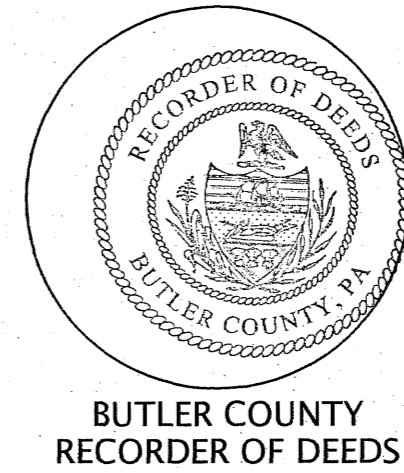
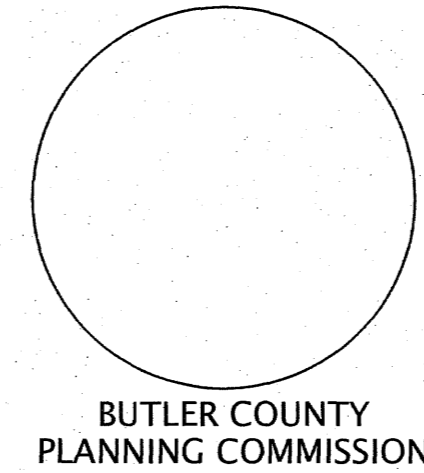
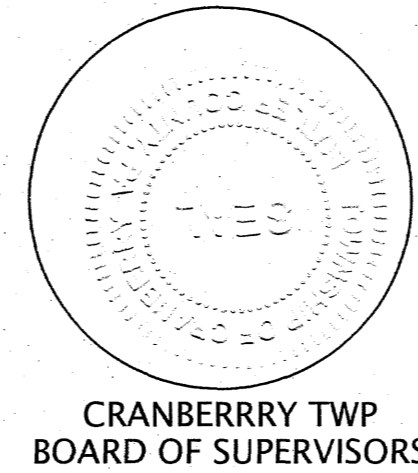
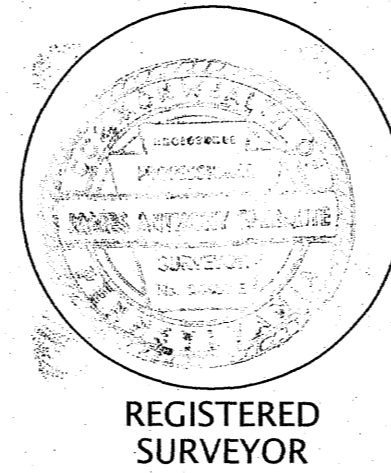


Inst#: 202308040011390  
Page 1 of 146-50  
Michele Mustello  
Butler County Recorder PA



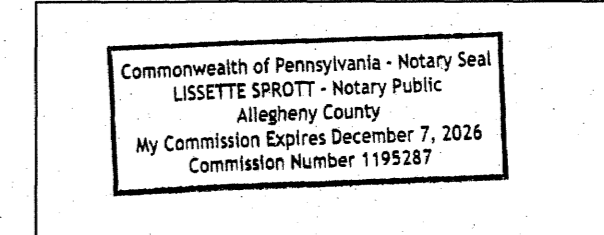
BY RESOLUTION APPROVED ON THE 6th DAY OF July, 2023 THE BOARD OF DIRECTORS OF NVR, INCORPORATED IN THE COMMONWEALTH OF PENNSYLVANIA, OWNER OF THE LAND SHOWN ON THE PARK PLACE AMENDMENT NO. 57 PLAN ADOPTED THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATED ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE CORPORATION AND UPON ITS SUCCESSORS AND ASSIGNS.

[Signature] NVR, INC. VP  
SIGNATURE AND TITLE OF OFFICER WITNESS SIGNATURE AND TITLE OF AUTHORIZED OFFICER

7/10/23  
DATE

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF ALLEGHENY, PERSONALLY APPEARED Pete Robertson OF NVR, INC. WHO STATED THAT HE IS AUTHORIZED TO EXECUTE THE ABOVE ADOPTION AND DEDICATION ON BEHALF OF THE CORPORATION AND WAS PRESENT AT THE MEETING AT WHICH THE ACTION OF THE CORPORATION WAS TAKEN TO ADOPT THE PLAN AND DEDICATE PUBLIC PROPERTY CONTAINED THEREIN TO THE PUBLIC.

WITNESS MY HAND AND NOTARIAL SEAL THIS 6th DAY OF July, 2023  
(SEAL) [Signature] NOTARY PUBLIC



I, Pete Robertson HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE PARK PLACE AMENDMENT NO. 57 IS IN THE NAME OF NVR, INC. AND IS RECORDED AT INSTRUMENT NO. INSTRUMENT NO. 202304270005693. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

[Signature] SIGNATURE OF WITNESS [Signature] VP SIGNATURE AND TITLE OF AUTHORIZED OFFICER

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

7/5/23  
DATE [Signature] JAMES A. SPERDUTE, R.S. # 24457-E

I, Michael C. Malak A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER OF THE TOWNSHIP OF CRANBERRY, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

7/9/23  
DATE [Signature] SIGNATURE  
REGISTRATION NO. PE-073220

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY BY [Signature] RESOLUTION NO. 2023-38 EFFECTIVE THIS 29th DAY OF July, 2023

[Signature] SECRETARY [Signature] CHAIRPERSON

I, [Signature] TOWNSHIP MANAGER FOR THE TOWNSHIP OF CRANBERRY CERTIFY THAT THE CONDITIONS FOR FINAL APPROVAL OUTLINED IN Resolution No. 2023-38 HAVE BEEN MET IN ACCORDANCE WITH SECTION 22-305 AND 22-307 OF THE TOWNSHIP CODE OF ORDINANCES.

[Signature] TOWNSHIP MANAGER

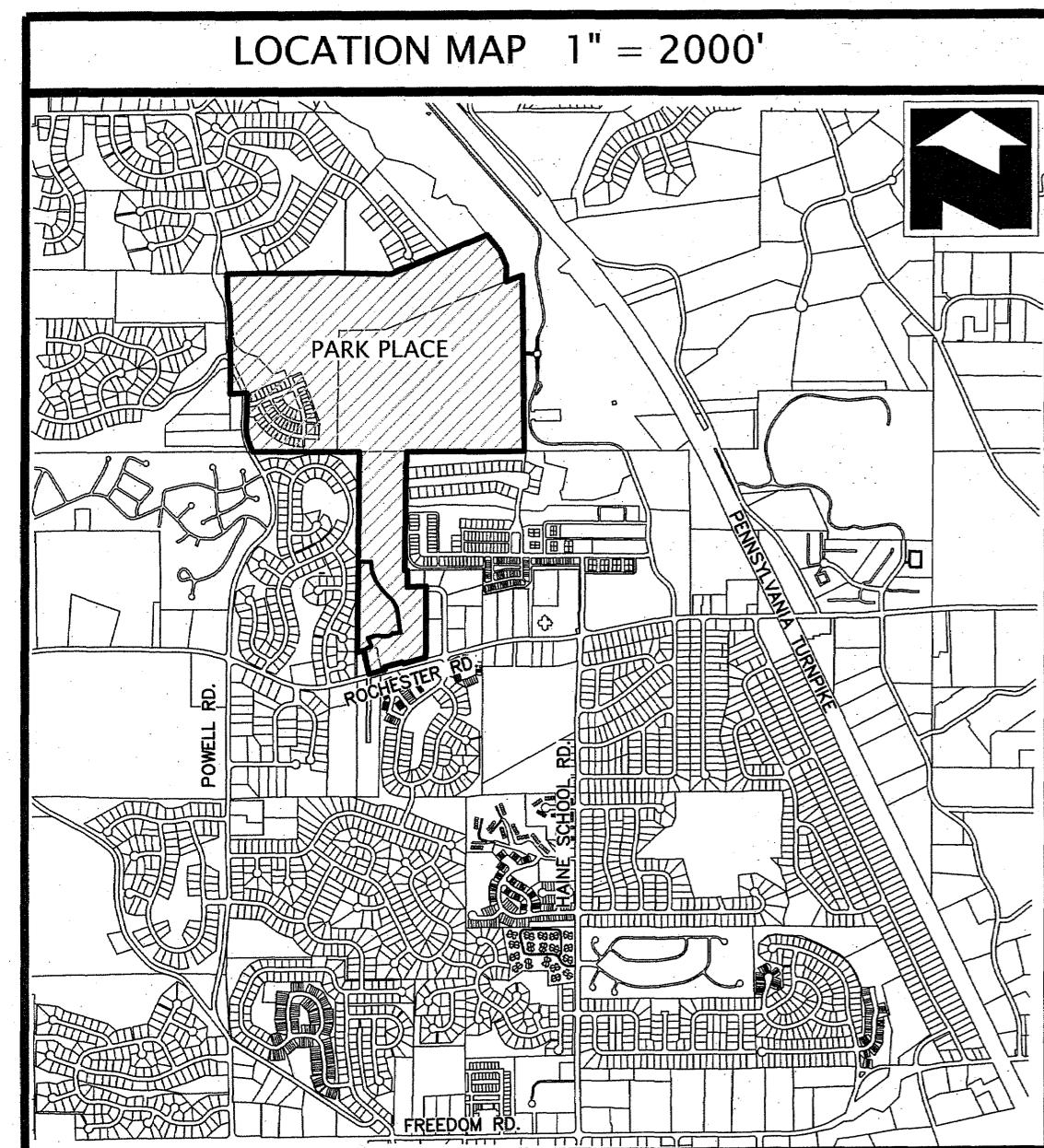
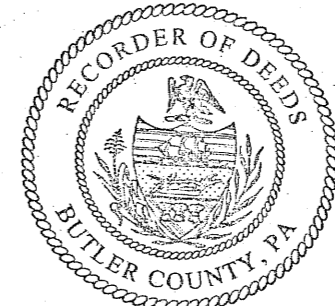
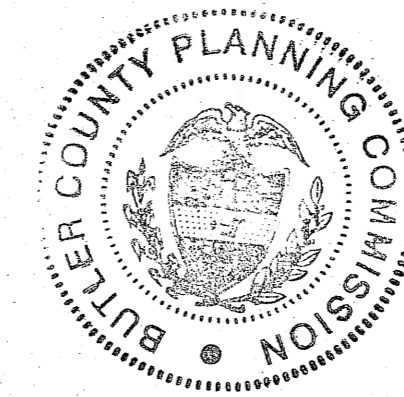
REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 21st DAY OF June, 2023

[Signature] SECRETARY [Signature] CHAIRPERSON

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK 412 PAGE 1

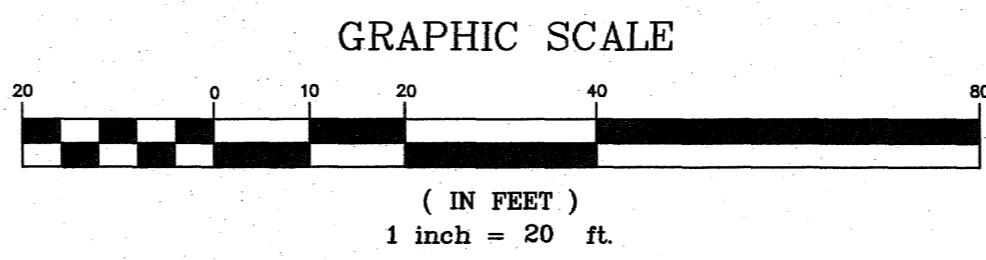
GIVEN UNDER MY HAND AND SEAL THIS 4th DAY OF August, 2023  
[Signature] RECORDER OF DEEDS

MICHELE M. MUSTELLO  
RECORDER OF DEEDS  
My Commission Expires First Monday in January 2024



Lot Area Tabulations		
Unit	Sq.Ft.	Acres
8-2A	2,495.86	0.057
8-2B	1,813.92	0.042
8-2C	1,813.92	0.042
8-2D	2,640.73	0.061
Total	8,764.43	0.202

PLAN BOOK	PAGE
412	1



**GENERAL PLAN NOTES**

- THIS PLAN IS A RE-SUBDIVISION OF PARCEL TH 8-2 OF THE PARK PLACE -REVISED FINAL PHASE 8A AS RECORDED IN PLAN BOOK 404, PAGES 1-2
- THIS PLAN IS SUBJECT TO ANY AND ALL CONDITIONS OF THE PREVIOUSLY APPROVED AND RECORDED PLANS.
- IF APPLICABLE, BEARINGS LABELED AS (NR) ARE NON-RADIAL TO THE INTERSECTING RIGHT OF WAY LINE.

**AFFECTED ZONING CLASSIFICATION: CCD-2**  
**PROPOSED USE : CCD-2**

- MINIMUM LOT SIZE PER PATTERN BOOK
- MINIMUM LOT WIDTH PER PATTERN BOOK
- MINIMUM FRONT SETBACK PER PATTERN BOOK
- MINIMUM REAR SETBACK PER PATTERN BOOK
- MINIMUM SIDE SETBACK PER PATTERN BOOK
- MAXIMUM BUILDING HEIGHT PER PATTERN BOOK

**PROPERTY REFERENCES**

PROPERTY OWNER:  
NVR, INC  
ONE PENN CENTER WEST, SUITE 220  
PITTSBURGH, PA 15276

LOT REFERENCE:  
LOT TH 8-2  
TAX PARCEL 130-S46-B2  
INST# 202304270005693

**DEVELOPER / PROPERTY OWNER:**

**NVR**  
ONE PENN CENTER WEST, SUITE 220  
PITTSBURGH, PA 15276  
BUILT BY:  
**Ryan Homes**

DRAWING NUMBER: 1004-2225306  
DRAWING SCALE: 1"=20'  
DATE: June 11, 2023  
DRAWN BY:  
REVISIONS:

**PARK PLACE AMENDMENT NO. 57**

BEING A RE-SUBDIVISION OF PARCEL TH 8-2  
PARK PLACE - REVISED FINAL PHASE 8A PLAN  
AS RECORDED IN PLAN BOOK 404, PAGES 1-2  
CRANBERRY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

**Sperdute Land Surveying**  
A Division of Sheffler & Company  
441 Mars-Valencia Rd, Suite 3C  
Valencia, PA 16059  
108 Deer Lane Harmony, PA 16037  
1712 Mount Nebo Road Sewickley, PA 15143  
Office Phone: 724-452-4362  
Email: Info@SperduteSurveying.com  
James A. Sperdute, RS # 24457-E



OWNER'S CERTIFICATION

We, MICHAEL C. & CYNTHIA L. BYERS  
the undersigned, hereby declare that we are the owner of the property shown on this final plan, that the final plan and the proposed subdivision or land development were made with the owner's consent, and that the owner desire the final plan to be recorded as such.

In witness whereof I have set my hand and seal this 10 day of July, 2023.

Michael C Byers  
(Owner signature)

Cynthia L. Byers  
(Owner signature)

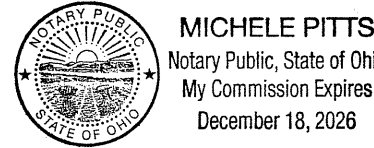
ACKNOWLEDGEMENT

STATE OF OHIO }  
COUNTY OF Butler } SS:

Before me, the subscriber, a Notary Public in and for said County and Commonwealth, personally appeared the above named MICHAEL C. & CYNTHIA L. BYERS who acknowledged the foregoing final plan of subdivision or land development to be her act and deed and desired the same to be recorded as such.

WITNESS MY HAND AND NOTARIAL SEAL this 1 day of July, 2023.

Michele Pitts SEAL  
(Notary Public)



My commission expires the 18 day of Dec., 2026.

MUNICIPAL REVIEW

Reviewed by the BOARD OF SUPERVISORS of FAIRVIEW TOWNSHIP this 10 day of July, 2023.

Derek D. Ruff (Secretary)  
Charles W. Ruff (Chairman)

SEAL

BUTLER COUNTY PLANNING COMMISSION APPROVAL

Approved by the Butler County Planning Commission this 21 day of June, 2023.

R. H. ... (Secretary)  
R. H. ... (Chairman)

See Comments On File at the Butler County Planning Commission

Plan Number: 23107

SEAL

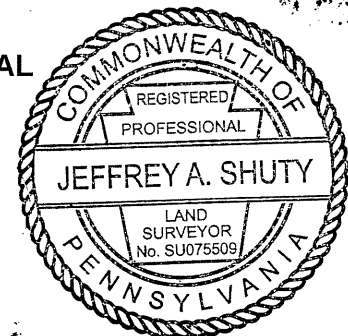
PROFESSIONAL CERTIFICATE

I, JEFFREY A. SHUTY, a Professional SURVEYOR of the Commonwealth of Pennsylvania, do hereby certify that this plan shown hereon is true and correct to the standards of the Butler County Subdivision and Land Development Ordinance and that the survey and all angles, distances, and courses are accurately shown, that the monuments and markers as shown on the plat have been, or will be set, and to the best of my knowledge, that this plan correctly represents the lots, lands, streets, and highways as surveyed and plotted by me for the owners or agents.

Jeffrey A. Shuty SEAL  
(Professional's Name)

SU075509  
(Professional's Registration No.)

7/6/2023  
(Date)



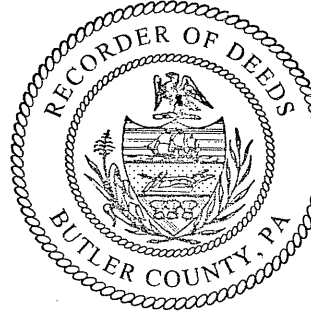
PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA }  
COUNTY OF BUTLER } SS:  
Recorded in the office for the recording of deeds, plats and plans in said County, in Plan Book Volume 412 Page(s) 3  
Given under my hand and seal this 14 day of August, 2023.

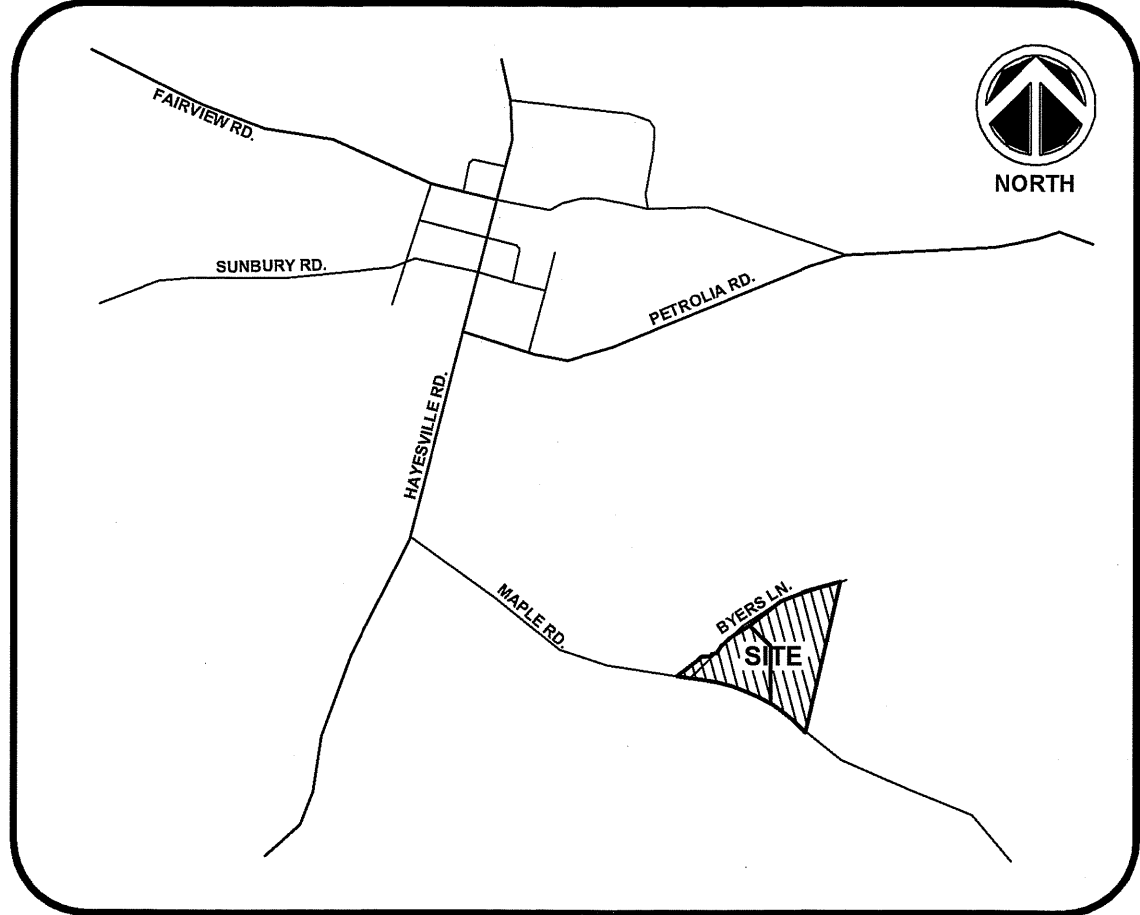
Michele M. Mustello  
(Recorder of Deeds)

MICHELE M. MUSTELLO  
RECORDER OF DEEDS

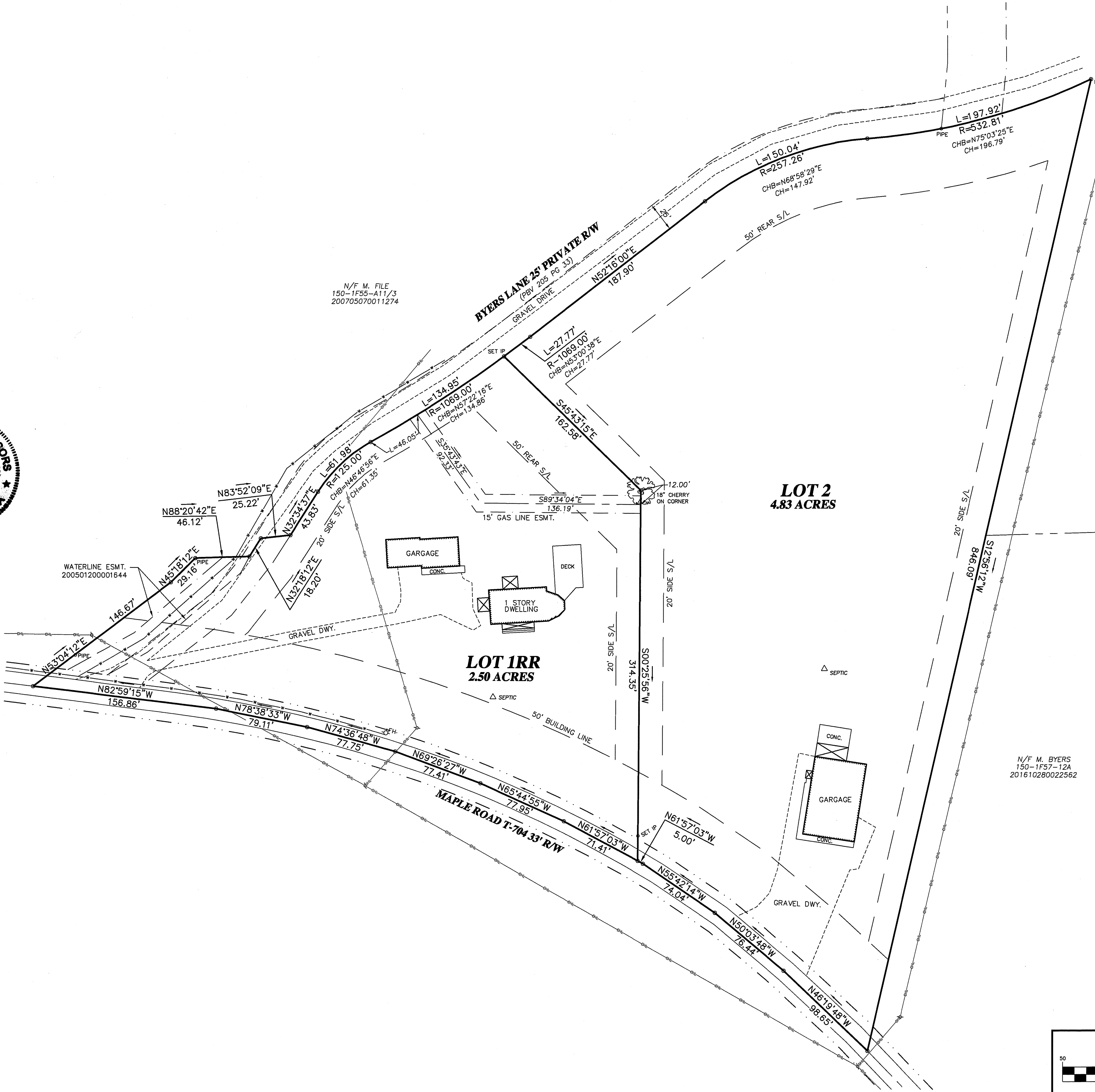
My Commission Expires First Monday in January 2024



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Michele Mustello  
Butler County Recorder PA  
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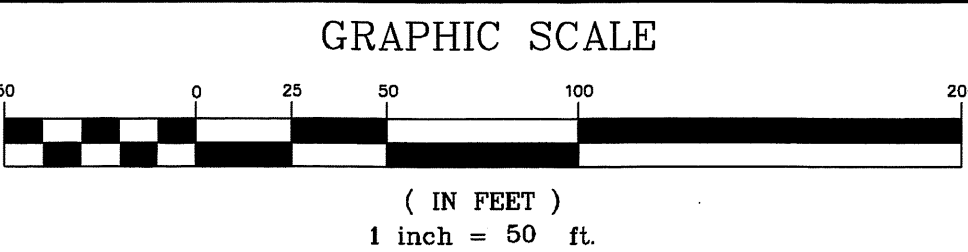
VICINITY MAP  
NOT TO SCALE



NOTES:  
1. WATER SERVICE TO LOT 1RR AND LOT 2 PROVIDED BY PETROLEUM VALLEY REGIONAL WATER AUTHORITY.

N/F M. BYERS  
150-1F57-12A  
201610280022562

TOTAL PLAN AREA 7.33 ACRES  
LOT 1RR 2.50 AC.  
LOT 2 4.83 AC.



OWNER:  
MICHAEL C. & CYNTHIA L. BYERS  
100 BYERS LANE  
KARNS CITY, PA 16038  
330-360-2879  
PARCEL ID: 150-1F57-12B  
DEED REF: 200806260014492  
PBV 306 PG 43  
PBV 345 PG 42

**NORTHERN**  
SURVEYORS AND ASSOCIATES  
137 LINK LANE  
SLIPPERY ROCK, PA 16057  
(724)530-6889  
northernsurveyor@gmail.com

Scale 1" = 50'  
Date May 17, 2023  
Job No. 3625

MINOR SUBDIVISION - FINAL PLAN  
BYERS SUBDIVISION  
Situate in Fairview Township  
Butler County, Pa.  
Prepared For Mike Byers  
Sheet No. 1 of 1

PLAN BOOK	PAGE
412	3

OWNER'S CERTIFICATION  
WE, RUTH S. GRAFF AND SETH L. BANDI AND TIFFANY E. BANDI, THE UNDERSIGNED, HEREBY DECLARE THAT WE ARE THE OWNERS OF THE PROPERTIES SHOWN ON THIS FINAL PLAN, THAT THE FINAL PLAN AND THE PROPOSED SUBDIVISION WERE MADE WITH THE OWNERS' CONSENT, AND THAT THE OWNERS DESIRE THE FINAL PLAN TO BE RECORDED AS SUCH.

IN WITNESS WHEREOF, WE HAVE SET OUR HAND AND SEAL THIS 14 DAY OF JULY, 2023.

*Ruth S. Graff*  
RUTH S. GRAFF

*Seth L. Bandi*  
SETH L. BANDI

ACKNOWLEDGMENT OF NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF BUTLER

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED THE ABOVE NAMED, RUTH S. GRAFF AND SETH L. BANDI AND TIFFANY E. BANDI, AND ACKNOWLEDGED THE FOREGOING FINAL PLAN OF SUBDIVISION OR LAND DEVELOPMENT TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 14 DAY OF JULY, 2023.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2027

*Debra L. Delaney*  
NOTARY PUBLIC

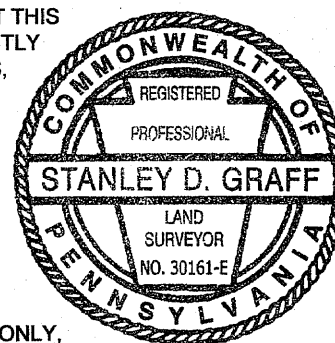
Commonwealth of Pennsylvania - Notary Seal  
Debra L. Delaney, Notary Public  
Butler County  
My commission expires February 17, 2027  
Commission number 1152784  
Member, Pennsylvania Association of Notaries

SURVEYOR'S CERTIFICATION

I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

JULY 14, 2023  
DATE

*Stanley D. Graff*  
STANLEY D. GRAFF  
REG. NO. SU-020168-E



MUNICIPAL DECLARATIONS

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WINFIELD, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF WINFIELD ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WINFIELD THIS 21 DAY OF JULY, 2023.

*Debra L. Delaney*  
SECRETARY

*Debra L. Delaney*  
VICE CHAIRPERSON  
BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF WINFIELD THIS 5th DAY OF JULY, 2023.

*Debra L. Delaney*  
SECRETARY

*Debra L. Delaney*  
VICE CHAIRPERSON  
PLANNING COMMISSION

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 5th DAY OF AUGUST, 2023.

*Debra L. Delaney*  
SECRETARY

*Debra L. Delaney*  
CHAIRPERSON  
BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN

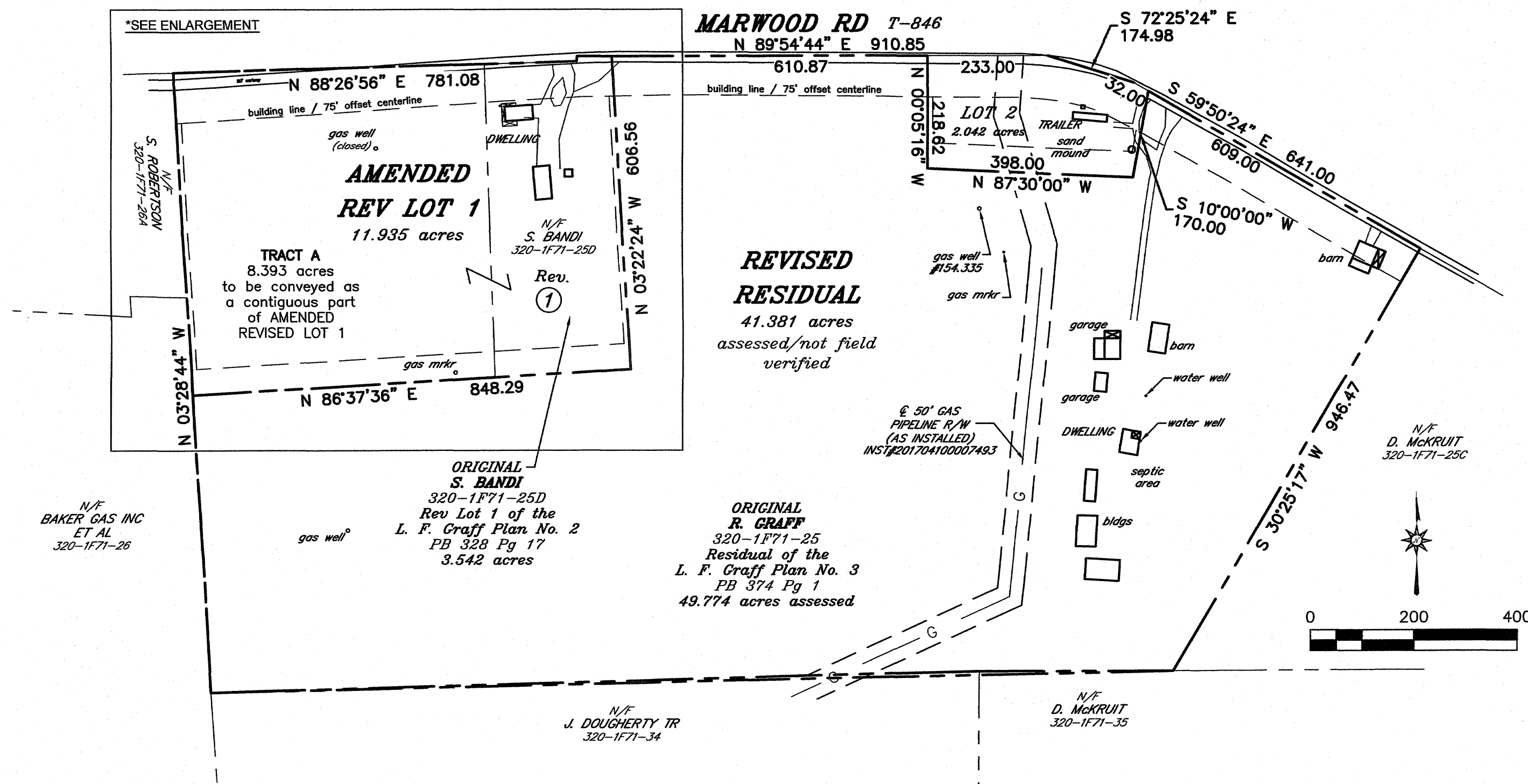
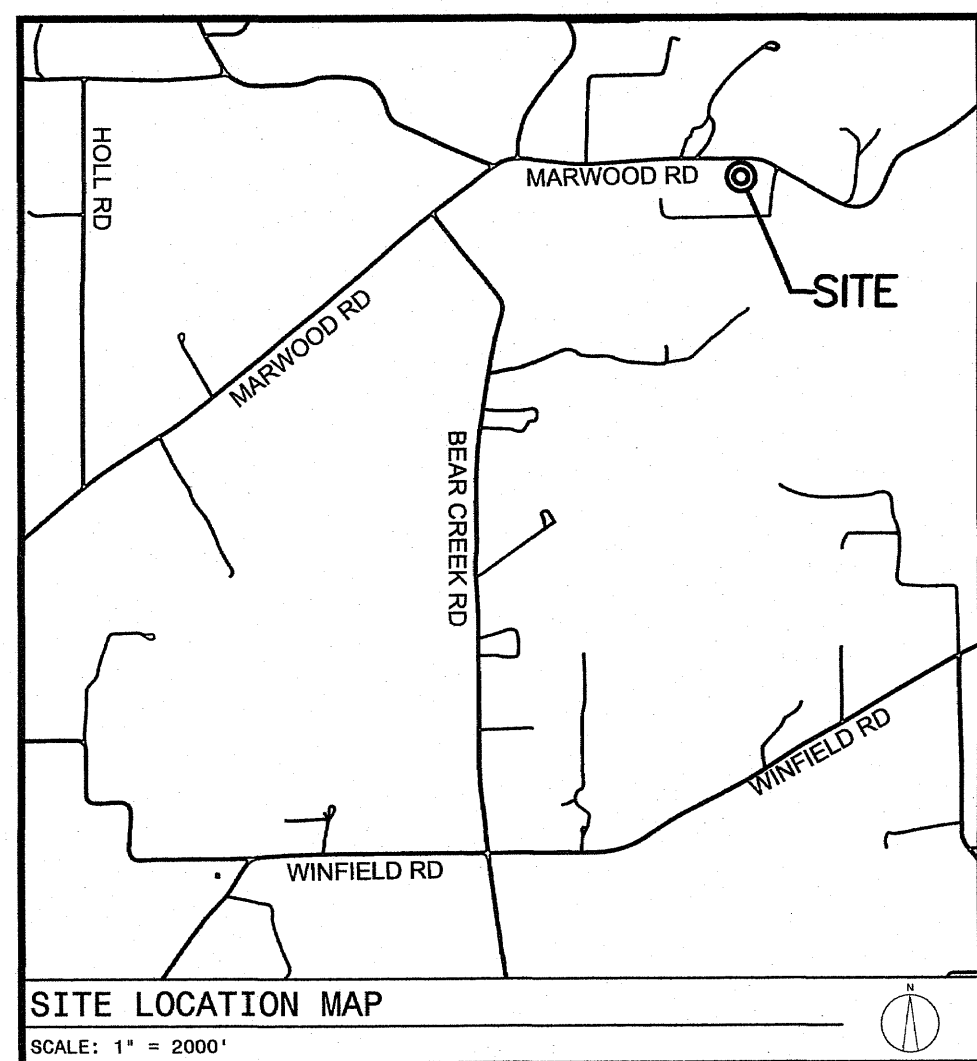
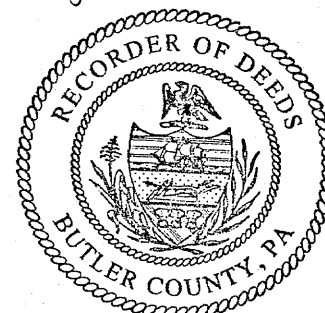
PLAN BOOK VOLUME 412, PAGE(S) 4

GIVEN UNDER MY HAND AND SEAL THIS 14th DAY OF AUGUST, 2023.

*Michele M. Mustello*  
RECORDER OF DEEDS

MICHELE M. MUSTELLO  
RECORDER OF DEEDS

My Commission Expires First Monday in January 2024



WINFIELD TOWNSHIP RIA - RESIDENTIAL/AGRICULTURAL DISTRICT	
Dimension	Requirement
Min. Lot Area	2 ac (w/ on lot water and sewage)
Min. Lot Width	200 feet at building line
Min. Front Yard Depth	75 feet from centerline of street
Min. Side Yard Depth	10 feet
Min. Rear Yard Depth	50 feet principal (10 feet accessory)

RECORDED	
PLAN BOOK	PAGE
412	4
SHEET of	

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

Instr: 202308140011811  
Page: 1 of 14640  
Michele Mustello  
Butler County Recorder PA  
8/14/2023 2:03 PM  
T20230809563

PROPERTY AREA SUMMARY:

EXISTING TOTALS	
RESIDUAL	49.774 AC
+ REV LOT 1	3.542 AC
EXISTING TOTAL	53.316 AC
AMENDED REVISED LOT 1	
REV LOT 1	3.542 AC
+ TRACT A	8.393 AC
AMENDED REV LOT 1	11.935 AC
RESIDUAL	
ORIGINAL 320-1F71-25	49.774 AC
- TRACT A	8.393 AC
RESIDUAL TOTAL	41.381 AC
REVISED TOTALS	
RESIDUAL	41.381 AC
+ AMENDED REV LOT 1	11.935 AC
REVISED TOTAL	53.316 AC

GENERAL NOTES:

- OWNERS: RUTH S. GRAFF
- TAX ID: 320-1F71-25 (GRAFF)  
320-1F71-25D (BANDI)
- ADDRESS: 572 MARWOOD RD  
CABOT, PA 16023
- ZONING: RIA - RESIDENTIAL/AGRICULTURAL DISTRICT
- SETBACKS: SEE TABLE
- REFERENCES:
  - 6.1. CURRENT DEEDS OF RECORD
  - 6.2. PREVIOUSLY RECORDED PLANS
    - 6.2.1. L. F. GRAFF PLAN  
PLAN BOOK 321 PG 2
    - 6.2.2. L. F. GRAFF PLAN No. 2  
PLAN BOOK 328 PG 17
    - 6.2.3. L. F. GRAFF PLAN No. 3  
PLAN BOOK 374 PG 1
- SUBJECT TO GAS LINE OPERATION WATER LINE EASEMENT AS RECORDED INSTRUMENT #20171127022697

**GRAFF**  
SURVEYING

GRAFF SURVEYING LLC  
PO BOX 521 | SAXONBURG, PA 16056  
P: 724-352-3811 F: 724-352-1059  
INFO@GRAFFSURVEYING.COM  
WWW.GRAFFSURVEYING.COM

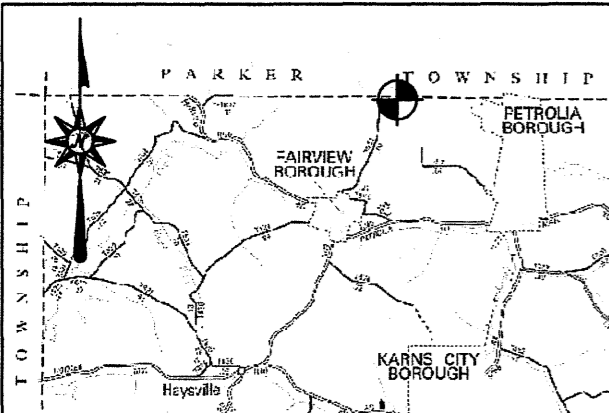
PROJECT DESCRIPTION

**GRAFF PLAN No. 4**  
BEING A  
**LOT LINE REVISION**  
FOR  
**RUTH GRAFF**  
**SETH & TIFFANY BANDI**

SITUATE

WINFIELD TOWNSHIP  
BUTLER COUNTY, PENNSYLVANIA

DATE	DRAWN	CHECKED	SCALE
5/17/23	SDG	Sdg	VARIES
PROJECT NO.	TAX PARCEL NO.	REVISION	
23-060	320-1F71-25 & 25D	-	



NOTE: NO ABSTRACT OF TITLE, NOR TITLE COMMITMENT, NOR RESULTS OF A TITLE SEARCH WERE FURNISHED TO THE SURVEYOR THERE MAY EXIST OTHER DOCUMENTS OF RECORD THAT WOULD AFFECT THIS SURVEYED PARCEL.

SUBJECT TO:  
EASEMENTS, SERVITUDES, RIGHTS-OF-WAY,  
LEASES, EXCEPTIONS, RESERVATIONS,  
RESTRICTIONS, ECT., IF ANY THAT MAY  
APPEAR EITHER RECORDED OR UNRECORDED.

BUILDING SETBACKS  
FRONT 50' FROM R\W  
SIDE 20'  
REAR 50'

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF BUTLER

on this 15 day of April, 2023 Before me a Notary Public

in and for said state and county personally came  
Jeffrey R. & Carol M. Johns known to be the person whose name is  
subscribed to the within instrument.

In witness whereof I have here unto set my name and official seal.

Notary Public

Commonwealth of Pennsylvania - Notary Seal  
ROBERT JOHN WHITE - Notary Public  
Butler County  
My Commission Expires September 12, 2026  
Commission Number 1192974

RIGHT-OF-WAY AGREEMENT

25' R\W FOR LOT #2 & REMAINDER  
20' STABILIZED CARTWAY

MAINTENANCE AND LIABILITY OF THE 25' R\W IS THE RESPONSIBILITY OF THE  
OWNERS OF LOT #2, AND THE REMAINING PARCEL.  
AND SHALL BE SHARED EQUALLY.

(I/we) hereby release and forever discharge the County of Butler, their successors and assigns from  
any liability, courses of action, claims or damages arising from or pertaining to in any manner  
said right-of-way. This dedication and release shall be binding upon the above  
named property owner(s), (her/his/their) heirs, executors, administrators and assigns  
and the purchasers of lots in this plan.

We, the undersigned JEFFREY R. & CAROL M. JOHNS (owners) of the Real Estate  
shown and described, here in do hereby certify that we have laid  
off, platted, and subdivided, and hereby layoff, plat, and  
subdivide said Real Estate in accordance with the within plat.

Jeffrey R. Johns  
Carol M. Johns  
Owner

Certification by Professional Land Surveyor

I, Richard D. Sedwick, a Professional Land Surveyor, registered by  
the Commonwealth of Pennsylvania, do hereby certify that the plan as shown  
hereon is based upon actual field survey of the land described and that  
all angles, distances and courses are correctly shown, that the monuments  
and markers have been set as shown on the plan and that this plan  
correctly represents the lots, land, streets, and easements surveyed.



NOV. 2022  
DATE

Reviewed by Parker Twp.

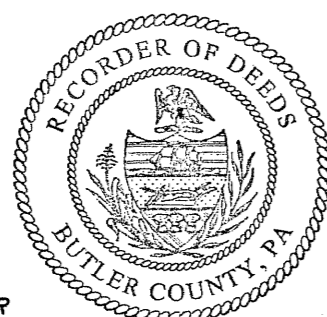
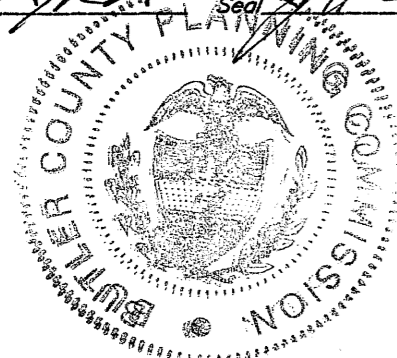
this 6 day of April, 2023  
Jeffrey Walawender  
Secretary Chairman

Reviewed by Fairview Twp.

this 10 day of April, 2023  
D. R. Sedwick  
Secretary Chairman

Final approval by the Butler County Planning Commission

this 2ND day of Aug, 2023  
Richard D. Sedwick  
Secretary Chairman



RECORDER'S CERTIFICATE  
COMMONWEALTH OF PENNSYLVANIA COUNTY OF BUTLER

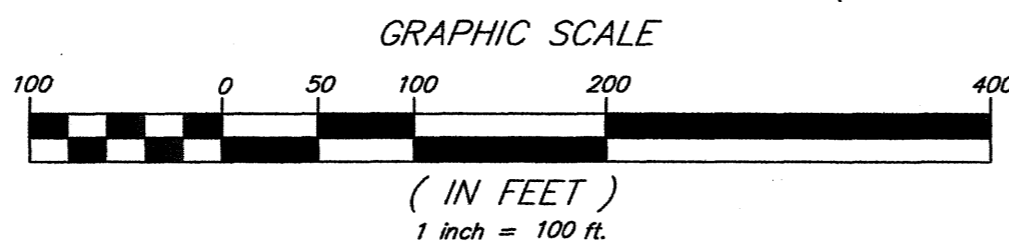
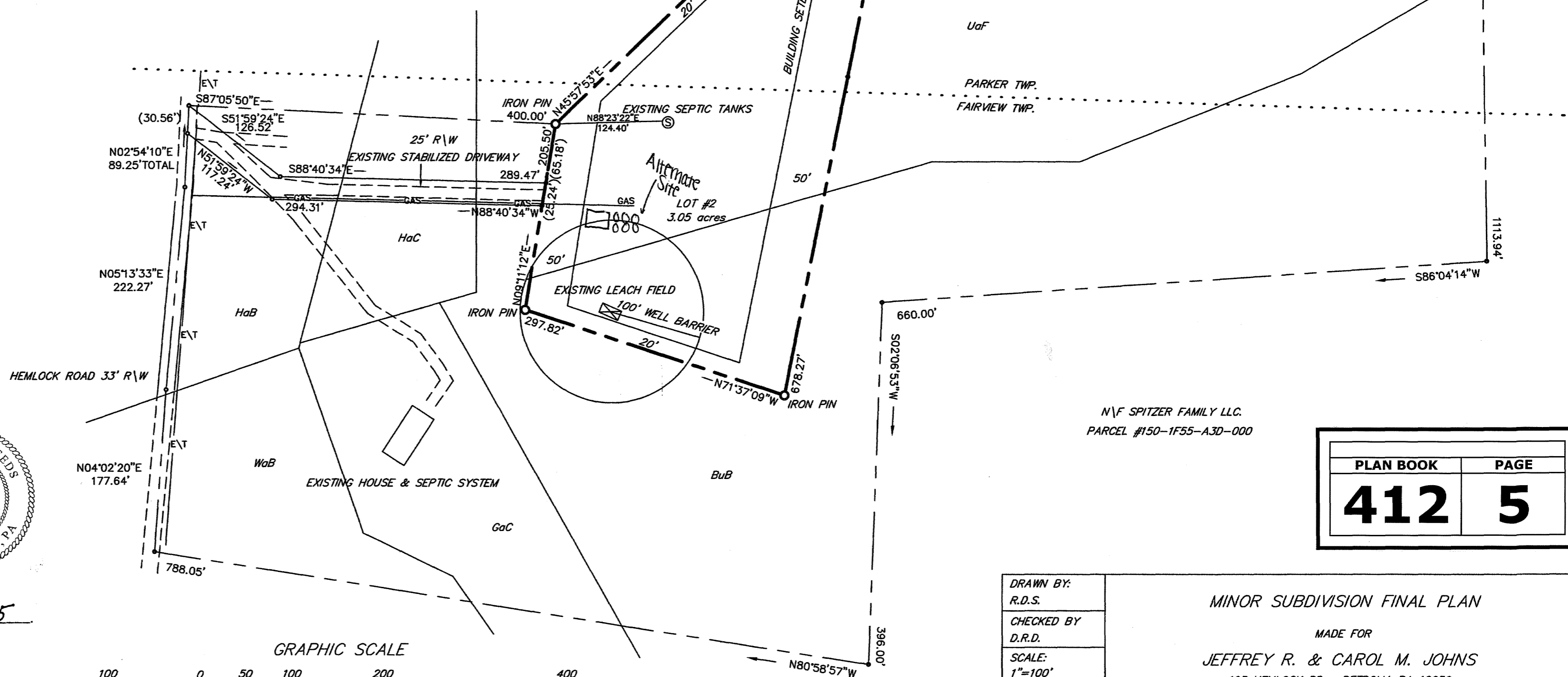
Recorded this 14 day of August, 2023 in the.

