of Pennsylvania, hereby certify that the plots and plans of Fairways at Kendale to which this Certificate is affixed, consisting of two pages (Drawings #1, & #2), accurately contain all information required by Sections 3210 (b) and (c) of the Pennsylvania Uniform Condominium Act, Act 82 of 1980 (68 Pa.C.S.A. 3210 (b) and (c)).

Stanley D. Graff, P.L.S. Reg. No.: SU030161E



S & G GAS & OIL, INC. dba
Survey Associates

205-B South Duffy Road
Butler, PA 16001

Phone : (724) 287 - 2695

TITLE: "FAIRWAYS AT KRENDALE"
CONDOMINIUM PLATS AND PLANS - DWG. #1 of 2

SITUATE : 647 S. BENBROOK ROAD
BUTLER, PA., 16001

BUTLER TOWNSHIP, BUTLER COUNTY, PA.

DECLARANT : KATE, INC.
139 WINTERWOOD DRIVE
BUTLER, PA., 16001

DRWN. BY: JES & DWF
DATE: 11/17/04

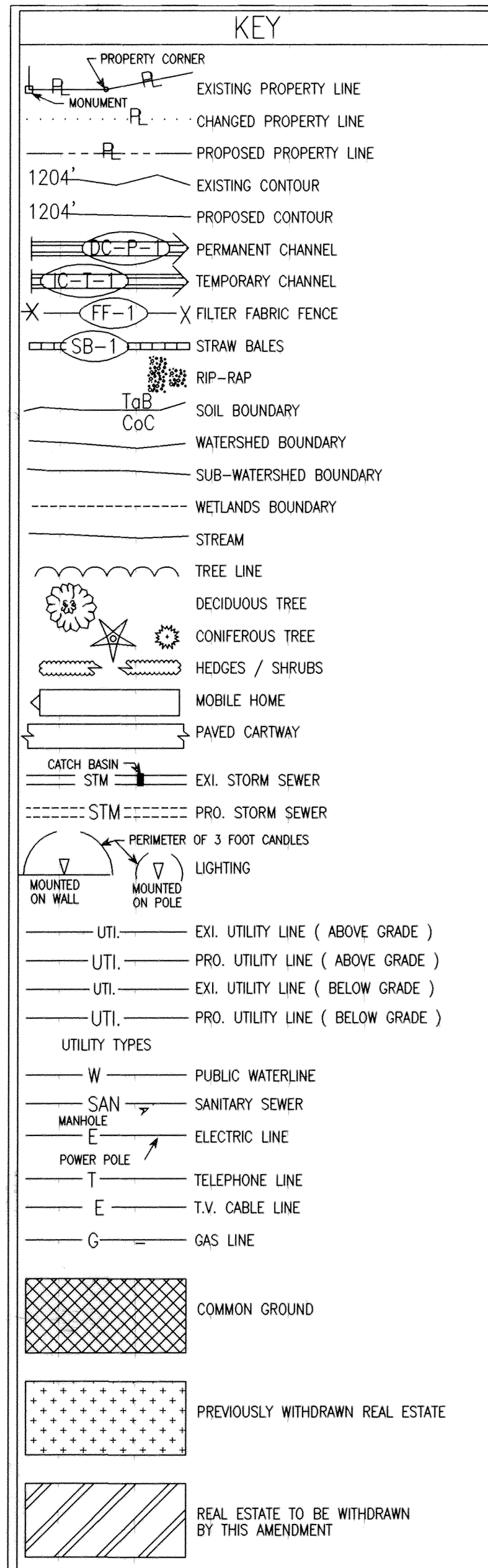
CHKD. BY: RAS

DATE: 11/23/04

SCALE : 1" = 60'

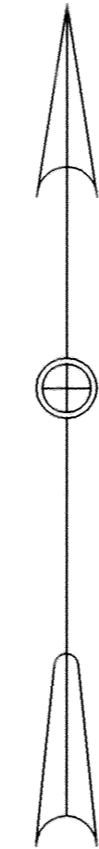
DRAWING No.:

202-6-25



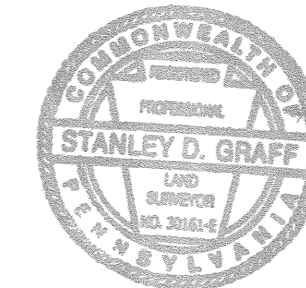
GENERAL NOTES:
1.) Pursuant to the Declaration of Easement by Joseph P. Krenitsky, Judith A. Krenitsky and Krendale Golf Course, Inc. dated Oct. 31, 2003 and recorded at Instrument No. 200310310049548, the Condominium has the right to divert storm water through this easement. The Association has responsibility for the maintenance of all improvements constructed in the easement.

#	CENTRAL ANGLE	RADIUS	ARC	CHORD
C1	34°42'52"	149.999'	90.882'	S 17°22'44" W 89.498'
C2	19°21'27"	225.600'	76.219'	S 09°59'37" E 75.857'
C3	40°06'38"	150.000'	105.010'	N 54°09'47" E 102.878'
C4	59°24'20"	100.000'	103.682'	S 45°03'41" W 99.100'
C5	15°39'41"	149.999'	41.001'	S 07°51'10" W 40.874'
C6	87°41'19"	25.000'	38.262'	S 47°22'48" W 34.636'
C7	92°30'01"	25.000'	40.361'	S 42°43'02" E 36.119'
C8	87°29'59"	25.000'	38.179'	N 47°16'55" E 34.576'
C9	92°18'59"	25.000'	40.281'	N 42°37'24" W 36.063'
C10	87°41'25"	75.000'	114.786'	N 47°22'42" E 103.906'
C11	87°41'24"	125.000'	191.310'	N 47°22'42" E 173.177'
C12	180°00'00"	93.000'	292.168'	S 01°13'23" W 186.000'
C13	180°00'00"	143.000'	449.248'	S 01°13'22" W 286.000'
C14	09°05'04"	143.000'	22.673'	S 16°49'29" W 22.649'
C15	51°58'12"	143.000'	129.707'	S 13°42'08" E 125.307'
C16	19°37'52"	143.000'	48.996'	S 49°30'10" E 48.757'
C17	29°27'32"	143.000'	73.524'	S 74°02'52" E 72.717'
C18	180°00'00"	117.29'	368.48'	N 00°00'00" E 234.58'
C19	87°11'03"	95.29'	145.00'	S 47°35'51" W 131.41'

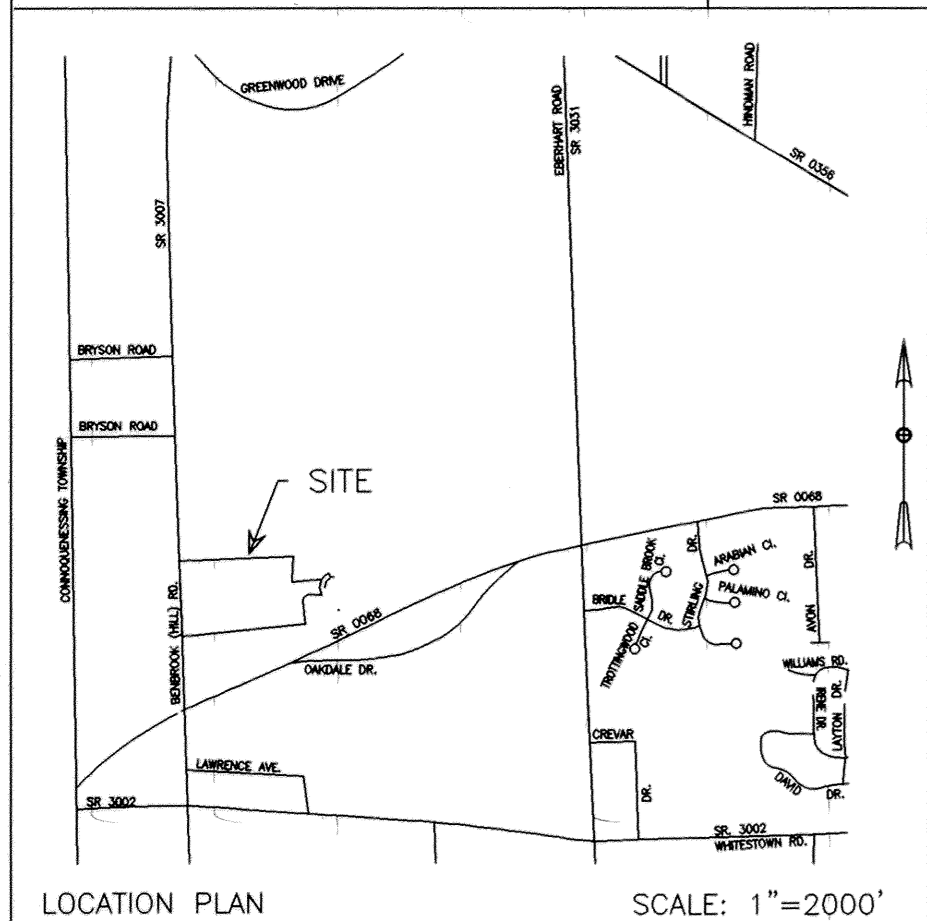
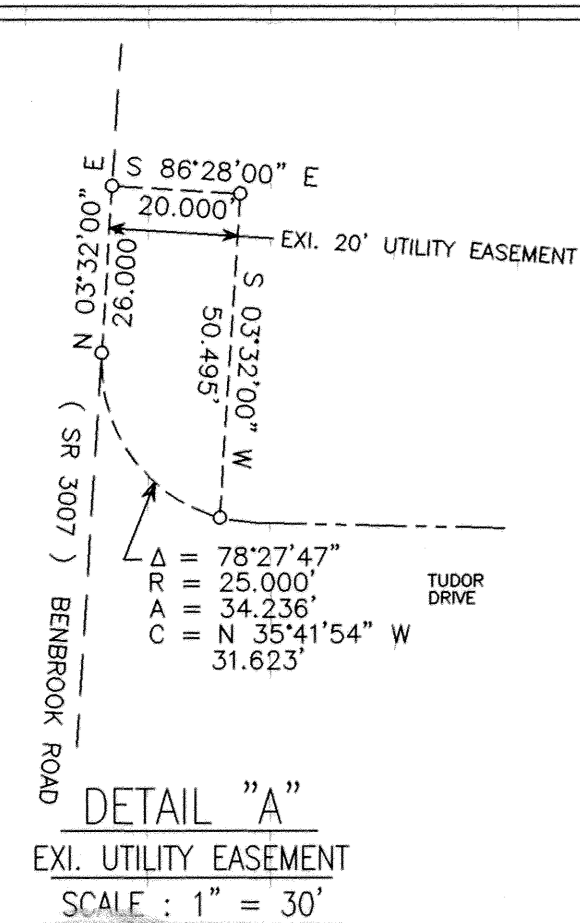
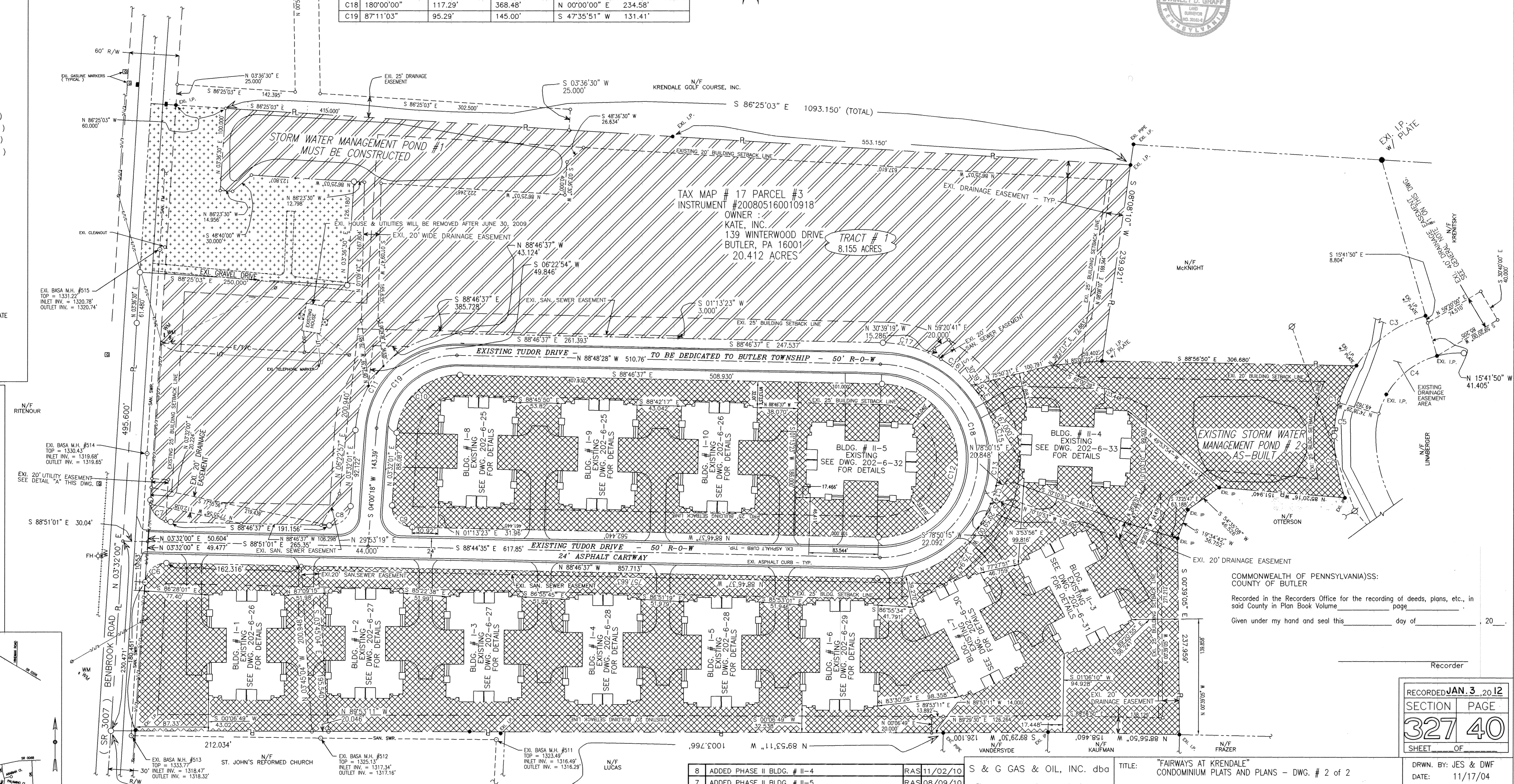


CERTIFICATION OF CONDOMINIUM PLATS AND PLANS FOR
"FAIRWAYS AT KRENDALE"

I, Stanley D. Graff, PLS, a Registered Surveyor of the Commonwealth of Pennsylvania do hereby certify that the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plat, and that this plan correctly represents the lots, land, streets and highways as surveyed and plotted by me for the owners or agents. The property is subject to all rights of way and easements of record whether shown or not.



SU0301611
Registration No.



