

I, JAMES A. SPERDUTE, A PROFESSIONAL LAND SURVEYOR DULY LICENSED BY AND IN THE COMMONWEALTH OF PENNSYLVANIA, HEREBY CERTIFY THAT THE PLATS OF THE HERITAGE CROSSINGS CONDOMINIUM PLAN, A CONDOMINIUM TO WHICH THIS CERTIFICATE IS AFFIXED, CONSISTING OF 2 PAGES AND THE PLANS RECORDED WITH THE DECLARATION, ACCURATELY CONTAINS ALL INFORMATION REQUIRED BY SECTIONS 3210(B) AND (C) OF THE PENNSYLVANIA UNIFORM CONDOMINIUM ACT, ACT 82 OF 1990 (68 P.A.C.S.A. SECTION 3210(B) AND (C))

James A. Spurdute 9/10/21
BY: JAMES A. SPERDUTE, SURVEYOR REG. NO. 24457-E DATE

Instr: 202109140026155
Pgs: 3 of 5225-08
Michele Mustello
Butler County Recorder PA
20210918851

COMMONWEALTH OF PENNSYLVANIA)
) SS:
COUNTY OF BUTLER)

ON THE 10 DAY OF September 2021, BEFORE ME, A NOTARY PUBLIC FOR THE COMMONWEALTH OF PENNSYLVANIA, PERSONALLY APPEARED JAMES A. SPERDUTE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE ABOVE CERTIFICATION AND BEING DULY SWORN MADE SOLEMN OATH TO THE TRUTH OF THE STATEMENT TO WHICH HIS NAME IS SUBSCRIBED.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND NOTARIAL SEAL.

Jennifer Lyn Spurdute
NOTARY PUBLIC

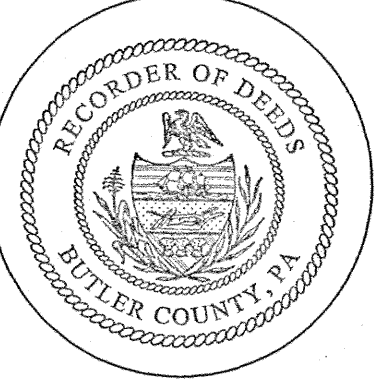
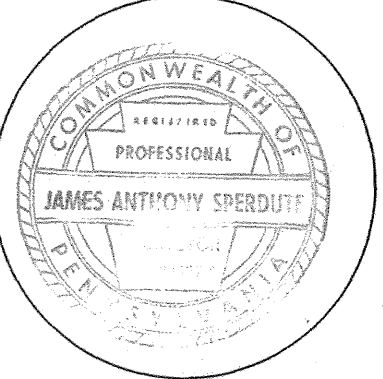
MY COMMISSION EXPIRES: October 14, 2023

Commonwealth of Pennsylvania - Notary Seal
Jennifer Lyn Spurdute, Notary Public
Butler County
My commission expires October 14, 2023
Commission number 1358573
Member, Pennsylvania Association of Notaries

COMMONWEALTH OF PENNSYLVANIA)
) SS:
COUNTY OF BUTLER)

RECORDED IN THE RECORDER'S OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN COUNTY IN PLAN BOOK 398 PAGES 1-3 GIVEN UNDER MY HAND AND SEAL THIS 14th DAY OF September 2021

Michele M. Mustello
RECORDER OF DEEDS

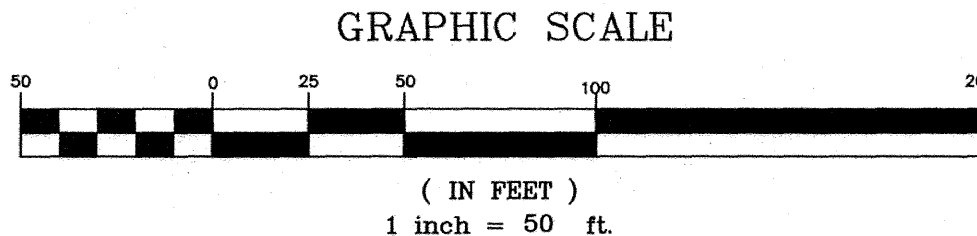


SURVEYOR
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

n/f JKESS, L.P.
South Pike
Square
Plan-Revision 2
PBV 320, Pg 7
Parcel S-1

LIMIT OF ENCLOSED UNIT AREA
PREVIOUSLY DECLARED PROPERTY
LIMITED COMMON ELEMENTS (DRIVEWAYS)
CANTERBURY UNIT
ABBEY UNIT

Condo Area Tabulation	LOT 1		LOT 2		LOT 3	
	SQ.FT.	ACRES	SQ.FT.	ACRES	SQ.FT.	ACRES
ORIGINAL TRACT:	39,502	0.907	316,293	7.261	591,122	13.570
CONDO PLAN NO. 1 PHASE 1A	0	0	98,892	2.270	0	0
CONDO PLAN NO. 1 PHASE 1B	39,502	0.907	0	0	0	0
CONDO PLAN NO. 2 PHASE 2A	0	0	217,401	4.991	0	0
CONDO PLAN NO. 2 PHASE 2B	0	0	0	0	173,246	3.977
CONDO PLAN NO. 2 PHASE 2C	0	0	0	0	45,524	1.045
AREA REMAINING FOR DEVELOPMENT (CONVERTIBLE/WITHDRAWABLE REAL ESTATE)	0.00	0.00	0.00	0.00	372,352	8.548



NOTES:
Prepared for: Heritage Crossings Partners, L.P.
P.O. Box 449
Mars, PA 16046

- All porches, patios, decks and unit sidewalks are part of the dwelling unit and must be built.
- All unit driveways are considered limited common elements and must be built.
- See declaration which is recorded separately for architectural drawings related to building types, building elevations and unit dimensions.
- Refer to the recorded plan referenced below of additional information regarding existing easements, rights of way, setbacks and restrictions of record.

Plan Reference: Heritage Crossings Plan of Lots PBV 388, Pages 24-25
Heritage Crossings Condominium Plan No. 1 PBV 392, Page 40