Register and Recorder of Deeds office, in Plan Book, Vol. 412, Page 5

Instrument number, 202308140011827

Michele M. Mustello  
Recorder of Deeds

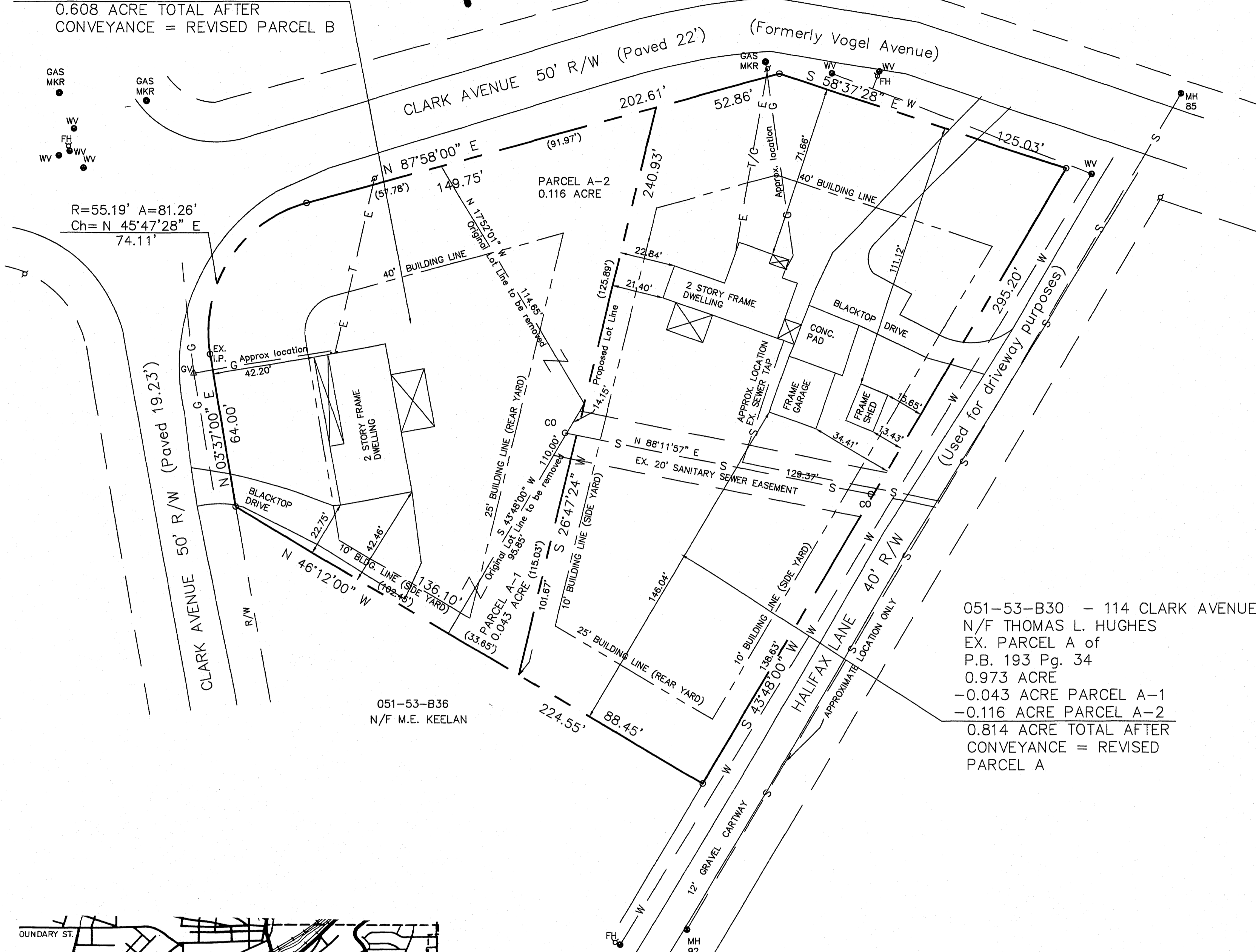
MICHELE M. MUSTELLO  
RECORDER OF DEEDS  
My Commission Expires First Monday in January 2024



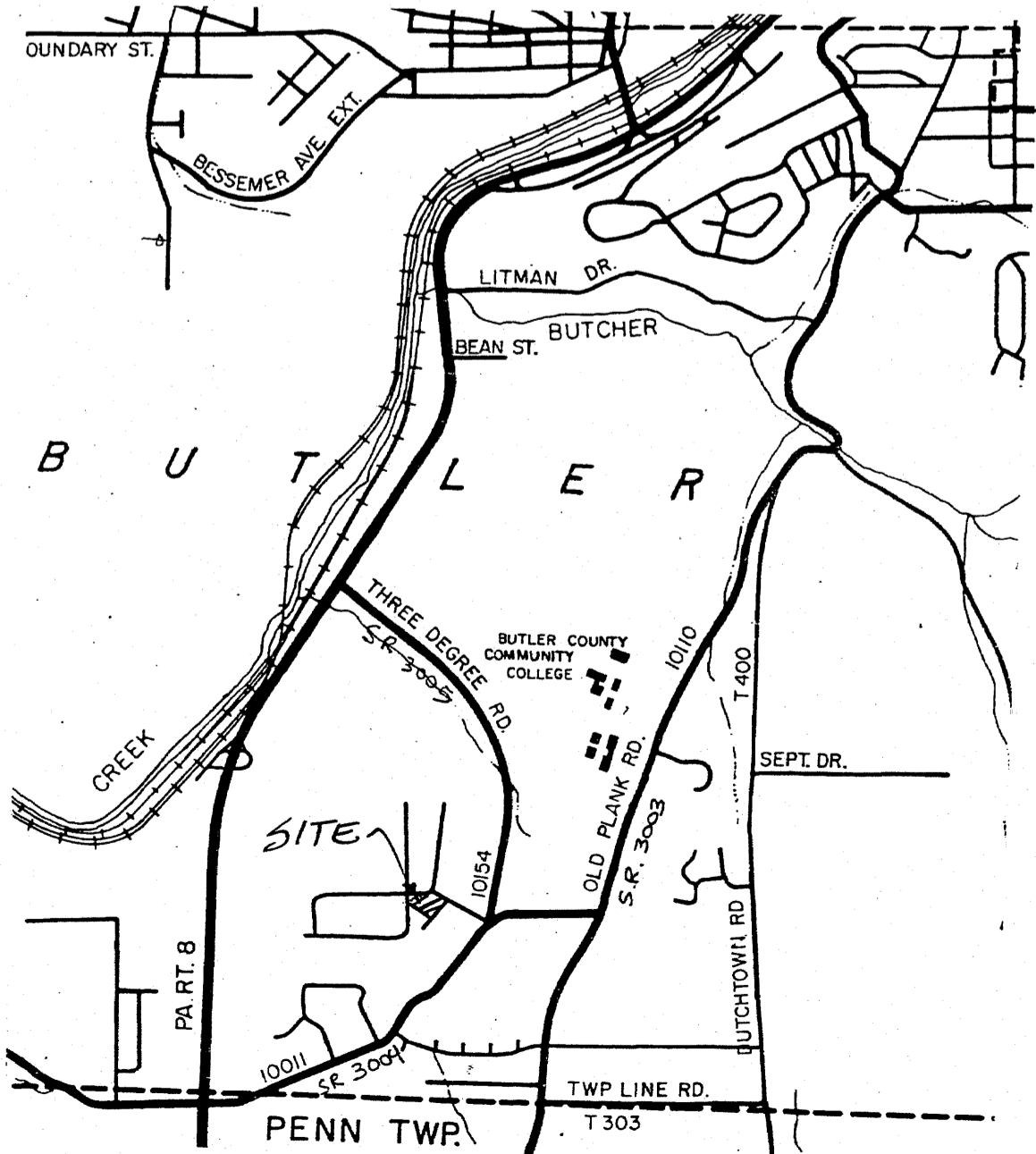
PLAN BOOK	PAGE
412	5

DRAWN BY: R.D.S.	MINOR SUBDIVISION FINAL PLAN  MADE FOR JEFFREY R. & CAROL M. JOHNS 195 HEMLOCK RD PETROLIA PA 16050  FAIRVIEW & PARKER TOWNS.  BUTLER CO. PA.
CHECKED BY D.R.D.	
SCALE: 1"=100'	
DATE: NOV. 2022	
DRAWING NO: 150-1F55-A3E	
RICHARD D. SEDWICK P.L.S.	CLARINGTON, PA. 724-355-9302

051-53-B30A - 405 CLARK AVENUE  
N/F MARK THOMAS HUGHES &  
JOANNE K. HUGHES  
EX. PARCEL B of P.B. 193 Pg. 34  
0.449 ACRE  
+0.043 ACRE PARCEL A-1  
+0.116 ACRE PARCEL A-2  
0.608 ACRE TOTAL AFTER  
CONVEYANCE = REVISED PARCEL B



051-53-B30 - 114 CLARK AVENUE  
N/F THOMAS L. HUGHES  
EX. PARCEL A of  
P.B. 193 Pg. 34  
0.973 ACRE  
-0.043 ACRE PARCEL A-1  
-0.116 ACRE PARCEL A-2  
0.814 ACRE TOTAL AFTER  
CONVEYANCE = REVISED  
PARCEL A



VICINITY MAP Scale: 1" = 2000'

Instr: 202308150011843  
Pg 1 of 34-00  
8/19/2023 9:46 AM  
Butler County Recorder PA

Know all men by these Presents, that we, Mark Thomas Hughes and Joanne K. Hughes, of the Township of Butler, County of Butler and State of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this Plan as our Plan of our property situated in Butler Township and do hereby dedicate forever for public use for highway and utility purposes, all drives, roads, lanes, ways, rights of way, and other public highways shown upon the plan, and we release, remise and discharge the Township of Butler, its successors or assigns, of and from all liability, courses of action, claims or damages arising from or pertaining to in any manner said roads and rights of ways.

we further agree that said plan is approved by the Township of Butler for "Planning Purposes Only" and that said township shall not issue any "Building Permits" for lots contained herein, nor shall any lots be deeded until either all of said roads and improvements in accordance with Butler Township Ordinance 730 and all other applicable ordinances have been completed and accepted by said township or until the township has approved a bond with sufficient surety to guarantee construction of the same.

In Witness Whereof, we hereunto set our hands and seals this 28 day of July, 2023

Substant NOTARY PUBLIC  
Joanne Hughes OWNER  
Mark Hughes OWNER

COMMONWEALTH OF PENNSYLVANIA)SS:  
COUNTY OF BUTLER)

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Mark Thomas Hughes and Joanne K. Hughes, and acknowledged the foregoing release and dedication and plan to be their act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this 28 day of July, 2023

My Commission Expires the 16 day of Aug, 2024

Substant NOTARY PUBLIC  
Commonwealth of Pennsylvania - Notary Seal  
Debra Painter, Notary Public  
Butler County  
My commission expires August 16, 2024  
Commission number 1124584  
Member, Pennsylvania Association of Notaries

TITLE CLAUSE (MORTGAGE CLAUSE)

We, Mark Thomas Hughes and Joanne K. Hughes, owners of this plan of subdivision in our names, do hereby certify that the title of this property is in the names of Mark Thomas Hughes and Joanne K. Hughes, as recorded in Deed Book Volume 2659 page 55, Recorder of Deeds Office.

W. Hunter WITNESS  
Joanne Hughes OWNER  
Mark Hughes OWNER

We, Huntington National Bank, mortgagee of the property embraced in this plan or subdivision in the names of Mark Thomas Hughes and Joanne K. Hughes, do hereby consent to the recording of said plan in the Recorder's Office of Butler County, Pennsylvania and to the dedications and covenants appearing hereon.

Charles M. Baker WITNESS  
Rob Hein MORTGAGEE

Charles M. Baker  
9-20-2023



NOTES:

SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.

ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREA OF MINIMAL FLOODING DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

ZONING: R-1

BUILDING SETBACK REQUIREMENTS:

40' FRONT YARD  
10' SIDE YARD  
25' REAR YARD

PROPERTY OWNERS: THOMAS HUGHES  
114 CLARK AVENUE  
BUTLER, PA 16002  
MARK & JOANNE HUGHES  
405 CLARK AVENUE  
BUTLER, PA 16002

REF: PLAN OF SUBDIVISION FOR THOMAS L. & DARLYNE E. HUGHES BY LAND SURVEYORS, INC., #96-124, P.B. 193 PG. 34.



PLAN BOOK	PAGE
412	6

Know all men by these Presents, that I, Thomas L. Hughes, of the Township of Butler, County of Butler and State of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this Plan as my Plan of my property situated in Butler Township and do hereby dedicate forever for public use for highway and utility purposes, all drives, roads, lanes, ways, rights of way, and other public highways shown upon the plan, and I release, remise and discharge the Township of Butler, its successors or assigns, of and from all liability, courses of action, claims or damages arising from or pertaining to in any manner said roads and rights of ways.

I further agree that said plan is approved by the Township of Butler for "Planning Purposes Only" and that said township shall not issue any "Building Permits" for lots contained herein, nor shall any lots be deeded until either all of said roads and improvements in accordance with Butler Township Ordinance 730 and all other applicable ordinances have been completed and accepted by said township or until the township has approved a bond with sufficient surety to guarantee construction of the same.

In Witness Whereof, I hereunto set my hand and seal this 28 day of July, 2023

Substant NOTARY PUBLIC  
Mark Hughes OWNER

COMMONWEALTH OF PENNSYLVANIA)SS:  
COUNTY OF BUTLER)

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Thomas L. Hughes, and acknowledged the foregoing release and dedication and plan to be his act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this 28 day of July, 2023

My Commission Expires the 16 day of Aug, 2024

Substant NOTARY PUBLIC  
Commonwealth of Pennsylvania - Notary Seal  
Debra Painter, Notary Public  
Butler County  
My commission expires August 16, 2024  
Commission number 1124584  
Member, Pennsylvania Association of Notaries

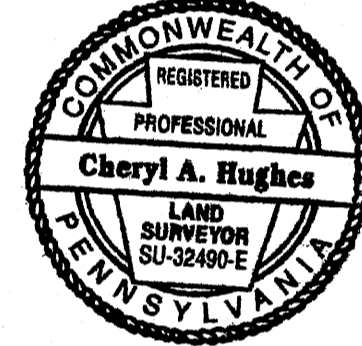
TITLE CLAUSE (NO MORTGAGE)

I, Thomas L. Hughes, owner of this plan of subdivision in my name, do hereby certify that the title of this property is in the name of Thomas L. Hughes, as recorded in Deed Book Volume 927 page 465, Recorder of Deeds Office. I further certify that there is no mortgage, lien or encumbrance against this property.

Substant WITNESS  
Mark Hughes OWNER

I, Cheryl A. Hughes, a Registered Surveyor of the Commonwealth of Pennsylvania, do hereby certify that the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan correctly represents the lots, land, streets and highways as surveyed and plotted by me for the owners or agents.

DATE June 19, 2023 SEAL Cheryl A. Hughes  
SIGNATURE AND REG. NO. SU-32490-E



The Board of Commissioners of the Township of Butler hereby gives public notice that in approving this plan for recording purposes only, the Township assumes no obligations, legal or otherwise, expressed or implied, either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

Theresa Guisler SECRETARY  
Paul Sant PRESIDENT

Approved by the Board of Commissioners of the Township of Butler this 17th day of July, 2023

Theresa Guisler SECRETARY  
Paul Sant PRESIDENT OF BOARD

Approved by the Butler Township Planning Commission this 11th day of July, 2023

F. Nash SECRETARY  
R. Hensch CHAIRMAN

Reviewed by the Butler County Planning Commission this 21st day of June, 2023

R. Henn SECRETARY  
J. Hiner CHAIRMAN

Butler Co. Plan #23113

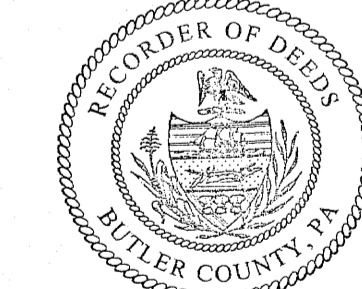
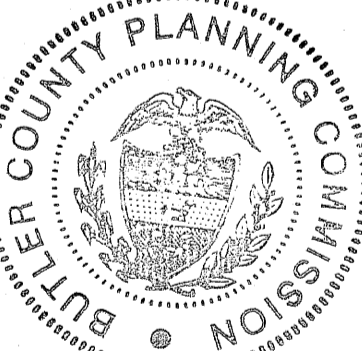
COMMONWEALTH OF PENNSYLVANIA)SS:  
COUNTY OF BUTLER)

Recorded in the Recorder's Office for the recording of deeds, plans, etc., in said County in Plan Book

Volume 412 page 6

Given under my hand and seal this 15th day of August, 2023

Michele M. Mustello SEAL  
MICHELE M. MUSTELLO  
RECORDER OF DEEDS  
My Commission Expires First Monday in January 2024



REVISED 06/19/2023; ENGINEER'S REVIEW COMMENTS

L S J	Land Surveyors, Inc. 523 North Main Street P.O. Box 1061 Butler, PA 16003-1061 (724) 287-6865 Cheryl A. Hughes, PLS Owner	
	LOT LINE REVISION FOR: THOMAS L. HUGHES and MARK THOMAS HUGHES & JOANNE K. HUGHES SITUATE: BUTLER TWP., BUTLER CO., PA	
Date 06/02/2023	Scale 1" = 30'	Dwn By REC
Parcel No. 051-53-B30 & B30A	Db-Pg 927-465	Service No. 23-061
Address 405/411 CLARK AVENUE	Db-Pg 2659-55	

GENERAL NOTES

- OWNER OF RECORD: SCOTT & MICHELLE BRADLEY
- SOURCE OF TITLE: INSTRUMENT NUMBER 201904170006773
- TAX PARCEL ID: 330-4F86-9-0000 PBV 405 PG 39
- PROPERTY ADDRESS: NEW CASTLE ROAD, SLIPPERY ROCK, PENNSYLVANIA 16057
- THE DEED OF RECORD HAS A CLOSURE ERROR OF 0.52 FEET.
- SUBJECT PROPERTY LINES ON THIS PLAN HAVE BEEN ESTABLISHED THROUGH FIELD BOUNDARY SURVEY BY HERBERT, ROWLAND AND GRUBIC, INC. IN DECEMBER 22, 2021, UTILIZING DEEDS RECORD.
- THIS SURVEY HORIZONTALLY REFERENCES NAD83 PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE AND DERIVED FROM GPS OBSERVATION.
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO EASEMENTS AND OTHER RESTRICTIONS, EITHER RECORDED OR UNRECORDED. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENT OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE OTHER THAN WHAT IS SHOWN ON THIS PLAN.
- PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES IN COMPLIANCE WITH ACT 187 TO VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES. A PA ONE CALL WAS PERFORMED PRIOR TO FIELD SURVEYING. PA ONE-CALL SERIAL NUMBER 20213542955 HAS BEEN ASSIGNED TO THIS PROJECT AS OF 12-20-2021.
- THE PROPERTY IS IN MINIMAL FLOOD HAZARD ZONE ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 42019C01400.
- THE TOWNSHIP, BY APPROVING AND EXECUTING THIS FINAL PLAT, IN NO WAY UNDERTAKES ANY RESPONSIBILITY WITH REGARD TO STORM WATER RUNOFF OR WETLANDS AND/OR OTHER ENVIRONMENTAL REQUIREMENTS OR MATTERS. FURTHER, THE TOWNSHIP UNDERTAKES NO RESPONSIBILITY FOR OPERATING ANY ACTIVITIES AT THE SUBDIVISION.
- RIGHT OF WAY FOR SR108 SHOWN HEREON IS BASED UPON PLANS PROVIDED BY THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION DISTRICT 10-0, ROUTE 108, SECTION 201 R/W FOR FEDERAL PROJECT NUMBER 330-STP1-220 APPROVED SEPTEMBER 02, 1998 AND RECORDED IN MAP BOOK 65 PAGE 39.

EXISTING LEGEND

	Monument		Existing Private Utility Pole
	Iron Pipe		Existing Guy Wire
	Iron Pin		Existing Electrical Box
	Deed Line		Existing Gas Line
	Legal Right-of-Way Line		Existing Gas Valve
	Existing Curb		Existing Gas Meter
	Existing Edge of Road		Existing Sanitary Sewer Line
	Existing Stream/Ditch		San. MH
	Existing Above Ground Telephone Line		Existing Cleanout
	Existing Above Ground Electric Line		Existing Water Line
	Existing Underground Electric Line		Existing Water Valve
	Existing Electric Pole		Existing Fire Hydrant
	Probe Test Site - Failed		
	Probe Test Site - Satisfactory		
	Percolation Test Site - Failed		
	Percolation Test Site - Satisfactory		

SITE DATA

ZONE	N/A			
	LOT #1		LOT #2A	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
MINIMUM LOT AREA	1.5 AC.	2.48 AC.	2 AC.	5.37 AC.
MINIMUM FRONT YARD SETBACK	50 FT.	50 FT.	50 FT.	50 FT.
MINIMUM SIDE YARD SETBACK	25 FT.	25 FT.	25 FT.	25 FT.
MINIMUM REAR YARD SETBACK	50 FT.	50 FT.	50 FT.	50 FT.

PARCEL OWNERSHIP

OWNER	PARCEL ID:	PB/DB/PG/INST
SUBJECT - SCOTT & MICHELLE BRADLEY	330-4F86-9	201904170006773

AREA TABLE

EXISTING/ OVERALL AREA-	7.85 ACRES (341,980 SQ FT)
LOT #3	2.48 ACRES (108,023 SQ FT)
LOT #2	5.37 ACRES (233,957 SQ FT)

PLAN BOOK	PAGE
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SURVEYOR'S CERTIFICATION

I, PAUL L. SAMPLE, A PROFESSIONAL SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS TRUE AND CORRECT TO THE STANDARDS OF THE WORTH TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND THAT THE SURVEY AND ALL ANGLES, DISTANCES, AND COURSES ARE ACCURATELY SHOWN, THAT THE MONUMENTS AND MARKERS AS SHOWN ON THE PLAT HAVE BEEN, OR WILL BE SET, AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.



Paul L. Sample  
PROFESSIONAL'S SIGNATURE  
SU075659  
REGISTRATION NUMBER  
7-25-2023  
DATE



UTILITY COMPANIES

GAS COMPANY: COLUMBIA GAS  
ELECTRIC COMPANY: WEST PENN POWER  
TELEPHONE COMPANY: CENTURYLINK  
SEWER AUTHORITY: SLIPPERY ROCK MUNICIPAL AUTHORITY  
WATER AUTHORITY: SLIPPERY ROCK MUNICIPAL AUTHORITY  
TOWNSHIP: WORTH

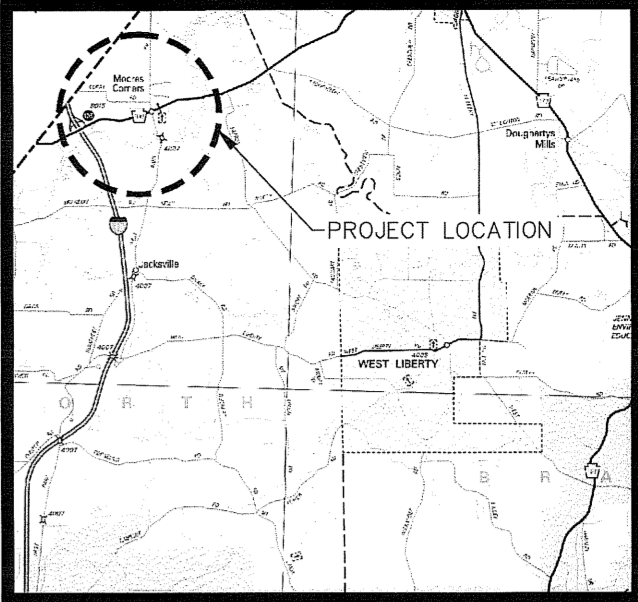
PA ONE CALL

ACT 287, AS AMENDED



PENNSYLVANIA ACT 287 (1974) AS AMENDED, REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH. PA ONE-CALL SERIAL NO. 20213542955 HAS BEEN ASSIGNED TO THIS PROJECT ON 2021.12.20.

Inst: 202308170012065  
Pg: 1 P: 545-00  
Michele Mustello  
Butler County Recorder PA



WORTH TOWNSHIP, PENNSYLVANIA  
PENNDOT TYPE 10 MAP  
LOCATION MAP  
SCALE: 1"=2000'

OWNER'S CERTIFICATION

WE, SCOTT & MICHELLE BRADLEY OWNER(S) OF THE LAND SHOWN ON THE SUBDIVISION PLAN FOR SCOTT & MICHELLE BRADLEY, THE UNDERSIGNED, HEREBY DECLARE THAT WE ARE THE OWNER(S) OF THE PROPERTY SHOWN ON THIS FINAL PLAN, THAT THE FINAL PLAN AND THE PROPOSED SUBDIVISION WERE MADE WITH THE OWNER(S)'S CONSENT, AND THAT THE OWNER(S) OF THE FINAL PLAN TO BE RECORDED AS SUCH.

IN WITNESS WHEREOF WE HAVE SET OUR HANDS AND SEALS THIS 31 DAY OF July 2023

Scott Bradley  
Michelle Bradley  
MICHELLE BRADLEY

ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF BUTLER

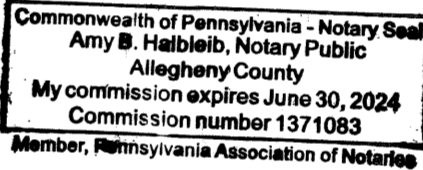
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED THE ABOVE NAMED SCOTT & MICHELLE BRADLEY WHO ACKNOWLEDGED THE FOREGOING FINAL PLAN OF SUBDIVISION OR LAND DEVELOPMENT TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 31 DAY OF July 2023

Amy B. Halbleib  
(NOTARY PUBLIC)

MY COMMISSION EXPIRES THE 30 DAY OF June 2024

SEAL



WORTH TOWNSHIP APPROVAL

REVIEWED AND APPROVED BY THE WORTH TOWNSHIP PLANNING COMMISSION ON THIS 20th DAY OF July 2023

Secretary: [Signature]  
Chairperson: [Signature]

REVIEWED AND APPROVED BY THE BOARD OF SUPERVISORS ON THIS 1st DAY OF August 2023

Secretary: [Signature]  
Chairperson: [Signature]

BUTLER COUNTY PLANNING COMMISSION APPROVAL

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 19th DAY OF July 2023

SIGNED AND NOTED AS APPROVED THIS DAY OF July 23, 2023

Secretary: [Signature]  
Chairperson: [Signature]

SEE COMMENTS ON FILE AT THE BUTLER COUNTY PLANNING COMMISSION

23128

PLAN NUMBER

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF BUTLER

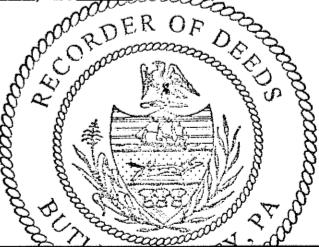
RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, PLATS AND PLANS IN SAID COUNTY, IN PLAN BOOK VOLUME 412 PAGE(S) 7

GIVEN UNDER MY HAND AND SEAL THIS 17th DAY OF August 2023

RECORDER: [Signature]

MICHELE M. MUSTELLO  
RECORDER OF DEEDS

My Commission Expires First Monday In January 2024



NO.	REVISION	DATE	BY
3	REVISED PER TOWNSHIP COMMENTS	2022.07.06	DMN
2	ADD PERC AND TEST PIT LOCATIONS	2022.05.11	CAB
1	REVISED PER LOT LINE CHANGE	2022.04.26	CAB

**HRG**  
Herbert, Rowland & Grubic, Inc.  
Engineering & Related Services  
AN EMPLOYEE-OWNED COMPANY

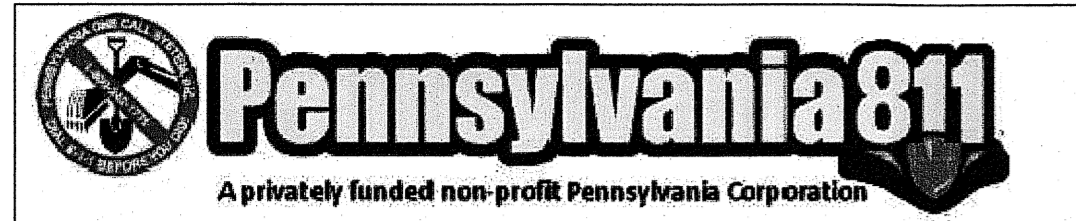
220 West Kensinger Drive, Suite 100  
Cranberry Township, PA 16066  
(724) 779-4777  
Fax (724) 779-4711  
hrg@hrg-inc.com  
www.hrg-inc.com

SCOTT & MICHELLE BRADLEY  
912 NEW CASTLE ROAD  
SLIPPERY ROCK, PENNSYLVANIA 16057

FINAL  
MINOR SUBDIVISION PLAN  
FOR LOT #3  
SCOTT & MICHELLE BRADLEY  
WORTH TOWNSHIP BUTLER COUNTY PENNSYLVANIA

PROJ. MGR. - PLS  
DESIGN-  
CADD- DMH/PLS  
CHECKED-  
SCALE- AS SHOWN  
DATE- JULY 2023

DRAWING NO.  
**SD**  
SHEET NO.  
1 OF 1  
PROJECT S010161042550



THREE WORKING DAYS PRIOR TO EXCAVATION, THE  
CONTRACTOR MUST CONTACT THE PA ONE CALL  
SYSTEM, INC., 1-800-242-1776  
PA ONE CALL      # 20210693303

# FINAL LAND DEVELOPMENT PLAN SLIPPERY ROCK STORAGE UNITS SLIPPERY ROCK TOWNSHIP BUTLER COUNTY, PA JULY 2023

Revised August 2023

Inst#: 202308180012135  
Pg: 3 of 125-00  
Michele Mustello  
Butler County Recorder PA  
8/18/2023 3:40 PM  
T20230809546

FINAL PLANS PREPARED BY:  
**BOORD BENCHEK & ASSOCIATES, INC.**  
ENGINEERING, SURVEYING, CONSTRUCTION AND MINING SERVICES  
SOUTHPOINTE, PA 15317 PHONE: 724-746-1055

**OWNERS'S CERTIFICATION**

(I or We), Dharmendra Shah, President  
(Name of owner or owners; name and title of legally-authorized officer or representative)  
the undersigned, hereby declare that MDS Storage LLC  
(I or we or name of partnership, corporation, etc.)  
(is or are) the owner(s) of the property shown on this final plan, that the  
final plan and the proposed subdivision or land development were made  
with the owner's(s') consent, and that the owner(s) desire(s) the final plan  
to be recorded as such.

In witness whereof (I or we) have set (my or our) hand(s) and seal(s) this  
31 day of July, 2023.

D Shah  
(Owner signature)

**ACKNOWLEDGEMENT**

COMMONWEALTH OF PENNSYLVANIA }  
COUNTY OF BUTLER } SS:  
Before me, the subscriber, a Notary Public in and for said County and  
Commonwealth, personally appeared the above named  
Dharmendra Shah, President  
(Name of owner or owners; name and title of legally-authorized officer or representative)  
who acknowledged the foregoing final plan of subdivision or land  
development to be (his, her, their) act and deed and desired the same to  
be recorded as such.

WITNESS MY HAND AND NOTARIAL SEAL this 31 day of July, 2023.

Bradley Polinsky SEAL  
(Notary Public)

My commission expires the 2 day of Sept, 2024.

INDEX OF DRAWINGS	NO. OF SHEETS
1. FINAL LAND DEVELOPMENT PLAN	3
2. E&S CONTROL & SITE PLAN	13
3. POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN	10
4. GRADING PLAN	1
5. LIGHTING PLAN	1
6. DRIVEWAY & SITE CIRCULATION PLAN	1

**SITE DATA**

**OWNER**  
MDS STORAGE LLC  
411 PERRY HWY  
PITTSBURGH, PA 15229

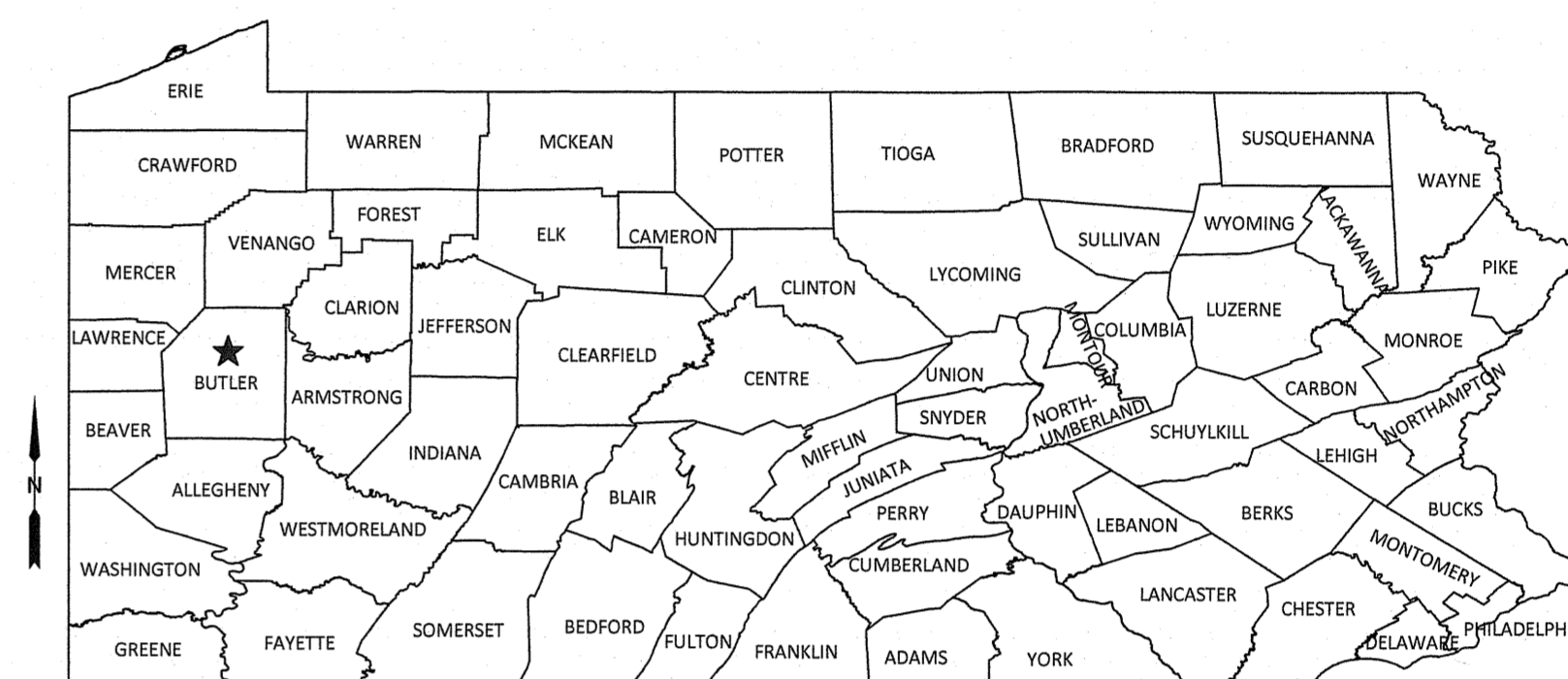
**CONTACT: DHARMENDRA SHAH**  
**PHONE: 412-537-7156**

**SITE ADDRESS:**  
80 WOODBRIDGE DRIVE  
SLIPPERY ROCK, PA 16057

**TAX MAP**  
280-4F09-117G-0000

**INSTRUMENT NUMBER**  
202209260020403

**ZONING DISTRICT**  
HIGHWAY COMMERCIAL DISTRICT (C-1)



★= PROJECT LOCATION

## COORDINATES

SITE ENTRANCE  
(NAD 83)  
LAT: 41.07432°  
LONG: -80.05089°  
(NAD 27)  
LAT: 41.07426°  
LONG: -80.05111°

**SLIPPERY ROCK PLANNING COMMISSION APPROVAL**

Approved by the Slippery Rock Planning Commission

this 14<sup>th</sup> day of August, 2023

Vannie Hogg (Secretary) Chris E. Johnson (Chairman)

**SLIPPERY ROCK SUPERVISOR APPROVAL**

Approved by the Slippery Rock Supervisor

this 14<sup>th</sup> day of August, 2023

Vannie Hogg (Secretary) Paul P. Dier (Chairman)

**PROFESSIONAL CERTIFICATION**

I, Andrew E. Benchek, a Professional Engineer  
(Name of Professional) (Surveyor, Engineer, Landscape Architect)

of the Commonwealth of Pennsylvania, do hereby certify that this plan  
shown hereon is true and correct to the standards of the Butler County  
Subdivision and Land Development Ordinance and that survey and all  
angles, distances, and courses are accurately shown, that the monuments  
and markers as shown on the plat have been, or will be set, and to the  
best of my knowledge, that this plan correctly represents the lots, lands,  
streets, and highways as surveyed and plotted by me or the owners or  
agents.

Andrew E. Benchek SEAL  
(Professional's Names)

PE077826  
(Professional's Registration No.)

7-31-2023  
(Date)

REVISIONS		
NO.	DATE	DESCRIPTION

## TITLE SHEET

SLIPPERY ROCK STORAGE UNITS  
SLIPPERY ROCK TOWNSHIP  
BUTLER COUNTY, PA

## SHEET

1  
OF  
3



SCALE BAR: 1"=1000'  
0' 1000' 2000' 3000'

PLAN BOOK	PAGE
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**BUTLER COUNTY PLANNING COMMISSION APPROVAL**

Reviewed by the Butler County Planning Commission

this 19<sup>th</sup> day of OCT., 2022

R. Hogg (Secretary) Chris E. Johnson (Chairman)

See Comments On File at the Butler County Planning Commission

Plan Number: 22218

**PROOF OF RECORDING**

COMMONWEALTH OF PENNSYLVANIA }  
COUNTY OF BUTLER } SS:  
Recorded in the office for the recording of deeds, plats and plans in said  
County, in Plan Book Volume 412 Page(s) 8-10

Given under my hand and seal this 18<sup>th</sup> day of August, 2023.

MICHELE M. MUSTELLO  
RECORDER OF DEEDS  
(Recorder of Deeds)

<b>PLAN BOOK</b>	<b>PAGE</b>
<b>412</b>	<b>9</b>

LINE	BEARING	DISTANCE
L1	N 88°16'19" W	39.48'
L2	N 88°16'16" W	45.84'
L3	N 87°36'14" E	48.20'
L4	S 87°36'14" W	44.60'
L5	N 88°16'16" W	45.47'
L6	S 01°43'44" W	50.13'
L7	S 01°19'25" W	50.00'

**BOORD, BENCHEK and ASSOC., INC.**  
Engineering, Surveying, Construction,  
and Mining Services  
Southpointe, PA 15317 Phone: 724-746-1055

Southpointe, PA 15317 Phone: 724-746-1055

# LAND DEVELOPMENT EXISTING OVERVIEW

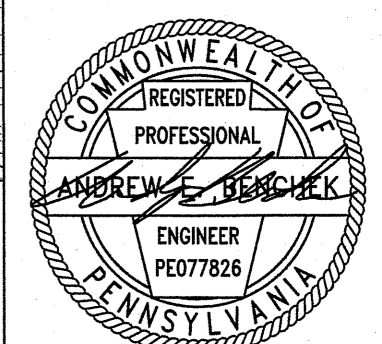
THIS DOCUMENT WAS PREPARED BY:  
BOORD, BENCHEK AND ASSOC., INC.  
FOR: MDS STORAGE LLC

DATE: SEPTEMBER 2022

## SLIPPERY ROCK STORAGE UNITS

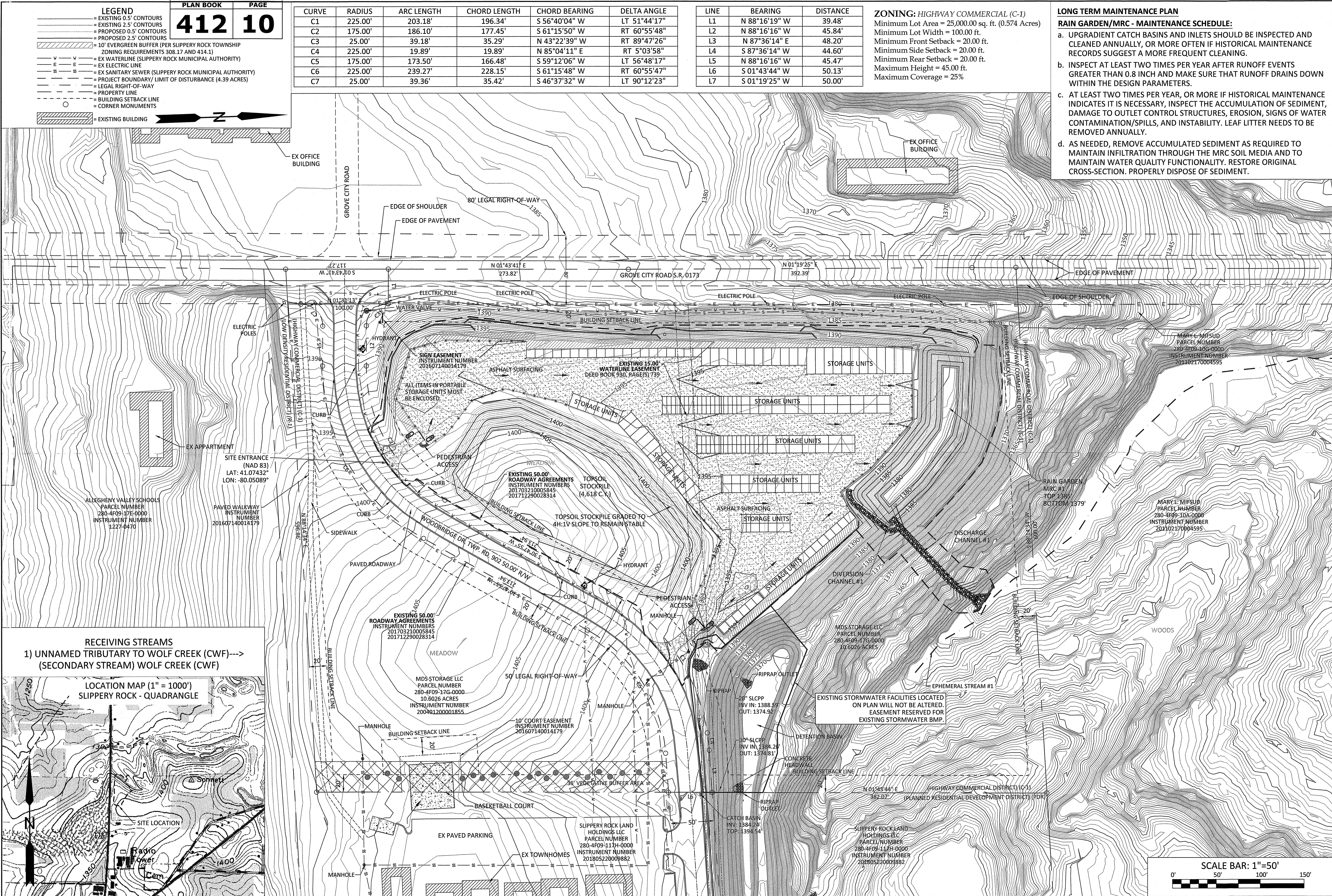
SLIPPERY ROCK TWP,  
BUTLER COUNTY, PA

REVISIONS		
NO.	DATE	DESCRIPTION
2.	11/14/22	COMMENTS FROM BUTLER COUNTY CONSERVATION DISTRICT AND SLIPPERY ROCK TOWNSHIP PLANNING COMMISSION



SHEET 2 OF 3





**BOORD, BENCHEK and ASSOC., INC.**  
Engineering, Surveying, Construction,  
and Mining Services

Southpointe, PA 15317 Phone: 724-746-1055

**LAND DEVELOPMENT PROPOSED  
OVERVIEW**

DATE:  
SEPTEMBER 2022

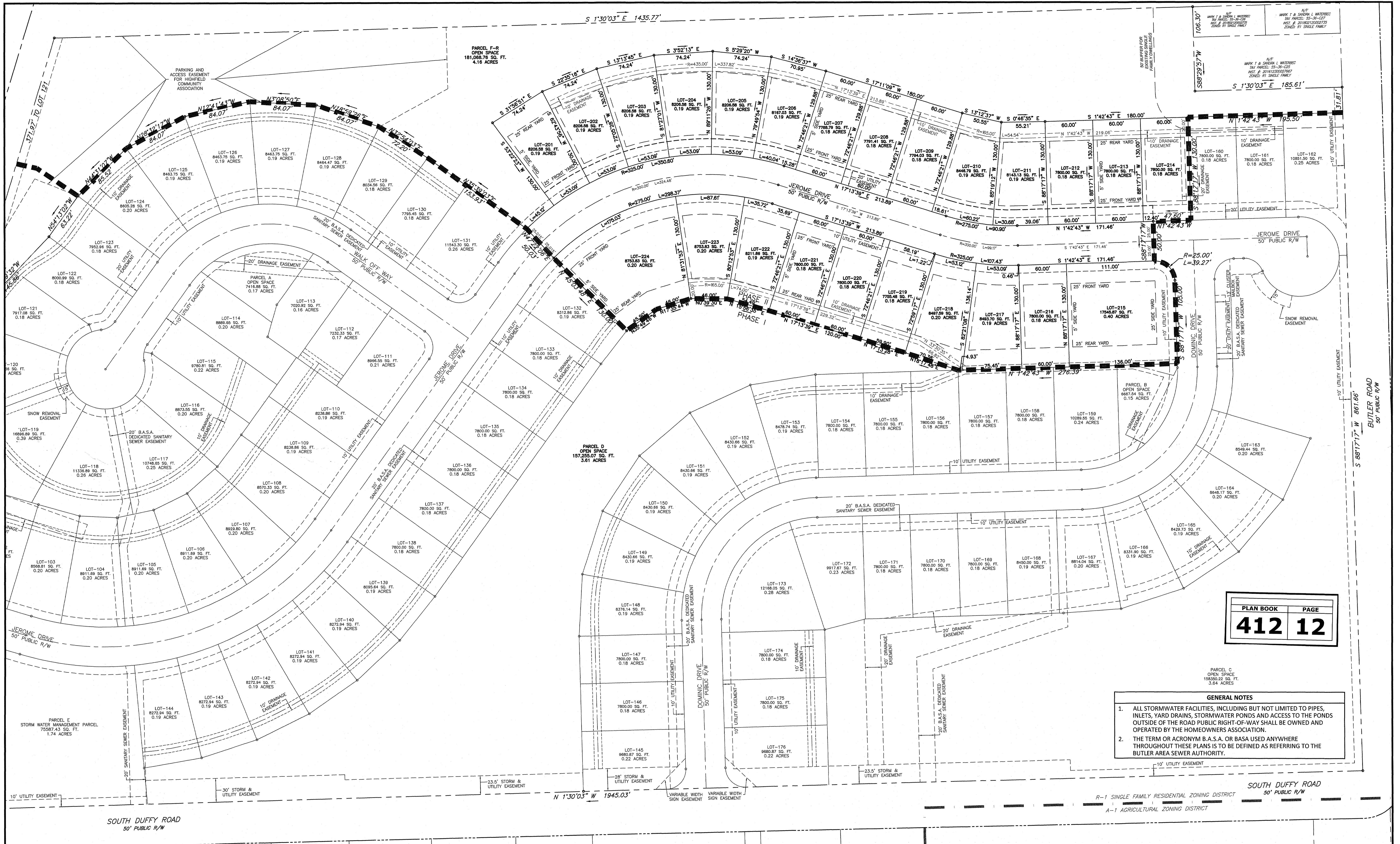
SLIPPERY ROCK  
STORAGE UNITS


SLIPPERY ROCK TWP,  
BUTLER COUNTY, PA

REVISIONS		DESCRIPTION
NO.	DATE	COMMENTS FROM BUTLER COUNTY CONSERVATION DISTRICT AND SLIPPERY ROCK TOWNSHIP PLANNING COMMISSION
2.	11/24/22	COMMENTS FROM BUTLER COUNTY CONSERVATION DISTRICT
3.	1/11/23	ADDED MRC LONG TERM MAINTENANCE PLAN AND EASEMENT FOR EX. SWM BMP
4.	2/6/23	

**COMMONWEALTH OF PENNSYLVANIA**  
REGISTERED PROFESSIONAL ENGINEER  
ANDREW W. BENCHEK  
PE077826







Know what's below.  
Call before you dig.