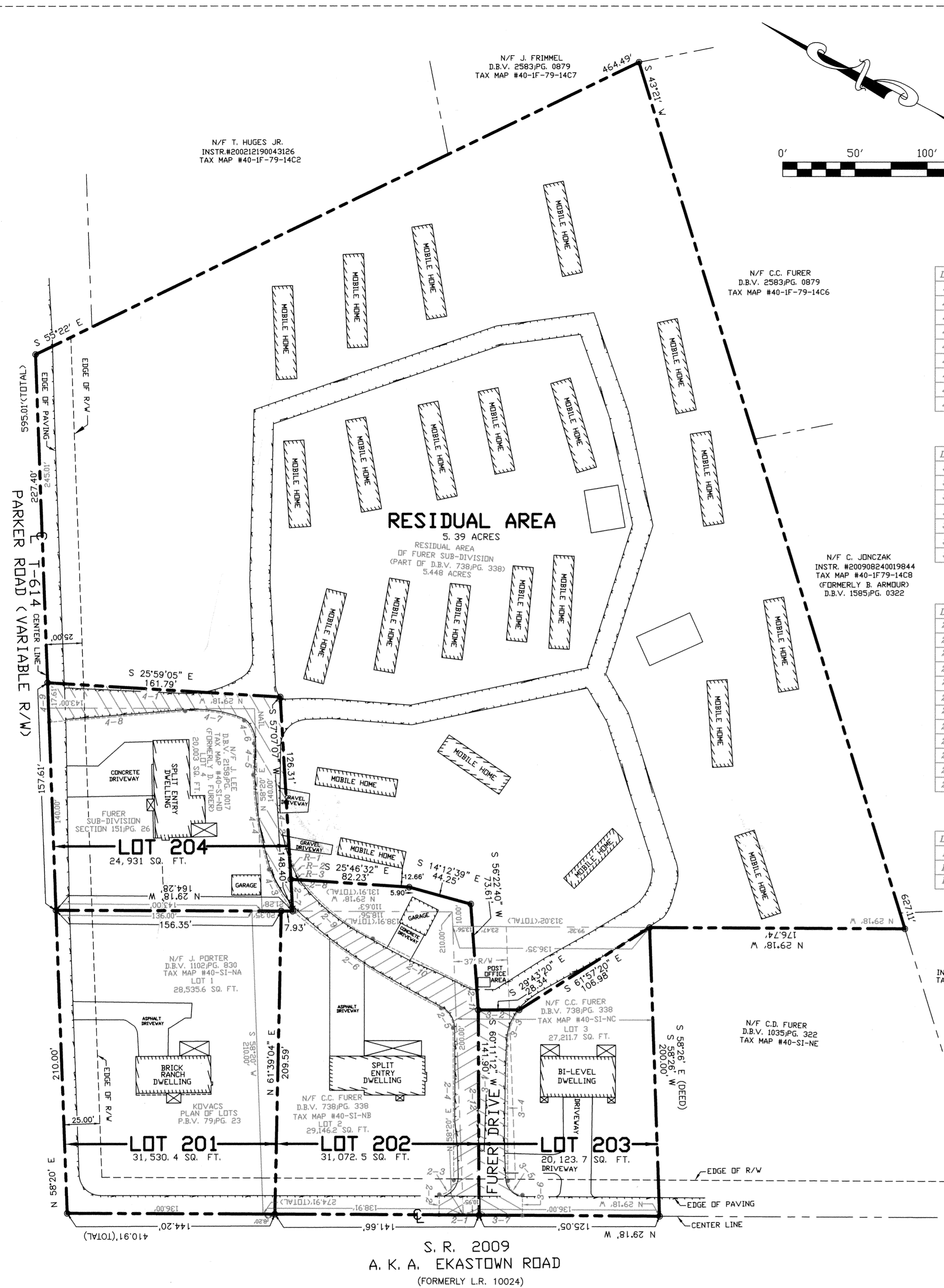
REV	DESCRIPTION	BY	DATE	REV	DESCRIPTION	BY	DATE
8	ADDED PHASE II BLDG. # II-4	RAS	11/02/10	1	MISC. CHANGES	DWF	11/23/04
7	ADDED PHASE II BLDG. # II-5	RAS	08/09/10	2	ADDED BLDGS. #1-1 & #1-10	DWF	09/21/09
6	MISC. CHANGES, ADDED PHASE II & BLDG. # II-3	RAS	07/15/09	3	ADDED BLDGS. #1-2 & #1-3	DWF	07/28/06
5	ADDED BLDG. #1-7	RAS	08/04/08	4	ADDED BLDGS. #1-4, #1-5 & #1-6	DWF	01/18/07
4	ADDED BLDGS. #1-4, #1-5 & #1-6	DWF	01/18/07	5	ADDED BLDG. #1-7	RAS	08/04/08
3	ADDED BLDGS. #1-2 & #1-3	DWF	07/28/06	6	MISC. CHANGES, ADDED PHASE II & BLDG. # II-3	RAS	07/15/09
2	ADDED BLDGS. #1-1 & #1-10	DWF	09/21/09	7	ADDED PHASE II BLDG. # II-5	RAS	08/09/10
1	MISC. CHANGES	DWF	11/23/04	8	ADDED PHASE II BLDG. # II-4	RAS	11/02/10

S & G GAS & OIL, INC. dba
Survey Associates
205-B South Duffy Road
Butler, PA 16001
Phone: (724) 287 - 2695

TITLE: "FAIRWAYS AT KRENDALE"
CONDOMINIUM PLATS AND PLANS - DWG. # 2 of 2
SITUATE: 647 S. BENBROOK ROAD
BUTLER, PA, 16001
BUTLER TOWNSHIP, BUTLER COUNTY, PA.
DECLARANT: KATE, INC.
139 WINTERWOOD DRIVE
BUTLER, PA, 16001

RECORDED JAN. 3, 2012
SECTION PAGE
327 40
SHEET OF

DRWN. BY: JES & DWF
DATE: 11/17/04
CHKD. BY: RAS
DATE: 11/23/04
SCALE: 1" = 60'
DRAWING No.:
202-6-24



LEGEND

- EXISTING PROPERTY LINE
- EXISTING LOT NUMBER
- PROPOSED PROPERTY LINES
- PROPOSED LOT NUMBERS
- PROPOSED ACCESS EASEMENT (VARIABLE WIDTH)

LOT 202

TOTAL AREA: 7.86 ACRES

ZONING: B-1 BUSINESS

OWNERS:

CECIL C. FURER (DECEASED) & MABLE I. FURER
D.B.V. 738/PG. 338

JOHN P. PORTER & DARLENE F. PORTER
D.B.V. 1102/PG. 830

JAMES R. LEE & DIANE F. LEE
D.B.V. 2158/PG. 0017

C/D DIANE LEE
617 PARKER ROAD
SARVER, PA. 16055

NOTES:

- LOTS 202, 203, 204 AND RESIDUAL AREA TO HAVE THE RIGHT TO USE ACCESS EASEMENT AS SHOWN.
- ACCESS EASEMENTS ARE TO BE MAINTAINED BY 4-D MOBIL HOME VILLAGE.

KNOW ALL MEN BY THESE PRESENTS, THAT I MABLE I. FURER, OWNER OF PROPERTY IN THE 4-D MOBIL HOME VILLAGE PLAN, OF THE TOWNSHIP OF BUFFALO, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, FOR MYSELF, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS PLAN AS MY PLAN OF LOTS, OF MY PROPERTY, SITUATE IN TOWNSHIP OF BUFFALO, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO ME, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF BUFFALO, I HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, TOWNSHIP OF BUFFALO, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON MABLE I. FURER, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN, IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 16th DAY OF December, 2011.

ATTEST: Delma A. Walsh Matthew R. Barry
NOTARY NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUTLER Allegheny

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED MABLE I. FURER, ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE HER ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH, SWORN TO AND SUBSCRIBED BEFORE ME THIS DAY.

WITNESS MY HAND AND NOTARIAL SEAL THIS 16th DAY OF December, 2011

MY COMMISSION EXPIRES THE 11th DAY OF August, 2013

(SEAL) COMMONWEALTH OF PENNSYLVANIA
Notarial Seal
Matthew R. Barry, Notary Public
City of Pittsburgh, Allegheny County
My Commission Expires Aug. 11, 2013
Member, Pennsylvania Association of Notaries

Matthew R. Barry
NOTARY PUBLIC

KNOW ALL MEN BY THESE PRESENTS, THAT WE JOHN P. PORTER AND DARLENE F. PORTER, OWNERS OF PROPERTY IN THE 4-D MOBIL HOME VILLAGE PLAN, OF THE TOWNSHIP OF BUFFALO, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS PLAN AS OUR PLAN OF LOTS OF OUR PROPERTY, SITUATE IN TOWNSHIP OF BUFFALO, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF BUFFALO, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, TOWNSHIP OF BUFFALO, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON JOHN P. PORTER AND DARLENE F. PORTER, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN, IN WITNESS WHEREOF, WE HERETO SET OUR HAND AND SEAL THIS 16th DAY OF December, 2011.

ATTEST: Delma A. Walsh John P. Porter Darlene F. Porter
NOTARY NOTARY PUBLIC NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUTLER Allegheny

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED JOHN P. PORTER AND DARLENE F. PORTER, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH, SWORN TO AND SUBSCRIBED BEFORE ME THIS DAY.

WITNESS MY HAND AND NOTARIAL SEAL THIS 16th DAY OF December, 2011

MY COMMISSION EXPIRES THE 11th DAY OF August, 2013

(SEAL) COMMONWEALTH OF PENNSYLVANIA
Notarial Seal
Matthew R. Barry, Notary Public
City of Pittsburgh, Allegheny County
My Commission Expires Aug. 11, 2013
Member, Pennsylvania Association of Notaries

Matthew R. Barry
NOTARY PUBLIC

KNOW ALL MEN BY THESE PRESENTS, THAT WE JAMES R. LEE AND DIANE F. LEE, OWNERS OF PROPERTY IN THE 4-D MOBIL HOME VILLAGE PLAN, OF THE TOWNSHIP OF BUFFALO, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS PLAN AS OUR PLAN OF LOTS OF OUR PROPERTY, SITUATE IN TOWNSHIP OF BUFFALO, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF BUFFALO, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, TOWNSHIP OF BUFFALO, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON JAMES R. LEE AND DIANE F. LEE, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN, IN WITNESS WHEREOF, WE HERETO SET OUR HAND AND SEAL THIS 16th DAY OF December, 2011.

ATTEST: Delma A. Walsh James R. Lee Diane F. Lee
NOTARY NOTARY PUBLIC NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUTLER Allegheny

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED JAMES R. LEE AND DIANE F. LEE, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH, SWORN TO AND SUBSCRIBED BEFORE ME THIS DAY.

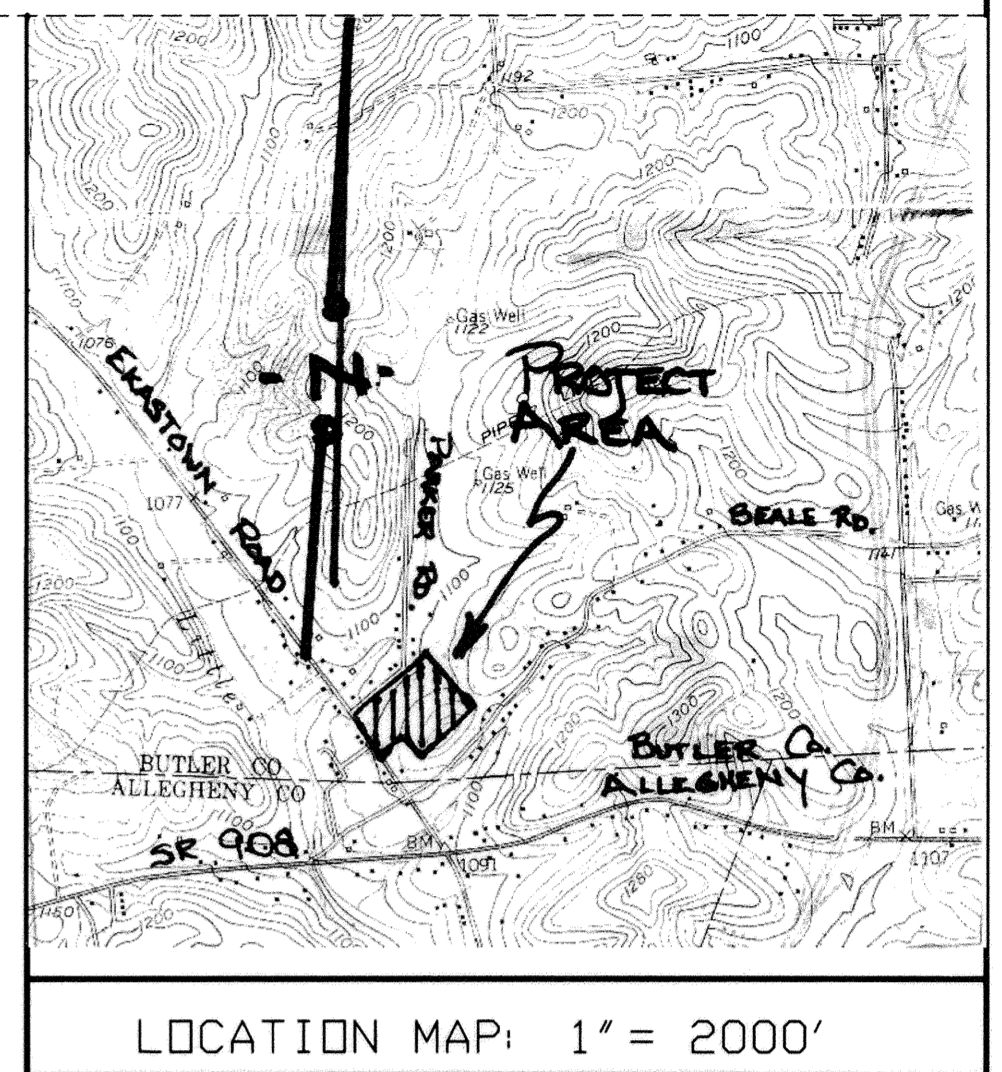
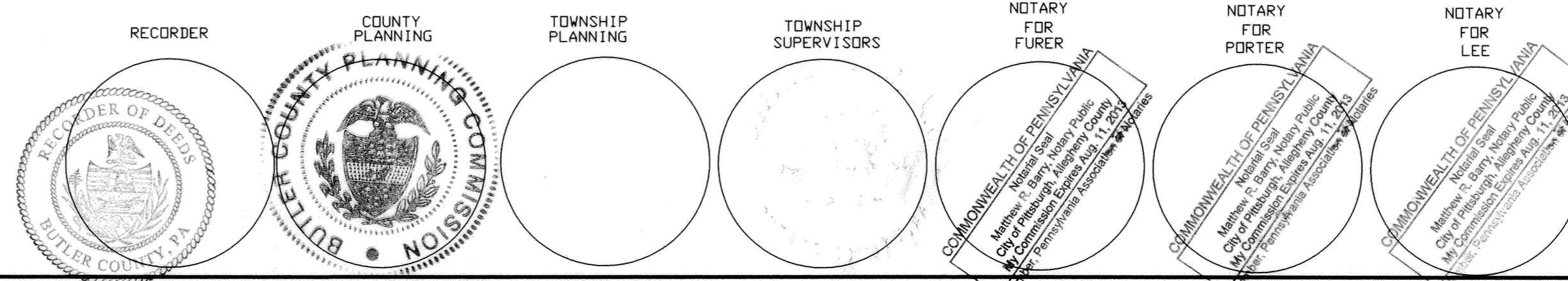
WITNESS MY HAND AND NOTARIAL SEAL THIS 16th DAY OF December, 2011

MY COMMISSION EXPIRES THE 11th DAY OF August, 2013

(SEAL) COMMONWEALTH OF PENNSYLVANIA
Notarial Seal
Matthew R. Barry, Notary Public
City of Pittsburgh, Allegheny County
My Commission Expires Aug. 11, 2013
Member, Pennsylvania Association of Notaries

Matthew R. Barry
NOTARY PUBLIC

ALL SIGNATURES TO BE WITH BLACK INK OR BLACK FELT TIP PEN



I, ANTHONY J. MALES, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

12-B-11
DATE

[Signature]
REG. NO. 23630-E

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF BUFFALO HEREBY GIVE PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF BUFFALO ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS OR TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF BUFFALO THIS 14th DAY OF DECEMBER, 2011.

James J. Zuber John J. Hannon
SECRETARY CHAIRPERSON

APPROVED BY THE BUFFALO TOWNSHIP PLANNING COMMISSION THIS 7th DAY OF DECEMBER, 2011.

Earl C. Detrick Bryan Cordier
SECRETARY CHAIRPERSON

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 19th DAY OF Dec, 2011.