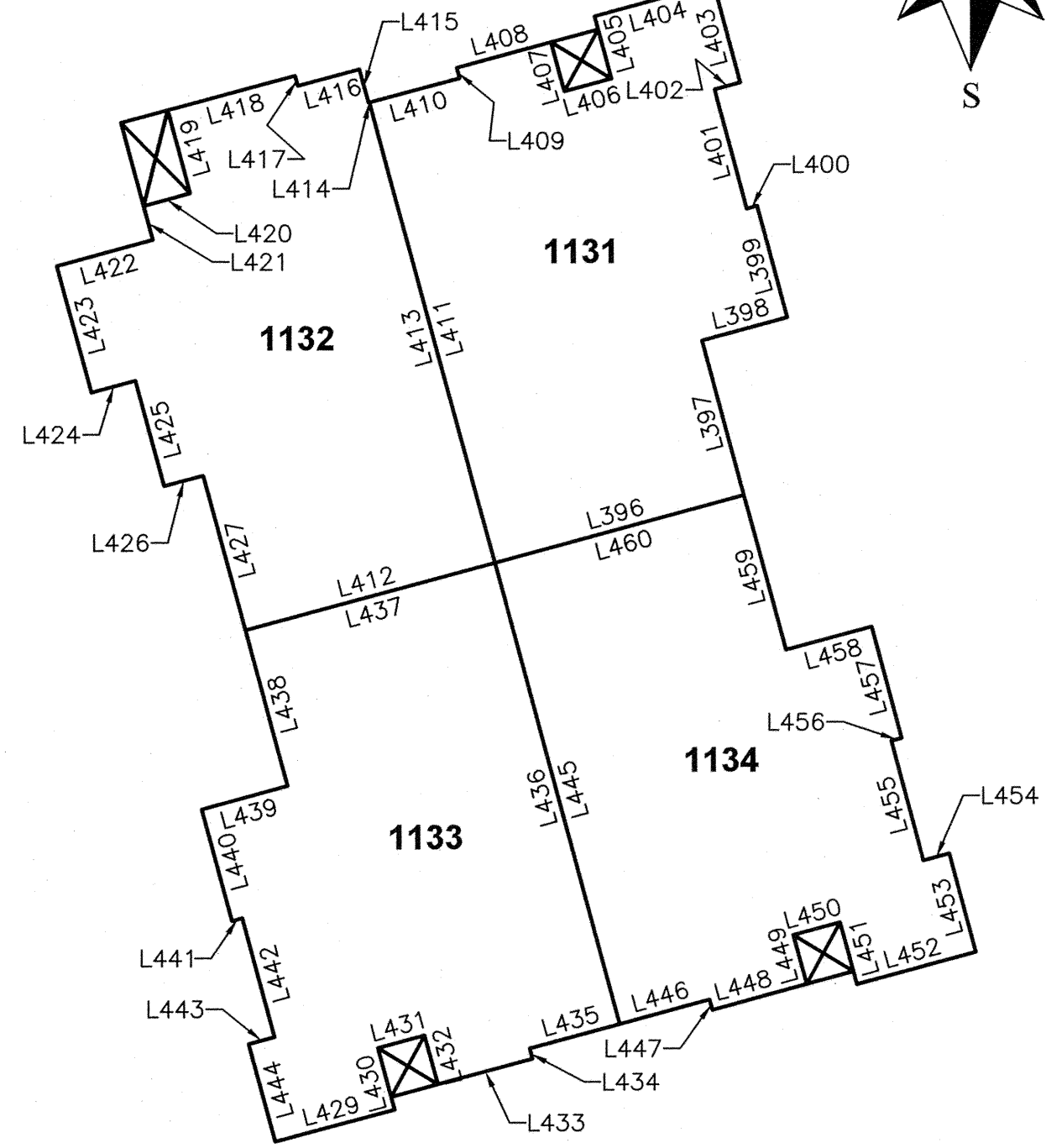
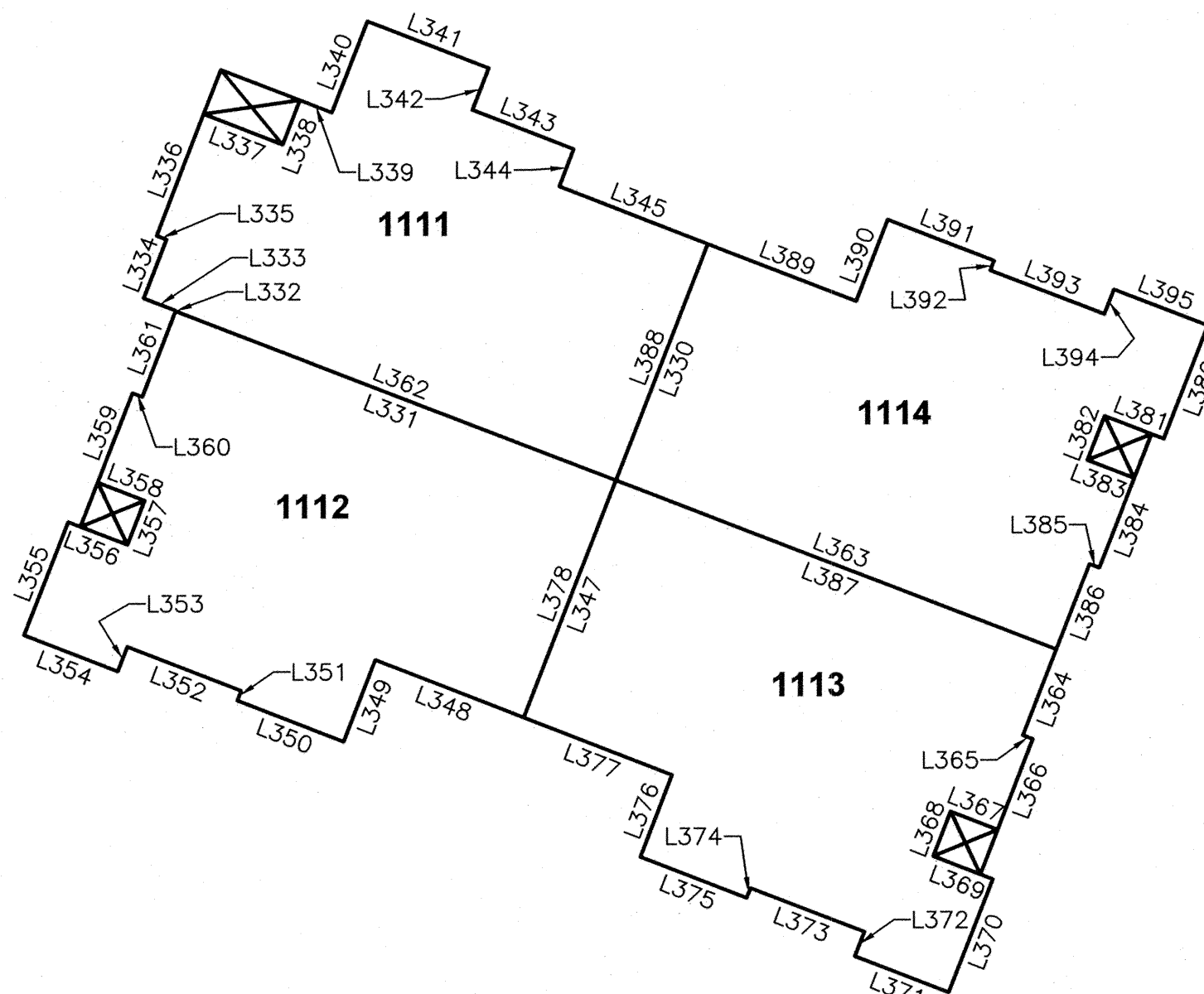
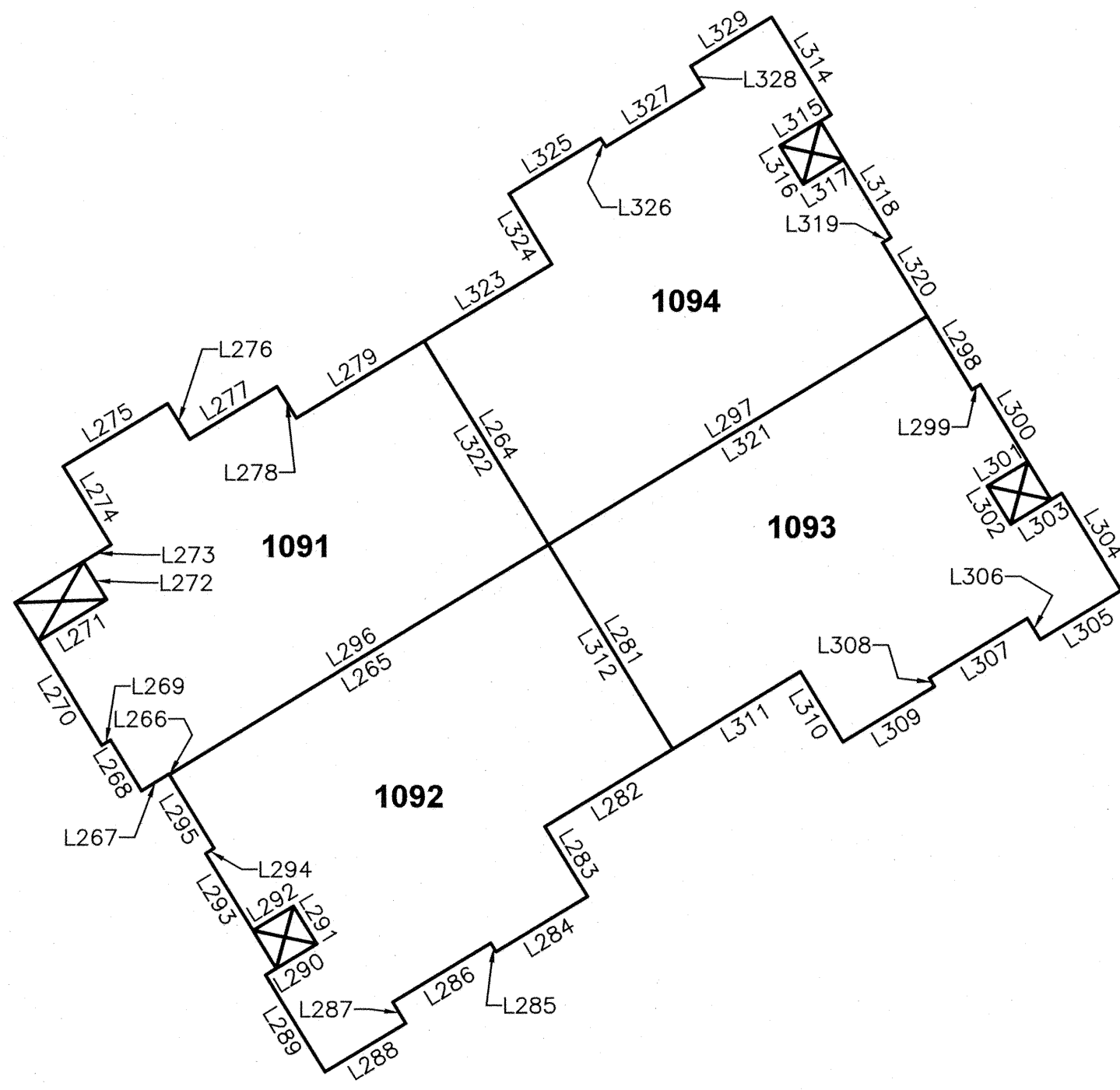
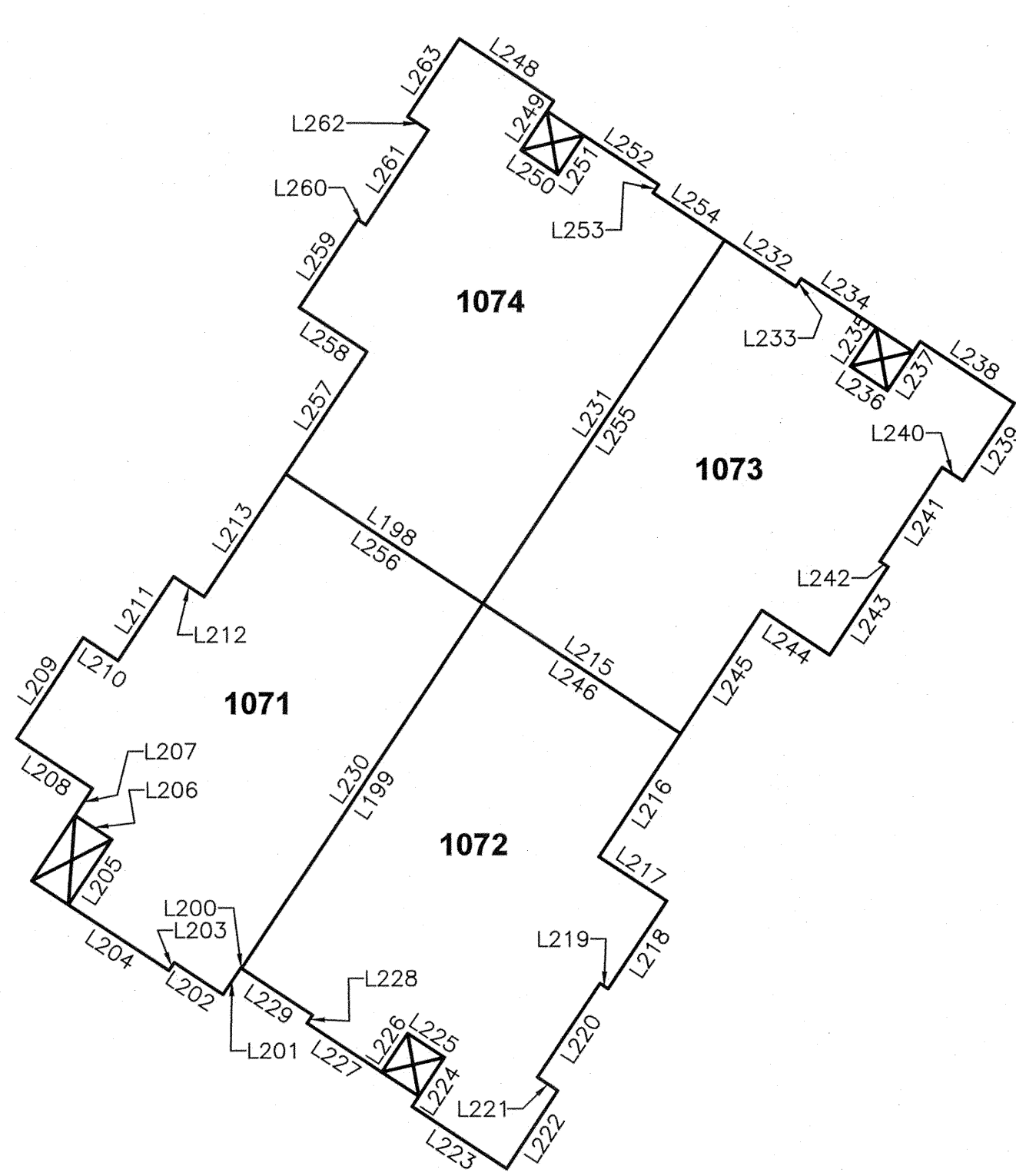
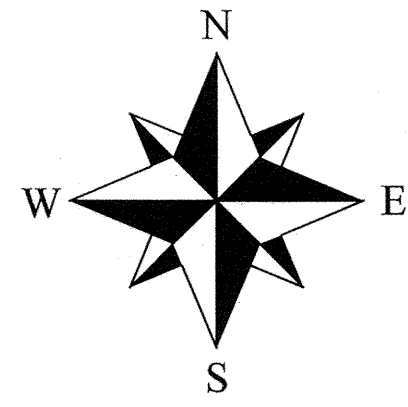
Owner/Developer
Heritage Crossings Partners, L.P.
Box 449
Mars, PA 16046