POCS SER. #: DESIGN - 2018123614  
DIG - 2018123608

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DATE:

2021-02-09	Initial Submission	BJS
2021-03-09	Address Engineer Comments	BJS
2021-04-02	Address Engineer Comments	BJS
2021-04-28	Final Plans to Butler Sewer Authority	BJS
2022-02-17	Update Plan Set w/ Rain Garden	BJS
2022-02-17	Issued for Construction	BJS

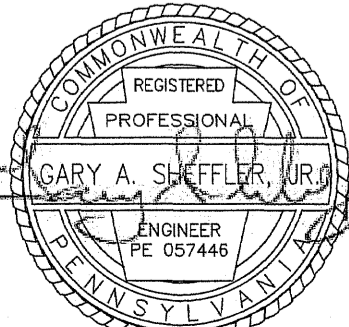
REVISION DESCRIPTION:

2021-02-09	Initial Submission	BJS
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2021-04-28	Final Plans to Butler Sewer Authority	BJS
2022-02-17	Update Plan Set w/ Rain Garden	BJS
2022-02-17	Issued for Construction	BJS

By:

BJS
BJS
BJS
BJS
BJS
BJS

Professional Seal



Prepared By:

**Sheffler & Company, Inc.**  
ENGINEERING • SURVEYING

1712 Mount Nebo Road  
Sewickley, PA 15143

Office Phone: 412-219-4509  
Email: Info@ShefflerCo.com

Highfield Trails 100  
Subdivision Phase 2

Prepared For:  
**AFE & Allman Land Group, LLC**

Situate In:  
**Butler Township, Butler County, Pennsylvania**

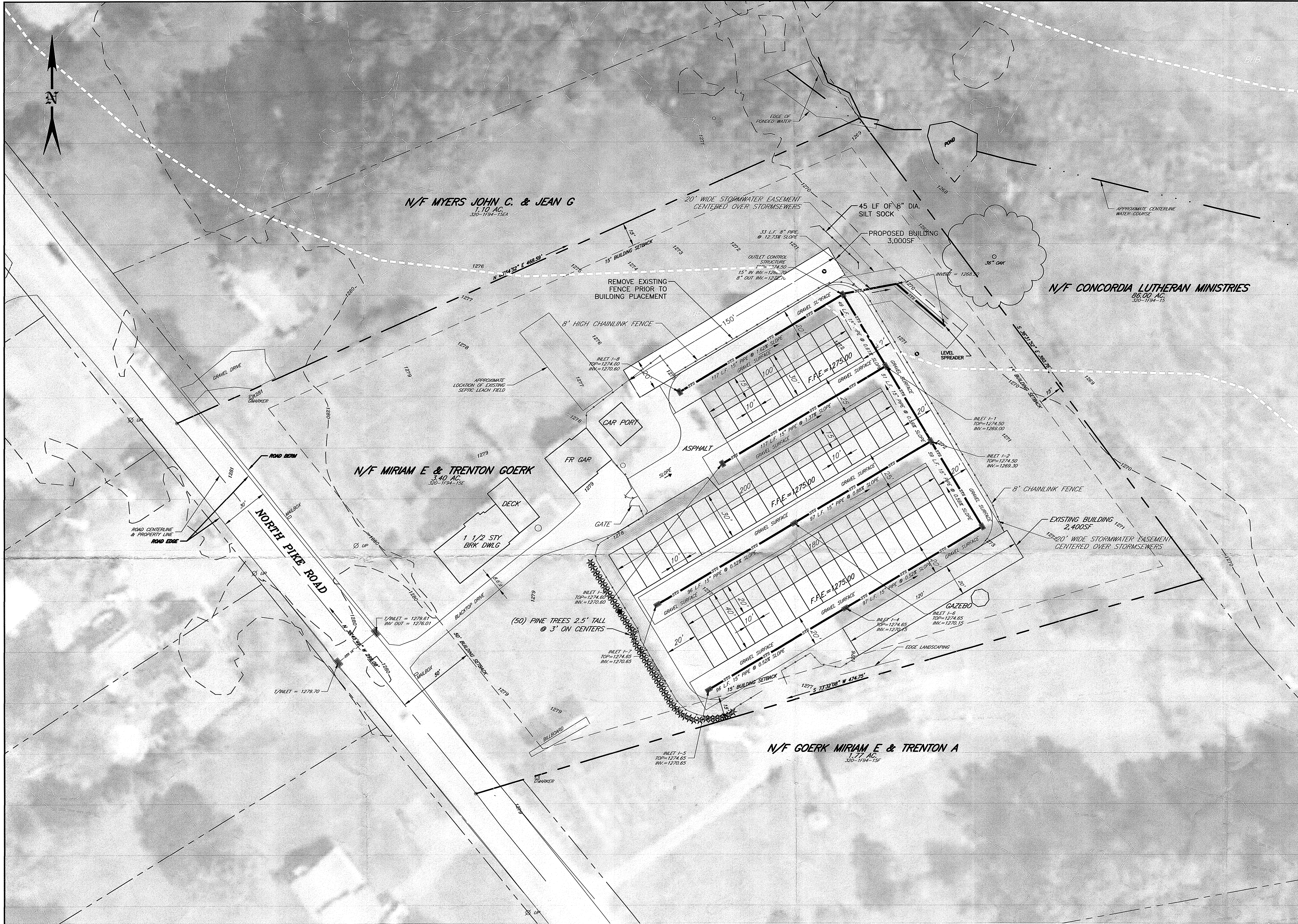
Being a Subdivision of the Consolidation Parcel shown in Highfield Trails Consolidation Plan No. 1, to be recorded.

DRAWING SCALE: 1" = 50'	DESIGNED BY: RLS
DATE ISSUED: 03/10/2020	REVIEWED BY: GAS
PROJECT JOB#: 3729	FIELD BOOK #: ---
CADD#: 3729 - S. Duffy - REC3 - Phase 2 Subdivision.dwg	

AFE & Allman Land Group, LLC  
1768 North Main St., Suite 4  
Butler, PA 16001  
724-496-2222

Sheet No.

**REC4**



- GENERAL NOTES:**
1. PROPOSED ADDITIONAL STORAGE BUILDING 20'X150' = 3,000 SF
  2. STORMWATER MANAGEMENT – ROOF DRAINS TO BE CONNECTED INTO EXISTING STORMWATER CONVEYANCE SYSTEM ON-SITE.

**OWNER'S ADOPTION**

KNOW ALL MEN BY THESE PRESENTS, THAT (I OR WE) MIRIAM E AND TRENTON GOERK OF THE WINFIELD TOWNSHIP OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS PLAN AS OUR PLAN OF LOTS OF OUR PROPERTY, SITUATE IN WINFIELD TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERSE ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR HIGHWAY PURPOSES ALL STREETS AND WAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS (AND DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE THE DESIGNATED LAND AREAS ON THE PLAN FOR RECREATION AND OTHER PURPOSES AS SPECIFIED ON THE PLAN) AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF WINFIELD, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREFTER AT ANY TIME, THIS DEDICATION AND RELEASE SHALL BE BINDING UPON MIRIAM E AND TRENTON GOERK OUT HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE HEREUNTO SET OUR HAND AND SEAL THIS 24<sup>th</sup> DAY OF July, 2023

ATTEST:  
Megan Warrick NOTARY PUBLIC  
Miriam E & Trenton Goerk OWNER

**INDIVIDUAL ACKNOWLEDGMENT**

COMMONWEALTH OF PENNSYLVANIA )  
COUNTY OF BUTLER ) SS:

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED THE ABOVE NAMED MIRIAM E AND TRENTON GOERK, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AND SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 24 DAY OF July, 2023.  
MY COMMISSION EXPIRES THE 12<sup>th</sup> DAY OF April, 2027.

Megan Warrick NOTARY PUBLIC

**TITLE CLAUSE**

WE, MIRIAM E AND TRENTON GOERK, OWNERS OF THE SELF STORAGE FACILITY PROPOSED SITE PLAN, DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF MIRIAM E AND TRENTON GOERK AS RECORDED IN INSTRUMENT #200901150000763, RECORDED OF DEEDS OFFICE.

WITNESS Trenton Goerk OWNER  
Miriam E Goerk OWNER

I, (OR WE) Trenton Goerk MORTGAGEE OF THE PROPERTY EMBRACED IN THIS PLAN OR SUBDIVISION, SELF STORAGE FACILITY PROPOSED SITE PLAN DO HEREBY CONSENT TO THE RECORDING OF SAID PLAN IN THE RECORDERS OFFICE OF BUTLER COUNTY, PENNSYLVANIA, AND TO THE DEDICATIONS AND COVENANTS APPEARING HEREON.

WITNESS Trenton Goerk MORTGAGEE  
Miriam E Goerk Representative of PNB

**LOCAL AUTHORITY STIPULATION**

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WINFIELD HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF WINFIELD ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS, OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

Paul Altu SECRETARY  
Don Olofe VICE CHAIRMAN, BOARD OF SUPERVISORS

**LOCAL PLANNING COMMISSION APPROVAL**

APPROVED BY THE WINFIELD TOWNSHIP PLANNING COMMISSION THIS 5<sup>th</sup> DAY OF July, 2023.

Paul Altu SECRETARY  
Paul Altu VICE CHAIRMAN

**MUNICIPAL APPROVAL**

APPROVED BY THE WINFIELD TOWNSHIP BOARD OF SUPERVISORS THIS 27<sup>th</sup> DAY OF July, 2023.

THE FOLLOWING VARIANCE OR VARIANCES FROM STRICT CONFORMANCE WITH THE PROVISIONS OF THE TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE HAVE BEEN APPROVED:

Paul Altu SECRETARY  
Don Olofe CHAIRMAN

**COUNTY PLANNING COMMISSION REVIEW**

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 16<sup>th</sup> DAY OF AUGUST 2023.

R. Hugen SECRETARY  
John G. M. CHAIRMAN

**PROOF OF RECORDING**

COMMONWEALTH OF PENNSYLVANIA )  
COUNTY OF BUTLER ) SS:

RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC., IN SAID COUNTY INSTRUMENT NUMBER 202308240012383 Plan Book 412 Page 13

GIVEN UNDER MY HAND AND SEAL THIS 24<sup>th</sup> DAY OF August, 2023.

Michele M. Mustello RECORDER  
My Commission Expires First Monday in January 2024

**Pennsylvania One Call System, Inc.**

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776  
**SERIAL # 20133531254**

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REV.	REVISION DESCRIPTION	REV BY	CHK BY	DATE
B	REVISED PER TOWNSHIP COMMENTS	RWC	RWC	7/14/2023
A	ADDITIONAL BUILDING FOR CLIENT	MSH	RWC	6/21/2023

7/17/2023  
DATE

PLAN BOOK	PAGE
<b>412</b>	<b>13</b>

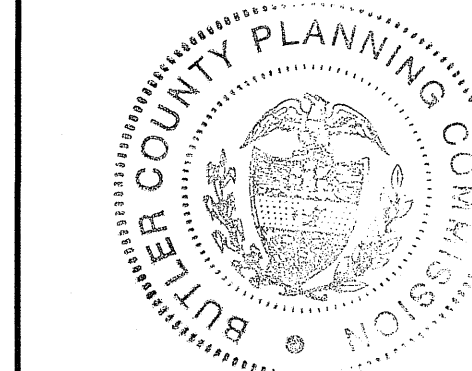
**OLSEN CRAFT ASSOCIATES**

ENGINEERS • COMMUNITY PLANNERS • SURVEYORS • GRANTS WRITERS • PROJECT AND PERMIT ADMINISTRATORS  
280 NORTH PIKE ROAD, SARVER, PENNSYLVANIA 16055 TELEPHONE # (724) 282-4786

**T. GOERK ENTERPRISES**  
SELF STORAGE FACILITY  
PROPOSED SITE PLAN  
WINFIELD TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

DATE: 06/20/2023  
SHEET NO. **C200** REV. **B**  
PROJECT NO. 201361.01

SCALE: 0 30' 60'  
CHKD. BY: RWC DRAWN BY: MSH



ALL SIGNATURES MUST BE IN BLACK PERMANENT MARKER

OWNER'S ADOPTION:

WE, JAMES F. AND ANDREA L. EVANS OWNERS OF THE LANDS SHOWN ON THE JAMES F. & ANDREA L. EVANS LOT LINE REVISION PLAN No.1, HEREBY ADOPT THIS PLAN AS OUR PLAN OF LOTS AND IRREVOCABLY DEDICATE ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. ANY FUTURE ACCEPTANCE OF SAID PUBLIC STREETS OR PROPERTY BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF MIDDLESEX, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF MIDDLESEX, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC STREETS OR PROPERTY AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON OUR HEIRS, EXECUTORS, AND ASSIGNS.

JAMES F. EVANS

ANDREA L. EVANS

ACKNOWLEDGEMENT OF NOTARY PUBLIC:

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED JAMES F. AND ANDREA L. EVANS, AND ACKNOWLEDGED THE FOREGOING ADOPTION, DEDICATION AND PLAN TO BE HIS ACT AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND SEAL THIS 18 DAY OF August, 2023.

MY COMMISSION EXPIRES THE 13 DAY OF July, 2027.

(NOTARY PUBLIC)

Commonwealth of Pennsylvania - Notary Seal  
Adelyn Sabbel, Notary Public  
Butler County  
My commission expires July 13, 2027  
Commission number 1437304  
Member, Pennsylvania Association of Notaries

CERTIFICATION OF TITLE (NO MORTGAGE):

I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTIES SHOWN IN THE JAMES F. & ANDREA L. EVANS LOT LINE REVISION PLAN No.1 IS IN THE NAME OF JAMES F. EVANS AND ANDREA L. EVANS, AND IS RECORDED IN INSTR. NUMBER 202007160013845 AND INSTR. NUMBER 202104090010169. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN, OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

WITNESS

JAMES F. EVANS

WITNESS

ANDREA L. EVANS

SURVEYOR'S CERTIFICATION:

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN HEREON CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME.

04/20/23  
(DATE)

DONALD P. TRANT  
REGISTRATION NUMBER SU-075022

MUNICIPAL DECLARATIONS:

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX, HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF MIDDLESEX HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

REQUIRED MUNICIPAL REVIEW AND APPROVAL STATEMENTS:

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX BY RESOLUTION No. 2023-15, EFFECTIVE THIS 19 DAY OF JULY, 2023.

SECRETARY

CHAIRMAN, BOARD OF SUPERVISORS

SIGNED AND NOTED AS APPROVED THIS 19 DAY OF JULY, 2023.

SECRETARY

CHAIRMAN, BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF MIDDLESEX, THIS 28 DAY OF JUNE, 2023.

SECRETARY

CHAIRMAN, PLANNING COMMISSION

MUNICIPAL ENGINEER:

I, Jeffrey A. Miksic, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER OF THE TOWNSHIP OF MIDDLESEX, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

8/9/23  
DATE

PE083712  
REGISTRATION No.

SIGNATURE

REQUIRED COUNTY PLANNING COMMISSION REVIEW STATEMENT:

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 24<sup>TH</sup> DAY OF APRIL, 2023.

SECRETARY

CHAIRMAN, BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING:

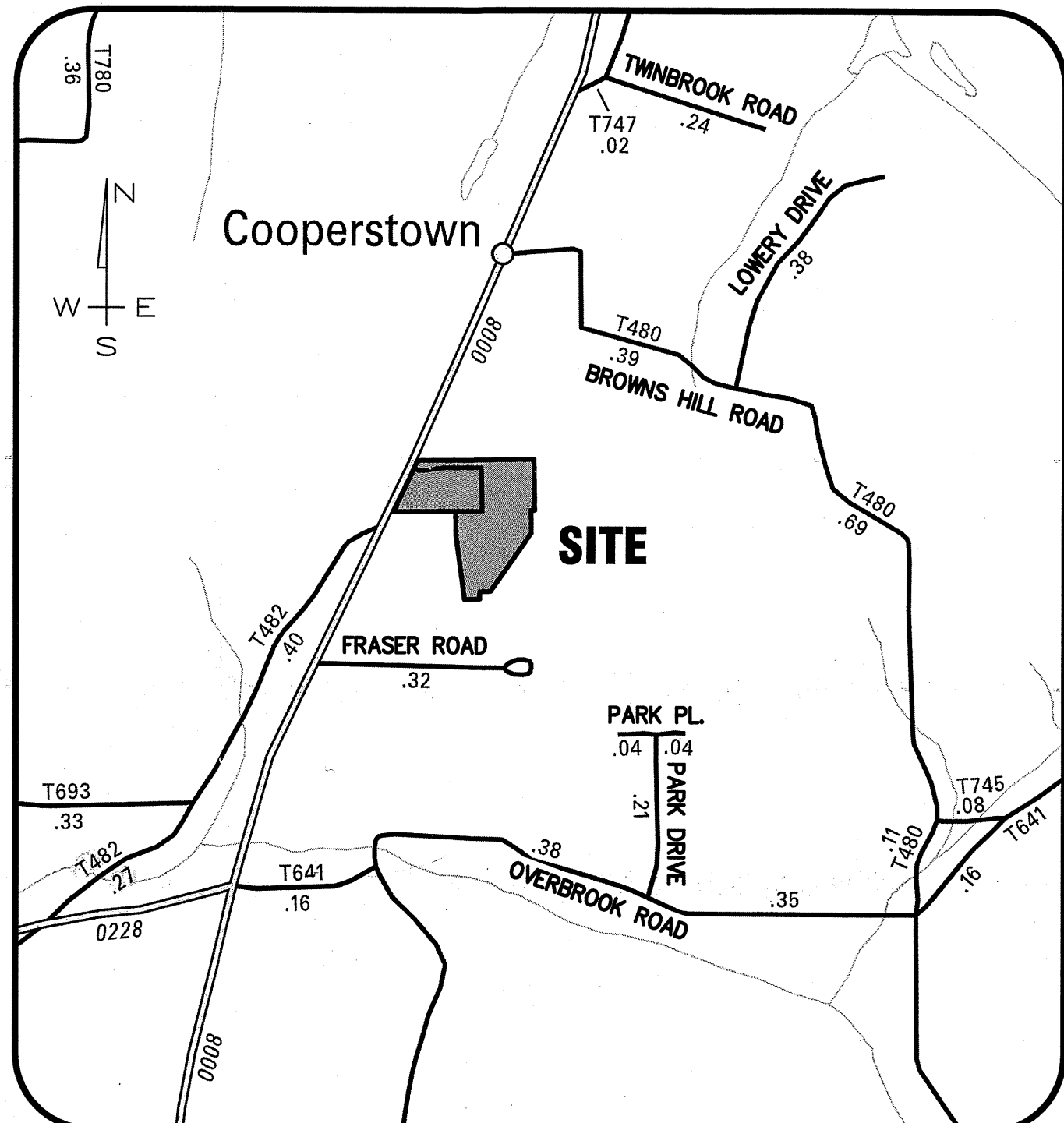
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 412, PAGES 14-15.

GIVEN UNDER MY HAND AND SEAL THIS 24<sup>TH</sup> DAY OF August, 2023.

RECORDER OF DEEDS

MICHELE M. MUSTELLO  
RECORDER OF DEEDS  
My Commission Expires First Monday in January 2024

Instr: 20230824001243  
Page: 2 of 68549  
Michele Mustello  
Butler County Recorder PA



LOCATION MAP

SCALE: 1" = 1000'

EXISTING PROPERTY AREA		
TAX PARCEL ID	SQUARE FEET	ACRES
230-S7-46A & 230-S7-C1	354,536.61	8.139
230-2F92-38C	149,870.22	3.440
TOTAL	504,406.83	11.579
NEW LOT AREA		
	SQUARE FEET	ACRES
LOT 1, REVISED	356,376.83	8.181
PARCEL 1, REVISED	148,030.00	3.398
PLAN TOTAL:	504,406.83	11.579

ZONING AREA AND BULK REGULATIONS	
TC TOWN CENTER DISTRICT	REQUIREMENTS
MIN. LOT SIZE	8,000 SQ. FT.
MIN. LOT WIDTH	80 FT.
MIN. FRONT YARD	35 FT. (1)
MAX. FRONT YARD	85 FT. (2)
MIN. REAR YARD	20 FT. FOR PRINCIPAL STRUCTURES 5 FT. ACCESSORY STRUCTURES
MIN. SIDE YARD	10 FT.

(1) MINIMUM: 35 FEET FROM A FRONT LOT LINE ADJACENT TO AN ARTERIAL STREET; OR 20 FEET FROM A FRONT LOT LINE ADJACENT TO ALL OTHER ROAD RIGHT-OF-WAY.

(2) MAXIMUM: 85 FEET FROM A FRONT LOT LINE ADJACENT TO ANY ROAD RIGHT-OF-WAY.

PLAN BOOK	PAGE
412	14

HIGHWAY OCCUPANCY PERMIT REQUIREMENT

A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P. L. 1242, NO. 428, KNOWN AS THE "STATE HIGHWAY LAW" BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED. APPROVAL BY THE MIDDLESEX TOWNSHIP SUPERVISORS IS CONDITIONAL, SUBJECT TO ACTION OF THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PURSUANT OF APPLICATION FOR A HIGHWAY OCCUPANCY PERMIT.

THIS PLAN IS A LOT LINE REVISION BETWEEN LOT 1 RECORDED IN THE JAMES F. EVANS PLAN OF LOTS IN P.B.V. 399, PG. 50, AND PARCEL 1 RECORDED IN INSTRUMENT NUMBER 202007160013845.

OWNER:  
JAMES F. & ANDREA L. EVANS  
113 SUNNY CREST LANE  
VALENCIA, PA 16059

REV. NO.	DATE	DESCRIPTION	BY

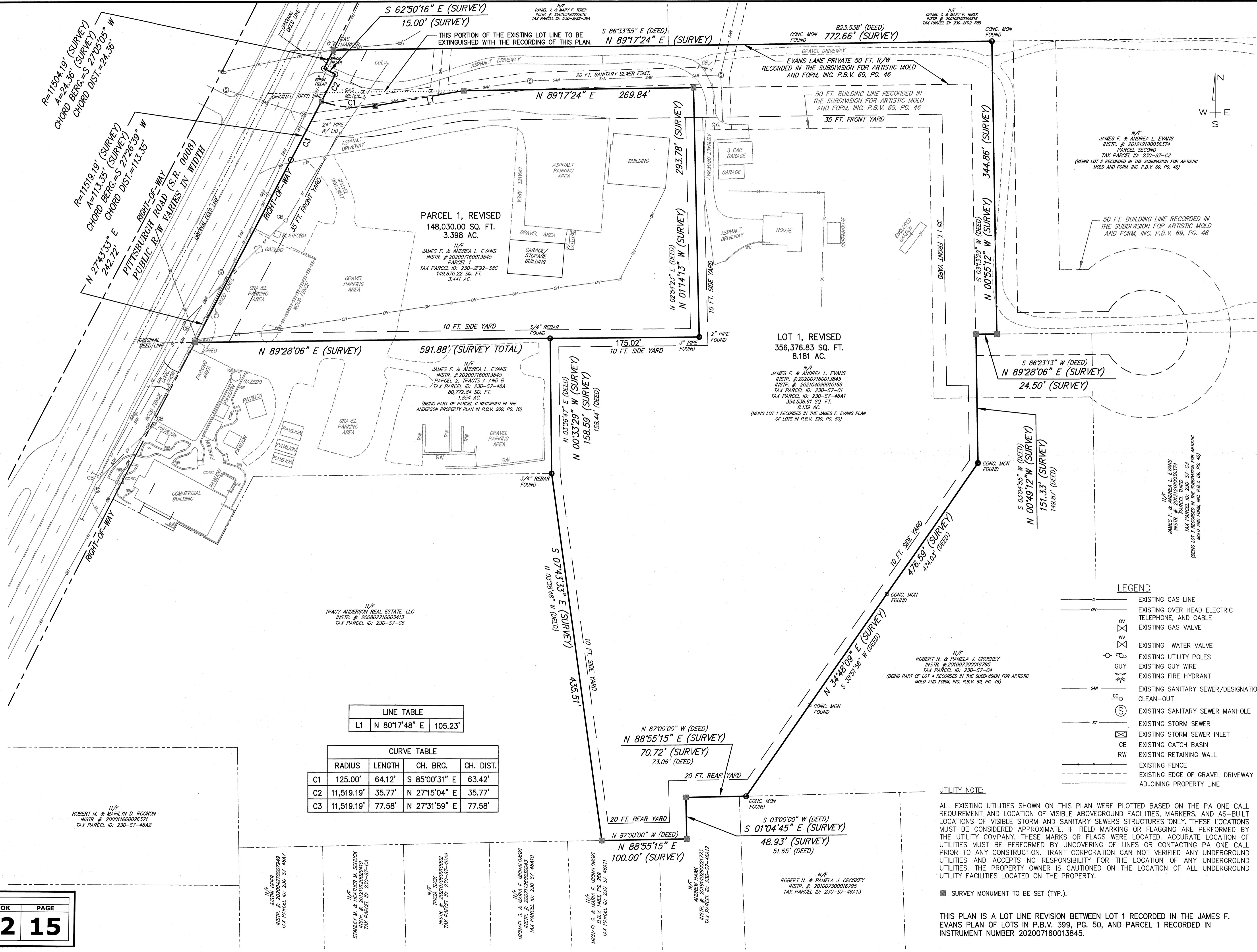
DWG: 9-1040-21-1-SUBDIV-38C  
DRAWN BY: DUB  
CHECKED BY: DPT

1161 PITTSBURGH ROAD & 116 EVANS LANE  
MIDDLESEX TOWNSHIP - BUTLER COUNTY, PA

NIRA  
Consulting Engineers, Inc.  
PHONE: (724) 935-7900  
EMAIL: permits@niracon.com  
EMAIL: mail@niraengineers.com

TRANT CORPORATION  
A Division of NIRA Consulting Engineers, Inc.  
Environmental, Surveying, Site Civil, Traffic  
950 FIFTH AVENUE  
CORAOPOLIS, PA 15108

JAMES F. & ANDREA L. EVANS  
LOT LINE REVISION PLAN No.1  
FINAL PLAN  
PROJ. NO.: G1040-21-1  
DATE: 04-20-2023



LINE TABLE			
L1	N 80°17'48" E	105.23'	

CURVE TABLE				
	RADIUS	LENGTH	CH. BRG.	CH. DIST.
C1	125.00'	64.12'	S 85°00'31" E	63.42'
C2	11,519.19'	35.77'	N 27°15'04" E	35.77'
C3	11,519.19'	77.58'	N 27°31'59" E	77.58'

PLAN BOOK	PAGE
412	15

BY

DESCRIPTION

DATE

REV. NO.

DWG: G-1040-21-1-SUBDIV-38C

DRAWN BY: DUB

CHECKED BY: DPT

1161 PITTSBURGH ROAD & 116 EVANS LANE

MIDDLESEX TOWNSHIP - BUTLER COUNTY, PA

1

TRANT CORPORATION

Consulting Engineers, Inc.

PHONE: (724) 935-7900

EMAIL: permits@trantcorp.com

EMAIL: mail@trantengineers.com

7

TRANT CORPORATION

A Division of NIRA Consulting Engineers, Inc.

Environmental, Surveying, Site Civil, Traffic

950 FIFTH AVENUE

CORACAPOLIS, PA 15108

JAMES F. & ANDREA L. EVANS

LOT LINE REVISION PLAN No.1

FINAL PLAN

PROJ. NO.: G1040-21-1

DATE: 04-20-2023

SHEET 2 OF 2

ALL SIGNATURES MUST BE IN BLACK PERMANENT MARKER

**SURVEYOR'S CERTIFICATION:**

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN HEREON CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME.

03/20/23  
(DATE)

DONALD P. TRANT  
REGISTRATION NUMBER SU-075022

**MUNICIPAL DECLARATIONS:**

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX, HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF MIDDLESEX HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

SECRETARY

CHAIRMAN, BOARD OF SUPERVISORS

**REQUIRED MUNICIPAL REVIEW AND APPROVAL STATEMENTS:**

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX BY RESOLUTION No. 2023-16, EFFECTIVE THIS 19 DAY OF JULY, 2023.

SECRETARY

CHAIRMAN, BOARD OF SUPERVISORS

SIGNED AND NOTED AS APPROVED THIS 19 DAY OF JULY, 2023.

SECRETARY

CHAIRMAN, BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF MIDDLESEX, THIS 28 DAY OF JUNE, 2023.

SECRETARY

CHAIRMAN, PLANNING COMMISSION

**MUNICIPAL ENGINEER:**

I, Jeffery A. Mustello, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER OF THE TOWNSHIP OF MIDDLESEX, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

8/9/23  
DATE

PE083712  
REGISTRATION No.

SIGNATURE

**REQUIRED COUNTY PLANNING COMMISSION REVIEW STATEMENT:**

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 24<sup>TH</sup> DAY OF APRIL, 2023.

SECRETARY

CHAIRMAN, BUTLER COUNTY PLANNING COMMISSION

**PROOF OF RECORDING:**

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 412, PAGES 16-18.

GIVEN UNDER MY HAND AND SEAL THIS 24<sup>TH</sup> DAY OF August, 2023.

MICHELE M. MUSTELLO  
RECORDER OF DEEDS

My Commission Expires First Monday in January 2024

**HIGHWAY OCCUPANCY PERMIT REQUIREMENT**

A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P. L. 1242, NO. 428, KNOWN AS THE "STATE HIGHWAY LAW" BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED. APPROVAL BY THE MIDDLESEX TOWNSHIP SUPERVISORS IS CONDITIONAL, SUBJECT TO ACTION OF THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PURSUANT TO APPLICATION FOR A HIGHWAY OCCUPANCY PERMIT.

**OWNER'S ADOPTION TAX PARCEL 230-S3-32E2:**

WE, JAMES F. AND ANDREA L. EVANS OWNERS OF THE LANDS IDENTIFIED AS BUTLER COUNTY TAX PARCEL 230-S3-32E2 SHOWN ON THE JAMES F. & ANDREA L. EVANS LOT LINE REVISION PLAN No.2, HEREBY ADOPT THIS PLAN AS OUR PLAN OF LOTS AND IRREVOCABLY DEDICATE ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. ANY FUTURE ACCEPTANCE OF SAID PUBLIC STREETS OR PROPERTY BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF MIDDLESEX, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF MIDDLESEX, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC STREETS OR PROPERTY AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON OUR HEIRS, EXECUTORS, AND ASSIGNS.

JAMES F. EVANS

ANDREA L. EVANS

**ACKNOWLEDGEMENT OF NOTARY PUBLIC:**

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED JAMES F. AND ANDREA L. EVANS, AND ACKNOWLEDGED THE FOREGOING ADOPTION, DEDICATION AND PLAN TO BE THEIR ACT AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND SEAL THIS 18 DAY OF August, 2023.

MY COMMISSION EXPIRES THE 13 DAY OF JULY, 2027.

(NOTARY PUBLIC)

Commonwealth of Pennsylvania - Notary Seal  
Adelyn Seibel, Notary Public  
Butler County  
My commission expires July 13, 2027  
Commission number 1437304  
Member, Pennsylvania Association of Notaries

**CERTIFICATION OF TITLE AND CONSENT OF MORTGAGEE TAX PARCEL 230-S3-32E2:**

WE HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY IDENTIFIED AS BUTLER COUNTY TAX PARCEL 230-S3-32E2 CONTAINED IN THE JAMES F. & ANDREA L. EVANS LOT LINE REVISION PLAN No.2 IS IN THE NAME OF JAMES F. AND ANDREA L. EVANS AND IS RECORDED IN INSTR. NUMBER 202112090034275.

WITNESS JAMES F. EVANS

WITNESS ANDREA L. EVANS

MORTGAGEE OF THE PROPERTY IDENTIFIED AS BUTLER COUNTY TAX PARCEL 230-S3-32E2 CONTAINED IN THE JAMES F. & ANDREA L. EVANS LOT LINE REVISION PLAN No.2 CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

WITNESS NAME, TITLE, AND MORTGAGEE

**OWNER'S ADOPTION TAX PARCEL 230-2F92-47A2C:**

I, JAMES F. EVANS OWNER OF THE LANDS IDENTIFIED AS BUTLER COUNTY TAX PARCEL 230-2F92-47A2C SHOWN ON THE JAMES F. & ANDREA L. EVANS LOT LINE REVISION PLAN No.2, HEREBY ADOPT THIS PLAN AS MY PLAN OF LOTS AND IRREVOCABLY DEDICATE ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. ANY FUTURE ACCEPTANCE OF SAID PUBLIC STREETS OR PROPERTY BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF MIDDLESEX, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF MIDDLESEX, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC STREETS OR PROPERTY AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON MY HEIRS, EXECUTORS, AND ASSIGNS.

JAMES F. EVANS

**ACKNOWLEDGEMENT OF NOTARY PUBLIC:**

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED JAMES F. EVANS, AND ACKNOWLEDGED THE FOREGOING ADOPTION, DEDICATION AND PLAN TO BE HIS ACT AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND SEAL THIS 18 DAY OF August, 2023.

MY COMMISSION EXPIRES THE 13 DAY OF JULY, 2027.

(NOTARY PUBLIC)

Commonwealth of Pennsylvania - Notary Seal  
Adelyn Seibel, Notary Public  
Butler County  
My commission expires July 13, 2027  
Commission number 1437304  
Member, Pennsylvania Association of Notaries

**CERTIFICATION OF TITLE AND CONSENT OF MORTGAGEE TAX PARCEL 230-2F92-47A2C:**

I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY IDENTIFIED AS BUTLER COUNTY TAX PARCEL 230-2F92-47A2C CONTAINED IN THE JAMES F. & ANDREA L. EVANS LOT LINE REVISION PLAN No.2 IS IN THE NAME OF JAMES F. EVANS AND IS RECORDED IN INSTR. NUMBER 200803190005641

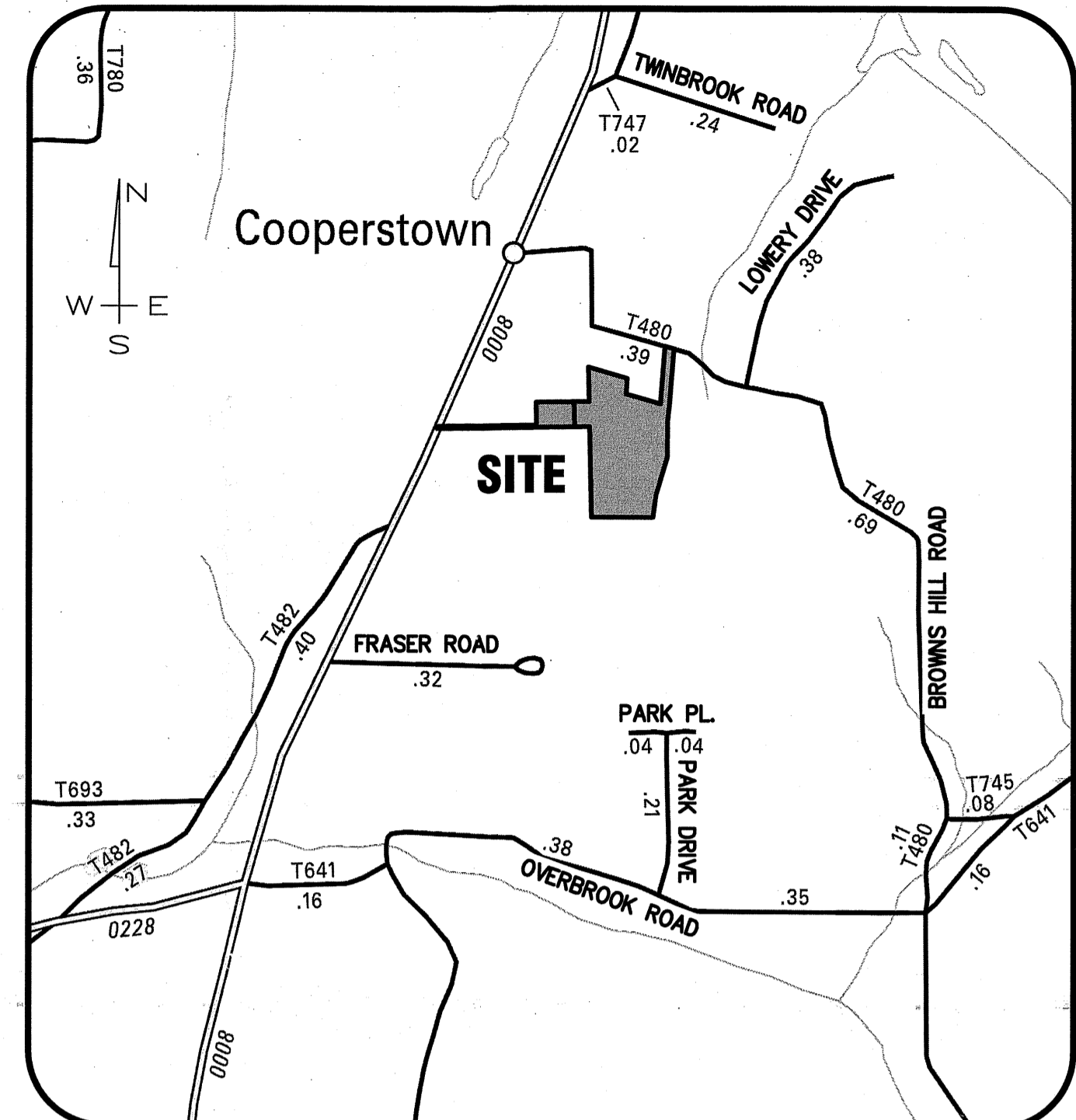
ANDREA L. EVANS

WITNESS

JAMES F. EVANS

MORTGAGEE OF THE PROPERTY IDENTIFIED AS BUTLER COUNTY TAX PARCEL 230-2F92-47A2C CONTAINED IN THE JAMES F. & ANDREA L. EVANS LOT LINE REVISION PLAN No.2 CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

WITNESS NAME, TITLE, AND MORTGAGEE



LOCATION MAP

SCALE: 1" = 1000'

Instr: 202308240012426  
Fig 2 F: 6128-00  
Michele Mustello  
Butler County Recorder PA  
8/24/2023 11:55 AM  
T20230010801

EXISTING PROPERTY AREA		
TAX PARCEL ID	SQUARE FEET	ACRES
230-2F92-47A2C	452,671.64	10.392
230-S3-32E2	69,761.93	1.601
TOTAL	522,433.57	11.993
NEW LOT AREA		
	SQUARE FEET	ACRES
NEW LOT AREA 230-2F92-47A2C	469,492.04	10.778
NEW LOT AREA 230-S3-32E2	52,941.53	1.215
PLAN TOTAL:	522,433.57	11.993

ZONING AREA AND BULK REGULATIONS	
TC TOWN CENTER DISTRICT	REQUIREMENTS
MIN. LOT SIZE	8,000 SQ. FT.
MIN. LOT WIDTH	80 FT.
MIN. FRONT YARD	35 FT. (1)
MAX. FRONT YARD	85 FT. (2)
MIN. REAR YARD	20 FT. FOR PRINCIPAL STRUCTURES 5 FT. ACCESSORY STRUCTURES
MIN. SIDE YARD	10 FT.

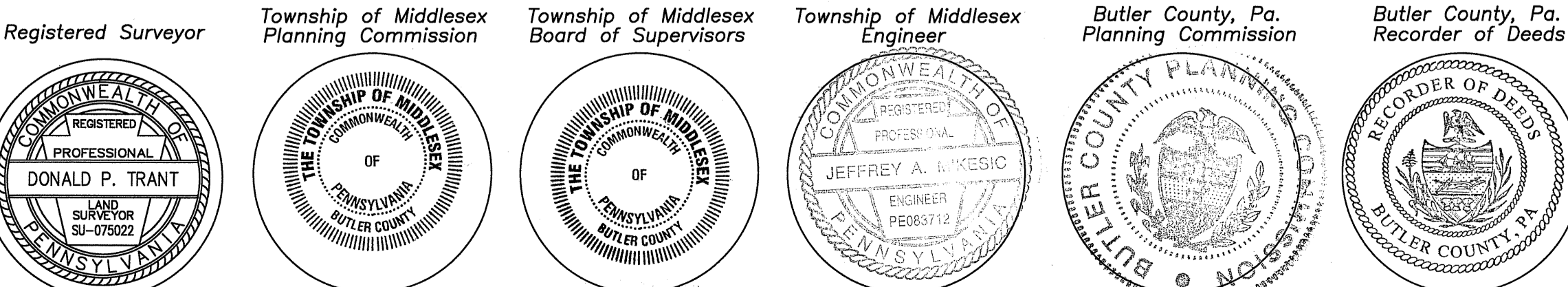
(1) MINIMUM: 35 FEET FROM A FRONT LOT LINE ADJACENT TO AN ARTERIAL STREET; OR 20 FEET FROM A FRONT LOT LINE ADJACENT TO ALL OTHER ROAD RIGHT-OF-WAY.

(2) MAXIMUM: 85 FEET FROM A FRONT LOT LINE ADJACENT TO ANY ROAD RIGHT-OF-WAY.

PLAN BOOK	PAGE
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OWNER PARCEL: 230-S3-32E2  
JAMES F. & ANDREA L. EVANS  
113 SUNNY CREST LANE  
VALENCIA, PA 16059

OWNER PARCEL: 230-2F92-47A2C  
JAMES F. EVANS  
113 SUNNY CREST LANE  
VALENCIA, PA 16059



1149 PITTSBURGH ROAD & 113 SUNNY CREST LANE  
MIDDLESEX TOWNSHIP - BUTLER COUNTY, PA

1 inch = 60 ft.

**NIRA**  
Consulting Engineers, Inc.

PHONE: (724) 935-7900  
EMAIL: permits@niraengineers.com  
EMAIL: mail@niraengineers.com

**TRANT CORPORATION**  
A Division of NIRA Consulting Engineers, Inc.  
Environmental, Surveying, Site Civil, Traffic

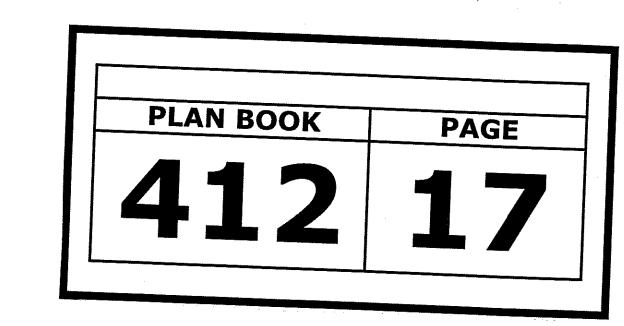
950 FIFTH AVENUE  
CORAOPOLIS, PA 15108

**JAMES F. & ANDREA L. EVANS**  
LOT LINE REVISION PLAN No.2

FINAL PLAN

DATE: 04-21-2022  
PROJ. NO.: G1040-21-1

**SHEET 1 OF 3**

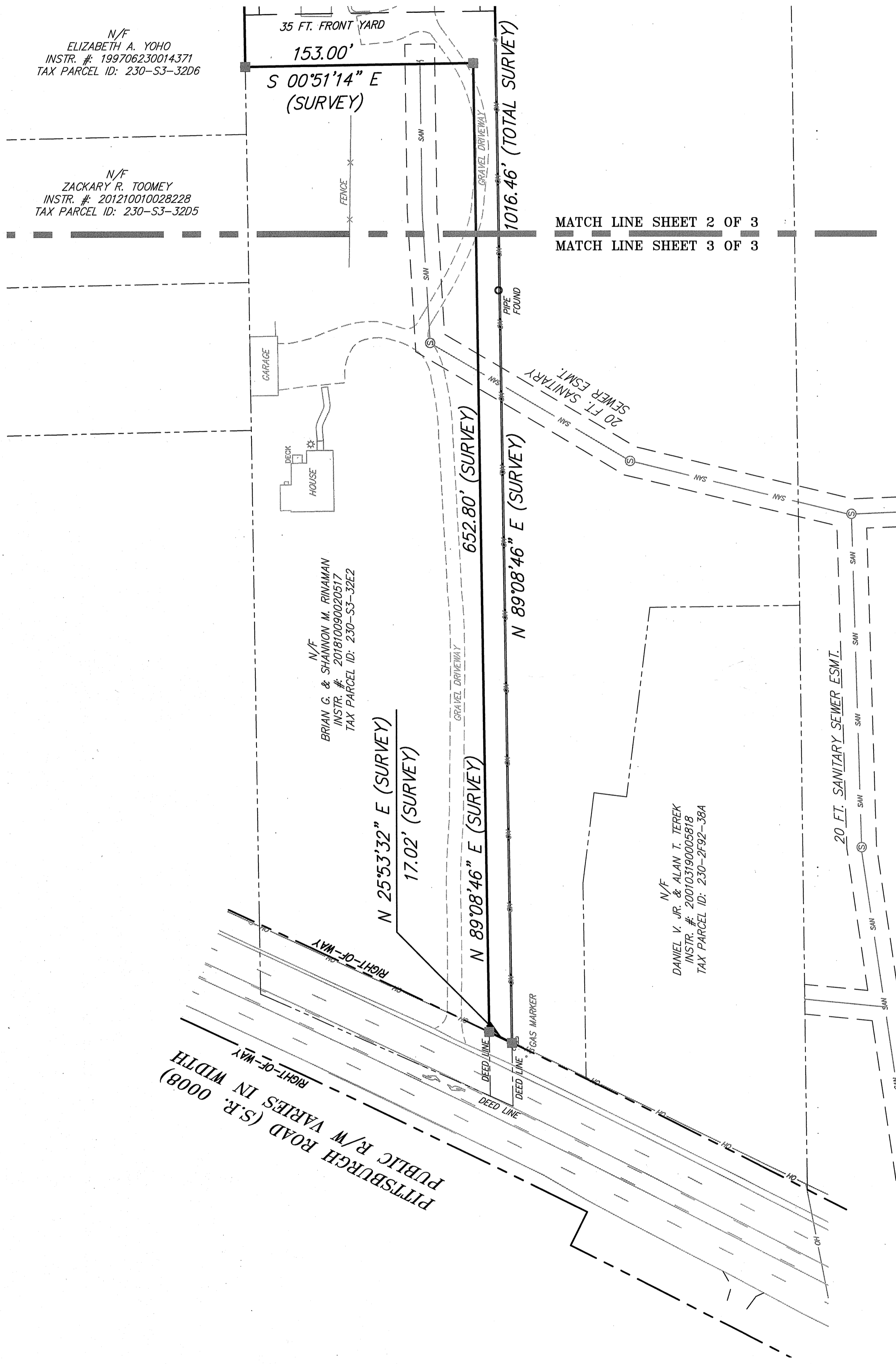
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**1149 PITTSBURGH ROAD & 113 SUNNY CREST LANE  
MIDDLESEX TOWNSHIP - BUTLER COUNTY, PA**

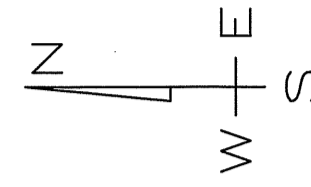
**TRANT**  
**7** CORPORATION  
A Division of NIRA Consulting Engineers, Inc.  
Environmental, Surveying, Site Civil, Traffic

950 FIFTH AVENUE  
CORAOPOLIS, PA 15108

Pld Date: 7/19/2023 2:28 PM File Name: 2. GENERAL C-1940-21-1 SUBDIV-32E2 DWS Layout: 3



MATCH LINE SHEET 2 OF 3  
MATCH LINE SHEET 3 OF 3

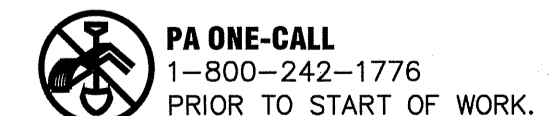


PLAN BOOK	PAGE
412	18

■ SURVEY MONUMENT TO BE SET (TYP.).

THIS PLAN IS A LOT LINE REVISION BETWEEN BUTLER COUNTY TAX PARCELS 230-S3-32E2 AND 230-2F92-47A2C.

**PENNSYLVANIA ACT 187 (1996)**  
REQUIRES NOTIFICATION TO UTILITY COMPANIES PRIOR TO ANY DIGGING, DRILLING, BLASTING OR EXCAVATING. CONTRACTOR SHALL CONTACT:



EXISTING UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THE LOCATIONS MUST BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE PHYSICAL LOCATION OF ALL UTILITY LINES PRIOR TO THE START OF CONSTRUCTION.

SERIAL #: 20222911395

**UTILITY NOTE:**

ALL EXISTING UTILITIES SHOWN ON THIS PLAN WERE PLOTTED BASED ON THE PA ONE CALL REQUIREMENT AND LOCATION OF VISIBLE ABOVEGROUND FACILITIES, MARKERS, AND AS-BUILT LOCATIONS OF VISIBLE STORM AND SANITARY SEWERS STRUCTURES ONLY. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE. IF FIELD MARKING OR FLAGGING ARE PERFORMED BY THE UTILITY COMPANY, THESE MARKS OR FLAGS WERE LOCATED. ACCURATE LOCATION OF UTILITIES MUST BE PERFORMED BY UNCOVERING OF LINES OR CONTACTING PA ONE CALL PRIOR TO ANY CONSTRUCTION. TRANT CORPORATION CAN NOT VERIFY ANY UNDERGROUND UTILITIES AND ACCEPTS NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND UTILITIES. THE PROPERTY OWNER IS CAUTIONED ON THE LOCATION OF ALL UNDERGROUND UTILITY FACILITIES LOCATED ON THE PROPERTY.