[Signature] F. Lee
SECRETARY CHAIRPERSON

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUTLER

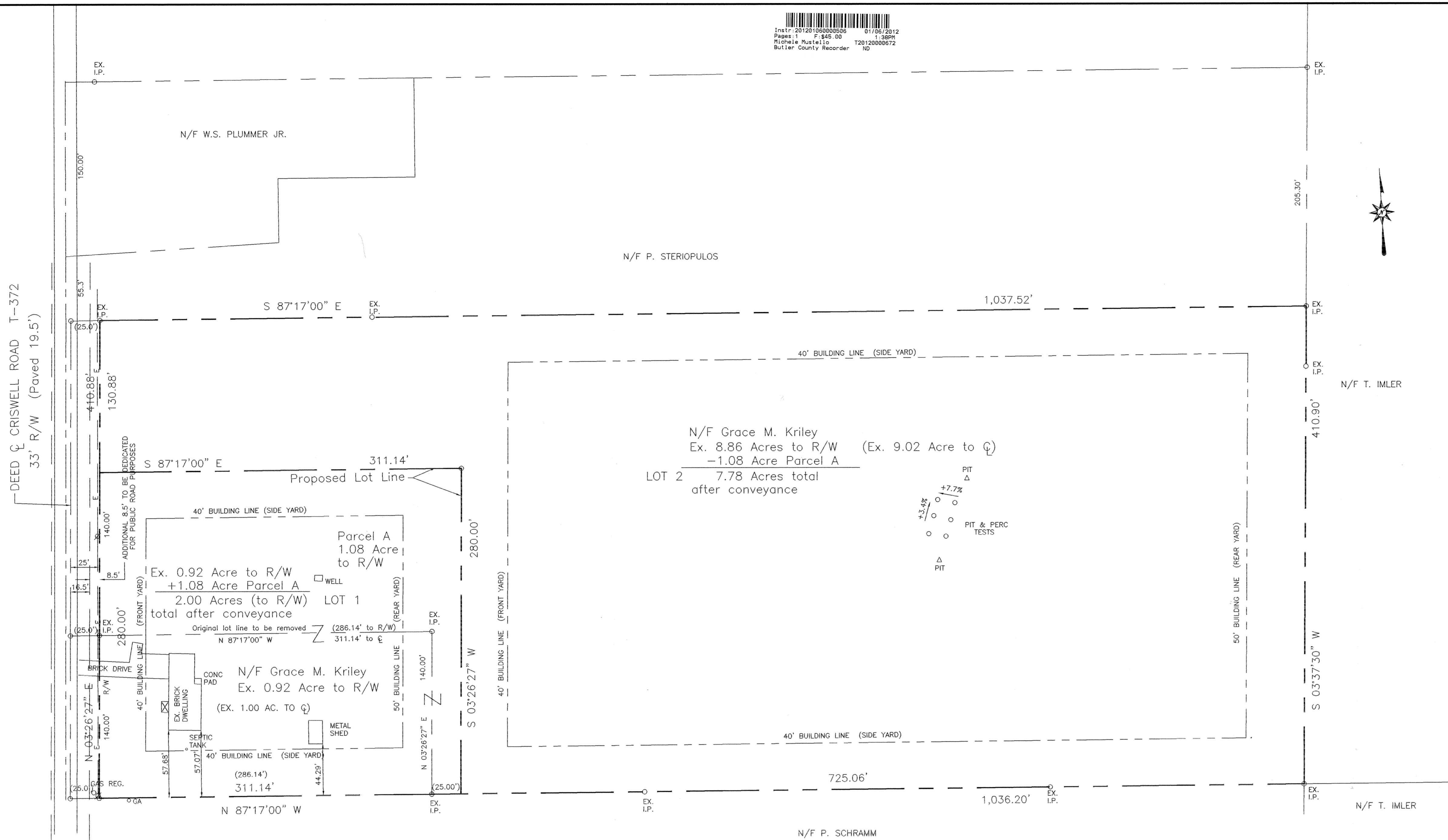
RECORDED IN THE RECORDER'S OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC., IN SAID COUNTY, INSTRUMENT NUMBER Plan Book 327 Pg 41

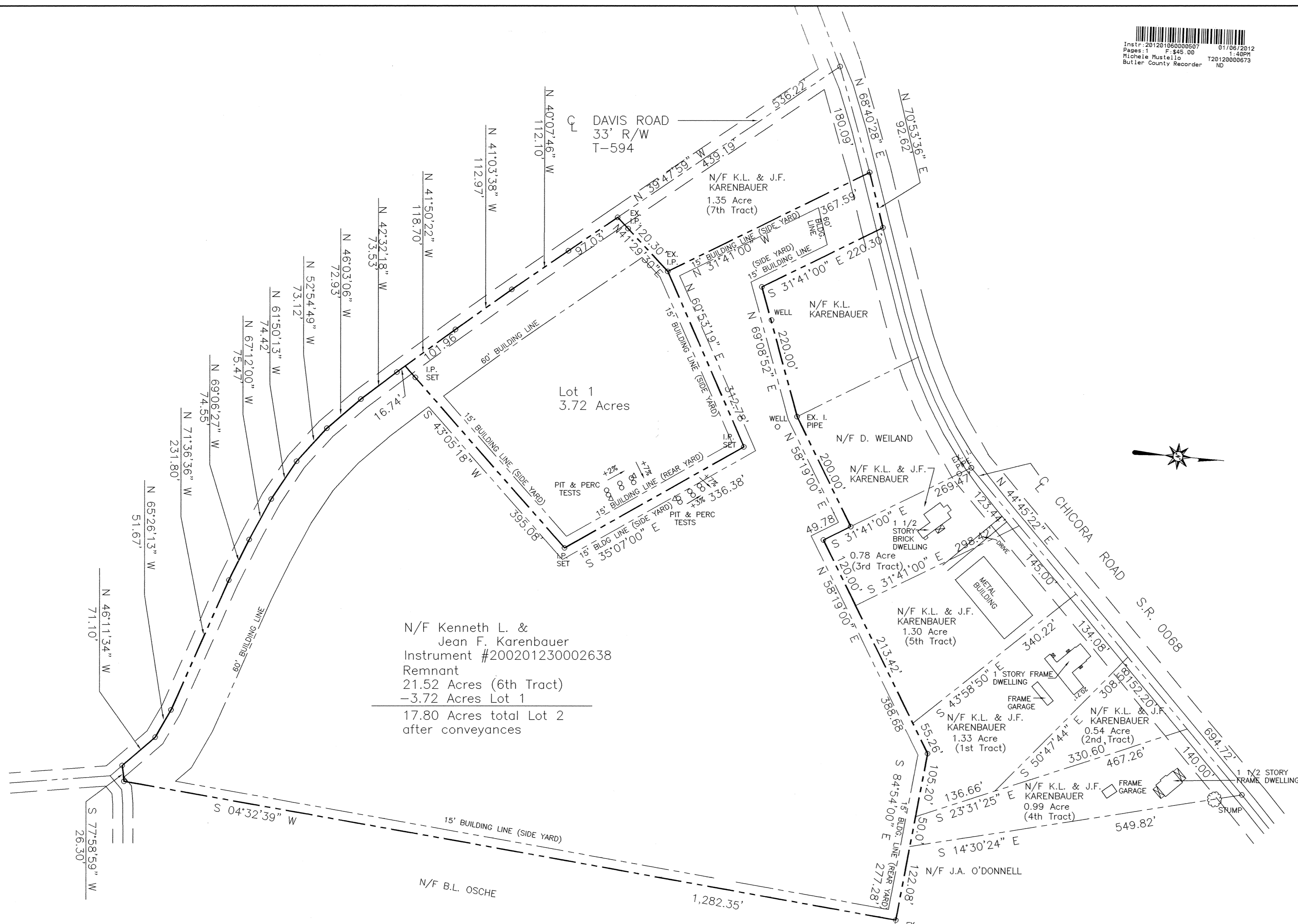
GIVEN UNDER MY HAND AND SEAL THIS 4th DAY OF January, 2012

(SEAL) Michele M. Mustello
RECORDER

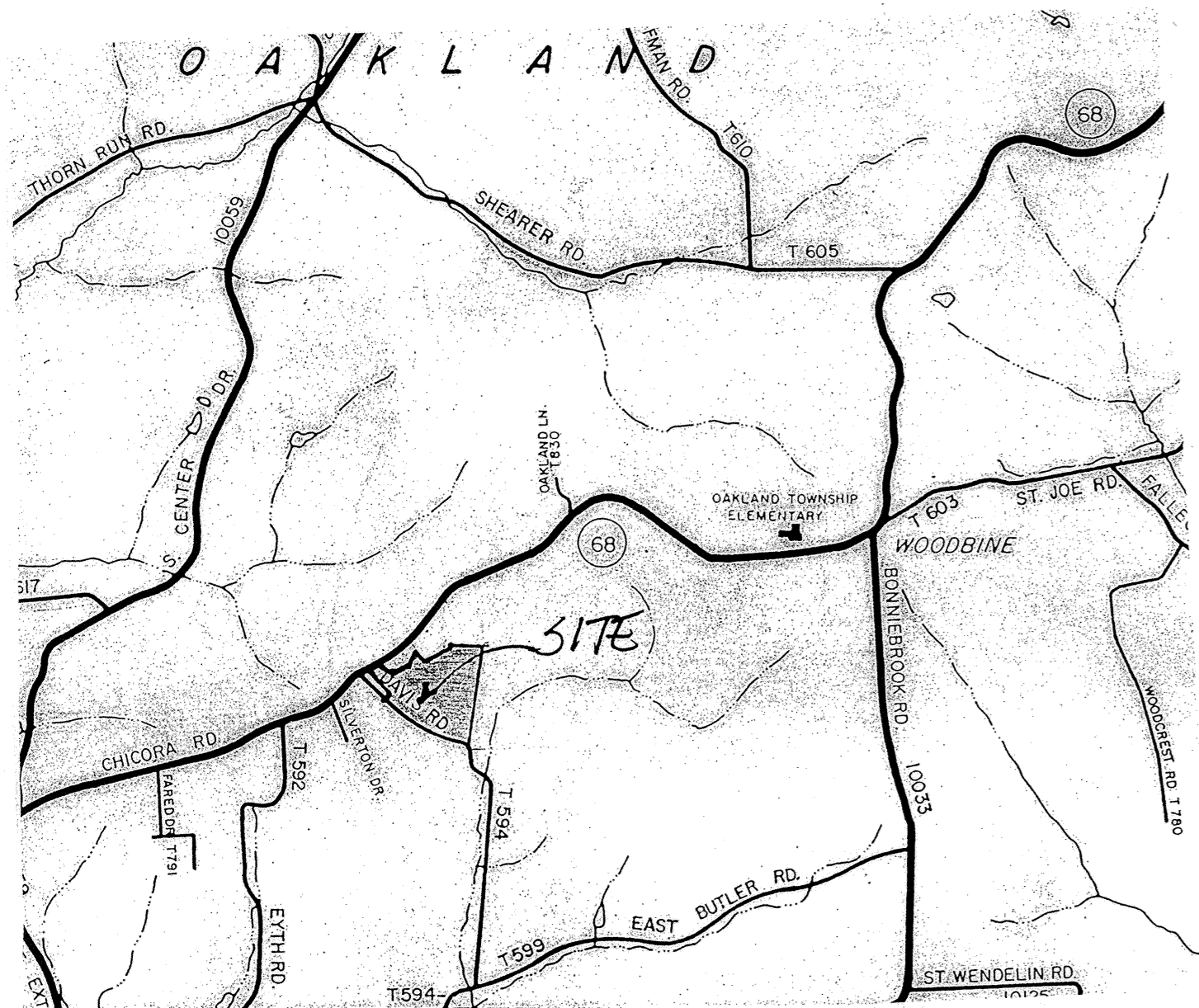
MICHELE M. MUSTELLO RECORDER OF DEEDS My Commission Expires First Monday in January 2016	
RECORDED: JAN. 4, 2012	PLAN BOOK PAGE NO.
327	41
SHEET: _____	OF _____

4-D MOBIL HOME VILLAGE PLAN (BEING A PLAN OF LOT LINE REVISIONS) SITUATE IN TOWNSHIP OF BUFFALO, BUTLER CO., PA. MADE FOR 4-D MOBIL HOME VILLAGE			
ALPHA ENGINEERING COMPANY INCORPORATED DESIGNERS-PLANNERS-ENGINEERS-SURVEYORS 2668 LEECHBURG ROAD LOWER BURRELL, PA. 339-2000			
SCALE: HORIZ: 1" = 50' VERT: 1" = N/A	DATE: DEC. 8/2011	DRAWING NUMBER: B-15079	
DRAWN BY: P. D. P.	CHECKED BY: A. J. M.	COMPUTER FILE: 4-D-MOBIL-HOME-VILLAGE.DWG	REFERENCES:
REVISIONS:		SHEET: 1 OF 1	
SURVEYOR: ANTHONY J. MALES, LAND SURVEYOR 2584			





N/F Kenneth L. &
Jean F. Karenbauer
Instrument #200201230002638
Remnant
21.52 Acres (6th Tract)
-3.72 Acres Lot 1
17.80 Acres total Lot 2
after conveyances



VICINITY MAP Scale: 1" = 100'

NOTES:
SUBJECT TO ANY AND ALL EXISTING RIGHTS-
OF-WAY AND EASEMENTS OF RECORD.
REF: CERTIFICATION SURVEY FOR KENNETH L.
KARENBAUER BY LAND SURVEYORS, INC., 01/14/02,
#01-259.
PROPERTY OWNERS: KENNETH L. & JEAN F. KARENBAUER
404 CHICORA ROAD
BUTLER, PA 16001
ACCORDING TO THE FLOOD INSURANCE RATE MAP
PREPARED FOR THIS TOWNSHIP, THIS PROPERTY
LIES IN ZONE C - AREAS DETERMINED TO BE
OUTSIDE THE 500 YEAR FLOOD.
PROPOSED WATER WELL TO SERVE THIS LOT IS TO
BE LOCATED OUTSIDE OF THE 100' ISOLATION
DISTANCE FROM THE SEPTIC SYSTEM TO BE BUILT.

KNOW ALL MEN BY THESE PRESENTS, that we, Kenneth L. and Jean F. Karenbauer, of the Township of Oakland, of the County of Butler, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this plan as our Plan of Lots of our property, situate in Oakland Township, Butler County, Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Township of Oakland, we hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Oakland, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedications and release shall be binding upon Kenneth L. and Jean F. Karenbauer, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 04 day of JANUARY, 2012.

ATTEST:
David C. Hall Notary Public
Kenneth L. Karenbauer OWNER
Jean F. Karenbauer OWNER

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER
Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Kenneth L. and Jean F. Karenbauer, and acknowledged the foregoing release and dedication and plan to be their act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day.
WITNESS MY HAND AND NOTARIAL SEAL this 04 day of January, 2012.

My Commission expires the 04 day of June, 2014.

SEAL *David C. Hall* COMMONWEALTH OF PENNSYLVANIA
Notary Seal
David C. Hall, Notary Public
Center Twp., Butler County
My Commission Expires June 4, 2014
Member, Pennsylvania Association of Notaries

I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan represents the lots, lands, streets and highways as surveyed and plotted by me, for the owners or agents.
DATE November 11, 2011 SEAL *Cheryl A. Hughes*
REG. NO. SU-62490-E

The Board of Supervisors of the Township of Oakland hereby gives public notice that in approving this plan for recording purposes only, the Township of Oakland assumes no obligation, legal or otherwise, expressed or implied, either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.
David C. Hall SECRETARY
Regin V. Thomas CHAIRMAN/PRESIDENT

Approved by the Supervisors of the Township of Oakland this 1th day of December, 2011.

David C. Hall SECRETARY
Regin V. Thomas CHAIRMAN/PRESIDENT

Approved by the Oakland Township Planning Commission this 13th day of DECEMBER, 2011.

LEA SECRETARY
John J. ... CHAIRMAN/PRESIDENT

Reviewed by the Butler County Planning Commission this 23rd day of Nov, 2011.

John J. ... SECRETARY
F. W. ... CHAIRMAN/PRESIDENT

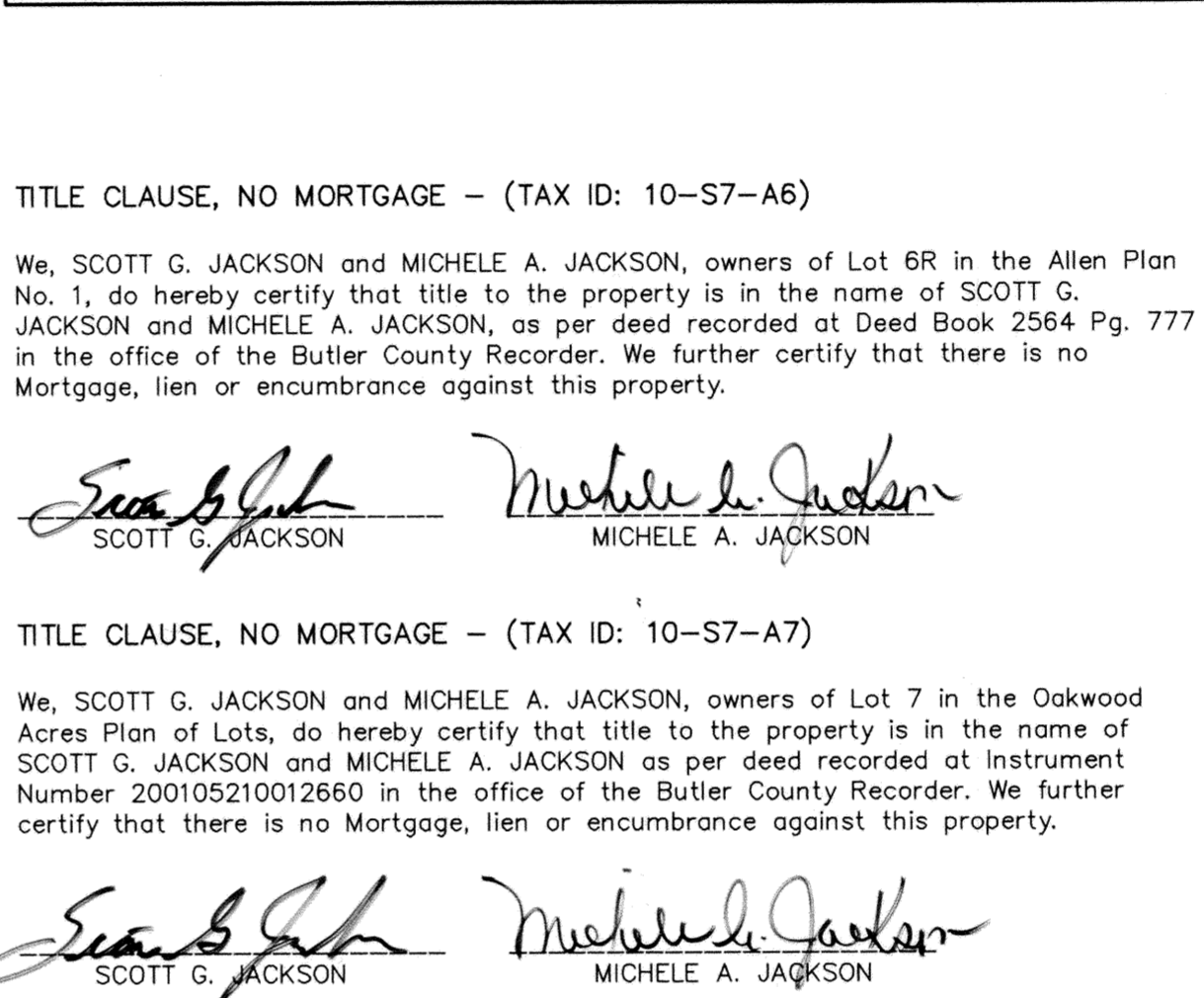
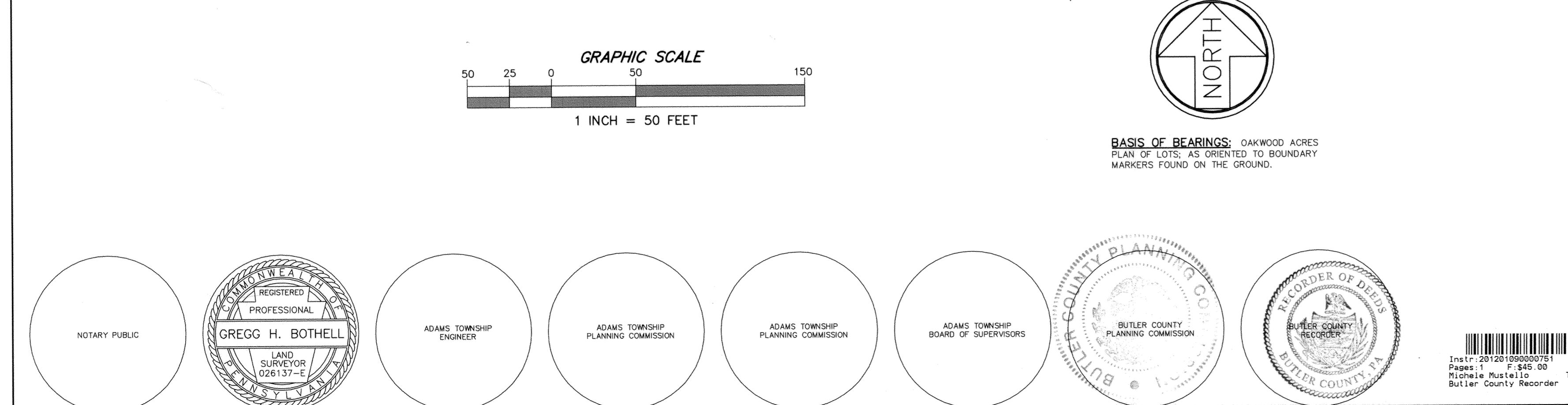
COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER




Recorded in the Recorder's Office for the recording of deeds, plans, etc. in said County in Plan Book Volume 327 page 43.
Given under my hand and seal this 6th day of January, 2012.