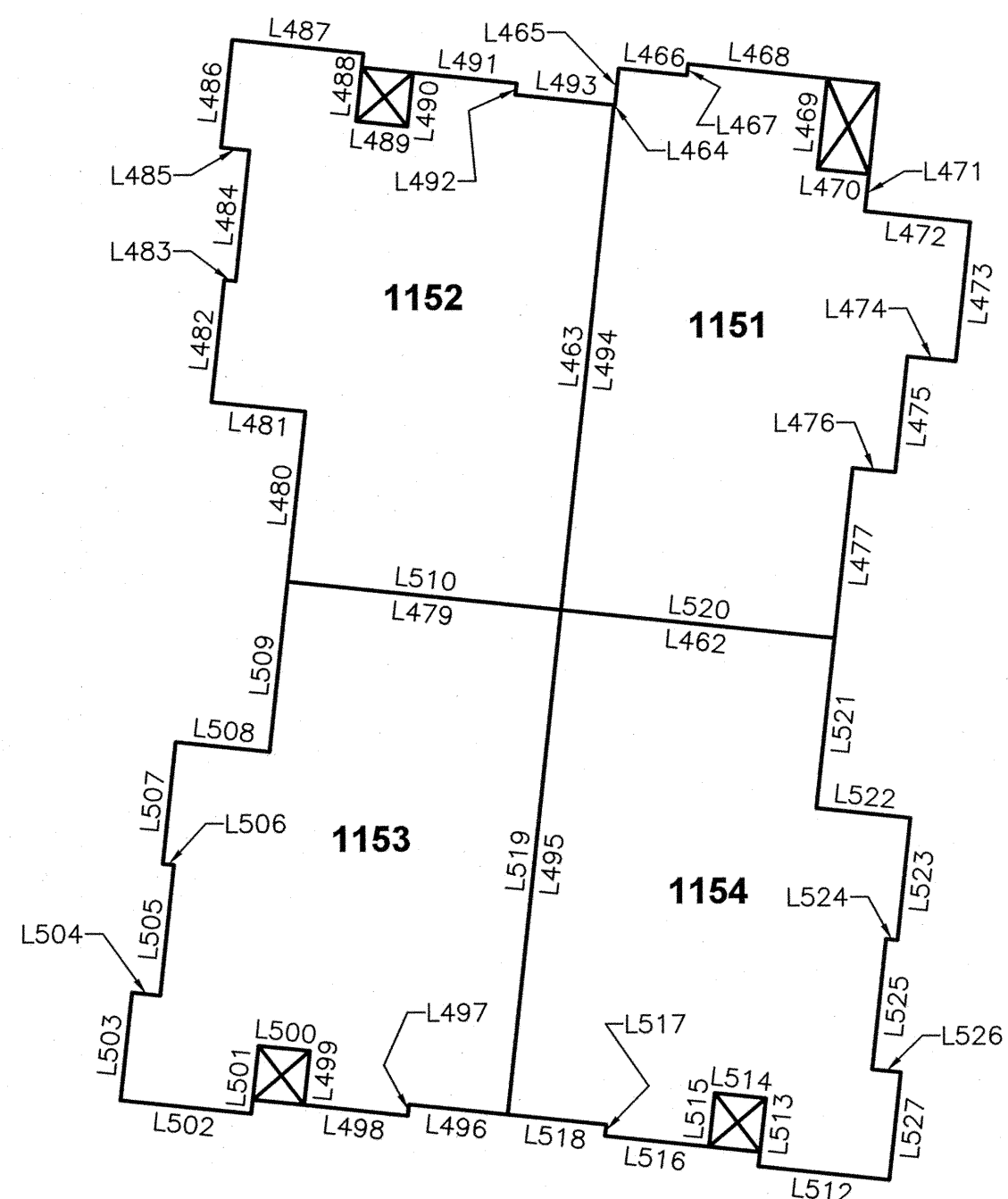
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DRAWING SCALE: 1"=50'
DATE: September 9, 2021
DRAWN BY: JSS
REVISIONS:
Sheet 1 of 3

**Heritage Crossings
Condominium Plan 2**
Buffalo Township, Butler County
Pennsylvania

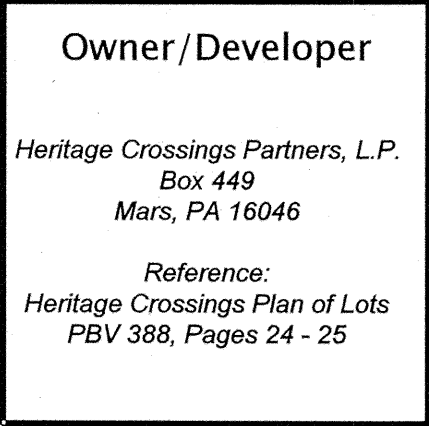
Sperdute Land Surveying
A Division of Sheffer & Company
108 Deer Lane
Harmony, PA 16037
1712 Mount Nebo Road
Sewickley, PA 15143
Office Phone: 724-452-4362
Email: Info@SperduteSurveying.com

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Heritage Crossings Condominium Plan 2

Buffalo Township, Butler County
Pennsylvania



Sperdute Land Surveying
A Division of Sheffler & Company

108 Deer Lane
Harmony, PA 16037

1712 Mount Nebo Road
Sewickley, PA 15143

Office Phone: 724-452-4362
Email: Info@SperduteSurveying.com

ZONING INFORMATION:

THE SUBJECT PREMISES LIES WITHIN THE I-2 INDUSTRIAL ZONING DISTRICT.

ZONING DISTRICT: (I-2 INDUSTRIAL ZONING DISTRICT)

MAX. BUILDING HEIGHT: (40) FEET- PRINCIPAL STRUCTURE
(15) FEET- ACCESSORY STRUCTURE

MIN. LOT AREA: 10,000 SQUARE FEET

MIN. LOT WIDTH: (75) FEET

MIN. FRONT YARD: (10) FEET

MIN. SIDE YARD: (10) FEET

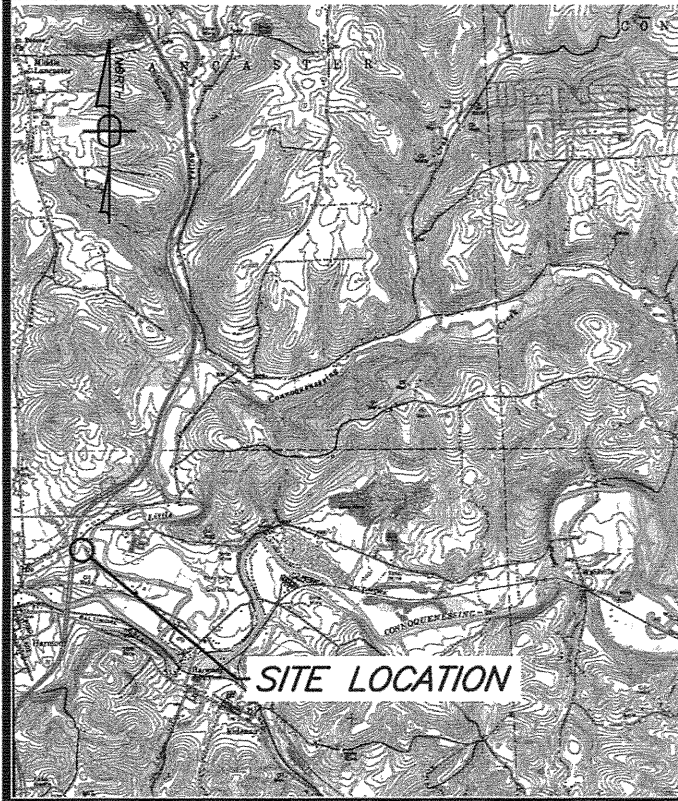
MIN. REAR YARD: (20) FEET

ZONING INFORMATION WAS OBTAINED FROM:

THE CITY OF HARMONY BOROUGH
ORDINANCE INFO:
https://harmony-pa.us/wp-content/uploads/2016/03/Harmony-Codification-Chapter-21-Zoning-2007-06-revision.pdf
ZONING MAP:
https://harmony-pa.us/wp-content/uploads/2016/03/Harmony-Zoning-Map.pdf

ZONING OFFICER:
ALLEN BAYER
217 MERCER STREET
HARMONY, PA 16037
PHONE: (724)-584-1895

Site Location Map: Evans City, PA Quad.
Scale 1"=2000'



- General Notes:**
1. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE THE EXISTING BUTLER COUNTY PARCEL I.D. NO. 420-S2-2C-0000 INTO 2 LOTS, LOT NO. 3-B-1 & LOT NO. 3-B-2.
 2. THE BEARINGS SHOWN HEREON ARE BASED UPON THE BEARINGS RECORDED FOR PARCEL 3-B IN THE NEWMAN-EBNER SUBDIVISION PLAN ON FILE IN THE RECORDER OF DEEDS OF BUTLER COUNTY, PA IN PLAN BOOK VOLUME 166, PAGE 11.
 3. THE UNDERGROUND UTILITIES SHOWN ON THIS SURVEY HAVE BEEN LOCATED FROM OBSERVED FIELD SURVEY INFORMATION ONLY, AS PER THE DATE OF THE SURVEY NO PENNSYLVANIA ONE CALL HAS BEEN PLACED ON THE SUBJECT PREMISES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. ALL UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY/ALL CONSTRUCTION PROJECTS.
 4. VERTICAL CONTROL IS NAVD 83. CONTOUR INTERVAL=2'. CONTOURS SHOWN HEREON ARE BASED UPON BOTH FIELD SURVEY DATA COLLECTED ON APRIL 19TH, 2021 UTILIZING TRIMBLE GPS WITH KEYNET VRS CORRECTIONS AND LIDAR TOPOGRAPHY OBTAINED FROM THE PENNSYLVANIA GEOSPATIAL DATA CLEARINGHOUSE WEBSITE (PASDA).
 5. BY GRAPHIC PLOTTING ONLY, THE SUBJECT PREMISES LIES WITHIN FLOOD ZONE X, OTHER AREAS, AS SHOWN ON FEMA FIRM MAP COMMUNITY PANEL NO. 42018C0386D, BEARING AN EFFECTIVE DATE OF 08/03/2018. ZONE X OTHER AREAS DENOTES AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD.
 6. AS PER THE ORIGINAL NEWMAN-EBNER SUBDIVISION PLAN RECORDED IN PLAN BOOK VOLUME 166, PAGE 11, JOINT AND EQUAL RIGHTS OF INGRESS, EGRESS AND EGRESS WERE GRANTED TO ORIGINAL PARCEL 3-A AND PARCEL 3-B, INCLUDING THE RESPONSIBILITY OF MAINTENANCE, FOR ACCESS AND THE INSTALLATION AND/OR REPAIR OF UTILITIES OVER, ALONG AND THROUGH THE 50' PRIVATE R/W (MEADOWBROOK LANE) AS SHOWN ON THIS PLAN. THESE JOINT AND EQUAL RIGHTS ARE TO BE GRANTED TO THE NEWLY CREATED PARCELS 3-B-1 & 3-B-2 SHOWN HEREON.
 7. PARCEL 3-B-2 CONTAINED HEREON, BEING A FURTHER SUBDIVISION OF LOT 3-B IN THE NEWMAN-EBNER SUBDIVISION PLAN RECORDED IN PLAN BOOK VOLUME 166, PAGE 11, IS RESTRICTED TO REQUIRE CONNECTION TO THE PUBLIC SANITARY SEWER SYSTEM INSTEAD OF AN ON-LOT SEWAGE DISPOSAL SYSTEM PER NOTE 11" IN THE ORIGINAL NEWMAN-EBNER SUBDIVISION NOTED ABOVE.

AREA TABULATION:

TOTAL EXISTING AREA:	
ORIGINAL PROPERTY PARCEL I.D. NO. 420-S2-2C-0000	3.617 ACRES - (157,575.800 SQ. FT.)
PROPOSED PARCELS:	
LOT NO. 3-B1	1.883 ACRES - (82,024.318 SQ. FT.)
LOT NO. 3-B2	1.734 ACRES - (75,551.282 SQ. FT.)
TOTAL PROPOSED AREA:	
3.617 ACRES - (157,575.800 SQ. FT.)	

LEGEND:

TREELINE	~~~~~
PROPERTY ADJONER	=====
SUBJECT PROPERTY	-----
GAS UTILITY	-G- G
ROAD CENTERLINE	-----
ROAD LEGAL R/W	-----
WATER UTILITY	-W- W
ELECTRIC UTILITY	-E- E
COMM UTILITY	-----
GAS WELL TANK	⊗
WATER METER	⊗
IRON REBAR FOUND (UNLESS NOTED ON DRAWING)	•
PROPERTY CORNER	•

Insirt: 202109160026360
Page: 1 of 1
Michele Mustello
Butler County Recorder PA
9/16/2021 16:08 AM
120310019021

N/F
JOSEPH MAINOLFI JR. &
LYNN A. MAINOLFI
INSTR: 200701120001001
PARCEL I.D. NO.
180-4F102-1K-0000

CERTIFICATION OF TITLE AND CONCURRENCE OF MORTGAGE

I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE EBNER SUBDIVISION PLAN NO 1 IN THE NAME OF MARK A & PAMELA S EBNER AND IS RECORDED IN INSTRUMENT 2867-0291.

WITNESS:
Mark A Ebner Pamela S Ebner
OWNER

N/F
JAMES L. DAVISON
INSTR: 201208150016999
PARCEL I.D. NO.
420-S2-2A-1-0000

U.S. BANK HOME MORTGAGE MORTGAGEE OF PROPERTY CONTAINED IN THE EBNER SUBDIVISION PLAN NO 1 CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

WITNESS:
Mark A Ebner Pamela S Ebner
OWNER

BUTLER COUNTY PLANNING COMMISSION REVIEW CERTIFICATE

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 31st DAY OF AUG 2021.