- LEGEND**
- G — EXISTING GAS LINE
  - OH — EXISTING OVER HEAD ELECTRIC TELEPHONE, AND CABLE
  - U — EXISTING UTILITY POLES
  - GUY — EXISTING GUY WIRE
  - FH — EXISTING FIRE HYDRANT
  - SAN — EXISTING SANITARY SEWER/DESIGNATION
  - S — EXISTING SANITARY SEWER MANHOLE
  - ST — EXISTING STORM SEWER
  - CB — EXISTING CATCH BASIN

REV. NO.	DATE	DESCRIPTION	BY

DWG: C-1040-21-1-SUBDIV-32E2  
DRAWN BY: DUB  
CHECKED BY: DPT

**1149 PITTSBURGH ROAD & 113 SUNNY CREST LANE**  
**MIDDLESEX TOWNSHIP - BUTLER COUNTY, PA**

1 inch = 50 ft.

**NIRA**  
Consulting Engineers, Inc.

PHONE: (724) 935-7900  
EMAIL: permits@trantcorp.com  
EMAIL: mail@niraengineers.com

**7 TRANT CORPORATION**  
A Division of NIRA Consulting Engineers, Inc.  
Environmental, Surveying, Site Civil, Traffic

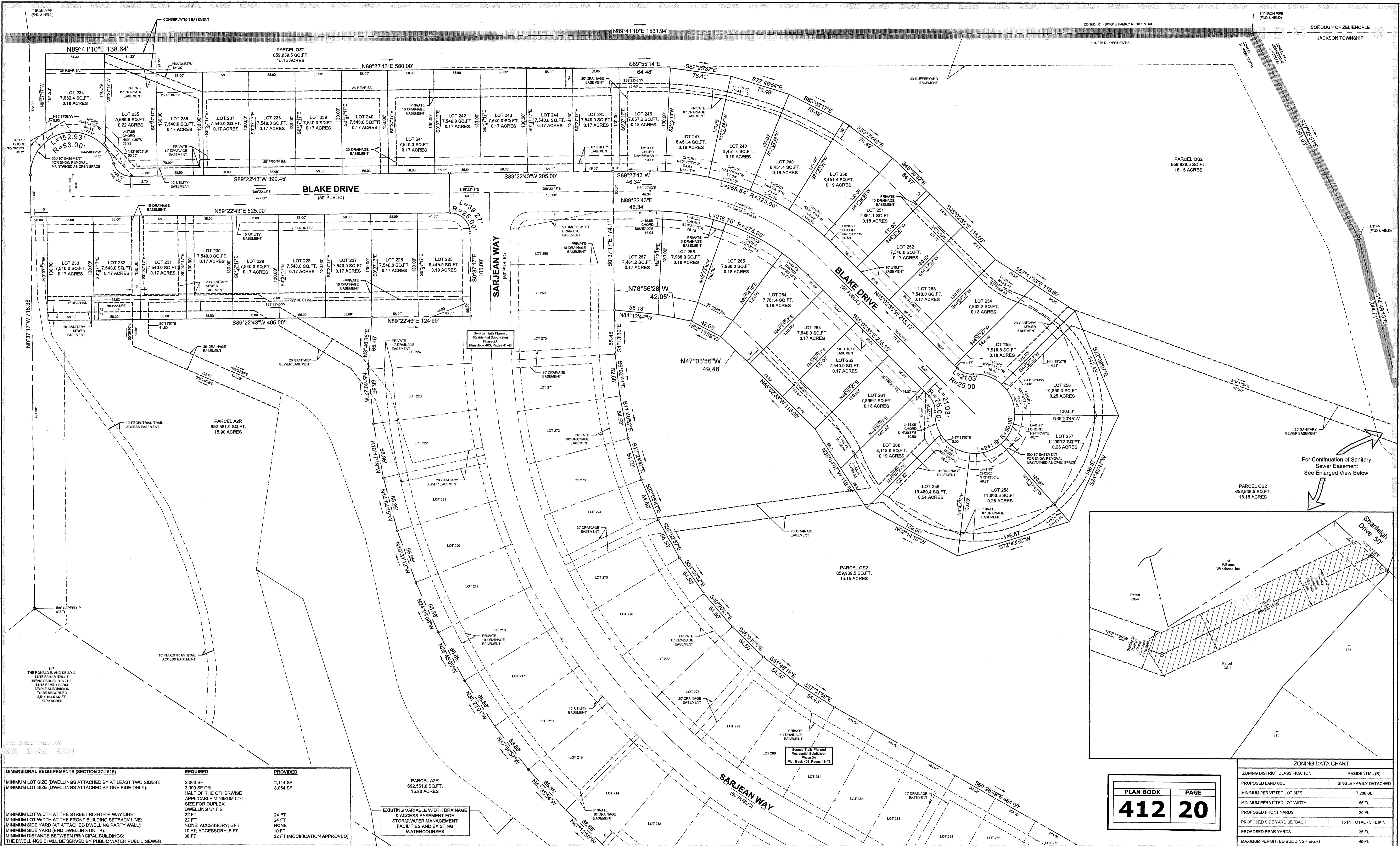
950 FIFTH AVENUE  
CORACOPOLIS, PA 15108

**JAMES F. & ANDREA L. EVANS**  
**LOT LINE REVISION PLAN No.2**

**FINAL PLAN**

PROJ. NO.: G1040-21-1  
DATE: 04-20-2023

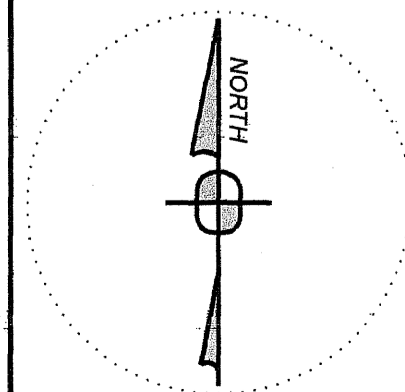




DIMENSIONAL REQUIREMENTS (SECTION 27-1516)		
REQUIRED	PROVIDED	
MINIMUM LOT SIZE (DWELLINGS ATTACHED BY AT LEAST TWO SIDES):	2,000 SF	2,144 SF
MINIMUM LOT SIZE (DWELLINGS ATTACHED BY ONE SIDE ONLY):	3,000 SF OR HALF OF THE OTHERWISE APPLICABLE MINIMUM LOT SIZE FOR DUPLEX DWELLING UNITS	3,084 SF
MINIMUM LOT WIDTH AT THE STREET RIGHT-OF-WAY LINE:	22 FT	24 FT
MINIMUM LOT WIDTH AT THE FRONT BUILDING SETBACK LINE:	22 FT	24 FT
MINIMUM SIDE YARD (AT ATTACHED DWELLING PARTY WALL):	NONE; ACCESSORY: 5 FT	NONE
MINIMUM SIDE YARD (END DWELLING UNITS):	10 FT; ACCESSORY: 5 FT	10 FT
MINIMUM DISTANCE BETWEEN PRINCIPAL BUILDINGS:	30 FT	22 FT (MODIFICATION APPROVED)
THE DWELLINGS SHALL BE SERVED BY PUBLIC WATER PUBLIC SEWER.		

**811** Know what's below.  
Call before you dig.

POCS SER. #: 20191992518



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Date:	Revision Description:	By:	Professional Seal	Prepared By:
8/14/2019	INITIAL TOWNSHIP SUBMITTAL	GLF		
10/16/2019	TOWNSHIP RESUBMITTAL	GLF		
11/18/2019	TOWNSHIP RESUBMITTAL	GLF		
01/03/2020	PHASES 1 & 2 RESUBMISSION	GLF		
01/23/2020	TOWNSHIP RESUBMITTAL	GLF		
02/03/2020	WBCA REVIEW #1 RESUBMITTAL	RLS		
03/30/2020	WBCA REVIEW #2 RESUBMITTAL	RLS		
07/24/2020	ISSUED FOR CONSTRUCTION	RLS		
07/30/2020	BUFFER YARDS SHOWN	RLS		
02/03/2020	PHASE 2A & PHASE 2B	AGM		
01/30/2023	REVISE SANITARY SEWER EASEMENT	JSS		

**Sheffler & Company, Inc.**  
ENGINEERING • SURVEYING

1712 Mount Nebo Road  
Sewickley, PA 15143

Office Phone: 412-219-4509  
Email: Info@ShefflerCo.com

**Seneca Trails**  
Planned Residential Subdivision - Phase 2B

Prepared For:  
**Seneca Trails, LLC**

Situate In:  
**Jackson Township, Butler County, Pennsylvania**

Being a subdivision of Parcel A2 in the  
Seneca Trails Planned Residential Subdivision - Phase 2A

DRAWING SCALE: 1" = 50'  
DATE ISSUED: 08/14/2019  
PROJECT JOB#: 3713  
CADD#: 3713 - LUTZ - SUBDIVISION - PH2B - JSS REVISIONS

DESIGNED BY: AGM  
REVIEWED BY: GAS  
FIELD BOOK #: ---

**Rec211**

Seneca Trails, LLC  
Attn: Gary A. Sheffler, Jr. (Bud)  
1712 Mt. Nebo Road  
Sewickley, PA 15143  
Phone: 412-219-4509

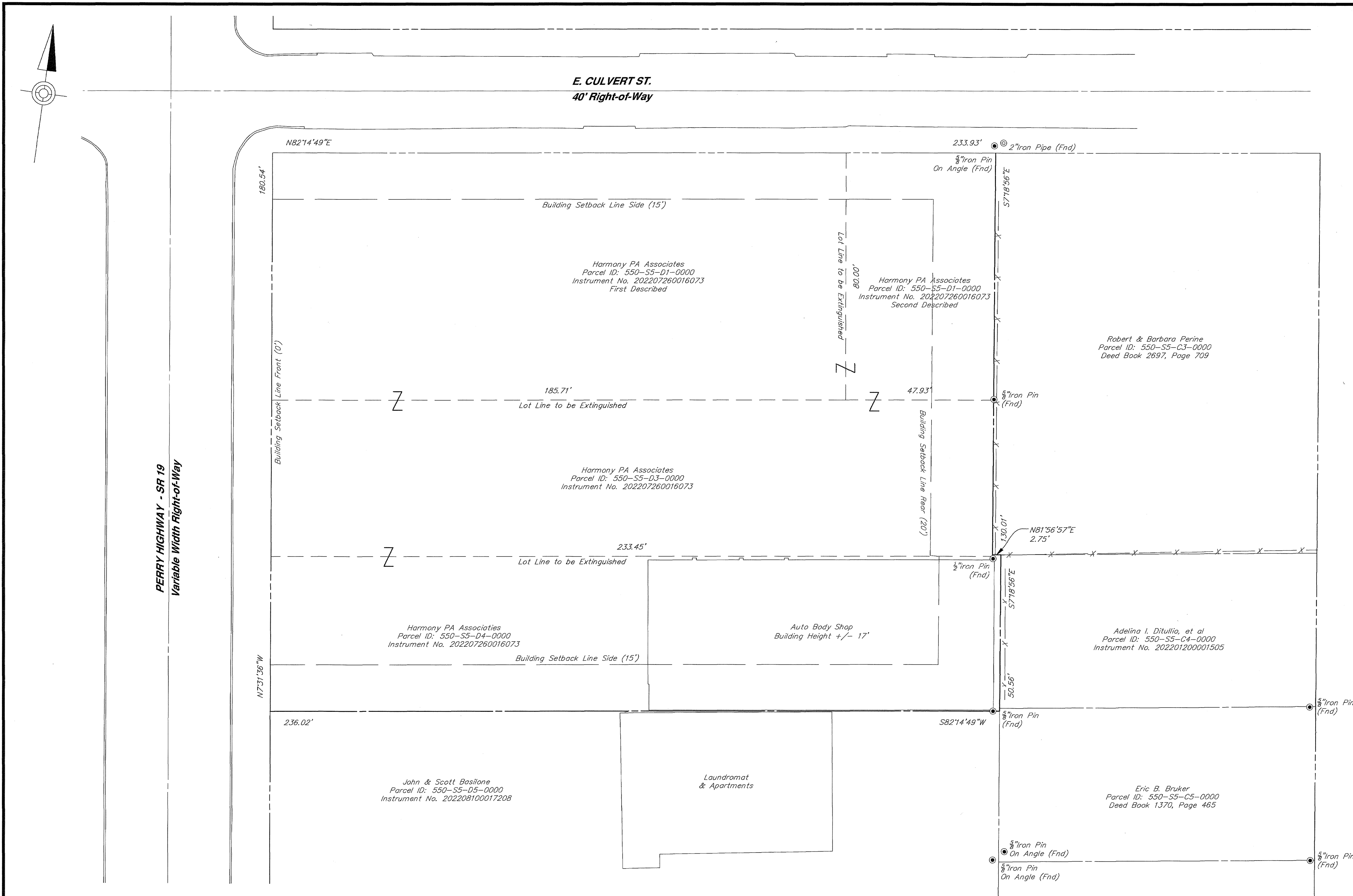
Sheet No.

**PLAN BOOK**  
**412**

**PAGE**  
**20**

ZONING DATA CHART	
ZONING DISTRICT CLASSIFICATION	RESIDENTIAL (R)
PROPOSED LAND USE	SINGLE FAMILY DETACHED
MINIMUM PERMITTED LOT SIZE	7,200 SF
MINIMUM PERMITTED LOT WIDTH	55 FL
PROPOSED FRONT YARDS	20 FL
PROPOSED SIDE YARD SETBACK	15 FL TOTAL - 5 FL MIN.
PROPOSED REAR YARDS	25 FL
MAXIMUM PERMITTED BUILDING HEIGHT	40 FL





#### AREA TABLE: (PER SURVEY)

42,314 SQ. FT. 0.9714 ACRES

#### ZONING DATA

- ZONING DISTRICT: C-1 CENTRAL BUSINESS LOT, AREA AND DIMENSIONAL REQUIREMENTS.
- MINIMUM FRONT YARD SHALL BE ZERO FEET
  - THE MINIMUM SIDE YARD REQUIRED SHALL BE 15 FEET OR ZERO FEET WHERE UNPIERCED PARTY WALLS ARE PROVIDED AND CONSTITUTE THE LOT LINE.
  - MINIMUM REAR YARD DEPTH SHALL BE 20 FEET FROM THE REAR LOT LINE.
  - NO STRUCTURE SHALL EXCEED 50 FEET IN HEIGHT OR FOUR STORIES, WHICHEVER IS LESS.
  - MINIMUM FRONTAGE SHALL BE 20 FEET.
  - THOSE REQUIREMENTS SET FORTH IN SECTION 606 SHALL SERVE TO MODIFY THE ABOVE.
  - BUILD-TO-LINE ON MAIN STREET SHALL EQUAL THE AVERAGE BUILDING LINE OF ALL PRINCIPAL BUILDINGS ON A BLOCK LOCATED ON THE SAME SIDE OF MAIN STREET, PROVIDING THAT THE BUILDING MAY LOCATE CLOSER TO THE STREET THAN THE REQUIRED BUILDING LINE OR WITHIN THREE FEET BEHIND SAID LINE.

LOTS ARE SERVED OR IN AN AREA WITH PUBLIC WATER AND SEWER

#### OWNER:

TAX MAP NUMBERS: 550-S5-D1-0000 550-S5-D3-0000 550-S5-D4-0000 HARMONY PA ASSOC. INSTR. NO. 202207260016073

PHYSICAL ADDRESS: 402, 408 AND 412 SOUTH MAIN STREET ZELIENOPLE, PA 16063

#### INTENT OF PLAN

IT IS THE INTENT OF THIS PLAN TO CONSOLIDATE THREE PARCELS IN THE BOROUGH OF ZELIENOPLE, BEING TAX MAP NUMBERS 550-S5-D1-0000, 550-S5-D3-0000 AND 550-S5-D4-000 INTO ONE TAX PARCEL.

THERE ARE NO PLANNED IMPROVEMENTS ASSOCIATED WITH THIS PLAN.

#### PROFESSIONAL LAND SURVEYOR CERTIFICATE

I, PAUL L. SAMPLE, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES, AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS AS SHOWN ON THE PLAT HAVE BEEN, OR WILL BE SET, AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

DATE 8-16-2023

PROFESSIONAL LAND SURVEYOR

50075659 REGISTRATION NUMBER

#### CERTIFICATION OF TITLE MORTGAGE

WE HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE LOT CONSOLIDATION PLAN FOR HARMONY PA ASSOCIATES, IS RECORDED IN INSTRUMENT NO. 2022072600160.

BY: (NAME AND TITLE) Stephen P. Meyer MORTGAGEE OF THE PROPERTY CONTAINED IN THE LOT CONSOLIDATION PLAN FOR THE HARMONY PA ASSOCIATES ASSUMES NO OBLIGATION TO ACCEPT THE DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

#### MUNICIPAL DECLARATION

APPROVED BY THE PLAN ADMINISTRATOR OF THE BOROUGH OF ZELIENOPLE PURSUANT TO CHAPTER 240, SUBDIVISION AND LAND DEVELOPMENT ORDINANCE OF THE CODE OF THE BOROUGH OF ZELIENOPLE AS AMENDED. THE PLAN ADMINISTRATOR OF THE BOROUGH OF ZELIENOPLE ASSUMES NO OBLIGATION TO ACCEPT THE DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

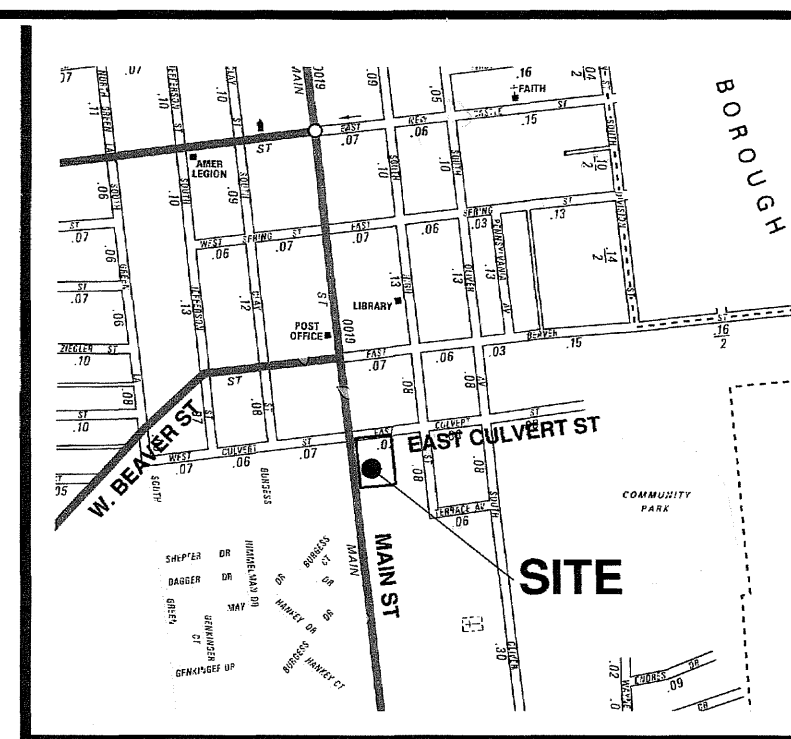
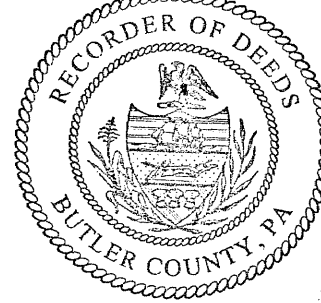
BOROUGH PLAN ADMINISTRATOR

#### PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA }  
} SS:  
COUNTY OF BUTLER }  
RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, PLATS AND PLANS IN SAID COUNTY,  
IN PLAN BOOK VOLUME 412 PAGE(S) 22  
GIVEN UNDER MY HAND AND SEAL THIS 25<sup>th</sup> DAY OF AUGUST, 2023

(RECORDER OF DEEDS)

MICHELE M. MUSTELLO  
RECORDER OF DEEDS  
My Commission Expires First Monday in January 2024



#### LOCATION MAP

SCALE: 1"=1000'

#### CORPORATION ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA }  
} SS:  
COUNTY OF BUTLER }

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED Philip P. Lope OF THE HARMONY PA ASSOCIATES, WHO BEING DULY SWORN, DEPOSETH AND SAITH THAT HE WAS PERSONALLY PRESENT AT THE EXECUTION OF THE ADOPTION, RELEASE AND DEDICATION AND SAW THE COMMON AND CORPORATE SEAL OF THE SAID CORPORATION DULY AFFIXED AND THAT THE ABOVE RELEASE AND DEDICATION WAS DULY SIGNED AND SEALED BY AND AS FOR THE ACT AND DEED OF THE SAID HARMONY PA ASSOCIATES, FOR THE USES AND PURPOSES THEREIN MENTIONED AND THAT THE NAME OF THIS DEPONENT SUBSCRIBED TO THE SAID RELEASE AND DEDICATION AS A PARTNER OF SAID CORPORATION, IN ATTESTATION OF THE DUE EXECUTION AND DELIVERY OF SAID RELEASE AND DEDICATION OF THIS DEPONENT'S OWN AND PROPER AND RESPECTIVE HANDWRITING.

Philip P. Lope, PARTNER  
TITLE OF OFFICER

SWORN TO AND SUBSCRIBED BEFORE ME THIS DAY,  
WITNESS MY HAND AND NOTARIAL SEAL THIS 17<sup>th</sup> DAY OF August, 2023

MY COMMISSION EXPIRES THE 18<sup>th</sup> DAY OF July, 2025

SEAL

Commonwealth of Pennsylvania - Notary Seal  
Jennifer L. Jacobs, Notary Public  
Butler County  
My commission expires July 15, 2025  
Commission number 1277758  
Member, Pennsylvania Association of Notaries

NOTARY PUBLIC

#### MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOROUGH OF ZELIENOPLE THIS 25<sup>th</sup> DAY OF August, 2023

SECRETARY

PRESIDENT  
BOROUGH COUNCIL

REVIEWED BY DOUG HILF, CHAIRMAN, ON BEHALF OF THE PLANNING COMMISSION OF THE BOROUGH OF ZELIENOPLE ON THIS 25<sup>th</sup> DAY OF

August, 2023

SECRETARY

CHAIRPERSON  
PLANNING COMMISSION

#### BUTLER CO PLANNING COMMISSION APPROVAL REVIEW

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 15 DAY OF Aug. 2023

SECRETARY

CHAIRMAN

#### BOROUGH ENGINEER REVIEW

THE PLAN WAS REVIEWED BY THE BOROUGH ENGINEER FOR CONFORMANCE WITH THE BOROUGH OF ZELIENOPLE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND OTHER APPLICABLE BOROUGH ORDINANCES.

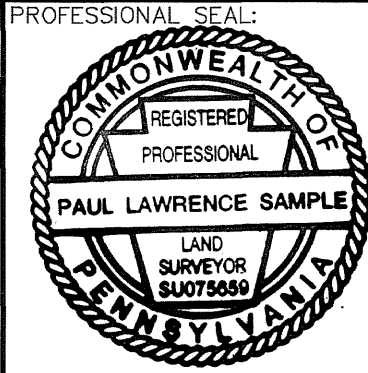
Thomas L. Thompson, P.E.  
(PRINTED NAME & REGISTRATION NO.)

(SIGNATURE, BOROUGH ENGINEER)

#### SURVEY NOTES

- SUBJECT PROPERTY LINES DEPICTED ON THIS PLAN HAVE BEEN ESTABLISHED BASED UPON EVIDENCE OBTAINED THROUGH THE PERFORMANCE OF A FIELD RUN BOUNDARY RETRACEMENT SURVEY BY HERBERT, ROWLAND AND GRUBIC, INC. ON JUNE 7, 2023. REFERENCE DEEDS OF RECORD AS SHOWN ON THE FACE OF THE SURVEY.
- RIGHT OF WAY FOR PERRY HIGHWAY (SR-19) WAS DETERMINED UPON REVIEW OF PA HIGHWAY PLANS FOR PROJECT NO F-242(12), SHEET 30 OF 42.
- THIS SURVEY HORIZONTALLY REFERENCES NORTH AMERICAN DATUM OF 1983 (NAD83) PENNSYLVANIA STATE PLANE, SOUTH ZONE DERIVED OR DETERMINED THROUGH GNSS, CONVENTIONAL METHODS BASED UPON POSITIONAL INFORMATION REFERENCED THROUGH KEYNETGPS GNSS VRS NETWORK.
- THE VERTICAL DATUM IS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88) DERIVED OR DETERMINED THROUGH GNSS, CONVENTIONAL METHODS BASED UPON POSITIONAL INFORMATION REFERENCED THROUGH KEYNETGPS GNSS VRS NETWORK.
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO EASEMENTS AND OTHER RESTRICTIONS, EITHER RECORDED OR UNRECORDED. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENT OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE OTHER THAN WHAT IS SHOWN ON THIS PLAN.

**HRG**  
HERBERT, ROWLAND & GRUBIC, INC.  
220 WEST KENSINGER DRIVE  
SUITE 100  
CRANBERRY TOWNSHIP, PA 16066  
724.779.4777 | hrg-inc.com



LOT CONSOLIDATION PLAN  
FOR  
HARMONY PA ASSOCIATES

OWNER: HARMONY PA ASSOCIATES  
TAX MAP #: 550-S5-D1, 550-S5-D3, 550-S5-D4  
INSTRUMENT #: 202207260016073

ZELIENOPLE - BUTLER COUNTY - PENNSYLVANIA

REVISIONS		
NO.	DATE	DESCRIPTION
1	8/15/23	Address Engineer comments
2		
3		
4		
5		
6		
7		
8		

HRG PROJECT NUMBER: R010359.0425  
PLAN DATE: AUGUST 2023  
DRAWING SCALE: 1" = 20'  
PROJ. MANAGER: PLS

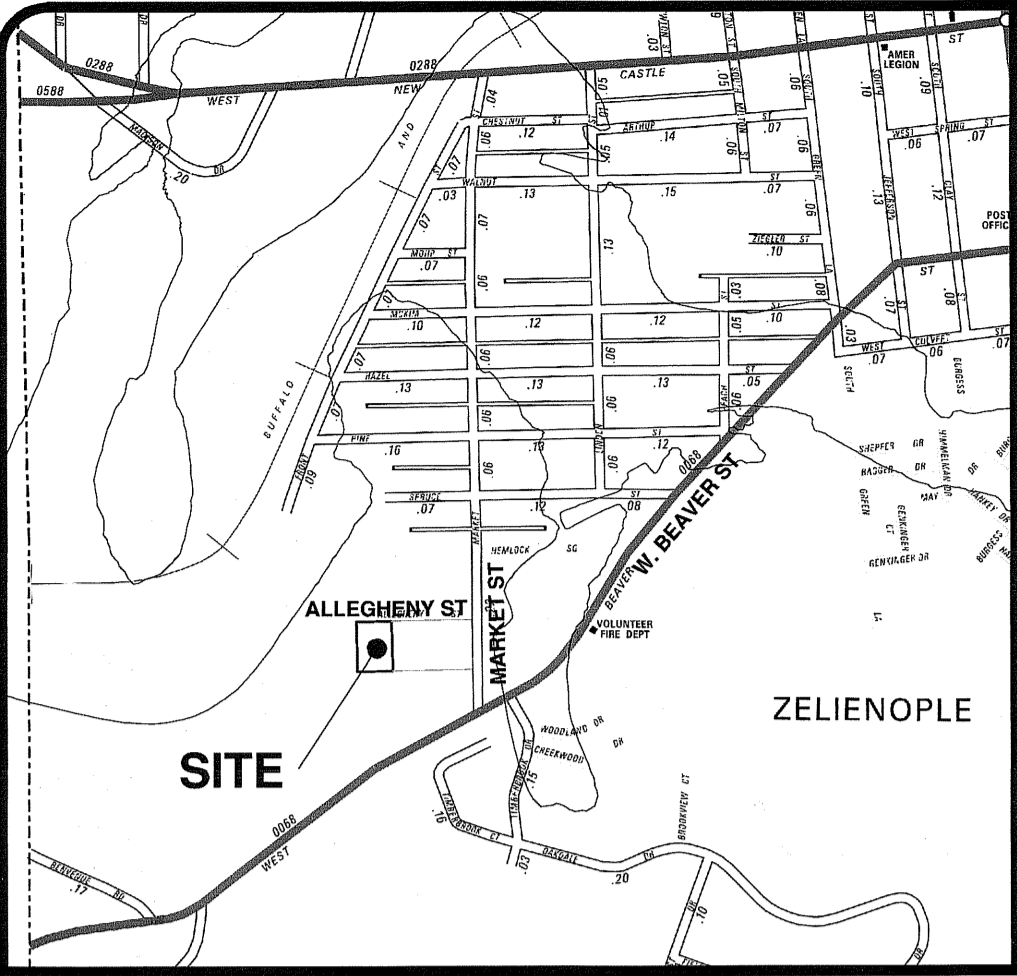
SHEET TITLE:

LOT CONSOLIDATION PLAN  
FOR  
HARMONY PA ASSOCIATES

SHEET:

LC

1



### LOCATION MAP

SCALE: 1"=1000'

### ZONING DATA

1. ZONING DISTRICT: C-3 HEAVY COMMERCIAL
  2. MINIMUM LOT SIZE: 35,000 Sq. Ft
  3. MINIMUM LOT WIDTH: 150' (AT BUILDING LINE)
  4. MAXIMUM LOT COVERAGE: 60%
  5. MAXIMUM BUILDING HEIGHT: 50'
  6. MINIMUM YARD REQUIREMENTS: FRONT: 60'  
SIDE: 25'  
REAR: 90'
  8. MAXIMUM IMPERVIOUS COVERAGE: 80%
- LOTS ARE SERVED OR IN AN AREA WITH PUBLIC WATER AND SEWER

### INTENT OF PLAN

IT IS THE INTENT OF THIS PLAN TO SUBDIVIDE A PORTION OF THE ZELIENOPLE LAND COMPANY PLAN OF LOTS AS SHOWN HEREON, TO CREATE LOT #1 AND LOT #2.

THERE ARE NO PLANNED IMPROVEMENTS ASSOCIATED WITH THIS PLAN.

### OWNER:

LOT 824-853 LDH RENTALS INC., FORMERLY KNOWN AS BENNETT & HALL CONSTRUCTION COMPANY

PARCEL 550-S4-A828-0000 DB 1295 PG 0845

PHYSICAL ADDRESS:  
809 ALLEGHENY STREET  
ZELIENOPLE, PA 16063

### AREA TABLE: (EXISTING)

LOT #2 156,000 SF 3.58 ACRES

### AREA TABLE: (PROPOSED)

LOT #1 48,100 SF 1.10 ACRES

LOT #2 107,900 SF 2.48 ACRES

### PROPERTY OWNERS CONSENT

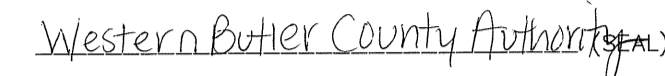

WE, LDH RENTALS, INC., FORMERLY KNOWN AS BENNETT AND HALL CONSTRUCTION COMPANY, THE OWNER OF LAND BEING SUBDIVIDED AND SUBSEQUENT OWNER OF THE REMAINDER LOT #2, DO HEREBY AGREE TO THE RECORDING OF THIS PLAN INsofar AS IT AFFECTS OUR PROPERTIES. WE FURTHER AGREE TO THE DEDICATIONS, ACKNOWLEDGEMENTS AND COVENANTS APPEARING HEREON.

WITNESS  OWNER 

### OWNER'S ADOPTION

KNOW ALL MEN BY THESE PRESENTS: THAT THE WESTERN BUTLER COUNTY AUTHORITY A CORPORATION ESTABLISHED UNDER THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, BY VIRTUE OF A RESOLUTION OF THE BOROUGH COUNCIL, THEREOF, DOES HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN THE BOROUGH OF ZELIENOPLE, COUNTY OF BUTLER, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY IRREVOCABLY DEDICATE ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC, UPON ANY FUTURE ACCEPTANCE OF SAID PUBLIC STREETS OR PROPERTY BY THE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND THE BOROUGH OF ZELIENOPLE, WESTERN BUTLER COUNTY AUTHORITY HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND THE BOROUGH OF ZELIENOPLE, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISH HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON WESTERN BUTLER COUNTY AUTHORITY ITS SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, THE SAID AUTHORITY HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE HAND OF ITS PRESIDENT AND SAME TO ATTESTED SECRETARY, THIS 21 DAY OF August, A.D. 2023

  
NAME OF AUTHORITY  
 (SEAL)  
MANAGER/MEMBER

### CORPORATION ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA } SS:  
COUNTY OF BUTLER }

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED Autumn Crawford OF THE WESTERN BUTLER COUNTY AUTHORITY, WHO BEING DULY SWORN, DEPOSETH AND SAITH THAT HE WAS PERSONALLY PRESENT AT THE EXECUTION OF THE ADOPTION, RELEASE AND DEDICATION AND SAW THE COMMON AND CORPORATE SEAL OF THE SAID CORPORATION DULY AFFIXED AND THAT THE ABOVE RELEASE AND DEDICATION WAS DULY SIGNED AND SEALED BY AND AS FOR THE ACT AND DEED OF THE SAID WESTERN BUTLER COUNTY AUTHORITY, FOR THE USES AND PURPOSES THEREIN MENTIONED AND THAT THE NAME OF THIS DEPONENT SUBSCRIBED TO THE SAID RELEASE AND DEDICATION AS A \_\_\_\_\_ OF SAID CORPORATION, IN ATTESTATION OF THE DUE EXECUTION AND DELIVERY OF SAID RELEASE AND DEDICATION OF THIS DEPONENT'S OWN AND PROPER AND RESPECTIVE HANDWRITING.

Manager TITLE OF OFFICER


SWORN TO AND SUBSCRIBED BEFORE ME THIS DAY  
WITNESS MY HAND AND NOTARIAL SEAL THIS 21st DAY OF August, 2023

MY COMMISSION EXPIRES THE 27th DAY OF June, 2026

SEAL  NOTARY PUBLIC

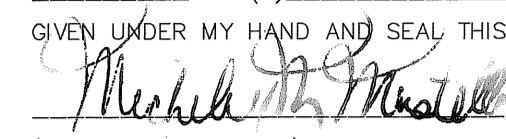
Commonwealth of Pennsylvania - Notary Seal  
EVAN J. GEORGE - Notary Public  
Butler County  
My Commission Expires June 27, 2026  
Commission Number 1332841

### INDIVIDUAL ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA) SS:  
COUNTY OF BUTLER  
BEFORE ME, Mike Hall THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED AND ACKNOWLEDGE THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE THEIR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.  
SWORN TO AND SUBSCRIBED BEFORE ME THIS 29th DAY OF August, 2023  
MY COMMISSION EXPIRES THE 27th DAY OF June, 2026  
  
NOTARY PUBLIC

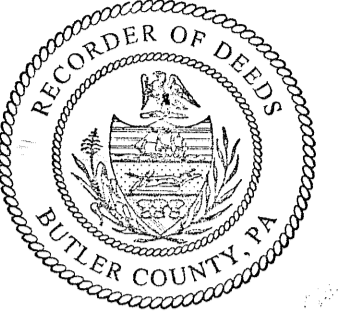
Commonwealth of Pennsylvania - Notary Seal  
EVAN J. GEORGE - Notary Public  
Butler County  
My Commission Expires June 27, 2026  
Commission Number 1332841

### PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA }  
} SS:  
COUNTY OF BUTLER }  
RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, PLATS AND PLANS IN SAID COUNTY, IN PLAN BOOK VOLUME 412 PAGE(S) 23  
GIVEN UNDER MY HAND AND SEAL THIS 30th DAY OF August, 2023  
  
(RECORDER OF DEEDS)

**MICHELE M. MUSTELLO**  
RECORDER OF DEEDS  
My Commission Expires First Monday in January 2024

Instr: 202308300012759  
Page 1 of 1  
Michele Mustello  
Butler County Recorder PA



### PROFESSIONAL LAND SURVEYOR CERTIFICATE

I, PAUL L. SAMPLE, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES, AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS AS SHOWN ON THE PLAT HAVE BEEN, OR WILL BE SET, AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

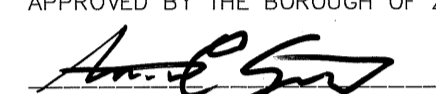
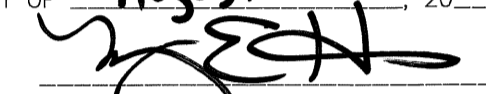
8-08-2023  
DATE

Paul Sample  
PROFESSIONAL LAND SURVEYOR

SU075659  
REGISTRATION NUMBER



### MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOROUGH OF ZELIENOPLE THIS 25th DAY OF August, 2023  
 SECRETARY  
 PRESIDENT  
BOROUGH COUNCIL

REVIEWED BY PLANNING COMMISSION OF THE BOROUGH OF ZELIENOPLE THIS 25th DAY OF August, 2023  
 SECRETARY  
 CHAIRPERSON  
PLANNING COMMISSION

### BUTLER CO PLANNING COMMISSION APPROVAL

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 18th DAY OF JAN, 2023

 (SECRETARY)  
 (CHAIRMAN)




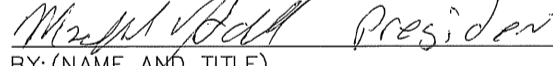
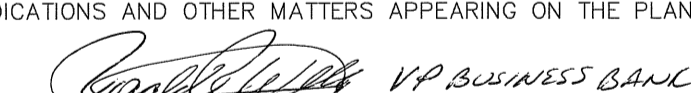
### MUNICIPAL DECLARATION

THE COUNCIL OF THE BOROUGH OF ZELIENOPLE, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE BOROUGH OF ZELIENOPLE ASSUMES NO OBLIGATION TO ACCEPT THE DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

 SECRETARY  
 BOROUGH PRESIDENT

### CERTIFICATION OF TITLE MORTGAGE

WE HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE SUBDIVISION & CONSOLIDATION PLAN LDH RENTALS, INC., FORMERLY KNOWN AS BENNETT & HALL CONSTRUCTION COMPANY FOR WESTERN BUTLER COUNTY AUTHORITY, IS RECORDED IN DEED BOOK VOLUME 1925, PAGE 0845.

WITNESS  BY: (NAME AND TITLE)  
 PRESIDENT  
NAME, TITLE, AND MORTGAGEE  
 VP BUSINESS BANK FIRST COMMONWEALTH BANK

### SURVEY NOTES

1. SUBJECT PROPERTY LINES DEPICTED ON THIS PLAN HAVE BEEN ESTABLISHED BASED UPON EVIDENCE OBTAINED THROUGH THE PERFORMANCE OF A FIELD BOUNDARY RETRACEMENT SURVEY BY HERBERT, ROWLAND AND GRUBIC, INC. IN JANUARY 2021.
2. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO EASEMENTS AND OTHER RESTRICTIONS, EITHER RECORDED OR UNRECORDED. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENT OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE OTHER THAN WHAT IS SHOWN ON THIS PLAN.
3. THE LOCATIONS OF UTILITIES AS SHOWN HEREON ARE BASED ON ABOVEGROUND FEATURES, FIELD OBSERVATIONS/SURVEY, AND RECORD DRAWINGS PROVIDED BY UTILITY COMPANIES. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITY LINES PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
4. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES IN COMPLIANCE WITH ACT 187 TO VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES.
5. SOILS INFORMATION TAKEN FROM THE U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE. PUBLICATION DATE: 2008130. TITLE: SOIL SURVEY GEOGRAPHIC (SSURGO) DATABASE FOR BUTLER COUNTY, PENNSYLVANIA. SOIL TYPES: (A1 and C4)
6. THE SUBJECT PROPERTY IS PARTIALLY LOCATED IN OTHER AREAS: OTHER FLOOD AREAS; ZONE X AND ZONE AE; AREAS DETERMINED TO BE "SPECIAL FLOOD HAZARD AREAS. FLOOD PLAIN AS SHOWN ON FLOOD INSURANCE MAP NUMBER 42019C0367D, DATED AUGUST 2, 2018 AS SHOWN HEREON
7. CAPITAL COSTS FOR ALLEGHENY STREET ROADWAY REPAIR AND SURFACE MAINTENANCE SHALL BE SHARED BETWEEN OWNERS OF LOTS #1 & #2, AND WESTERN BUTLER COUNTY AUTHORITY (OR SUCCESSORS). WINTER MAINTENANCE AND SNOW REMOVAL SHALL BE PERFORMED AT THE DISCRETION OF WESTERN BUTLER COUNTY AUTHORITY (OR SUCCESSORS).

NO.	REVISION	DATE	BY
2	FIRST COMMONWEALTH BANK -- NAME CHANGE	2023.06.13	PLS
1	ADDRESSED ZELI BOROUGH COMMENTS	2022.09.26	PLS



**HRG**  
Herbert, Rowland & Grubic, Inc.  
Engineering & Related Services  
AN EMPLOYEE-OWNED COMPANY

200 West Kensing Drive, Suite 400  
Cranberry Township, PA 16066  
(724) 779-4777  
Fax (724) 779-4711  
hr@hrg-inc.com  
www.hrg-inc.com

WESTERN BUTLER COUNTY AUTHORITY  
607 MARKET STREET  
ZELIENOPLE, PA 16063  
(724) 452.5501

SUBDIVISION & CONSOLIDATION PLAN  
LDH RENTALS, INC. FORMERLY  
KNOWN AS BENNETT & HALL CONSTRUCTION COMPANY  
FOR WESTERN BUTLER COUNTY AUTHORITY  
ZELIENOPLE BOROUGH BUTLER COUNTY PENNSYLVANIA

PROJ. MGR. -- CEH
DESIGN--
CADD-- DMH
CHECKED--REQ
SCALE-- AS SHOWN
DATE-- 10-20-22

DRAWING NO.  
**SD-1**  
SHEET NO.  
**1 OF 1**  
PROJECT R007867.0466

OWNERS' ADOPTION  
KNOW ALL MEN BY THESE PRESENTS THAT WE, JAMES DANKOVICH AND SUSAN DANKOVICH, OF THE TOWNSHIP OF BUTLER, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS PLAN AS OUR PLAN OF OUR PROPERTY SITUATE IN THE TOWNSHIP OF BUTLER, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND DO HEREBY DEDICATE FOREVER FOR PUBLIC USE FOR HIGHWAY AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANES, WAYS, RIGHTS-OF-WAY, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, AND WE RELEASE, REMISE AND DISCHARGE THE TOWNSHIP OF BUTLER, ITS SUCCESSORS OR ASSIGNS, OF AND FROM ALL LIABILITY, COURSES OF ACTION, CLAIMS OR DAMAGES ARISING FROM OR PERTAINING TO IN ANY MANNER SAID ROADS AND RIGHTS-OF-WAY.

WE FURTHER AGREE THAT SAID PLAN IS APPROVED BY THE TOWNSHIP OF BUTLER FOR "PLANNING PURPOSES ONLY" AND THAT SAID TOWNSHIP SHALL NOT ISSUE ANY "BUILDING PERMITS" FOR LOTS CONTAINED HEREIN, NOR SHALL ANY LOTS BE DEEDED UNTIL EITHER ALL OF SAID ROADS AND IMPROVEMENTS IN ACCORDANCE WITH BUTLER TOWNSHIP ORDINANCE AND ALL OTHER APPLICABLE ORDINANCES HAVE BEEN COMPLETED AND ACCEPTED BY SAID TOWNSHIP OR UNTIL THE TOWNSHIP HAS APPROVED A BOND WITH SUFFICIENT SURETY TO GUARANTEE CONSTRUCTION OF THE SAME.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 28 DAY OF AUGUST, 2023.

James Dankovich  
JAMES DANKOVICH

Susan Dankovich  
SUSAN DANKOVICH

ACKNOWLEDGMENT OF NOTARY PUBLIC  
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, JAMES DANKOVICH AND SUSAN DANKOVICH, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 28 DAY OF AUGUST, 2023.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023.

Debra L. DeLancey  
NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal  
Debra L. DeLancey, Notary Public  
Butler County  
My commission expires February 17, 2027  
Commission number 1152784  
Member, Pennsylvania Association of Notaries

#### CERTIFICATION OF TITLE

WE, JAMES DANKOVICH AND SUSAN DANKOVICH, OWNER OF PROPERTY IN THE DANKOVICH/MATICIC PLAN, DO HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE DANKOVICH/MATICIC PLAN IS IN THE NAMES OF JAMES DANKOVICH AND SUSAN DANKOVICH AND IS RECORDED IN INSTRUMENT NUMBER 20170906018943, BUTLER COUNTY RECORDER OF DEEDS OFFICE.

NA  
WITNESS

(NAME OF MORTGAGEE), MORTGAGEE OF THE PROPERTY CONTAINED IN THE DANKOVICH/MATICIC PLAN CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

NA  
WITNESS

#### CERTIFICATION OF TITLE (NO MORTGAGE)

WE, JAMES DANKOVICH AND SUSAN DANKOVICH, OWNER OF PROPERTY IN THE DANKOVICH/MATICIC PLAN, DO HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE DANKOVICH/MATICIC PLAN IS IN THE NAMES OF JAMES DANKOVICH AND SUSAN DANKOVICH AND IS RECORDED IN INSTRUMENT NUMBER 20170906018943, BUTLER COUNTY RECORDER OF DEEDS OFFICE. WE FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR ENCUMBRANCE AGAINST THESE PROPERTIES.

James Dankovich  
JAMES DANKOVICH

Susan Dankovich  
SUSAN DANKOVICH

#### SURVEYOR'S CERTIFICATION

I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THE PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

29 AUGUST 2023  
DATE

Stanley D. Graff  
REG. NO. SU-3004-E

#### BUTLER TOWNSHIP - MUNICIPAL DECLARATIONS

THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF BUTLER, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF BUTLER ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE OR ORDINANCE INSTALLED IN TOWNSHIP STREETS OR ROADS.

Theresa Gush  
SECRETARY

Robert A. Matcic  
PRESIDENT, BOARD OF COMMISSIONERS

#### MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF BUTLER, THIS 21 DAY OF AUGUST, 2023.

Theresa Gush  
SECRETARY

Robert A. Matcic  
PRESIDENT, BOARD OF COMMISSIONERS

APPROVED BY THE BUTLER TOWNSHIP PLANNING COMMISSION THIS 21 DAY OF AUGUST, 2023.

Frank Mader  
SECRETARY

Robert A. Matcic  
CHAIRPERSON, PLANNING COMMISSION

#### BUTLER COUNTY REVIEW AND APPROVAL STATEMENTS

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 19TH DAY OF SEPTEMBER, 2023.

R. H. Gern  
SECRETARY

R. H. Gern  
CHAIRPERSON, BUTLER COUNTY PLANNING COMMISSION

#### PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN

PLAN BOOK VOLUME 412, PAGE 24

GIVEN UNDER MY HAND AND SEAL THIS 30TH DAY OF AUGUST, 2023.

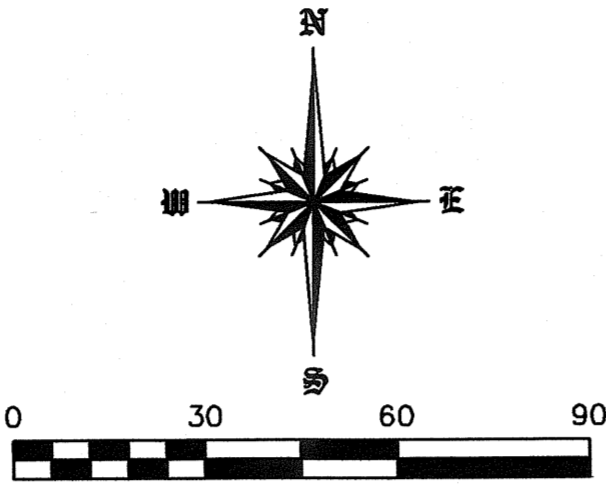
Michele M. Mustello  
RECORDER OF DEEDS

**MICHELE M. MUSTELLO**  
RECORDER OF DEEDS

My Commission Expires First Monday in January 2024

BUTLER TOWNSHIP R-1 DISTRICT	
Dimension	Single Family with Public Water and Sewer
Min. Lot Area	15,000 SF
Min. Lot Width	100 feet
Min. Front Yard Depth	40 feet
Min. Side Yard Depth	10 feet
Min. Rear Yard Depth	25 feet

Instr: 202308300012824  
Page: 1 of 1  
Nikola Mustello  
Butler County Recorder PA  
8/30/2023 4:23 PM  
T2030010391



N/F  
J. FRANCHUK  
051-61-210  
Lot 10 of the  
SOUTH HAVEN PARK  
PB 7 PG 20

N/F  
D. GEARHART  
051-61-284  
Lot 2 of the  
CUDA PLAN NO. 1  
PB 272 PG 4

N/F  
K. HAYCOCK  
051-61-289  
Lot 2 of the  
BURNS SUBDIVISION  
PB 164 PG 46

N/F  
J. CUDAH  
051-61-28  
Lot 1 of the  
CUDA PLAN NO. 1  
PB 272 PG 4

OWNERS' ADOPTION  
KNOW ALL MEN BY THESE PRESENTS THAT WE, ROBERT A. MATCIC AND THERESA J. MATCIC, NOT INDIVIDUALLY BUT AS TRUSTEES OF THE MATCIC FAMILY TRUST, DATED NOVEMBER 16, 2016, OF THE TOWNSHIP OF BUTLER, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND DO HEREBY DEDICATE FOREVER FOR PUBLIC USE FOR HIGHWAY AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANES, WAYS, RIGHTS-OF-WAY, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, AND WE RELEASE, REMISE AND DISCHARGE THE TOWNSHIP OF BUTLER, ITS SUCCESSORS OR ASSIGNS, OF AND FROM ALL LIABILITY, COURSES OF ACTION, CLAIMS OR DAMAGES ARISING FROM OR PERTAINING TO IN ANY MANNER SAID ROADS AND RIGHTS-OF-WAY.