SEAL *Michele M. Mustello*
RECORDER
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2016

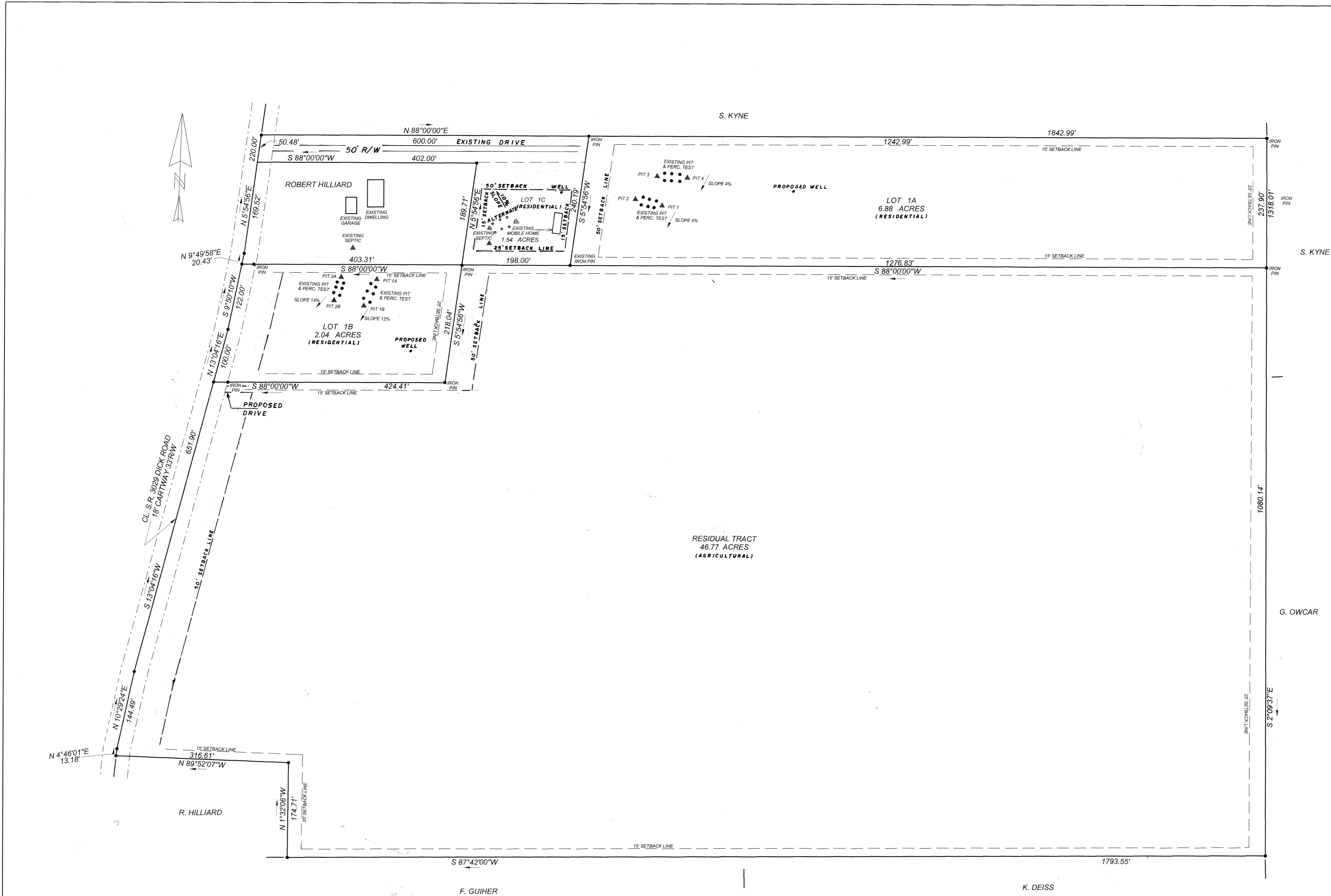
RECORDED JAN. 6, 2012	L	Land Surveyors, Inc.
PLAN BOOK	J	523 North Main Street
PAGE	F	P.O. Box 1061
327 43		Butler, PA 16003-1061
		(724) 287-6865
		Cheryl A. Hughes, PLS Owner

PLAN OF SUBDIVISION			
FOR: KENNETH L. & JEAN F. KARENBAUER			
SITUATE: OAKLAND TWP., BUTLER CO., PA			
Date 11/11/11	Scale 1" = 100'	Dwn By BEC	Ckd By CAH
Parcel No. 250-1F147-23MB	Instrument #	Service No.	
Address DAVIS ROAD	20020123002638	11-111	



JACKSON LOT MERGER PLAN		DATE	REVISIONS	BY
BEING A CONSOLIDATION OF LOTS 6R IN THE ALLEN PLAN No. 1 (P.B.V. 187 P. 6), WITH LOT 7 IN THE DAKOTA ACRES No. 1 (P.B.V. 104 P. 5 & 7)		10/22/11	ADDED NORTH R/W LINE FOR THREE DEGREE ROD PER TWP. ENG. SURVEY	GHE
FINAL PLAT FOR RECORDING		10/26/11	ADDED LOCATION OF SET BOUNDARY MARKERS (THIS SURVEY)	GHE
ADAMS TOWNSHIP				
Situs in				
PENNSYLVANIA				
BUTLER COUNTY				
MADE FOR:		Prepared by:		
SCOTT G. & MICHELE A. JACKSON		106 Morrison Way, Vandergrift, PA 15687		
SCALE: $\frac{1}{4}$ inch = 50'		G. 		
DRAWN BY: G.H.R.		G. 		
CHECKED BY: G.H.R.		G. 		
PROJECT No. 11101		BETHELL		
DATE: OCT 4 2011		Professional Stamp:		
		Phone: (724)568-1616		

ZONING DATA:
ZONING DISTRICT RC (RURAL CONSERVATION)
MIN. LOT AREA: 43,560 SQ. FT. (1 ACRE)
MIN. WIDTH: 150 FEET AT FRONT SETBACK LINE
FRONT YARD SETBACK: 50 FEET
SIDE YARD SETBACK: 20 FEET
REAR YARD SETBACK: 25 FEET



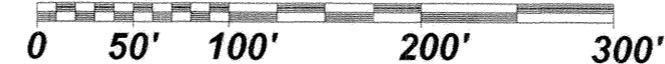
Instr: 201106150014073
Pages: 1
F: \$45.00
Michele Mustello
Butler County Recorder
01/10/2012
11:08AM
T20120000975
FL

SORCE OF TITLE
INSTR. NO. 201106150014073

The Purchasers Of Lots 1A And 1C Are To Be Responsible For The Maintenance
And Repair Of The Cartway Within The 50' R/W

Land Use:
Lot 1A - Residential
Lot 1B - Residential
Lot 1C - Residential
Lot 1 (Residual Tract) - Agricultural

- NOTES:**
1). SUBJECT TO ANY AND ALL RIGHTS OF WAYS
AND EASEMENTS OF RECORD.
2). A HIGHWAY OCCUPANCY PERMIT MAY BE
REQUIRED PURSUANT TO SECTION 420 OF
THE HIGHWAY LAW (PL 1242,NO. 428).



OWNER / SUBDIVIDER
ROBERT K. HILLIARD
547 DICK ROAD
BUTLER PA., 16001

TOTAL AREA = 57.23 ACRES

JOHN E. DUSHECK
SURVEYOR
140 LARAY DRIVE
BUTLER PA. 16001
(724) 287-7825

Date: 10/11/2011
Scale: 1" = 100'
Drawn by: SAB
REVISED: 12/13/11

PROPERTY SUBDIVISION
FOR: ROBERT K. HILLIARD
SITUATE: CONNOQUESSING TWP, BUTLER CO., PA.

KNOW ALL MEN BY THESE PRESENTS, that Robert K. Hilliard of the Township of Connoquessing of the County of Butler, Commonwealth of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this plan as our Plan of Lots of our property, situate in the Township of Connoquessing, Butler County, Pennsylvania, and for diverse advantages accruing to us, do hereby dedicate forever, for highway purposes, all streets and ways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings (and do hereby dedicate forever, for public use, the designated land areas on the plan for recreation and other purposes as specified on the plan) and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and the Township of Connoquessing we hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and the Township of Connoquessing of their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Robert K. Hilliard my heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHERE, I hereunto set our hand (s) and seal (s) this 18th day of October 2011.

ATTEST:

Cheryl A. Vincent
NOTARY PUBLIC

Robert K. Hilliard
OWNER

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER)

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Robert K. Hilliard and acknowledged the foregoing release and dedication and plan to be his act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this 18th day of October, 2011.

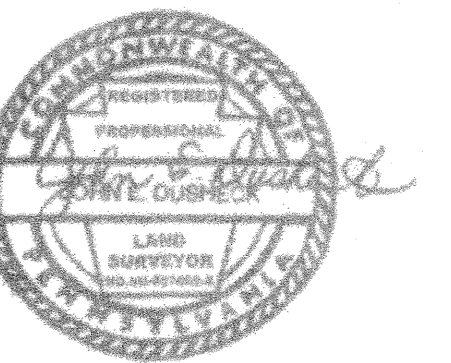
My Commission expires the 28th day of December, 2013

SEAL
COMMONWEALTH OF PENNSYLVANIA
Notary Seal
Cheryl A. Vincent, Notary Public
Center Two, Butler County
My Commission Expires Dec. 22, 2013
Member, Pennsylvania Association of Notaries

Cheryl A. Vincent
NOTARY PUBLIC

I, John E. Dusheck a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plat, and that this plan represents the lots, land, streets and highways as surveyed and plotted by me for the owners or agents.

10/18/2011 DATE
SEALS
REGISTRATION NO. SU - 073089E



Approved by the Connoquessing Twp., Planning Commission this 21 day of December, 2011.

Sherry K. Haise
SECRETARY

Sandra J. Cox
CHAIRMAN

Approved by the Connoquessing Twp. Supervisors, this 28 day of Nov., 2011.

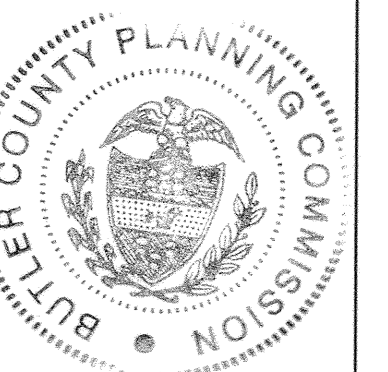
Brenda J. Jann
SECRETARY

Emelyne Rockswold
CHAIRMAN

Reviewed by the Butler County Planning Commission this 14th day of Dec, 2011.

John E. Dusheck
SECRETARY

F. W. Wagon
CHAIRMAN



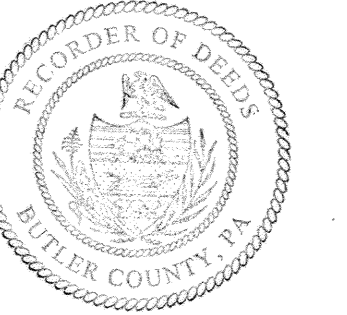
COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER)

Recorded in the Records Office for the Recording of deeds, plans, etc., in said County in Plan Book Volume 327 Page 45

Given under my hand and seal this 10th day of January, 2012

SEAL
MICHELE M. MUSTELLO
RECORDER OF DEEDS

Michele M. Mustello
RECORDER



My Commission Expires First Monday in January 2016

NOTICE TO SUBDIVIDERS:
UPON THE APPROVAL OF A FINAL PLAT, THE DEVELOPER SHALL WITHIN 90 DAYS OF SUCH FINAL APPROVAL, OR 90 DAYS AFTER THE DATE OF DELIVERY OF AN APPROVED PLAT SIGNED BY THE GOVERNING BODY, FOLLOWING COMPLETION OF CONDITIONS IMPOSED FOR SUCH APPROVAL, WHICHEVER IS LATER, RECORD SUCH PLAT IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY IN WHICH THE MUNICIPALITY IS LOCATED. WHENEVER SUCH PLAT APPROVAL IS REQUIRED BY A MUNICIPALITY, THE RECORDER OF DEEDS OF THE COUNTY SHALL NOT ACCEPT ANY PLAT FOR RECORDING, UNLESS SUCH PLAT OFFICIALLY NOTES THE APPROVAL OF THE GOVERNING BODY AND REVIEW BY THE COUNTY PLANNING AGENCY, IF ONE EXISTS.

RECORDED JAN. 10, 2012
PLAN BOOK PAGE
327 45

PARTNERSHIP ADOPTION

KNOW ALL MEN BY THESE PRESENTS, that ECHO
CRANBERRY ASSOCIATES, L.P., hereof, does
hereby adopt this plan as its Land Development of its property situate in the
Township of Cranberry, Butler County, Pennsylvania.

IN WITNESS WHEREOF, the said corporation has caused its corporate
seal to be affixed by the hand of its president and same
to be attested by its secretary this 22nd day of December, 2011.

ATTEST:
[Signature]
Secretary (SEAL) Name and Title of Officer

PARTNERSHIP ACKNOWLEDGMENT
COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUTLER

Before me, the undersigned, a Notary Public in and for said Commonwealth
and County personally appeared Thomas A. Korte
ECHO CRANBERRY ASSOCIATES, L.P. who being duly sworn, deposed and said that (he,
she) was personally present at the execution of the adoption, release and
dedication and saw the common and corporate seal of said corporation duly
affixed and that the above release and dedication was duly signed and sealed by
and as for the act and deed of the said Thomas A. Korte for the
uses and purposes therein mentioned and that the name of this deponent
subscribed to the said release and dedication as THOMAS A. KORTE
(Title of officer) of said corporation, in attestation of the due execution and
delivery of said release and dedication is this deponent's own and proper
respective handwriting.

Sworn and subscribed before me this day 22nd day of Dec, 2011.
WITNESS MY HAND AND NOTARIAL SEAL THIS

COMMONWEALTH OF PENNSYLVANIA
Notary Seal
Notary Public
My Commission Expires Feb. 17, 2014
Member, Pennsylvania Association of Notaries

(SEAL)

TITLE CLAUSE

Thomas Korte, owners of the plan, do hereby certify that
the title of this property is in the name of ECHO CRANBERRY ASSOCIATES, L.P.
as recorded in Deed Book Volume 327, Recorder of Deeds
Office, 1st-201012170027162

Witness [Signature] Owner [Signature]

MUNICIPAL APPROVAL
PLANNING COMMISSION

Approved by the Planning Commission of the Township of Cranberry,
this _____ day of _____, 2011.