SECRETARY: [Signature]
CHAIRPERSON: [Signature]

PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA IN THE PLAN BOOK INSTRUMENT 2867-0291 GIVEN UNDER MY HAND AND SEAL 398 THIS 11th DAY OF SEP 2021.

RECORDER OF DEEDS:
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

OWNERS ADOPITION (HARMONY BOROUGH)

KNOW ALL MEN BY THESE PRESENTS, THAT WE MARK A & PAMELA S EBNER OF THE HARMONY BOROUGH, OF BUTLER, OF THE COMMONWEALTH OF PENNSYLVANIA FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS (MY, OUR) PLAN OF SUBDIVISION OF OUR PROPERTY, SITUATED IN THE HARMONY BOROUGH, OF BUTLER, OF THE COMMONWEALTH OF PENNSYLVANIA, AND FOR LIVES ADVANTAGES ACCORDING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE HARMONY BOROUGH, OF BUTLER, WE MARK A & PAMELA S EBNER HEREBY AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE HARMONY BOROUGH, OF BUTLER, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAY, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADINGS THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON MARK A & PAMELA S EBNER OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

In WITNESS WHEREOF, WE HEREUNTO SET OUR HAND(S) AND SEAL(S) THIS 11th DAY OF SEP 2021.

ATTEST:
[Signature]
(NAME OF OWNER OR OWNER)

[Signature]
(NAME OF OWNER OR OWNER)

My commission expires March 25, 2025
Commission number 1275609
Member, Pennsylvania Association of Notaries

INDIVIDUAL ACKNOWLEDGEMENT (HARMONY BOROUGH)

COMMONWEALTH OF PENNSYLVANIA I, SS:
COUNTY OF BUTLER My commission expires March 25, 2025
My commission number 1275609
Member, Pennsylvania Association of Notaries

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC AND COMMISSIONED UNDER THE COMMONWEALTH, PERSONALLY APPEARED THE ABOVE NAMED MARK A & PAMELA S EBNER WHO ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN OF SUBDIVISION TO BE (THEIR) ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 11th DAY OF SEP 2021

[Signature]
NOTARY PUBLIC

MY COMMISSION EXPIRES THE 25th DAY OF March 2025

BOROUGH OF HARMONY PLANNING COMMISSION APPROVAL

THIS PLAT OF SUBDIVISION HAS BEEN APPROVED BY THE PLANNING COMMISSION OF THE BOROUGH OF HARMONY, BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA ON THIS 31st DAY OF Aug A.D. 2021

ATTEST:
[Signature]
SECRETARY

[Signature]
PRESIDENT

APPROVAL BY BOROUGH OF HARMONY

THE BOROUGH COUNCIL OF THE BOROUGH OF HARMONY, BUTLER COUNTY, PENNSYLVANIA, HEREBY GIVES PUBLIC NOTICE THAT IT IS APPROVING THIS PLAN OF SUBMISSION FOR RECORDING PURPOSES ONLY. THE APPROVAL OF THIS SUBMISSION PLAT BY THE BOROUGH OF HARMONY DOES NOT CONSTITUTE AN ACCEPTANCE OF THE ROADS, STREETS, ALLEYS, STORMWATER AND SANITARY SEWAGE DRAINAGE FACILITIES, EASEMENTS OR RIGHT-OF-WAY, WATER MAINS OR ANY OTHER SERVICES OR IMPROVEMENTS SHOWN ON THIS PLAN NOR AN ASSUMPTION OF MAINTENANCE RESPONSIBILITY, NOR WILL THE SAME BE ACCEPTED OR MAINTAINED UNTIL CONSTRUCTED IN ACCORDANCE WITH ALL BOROUGH SPECIFICATIONS AND REQUIREMENTS AND OFFICIALLY ACCEPTED BY ACTION OF THE BOROUGH COUNCIL.

THIS PLAT OF SUBDIVISION HAS BEEN APPROVED BY RESOLUTION OF THE BOROUGH COUNCIL OF THE BOROUGH OF HARMONY, BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA ON THIS 31st DAY OF August A.D. 2021

ATTEST:
[Signature]
SECRETARY OF COUNCIL

[Signature]
PRESIDENT OF COUNCIL

BOROUGH OF HARMONY ENGINEER'S APPROVAL

APPROVED BY THE BOROUGH ENGINEER OF HARMONY BOROUGH THIS 31st DAY OF August A.D. 2021

[Signature]
SIGNATURE

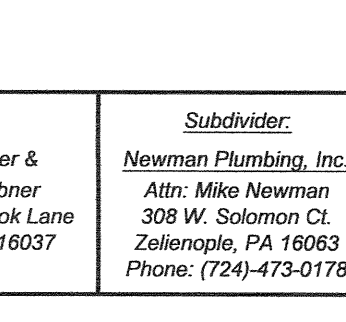
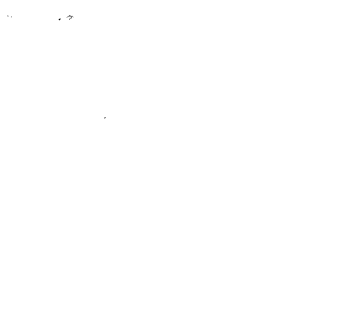
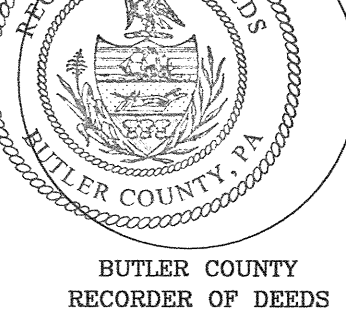
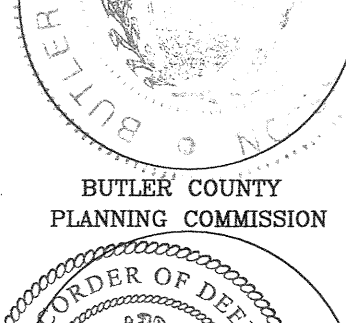
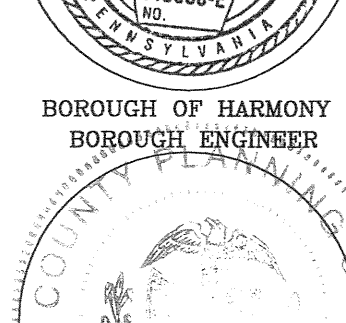
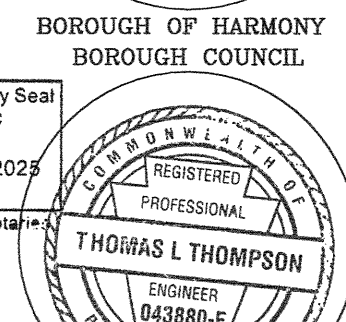
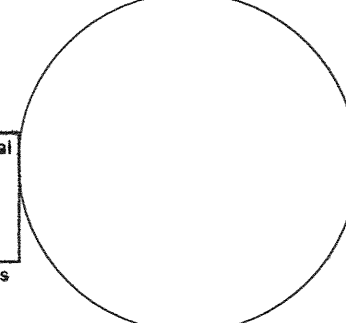
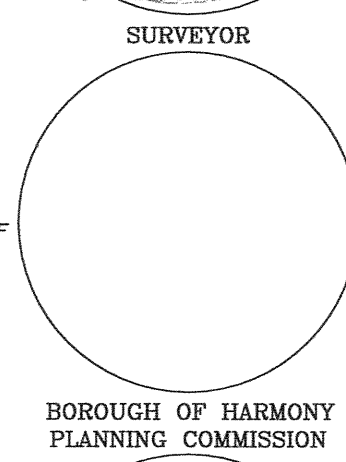
043880-E
REGISTRATION NO.

PROFESSIONAL LAND SURVEYOR CERTIFICATE (HARMONY BOROUGH)

I, GARY A SHEFFLER A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS AS SHOWN ON THE PLAT HAVE BEEN SET AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

GARY A SHEFFLER
DATE 8-16-2021

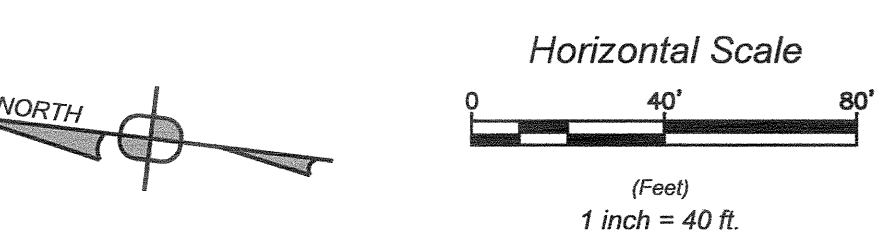
SL-11785-E
SURVEYOR'S REGISTRATION NO.



PLAN BOOK	PAGE
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811 Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



Date:	Revision Description:	By:
08/03/2021	Revised Per Butler Planning Comments Received	MNR
08/06/2021	Revised Per Borough Engineer Comments	MNR

Professional Seal

Prepared By:

Sheffler & Company, Inc.
ENGINEERING • SURVEYING

1712 Mount Nebo Road
Sewickley, PA 15143

Office Phone: 412-219-4509
Email: Info@ShefflerCo.com

Ebner Subdivision Plan No 1

Prepared For:
Newman Plumbing, Inc.

Situate In:
Harmony Borough, Butler Co, PA

Being a Subdivision Plan of Butler County
Parcel I.D. No. 420-S2-2C-0000

DRAWING SCALE: 1"=40'	DESIGNED BY: AMS	Sheet No.
DATE ISSUED: 5/19/2021	REVIEWED BY: GAS	1 of 1
PROJECT JOB#: 4200 EBNER'	FIELD BOOK #: 4200 EBNER	
CADD#: 4200-EBNER-SUBDIVISION PLAN.DWG		

PROPERTY AREA SUMMARY:

EXISTING TOTALS	
LOT 1 (12A)	1.60 AC
+ PARCEL 1 (12B)	31.53 AC
EXISTING TOTAL	33.13 AC
REVISED LOT 1	
LOT 1	1.60 AC
+ TRACT A	2.16 AC
REVISED LOT 1	3.76 AC
REVISED PARCEL 1	
PARCEL 1	31.53 AC
+ TRACT A	2.16 AC
REVISED PARCEL 1 TOTAL	29.37 AC
REVISED TOTALS	
REVISED LOT 1	3.76 AC
+ REVISED PARCEL 1	29.37 AC
REVISED TOTAL	33.13 AC

GENERAL NOTES:

- OWNERS: 210-3F29-12A - ROCHELLE & JASON DAILEY
210-3F29-12B - THOMAS & CHRISTINE CHRISTY
 - REFERENCES:
 - CURRENT DEEDS OF RECORD
 - PREVIOUSLY RECORDED PLANS
 - THOMPSON PLAN NO. 1
PLAN BOOK 173 PG 28
 - SULLIVAN / CHRISTY SUBDIVISION
PLAN BOOK 347 PG 29
 - SULLIVAN LOT LINE REVISION
PLAN BOOK 280 PG 40
- PB 280 PG 40 ERRONEOUSLY ATTEMPTS TO CONSOLIDATE 210-3F29-12A. DEEDED OWNER OF RECORD WAS NOT A PARTY OF THIS PLAN AND DID NOT SIGN PLAN.