WE FURTHER AGREE THAT SAID PLAN IS APPROVED BY THE TOWNSHIP OF BUTLER FOR "PLANNING PURPOSES ONLY" AND THAT SAID TOWNSHIP SHALL NOT ISSUE ANY "BUILDING PERMITS" FOR LOTS CONTAINED HEREIN, NOR SHALL ANY LOTS BE DEEDED UNTIL EITHER ALL OF SAID ROADS AND IMPROVEMENTS IN ACCORDANCE WITH BUTLER TOWNSHIP ORDINANCE AND ALL OTHER APPLICABLE ORDINANCES HAVE BEEN COMPLETED AND ACCEPTED BY SAID TOWNSHIP OR UNTIL THE TOWNSHIP HAS APPROVED A BOND WITH SUFFICIENT SURETY TO GUARANTEE CONSTRUCTION OF THE SAME.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 28 DAY OF AUGUST, 2023.

Robert A. Matcic  
ROBERT A. MATCIC  
TRUSTEE

Theresa J. Matcic  
THERESA J. MATCIC  
TRUSTEE

ACKNOWLEDGMENT OF NOTARY PUBLIC  
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, ROBERT A. MATCIC AND THERESA J. MATCIC, NOT INDIVIDUALLY BUT AS TRUSTEES OF THE MATCIC FAMILY TRUST, DATED NOVEMBER 16, 2016, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 28 DAY OF AUGUST, 2023.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023.

Debra L. DeLancey  
NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal  
Debra L. DeLancey, Notary Public  
Butler County  
My commission expires February 17, 2027  
Commission number 1152784  
Member, Pennsylvania Association of Notaries

#### CERTIFICATION OF TITLE

WE, ROBERT A. MATCIC AND THERESA J. MATCIC, NOT INDIVIDUALLY BUT AS TRUSTEES OF THE MATCIC FAMILY TRUST, DATED NOVEMBER 16, 2016, OWNER OF PROPERTY IN THE DANKOVICH/MATICIC PLAN, DO HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE DANKOVICH/MATICIC PLAN IS IN THE NAMES OF ROBERT A. MATCIC AND THERESA J. MATCIC, NOT INDIVIDUALLY BUT AS TRUSTEES OF THE MATCIC FAMILY TRUST, DATED NOVEMBER 16, 2016 AND IS RECORDED IN INSTRUMENT NUMBER 20170906018943, BUTLER COUNTY RECORDER OF DEEDS OFFICE.

Robert A. Matcic  
ROBERT A. MATCIC

Theresa J. Matcic  
THERESA J. MATCIC

(NAME OF MORTGAGEE), MORTGAGEE OF THE PROPERTY CONTAINED IN THE DANKOVICH/MATICIC PLAN CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

NA  
WITNESS

#### CERTIFICATION OF TITLE (NO MORTGAGE)

WE, ROBERT A. MATCIC AND THERESA J. MATCIC, NOT INDIVIDUALLY BUT AS TRUSTEES OF THE MATCIC FAMILY TRUST, DATED NOVEMBER 16, 2016, OWNER OF PROPERTY IN THE DANKOVICH/MATICIC PLAN, DO HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE DANKOVICH/MATICIC PLAN IS IN THE NAMES OF ROBERT A. MATCIC AND THERESA J. MATCIC, NOT INDIVIDUALLY BUT AS TRUSTEES OF THE MATCIC FAMILY TRUST, DATED NOVEMBER 16, 2016 AND IS RECORDED IN INSTRUMENT NUMBER 20170906018943, BUTLER COUNTY RECORDER OF DEEDS OFFICE. WE FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR ENCUMBRANCE AGAINST THESE PROPERTIES.

Debra L. DeLancey  
NOTARY PUBLIC

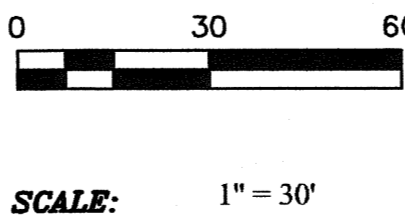
Robert A. Matcic  
ROBERT A. MATCIC

Theresa J. Matcic  
THERESA J. MATCIC

NOTE:  
SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS

HIGHWAY OCCUPANCY PERMIT:  
A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE STATE HIGHWAY LAW (P.L. 1242, NO. 428).

REV.	DESCRIPTION	BY	DATE	REFERENCE DRAWINGS
A	REVISIONS PER TOWNSHIP ENGINEER REVIEW LETTER DATED 7/19/2023	SDG	7/19/23	South Haven Park PB 7 PG 20
B	SECOND REVISION PER TOWNSHIP ENGINEER REVIEW LETTER DATED 7/19/2023	SDG	7/20/23	Burns Subdivision PB 164 PG 46 Cuda Plan No. 1 PB 272 PG 4



DRAWN BY: SDG  
DATE: 05/17/23  
CHECKED BY: SDG  
DATE:  
APPROVED:

#### DESIGNER

**GRAFF**  
SURVEYING

GRAFF SURVEYING LLC  
PO BOX 521 | SAXONBURG, PA 16056  
P: 724-352-3811 F: 724-352-1059  
INFO@GRAFFSURVEYING.COM  
WWW.GRAFFSURVEYING.COM

#### PROJECT

DANKOVICH/MATICIC PLAN :  
BEING A LOT LINE REVISION OF BUTLER COUNTY  
TAX PARCELS 051-61-2 AND 051-61-2A

**BUTLER TOWNSHIP**  
**BUTLER COUNTY, PENNSYLVANIA**

#### DWG. No.

23-068

RECORDED		20
PLAN BOOK	PAGE	
412	24	
SHEET		of

## OWNER'S CERTIFICATION

I, GRANT C. MCKNIGHT, PRESIDENT OF NATURAL SAND CO., INC. THE UNDERSIGNED, HEREBY DECLARE THAT NATURAL SAND CO., INC IS THE OWNER OF PROPERTY SHOWN ON THIS FINAL PLAN, THAT THE FINAL PLAN AND THE PROPOSED SUBDIVISION OR LAND DEVELOPMENT WERE MADE WITH THE OWNER'S CONSENT, AND THAT THE OWNERS DESIRE THE FINAL PLAN TO BE RECORDED AS SUCH.

IN WITNESS WHEREOF, I HAVE SET MY HAND AND SEAL THIS 25<sup>th</sup> DAY OF August, 2023.

*Grant C. McKnight*  
GRANT C. MCKNIGHT

## ACKNOWLEDGMENT OF NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA }  
COUNTY OF BUTLER } SS:

Commonwealth of Pennsylvania - Notary Seal  
JODEE L. PATTERSON - Notary Public  
Mercer County  
My Commission Expires September 1, 2024  
Commission Number 1297112

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED THE ABOVE NAMED, GRANT C. MCKNIGHT, PRESIDENT OF NATURAL SAND CO., INC. AND ACKNOWLEDGED THE FOREGOING FINAL PLAN OF SUBDIVISION OR LAND DEVELOPMENT TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 25<sup>th</sup> DAY OF August, 2023.

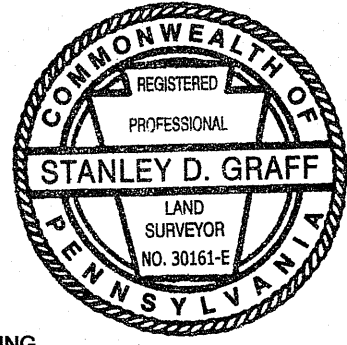
MY COMMISSION EXPIRES THE 1<sup>st</sup> DAY OF September, 2024

*Jodee L. Patterson*  
NOTARY PUBLIC

## SURVEYOR'S CERTIFICATION

I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

July 5, 2023  
DATE  
x *Stanley D. Graff*  
STANLEY D. GRAFF  
REG. NO. SU-030161E



## MUNICIPAL DECLARATIONS

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF BUFFALO, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF BUFFALO ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

## MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF BUFFALO THIS 12<sup>th</sup> DAY OF JULY, 2023.

*James J. Gulmini*  
SECRETARY  
x *Charles J. Gung*  
CHAIRPERSON  
BOARD OF SUPERVISORS

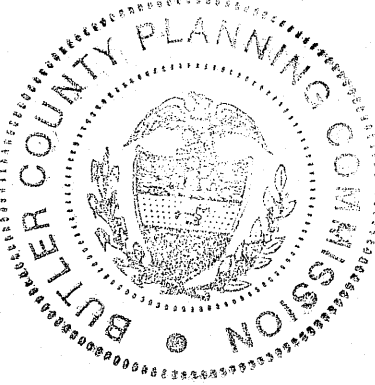
REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF BUFFALO THIS 5 DAY OF JULY, 2023.

*Aaron Gung*  
SECRETARY  
x *Robert M. Gung*  
CHAIRPERSON  
PLANNING COMMISSION

## BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 15<sup>th</sup> DAY OF JAN., 2023.

x *R. H. Gern*  
SECRETARY  
x *R. H. Gern*  
CHAIRPERSON  
BUTLER COUNTY PLANNING COMMISSION



## PROOF OF RECORDING

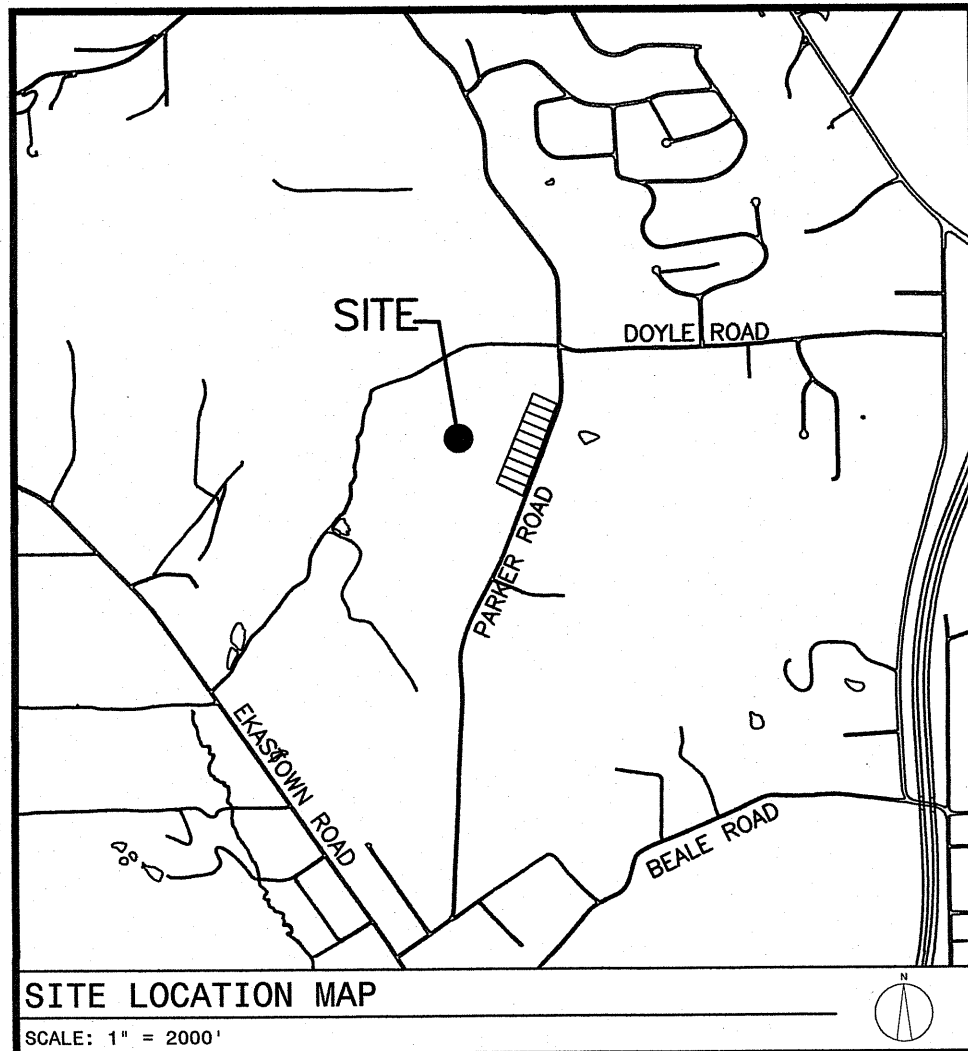
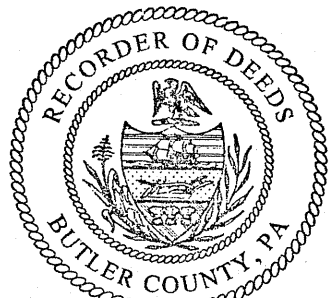
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN

PLAN BOOK VOLUME 412, PAGE(S) 25-26

GIVEN UNDER MY HAND AND SEAL THIS 30<sup>th</sup> DAY OF August, 2023.

*Michele M. Mustello*  
RECORDER OF DEEDS

MICHELE M. MUSTELLO  
RECORDER OF DEEDS  
My Commission Expires First Monday in January 2024



PLAN ORIENTATION NOTE: THE BEARINGS SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (PA-S) / NAD 1983

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

## OWNER'S CERTIFICATION

I, LEONARD J. BURD, THE UNDERSIGNED, HEREBY DECLARE THAT I AM THE OWNER OF THE PROPERTY SHOWN ON THIS FINAL PLAN, THAT THE FINAL PLAN AND THE PROPOSED SUBDIVISION OR LAND DEVELOPMENT WERE MADE WITH THE OWNER'S CONSENT, AND THAT THE OWNER DESIRES THE FINAL PLAN TO BE RECORDED AS SUCH.

IN WITNESS WHEREOF, I HAVE SET MY HAND AND SEAL THIS 21 DAY OF AUGUST, 2023.

*Leonard J. Burd*  
LEONARD J. BURD

## ACKNOWLEDGMENT OF NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA }  
COUNTY OF BUTLER } SS:

Commonwealth of Pennsylvania - Notary Seal  
Debra L. DeLancey, Notary Public  
Butler County  
My commission expires February 17, 2027  
Commission number 1152784  
Member, Pennsylvania Association of Notaries

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED THE ABOVE NAMED, LEONARD J. BURD, AND ACKNOWLEDGED THE FOREGOING FINAL PLAN OF SUBDIVISION OR LAND DEVELOPMENT TO BE HIS ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 21 DAY OF AUGUST, 2023.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2027

*Debra L. DeLancey*  
NOTARY PUBLIC

## PROPERTY AREA SUMMARY:

EXISTING TOTALS	
040-1F05-14D	31.29 AC
040-1F79-6	43.96 AC*
EXISTING TOTAL	75.25 AC

\*1F79-6 DEEDED AS BOUNDED ±44 ACRES

LOT 1	
ORIGINAL 1F05-14D	31.29 AC
-TRACT A	3.40 AC
LOT 1	27.89 AC

LOT 2	
ORIGINAL 1F79-6	43.96 AC
+TRACT A	3.40 AC
LOT 2	47.36 AC

REVISED TOTALS	
LOT 1	27.89 AC
+ LOT 2	47.36 AC
REVISED TOTAL	75.25 AC

N/F  
J. DLUBAK  
040-1F79-7

N/F  
C. DLUBAK  
040-1F79-4

N/F  
S. FIGORE  
040-1F79-5A

N/F  
HANAK LTD PARTNERSHIP  
040-1F79-5CA

N/F  
R. HANAK  
040-1F79-5C

N/F  
R. HANAK  
040-1F05-14B

N/F  
M. BRAMBLE  
040-1F05-14DC

N/F  
D. MCCONAHY  
040-1F05-14DK  
Lot 2 of the  
Burd Plan No. 4  
PB 336/34

N/F  
M. BAGOON  
040-53-59

N/F  
W. LINCOLN JR  
040-53-58

N/F  
C. SPENCER  
040-53-07

N/F  
R. GROVE  
040-53-06

N/F  
J. STEWART  
040-53-05

N/F  
D. YOUNG  
040-53-04

N/F  
C. FRIDRICK  
040-53-03

N/F  
F. GOLGAN  
040-53-02

N/F  
J. SHECKY  
040-53-01

N/F  
NATURAL SAND CO., INC.  
040-1F05-14DU

N/F  
L. BURD  
040-1F05-14DL  
Lot 3 of the  
Burd Plan No. 5  
PB 360/28

N/F  
J. GILLAM  
040-1F05-14DE

N/F  
C. BEIGHLEY  
040-1F05-14DF

N/F  
P. ORTILLY  
040-1F05-14DG

N/F  
C. URC  
040-1F05-14DH

N/F  
L. HORN  
040-1F79-13B

N/F  
G. LABISHAK  
040-1F79-13MA

N/F  
ZONE 1 REAL ESTATE LLC  
040-1F79-13MB

N/F  
ZONE 1 REAL ESTATE LLC  
040-1F79-13NA

N/F  
ZONE 1 REAL ESTATE LLC  
040-1F79-13N

N/F  
J. DLUBAK TRUST  
040-1F79-12F

EXISTING 50'  
RIGHT-OF-WAY  
201001280002023

N/F  
ZONE 1 REAL ESTATE LLC  
040-1F79-12FC

N/F  
ZONE 1 REAL ESTATE LLC  
040-1F79-12FE

N/F  
B. ARNOLD  
040-1F79-12FB

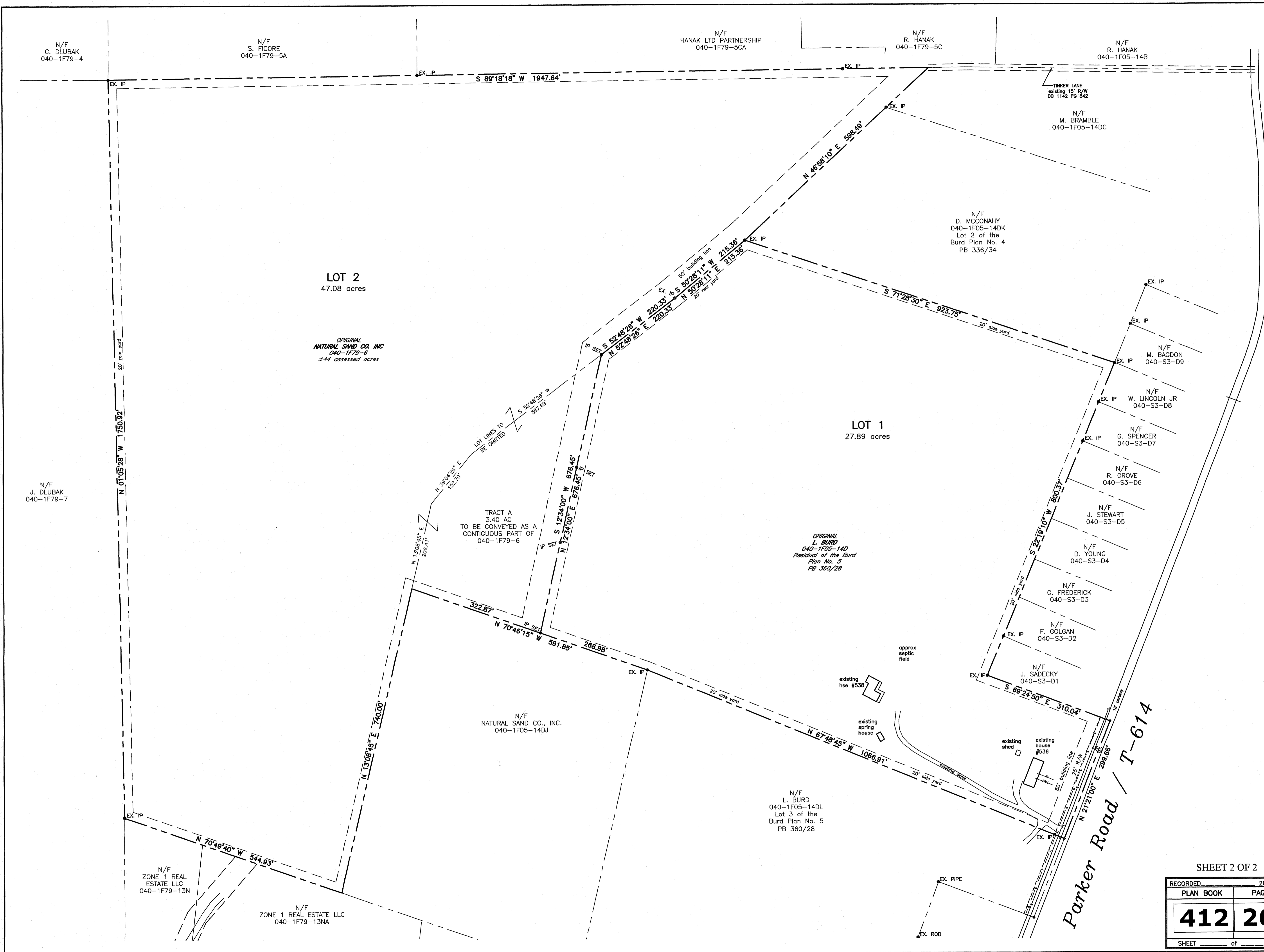
## GENERAL NOTES:

- OWNERS: 040-1F05-14D LEONARD J. BURD  
040-1F79-6 NATURAL SAND CO. INC.
- ZONING: A-1 AGRICULTURAL
- SETBACKS: FRONT LINE - 50'  
BACK & SIDE - 20'
- REFERENCES  
4.1. CURRENT DEEDS OF RECORD  
4.2. PREVIOUSLY RECORDED PLANS  
4.2.1. 1960 PRESSAU SURVEY OF W. A. BURD TRACT  
4.2.2. W.A. BURD PLAN OF LOTS NO. 1  
P.B. 60/PG 17  
4.2.3. HANAK PLAN  
P.B. 315/PG 32  
4.2.4. BURD PLAN NO. 4  
P.B. 336/PG 34  
4.2.5. BURD PLAN NO. 5  
P.B. 360/PG 28  
5. EXISTING UNDERGROUND UTILITIES SHOWN AS DESIGNATED BY OWNER

SHEET 1 OF 2

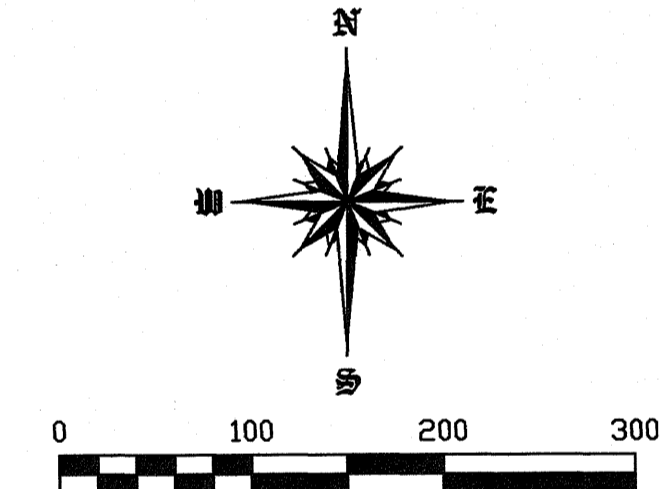
RECORDED	20
PLAN BOOK	PAGE
412	25
SHEET	of

B	REVISED AS PER TOWNSHIP ENGINEER REVIEW LETTER DATED 6/28/23	SDG	7/3/23
A	ADJUSTED PERIMETER BOUNDARIES	SDG	5/1/23
REV	DESCRIPTION	BY	DATE
GRAFF SURVEYING LLC PO BOX 521   SAXONBURG, PA 16056 P: 724-352-3811 F: 724-352-1059 INFO@GRAFFSURVEYING.COM WWW.GRAFFSURVEYING.COM			
PROJECT DESCRIPTION BURD / NATURAL SAND CO. PLAN BEING A LOT LINE REVISION OF NATURAL SAND CO INC. LEONARD J. BURD			
SITUATE BUFFALO TOWNSHIP BUTLER COUNTY, PENNSYLVANIA			
DATE 1/13/2023	DRAWN SDG	CHECKED Sdg	SCALE 1" = 100'
PROJECT NO. 22-178	TAX PARCEL NO. 040-1F05-14D & 1F79-6	REVISION B	



PROPERTY AREA SUMMARY:

EXISTING TOTALS	
040-1F05-14D	31.29 AC
040-1F79-6	43.88 AC*
EXISTING TOTAL	74.97 AC
*1F79-6 DEEDED AS BOUNDED ±44 ACRES	
LOT 1	
ORIGINAL 1F05-14D	31.29 AC
- TRACT A	3.40 AC
LOT 1	27.89 AC
LOT 2	
ORIGINAL 1F79-6	43.88 AC
+ TRACT A	3.40 AC
LOT 2	47.08 AC
REVISED TOTALS	
LOT 1	27.89 AC
+ LOT 2	47.08 AC
REVISED TOTAL	74.97 AC



REV	DESCRIPTION	BY	DATE
B	REVISED AS PER TOWNSHIP ENGINEER REVIEW LETTER DATED 6/29/23	SDG	7/3/23
A	ADJUSTED PERIMETER BOUNDARIES	SDG	5/1/23



GRAFF SURVEYING LLC  
PO BOX 521 | SAXONBURG, PA 16056  
P: 724-352-3811 F: 724-352-1059  
INFO@GRAFFSURVEYING.COM  
WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION  
**BURD / NATURAL SAND CO. PLAN**  
BEING A  
**LOT LINE REVISION**  
OF  
**NATURAL SAND CO INC.**  
**LEONARD J. BURD**

SITUATE  
BUFFALO TOWNSHIP  
BUTLER COUNTY, PENNSYLVANIA

DATE	DRAWN	CHECKED	SCALE
1/13/2023	SDG	Sdg	1" = 100'
PROJECT NO.	TAX PARCEL NO.	REVISION	
22-178	040-1F05-14D & 1F79-6	B	

SHEET 2 OF 2	
RECORDED	20
PLAN BOOK	PAGE
412	26
SHEET _____ of _____	

INDIVIDUAL ADOPTION, DEDICATION AND RELEASE

KNOW ALL MEN BY THESE PRESENTS, That We, STEVEN M. HAUS & RACHEL L. VISSARI of the Township of Lancaster, of the County of Butler, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this plan as our Plan of Lots of our property, situate in Lancaster Township, Butler County, Pennsylvania, and for divers advantages accruing to us, do hereby irrevocably dedicate all streets and other property identified for dedication on the plan to the public. Upon any future acceptance of said public streets or property by the Commonwealth of Pennsylvania, County of Butler and Township of Lancaster, we hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Lancaster, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon STEVEN M. HAUS & RACHEL L. VISSARI, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we hereunto set our hand and seal this 28<sup>th</sup> day of AUGUST, 2023.

ATTEST:  
Notary Public  


INDIVIDUAL ACKNOWLEDGMENT  
My commission expires September 2, 2026  
Commission number 1091033

COMMONWEALTH OF PENNSYLVANIA  
Notary Public  
COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named STEVEN M. HAUS & RACHEL L. VISSARI and acknowledged the foregoing release and dedication and plan to be their act and deed and desired the same to be recorded as such.

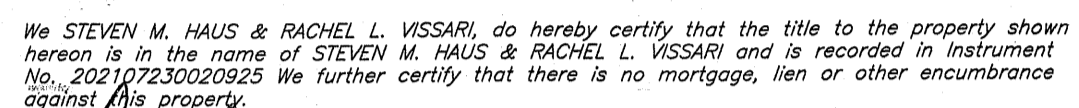
Sworn to and subscribed before me this day.

WITNESS MY HAND AND NOTARIAL SEAL, this 28<sup>th</sup> day of AUGUST, 2023.

My Commission Expires the 2<sup>nd</sup> day of SEPTEMBER, 2026.

SEAL  
My commission expires September 2, 2026  
Commission number 1091033

CERTIFICATE OF TITLE - Notary Public  
We STEVEN M. HAUS & RACHEL L. VISSARI, do hereby certify that the title to the property shown hereon is in the name of STEVEN M. HAUS & RACHEL L. VISSARI and is recorded in Instrument No. 202107230020925. We further certify that there is no mortgage, lien or other encumbrance against this property.

ATTEST:  
Notary Public  


PROFESSIONAL LAND SURVEYOR CERTIFICATE  
I, Gary A. Sheffler, a Registered Professional Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan shown hereon is based upon an actual field survey of the land described and that all angles, distances, and courses are correctly shown, that the monuments and markers are shown on the plot have been set, and to the best of my knowledge, that this plan correctly represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.

Date 01-10-2023  
Gary A. Sheffler  
Registration Number: 11786-E

TOWNSHIP ENGINEER'S CERTIFICATION  
This plan was reviewed by the Township Engineer for conformance with the Lancaster Township Ordinance and Land Development Ordinance and other applicable Township ordinances.

Date 8-25-2023  
Name: Thomas L. Thompson  
Registration Number: 043500-E

BOARD OF SUPERVISORS FINAL APPROVAL CERTIFICATE  
The Board of Supervisors of the Township of Lancaster hereby gives public notice that in approving this plan for recording purposes only, the Township of Lancaster assumes no obligations, legal or otherwise, expressed or implied either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other service or utility installed in Township streets or roads.

Secretary  
Res: 8/22/23  
Date

BUTLER COUNTY PLANNING COMMISSION CERTIFICATE  
Reviewed by the Butler County Planning Commission this 9<sup>th</sup> day of August, 2023.

PROOF OF RECORDING  
COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF BUTLER

Recorded in the Recorder's Office for the recording of deeds, plans, etc., in said County in Plan Book Volume 412, page 27.

Given under my hand and seal this 30<sup>th</sup> day of August, 2023.

MICHELE M. MUSTELLO  
RECORDER OF DEEDS  
My Commission Expires First Monday in January 2024

Butler County Recorder of Deeds  
My Commission Expires First Monday in January 2024

Butler County Recorder of Deeds  
My Commission Expires First Monday in January 2024

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My Commission Expires First Monday in January 2024

Butler County Recorder of Deeds  
My Commission Expires First Monday in January 2024

Instnr: 202308300012831

Page 1 of 1

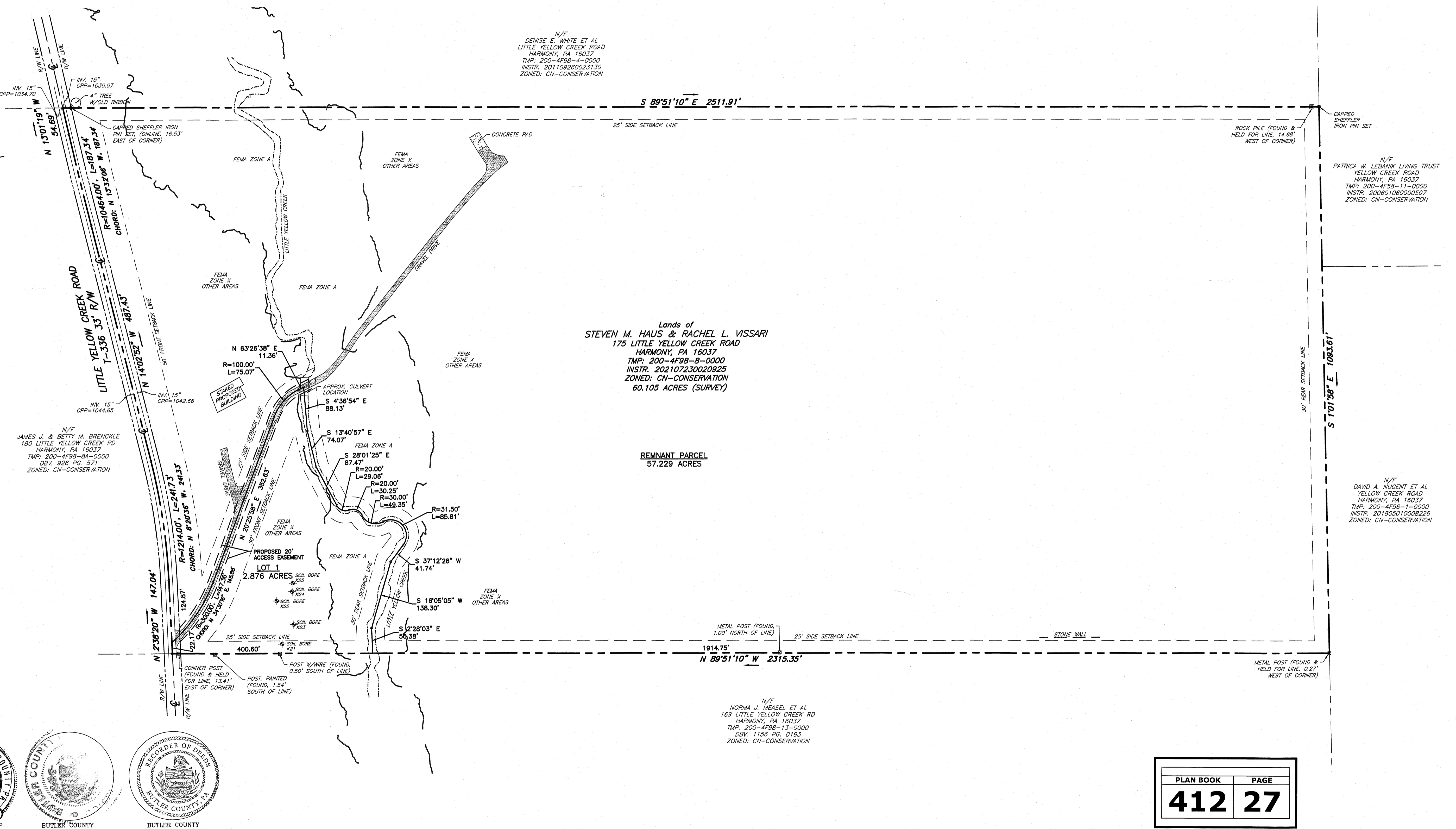
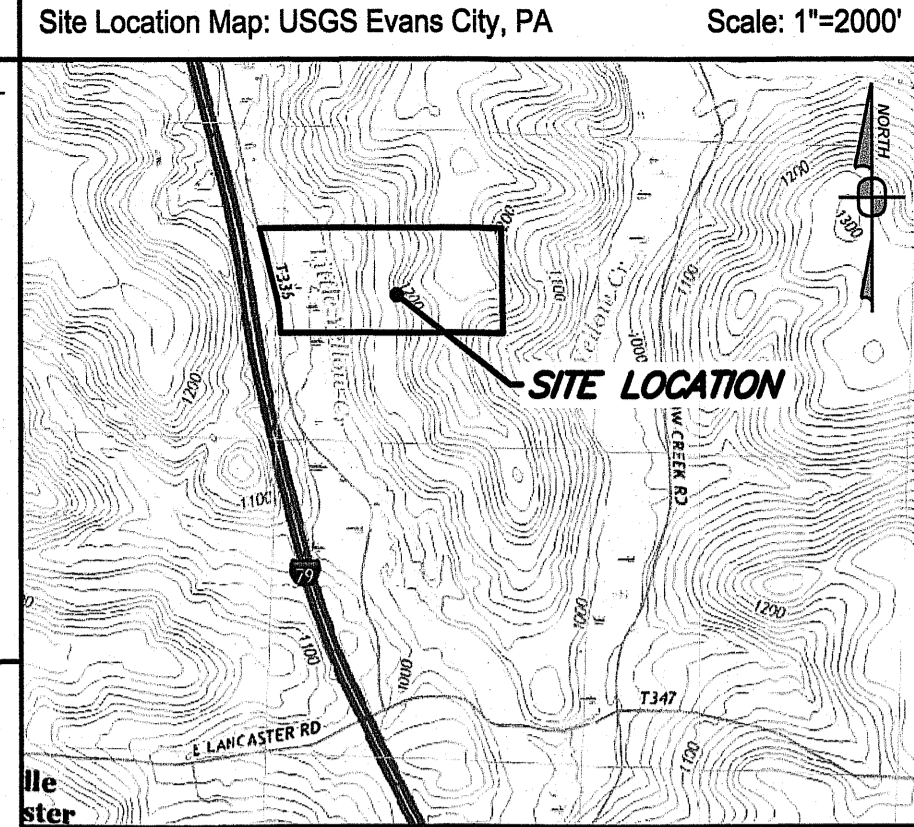
Notary Public  
Butler County Recorder of Deeds

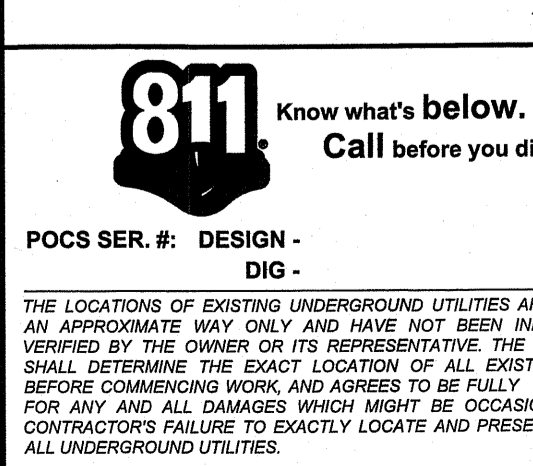
AREA TABULATION:	GENERAL NOTES:
EXISTING TAX PARCELS:	1. MERIDIAN SHOWN HEREON IS BASED ON GRID NORTH PER GPS OBSERVATIONS CONDUCTED IN PENNSYLVANIA SOUTH STATE PLANE NAD 83. INTERIOR ANGLES FOR THE EXISTING PROPERTIES SHOWN HEREON ARE BASED UPON DEEDS OF RECORD.
200-4F98-8-0000 60.105 ACRES	2. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE A 2.876 ACRE LOT (LOT 1) FROM THE EXISTING 80.108 ACRES (TAX MAP PARCEL 200-4F23-8) LEAVING A REMNANT 57.229 ACRE PARCEL.
PROPOSED PARCELS:	3. BY GRAPHIC PLOTTING ONLY, THE SUBJECT PREMISES LIES WITHIN FLOOD ZONE A AND ZONE X, OTHER AREAS, AS SHOWN ON FEMA FIRM MAP COMMUNITY PANEL NO. 4901830800 BEARING AN EFFECTIVE DATE OF 08/02/2016. ZONE A DENOTES AREA IN SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD WITH NO BASE FLOOD ELEVATIONS DETERMINED. ZONE X OTHERS DENOTES AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
PROPOSED LOT NO. 1 2.876 ACRES	4. THE CONSTRUCTION OF A SINGLE-FAMILY DWELLING ON LOT 1, AS PER APPLICATION, WOULD VIOLATE THE DENSITY REQUIREMENTS OF THE CODE. THE TOWNSHIP BOARD OF SUPERVISORS APPROVES THE APPLICATION SUBJECT TO THE CONDITION THAT NO FURTHER SUBDIVISION OF LOT 1 OCCURS. IN ADDITION, IF THE REMNANT PARCEL IS FURTHER SUBDIVIDED IN THE FUTURE, THE FUTURE LOTS WILL NEED TO ACCOUNT FOR THE ADDITIONAL DENSITY OF LOT 1 TO MAINTAIN A MINIMUM DENSITY OF 5 ACRES PER LOT FOR ALL EXISTING AND FUTURE LOTS. THIS CONDITION SHALL APPEAR AS A RESTRICTIVE COVENANT IN ANY FUTURE DEEDS OR CONVEYANCES OF LOT 1 AND THE REMNANT LOT.
REMNANT PARCEL 57.229 ACRES	

GENERAL ROAD LAW - REPAIR OF PRIVATE ROADS AND DEFINITIONS  
Amending the act of June 13, 1936 (P.L. 551, No. 169), entitled "An act relating to roads, highways and bridges," further providing for repair of private roads and providing for definitions.  
The General Assembly of the Commonwealth of Pennsylvania hereby enacts as follows:  
Section 1. Section 15 of the act of June 13, 1936 (P.L. 551, No. 169), referred to as the General Road Law, is amended to read:  
Section 15. Repair of private roads.  
(a) [A private road] A private road shall be opened, fenced and kept in repair by and at the expense of the [person or persons respectively] property owner at whose request [the same were] private road was granted and laid out, and by [their] the property owner's heirs and assigns.  
(b) Each property owner that shares a common benefit from a private road shall contribute in proportion to the amount of the private road utilized to the cost of maintaining the private road at the current level of improvement and shall have the right to bring a civil action to enforce the requirement of this section.  
(c) This section shall not apply to a private road subject to a written maintenance agreement, a private road established by the Commonwealth or by a municipality entitled to the exception provided under 26 Pa.C.S. § 204(b)(6) (relating to eminent domain for private business prohibited) or to a private road within a common interest ownership community under 68 Pa.C.S. (relating to real and personal property).  
Section 2. The act is amended by adding a section to read:  
Section 60. Definitions.  
The following words and phrases when used in this act shall have the meanings given to them in this section unless the context clearly indicates otherwise:  
The term "municipality" shall mean a county, city, borough, incorporated town or township.  
Section 3. This act shall take effect in 60 days.

ZONING INFORMATION:  
THE SUBJECT PREMISES LIES WITHIN THE CONSERVATION (CN) ZONING DISTRICT  
ZONING DISTRICT: CN - CONSERVATION DISTRICT  
MIN. LOT WIDTH: 150 FEET  
MIN. FRONT YARD: 50 FEET  
MIN. SIDE YARD: 25 FEET  
MIN. REAR YARD: 30 FEET  
MAX. LOT COVERAGE: 10%  
ZONING INFORMATION WAS OBTAINED FROM:  
LANCASTER TOWNSHIP  
ZONING ORDINANCE AMENDED: 11-17-2008  
ZONING MAP: OCTOBER, 2019  
TOWNSHIP MANAGER  
C. MICHAEL FOOTE  
113 KINGS ALLEY  
HARMONY, PA 16063  
PHONE: (724)452-7213

Site Location Map: USGS Evans City, PA  
Scale: 1"=2000'





Know what's below.  
Call before you dig.

POCS SER. #: DESIGN - DIG -

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Horizontal Scale

0 100' 200'

(Feet)

1 inch = 100 ft.

Date: 08-03-23

Revision Description: Added Density Requirement Note and General Road Law Note

By: MWS

Professional Seal

Prepared By: Sheffler & Company, Inc. ENGINEERING • SURVEYING

1712 Mount Nebo Road Sewickley, PA 15143

Office Phone: 412-219-4509 Email: Info@ShefflerCo.com

Haus Property Subdivision No. 1

Prepared For: Steven Haus

Situate In: Lancaster Township, Butler County, Pennsylvania

Being a Subdivision Plan of Butler County Tax Map Parcel 200-4F98-8-0000

DRAWING SCALE: 1" = 100'

DESIGNED BY: MWS

DATE ISSUED: Jan. 03, 2023

REVIEWED BY: JTH

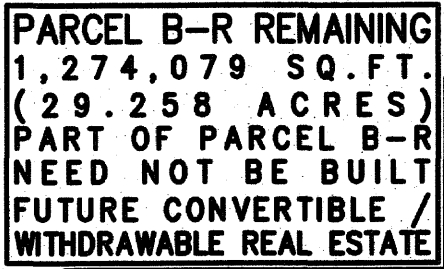
PROJECT JOB#: 4720

FIELD BOOK #: #####

CADD#: 4720 - Little Yellow Creek Road Survey.dwg

Steven Haus 3204 Megi Road Zellenople, Pa 16063 Phone: (724) 713-7092 Email: shaus51@gmail.com

Sheet No. 1 of 1

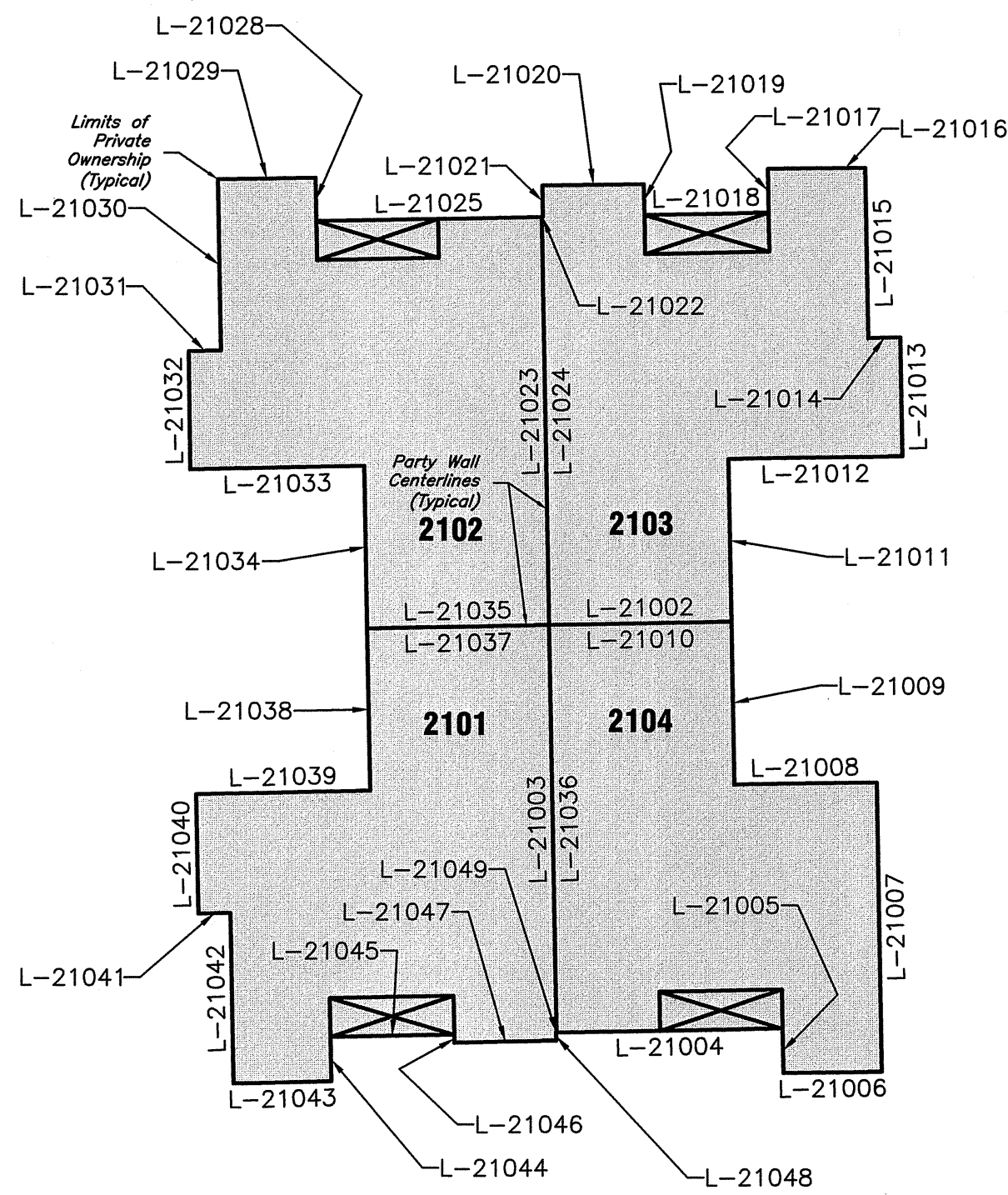


Said parcel contains an area of 93,981.32 sq.ft. or 2.16 acre and includes 12 units for declaration.