Witness _____ Chairman _____

BOARD OF SUPERVISORS

The Board of Supervisors of the Township of Cranberry hereby gives
public notice that in approving this plan for recording purposes only, the
Township of Cranberry assumes no obligations, legal or otherwise, expressed
or implied, either to accept said streets on Township streets, or roads or
grades, pave and curb the street in said plan, or to construct sewers
therein or to install any other such service ordinarily installed in Township
streets or roads.

Approved by Resolution Number 2011-42 by the Board of Supervisors
of the Township of Cranberry, this 22nd day of December, 2011.

[Signature] Township Manager [Signature] President of Board

(SEAL)

COUNTY PLANNING COMMISSION REVIEW

Reviewed by the Butler County Planning Commission this 20th day of July
[Signature] Director CHAIR

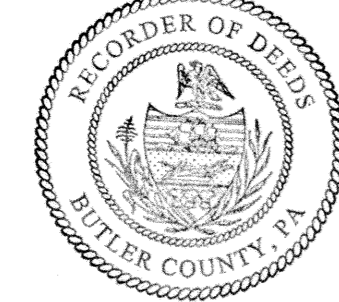


(SEAL)

PROOF OF RECORDING
COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUTLER

Recorded in the Recorder's Office for the recording of deeds, plans, etc., in said County in
Plan Book Volume 327, Page 46-47

Given under my hand and seal this 12th day of January, 2012.



[Signature]
Recorder

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2016

(SEAL)

SURVEYOR'S CERTIFICATION

James R. Bruggeman, a Professional Land Surveyor of the
Commonwealth of Pennsylvania, do hereby certify, to the best of my knowledge,
information and belief, that this plan correctly represents lots, lands, streets
and highways as surveyed and plotted by me for the owners or agents.

(Signature of Surveyor)

Date 12/22/11

SV-051772-E
Registration Number



(SEAL)

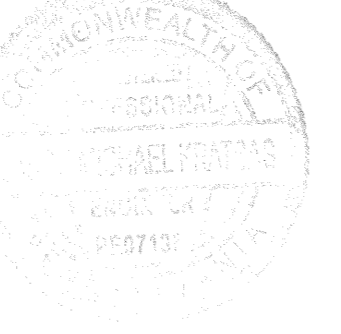
MUNICIPAL ENGINEER'S CERTIFICATION

Jason Kates, a Registered Professional Engineer, the
Township Engineer of the Township of Cranberry, do hereby certify that this
Land Development Plan meets all the engineering and design requirements
of the Township Subdivision and Zoning Ordinance except as departures have
been authorized by the approval authority.

(Signature)

Date 1/4/12

PE071353
Registration Number



(SEAL)

TOWNSHIP OF CRANBERRY

The undersigned owner, intending to legally bind itself and its
successors and assigns, hereby grants and dedicates to the Township of
Cranberry, Butler County, Pennsylvania, and to its successors and assigns
forever the right to install, construct, operate, repair, maintain, relocate and
replace all necessary facilities for potable water transmission and distribution
and sanitary sewer collection and conveyance over, through, within and
across the easements shown on the within plan and easements for utilities,
all with the same force and effect as though said easements had been
duly acquired for such purposes by condemnation and the undersigned
owner hereby waives any and all claims for damages for the lawful use of
such easements for the aforesaid purposes.

ATTEST:

IN WITNESS WHEREOF, I hereunto set my hand and seal this _____ day of _____, 2011.

Notary Public _____ Owner _____

Easements approved by the Township of Cranberry, Butler County, Pennsylvania,
this _____ day of _____, 2011.

Engineer
Registration Number

TOWNSHIP OF CRANBERRY

As per the approved stormwater management plan, the Township shall
have right of access to the onsite detention facility for the right of
maintenance, monitoring, and/or sampling, in the event the owner, assigns
or heirs do not adequately maintain or monitor the facility. The owner,
assigns or heirs shall reimburse the Township for all costs associated with
said maintenance. The aforementioned rights granted the Township in no way
diminish the responsibility of the owner, assigns or heirs of said maintenance
and monitoring, and no liability will be assumed by the Township associated
with required access for maintenance or monitoring purposes.

ATTEST:

IN WITNESS WHEREOF, I hereunto set my hand and seal
this _____ day of _____, 2011.

Notary Public _____ Owner _____

Easements approved by the Township of Cranberry, Butler County, Pennsylvania,
this _____ day of _____, 2011.

Staff Engineer
Registration Number

PLAN DATA

OWNER..... ECHO CRANBERRY ASSOCIATES, L.P. ENGINEER..... ECHO REAL ESTATE SERVICES
701 ALPHA DRIVE
PITTSBURGH, PA 15238
DEVELOPER..... ECHO CRANBERRY ASSOCIATES, L.P. ARCHITECT..... HERSCHEMAN ARCHITECTS, INC.
701 ALPHA DRIVE
PITTSBURGH, PA 15238
2501 EMERY ROAD
CLEVELAND, OHIO 44128
REFERENCES..... 130-4F44-17D, 130-4F44-17A, STROLLO ARCHITECTS, INC.
(TAX MAP) 130-4F44-18A, 130-4F44-18B, 20 WEST FEDERAL STREET
SUITE 600
YOUNGSTOWN, OH 44503
TOTAL AREA..... 24.240 ACRES
ZONING..... C-3, REGIONAL COMMERCIAL
USE..... COMMUNITY SHOPPING CENTER CONDITIONAL USE
LARGE LAND DEVELOPMENT CONDITIONAL USE
LARGE RETAIL CONDITIONAL USE
AUTOMOTIVE FUELING STATION CONDITIONAL USE
AUTOMOBILE WASH CONDITIONAL USE
BUSINESS OFFICE USE BY RIGHT
UTILITIES..... ELECTRIC, TELEPHONE, NATURAL GAS, PUBLIC WATER
& PUBLIC SANITARY SEWERS

MODIFICATIONS AND WAIVERS:

- Modification to Section 27-324 and 27-507 which requires Streetscape Enhancement amenities along Route 228. Proposing - Relocating the required amenities from the Route 228 frontage to the interior of the site. Streetscape enhancements will be provided at each corner of the intersection of Official Map Road and on both sides of the internal driveway. The total length of the streetscape of these four corners combined will meet or exceed the length that would have been required along Route 228. Justification - The topography of the frontage along Route 228 does not allow for easy pedestrian access or placement of amenities due to slopes of 15 to 20 feet from the bottom of the slope would not be practical as they would not be visible from Route 228 and therefore would not be screening or softening the development. In addition, natural barriers in the form of existing water courses also limit the placement of these amenities. Relocating these amenities to the interior of the site would enhance the street presence along Official Map Road by providing a cohesive and unified streetscape, promoting pedestrian circulation, and enhance the screening of off-street parking lots which would meet the intent of the ordinance. Status: Granted
- Waiver for Chapter 17, section RD-29 which requires decorative signal pole mast arms at the intersection of Official Map Road and Route 228. The size of the intersection precludes the use of mast arms as a practical signal system solution. Alternative signal system designs will be presented at a later date to be considered by the Board of Supervisors. Any alternative design will include decorative components as associated with Section RD-29. Status: Granted
- Waiver for Section 17, RD-02 which requires an 8 foot grass strip between the edge of the curb of a Commercial Collector Street and the sidewalk. Proposing - Eliminating the 8 foot grass strip from the intersection of Mars Road and Official Map Road eastward for 200 feet along Mars Road. Justification - A bike lane and sidewalk are being provided in the affected area as required, however, topographic constraints make it physically impossible to include the 8 foot grass strip. Status: Granted
- Waiver for Section 22-503.C(2)(a)(1) and Section 22-503.C(2)(b)(1) which requires sidewalks along both sides of any new street and sidewalks along any side of an existing street abutting or within the site property. Proposing - Eliminating the required sidewalks along both sides of Official Map road from its intersection with the internal driveway south to Route 228, a distance of approximately 300 feet, as well as eliminating the sidewalk required along Route 228. Sidewalks would, in turn, be provided in the interior of the site along the primary driveway that intersects Official Map Road. Justification - Route 228 is currently not a pedestrian corridor. A large volume of traffic of approximately 15,000 ADT travels the roadway each day. The proposed alternative would be safer for pedestrians, provide bikeway access, and satisfy the intent to provide convenient and safe pedestrian circulation throughout the site. Status: Granted

RECORDING PLAN NOTE:

1. THIS RECORDING PLAN APPLIES ONLY TO LOTS 1,2,3, AND 6. LOTS 4 AND 5 ARE SHOWN FOR ILLUSTRATION PURPOSES ONLY.

PARKING AREA LANDSCAPING TABULATION

10% MINIMUM REQUIRED - ALL PARCELS

OFFICE	SMALL SHOPS (13,440 SF)
PARKING FIELD AREA.....149,385 SF	PARKING FIELD AREA.....24,465 SF
LANDSCAPED AREA.....26,950	LANDSCAPED AREA.....2,640 SF
PERCENT LANDSCAPED.....18.0%	PERCENT LANDSCAPED.....10.8%
DICK'S SPORTING GOODS	SMALL SHOPS (5,500 SF)
PARKING FIELD AREA.....134,560 SF	PARKING FIELD AREA.....10,580 SF
LANDSCAPED AREA.....16,291	LANDSCAPED AREA.....1,065 SF
PERCENT LANDSCAPED.....12.1%	PERCENT LANDSCAPED.....10.1%

PARKING TABULATION (TOTAL)

TOTAL RETAIL GROSS SF.....110,810 SF	REQUIRED PARKING (4.5 PER 1,000 SF).....490
TOTAL RETAIL PARKING.....548	LARGE RETAIL BETWEEN 50,000 SF AND 300,000 SF
TOTAL RETAIL PARKING RATIO.....4.95	
TOTAL OFFICE GROSS SF.....90,000 SF	REQUIRED PARKING (1 PER 350 SF).....258
TOTAL OFFICE PARKING.....356	REQUIRED ACCESSIBLE STALLS.....8 (2 VAN)
TOTAL OFFICE PARKING RATIO.....3.96	
PROPOSED ACCESSIBLE STALLS.....8 (2 VAN)	

RETAIL PARKING TABULATION (INDIVIDUAL)

PARCEL #1	DICK'S SPORTING GOODS GROSS SF.....80,000 SF	REQUIRED PARKING (1 PER 200 SF).....400
	PROPOSED PARKING.....292	
	PROPOSED PARKING RATIO.....3.53	
	PROPOSED ACCESSIBLE STALLS.....8 (2 VAN)	REQUIRED ACCESSIBLE STALLS.....8 (2 VAN)

PARCEL #4	GETGO GROSS SF.....5,569 SF	REQUIRED PARKING (6+1 PER EMPLOYEE).....12
	PROPOSED PARKING.....60	
	PROPOSED PARKING RATIO.....10.8	REQUIRED STACKING (6 PER BAY).....6
	PROPOSED CARWASH STACKING.....12	REQUIRED ACCESSIBLE STALLS.....3 (1 VAN)
	PROPOSED ACCESSIBLE STALLS.....3 (1 VAN)	

PARCEL #5	RESTAURANT GROSS SF.....6,300 SF	REQUIRED PARKING (1 PER 65 SF).....108
	PROPOSED PARKING.....99	
	PROPOSED PARKING RATIO.....15.7	REQUIRED ACCESSIBLE STALLS.....4 (1 VAN)
	PROPOSED ACCESSIBLE STALLS.....5 (2 VAN)	

PARCEL #6	SMALL SHOP GROSS SF.....13,440 SF	REQUIRED PARKING (1 PER 200 SF).....60
	PROPOSED PARKING.....83	
	PROPOSED PARKING RATIO.....6.2	REQUIRED ACCESSIBLE STALLS.....4 (1 VAN)
	PROPOSED ACCESSIBLE STALLS.....4 (1 VAN)	

SMALL SHOP GROSS SF.....5,500 SF	REQUIRED PARKING (1 PER 200 SF).....21
PROPOSED PARKING.....24	
PROPOSED PARKING RATIO.....4.4	REQUIRED ACCESSIBLE STALLS.....1 (1 VAN)
PROPOSED ACCESSIBLE STALLS.....2 (1 VAN)	

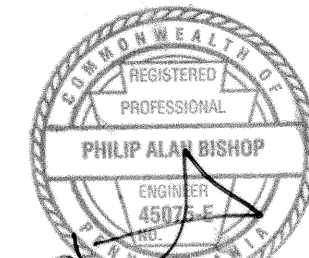
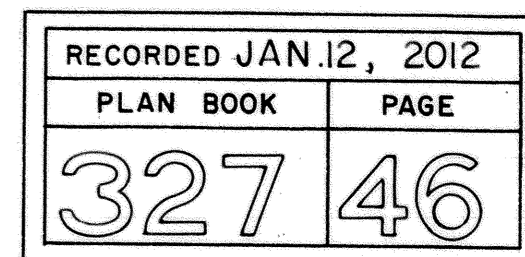
GREEN SPACE TOTAL:

TOTAL DEVELOPMENT PROPERTY AREA.....22.16 ACRES
(NOT INCLUDING RIGHT OF WAY OF CONNECTOR ROAD OR WIDENING OF SR 228)
TOTAL DEVELOPMENT GREEN SPACE.....9.33 ACRES
(NOT INCLUDING RIGHT OF WAY OF CONNECTOR ROAD OR WIDENING OF SR 228)
TOTAL DEVELOPMENT GREEN SPACE %.....42.1%

ZONING INFORMATION- CRANBERRY TOWNSHIP

ZONED C-3

	REQUIREMENT	PROVIDED			
		5,500 RETAIL	13,400 RETAIL	DICK'S	OFFICE
MINIMUM FRONT YARD STREET	50 FT.			73.9 FT.	
STATE ROUTE 228	50 FT.	171.6 FT.	178.3 FT.	(MARS RD.)	
STATE ROUTE 228	75 FT. (FUEL STATION)	(SR 228)	(SR 228)		
STREET ABUTTING RESIDENTIAL DISTRICT	100 FT.				413.5 FT.
MINIMUM SIDE YARD					(MARS RD.)
MINIMUM REAR YARD	30 FT.	39.2 FT.	39.2 FT.	62.8 FT.	82.9 FT.
		(NORTH)	(NORTH)	(EAST)	(EAST)
MAXIMUM BUILDING HEIGHT	50 FT.	25 FT.	26 FT.	50 FT.	50 FT.



12/21/11

ECHO CRANBERRY ASSOCIATES LP

701 ALPHA DRIVE
PITTSBURGH, PENNSYLVANIA 15238
TELEPHONE: (412) 968-1660
FACSIMILE: (412) 967-6141
www.echodevelopers.com

Developing Destinations of Excellence

RECORDING PLAN

CRANBERRY CROSSROADS
RETAIL AND OFFICE DEVELOPMENT
CRANBERRY TOWNSHIP
BUTLER COUNTY, PENNSYLVANIA

DRAWN BY JCT
CHECKED BY PAB

RC-01

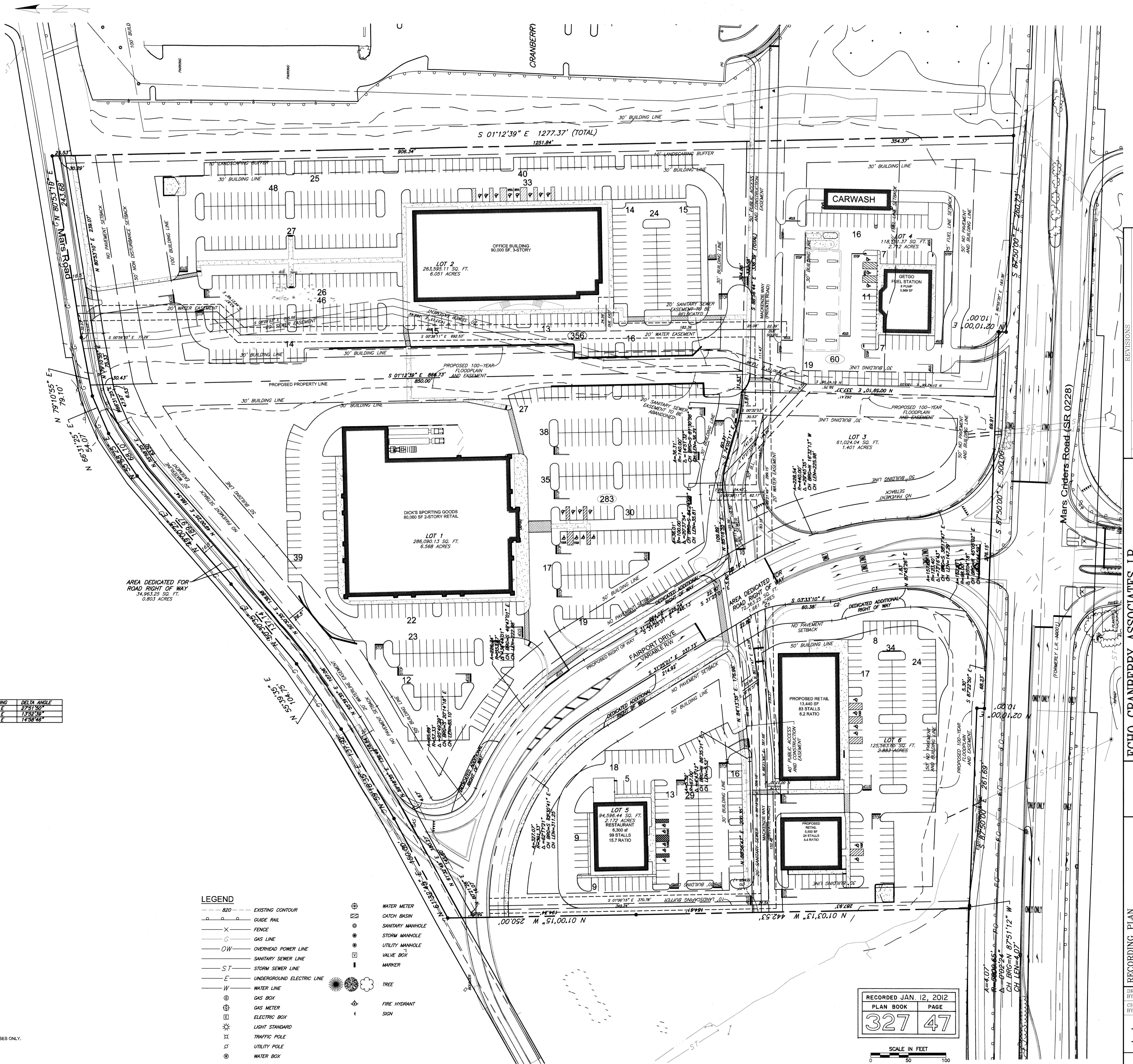
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	100.00'	48.63'	48.12'	S 17°29'06" E	17°21'50"
C2	52.67'	12.76'	12.73'	S 10°22'30" E	13°52'19"
C3	348.33'	81.33'	81.07'	S 08°58'26" E	14°58'48"

RECORDING PLAN NOTE:
1. THIS RECORDING PLAN APPLIES ONLY TO LOTS 1, 2, 3, AND 6. LOTS 4 AND 5 ARE SHOWN FOR ILLUSTRATION PURPOSES ONLY.