PLAN ORIENTATION NOTE: THE BEARINGS SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (PA-S) / NAD 1983

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

OWNER'S ADOPTION

KNOW ALL MEN BY THESE PRESENTS THAT WE, THOMAS R. & CHRISTINE MARGARET CHRISTY AND ROCHELLE & JASON P. DAILEY, OF THE TOWNSHIP OF MARION, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF MARION, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR OUR OWNERS ADVANTAGES ACCORDING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF MARION, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF MARION, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 15th DAY OF September, 2021.
POA @ Inst # 20191200023559

x Thomas R. Christy / Christine Margaret Christy
THOMAS R. CHRISTY CHRISTINE MARGARET CHRISTY

x Rochelle Dailey / Jason P. Dailey
ROCHELLE DAILEY JASON P. DAILEY

ACKNOWLEDGMENT OF NOTARY PUBLIC

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, THOMAS R. & CHRISTINE MARGARET CHRISTY AND ROCHELLE & JASON P. DAILEY, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

Sub By his POA 15th DAY OF September, 2021.

MY COMMISSION EXPIRES THE 15th DAY OF July, 2022.

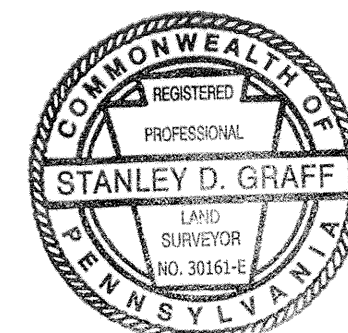
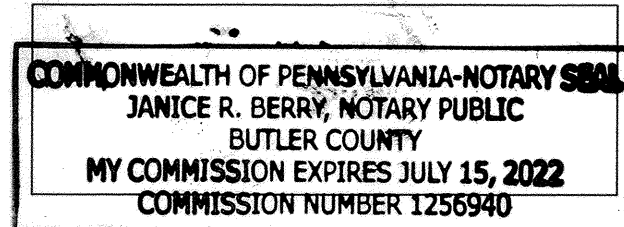
x Janice R. Berry
NOTARY PUBLIC

SURVEYOR'S CERTIFICATION

I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

16 AUGUST 2021
DATE

x Stanley D. Graff
REG. NO. SU-031614-P-1



MUNICIPAL DECLARATIONS

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MARION, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF MARION ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MARION THIS 13th DAY OF September, 2021.

x Michele Mustello / Jason R. McButt
SECRETARY CHAIRPERSON
BOARD OF SUPERVISORS

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

APPROVED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 18th DAY OF AUGUST, 2022.

x R. H. Hargan / J. H. Hargan
SECRETARY CHAIRPERSON
BUTLER COUNTY PLANNING COMMISSION

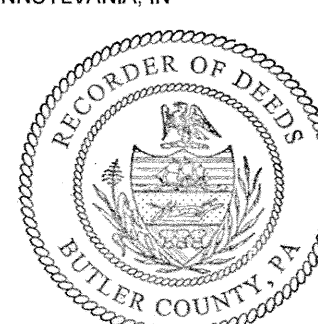
PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN

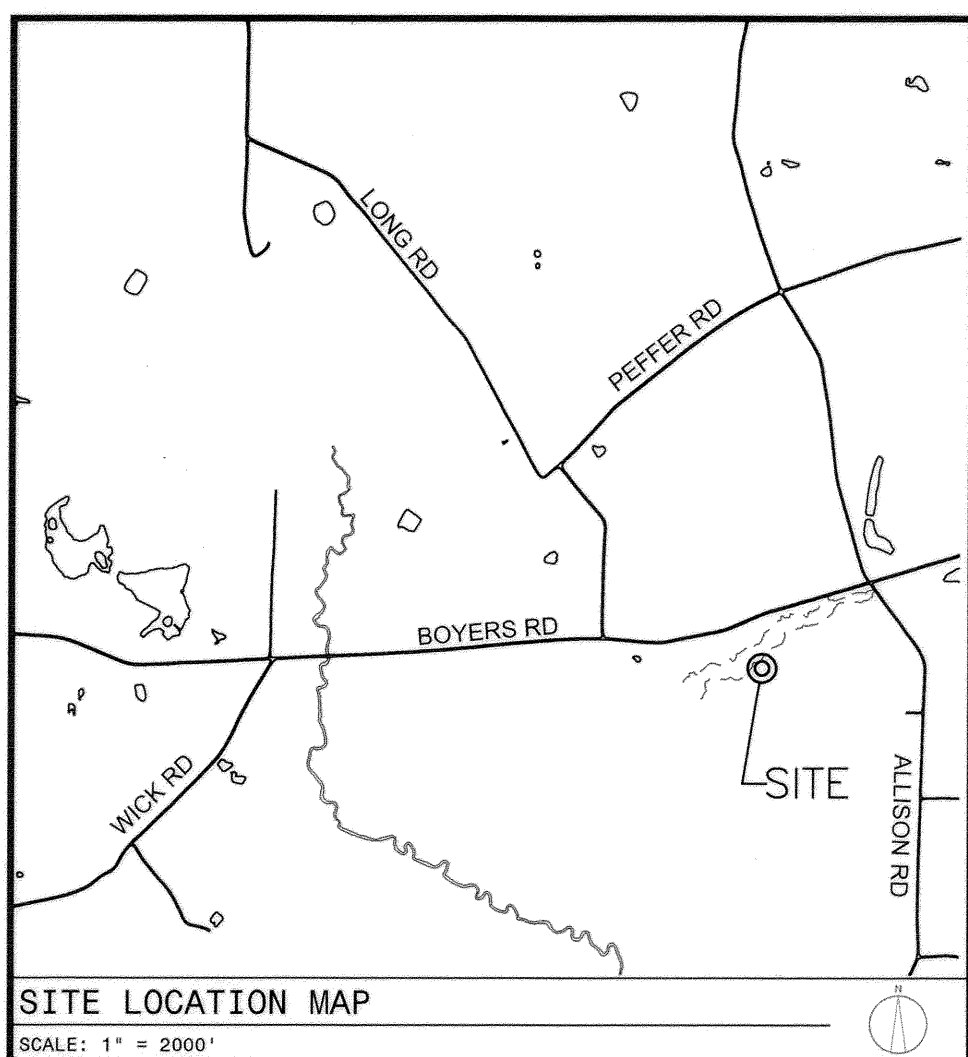
PLAN BOOK VOLUME 398 PAGE(S) 6

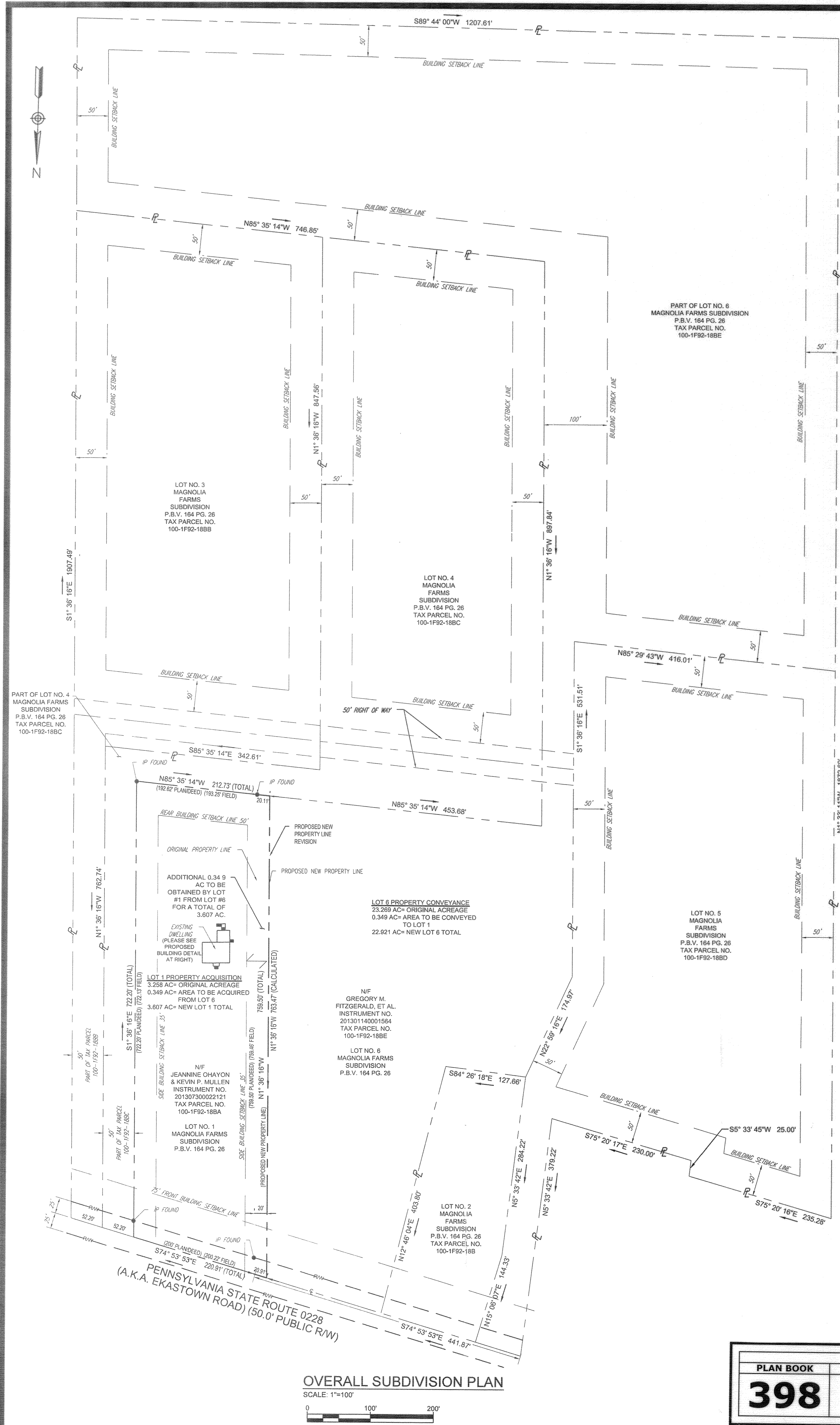
GIVEN UNDER MY HAND AND SEAL THIS 16th DAY OF September, 2021.

x Michele Mustello
RECORDER OF DEEDS
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



RECORDED	20
PLAN BOOK	PAGE
398	6
SHEET	of





OWNERS' ADOPTION

KNOW ALL MEN BY THESE PRESENTS THAT (WE) GREGORY M. FITZGERALD, KIMBERLY A. FITZGERALD, ROBERT J. HAWRANKO, BOBBIE LEE HAWRANKO, AND JEANNINE OHAYON COUNTY OF BUTLER AND STATE OF PENNSYLVANIA FOR (MYSELF/OURSELVES), (MY, OUR) HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS (MY/OUR) PLAN OF LOTS OF (MY/OUR) PROPERTY, SITUATE IN THE TOWNSHIP OF CLINTON, COUNTY OF BUTLER AND STATE OF PENNSYLVANIA, AND DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANES, RIGHTS-OF-WAY, WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, AND (I/WE) HEREBY RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF CLINTON, ITS SUCCESSOR OR ASSIGNS, FROM ANY LIABILITY, COURSES OF ACTION, CLAIMS OR DAMAGES ARISING FROM OR PERTAINING TO IN ANY MANNER SAID ROADS AND RIGHTS-OF-WAY, THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNER(S), (HER/HIS/THEIR) HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

SIGNATURE OF OWNER (GREGORY M. FITZGERALD) 12-7-16
SIGNATURE OF OWNER (KIMBERLY A. FITZGERALD) 12-7-16
SIGNATURE OF OWNER (ROBERT J. HAWRANKO) 12-7-16
SIGNATURE OF OWNER (BOBBIE LEE HAWRANKO) 12-7-16
SIGNATURE OF OWNER (JEANNINE OHAYON) 12-7-16
SIGNATURE OF WITNESS 12/7/16

COMMONWEALTH OF PENNSYLVANIA } SS:
COUNTY OF BUTLER

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, PERSONALLY CAME GREGORY M. FITZGERALD, ET AL., AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE (HER/HIS/THEIR) ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 7th DAY OF December 2016.
MY COMMISSION EXPIRES THE 16th DAY OF November