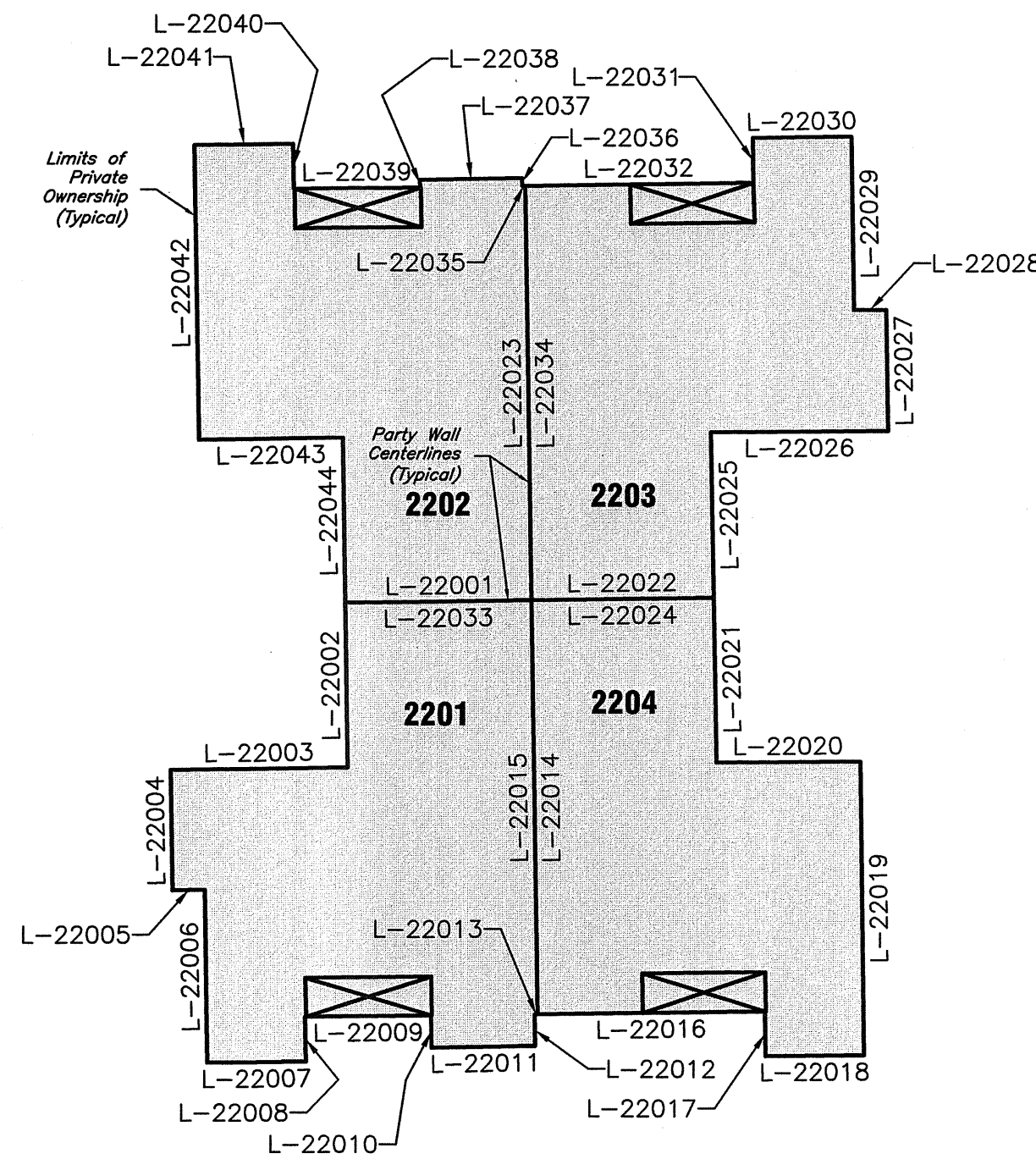


*Butler Township, Butler County, Pennsylvania*

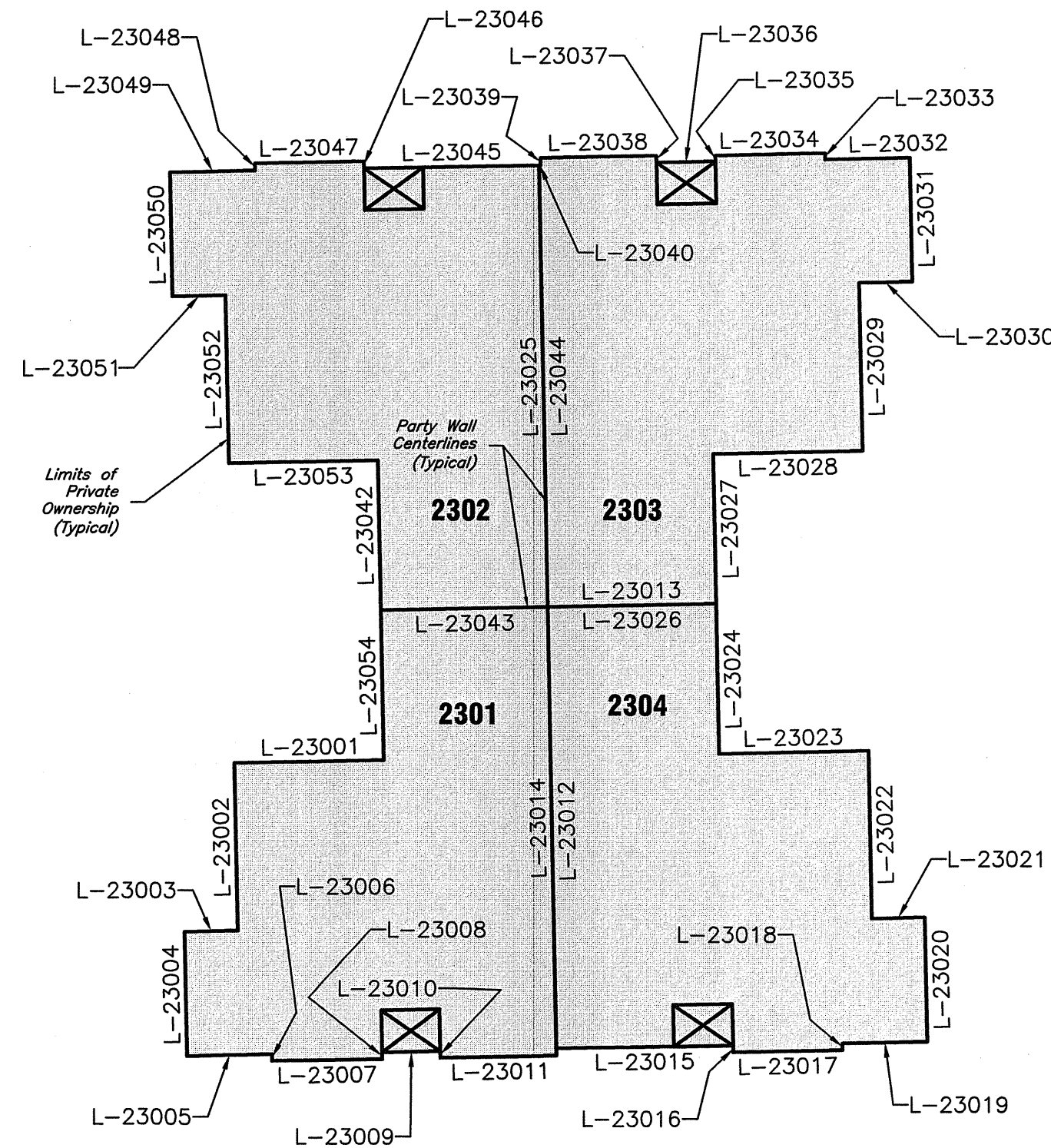




Line Table		
Line #	Length	Direction
L-21002	22.81'	N88°55'41"E
L-21003	51.15'	N01°04'19"W
L-21004	28.31'	S88°55'41"W
L-21005	5.58'	N01°04'19"W
L-21006	12.28'	S88°55'41"W
L-21007	36.30'	S01°00'14"E
L-21008	17.82'	N88°55'41"E
L-21009	20.43'	S01°04'19"E
L-21010	22.81'	S88°55'41"W
L-21011	20.35'	S01°04'19"E
L-21012	21.75'	S88°55'41"W
L-21013	14.92'	S00°59'14"E
L-21014	4.00'	N88°55'41"E
L-21015	21.30'	S01°04'19"E
L-21016	12.17'	N89°00'24"E
L-21017	5.44'	N01°04'19"W
L-21018	15.54'	N88°55'41"E
L-21019	3.83'	S01°04'19"E
L-21020	12.72'	N89°20'49"E
L-21021	3.93'	N01°04'19"W
L-21022	0.14'	N88°55'41"E
L-21023	51.15'	N01°04'19"W
L-21024	51.15'	S01°04'19"E
L-21025	28.22'	N88°55'41"E
L-21028	5.41'	S01°04'19"E
L-21029	12.25'	N89°12'35"E
L-21030	21.43'	N01°04'19"W
L-21031	4.02'	N88°55'41"E
L-21032	14.83'	N00°48'37"W
L-21033	21.75'	S88°55'41"W
L-21034	20.35'	N01°04'19"W
L-21035	22.81'	N88°55'41"E
L-21036	51.15'	S01°04'19"E
L-21037	22.81'	S88°55'41"W
L-21038	20.35'	N01°04'19"W
L-21039	21.75'	N88°55'41"E
L-21040	15.00'	N01°04'19"W
L-21041	4.00'	S88°55'41"W
L-21042	21.38'	N01°04'19"W
L-21043	12.25'	S88°55'41"W
L-21044	5.58'	S01°04'19"E
L-21045	15.50'	S88°55'41"W
L-21046	1.00'	N01°04'19"W
L-21047	12.75'	S88°55'41"W
L-21048	1.00'	S01°04'19"E
L-21049	0.06'	S88°55'41"W



Line Table		
Line #	Length	Direction
L-22001	22.92'	N89°08'39"E
L-22002	20.35'	N00°51'21"W
L-22003	21.81'	N89°14'14"E
L-22004	14.90'	N00°52'50"W
L-22005	3.96'	S89°08'39"W
L-22006	21.34'	N00°51'21"W
L-22007	12.15'	S89°24'07"W
L-22008	5.55'	S00°51'21"E
L-22009	15.50'	S89°08'39"W
L-22010	3.95'	N00°51'21"W
L-22011	12.76'	S89°08'39"W
L-22012	3.88'	S00°51'21"E
L-22013	0.35'	S89°08'39"W
L-22014	51.15'	S00°51'21"E
L-22015	51.15'	N00°51'21"W
L-22016	28.04'	S89°08'39"W
L-22017	5.46'	N00°55'22"W
L-22018	12.11'	S89°14'52"W
L-22019	36.28'	S00°39'31"E
L-22020	17.75'	N89°12'33"E
L-22021	20.33'	S00°57'11"E
L-22022	22.50'	N89°08'39"E
L-22023	51.15'	N00°51'21"W
L-22024	22.50'	S89°08'40"W
L-22025	20.44'	S00°57'11"E
L-22026	21.80'	S89°19'10"W
L-22027	14.95'	S00°52'53"E
L-22028	3.95'	N89°08'39"E
L-22029	21.41'	S00°48'04"E
L-22030	12.19'	N88°53'42"E
L-22031	5.53'	N00°51'21"W
L-22032	28.15'	N89°08'39"E
L-22033	22.92'	S89°08'39"W
L-22034	51.15'	S00°51'21"E
L-22035	0.37'	N89°08'39"E
L-22036	0.97'	S00°51'21"E
L-22037	12.60'	N89°04'53"E
L-22038	0.95'	N00°51'21"W
L-22039	15.54'	N89°08'39"E
L-22040	5.56'	S00°51'21"E
L-22041	12.16'	N89°14'13"E
L-22042	36.38'	N00°51'21"W
L-22043	17.75'	S89°08'39"W
L-22044	20.35'	N00°51'21"W

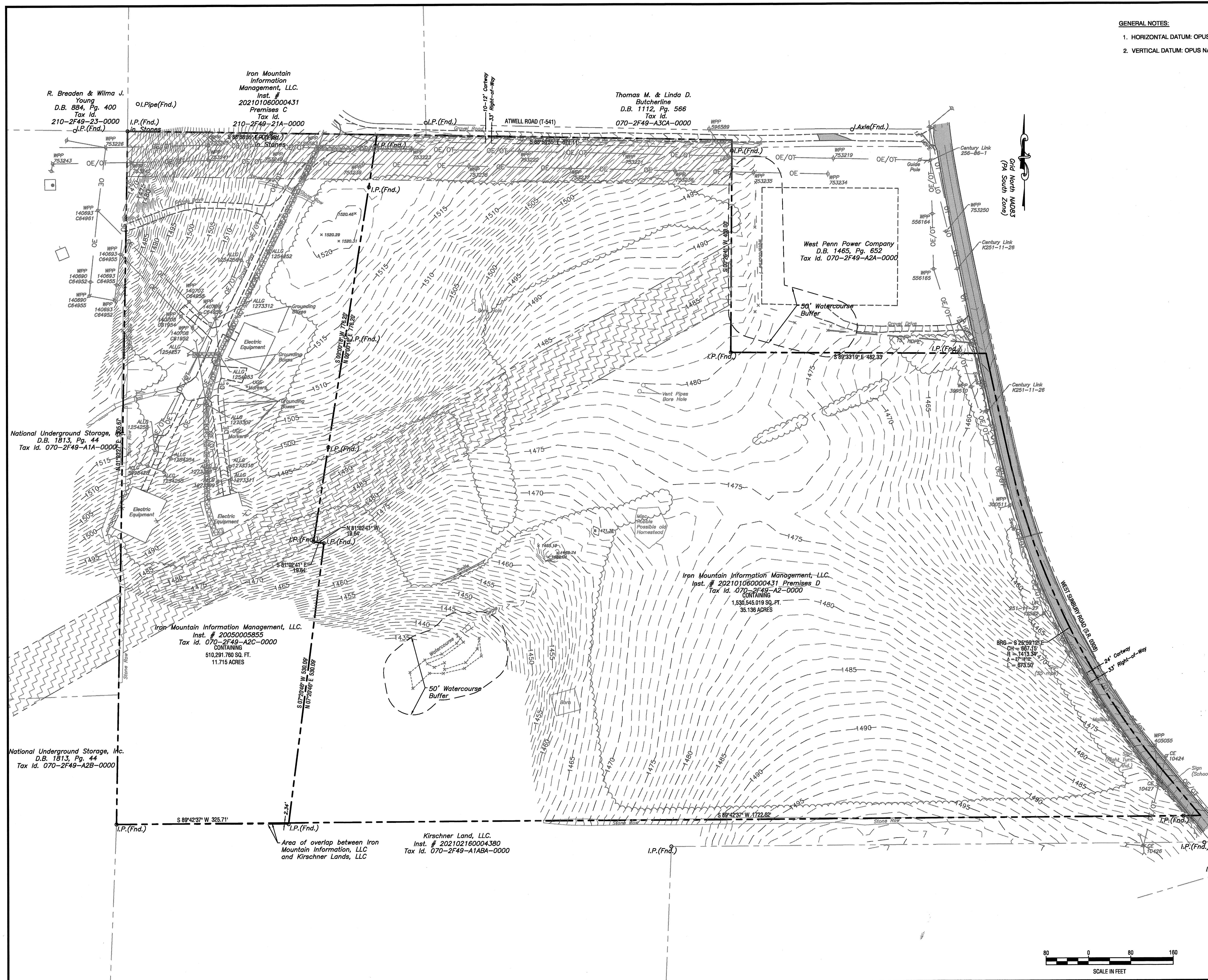


Line Table		
Line #	Length	Direction
L-23001	20.27'	N88°52'36"E
L-23002	22.79'	N01°07'24"W
L-23003	7.21'	N88°52'36"E
L-23004	16.88'	N01°07'24"W
L-23005	11.52'	S88°52'36"W
L-23006	0.91'	N01°07'24"W
L-23007	14.93'	S89°01'13"W
L-23008	0.93'	S01°07'24"E
L-23009	7.92'	S88°52'36"W
L-23010	0.89'	N01°07'24"W
L-23011	15.88'	S88°52'36"W
L-23012	61.00'	S01°07'24"E
L-23013	22.85'	N88°52'36"E
L-23014	60.01'	N01°07'24"W
L-23015	23.96'	S89°02'24"W
L-23016	0.91'	N00°31'13"W
L-23017	14.81'	S88°52'36"W
L-23018	0.90'	S01°07'24"E
L-23019	11.56'	S88°52'36"W
L-23020	16.88'	S01°07'24"E
L-23021	7.21'	N88°52'36"E
L-23022	22.79'	S01°07'24"E
L-23023	20.27'	N88°52'36"E
L-23024	20.41'	S01°07'24"E
L-23025	60.04'	N01°07'24"W
L-23026	22.85'	S88°52'36"W
L-23027	20.42'	S01°07'24"E
L-23028	20.27'	S88°52'36"W
L-23029	22.79'	S01°07'24"E
L-23030	7.21'	S88°52'36"W
L-23031	16.88'	S01°07'24"E
L-23032	11.49'	N88°52'36"E
L-23033	0.86'	S01°07'24"E
L-23034	14.89'	N88°52'36"E
L-23035	0.82'	N01°07'24"W
L-23036	8.00'	N88°52'36"E
L-23037	0.92'	S01°07'24"E
L-23038	15.75'	N88°52'36"E
L-23039	1.00'	N01°07'24"W
L-23040	0.20'	N88°58'54"E
L-23042	20.41'	N01°07'24"W
L-23043	22.78'	S88°52'36"W
L-23044	60.04'	S01°07'24"E
L-23045	23.89'	N88°58'54"E
L-23046	0.95'	S00°32'48"E
L-23047	14.78'	N88°52'36"E
L-23048	0.97'	N01°07'24"W
L-23049	11.54'	N88°52'36"E
L-23050	16.86'	N01°07'24"W
L-23051	7.20'	S88°52'36"W
L-23052	22.79'	N01°07'24"W
L-23053	20.23'	S88°52'48"W
L-23054	20.42'	N01°07'24"W

PLAN BOOK	PAGE
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<p>Know what's below. Call before you dig.</p> <p>POCS SER. #: DESIGN - DIG -</p> <p>THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.</p>		<p>Drawing Scale:</p> <p>0 20 40 Feet</p>	<p>Date:</p> <p>12/27/2022</p>	<p>Revision Description:</p> <p>Per client comment</p>	<p>By:</p> <p>JSS</p>	<p>Professional Seal</p>	<p>Prepared By:</p> <p>Sperdute Land Surveying</p>	<p>Autumn Woods Condominium Plan No. 1</p>	<p>Unit Areas &amp; Measurements</p>	<p>Owner:</p> <p>Winner Properties, LP</p>	
			<p>12/28/2022</p>	<p>Revise Sheet Number (This sheet only)</p>	<p>JSS</p>		<p>108 Deer Lane</p>			<p>1712 Mount Nebo Road</p>	<p>Sheet No.</p>
							<p>Valencia, PA 16059</p>			<p>3 of 3</p>	
							<p>Office Phone: 724-452-4362</p>				
							<p>Office Phone: 724-452-4362</p>	<p>Butler Township, Butler County, Pennsylvania</p>			





**GENERAL NOTES:**

1. HORIZONTAL DATUM: OPUS NAD83 STATE PLAN COORDINATES PA-SOUTH.  
2. VERTICAL DATUM: OPUS NAVD88 GEOID18




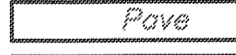

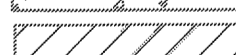





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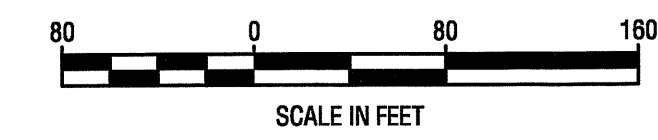
**MID-PENN ENGINEERING CORPORATION**  
**CONSULTING ENGINEERS & SURVEYORS**  
2016 WEST MARKET STREET | PENNSBURG, PENNSYLVANIA 17037

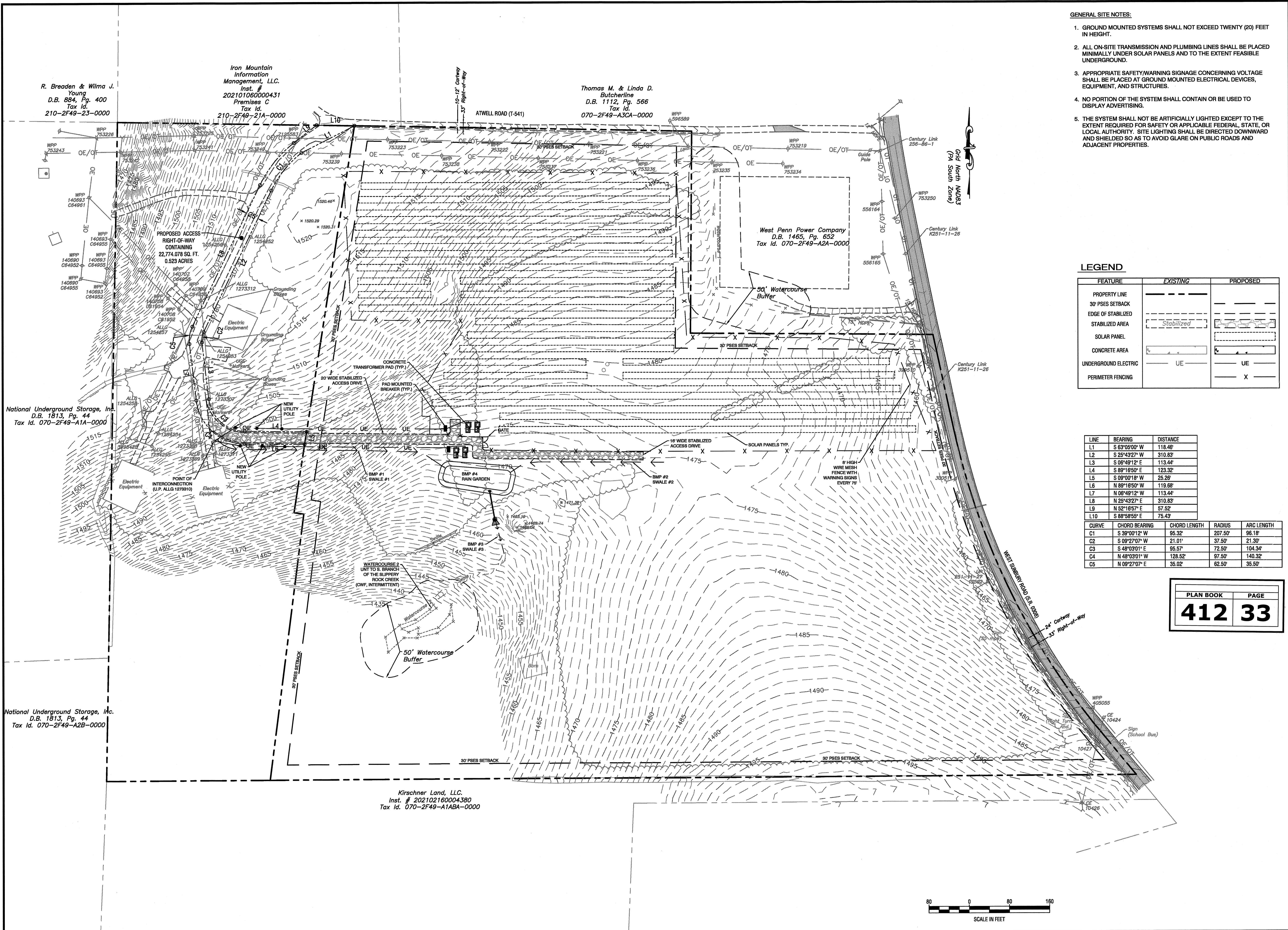
**EXISTING CONDITIONS PLAN**  
**FOR THE**  
**IRON MOUNTAIN SOLAR - NORTH ARRAY**  
**BOYERS SOLAR LLC**  
CHERRY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

MPE PROJECT NO:  
 10P3-22-1.11  
 DRAWING NO:  
 EX-1  
 SHEET NO:  
 2 of

PLAN BOOK		PAGE	
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LEGEND	
FEATURE	<i>EXISTING</i>
MINOR CONTOUR	
MAJOR CONTOUR	500
DECIDUOUS TREE	
EVERGREEN TREE	
EDGE OF STABILIZED	
STABILIZED AREA	<i>Stabilized</i>
PAVED AREA	
CURBING	<i>Pave</i>
CONCRETE AREA	
BUILDING	
UNDERGROUND ELECTRIC	UE
UNDERGROUND ELECT/C	UE/UT
GAS LINE	G
GAS VALVE / METER	•
SANITARY SEWER	S
SANITARY SEWER MANHOLE	
STORM	
STORM INLET	
STORM CLEANOUT	•
OVERHEAD TELECOM	OT
WATER LINE	W
WATER VALVE / METER	
FIRE HYDRANT	
LIGHT STANDARD	





- GENERAL SITE NOTES:
- GROUND MOUNTED SYSTEMS SHALL NOT EXCEED TWENTY (20) FEET IN HEIGHT.
  - ALL ON-SITE TRANSMISSION AND PLUMBING LINES SHALL BE PLACED MINIMALLY UNDER SOLAR PANELS AND TO THE EXTENT FEASIBLE UNDERGROUND.
  - APPROPRIATE SAFETY/WARNING SIGNAGE CONCERNING VOLTAGE SHALL BE PLACED AT GROUND MOUNTED ELECTRICAL DEVICES, EQUIPMENT, AND STRUCTURES.
  - NO PORTION OF THE SYSTEM SHALL CONTAIN OR BE USED TO DISPLAY ADVERTISING.
  - THE SYSTEM SHALL NOT BE ARTIFICIALLY LIGHTED EXCEPT TO THE EXTENT REQUIRED FOR SAFETY OR APPLICABLE FEDERAL, STATE, OR LOCAL AUTHORITY. SITE LIGHTING SHALL BE DIRECTED DOWNWARD AND SHIELDED SO AS TO AVOID GLARE ON PUBLIC ROADS AND ADJACENT PROPERTIES.

FEATURE	EXISTING	PROPOSED
PROPERTY LINE	---	---
30' PSES SETBACK	---	---
EDGE OF STABILIZED	---	---
STABILIZED AREA	Stabilized	---
SOLAR PANEL	---	---
CONCRETE AREA	---	---
UNDERGROUND ELECTRIC	UE	UE
PERIMETER FENCING	---	X

LINE	BEARING	DISTANCE
L1	S 63°05'00" W	118.46'
L2	S 25°43'27" W	310.83'
L3	S 06°49'12" E	113.44'
L4	S 89°16'50" E	123.32'
L5	S 09°00'18" W	25.26'
L6	N 89°16'50" W	119.68'
L7	N 06°49'12" W	113.44'
L8	N 25°43'27" E	310.83'
L9	N 52°16'57" E	57.52'
L10	S 88°58'55" E	75.43'

CURVE	CHORD BEARING	CHORD LENGTH	RADIUS	ARC LENGTH
C1	S 39°00'12" W	95.32'	207.50'	96.18'
C2	S 09°27'07" W	21.01'	37.50'	21.30'
C3	S 48°03'01" E	95.57'	72.50'	104.34'
C4	N 48°03'01" W	128.52'	97.50'	140.32'
C5	N 09°27'07" E	35.02'	62.50'	35.50'

PLAN BOOK	PAGE
412	33



SEAL:

DATE: 11-9-22

BY: [Signature]

CRW: [Signature]

DESCRIPTION: FINAL PLANS FOR RECORDING

REVISIONS:

MID-PEN ENGINEERING CORPORATION

CONSULTING ENGINEERS & SURVEYORS

100 WEST MARKET STREET, LEBANON, PENNSYLVANIA 17042

PH: 717-271-2244 FAX: 717-271-2245

SITE PLAN

FOR THE

IRON MOUNTAIN SOLAR - NORTH ARRAY

BOYERS SOLAR LLC

CHERRY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

MPE PROJECT NO:

10P3-22-1.11

DRAWING NO:

S-1

SHEET NO:

3 of 5



[illegible]

# PCSM PLAN NOTES

- PLAN RECORDING**  
THE OWNER SHALL RECORD THIS PLAN, THE OPERATIONS AND MAINTENANCE AGREEMENT, AND ANY EASEMENTS PERTAINING TO STORMWATER MANAGEMENT IN THE OFFICE OF THE RECORDER OF DEEDS OF BUTLER COUNTY.
- OPERATION AND MAINTENANCE**  
THE OWNER OR THEIR REPRESENTATIVE SHALL COMPLETE A WEEKLY SELF INSPECTION AND MAINTENANCE REPORT AS IDENTIFIED IN THE SHORT TERM MAINTENANCE PROGRAM. THIS PROJECT REQUIRES AN OPERATION AND MAINTENANCE AGREEMENT BETWEEN THE APPLICANT AND THE MUNICIPALITY WHICH IS A PART OF THE STORMWATER SITE PLAN.
- RECEIVING WATERS**  
ALL RUNOFF FROM THIS PROPERTY IS RECEIVED BY AN UNIT TO SLIPPERY ROCK CREEK AND AN UNIT TO THE SOUTH BRANCH OF THE SLIPPERY ROCK CREEK. THE DESIGNATED USE FOR THESE WATERS IS COLD WATER FISHES (CWF).
- WETLANDS**  
NATIONAL WETLAND INVENTORY MAPPING INDICATES NO WETLANDS EXIST ON THE SITE. NO AREAS OF POTENTIAL WETLANDS WERE NOTED DURING AN

- INSPECTION OF THE PROJECT SITE**  
**SOILS FEATURES**  
THE FOLLOWING ONSITE SOILS WERE IDENTIFIED VIA THE USDA CUSTOM SOIL RESOURCE REPORT:  
C2: CAVOSE SILT LOAM, 3% TO 8%  
C2B: COOKPORT LOAM, 3% TO 8%  
E1C: ERNEST SILT LOAM, 3% TO 8%  
E1C: ERNEST SILT LOAM, 8% TO 15%  
H2B: HAZLETON CHANNERY LOAM, 3% TO 8%  
H2C: HAZLETON CHANNERY LOAM, 8% TO 15%  
H2D: HAZLETON CHANNERY LOAM, 15% TO 25%  
W2B: WHARTON SILT LOAM, 3% TO 8%
- GEOLOGICAL FEATURES**  
THERE ARE NO KNOWN GEOLOGICAL FEATURES OF ANY SIGNIFICANCE WITH THE PROPOSED PROJECT AREA THAT WILL BE IMPACTED BY THE DEVELOPMENT.
- NPDES BOUNDARY**  
TOTAL AREA = 12.7 ACRES
- LIMITS OF DISTURBANCE**  
TOTAL AREA = 12.7 ACRES

- SEEDING**  
ALL DISTURBED AREAS SHALL BE TOP SOILED, SEEDED, FERTILIZED, RAKED AND MULCHED PER THE PLAN NOTES ON PLAN SHEET ESC-2, UNLESS OTHERWISE NOTED ON THE PLAN.
- IMPORTED FILL**  
THE OWNER WILL BE RESPONSIBLE TO PERFORM ENVIRONMENTAL DUE DILIGENCE AND DETERMINE THAT ALL FILL IMPORTED TO THE SITE MEETS THE DEPARTMENT OF ENVIRONMENTAL PROTECTION'S DEFINITION OF CLEAN FILL.
- CLEAN FILL DEFINITION**  
UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE DEGRADED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)

- ENVIRONMENTAL DUE DILIGENCE DEFINITION**  
INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBOR MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE.
- STORMWATER MANAGEMENT ACCESS**  
BY RECORDING THIS PLAN THE OWNER HEREBY GRANTS THE MUNICIPALITY THE UNINTERRUPTED RIGHT TO ENTER THE ENTIRE SITE FOR THE PURPOSES OF ACCESS, INSPECTION, OPERATION AND MAINTENANCE TO THE STORMWATER FACILITIES SHOWN ON THIS PLAN.
- RECORD DRAWINGS**  
PER THE TOWNSHIP ORDINANCE, RECORD DRAWINGS WILL BE REQUIRED FOR ALL STORMWATER FACILITIES PRIOR TO OCCUPANCY, OR THE RELEASE OF THE SURETY BOND.

## MUNICIPAL ENGINEER STORMWATER PLAN ACKNOWLEDGMENT

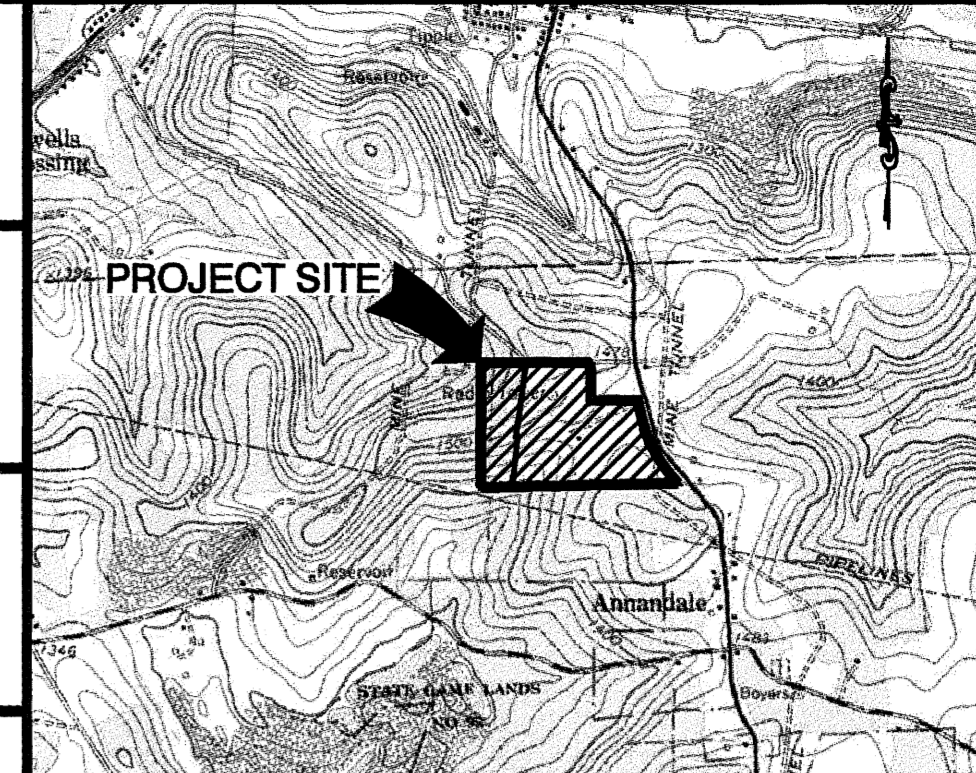
I, Christina R. Hite, HAVE REVIEWED THIS STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF THE CHERRY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

## REGISTERED PROFESSIONAL STORMWATER PLAN ACKNOWLEDGMENT

I, Christina R. Hite, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE CHERRY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

## OWNER STORMWATER BMP ACKNOWLEDGMENT

I, Boyers Solar LLC, HEREBY ACKNOWLEDGE THAT THE STORMWATER MANAGEMENT SYSTEM FOR THIS PROJECT IS A PERMANENT FIXTURE THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL FROM CHERRY TOWNSHIP, AND WILL BE MAINTAINED IN ACCORDANCE WITH THE PROCEDURES DESCRIBED IN THESE PLANS.



LOCATION MAP  
WEST SUNBURY, PA QUADRANGLE  
SCALE: 1" = 2,000'

## PCSM DRAWING INDEX

SHEET	SHEET No.	SHEET NAME
1	PCSM-1	POST CONSTRUCTION STORMWATER PLAN
2	PCSM-2	POST CONSTRUCTION STORMWATER GRADING PLAN
3	PCSM-3	POST CONSTRUCTION STORMWATER DETAILS

SCALE IN FEET  
0 80 160

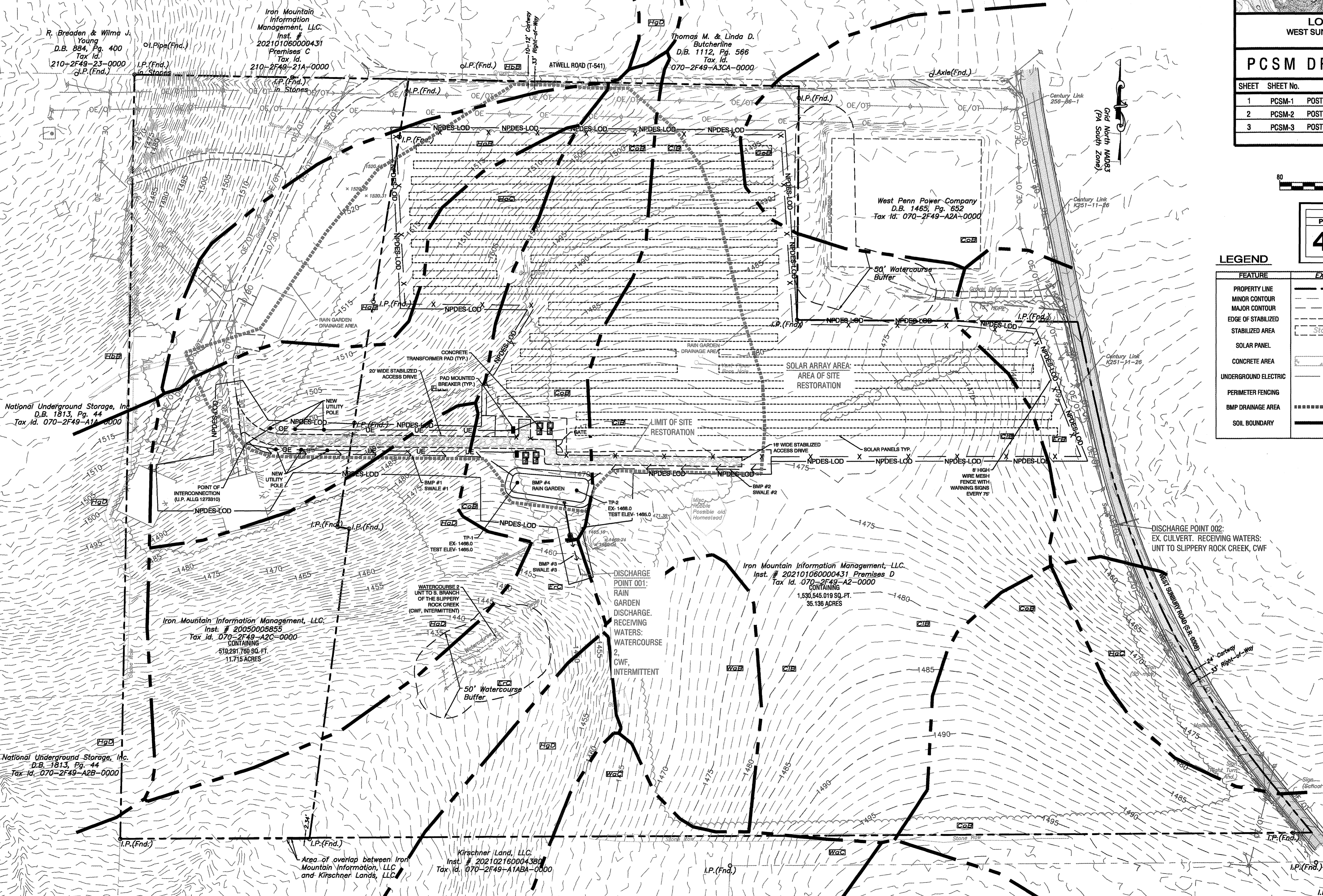
PLAN BOOK  
**412**

PAGE  
**36**

## LEGEND

FEATURE	EXISTING	PROPOSED
PROPERTY LINE	---	---
MINOR CONTOUR	---	---
MAJOR CONTOUR	---	---
EDGE OF STABILIZED	---	---
STABILIZED AREA	Stabilized	Stabilized
SOLAR PANEL	---	---
CONCRETE AREA	---	---
UNDERGROUND ELECTRIC	UE	UE
PERIMETER FENCING	---	X
BMP DRAINAGE AREA	-----	-----
SOIL BOUNDARY	---	---

CALL BEFORE YOU DIG!  
PENNSYLVANIA ACT 187  
REQUIRES 3 WORKING DAYS  
NOTICE PRIOR TO BEGINNING  
CONSTRUCTION OR DEMOLITION  
Pennsylvania One Call System, Inc.  
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MID-PEN ENGINEERING CORPORATION  
CONSULTING ENGINEERS & SURVEYORS  
3401 MARKET STREET, SUITE 100, CHERRY TOWNSHIP, PA 15013  
PHONE: (717) 325-2421 FAX: (717) 325-2422

OVERALL POST CONSTRUCTION STORMWATER PLAN  
FOR THE  
IRON MOUNTAIN SOLAR - NORTH ARRAY  
BOYERS SOLAR LLC  
CHERRY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA



#### I. LONG TERM OPERATION AND MAINTENANCE SCHEDULE

The property owner will be responsible to implement this long-term maintenance program to ensure that site amenities will function properly and maximize the effective life of the facilities. The property owner shall be responsible to ensure that all stormwater management facilities and the overall site are inspected by a qualified individual, who may include the landowner or their designee. Along with the BMP specific procedures outlined below all facilities shall adhere to the following General Maintenance Notes:

#### GENERAL MAINTENANCE NOTES:

- All facilities shall be inspected according to the following minimum frequencies:
  - Annually between May 1st and June 1st for the first 5 years.
  - Once every 3 years thereafter.
  - Immediately after the cessation of a 2-year or greater storm (2.44 inches in 24 hours)
- The Municipality and the County Conservation District shall be contacted immediately in the event severe damage to any stormwater management facility occurs.
- When, for any reason, the responsible party fails to properly maintain any stormwater management facilities identified in this Maintenance Plan, the Municipality shall have the right to enter upon such property as may be necessary to access the facility and perform the appropriate maintenance.
- It shall be unlawful to alter or remove any permanent stormwater BMP required by the approved SWM Plan. The proposed facilities shall be permanent and cannot be altered or removed in anyway without approval from the municipal agency and the County Conservation District.
- No BMP facility shall be used for operations or for any purpose other than its proposed and intended stormwater control function.
- All required repairs, cleanings, or maintenance of any BMP shall be completed within 15 calendar days of initial discovery or as otherwise established by the municipality.

#### STRUCTURAL BMP 6.4.5 (RAIN GARDEN / BIORETENTION)

- The upgradient catch basins and inlets should be inspected and cleaned at least two times per year and after runoff events. While vegetation is being established, pruning and weeding may be required.
- Debris may also need to be removed every year. Perennial plantings may be cut down at the end of the growing season.
- Mulch should be re-spread when erosion is evident and be replenished as needed. Once every 2 to 3 years the entire area may require mulch replacement.
- Bioretention areas should be inspected at least two times per year for sediment buildup, erosion, vegetative conditions, etc.
- During periods of extended drought, Bioretention areas may require watering.
- Trees and shrubs should be inspected twice per year to evaluate health.

#### STRUCTURAL BMP 6.4.8 (VEGETATED SWALE)

- Maintenance activities to be done annually and within 48 hours after every major storm event (> 1 inch rainfall depth):
  - Inspect and correct erosion problems, damage to vegetation, and sediment and debris accumulation (address when > 3 inches at any spot or covering vegetation)
  - Inspect vegetation on side slopes for erosion and formation of rills or gullies, correct as needed
  - Inspect for pools of standing water; dewater and discharge to an approved location and restore to design grade
  - Mow and trim vegetation to ensure safety, aesthetics, proper swale operation, or to suppress weeds and invasive vegetation; dispose of cuttings in a local composting facility; mow only when swale is dry to avoid rutting
  - Inspect for litter, remove prior to mowing
  - Inspect for uniformity in cross-section and longitudinal slope, correct as needed
  - Inspect swale inlet (curb cuts, pipes, etc.) and outlet for signs of erosion or blockage, correct as needed
- Maintenance activities to be done as needed:
  - Plant alternative grass species in the event of unsuccessful establishment
  - Reseed bare areas; install appropriate erosion control measures when native soil is exposed or erosion channels are forming
  - Rototill and replant swale if draw down time is more than 48 hours
  - Inspect and correct check dams when signs of altered water flow (channelization, obstructions, erosion, etc.) are identified
  - Water during dry periods, fertilize, and apply pesticide only when absolutely necessary

#### VEGETATED AREAS:

- Deposits of debris must immediately be removed and disposed of accordingly.
- Vegetation shall be maintained to at least a minimum uniform 90% perennial vegetative cover. Any sparse or un-vegetated areas shall be reseeded.
- Inspect lawn areas for signs of erosion or scouring. These areas shall be re-stabilized with seed and mulch immediately. If erosion occurs during the non-growing season rock should be temporarily used to stabilize the area. If the erosion is persistent a permanent lining or rock should be used to stabilize the area.
- All onsite vegetation shall be continuously maintained to be free of invasive and noxious species. All turf grass covered areas shall be mowed to maintain a maximum height of 3" to 6". All areas delineated as areas of minimum compaction shall be mowed less frequently to minimize traffic. These areas shall be mowed only as needed to maintain healthy growth. At a minimum these areas shall be mowed at the end of each growing season.

#### RECYCLING AND DISPOSAL OF MATERIAL

- The contractor shall be responsible to ensure that the proper measures for recycling and disposal of materials associated with or from the project site will be undertaken in accordance with all applicable regulations.
- All building materials and wastes must be removed from the site and recycled or disposed in accordance with the department's Solid Waste Management Regulations at PA Code section 260.1 et seq., section 271.1 et seq., and section 287.1 et seq. No building materials shall be buried, dumped, or discharged at the site.
- Construction/demolition wastes are defined as solid wastes resulting from construction or demolition of buildings and other structures, including, but not limited to, wood, plaster, metals, asphaltic substances, bricks, blocks, and unsegregated concrete. The term does not include the following, if separate from other wastes, and used as clean fill: uncontaminated soil, rock, stone, gravel, brick and block, concrete, and used asphalt; and wastes from land clearing, grubbing, and excavation, including trees, brush, stumps, and vegetative material.
- Other construction wastes include, but are not limited to, excess soil materials, building materials typically associated with this type of project, concrete wash water, sanitary wastes, etc. That could adversely impact water quality.
- Source separate recycle materials are not wastes, and include cardboard, glass, metals, paper, and plastics.
- Wastes that require special handling include, but are not limited to, asbestos, fluorescent bulbs, mercury switches, and tritium "exit" signs (Refer to PADEP for appropriate procedures).
- The contractor is responsible for developing and implementing a plan to address compliance with the above requirements, housekeeping, materials management, and litter control: recycling of excess materials and litter is required, where feasible.
- All wastes and materials deposited in and removed from post-construction stormwater management (PCSM) BMP facilities and from impervious areas (ex. sweeping of streets & parking lots) during operation and maintenance shall be removed from the site and properly disposed of in accordance with the Department's Solid Waste Management Regulations at 25 PA. Code 260.1 et seq., 271.1, and 287.1 et seq. No waste materials shall be burned, buried, dumped, or discharged at the site.
- If adverse geologic or soil materials are discovered they shall be appropriately remediated or removed from the site to a permitted landfill.
- Any clean fill material or excess cut or top-soil shall be hauled off site to an approved location. The material shall remain the property of the owner unless permission is granted by the owner to give the material to the contractor.

#### CRITICAL STAGES OF PCSM BMP INSTALLATION

All critical stages of PCSM BMP installation listed below shall be inspected by a licensed professional or a designee at the time of construction.

- Rain Garden: after excavation to verify surface conditions, after amended soil installation to verify type and procedures, and upon final seeding to verify vegetation.

#### SITE SPECIFIC CONSTRUCTION SEQUENCE

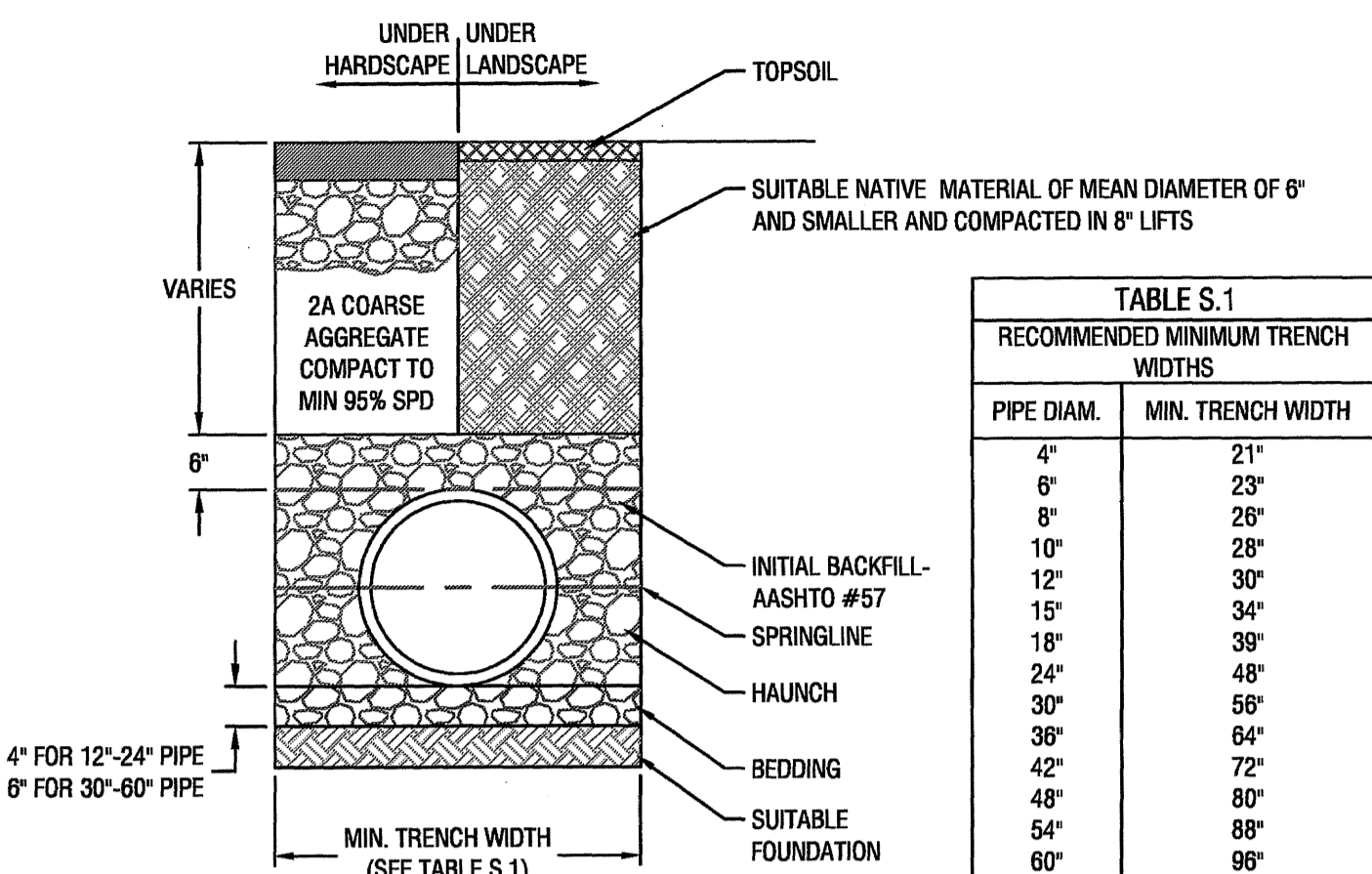
- Perform all necessary pre-construction activities and notifications as outlined in the Pre Construction sequence outlined on the ESC Plan.