LEGEND

- 820 - EXISTING CONTOUR
- - GUIDE RAIL
- X - FENCE
- G - GAS LINE
- OW - OVERHEAD POWER LINE
- - SANITARY SEWER LINE
- ST - STORM SEWER LINE
- E - UNDERGROUND ELECTRIC LINE
- W - WATER LINE
- ⊙ - GAS BOX
- ⊙ - GAS METER
- ⊙ - ELECTRIC BOX
- ⊙ - LIGHT STANDARD
- ⊙ - TRAFFIC POLE
- ⊙ - UTILITY POLE
- ⊙ - WATER BOX

- ⊙ - WATER METER
- ⊙ - CATCH BASIN
- ⊙ - SANITARY MANHOLE
- ⊙ - STORM MANHOLE
- ⊙ - UTILITY MANHOLE
- ⊙ - VALVE BOX
- ⊙ - MARKER
- ⊙ - TREE
- ⊙ - FIRE HYDRANT
- ⊙ - SIGN



RECORDED JAN. 12, 2012
PLAN BOOK PAGE
327 47

SCALE IN FEET
0 50 100

ECHO CRANBERRY ASSOCIATES LP

701 ALPHA DRIVE
PITTSBURGH, PENNSYLVANIA 15238
TELEPHONE: (412) 968-1660
FACSIMILE: (412) 967-6141
www.echodevelopers.com

RECORDING PLAN
CRANBERRY CROSSROADS
RETAIL AND OFFICE DEVELOPMENT
CRANBERRY TOWNSHIP
BUTLER COUNTY, PENNSYLVANIA

DRAWN BY JCT
CHECKED BY PAB

RC-02

COUNTY OF BUTLER

State of PA

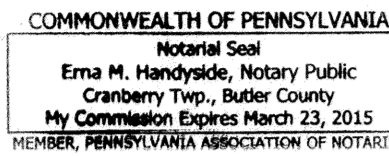
Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named (Name of Owner) Ven's Development LLC, Susquehanna and acknowledged the foregoing release and dedication and plan to be (his, her, their) act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day.

WITNESS MY HAND AND NOTARIAL SEAL, this 4th day of June, 2012.

My Commission Expires the 23 day of 3, 2012.

SEAL



Notary Public

06 BOROUGH COUNCIL FINAL APPROVAL CERTIFICATE

The Borough Council of the Borough of Zelienople hereby gives public notice that in approving this plan for recording purposes only, the Borough of Zelienople assumes no obligations, legal or otherwise, expressed or implied either to accept said streets as Borough streets or roads or grade, pave and curb the streets in said plan, or to construct sewers or waterlines therein or to install any other such service ordinarily installed in Borough streets or roads.

Secretary Donald H. Hays SEAL Charles J. Vandenbrook
Council President

November 14, 2011

Date

7 BUTLER COUNTY PLANNING COMMISSION CERTIFICATE

Reviewed by the Butler County Planning Commission this 19th day of OCT., 2011.

John J. Hays CHA.
Director

8 PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA

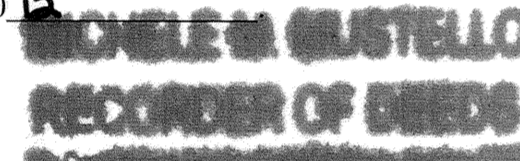
SS:

COUNTY OF BUTLER

Recorded in the Records Office for the recording of deeds, plans, etc., in said County in Plan Book Volume 327 page 48.

Given under my hand and seal this 13th day of January, 2012.

Nichole M. Mustello
Recorder



BOROUGH PLANNING COMMISSION RECOMMENDATION FOR APPROVAL

Reviewed by the Borough of Zelienople Planning Commission this 27th day of October, 2011.

John J. Hays CHA.
Chairman

1 INDIVIDUAL ADOPTION, DEDICATION, AND RELEASE

KNOW ALL MEN BY THESE PRESENTS, That (I, We) Ven's Development LLC, Susquehanna of the (City, Borough or Township) of Zelienople, of the County of Butler Commonwealth of Pennsylvania, for myself, ourselves, (my, our) heirs, executors, administrators and assigns, do hereby adopt this plan as (my, our) Plan of Lots of (my, our) property, situate in the Borough of Zelienople, Butler County, Pennsylvania, and for divers advantages accruing to (me, us), do hereby irrevocably dedicate all streets and other property identified for dedication on the plan to the public. Upon any future acceptance of said public streets or property by the Commonwealth of Pennsylvania, County of Butler and the Borough of Zelienople, (I, we) hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and the Borough of Zelienople, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon (Name of Owner) Ven's Development LLC, Susquehanna (my, our) heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, (I, we) hereunto set (my, our) hand and seal this 4th day of January, 2012.

ATTEST:

Emma M. Handyside
Notary Public

John J. Hays CHA.
Chairman

PROFESSIONAL ENGINEER/LAND SURVEYOR CERTIFICATE

I, JAMES M. SHUTY, a Registered Professional Engineer (or Registered Surveyor) of the Commonwealth of Pennsylvania, do hereby certify that this plan shown hereon is based upon actual field survey of the land described and that all angles, distances, and courses are correctly shown, that the monuments and markers are shown on the plan have been set, and to the best of my knowledge, that this plan correctly represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.

James M. Shuty SEAL
Date 12-22-11

James M. Shuty LAND SURVEYOR
Registration Number 35568-E

PROPERTY OWNERS CONSENT

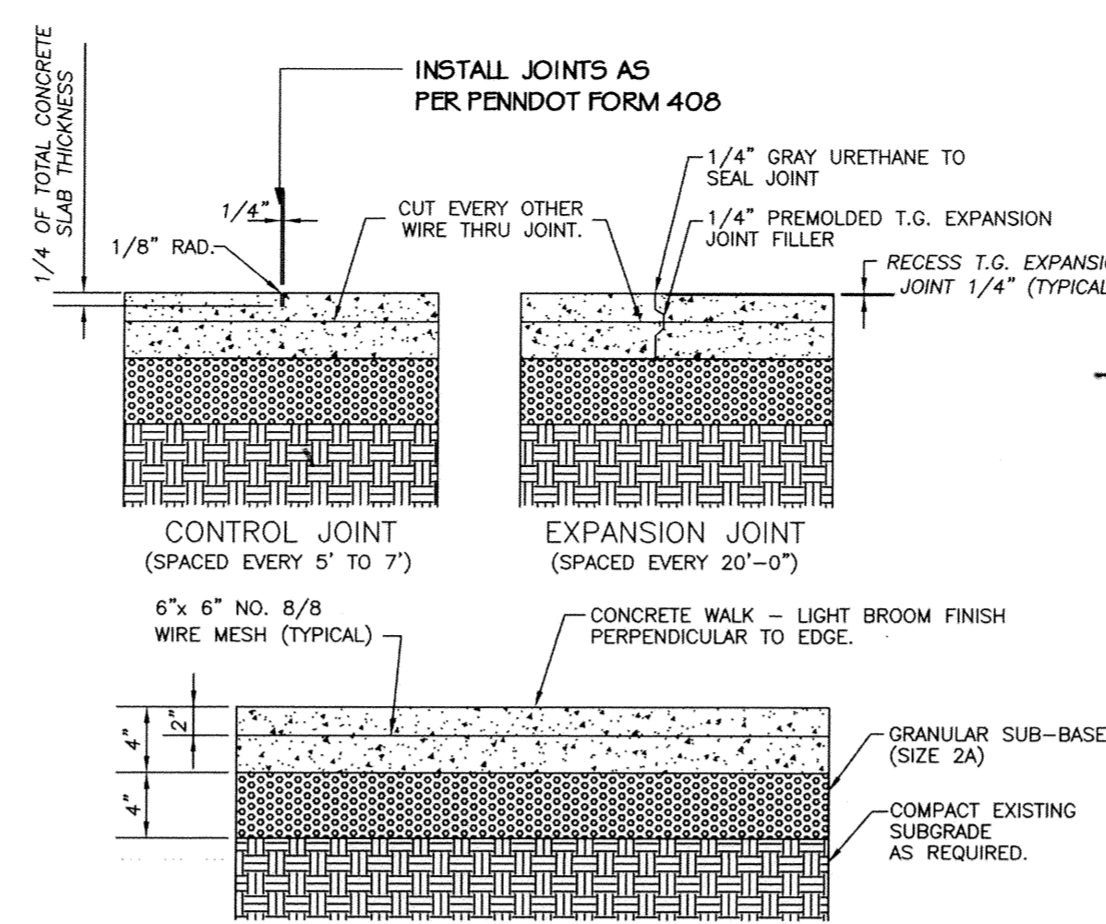
I, (or We), the following owners of land within or adjacent to this plan of lots, do hereby agree to the recording of this plan insofar as its affects our properties. I, (or We) further agree to the dedications, acknowledgments and covenants appearing hereon.

James J. Dehner
Witness

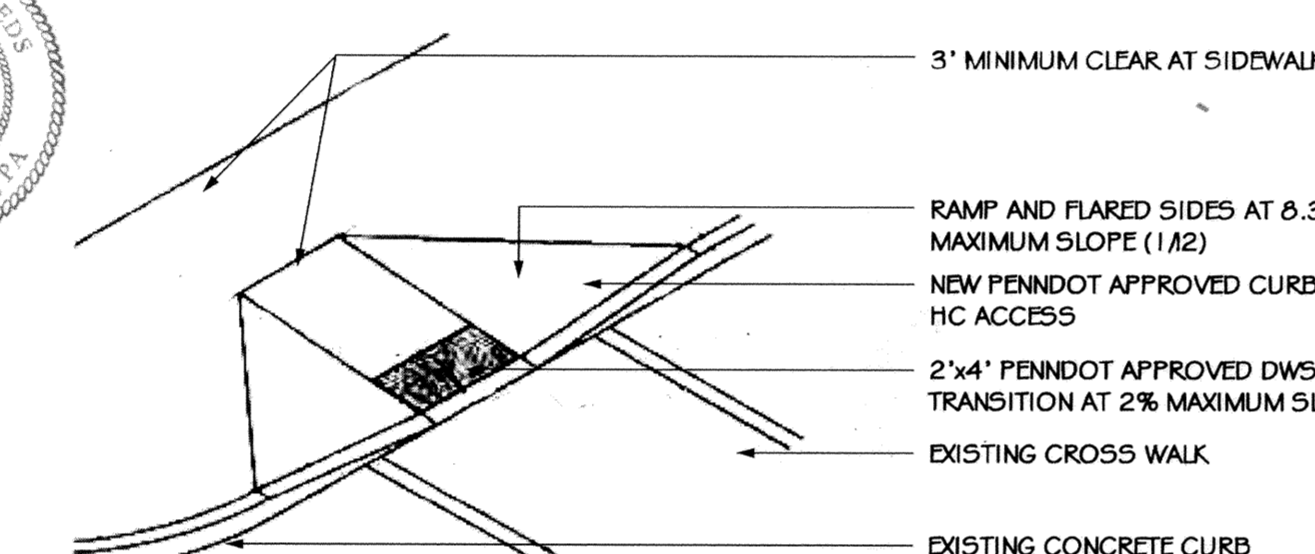
John J. Hays CHA.
Chairman

13 STORMWATER MANAGEMENT PLAN NOTICE

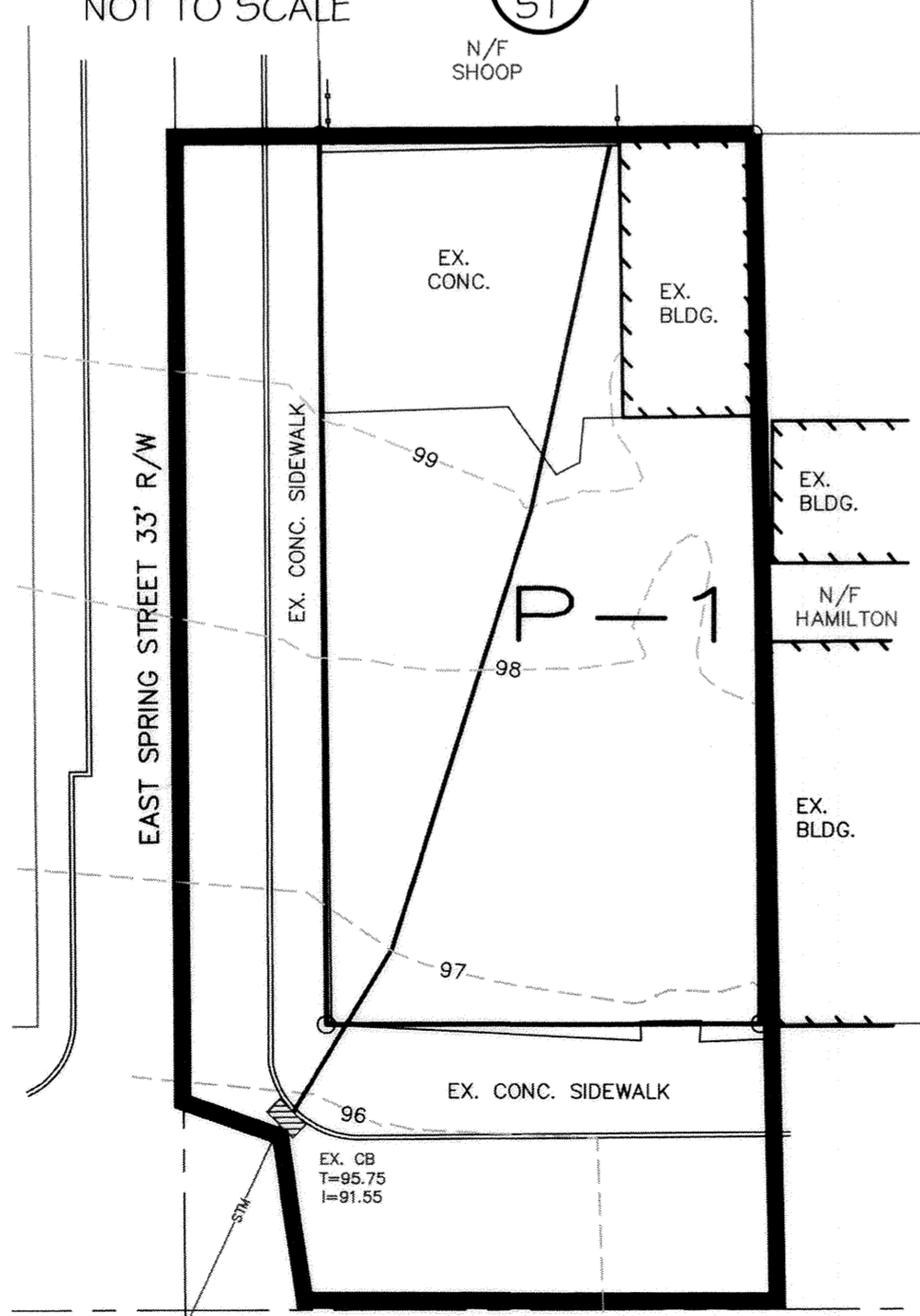
- The owners of Lots _____ and _____, inclusive, shall be responsible for all costs and/or expenses associated with the perpetual maintenance and/or repair of any and all on-lot storm water management facilities, as shown on this plan. The term "storm water management facilities" includes, but is not limited to, drainage courses, streams, or easements, drainage ways, swales, or inlets, catch basins, pipes, conduits, detention basins or ponds, infiltration devices, BMP facilities, and temporary erosion control facilities.
- Storm water management facilities, as shown on this plan, shall **NOT** be altered, removed, filled, obstructed, or otherwise modified without the prior approval of the Borough Council.
- As a condition on final approval of this plan, the Borough Council requires that the Developer enter into a written Storm Water Management Operation and Maintenance (O&M) Agreement and Declaration of Easement with the Borough and that such Agreement be recorded in the Office of the Recorder of Deeds, Butler County, Pennsylvania. The O&M Agreement is part of the Stormwater Management Plan.
- Final approval of this plan does **NOT** obligate or require The Borough of Zelienople to construct, install, maintain, repair and/or modify any of the storm water management facilities shown on this plan.
- Record Drawings will be provided for all stormwater facilities prior to occupancy, or the release of the surety bond.
- The following signature block for the registered professional preparing the Stormwater Management Plan:
"I, _____, hereby certify that the Stormwater Management Plan meets all design standards and criteria of the Borough of Zelienople's Stormwater Management Ordinance."
- The following signature block for the Municipal Engineer reviewing the Stormwater Management Plan:
"I, _____, have reviewed this Stormwater Management Plan in accordance with the Design Standards and Criteria of the Borough of Zelienople's Stormwater Management Ordinance."