NOTARY PUBLIC
David W. LaPearle

OWNERS' ADOPTION

KNOW ALL MEN BY THESE PRESENTS THAT (WE) JEANNINE OHAYON & KEVIN P. MULLEN, COUNTY OF BUTLER AND STATE OF PENNSYLVANIA FOR (MYSELF/OURSELVES), (MY, OUR) HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS (MY/OUR) PLAN OF LOTS OF (MY/OUR) PROPERTY, SITUATE IN THE TOWNSHIP OF CLINTON, COUNTY OF BUTLER AND STATE OF PENNSYLVANIA, AND DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANES, RIGHTS-OF-WAY, WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, AND (I/WE) HEREBY RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF CLINTON, ITS SUCCESSOR OR ASSIGNS, FROM ANY LIABILITY, COURSES OF ACTION, CLAIMS OR DAMAGES ARISING FROM OR PERTAINING TO IN ANY MANNER SAID ROADS AND RIGHTS-OF-WAY, THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNER(S), (HER/HIS/THEIR) HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

SIGNATURE OF OWNER (JEANNINE OHAYON) 12-7-16
SIGNATURE OF OWNER (KEVIN P. MULLEN) 12-7-2016
SIGNATURE OF WITNESS 12/7/16

COMMONWEALTH OF PENNSYLVANIA } SS:
COUNTY OF BUTLER

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, PERSONALLY CAME JEANNINE OHAYON & KEVIN P. MULLEN, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE (HER/HIS/THEIR) ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 7th DAY OF December 2016.
MY COMMISSION EXPIRES THE 16th DAY OF November
NOTARY PUBLIC
David W. LaPearle

SURVEYOR'S CERTIFICATION

I, DAVID W. LAPEARLE, A REGISTERED PROFESSIONAL SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THE PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.
DATE 10/29/13
DAVID W. LAPEARLE, P.L.S. Reg. No. SU034201E

TITLE CLAUSE MORTGAGE CLAUSE

WE, JEANNINE OHAYON & KEVIN P. MULLEN, OWNERS OF THE LOT NUMBER 1 DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF JEANNINE OHAYON & KEVIN P. MULLEN, AS RECORDED IN INSTRUMENT NUMBER 201307300022121, RECORDER OF DEEDS OFFICE.

WITNESS
SIGNATURE OF OWNER (JEANNINE OHAYON)
SIGNATURE OF OWNER (KEVIN P. MULLEN)

I, (OR WE) CHARLENE FEDERAL SAVINGS MORTGAGEE OF THE LOT 1 PROPERTY, EMBRACED IN THIS PLAN, MAGNOLIA FARMS SUBDIVISION REVISION 1, DO HEREBY CONSENT TO THE RECORDING OF SAID PLAN IN THE RECORDER OF DEEDS OFFICE OF BUTLER COUNTY, PENNSYLVANIA, AND TO THE DEDICATIONS AND COVENANTS APPEARING HEREON.

WITNESS
NAME, TITLE, AND MORTGAGEE

TITLE CLAUSE (NO MORTGAGE)

WE, GREGORY M. FITZGERALD, ET AL., OWNERS OF LOT NO. 6 OF THE MAGNOLIA FARMS SUBDIVISION REVISION 1, DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF GREGORY M. FITZGERALD, ET AL. AS RECORDED IN INSTRUMENT NUMBER 201301140001564, RECORDER OF DEEDS OFFICE. WE FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR ENCUMBRANCE AGAINST THIS PROPERTY.

SIGNATURE OF OWNER (GREGORY M. FITZGERALD) 12-7-16
SIGNATURE OF OWNER (KIMBERLY A. FITZGERALD) 12-7-16
SIGNATURE OF OWNER (ROBERT J. HAWRANKO) 12-7-16
SIGNATURE OF OWNER (BOBBIE LEE HAWRANKO) 12-7-16
SIGNATURE OF OWNER (JEANNINE OHAYON) 12-7-16
SIGNATURE OF WITNESS 12/7/16

LOCAL AUTHORITY STIPULATION

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLINTON HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

Secretary
Chairman of the Board

CLINTON TOWNSHIP PLANNING COMMISSION APPROVAL
REVIEWED BY THE CLINTON TOWNSHIP PLANNING COMMISSION THIS 4 DAY OF November 2013.

Secretary
Chairman

CLINTON TOWNSHIP BOARD OF SUPERVISORS APPROVAL
APPROVED BY THE CLINTON TOWNSHIP BOARD OF SUPERVISORS THIS 15th DAY OF September 2013.

Secretary
Chairman

COUNTY PLANNING COMMISSION REVIEW

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 15th DAY OF SEPT. 2021.

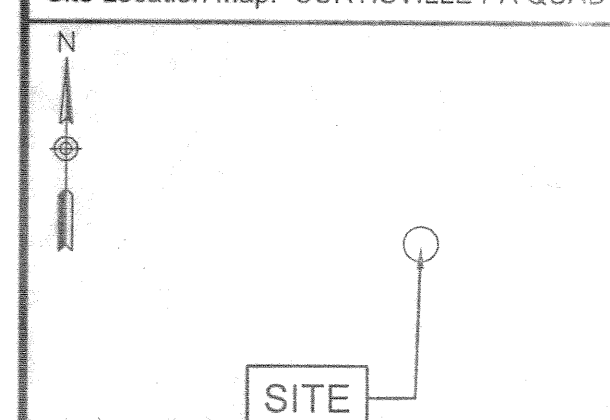
Secretary
Chairman, BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING

RECORDED IN THE RECORDER OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC., IN SAID COUNTY IN PLAN BOOK VOLUME 398, PAGE (S) 7.
GIVEN UNDER MY HAND AND SEAL THIS 21st DAY OF September 2021.

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2026

Site Location Map: CURTISVILLE PA QUAD



General Notes:

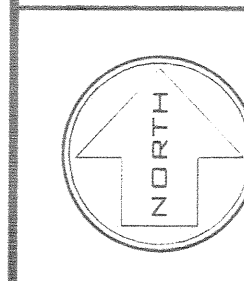
NOTE: THE PURPOSE OF THIS SUBDIVISION PLAN IS TO DOCUMENT THE PROPOSED TRANSFER OF THE NORTHEASTERLY 20' WIDE PORTION OF LOT 6 TO NOW BE A PART OF LOT 1. NO NEW STREETS OR EASEMENTS ARE BEING CREATED, AND THIS PROPERTY TRANSFER WOULD ALLOW THE OWNERS OF LOT 1 TO PROCEED WITH CERTAIN PROPOSED ADDITIONS TO THE EXISTING DWELLING.

SITE INFORMATION:
PROPERTY ADDRESS = 160 MAGNOLIA LANE
PROPERTY TAX MAP NO = 100-1F92-188A
TOTAL AREA SUBDIVIDED = 3.607 ACRES
PROPOSED NO. LOTS = 2 LOTS
PROPOSED USE = RESIDENTIAL
BUILDING TYPE = SINGLE FAMILY RESIDENTIAL HOUSES
BUILDING HEIGHT MAX = 35 FEET

ZONING INFORMATION:
EXISTING ZONING: AGRICULTURE CONSERVATION (SEE BELOW)
SPECIAL ZONING: CORRIDOR PRESERVATION OVERLAY
MIN. LOT AREA = 5 ACRES (217,800 SQUARE FEET)
MIN. LOT WIDTH = 200 FEET
MIN. FRONT BLDG SETBACK = 75 FEET
MIN. SIDE BLDG SETBACK = 35 FEET
MIN. REAR BLDG SETBACK = 50 FEET
MAX. LOT COVERAGE = 10%
MAX. HEIGHT = 35 FEET

THE DEED FOR THE TRANSFER OF THE SUBJECT NEW 20' WIDE PARCEL OF LAND HAS BEEN RECORDED AT THE BUTLER CO. RECORDER OF DEEDS OFFICE IN INSTRUMENT NUMBER 20131020031231.

Drawing Scale:
AS NOTED



Prepared By:

PVE Sheffler
Waterfront Corporate Park II, Suite 101 Phone: 724-444-1100
2000 Georgetown Drive Fax: 724-444-1104
Sheffield, PA 15143-8700 Email: info@pvesheffler.com

Prepared For:

Jeannine Ohayon & Kevin P. Mullen
160 MAGNOLIA LANE
SARVER, PA 16055

This plan has been prepared solely for the benefit of the borrower named above and for the project named on this drawing. The use of this plan for any other party, or for any other project, other than that specified, is prohibited without written consent from PVE Sheffler, L.L.C.

811 Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MUST BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DATE ISSUED: DATE (all caps)

DATE	DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	
9	
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11	
12	

Situate In:
Clinton Township, Butler County, Pennsylvania

Project Name:

LOT LINE REVISION PLAN
FOR LOT 1 AND LOT 6 ONLY

Drawing Name:

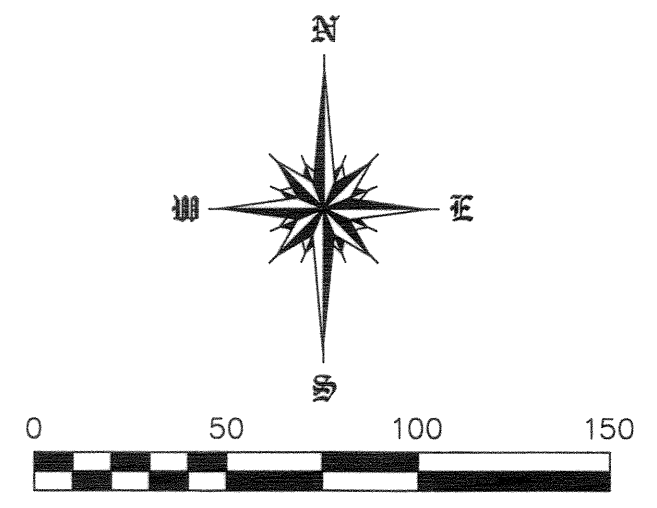
MAGNOLIA FARMS SUBDIVISION REVISION 1

Project No:

160970


Drawing No:

SUB-1



A map of the study area showing the location of the site. The map includes several roads: Winfield Rd, Cornplanter Rd, Moorehead Rd, Bicker Rd, and Bauer Rd. A black dot marks the 'SITE' location, which is situated near the intersection of Cornplanter Rd and Moorehead Rd. A north arrow is located in the bottom right corner of the map.