- Prepare the site for access and install Erosion Control BMPs by following the Site Preparation sequence outlined on the ESC Plan.

#### III. GENERAL SITE CONSTRUCTION

- The contractor may perform all demolition activities illustration on the plans, including clearing and grubbing of vegetation. Grading activities may begin including cuts, fills, topsoil stripping, and topsoil placement. Areas of "Site Restoration" shall be seeded with the Permanent Seed Mixture listed. These areas should establish prior to the installation of the solar panel areas. Any disturbance in these areas should be minimized to the extent possible. Any areas disturbed over seed establishment should be re-seeded accordingly.
- All topsoil shall be stockpiled onsite at locations shown. If necessary, the topsoil stockpiles shall be temporarily seeded with the appropriate seed mix.
- Initiate rough grading activities required to achieve the proposed grades as shown the plans. Disturbance shall be limited to only that area being graded at a given time.
- As site grading is occurring, construction of rain garden, swales, and related construction may commence. Care shall be taken to not compact the native soil surface in the rain garden. Do not operate heavy equipment over the bottom of the rain garden.
- Install the main underground utility lines. All trenching shall be limited to a length that can be backfilled by the end of the work day.
- The stabilized access drive shall be brought to subgrade and stabilized.
- Solar panel and fence installation may commence. The contractor shall limit disturbance to the greatest extent possible and repair any disturbed areas immediately.
- Immediately upon any portion of the site reaching subgrade the area shall be stabilized. Any grassed areas not subject to further disturbance shall be stabilized with 4" of topsoil limed, seeded and mulched per the plans and details.
- All topsoil shall be placed in accordance with Finished Topsoil Notes as provided in this plan.
- Seed, fertilizer, and mulch all disturbed areas with the appropriate seed mix. All seeding shall be performed in accordance with the Permanent Seeding Notes provided.

- Remove all temporary erosion control devices from the site and finalize stabilization and close out procedures by following the Removal of BMPs sequence on the ESC Plan.

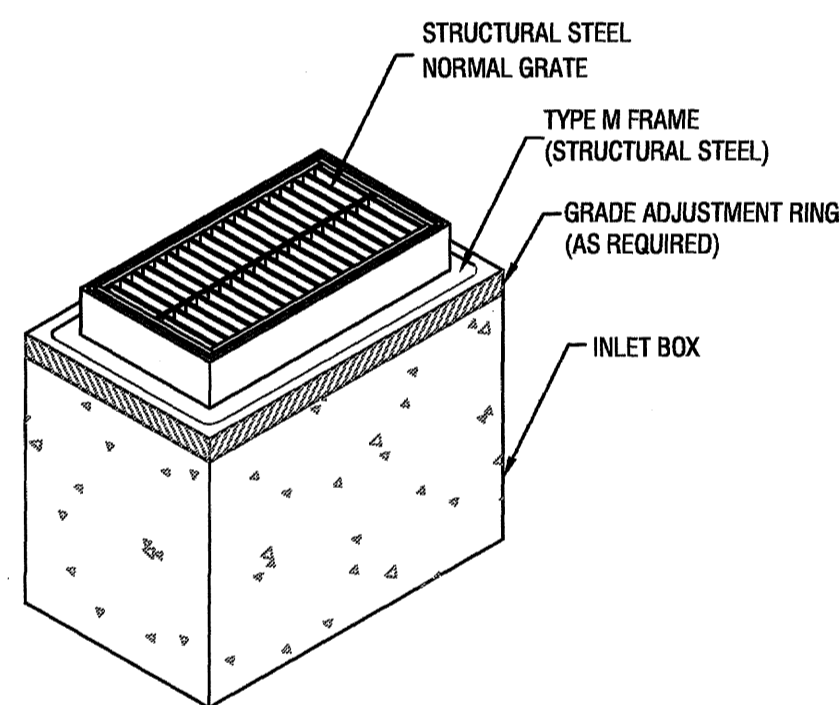


#### STORM PIPE NOTES:

- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
- MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING: BEDDING MATERIAL SHALL BE AASHTO #49 FOR PIPE SIZES < 12". AASHTO #57 SHALL BE USED FOR PIPE SIZES ≥ 12". THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER UPON REQUEST.
- INITIAL BACKFILL: MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT. FOR TRAFFIC APPLICATIONS WITH LESS THAN FOUR FEET OF COVER, EMBEDMENT OF THE PIPE SHALL BE USING ONLY A CLASS I OR CLASS II BACKFILL.

#### 1 STORM TRENCH INSTALLATION DETAIL

NOT TO SCALE

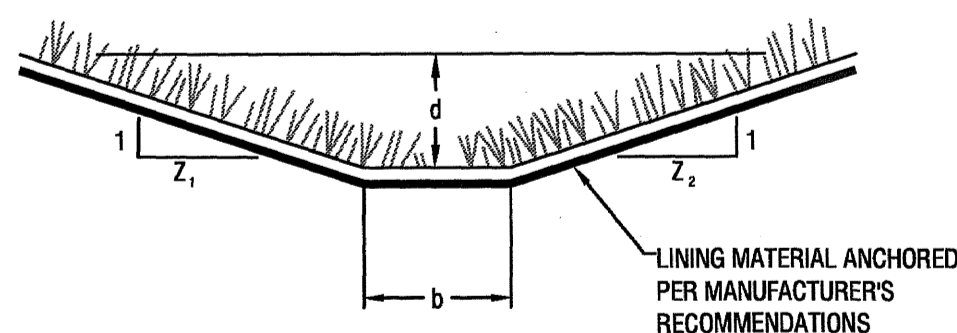


#### NOTES:

- CONSTRUCT IN ACCORDANCE WITH PENN. D.O.T. PUBLICATION 408, SECTION 605, FOR INLET ASSEMBLIES.
- \* USE PRECAST CONCRETE OR MASONRY GRADE ADJUSTMENT RINGS, AS REQUIRED.

#### 2 STANDARD INLET WITH TYPE "M" FRAME AND GRATE

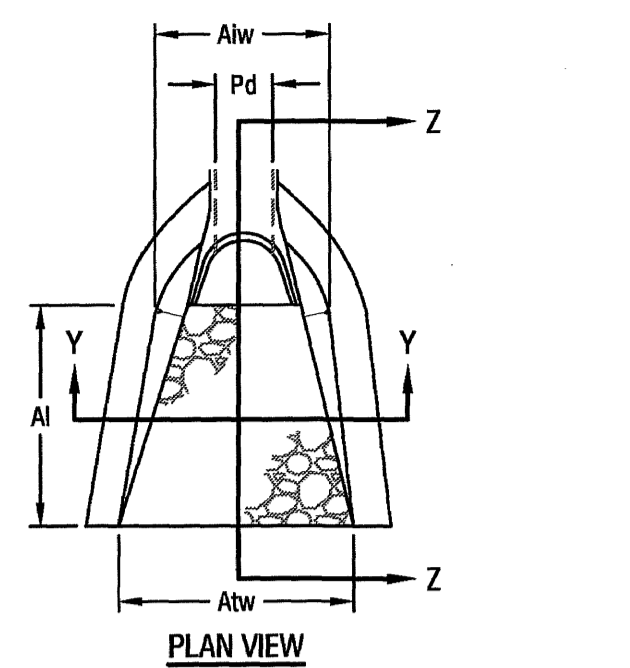
NOT TO SCALE



#### 3 SWALE DETAIL

NOT TO SCALE

SWALE SCHEDULE						
SWALE NUMBER	Bed Slope	Bottom Width (b)	Depth, minimum (d)	Side Slope	Side Slope	Lining
	ft/ft	feet	feet	Z <sub>1</sub>	Z <sub>2</sub>	
SWALE #1 (WEST)	VARIES	2	1	3	3	N.A.G. S200 or EQUAL
SWALE #2 (EAST)	VARIES	2	1	3	3	GRASS
SWALE #3 (R.G. OUT)	VARIES	3.5	1	4	4	GRASS



OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP		APRON		
		SIZE R <sub>25</sub>	THICK. Rt (IN)	LENGTH Al (FT)	INITIAL WIDTH Alw (FT)	TERMINAL WIDTH Atw (FT)
FES-1	15	5	27	8	3.75	11.75

#### INSTALLATION NOTES:

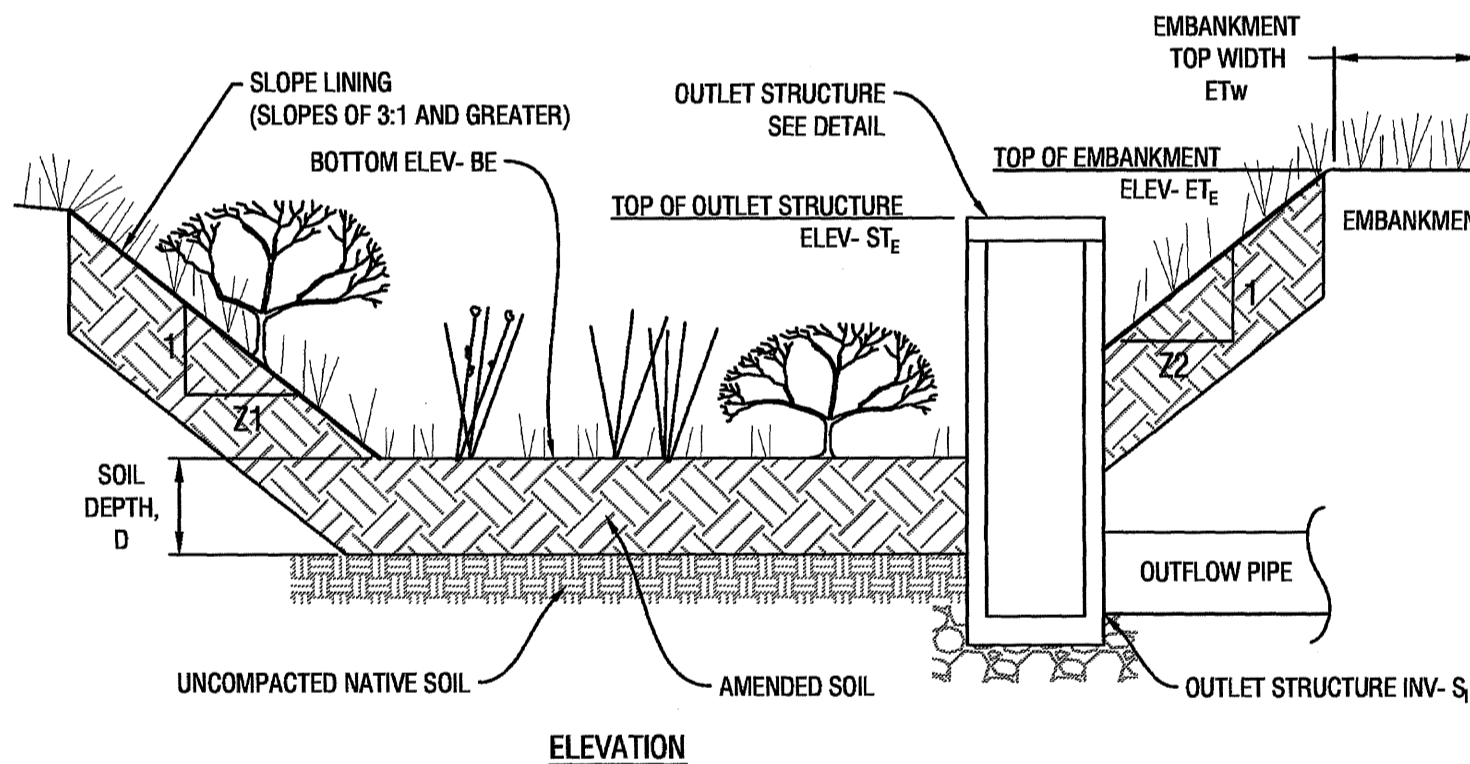
- DETAIL BASED ON STANDARD CONSTRUCTION DETAIL #9-1 OF THE PADEP E&S CONTROL MANUAL.
- ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.

#### MAINTENANCE NOTES:

- ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

#### 4 RIPRAP APRON AT PIPE OUTLET WITH FLARED END

NOT TO SCALE



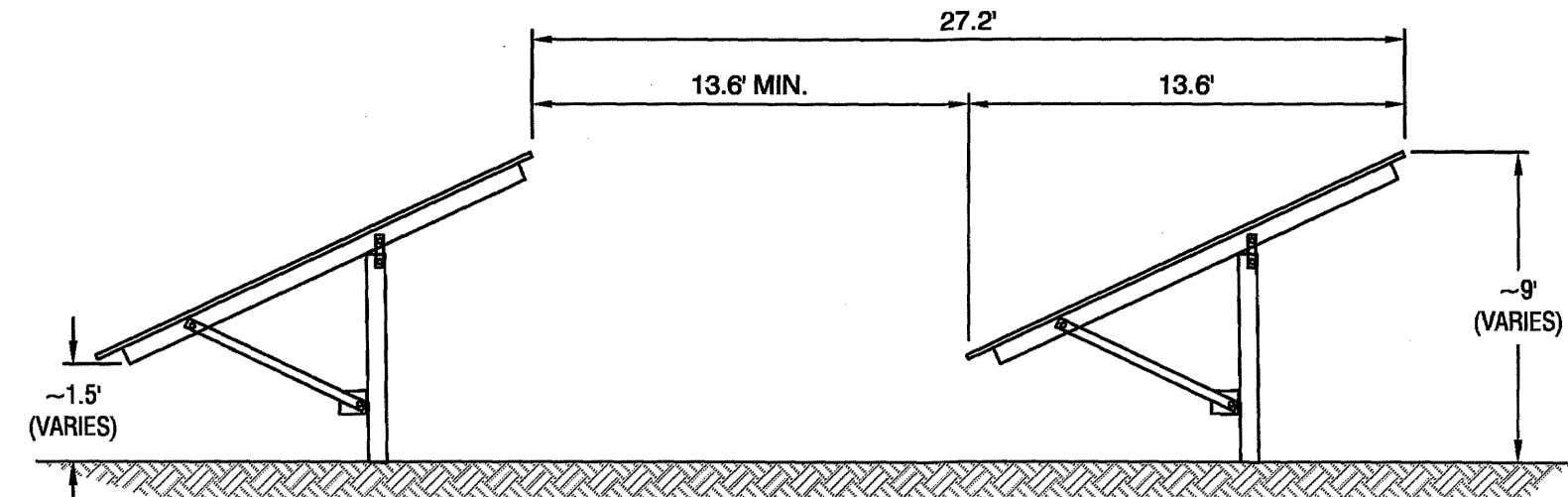
RAIN GARDEN ID	Z1 (FT)	Z2 (FT)	EMBANKMENT		BOTTOM ELEV. BE (FT)	MODIFIED SOIL DEPTH, D (FT)	OUTLET STRUCTURE	
			TOP ELEV. ETe (FT)	TOP WIDTH, ETw (FT)			TOP ELEV. STe (FT)	INV. OUT. S (FT)
RAIN GARDEN	3	3	1489.00	5'	1486.00	1.00	1487.80	1465.00

#### INSTALLATION NOTES:

- CARE SHOULD BE TAKEN THROUGHOUT CONSTRUCTION PROCESS TO MINIMIZE COMPACTION. SUB-GRADE SHOULD SCARIFIED, BUT NOT BE COMPACTED.
- AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO A DEPTH OF TWO FEET PRIOR TO ANY PLACEMENT AND COMPACTION OF EARTHEN FILL. IN ORDER TO FACILITATE MAINTENANCE AND RESTORATION, THE POOL AREA SHALL BE CLEARED OF ALL BRUSH, TREES, AND OBJECTIONABLE MATERIAL. FILL MATERIAL FOR THE EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT AND CUTOFF TRENCH SHALL BE COMPACTED IN LAYERED LIFTS OF NOT MORE THAN 6 TO 9 IN. THE MAXIMUM ROCK SIZE SHALL BE NO GREATER THAN 2/3 THE LIFT THICKNESS. ALL FILL EMBANKMENTS SHALL BE CONSTRUCTED OF SOILS WITH K FACTORS OF 0.25 OR LOWER.
- ALL PIPES THROUGH EMBANKMENTS SHALL BE HDPE PIPE W/ WATER TIGHT JOINTS, THE BACKFILL MATERIAL SHALL BE THOROUGHLY COMPACTED EMBANKMENT MATERIAL.
- AMENDED SOIL SHOULD BE A LOAM SOIL, CAPABLE OF SUPPORTING A HEALTHY VEGETATIVE COVER. SOILS SHOULD BE AMENDED WITH A COMPOSTED ORGANIC MATERIAL. A TYPICAL ORGANIC AMENDED SOIL IS COMBINED WITH 20-30% ORGANIC MATERIAL (COMPOST), AND 70-80% SOIL BASE (PREFERABLY TOPSOIL). PLANTING SOIL SHOULD BE APPROXIMATELY 4 INCHES DEEPER THAN THE BOTTOM OF THE LARGEST ROOT BALL. SOILS SHOULD ALSO HAVE A PH OF BETWEEN 5.5 AND 6.5 (BETTER POLLUTANT ADSORPTION AND MICROBIAL ACTIVITY), A CLAY CONTENT LESS THAN 10% (A SMALL AMOUNT OF CLAY IS BENEFICIAL TO ADSORB POLLUTANTS AND RETAIN WATER), BE FREE OF TOXIC SUBSTANCES AND UNWANTED PLANT MATERIAL AND HAVE A 5-10% ORGANIC MATTER CONTENT.
- RAIN GARDEN BOTTOM AREA AND EMBANKMENTS SHALL BE SEED WITH PENNDOT FORMULA 'W' OR ERNMX-122 WET MEADOW MIX OR EQUAL.

#### 5 RAIN GARDEN (STRUCTURAL BMP 6.4.5)

NOT TO SCALE

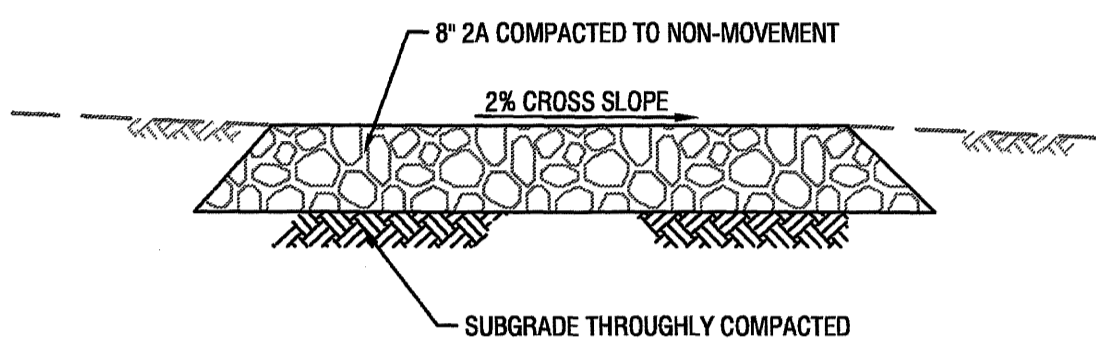


#### 6 TYPICAL SOLAR PANEL DIMENSIONS

NOT TO SCALE

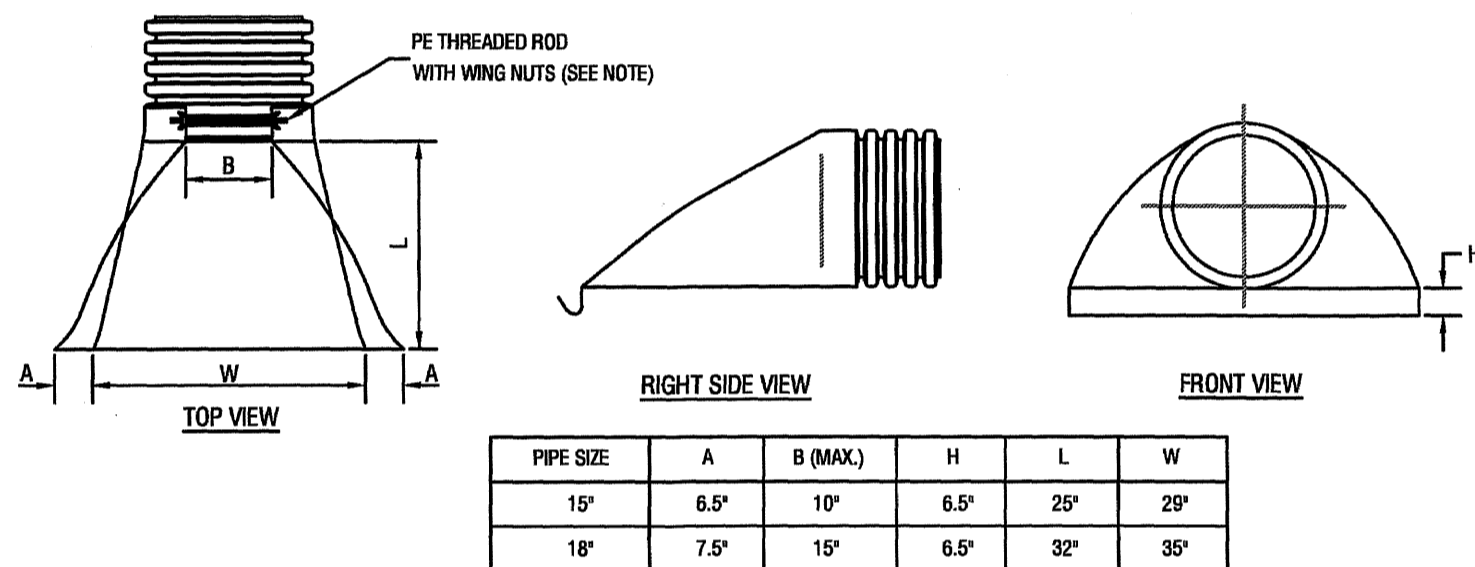
#### NOTES:

- DIMENSIONS SHOWN ARE APPROXIMATE AND MAY VARY.
- GROUND SURFACE SHALL BE SEED WITH ERNMX-156, LOW-GROWING WILDFLOWER & GRASS MIX, SEEDING RATE: 20-40 LBS/ACRE.



#### 7 TYPICAL ACCESS ROAD SECTION

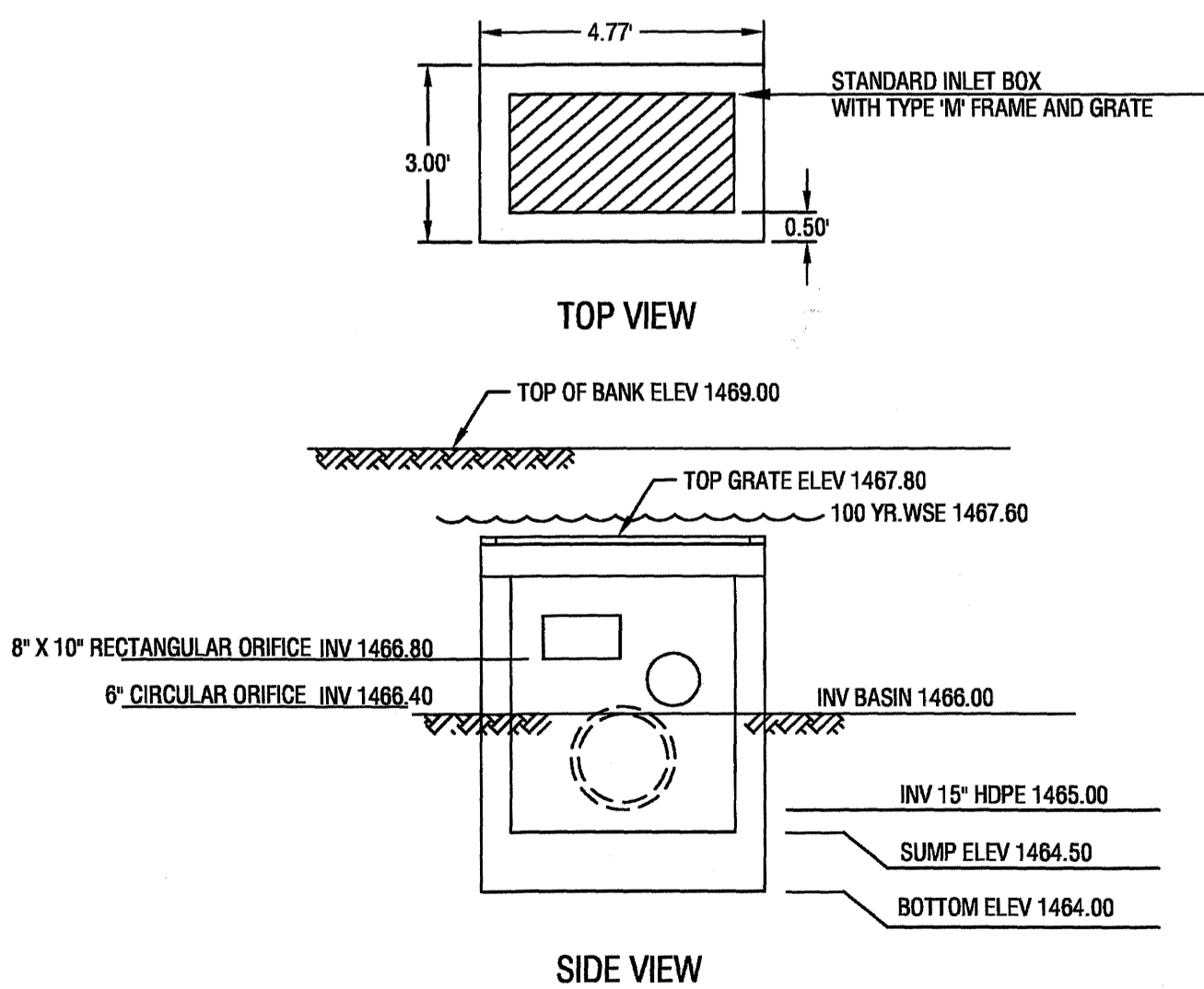
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- NOTES:
- PE THREADED ROD WITH WING NUTS PROVIDED FOR END SECTIONS 12"-24", 30" & 36" END SECTIONS TO BE WELDED TO PIPE PER MANUFACTURER'S RECOMMENDATIONS.
  - ALL DIMENSIONS ARE NOMINAL.

#### 8 HDPE FLARED END SECTION

NOT TO SCALE



#### 9 RAIN GARDEN OUTLET STRUCTURE DETAIL

NOT TO SCALE

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#### SEAL:

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#### REVISIONS

NO.	DATE	DESCRIPTION	BY
1	11-15-22		

#### DATE:

#### 11-15-22

#### NO.

#### 11-15-22

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# FINAL LAND DEVELOPMENT PLAN

## FOR THE

# IRON MOUNTAIN SOLAR PROJECT

## SOUTH ARRAY

## FOR

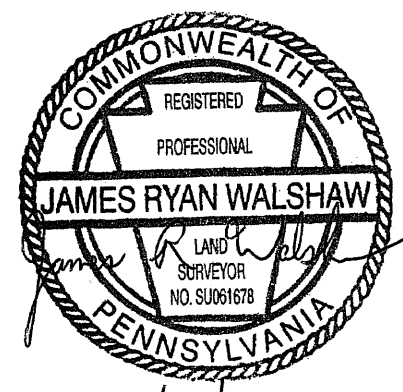
# BOYERS SOLAR 2 LLC

CHERRY TOWNSHIP  
BUTLER COUNTY, PENNSYLVANIA

### SURVEYORS CERTIFICATE

I, JAMES R. WALSHAW, A PROFESSIONAL SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS TRUE AND CORRECT TO THE STANDARDS OF THE BUTLER COUNTY SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND THAT THE SURVEY AND ALL ANGLES, DISTANCES, AND COURSES ARE ACCURATELY SHOWN, THAT THE MONUMENTS AND MARKERS AS SHOWN ON THE PLAT HAVE BEEN, OR WILL BE SET, AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

JAMES R. WALSHAW, PLS  
MID-PENN ENGINEERING CORP.  
2049 WEST MARKET STREET  
LEWISBURG, PA 17837  
570-524-2214



6/23/23

### ENGINEERS CERTIFICATE

I, CHRISTIAN R. WATTS HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THE DESIGNS OF ALL FEATURES THAT MUST BE CONSTRUCTED FOR THE LAND DEVELOPMENT PLAN HAVE BEEN PREPARED TO THE ACCURACY REQUIRED BY THE CHERRY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE AND THE BUTLER COUNTY SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

CHRISTIAN R. WATTS, PE  
MID-PENN ENGINEERING CORP.  
2049 WEST MARKET STREET  
LEWISBURG, PA 17837  
570-524-2214  
crw@mid-pennengineering.com



6/23/23

PLAN BOOK	PAGE
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### PROJECT NOTES

- DEVELOPER:**  
BOYERS SOLAR 2 LLC  
c/o: DIMENSION RENEWABLE ENERGY  
1400 BROADWAY, SUITE 2810  
NEW YORK, NY 10022  
PHONE: (877) 277-8506  
CONTACT: NICK WALSH
- OWNER:**  
IRON MOUNTAIN INFORMATION MANAGEMENT, LLC.  
745 ATLANTIC AVENUE  
BOSTON, MASSACHUSETTS 02111
- PARCEL INFORMATION:**  

<b>PARCEL #1</b> INSTRUMENT #: 202101080000431 PREMISES D TAX ID: 070-2F49-A2-0000 AREA: 1,530,545.019 S.F. OR 35.136 AC.	<b>PARCEL #2</b> INSTRUMENT #: 200500005855 TAX ID: 070-2F49-A2C-0000 AREA: 510,291.780 S.F. OR 11.715 AC.
--	---
- FLOOD PLAIN:**  
FIRM MAP 42019C0160D INDICATES THAT THIS LOT IS NOT WITHIN A DESIGNATED FLOODPLAIN.
- WETLANDS:**  
NATIONAL WETLANDS MAPPING INDICATES NO WETLANDS ON THIS PARCEL.
- DRIVEWAY:**  
ALL DRIVEWAYS ARE TO REMAIN PRIVATE AND NOT TO BE OFFERED FOR DEDICATION.
- PERMITS:**  
THE FINAL LAND DEVELOPMENT PLAN IS SUBJECT TO APPROVALS OF THE FOLLOWING PLANS AND PERMITS. ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE APPROVED:
  - EROSION CONTROL PLAN
  - GENERAL NPDES PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES
  - POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
- STORMWATER MANAGEMENT ACCESS:**  
BY RECORDING THIS PLAN THE OWNER HEREBY GRANTS THE MUNICIPALITY THE UNINTERRUPTED RIGHT TO ENTER THE ENTIRE SITE FOR THE PURPOSES OF ACCESS, INSPECTION, OPERATION AND MAINTENANCE TO THE STORMWATER FACILITIES SHOWN ON THIS PLAN.

### WAIVERS/MODIFICATIONS

#### WAIVERS / MODIFICATIONS:

THE FINAL LAND DEVELOPMENT PLAN IS SUBJECT TO APPROVAL OF THE FOLLOWING WAIVERS / MODIFICATIONS OF THE BUTLER COUNTY SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

- SECTION 820.12.13 - IN LIEU OF THE REQUIREMENTS WITHIN THIS ORDINANCE SECTION, THE PROJECT PROPOSES EXTENDING THE EXISTING 12' WIDE ACCESS ROAD WITH A 20' ACCESS ROAD AND TRANSITIONING THIS EXTENSION TO 10' WIDE WITHIN THE ARRAY. THE WAIVER/MODIFICATION REQUEST IS FOR THESE DIMENSIONS TO BE ACCEPTABLE.

### DRAWING INDEX

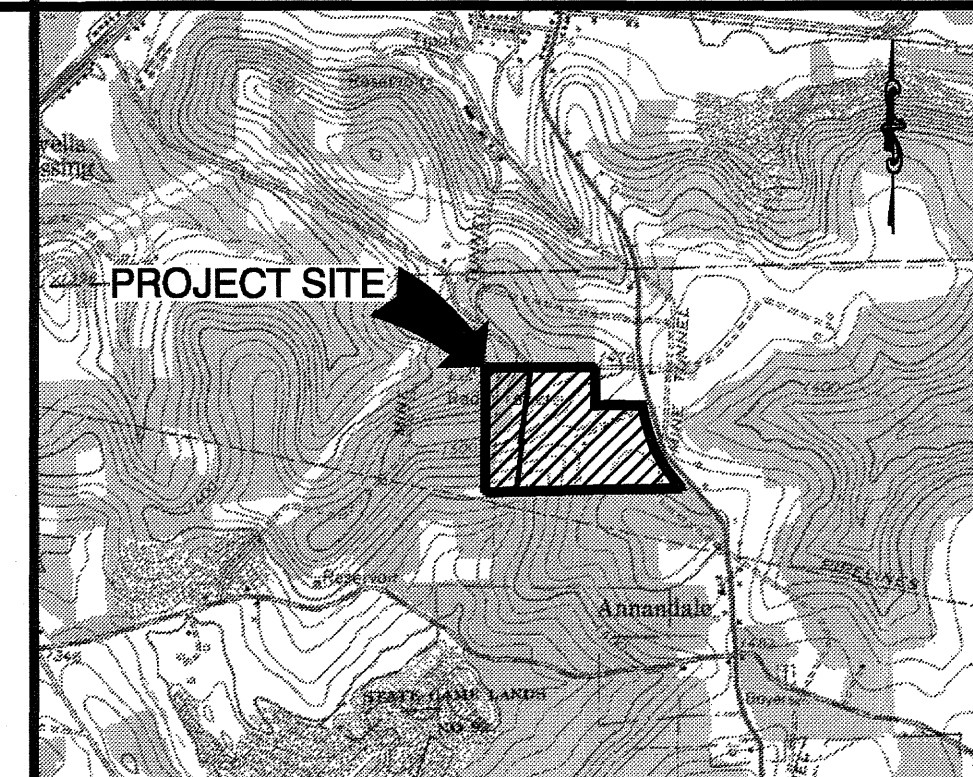
(\*) DENOTES PLANS TO BE RECORDED

SHEET	DWG NO	DESCRIPTION
1*	T-1	TITLE SHEET
2*	EX-1	EXISTING CONDITIONS PLAN
3*	S-1	SITE PLAN
4*	GR-1	GRADING PLAN
5*	DET-1	SITE DETAILS

#### SUPPLEMENTAL DRAWINGS

1*	PCSM-1	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
2*	PCSM-2	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
3*	PCSM-3	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
1	ESC-1	EROSION CONTROL PLAN
2	ESC-2	EROSION CONTROL DETAILS

### LOCATION MAP



WEST SUNBURY, PA QUADRANGLE  
1" = 2000'

#### OWNER'S CERTIFICATION

I, Michele Mustello, THE UNDERSIGNED, HEREBY DECLARE THAT I AM THE OWNER OF THE PROPERTIES SHOWN ON THIS FINAL PLAN, THAT THE FINAL PLAN AND THE PROPOSED SUBDIVISION OR LAND DEVELOPMENT WERE MADE WITH THE OWNER'S CONSENT, AND THAT THE OWNER DESIRES THE FINAL PLAN TO BE RECORDED AS SUCH.

IN WITNESS WHEREOF I HAVE SET MY HAND AND SEAL THIS 22 DAY OF June, 2023.

Michele Mustello  
(OWNER SIGNATURE)

(state) Massachusetts }  
(county) Middlesex } SS:

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED Michele Mustello, WHO ACKNOWLEDGED THE FOREGOING FINAL PLAN OF SUBDIVISION OR LAND DEVELOPMENT TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 22 DAY OF June, 2023.  
VAHE NIGOGHOSIAN  
(NOTARY PUBLIC)

VAHE NIGOGHOSIAN  
Notary Public  
Commonwealth of Massachusetts  
My Commission Expires  
February 20, 2026

#### PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA }  
COUNTY OF BUTLER } SS:

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, PLATS AND PLANS IN SAID COUNTY, IN PLAN BOOK VOLUME 412 PAGE(S) 39-46

GIVEN UNDER MY HAND AND SEAL THIS 22 DAY OF SEPTEMBER, 2023

Michele M. Mustello  
(RECORDER OF DEEDS)  
MICHELE M. MUSTELLO  
RECORDER OF DEEDS  
My Commission Expires First Monday in January 2024

#### BUTLER COUNTY PLANNING COMMISSION APPROVAL

APPROVED BY THE BUTLER COUNTY PLANNING COMMISSION

THIS 30<sup>TH</sup> DAY OF AUGUST, 2023

R. H. JRM (Secretary) J. H. JRM (Chairman)

SEE COMMENTS ON FILE AT THE BUTLER COUNTY PLANNING COMMISSION

PLAN NUMBER: 22251

#### MUNICIPAL REVIEW

REVIEWED BY THE TOWNSHIP OF CHERRY

THIS 28<sup>TH</sup> DAY OF JUNE, 2023

Caroline R. Unger (Secretary) MICHAEL (Chairman)

#### CALL BEFORE YOU DIG!

PENNSYLVANIA ACT 187 REQUIRES 3 WORKING DAYS NOTICE PRIOR TO BEGINNING CONSTRUCTION OR DEMOLITION  
Pennsylvania One Call System, Inc.

1-800-242-1776

SERIAL NUMBER: 20221191598

MID-PENN ENGINEERING CORPORATION  
CONSULTING ENGINEERS & SURVEYORS  
PHONE: 570-524-2214 EMAIL: info@mid-pennengineering.com

TITLE SHEET  
FOR THE  
IRON MOUNTAIN SOLAR - SOUTH ARRAY  
BOYERS SOLAR 2 LLC  
CHERRY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

MPE PROJECT NO:

10P3-22-1.11

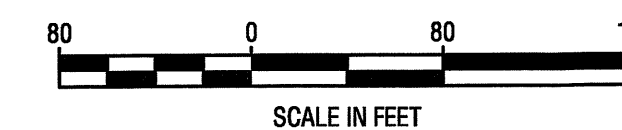
DRAWING NO:


T-1

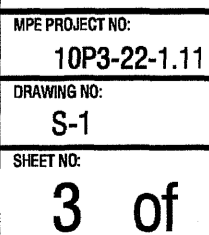
SHEET NO:

1 of 5

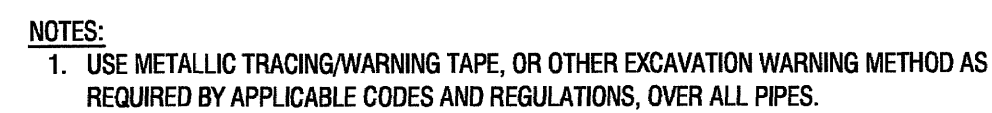
1. HORIZONTAL DATUM: OPUS NAD83 STATE PLAN COORDINATES PA-SOUTH.  
2. VERTICAL DATUM: OPUS NAVD88 GEOID18



MFE PROJECT NO. 10P3-22-1.11		DRAWING NO. EX-1		SHEET NO. 2 of 5	
<div>EXISTING CONDITIONS PLAN</div> <div>FOR THE</div> <div>IRON MOUNTAIN SOLAR - SOUTH ARRAY</div> <div>BOYERS SOLAR 2 LLC</div> <div>CHERRY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA</div>					
<div></div> <div>MID-PENN ENGINEERING CORPORATION</div> <div>CONSULTING ENGINEERS &amp; SURVEYORS</div> <div>3048 WEST MARKET STREET, LANCASTER, PENNSYLVANIA 17602</div> <div>PHONE: (717) 384-6264    EMAIL: <a href="mailto:info@mid-pennengineering.com">info@mid-pennengineering.com</a></div>					
DATE: 11-9-22		CHECKED BY: L.S.R.		INCH DATE: 11-9-23	
DRAWN BY: C.R.W.		1		B-6-23	
DESIGNED BY: C.R.W.					
TOLERANCE: C.R.W.					
SYMBOL: C.R.W.					
FINAL PLANS FOR RECORDING				CRW	
DESCRIPTION				BY	
REVISIONS					
<div>COPIRIGHT © 2022, MID-PENN ENGINEERING CORP.</div> <div>THIS DRAWING IS AN INSTRUMENT OF SERVICE.</div> <div>IT IS AND SHALL REMAIN THE PROPERTY OF</div> <div>THE CLIENT. IT IS TO BE USED ONLY FOR THE PROJECT FOR WHICH IT IS</div> <div>ISSUED. NO PARTS OF THIS DRAWING ARE TO BE</div> <div>USED ON OTHER PROJECTS, FOR ADDITIONS</div> <div>OR DELETIONS, OR FOR ANY OTHER PURPOSE</div> <div>WITHOUT THE WRITTEN CONSENT OF MID-PENN</div> <div>ENGINEERING CORPORATION. THIS DRAWING MAY BE</div> <div>REPRODUCED FOR THE PROJECT FOR WHICH IT WAS</div> <div>PREPARED, PROVIDED THAT THE SOURCE IS</div> <div>PROPERLY CREDITED.</div>					

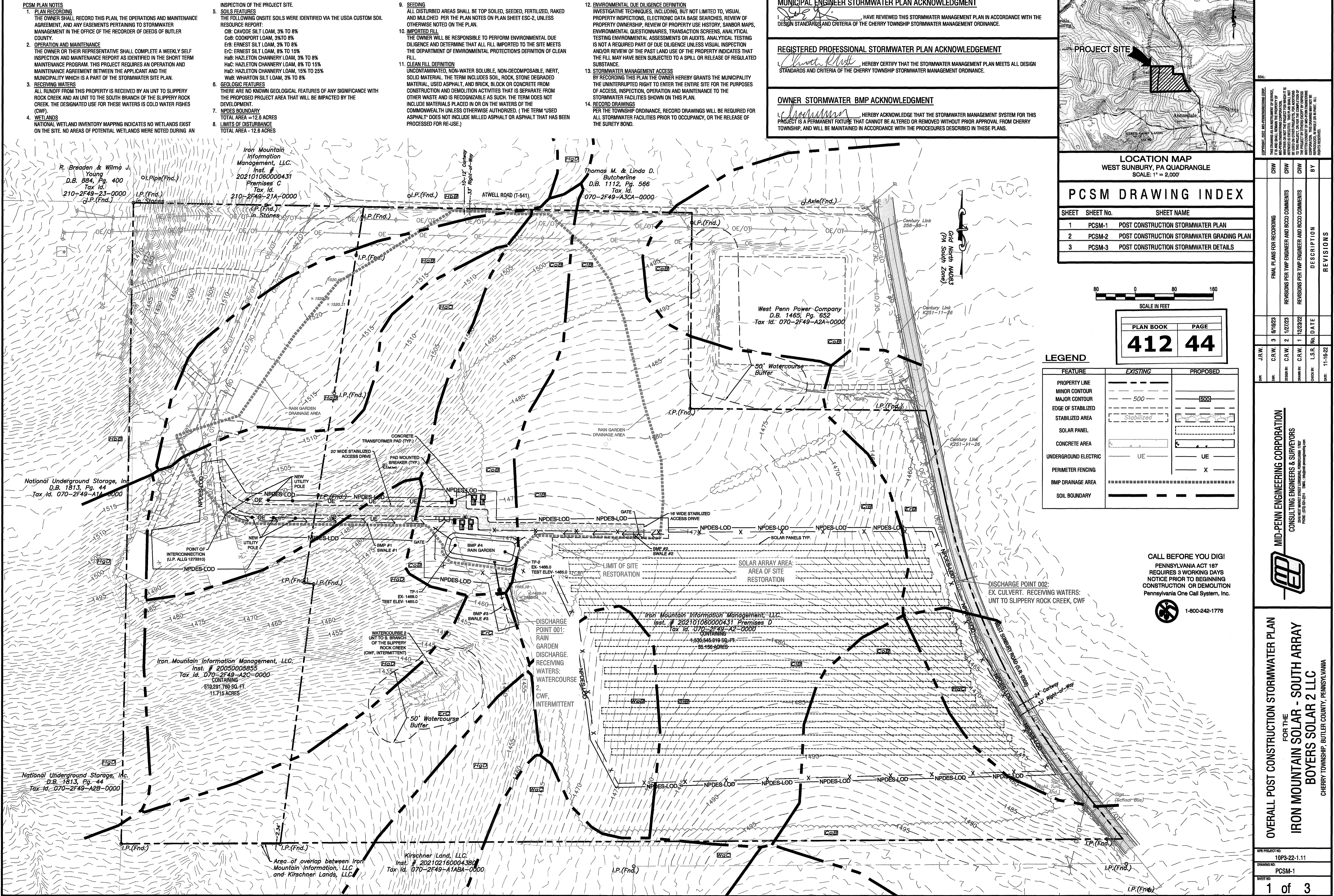






### 3 TYPICAL UTILITY TRENCH RESTORATION DETAIL

[illegible]





I. LONG TERM OPERATION AND MAINTENANCE SCHEDULE

The property owner will be responsible to implement this long-term maintenance program to ensure that site amenities will function properly and maximize the effective life of the facilities. The property owner shall be responsible to ensure that all stormwater management facilities and the overall site are inspected by a qualified individual who may include the landowner or their designee. Along with the BMP specific procedures outlined below all facilities shall adhere to the following General Maintenance Notes:

GENERAL MAINTENANCE NOTES:

- A. All facilities shall be inspected according the following minimum frequencies:
1. Annually between May 1st/ and June 1st/ for the first 5 years.
  2. Once every 3 years thereafter
  3. Immediately after the cessation of a 2-year or greater storm (2.44 inches in 24 hours)
- B. The Municipality and the County Conservation District shall be contacted immediately in the event severe damage to any stormwater management facility occurs.
- C. When, for any reason, the responsible party fails to properly maintain any stormwater management facilities identified in this Maintenance Plan, the Municipality shall have the right to enter upon such property as may be necessary to access the facility and perform the appropriate maintenance.
- D. It shall be unlawful to alter or remove any permanent stormwater BMP required by the approved SWM Plan. The proposed facilities shall be permanent and cannot be altered or removed in anyway without approval from the municipal agency and the County Conservation District.
- E. No BMP facility shall be used for operations or for any purpose other than its proposed and intended stormwater control function.
- F. All required repairs, cleanings, or maintenance of any BMP shall be completed within 15 calendar days of initial discovery or as otherwise established by the municipality.

STRUCTURAL BMP 6.4.5 (RAIN GARDEN / BIORETENTION)

- A. The upgradient catch basins and inlets should be inspected and cleaned at least two times per year and after runoff events.
- B. While vegetation is being established, pruning and weeding may be required.
- C. Detritus may also need to be removed every year. Perennial plantings may be cut down at the end of the growing season.
- D. Mulch should be re-spread when erosion is evident and be replenished as needed. Once every 2 to 3 years the entire area may require mulch replacement.
- E. Bioretention areas should be inspected at least two times per year for sediment buildup, erosion, vegetative conditions, etc.
- F. During periods of extended drought, Bioretention areas may require watering.
- G. Trees and shrubs should be inspected twice per year to evaluate health.