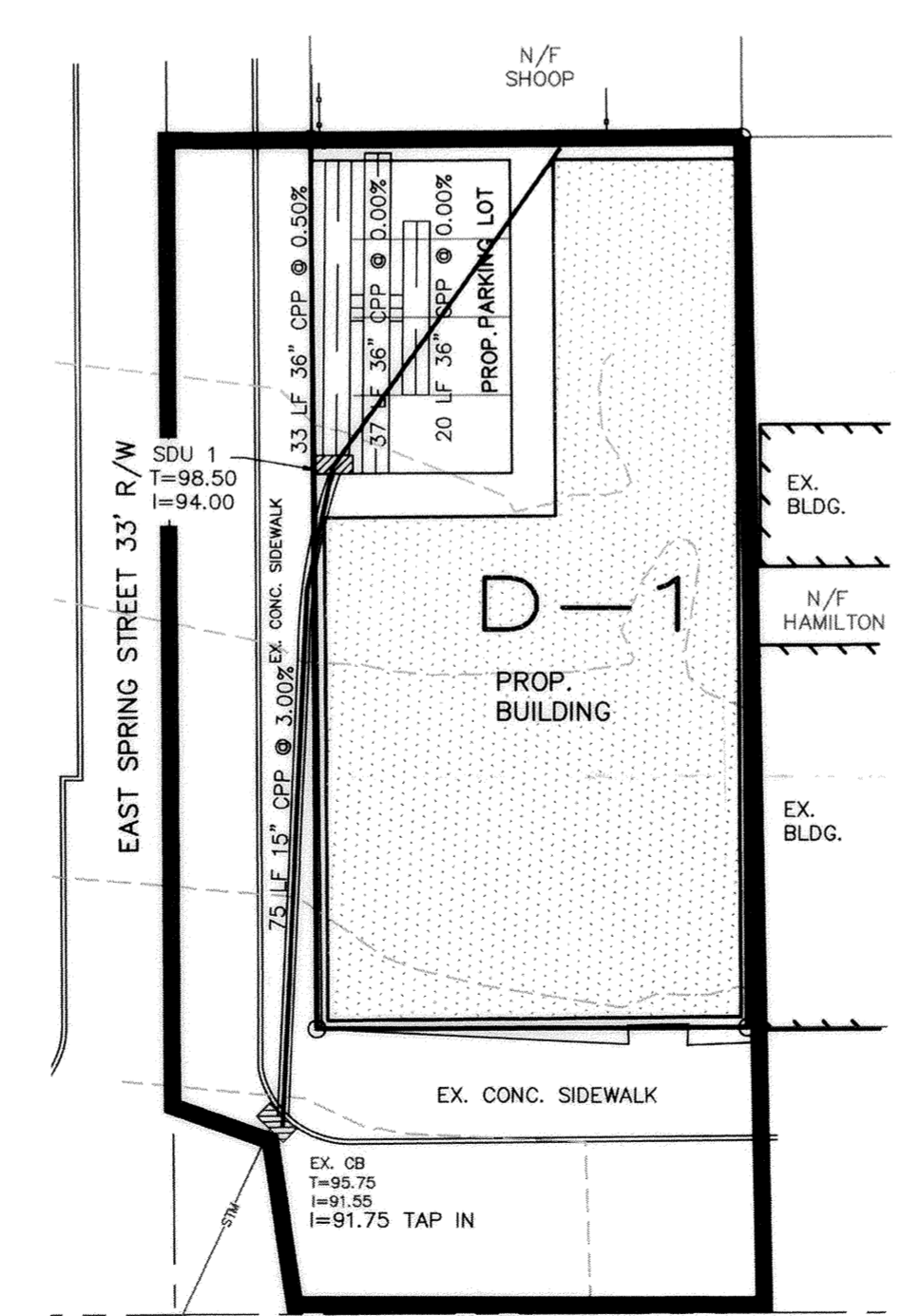
SIDEWALK / PAVING DETAIL
NOT TO SCALE



HC CURB
NOT TO SCALE

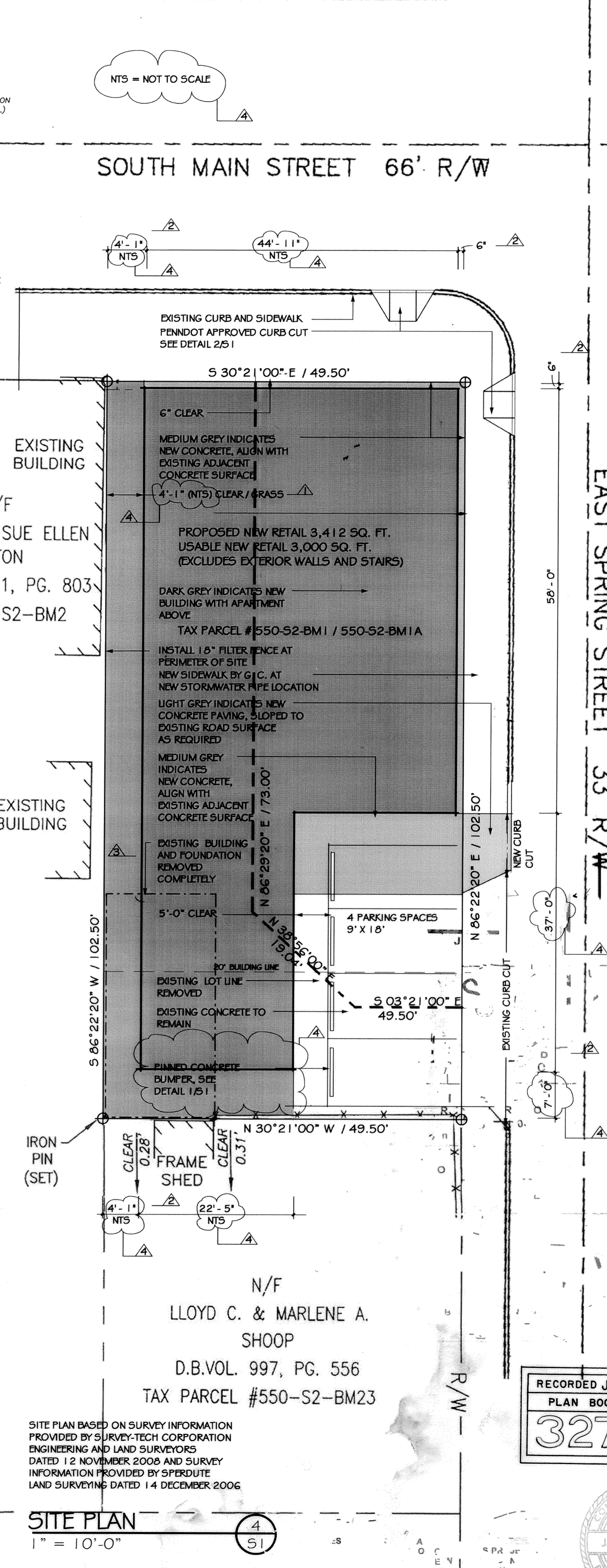


PRE-DEVELOPMENT DRAINAGE MAP
SCALE: 1" = 20'

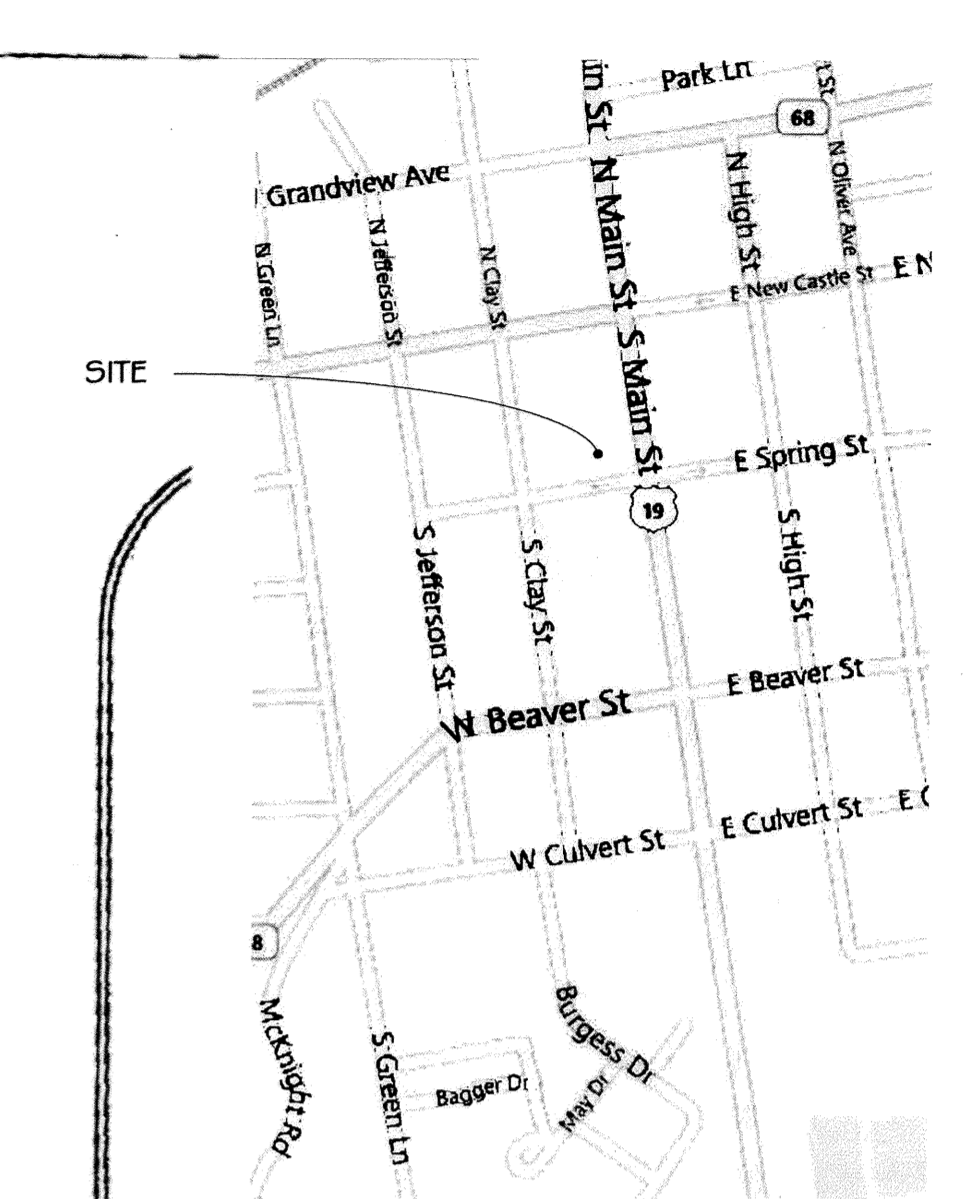
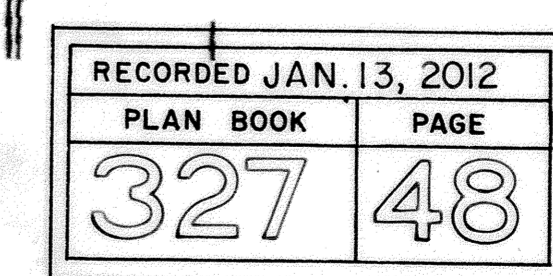


POST-DEVELOPMENT DRAINAGE MAP
SCALE: 1" = 20'

EXISTING CONDITIONS
SITE PLAN
1" = 20'-0"

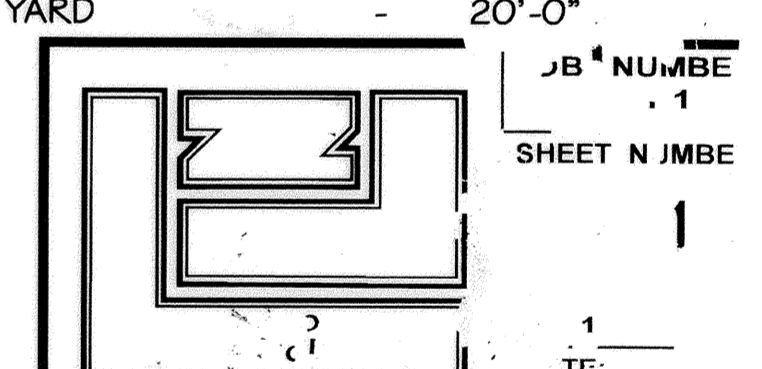


SITE PLAN
1" = 10'-0"



VICINITY MAP
NOT TO SCALE

PARKING CALCULATION / REQUIREMENTS
USABLE RETAIL 3,000 SQ. FT. + (1) SPACE / 250 SQ. FT. = 12 SPACES
DWELLING - MULTI OR MULTI FAMILY REQUIREMENT, TWO (ONE MAY BE PROVIDED IN A PRIVATE GARAGE) PLUS ONE FOR EVERY FIVE UNITS = 3 SPACES
TOTAL PARKING SPACES REQUIRED = 15 SPACES
CREDIT OF PARKING SPACES AS PER ZONING ORDINANCE, SECTION 802 - 58 SPACES + 5 = 11 SPACES
TOTAL SPACES REQUIRED POST CREDIT = 4 SPACES
ZONING DISTRICT - C1
USE - GENERAL RETAIL / DWELLING
BUILDING SET BACK
FRONT YARD - 0'-0"
SIDE YARDS - 15'-0"
REAR YARD - 20'-0"



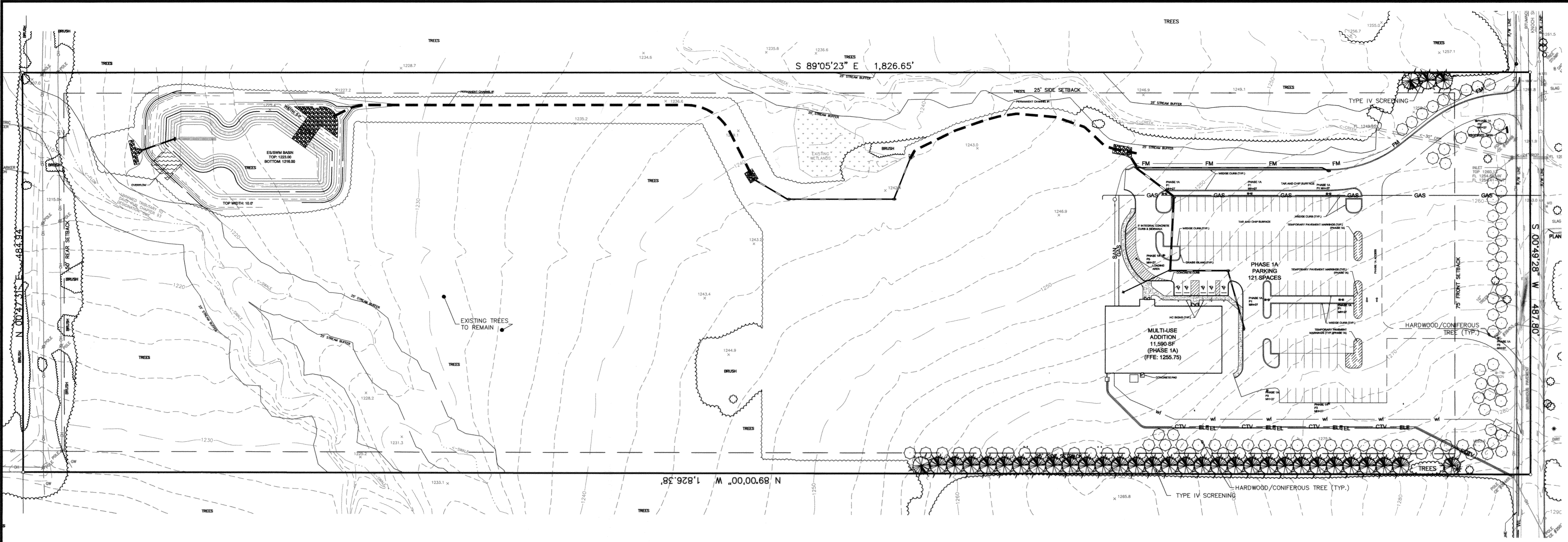
LIGO ARCHITECTS
P.O. BOX 698 SLIPPERY ROCK, PA 15767
TEL: (724) 784-2580 FAX: (724) 784-2581
ligoarchitects@aol.com

MEMBER: AMERICAN INSTITUTE OF ARCHITECTS
VERITAS DEVELOPMENT
200 S. MAIN STREET
ZELIENOPLE, PA 15086

REVISIONS
1 10-27-11
2 11-02-11
3 11-09-11
4 12-14-11

SCALE: AS NOTED
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SEAL: [Signature]

Path & Filename: R:\Projects\17000\17008 New Life Church\Revised\17008 C100 Plan Plan.dwg
Plot Date: 2/2/2012 2:12:42 AM
User: Liane Wassen



CORPORATION ADOPTION:

KNOW ALL MEN BY THESE PRESENTS:

THAT NEW LIFE CHRISTIAN MINISTRIES INCORPORATED A CORPORATION DULY REGISTERED UNDER THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, BY THE VIRTUE OF A RESOLUTION OF THE BOARD OF DIRECTORS, THEREOF, DOES HEREBY ADOPT THAT THIS PLAN AS ITS PLAN OF FOR THIS PROPERTY SITUATE IN CLINTON TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY AND UTILITY PURPOSES, DRIVES, ROADS, STREETS, RIGHT-OF-WAYS, LANES AND WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, AND WE RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CLINTON, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY, COURSES OF ACTION, CLAIMS OR DAMAGES ARISING FROM OR PERTAINING TO IN ANY MANNER SAID ROADS AND RIGHT-OF-WAYS. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON NEW LIFE CHRISTIAN MINISTRIES INCORPORATED, ITS SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY HAND OF ITS PRESIDENT AND THE SAME TO BE ATTESTED BY ITS SECRETARY THIS 15th DAY OF February, 2012.