COMMONWEALTH OF
PENNSYLVANIA
REGISTERED
PROFESSIONAL
STANLEY D. GRAFF
LAND
SURVEYOR
NO. 30161-E

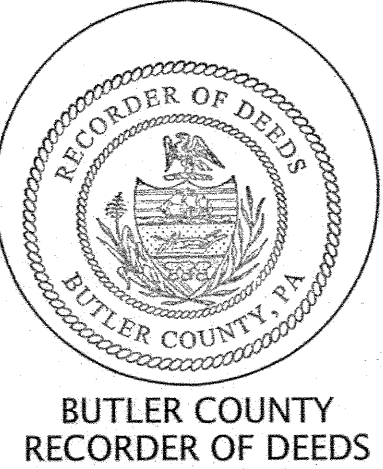
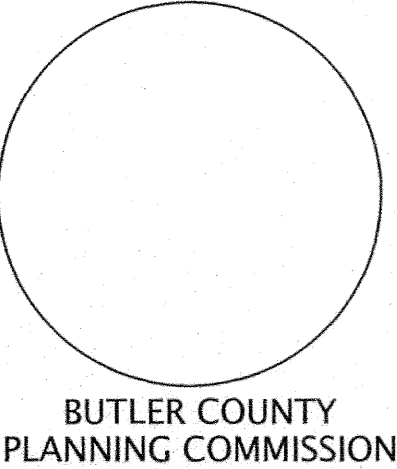
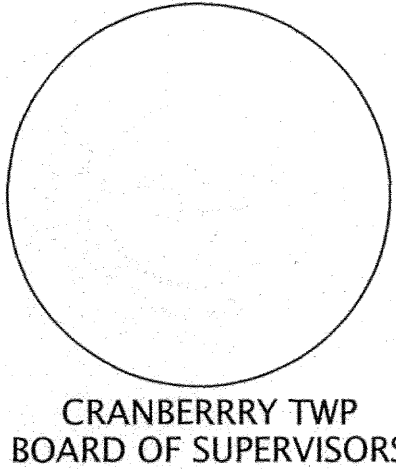
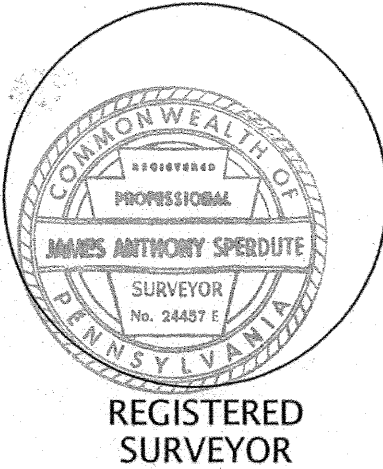
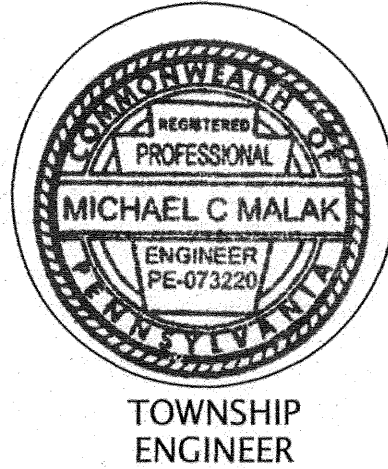


2021.

GOLDSCHETTER PLAN

A

Instr: 202109230027006
Pg: 1 of 1
9/23/2021 10:07 AM
Michele Mustello
Butler County Recorder PA



BY RESOLUTION APPROVED ON THE 23rd DAY OF August, 2021, THE BOARD OF DIRECTORS OF NVR,, INCORPORATED IN THE COMMONWEALTH OF PENNSYLVANIA, OWNER OF THE LAND SHOWN ON THE PARK PLACE AMENDMENT NO. 41 PLAN ADOPTED THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATED ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE CORPORATION AND UPON ITS SUCCESSORS AND ASSIGNS.

John May VP,
SIGNATURE AND TITLE OF OFFICER WITNESS
8/23/21
DATE

Pete Robertson NVR, INC. VP
SIGNATURE AND TITLE OF AUTHORIZED OFFICER

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF ALLEGHENY, PERSONALLY APPEARED Pete Robertson OF NVR, INC. WHO STATED THAT HE IS AUTHORIZED TO EXECUTE THE ABOVE ADOPTION AND DEDICATION ON BEHALF OF THE CORPORATION AND WAS PRESENT AT THE MEETING AT WHICH THE ACTION OF THE CORPORATION WAS TAKEN TO ADOPT THE PLAN AND DEDICATE PUBLIC PROPERTY CONTAINED THEREIN TO THE PUBLIC.

WITNESS MY HAND AND NOTARIAL SEAL THIS 23rd DAY OF August, 2021
(SEAL) Liesette Sprott
NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Liesette Sprott, Notary Public
Allegheny County
My commission expires December 7, 2022
Commission number 1195287

I, Pete Robertson HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE PARK PLACE AMENDMENT NO. 43 IS IN THE NAME OF NVR, INC. AND IS RECORDED AT INSTRUMENT NO. INSTRUMENT NO. 202106170017253. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

John May SIGNATURE OF WITNESS
Pete Robertson NVR VP SIGNATURE AND TITLE OF AUTHORIZED OFFICER

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

8/19/21 DATE
James A. Sperdute JAMES A. SPERDUTE, R.S. # 24457-E

I, Michael C. Malak A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER OF THE TOWNSHIP OF CRANBERRY, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

9/16/21 DATE
Michael C. Malak SIGNATURE
REGISTRATION NO. PE-073220

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY BY ORDINANCE/RESOLUTION NO. 2021-36 EFFECTIVE THIS 13th DAY OF September, 2021

Robert SECRETARY
Richard M. Holley CHAIRPERSON

I, David D. Sanz TOWNSHIP MANAGER FOR THE TOWNSHIP OF CRANBERRY CERTIFY THAT THE CONDITIONS FOR FINAL APPROVAL OUTLINED IN ORDINANCE/RESOLUTION NO. 2021-36 HAVE BEEN MET IN ACCORDANCE WITH SECTION 22-305 AND 22-307 OF THE TOWNSHIP CODE OF ORDINANCES OF Cranberry

Robert TOWNSHIP MANAGER

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 18th DAY OF Aug, 2021

R. Hugen SECRETARY
R. Hugen CHAIRPERSON

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK 398 PAGE 10

GIVEN UNDER MY HAND AND SEAL THIS 23rd DAY OF September, 2021
Michele M. Mustello RECORDER OF DEEDS

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

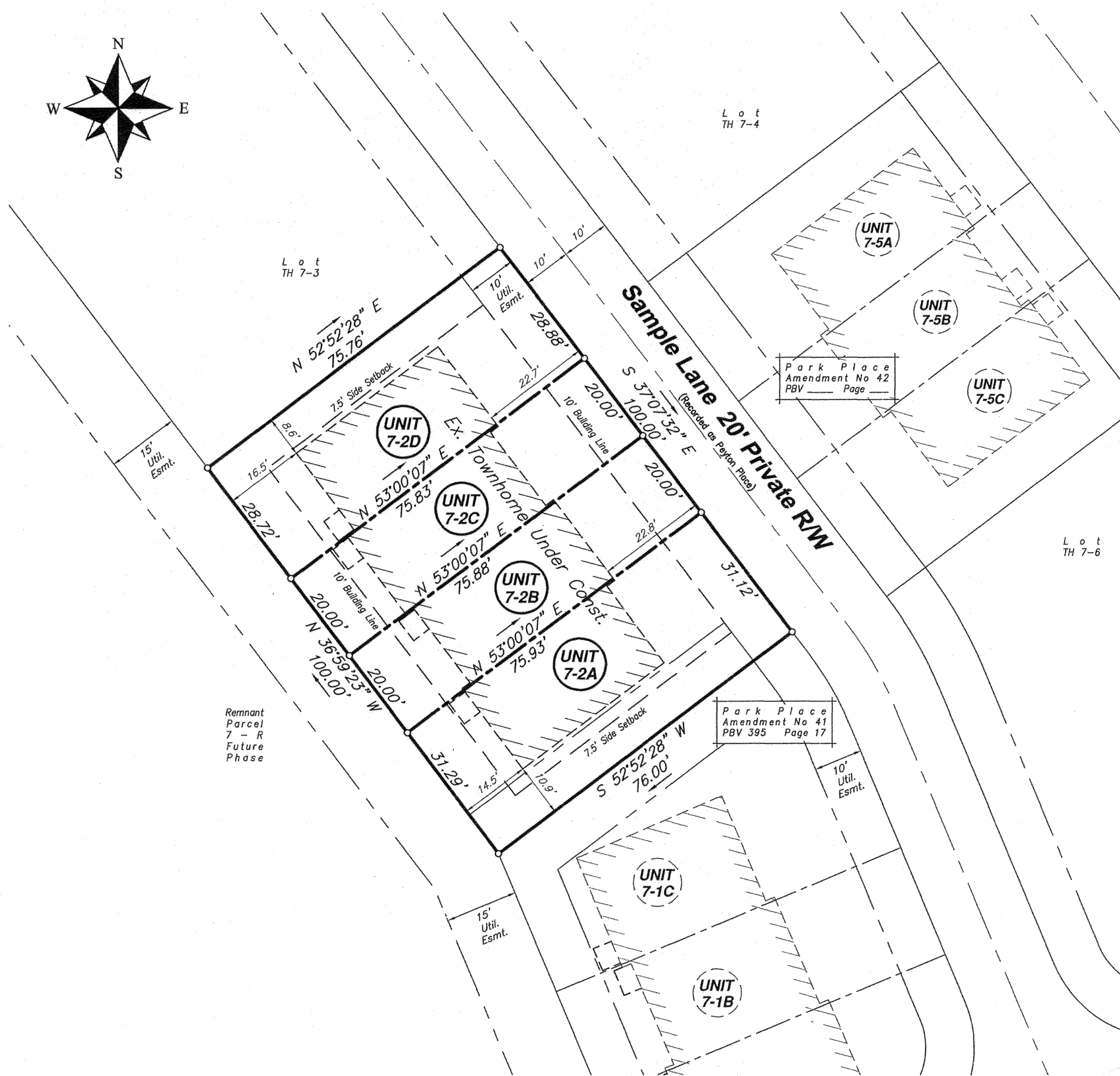
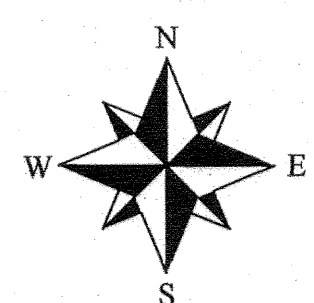
PLAN BOOK
398
PAGE
10

PARK PLACE AMENDMENT NO. 43

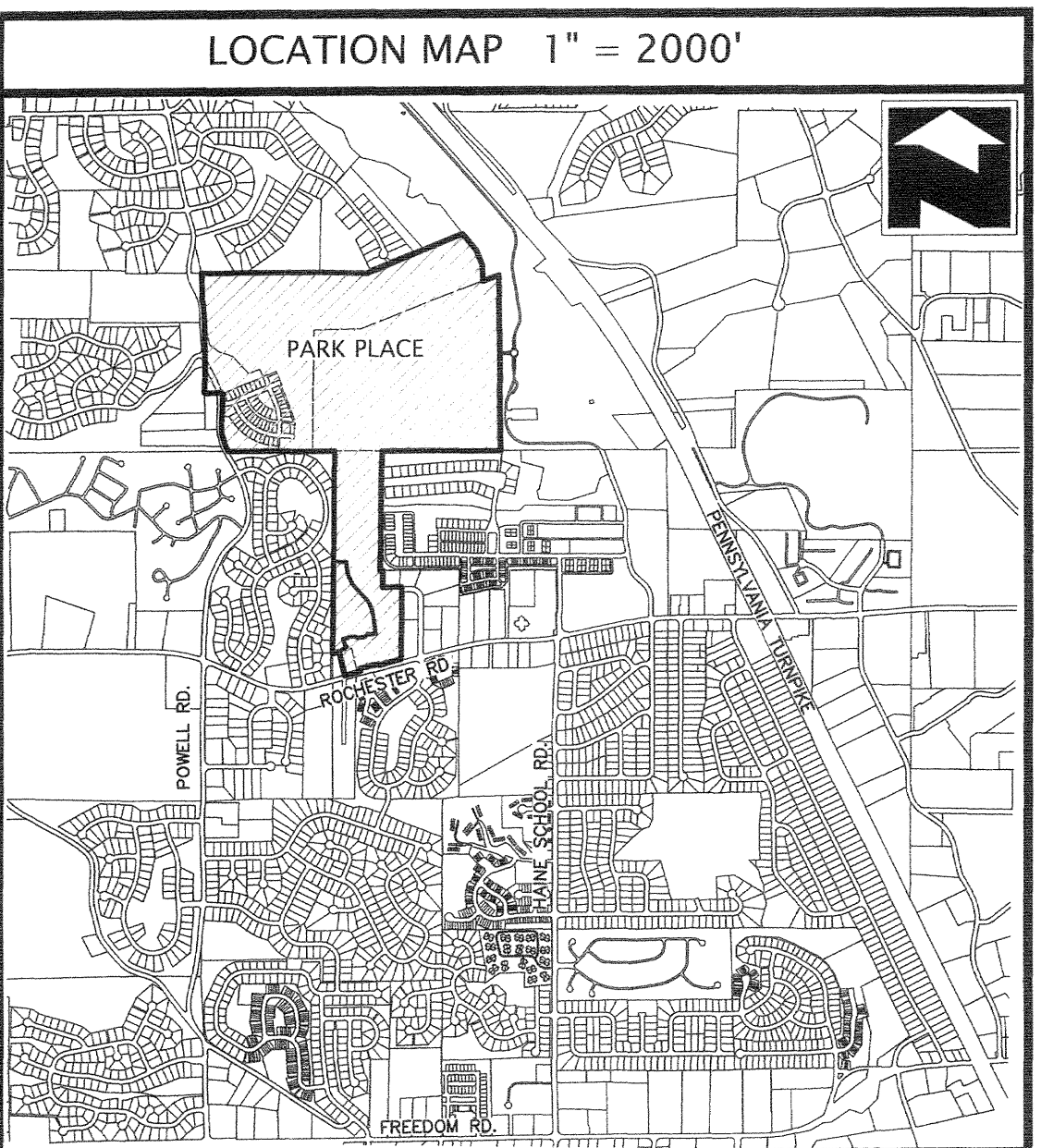
BEING A RE-SUBDIVISION OF PARCEL TH 7-2
PARK PLACE-PHASE 7 RESIDENTIAL SUBDIVISION
AS RECORDED IN PLAN BOOK 390, PAGES 9-14
CRANBERRY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