STRUCTURAL BMP 6.4.8 (VEGETATED SWALE)

- A. Maintenance activities to be done annually and within 48 hours after every major storm event (> 1 inch rainfall depth):
- Inspect and correct erosion problems, damage to vegetation, and sediment and debris accumulation (address when > 3 inches at any spot or covering vegetation)
  - Inspect vegetation on side slopes for erosion and formation of rills or gullies, correct as needed
  - Inspect for pools of standing water, dewater and discharge to an approved location and restore to design grade
  - Mow and trim vegetation to ensure safety, aesthetics, proper swale operation, or to suppress weeds and invasive vegetation; dispose of cuttings in a local composting facility; mow only when swale is dry to avoid rutting
  - Inspect for litter; remove prior to mowing
  - Inspect for uniformity in cross-section and longitudinal slope, correct as needed
  - Inspect swale inlets (curb cuts, pipes, etc.) and outlet for signs of erosion or blockage, correct as needed
- B. Maintenance activities to be done as needed:
- Plant alternative grass species in the event of unsuccessful establishment
  - Reseed bare areas; install appropriate erosion control measures when native soil is exposed or erosion channels are forming
  - Rototill and replant swale if draw down time is more than 48 hours
  - Inspect and correct check dams when signs of altered water flow (channelization, obstructions, erosion, etc.) are identified
  - Water during dry periods, fertilize, and apply pesticide only when absolutely necessary

VEGETATED AREAS:

- A. Deposits of debris must immediately be removed and disposed of accordingly.
- B. Vegetation shall be maintained to at least a minimum uniform 90% perennial vegetative cover. Any sparse or un-vegetated areas shall be reseeded.
- C. Inspect lawn areas for signs of erosion or scouring. These areas shall be re-stabilized with seed and mulch immediately. If erosion occurs during the non-growing season rock should be temporarily used to stabilize the area. If the erosion is persistent a permanent lining or rock should be used to stabilize the area.
- D. All onsite vegetation shall be continuously maintained to be free of invasive and noxious species. All turf grass covered areas shall be mowed to maintain a maximum height of 3" to 6". All areas delineated as areas of minimum compaction shall be mowed less frequently to minimize traffic. These areas shall be mowed only as needed to maintain healthy growth. At a minimum these areas shall be mowed at the end of each growing season.

RECYCLING AND DISPOSAL OF MATERIAL

- A. The contractor shall be responsible to ensure that the proper measures for recycling and disposal of materials associated with or from the project site will be undertaken in accordance with all applicable regulations.
- B. All building materials and wastes must be removed from the site and recycled or disposed in accordance with the department's Solid Waste Management Regulations at PA Code section 260.1 et seq., section 271.1 et seq., and section 287.1 et seq. No building materials shall be buried, dumped, or discharged at the site.
- C. Construction/demolition wastes are defined as solid wastes resulting from construction or demolition of buildings and other structures, including, but not limited to, wood, plaster, metals, asphaltic substances, bricks, blocks, and unsegregated concrete. The term does not include the following, if separate from other wastes, and used as clean fill: uncontaminated soil, rock, stone, gravel, brick and block, concrete, and used asphalt; and wastes from land clearing, grubbing, and excavation, including trees, brush, stumps, and vegetative material.
- D. Other construction wastes include, but are not limited to, excess soil materials, building materials typically associated with this type of project, concrete wash water, sanitary wastes, etc. That could adversely impact water quality.
- E. Source separate recycle materials are not wastes, and include cardboard, glass, metals, paper, and plastics.
- F. Wastes that require special handling include, but are not limited to, asbestos, fluorescent bulbs, mercury switches, and tritium "exit" signs (Refer to PADEP for appropriate procedures).
- G. The contractor is responsible for developing and implementing a plan to address compliance with the above requirements, housekeeping, materials management, and litter control: recycling of excess materials and litter is required, where feasible.
- H. All wastes and materials deposited in and removed from post-construction stormwater management (PCSM) BMP facilities and from impervious areas (ex. sweeping of streets & parking lots) during operation and maintenance shall be removed from the site and properly disposed of in accordance with the Department's Solid Waste Management Regulations at 25 PA. Code 260.1 et seq., 271.1., and 287.1 et seq. No waste materials shall be burned, buried, dumped, or discharged at the site.
- I. If adverse geologic or soil materials are discovered they shall be appropriately remediated or removed from the site to a permitted landfill.
- J. Any clean fill material or excess cut or top-soil shall be hauled off site to an approved location. The material shall remain the property of the owner unless permission is granted by the owner to give the material to the contractor.

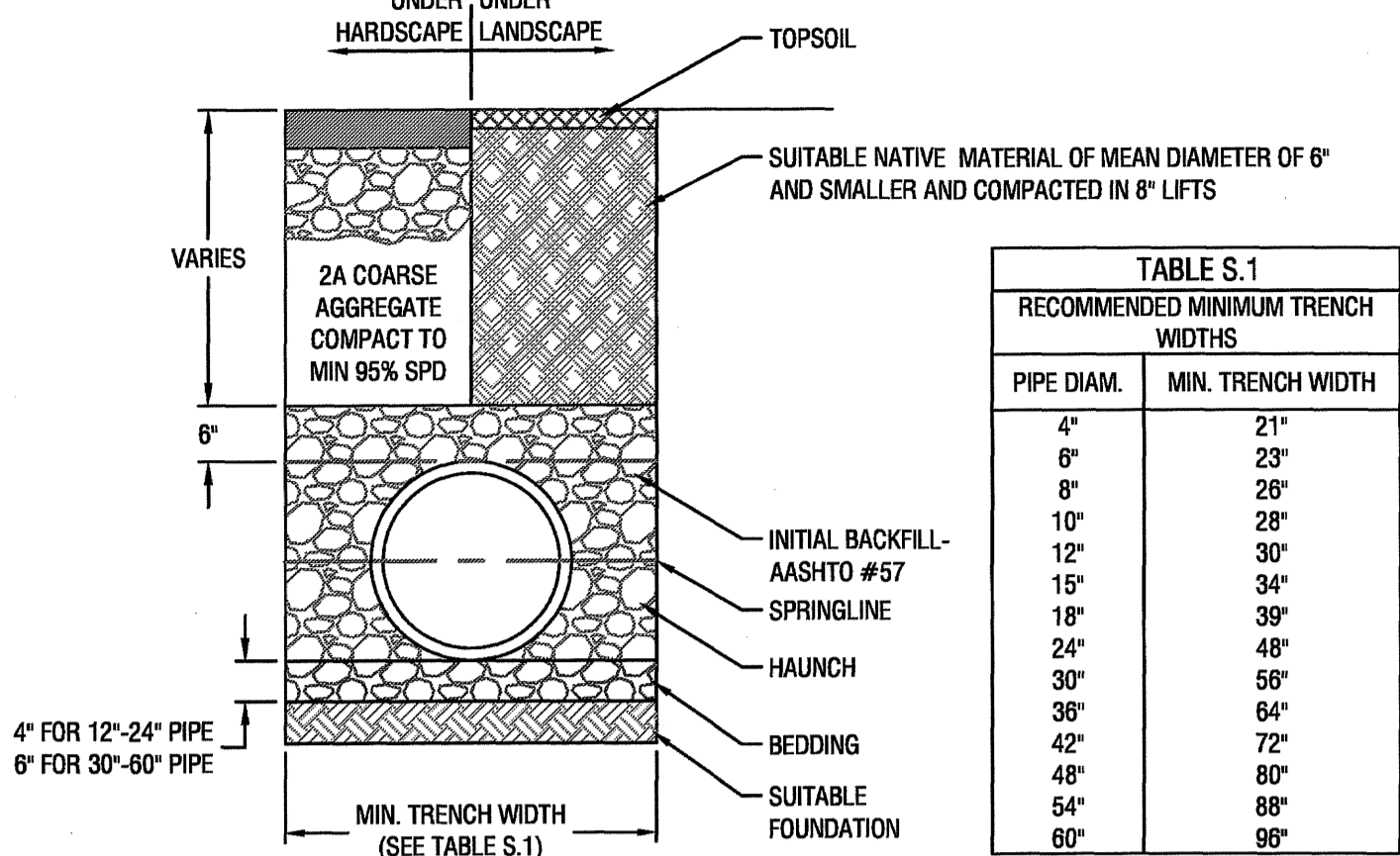
CRITICAL STAGES OF PCSM BMP INSTALLATION

All critical stages of PCSM BMP installation listed below shall be inspected by a licensed professional or a designee at the time of construction.

- A. Rain Garden: after excavation to verify surface conditions, after amended soil installation to verify type and procedures, and upon final seeding to verify vegetation.

SITE SPECIFIC CONSTRUCTION SEQUENCE

- I. Perform all necessary pre-construction activities and notifications as outlined in the Pre Construction sequence outlined on the ESC Plan.
- II. Prepare the site for access and install Erosion Control BMPs by following the Site Preparation sequence outlined on the ESC Plan.
- III. GENERAL SITE CONSTRUCTION
- A. The contractor may perform all demolition activities illustration on the plans, including clearing and grubbing of vegetation. Grading activities may begin including cuts, fills, topsoil stripping, and topsoil placement. Areas of "Site Restoration" shall be seeded with the Permanent Seed Mixture listed. These areas should establish prior to the installation of the solar panel areas. Any disturbance in these areas should be minimized to the extent possible. Any areas disturbed after seed establishment should be re-seeded accordingly.
- C. All topsoil shall be stockpiled onsite at locations shown. If necessary, the topsoil stockpiles shall be temporarily seeded with the appropriate seed mix.
- D. Initiate rough grading activities required to achieve the proposed grades as shown the plans. Disturbance shall be limited to only that area being graded at a given time.
- E. As site grading is occurring, construction of rain garden, swales, and related construction may commence. Care shall be taken to not compact the native soil surface in the rain garden. Do not operate heavy equipment over the bottom of the rain garden.
- F. Install the main underground utility lines. All trenching shall be limited to a length that can be backfilled by the end of the work day.
- G. The stabilized access drive shall be brought to subgrade and stabilized.
- H. Solar panel and fence installation may commence. The contractor shall limit disturbance to the greatest extent possible and repair any disturbed areas immediately.
- I. Immediately upon any portion of the site reaching subgrade the area shall be stabilized. Any grassed areas not subject to further disturbance shall be stabilized with 4" of topsoil limit, seeded and mulched per the plans and details.
- J. All topsoil shall be placed in accordance with Finished Topsoil Notes as provided in the plans.
- K. Seed, fertilize, and mulch all disturbed areas with the appropriate seed mix. All seeding shall be performed in accordance with the Permanent Seeding Notes provided.
- IV. Remove all temporary erosion control devices from the site and finalize stabilization and close out procedures by following the Removal of BMPs sequence on the ESC Plan.

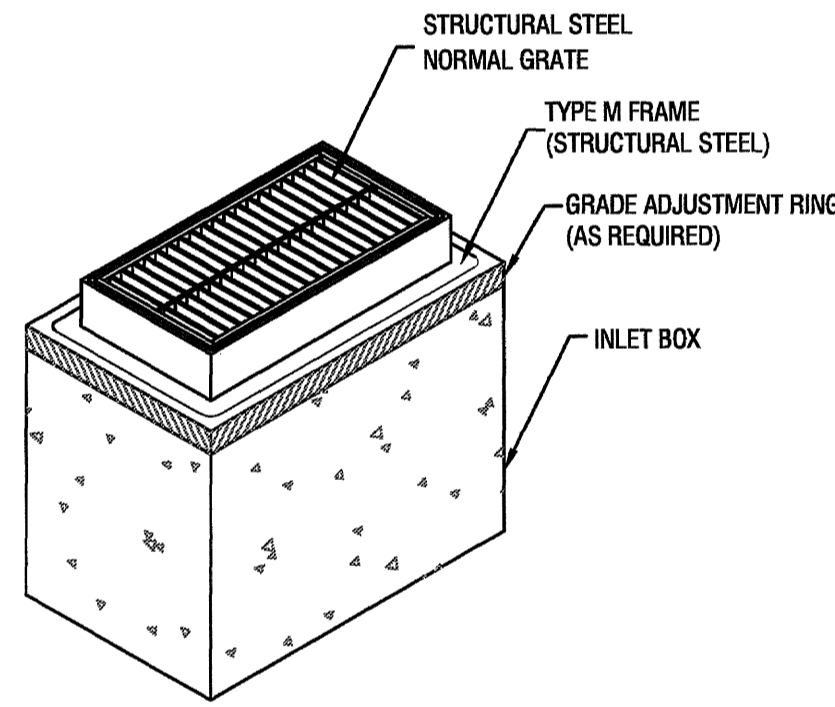


STORM PIPE NOTES:

1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST ADDITION
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
4. BEDDING: BEDDING MATERIAL SHALL BE AASHTO #6 FOR PIPE SIZES < 12". AASHTO #67 SHALL BE USED FOR PIPE SIZES ≥ 12". THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER UPON REQUEST.
5. INITIAL BACKFILL: MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT. FOR TRAFFIC APPLICATIONS WITH LESS THAN FOUR FEET OF COVER, EMBEDMENT OF THE PIPE SHALL BE USING ONLY A CLASS I OR CLASS II BACKFILL.

1 STORM TRENCH INSTALLATION DETAIL

NOT TO SCALE

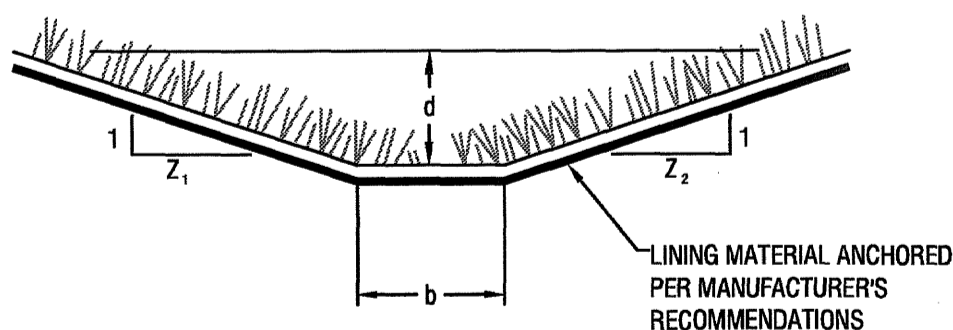


NOTES:

1. CONSTRUCT IN ACCORDANCE WITH PENN. D.O.T. PUBLICATION 408, SECTION 605, FOR INLET ASSEMBLIES.
2. \* USE PRECAST CONCRETE OR MASONRY GRADE ADJUSTMENT RINGS, AS REQUIRED.

2 STANDARD INLET WITH TYPE "M" FRAME AND GRATE

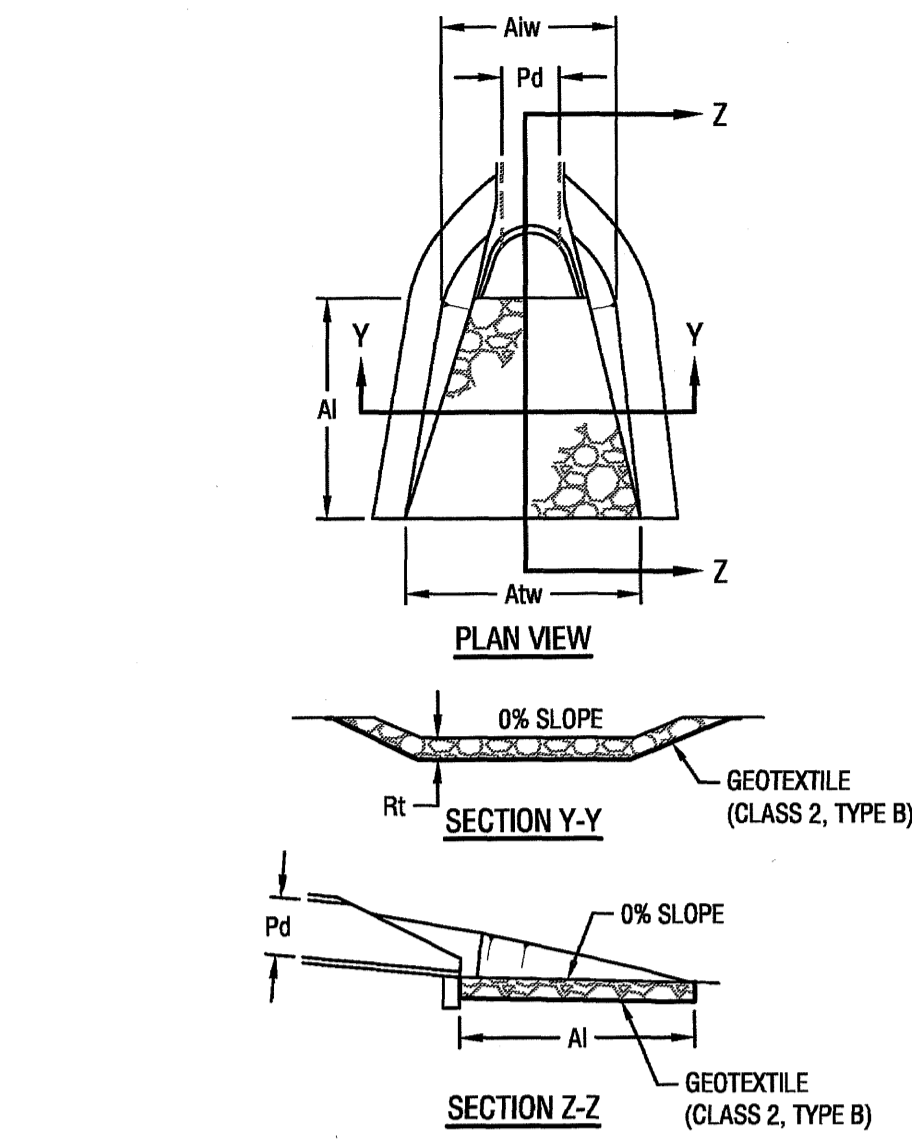
NOT TO SCALE



3 SWALE DETAIL

NOT TO SCALE

SWALE SCHEDULE						
SWALE NUMBER	Bed Slope	Bottom Width (b)	Depth, minimum (d)	Side Slope	Side Slope	Lining
	ft/ft	feet	feet	Z <sub>1</sub>	Z <sub>2</sub>	
SWALE #1 (WEST)	VARIES	2	1	3	3	N.A.G. S200 OR EQUAL
SWALE #2 (EAST)	VARIES	2	1	3	3	GRASS
SWALE #3 (R.G. OUT)	VARIES	3.5	1	4	4	GRASS



OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP		APRON		
		SIZE R-~	THICK. Rt (IN)	LENGTH Al (FT)	INITIAL WIDTH Alw (FT)	TERMINAL WIDTH Atw (FT)
FES-1	15	5	27	8	3.75	11.75

INSTALLATION NOTES:

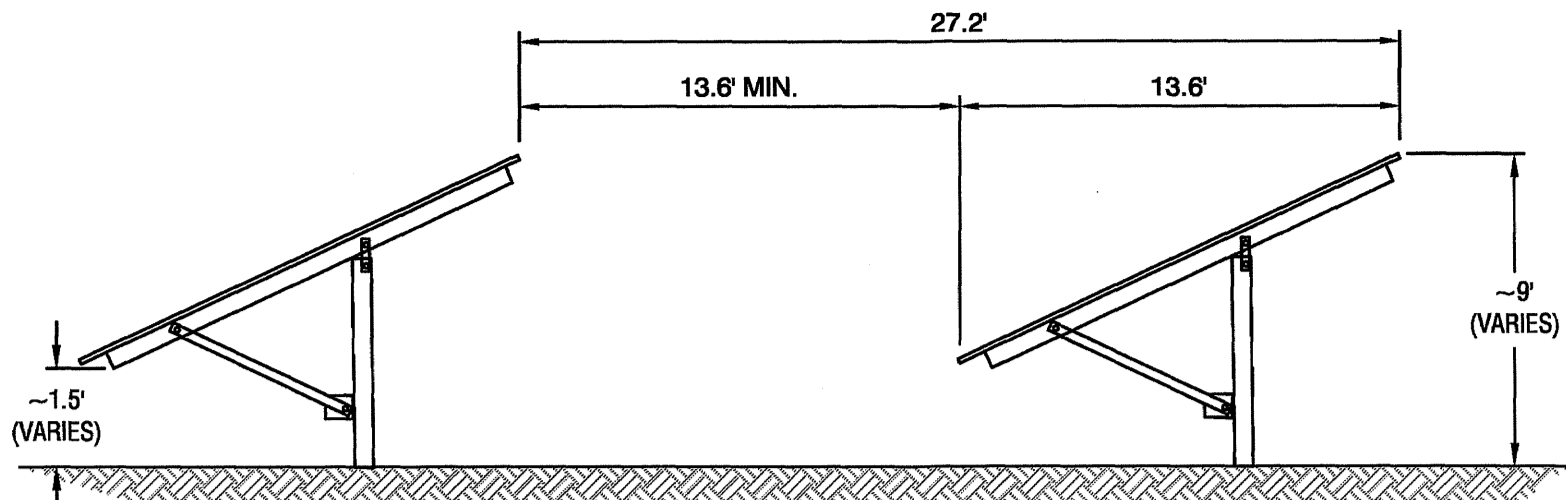
1. DETAIL BASED ON STANDARD CONSTRUCTION DETAIL, #9-1 OF THE PADEP E&S CONTROL MANUAL.
2. ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.

MAINTENANCE NOTES:

1. ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

4 RIPRAP APRON AT PIPE OUTLET WITH FLARED END

NOT TO SCALE

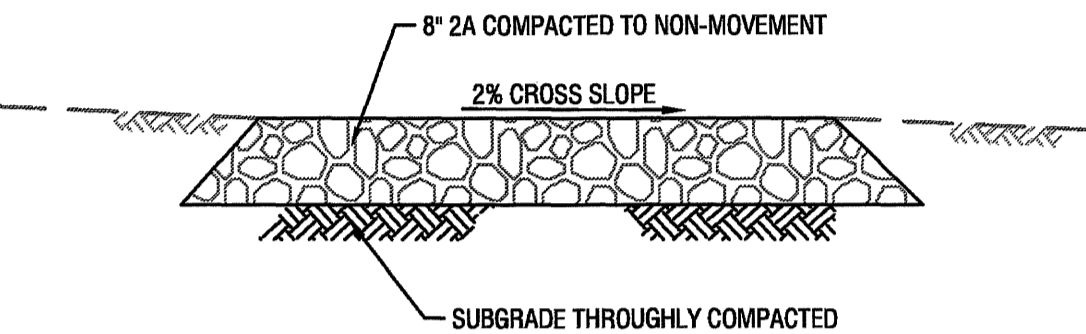


6 TYPICAL SOLAR PANEL DIMENSIONS

NOT TO SCALE

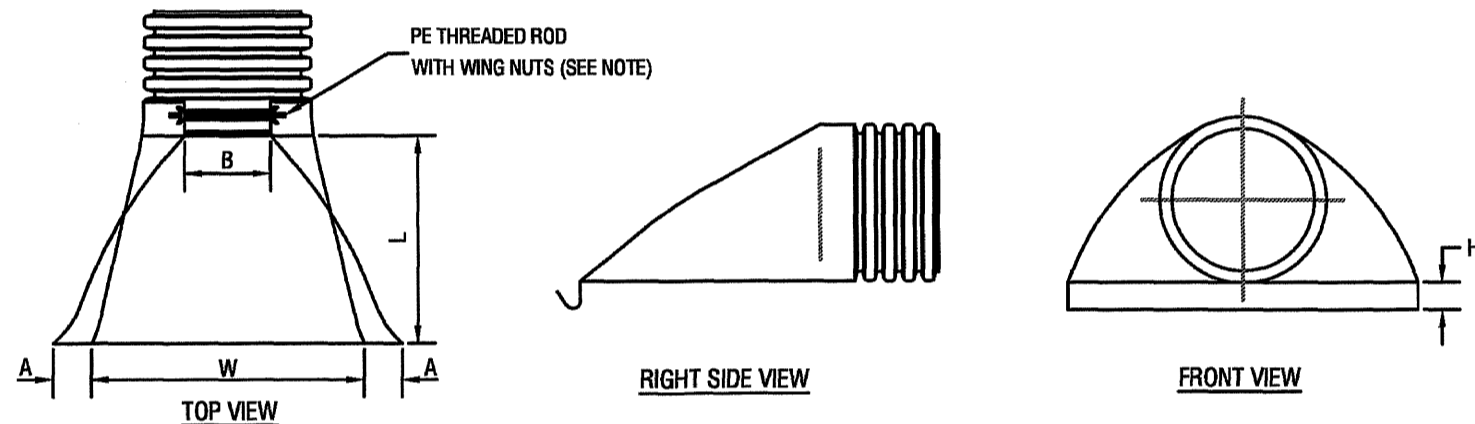
NOTES:

1. DIMENSIONS SHOWN ARE APPROXIMATE AND MAY VARY.
2. GROUND SURFACE SHALL BE SEEDED WITH ERNMX-150, LOW-GROWING WILDFLOWER & GRASS MIX, SEEDING RATE: 20-40 LBS/ACRE.



7 TYPICAL ACCESS ROAD SECTION

NOT TO SCALE



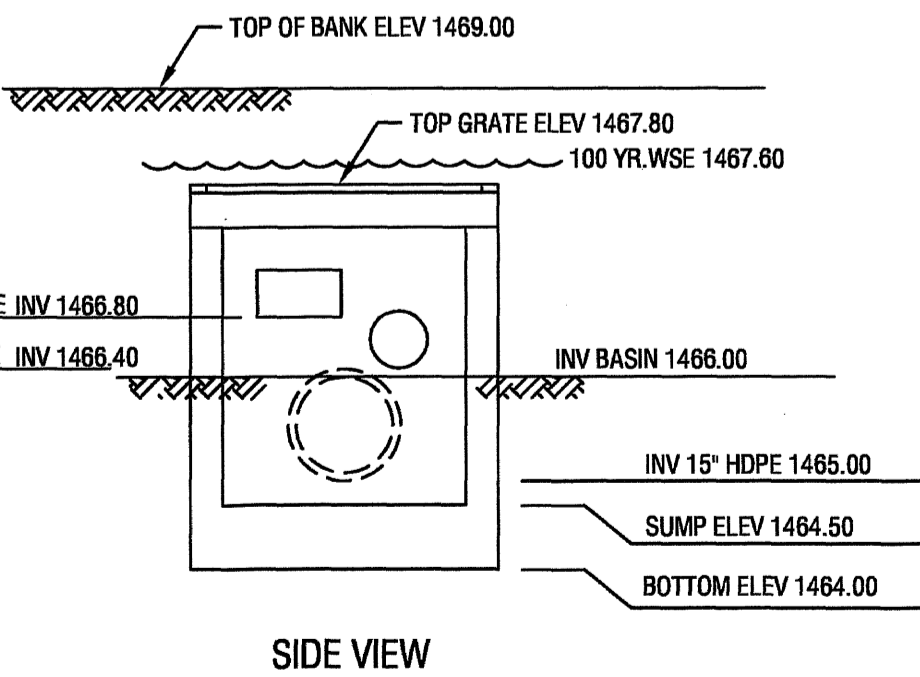
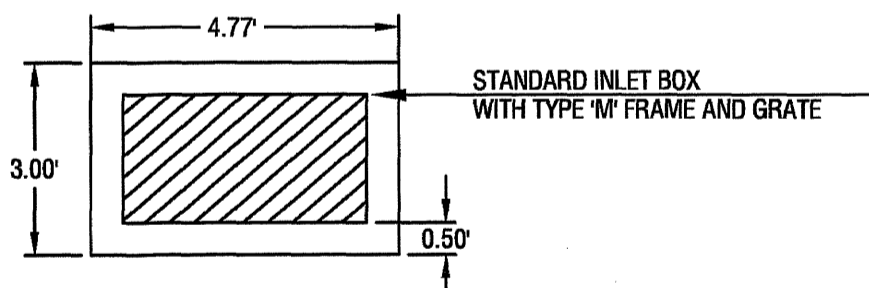
PIPE SIZE	A	B (MAX.)	H	L	W
15"	6.5"	10"	6.5"	25"	25"
18"	7.5"	15"	6.5"	32"	32"

NOTES:

1. PE THREADED ROD WITH WING NUTS PROVIDED FOR END SECTIONS 12"-24", 30" & 36"
2. END SECTIONS TO BE WELDED TO PIPE PER MANUFACTURER'S RECOMMENDATIONS.
3. ALL DIMENSIONS ARE NOMINAL.

8 HDPE FLARED END SECTION

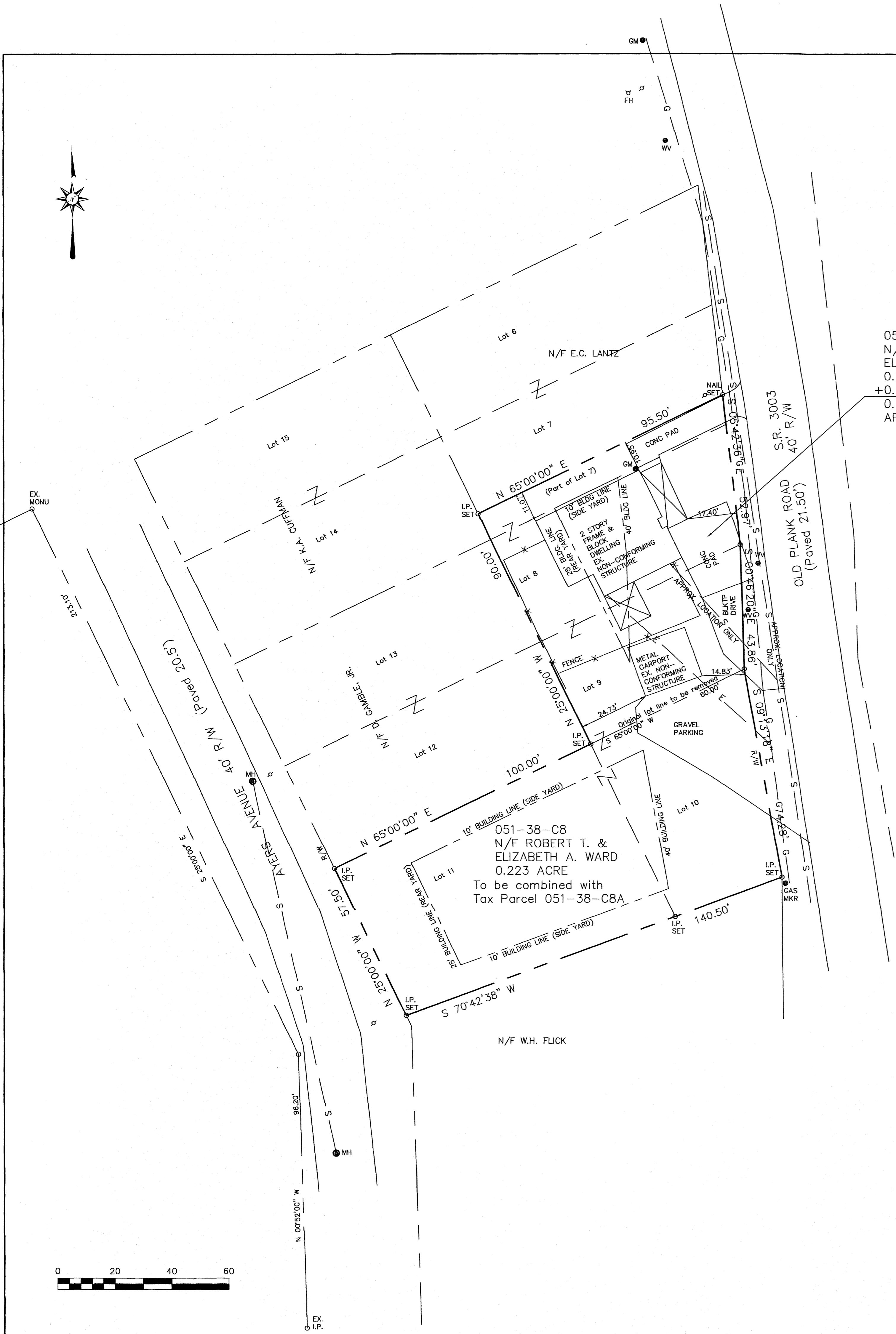
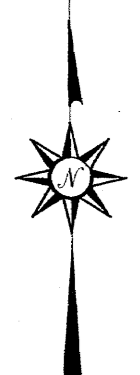
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9 RAIN GARDEN OUTLET STRUCTURE DETAIL

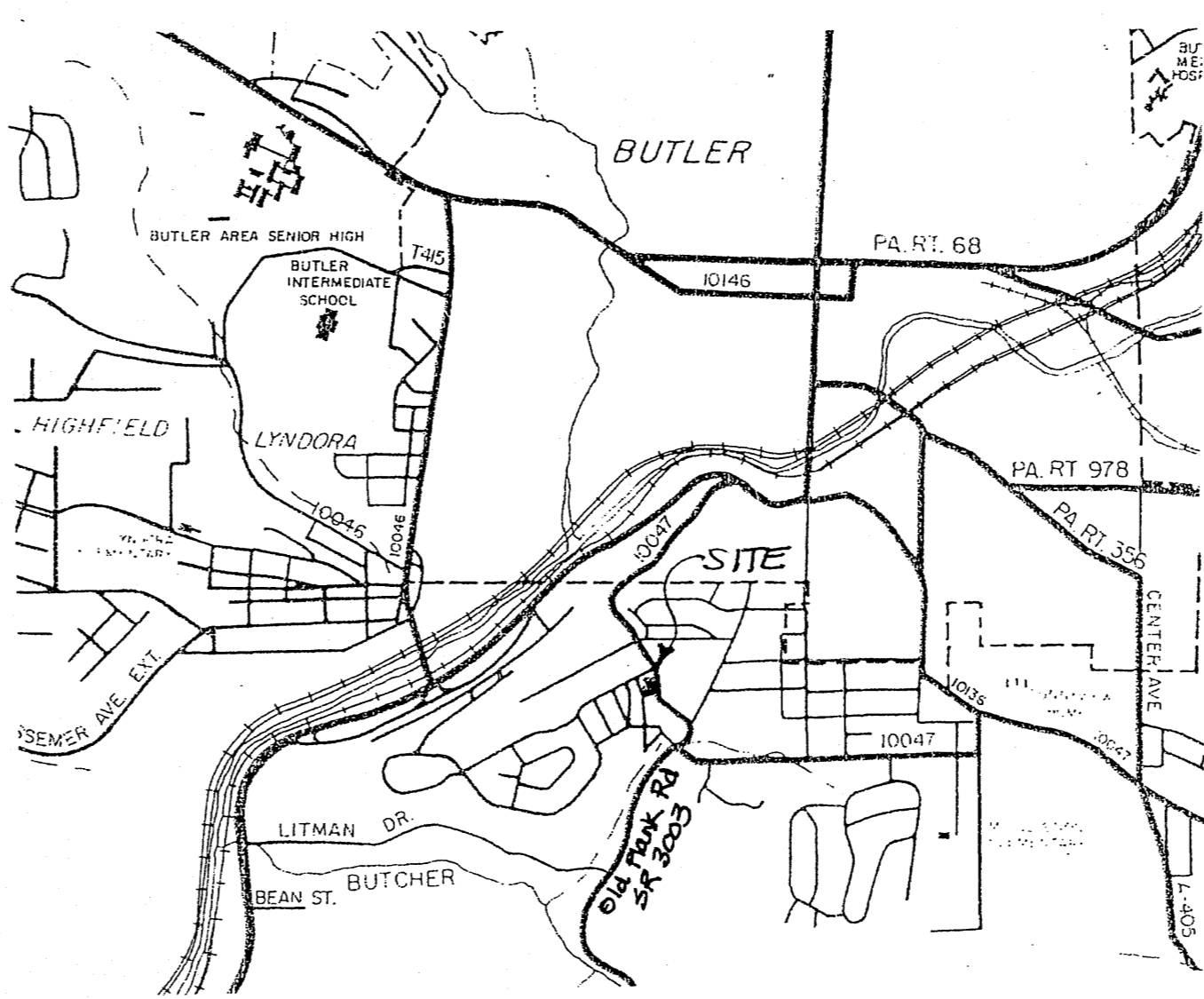
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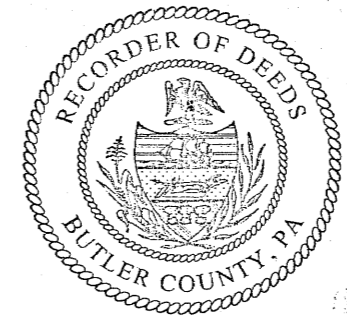
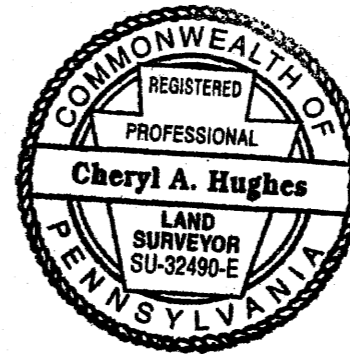
051-38-C8A  
N/F ROBERT T. &  
ELIZABETH WARD  
0.163 ACRE  
+0.233 ACRE (TAX PARCEL 051-38-C8)  
0.386 ACRE TOTAL  
AFTER CONVEYANCE = LOT 1

NOTES:  
SUBJECT TO ANY AND ALL EXISTING RIGHTS-  
OF-WAY AND EASEMENTS OF RECORD.  
ACCORDING TO THE FLOOD INSURANCE RATE  
MAP PREPARED FOR THIS TOWNSHIP, THIS  
PROPERTY LIES IN ZONE X - AREA OF  
MINIMAL FLOOD HAZARD DETERMINED TO  
BE OUTSIDE THE 0.2% ANNUAL CHANCE  
FLOODPLAIN.  
PROPERTY OWNERS: ROBERT & ELIZABETH WARD  
32 OLD PLANK ROAD  
BUTLER, PA 16001  
ZONING R-1: RESIDENTIAL  
BUILDING REQUIREMENTS  
MINIMUM LOT AREA: 15,000 SQ. FT.  
MINIMUM LOT WIDTH: 100'  
FRONT YARD SETBACK: 40'  
SIDE YARD SETBACK: 10'  
REAR YARD SETBACK: 25'  
THE PURPOSE OF THIS PLAN IS A LOT CONSOLIDATION  
PLAN TO COMBINE TWO ADJOINING LOTS INTO  
ONE LOT.  
REF: LOTS 8, 9, 10, 11 AND PART OF 7 OF BREDIN  
HOMESTEAD PLAN OF LOTS, R.F. 4 PG. 10.  
UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE  
LOCATION AND SHOULD BE FIELD VERIFIED PRIOR TO  
ANY EXCAVATION.  
A HIGHWAY OCCUPANCY PERMIT IS REQUIRED FOR  
ACCESS ONTO A STATE HIGHWAY PURSUANT TO  
SECTION 420 OF PA STATE HIGHWAY LAW.



VICINITY MAP Scale: 1" = 2000'

Instr: 202309080013292  
Page 1 of 1  
Michele Mustello  
Butler County Recorder PA



Know all men by these Presents, that we, Robert T. and Elizabeth A. Ward, of the Township of Butler, County of Butler and State of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this Plan as our Plan of our property situated in Butler Township and do hereby dedicate forever for public use for highway and utility purposes, all drives, roads, lanes, ways, rights of way, and other public highways shown upon the plan, and we release, remise and discharge the Township of Butler, its successors or assigns, of and from all liability, courses of action, claims or damages arising from or pertaining to in any manner said roads and rights of ways.

We further agree that said plan is approved by the Township of Butler for "Planning Purposes Only" and that said township shall not issue any "Building Permits" for lots contained herein, nor shall any lot be deeded until either all of said roads and improvements in accordance with Butler Township Ordinance 730 and all other applicable ordinances have been completed and accepted by said township or until the township has approved a bond with sufficient surety to guarantee construction of the same.

In Witness Whereof, We hereunto set our hands and seals this 28<sup>th</sup> day of August, 2023  
Yvonne M. Neely Notary Public  
Robert Ward OWNER  
Elizabeth Ward OWNER

COMMONWEALTH OF PENNSYLVANIA)SS:  
COUNTY OF BUTLER)  
Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Robert T. and Elizabeth A. Ward, and acknowledged the foregoing release and dedication and plan to be their act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this 28<sup>th</sup> day of August, 2023  
My Commission Expires the 9<sup>th</sup> day of October, 2024

SEAL  
Yvonne M. Neely Notary Public  
Commonwealth of Pennsylvania - Notary Seal  
Yvonne M. Neely, Notary Public  
Butler County  
My commission expires October 9, 2024  
Commission number 1119517  
Member, Pennsylvania Association of Notaries

TITLE CLAUSE (NO MORTGAGE)  
We, Robert T. and Elizabeth A. Ward, owners of this plan of subdivision in our names, do hereby certify that the title of this property is in the names of Robert T. and Elizabeth A. Ward, as recorded in Deed Book Volume 2477 page 689, Recorder of Deeds Office. We further certify that there is no mortgage, lien or encumbrance against this property.

Yvonne M. Neely Notary Public  
Robert Ward OWNER  
Elizabeth Ward OWNER

I, Cheryl A. Hughes, a Registered Surveyor of the Commonwealth of Pennsylvania, do hereby certify that the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan correctly represents the lots, land, streets and highways as surveyed and plotted by me for the owners or agents.

DATE August 8, 2023 SEAL  
SIGNATURE AND REG. NO. SU-32490-E

The Board of Commissioners of the Township of Butler hereby gives public notice that in approving this plan for recording purposes only, the Township assumes no obligations, legal or otherwise, expressed or implied, either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

Theresa Bialek SECRETARY  
Julian PRESIDENT

Approved by the Board of Commissioners of the Township of Butler this 21<sup>st</sup> day of August, 2023  
Theresa Bialek SECRETARY  
Julian PRESIDENT OF BOARD

Approved by the Butler Township Planning Commission this 1<sup>st</sup> day of August, 2023  
F. Mallik SECRETARY  
R. Hugen CHAIRMAN  
JTH

Reviewed by the Butler County Planning Commission this 19<sup>th</sup> day of July, 2023  
R. Hugen SECRETARY  
R. Hugen CHAIRMAN  
JTH

COMMONWEALTH OF PENNSYLVANIA)SS:  
COUNTY OF BUTLER)  
Recorded in the Recorder's Office for the recording of deeds, plans, etc., in said County in Plan Book Volume 412 page 47

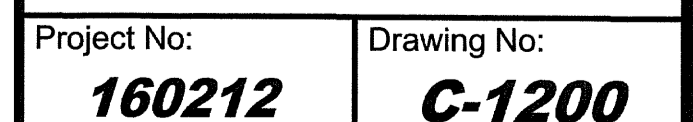
Given under my hand and seal this 8<sup>th</sup> day of SEPTEMBER, 2023  
SEAL  
Michele M. Mustello Recorder

REVISOR 08/08/2023; HIGHWAY OCCUPANCY NOTE  
REVISED 07/06/2023; TOWNSHIP ENGINEER'S REVIEW COMMENTS

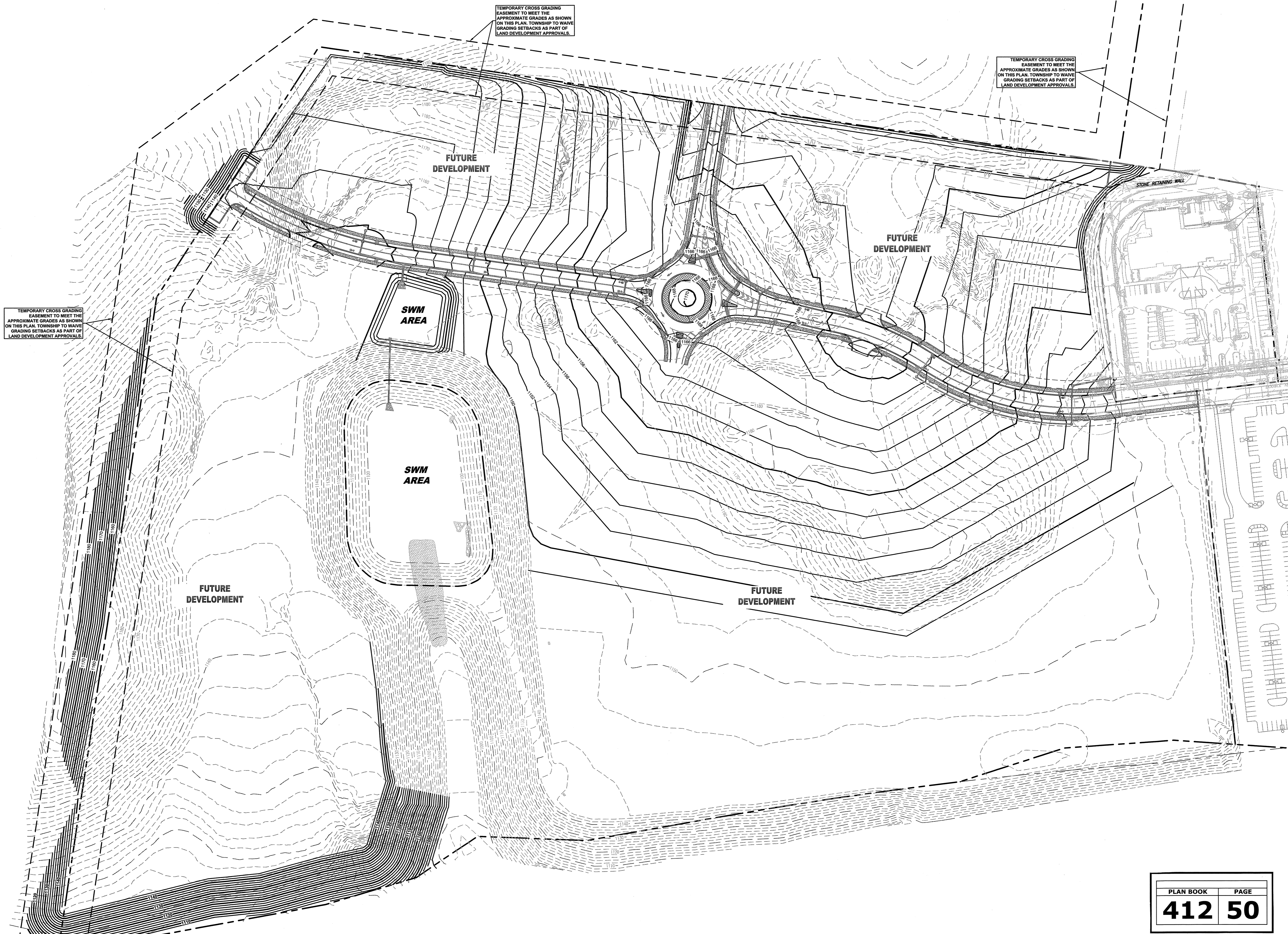
FOR: ROBERT T. & ELIZABETH A. WARD  
SITUATE: BUTLER TWP., BUTLER CO., PA

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L  S  J	Land Surveyors, Inc. 523 North Main Street P.O. Box 1061 Butler, PA 16003-1061 (724) 287-6865 Cheryl A. Hughes, PLS Owner		
	LOT CONSOLIDATION PLAN		
FOR: ROBERT T. & ELIZABETH A. WARD			
SITUATE: BUTLER TWP., BUTLER CO., PA			
Date 06/20/2023	Scale 1" = 20'	Dwn By BEC	Ckd By CAH
Parcel No. 051-38-C8 & C8A	Db-Pg 2477-689		Service No. 23-068
Address 32 OLD PLANK ROAD			








0 80' 160'

Drawing Scale:  
1" = 80'

 **NOT FOR CONSTRUCTION**

**ISSUED FOR PERMIT REVIEW**

Waterfront Corporate Park III, Suite 101  
2000 Georgetown Drive  
Sewickley, PA 15143

P: 724-444-1100  
F: 724-444-1104  
www.pve-llc.com

**PVE**

Civil Engineering | Land Development | Structure Design  
Land Planning | Landscape Architecture | Environmental

Prepared For:

Sippel Enterprises  
2591 Wexford Bayne Road, #100  
Sewickley, Pennsylvania 15143-8676

THIS PLAN HAS BEEN PREPARED SOLELY FOR THE BENEFIT OF THE PERSONS NAMED ABOVE AND FOR THE PROJECT NOTED ON THIS DRAWING. THE USE OF THIS PLAN BY ANY OTHER PARTY, OR FOR ANY OTHER PURPOSE OTHER THAN SPECIFIED, IS PROHIBITED WITHOUT WRITTEN CONSENT FROM PVE ENGINEERING.

**811** Know what's below.  
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DATE ISSUED:		MAY 6, 2022
PLAN REVISIONS		
	DATE	DESCRIPTION
1	8-2-22	Final Land Development Submission
2	8-24-22	Revision per Twp Comment Letter Dated 8-5-22
3	10-17-22	Revision per BCCD Comment Letter
4	11-14-22	Revision per Twp Comment Letter Dated 9-28-22
5	12-05-22	Revise Roundabout per client markups
6	1-11-23	Revise Per Twp Comment Letter Dated 12-13-22
7	4-28-23	Revise Water Per Twp Comments
8		
9		
10		

Situate In:  
Cranberry Township, Butler County, Pennsylvania

Project Name:  
**CRANBERRY SPRINGS**

Drawing Name:  
**OVERALL GRADING PLAN**

Project No:  
**160212**

Drawing No:  
**C-400**

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