Chris E. Marshall
CHRIS E. MARSHALL, PRESIDENT

Thomas J. Smith
SECRETARY

COMMONWEALTH OF PENNSYLVANIA:
COUNTY OF BUTLER:

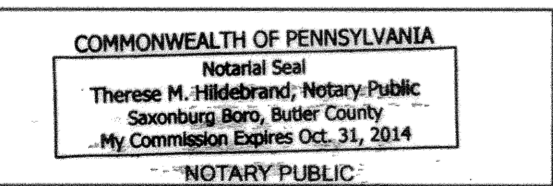
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED CHRIS E. MARSHALL, PRESIDENT OF THE NEW LIFE CHRISTIAN MINISTRIES INCORPORATED, WHO BEING DULY SWORN, DEPOSED THAT HE WAS PERSONALLY PRESENT AT THE EXECUTION OF THE ADOPTION, RELEASE AND DEDICATION AND SAW THE COMMON AND CORPORATE SEAL DULY AFFIXED AND THAT THE ABOVE RELEASE AND DEDICATION WAS DULY SIGNED AND SEALED BY AND AS FOR THE ACT AND DEED OF THE SAID NEW LIFE CHRISTIAN MINISTRIES, FOR THE USES AND PURPOSES THEREIN MENTIONED AND THAT THE NAME OF THIS DEPONENT SUBSCRIBED TO THE SAID RELEASE AND DEDICATION AS PRESIDENT OF SAID CORPORATION, IN ATTESTATION OF THE DUE EXECUTION AND DELIVERY OF SAID RELEASE AND DEDICATION IS THIS DEPONENT'S OWN AND PROPER RESPECTIVE HANDWRITING.

Chris E. Marshall
CHRIS E. MARSHALL, PRESIDENT

WITNESS MY HAND AND NOTARIAL SEAL
THIS 15th DAY OF February, 2012.

MY COMMISSION EXPIRES THE 31st DAY OF October, 2014

Theresa M. Mustello
NOTARY PUBLIC



TITLE CLAUSE:

I, CHRIS E. MARSHALL, PRESIDENT OF THE NEW LIFE CHRISTIAN MINISTRIES INCORPORATED, DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF NEW LIFE CHRISTIAN MINISTRIES INCORPORATED, AS RECORDED IN INSTRUMENT NUMBER 200507250019776, IN THE RECORDER'S OFFICE OF BUTLER COUNTY, PENNSYLVANIA. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR ENCUMBRANCE AGAINST THIS PROPERTY.

Chris E. Marshall
CHRIS E. MARSHALL, PRESIDENT

Thomas J. Smith
SECRETARY

SURVEYORS CERTIFICATE:

I, MICHAEL A. OGIN, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THE PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LAND, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

Michael A. Ogin
MICHAEL A. OGIN
REG NO. SU-075288

LOCAL AUTHORITY STIPULATION:

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLINTON HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

Mark Zuke
CHAIRMAN OF THE BOARD

Wendy H. Hahn
SECRETARY

CLINTON TOWNSHIP PLANNING COMMISSION APPROVAL:

REVIEWED BY THE CLINTON TOWNSHIP PLANNING COMMISSION THIS 3 DAY OF January, 2012.

Kenneth S. Traylor
CHAIRMAN

Brian L. Bann
SECRETARY

CLINTON TOWNSHIP BOARD OF SUPERVISORS APPROVAL:

APPROVED BY THE CLINTON TOWNSHIP BOARD OF SUPERVISORS THIS 18 DAY OF January, 2012.

Mark Zuke
CHAIRMAN

Wendy H. Hahn
SECRETARY

COUNTY PLANNING COMMISSION REVIEW:

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 18 DAY OF Jan, 2012

F. U. L. 9 PM
CHAIRMAN

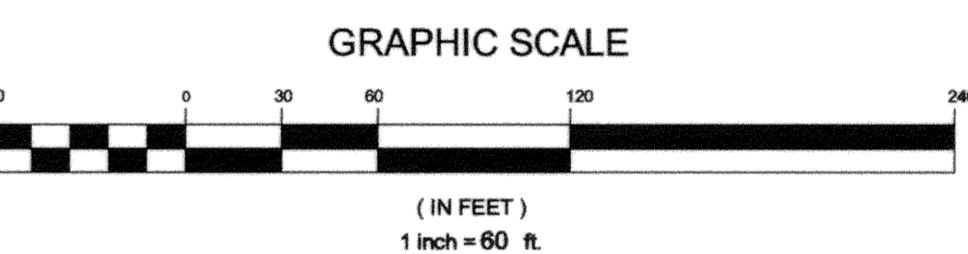
John 9 PM
SECRETARY

PROOF OF RECORDING:

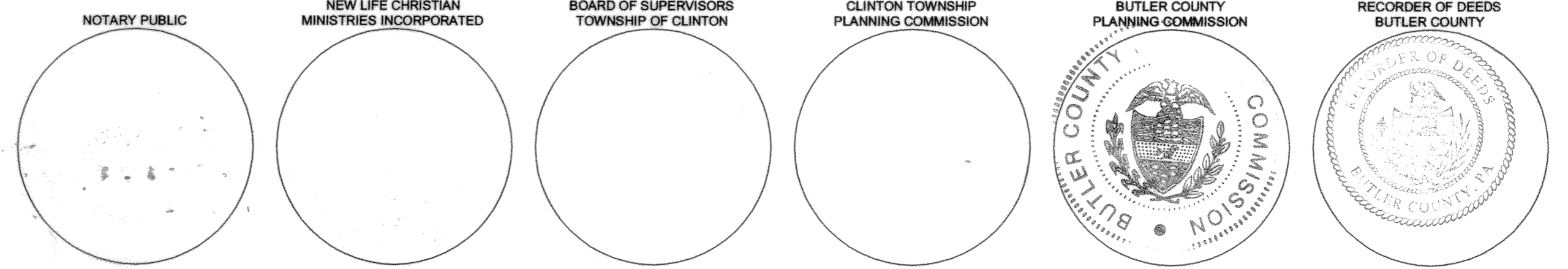
COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUTLER:

RECORDED IN THE RECORDER'S OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC., IN SAID COUNTY IN PLAN BOOK VOLUME 327 PAGE 49
GIVEN UNDER MY HAND AND SEAL THIS 2nd DAY OF Feb, 2012

Michele M. Mustello
MICHELE M. MUSTELLO
RECORDER OF DEEDS



RECORDED FEB. 2, 2012	
PLAN BOOK	PAGE
327	49



NEW LIFE CHRISTIAN MINISTRIES-REVISED
127 KNOX ROAD
CLINTON TOWNSHIP, BUTLER COUNTY, PA

PREPARED FOR:
NEW LIFE CHRISTIAN MINISTRIES
447 LEASUREVILLE ROAD
CABOT, PA 18023

PHASE 1A SITE PLAN FOR RECORDING
Project Number: C-17908-0004
Drawing Scale: 1" = 60'
Date Issued: 2012-01-06
Index Number: PENDING
Drawn By: LPW
Checked By: MAO
Project Manager: MAO
C-108

GATEWAY
Consulting Engineers & Surveyors
400 Holiday Drive, Suite 300 Pittsburgh, PA 15220
Phone (412) 921-4030 - Fax (412) 921-9960
Butler, PA (724) 297-0866 • Washington, PA (724) 229-3862
http://www.gatewayeng.com

REVISION RECORD	
No	Date
01	NA
02	2012-01-31
03	-
04	-
05	-
06	-
07	-
08	-

On Call On Time On Target



[illegible]

KNOW ALL MEN BY THESE PRESENTS, that Sterling Enterprises LLC. of the Township of Slippery Rock of the County of Butler, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this plan as our Plan of Lots of our property, situate in Slippery Rock Township, Butler County, Pennsylvania, and for diverse advantages accruing to us, do hereby dedicate forever, for highway purposes, all streets and ways shown upon the plan, with the same force and effect as if the same had been lawfully dedicated by the proper legal authorities. We do hereby dedicate to the public use the designated land areas on the plan for recreation and other purposes as specified on the plan) and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Township of Slippery Rock we hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Slippery Rock their successors or assigns from any liability for damages arising and to arise from any and all claims or demands for compensation and the physical and financial loss of any kind that may be established hereafter at any time. This dedication and release shall be binding upon Sterling Enterprises LLC our heirs, executors, administrators and assigns and purchasers of lots in this plan.

ATTEST:

Lon E Oesterling Sharon G. Oesterling
LON E. OESTERLING SHARON G. OESTERLING
(MANAGING PARTNERS) D. JDO.

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Sterling Enterprises LLC and acknowledged the foregoing release and dedication and plan to be their act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this 29 day of December, 2011.

My Commission expires the 04 day of June, 2004

SEAL COMMONWEALTH OF PENNSYLVANIA

SEAL

COMMONWEALTH OF PENNSYLVANIA
Notarial Seal
David C. Harkins, Notary Public
Center Twp., Butler County
My Commission Expires June 4, 2014
Member, Pennsylvania Association of Notaries

James C. Hat
NOTARY PUBLIC

I, John E. Dusheck a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plat, and that this plan represents the lots, land, streets and highways as surveyed and plotted by me for the owners or agents.

12/18/11 SEALS
DATE REGISTRATION NO. SU - 073089E

The Board of Supervisors of the Township of Slippery Rock hereby gives public notice that, in approving this plan for recording purposes only, the Township of Slippery Rock assumes no obligations, legal or otherwise, expressed or implied, either to accept said streets as Township streets or roads, or to grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

Alma Amel Paul A. Duh
SECRETARY CHAIRMAN

Approved by the Slippery Rock Twp., Planning Commission this 9th day of January, 2012.

Karen Small SECRETARY Termy Ann CHAIRMAN

Approved by the Slippery Rock Twp., Board of Supervisors this 23 day of JAN, 2012.

Alia Amell SECRETARY Paul A. Duch CHAIRMAN

Reviewed by the Butler County Planning Commission this 5TH day of Jan., 2012.

S. H. Jem SECRETARY F. W. Jem CHAIRMAN

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER)

Recorded in the Records Office for the Recording of deeds, plans, etc., in said County in Plan Book Volume 327 Page 50.

Given under my hand and seal this 2nd day of February, 2012.

SEA/ *M. J. J.*

SEAL
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2016

Michelle M Mustello
RECORDER

TOTAL AREA = 9.988 ACRES

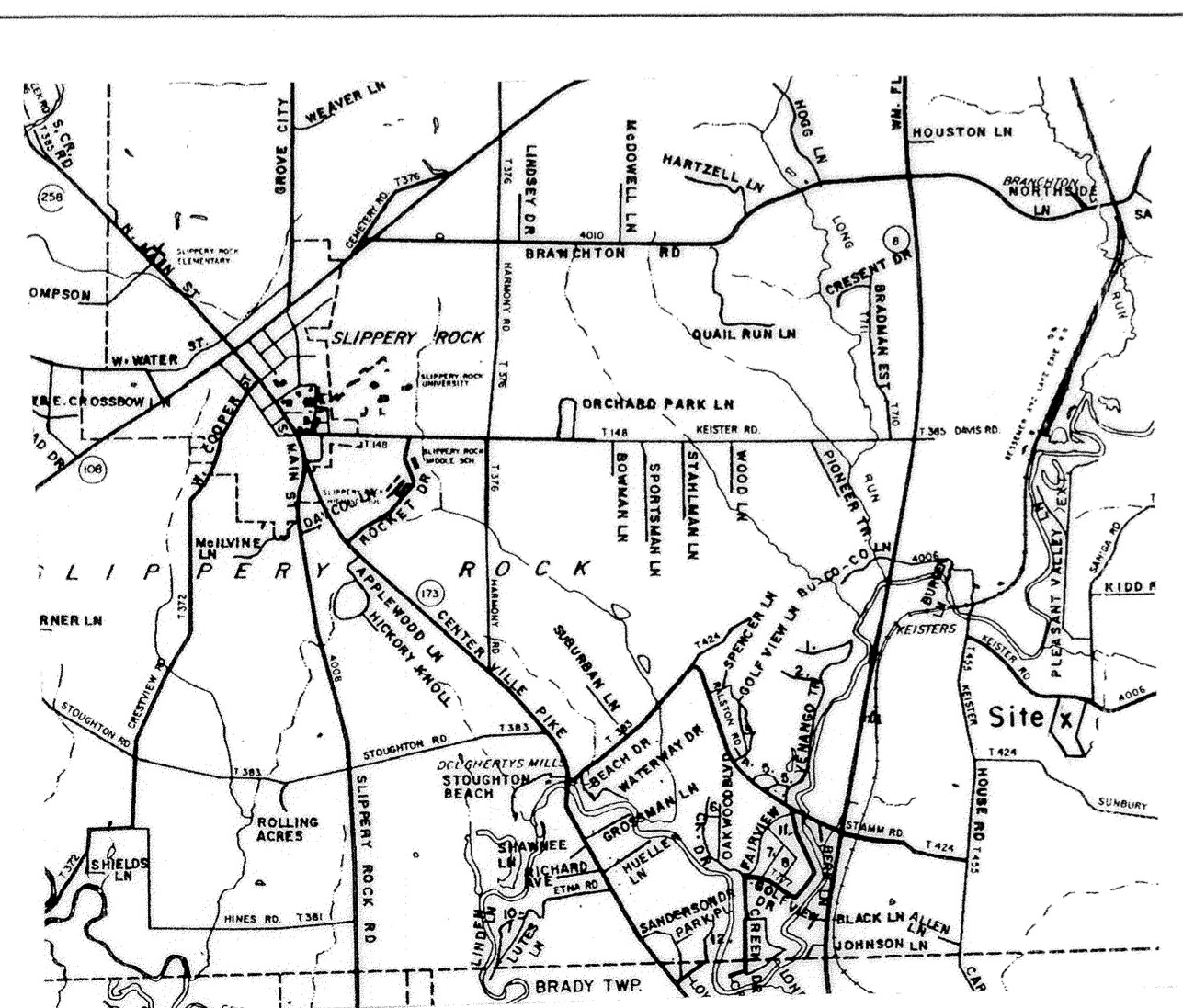
NOTES:

- NOTES:
- 1). SUBJECT TO ANY AND ALL RIGHTS OF WAYS AND EASEMENTS OF RECORD.
 - 2). ZONED RC - 1
 - 3). RE: LOT 3 - JAMES A. & NANCY A. GREEN SUBDIVISION (GREENFIELDS) - PLANBOOK 118 - PAGE 36 .

JOHN E. DUSHECK
SURVEYOR
140 LARAY DRIVE
BUTLER PA. 16001
(724) 287-7825

Date : 12/25/2011
Scale : 1" = 60'
Dwn. By : SAB
REVISED: 1/09/12
REVISED: 1/10/12

PROPERTY SUBDIVISION
FOR: STERLING ENTERPRISES LLC.
SITUATE: SLIPPERY ROCK TWP., BUTLER CO., PA.



LOCATION MAP