Sperdute Land Surveying
A Division of Sheffler & Company

108 Deer Lane
Harmony, PA 16037
Office Phone: 724-452-4362
Email: info@SperduteSurveying.com
James A. Sperdute, RS # 24457-E



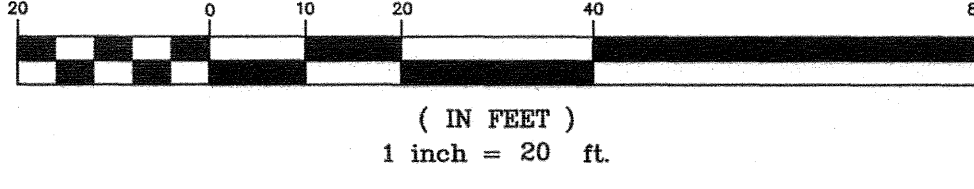
LOCATION MAP 1" = 2000'



Lot Area Tabulation

Unit	Sq.Ft.	Acres
7-2A	2,370.092	0.054
7-2B	1,518.047	0.035
7-2C	1,517.099	0.035
7-2D	2,182.913	0.050
TOTALS	7,588.152	0.174

GRAPHIC SCALE



GENERAL PLAN NOTES

- THIS PLAN IS A RE-SUBDIVISION OF PARCEL TH 7-2 OF THE PARK PLACE PHASE 7 RESIDENTIAL SUBDIVISION AS RECORDED IN PLAN BOOK 390, PAGES 9-14
- THIS PLAN IS SUBJECT TO ANY AND ALL CONDITIONS OF THE PREVIOUSLY APPROVED AND RECORDED PLANS.
- IF APPLICABLE, BEARINGS LABELED AS (NR) ARE NON-RADIAL TO THE INTERSECTING RIGHT OF WAY LINE.

AFFECTED ZONING CLASSIFICATION: CCD-2 PROPOSED USE : CCD-2

- MINIMUM LOT SIZE PER PATTERN BOOK
- MINIMUM LOT WIDTH PER PATTERN BOOK
- MINIMUM FRONT SETBACK PER PATTERN BOOK
- MINIMUM REAR SETBACK PER PATTERN BOOK
- MINIMUM SIDE SETBACK PER PATTERN BOOK
- MAXIMUM BUILDING HEIGHT PER PATTERN BOOK

PROPERTY REFERENCES

PROPERTY OWNER:
NVR, INC
ONE PENN CENTER WEST, SUITE 220
PITTSBURGH, PA 15276

LOT REFERENCE:
LOT TH 7-2
TAX PARCEL 130-S46-A2
INST# 202106170017253

DEVELOPER / PROPERTY OWNER:

NVR
ONE PENN CENTER WEST, SUITE 220
PITTSBURGH, PA 15276
BUILT BY:
Ryan Homes

DRAWING NUMBER: 1004-2123197

DRAWING SCALE: 1"=20'
DATE: July 28, 2021
DRAWN BY:
REVISIONS:

REVISED FINAL PRD FOR BRANDT DRIVE APARTMENTS CRANBERRY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA MAY 5, 2017 REVISED AUGUST 20, 2021

Instr: 202109230027015
Pg: 3 of 3123.00
Michelle Mustello
Butler County Recorder PA
9/23/2021 10:19 AM
12031003563

PA ONE CALL
ACT 287, AS AMENDED



PENNSYLVANIA ACT 287 (1974) AS AMENDED, REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH. PA ONE-CALL SERIAL NO. 20170661319 HAS BEEN ASSIGNED TO THIS PROJECT ON 03-07-17.

PARTNERSHIP CERTIFICATION

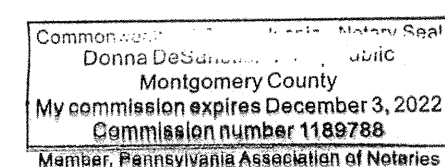
THE RPG CRANBERRY, LLC, OWNER OF THE LAND SHOWN ON THE SITE PLAN HEREBY ADOPTS THIS PLAN AS ITS LAND DEVELOPMENT AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE PARTNERSHIP AND UPON ITS HEIRS, EXECUTORS, AND ASSIGNS.

SIGNATURE OF WITNESS: Christine Weller
DATE: 8/23/2021
SIGNATURE OF OWNER(S): Timothy D. Gigliotti
PRINT NAME: Timothy D. Gigliotti

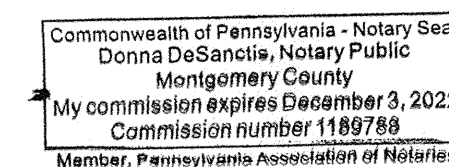
ACKNOWLEDGEMENT OF NOTARY PUBLIC

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED Timothy D. Gigliotti, OWNER OF RPG CRANBERRY, LLC, AND ACKNOWLEDGES THE FOREGOING ADOPTION AND DEDICATION TO BE THE ACT OF THE PARTNERSHIP.

WITNESS MY HAND AND NOTARIAL SEAL THIS 23rd DAY OF August, 2021.
(SEAL)



Donna DeSantis
NOTARY PUBLIC



CERTIFICATION OF TITLE

CERTIFICATION OF TITLE (MORTGAGE CLAUSE AND CONSENT OF MORTGAGEE).
(I/WE) HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE BRANDT DRIVE APARTMENTS IS IN THE NAME OF RPG CRANBERRY, LLC AND IS RECORDED IN DEED BOOK VOLUME 398 PAGE 11 INSTRUMENT NO. 202109100025809

WITNESS: David Moskowitz
OWNER: Timothy D. Gigliotti
TITLE: Admitted Signatory

CITIZENS BANK, N.A.

RPG CRANBERRY, LLC, MORTGAGEE OF THE PROPERTY CONTAINED IN THE BRANDT DRIVE APARTMENTS CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

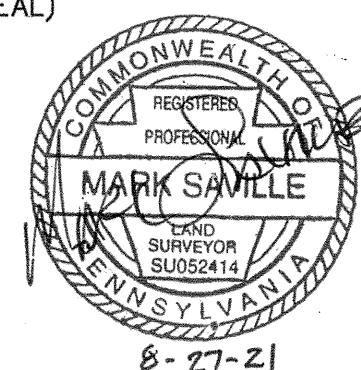
WITNESS: David Moskowitz
REPRESENTATIVE: David Moskowitz
PRINT NAME: David Moskowitz VP
TITLE: VP

SURVEYOR'S CERTIFICATION

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

DATE: AUGUST 27, 2021
NAME OF SURVEYOR: MARK SAVILLE

(SEAL)



8055414
REGISTRATION NUMBER

TOWNSHIP BOARD OF SUPERVISORS CERTIFICATION

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY BY ORDINANCE/RESOLUTION NO. 2021-3 ON THE 1st DAY OF September, 2021.

SECRETARY: Robert M. Haller
CHAIRMAN, BOARD OF SUPERVISORS: Robert M. Haller
(SEAL)

TOWNSHIP MANAGER CERTIFICATION

I, David S. Sandoz, TOWNSHIP MANAGER FOR THE TOWNSHIP OF CRANBERRY, CERTIFY THAT THE CONDITIONS FOR FINAL APPROVAL OUTLINED IN ORDINANCE/RESOLUTION NO. 2021-3 HAVE BEEN MET IN ACCORDANCE WITH SECTION 22-305 AND 22-307 OF TOWNSHIP OF CRANBERRY CODE OF ORDINANCES.

David S. Sandoz
TOWNSHIP MANAGER

TOWNSHIP ENGINEER CERTIFICATION

I, Michael C. Malay, TOWNSHIP ENGINEER, A REGISTERED PROFESSIONAL ENGINEER OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THAT THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT.

DATE: 9/1/2021
SIGNATURE: Michael C. Malay

COUNTY PLANNING COMMISSION CERTIFICATION

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 18th DAY OF Aug., 2021.

SECRETARY: R. H. H. H.
CHAIRMAN, BUTLER COUNTY PLANNING COMMISSION: R. H. H. H.

PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 398 PAGE(S) 11-13.

GIVEN UNDER MY HAND AND SEAL THIS 23rd DAY OF September, 2021.

(SEAL) ANCHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024
RECORDED OF DEEDS: ANCHELE M. MUSTELLO

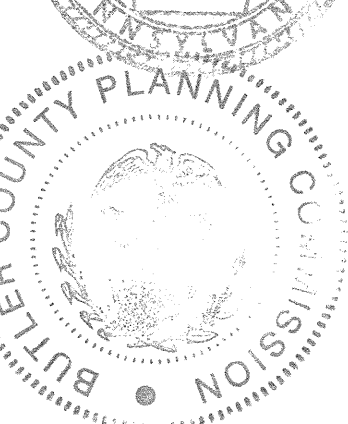
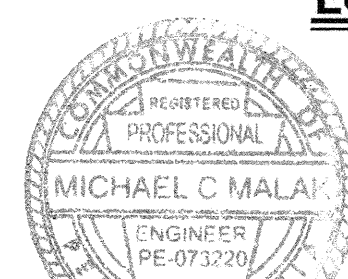
MUNICIPAL DECLARATION

THE TOWNSHIP OF CRANBERRY AGREES NOT TO ISSUE BUILDING PERMITS UNTIL THE "PLANNING MODULE FOR LAND DEVELOPMENT" HAS BEEN APPROVED IN ACCORDANCE WITH THE REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

DATE: 9-1-21
SECRETARY: ANCHELE M. MUSTELLO



UNITED STATES GEOLOGICAL SURVEY, PENNSYLVANIA
MARS QUADRANGLE
LOCATION MAP
SCALE: 1"=2000'



DEVELOPER

RPG CRANBERRY LLC
400 E. LANCASTER AVE, SUITE 300
WAYNE, PA
CONTACT: TIM GIGLIOTTI
PHONE: (610) 644-3090
EMAIL: tgigliotti@randorproperty.com



HRG
Herbert, Rowland & Grubic, Inc.
Engineering & Related Services
AN EMPLOYEE-OWNED COMPANY

200 West Kensing Drive, Suite 400
Cranberry Township, PA 16066
(724) 779-4777
Fax (724) 779-4711
hrg@hrg-inc.com
www.hrg-inc.com

SITE ENGINEER

HERBERT, ROWLAND & GRUBIC, INC.
200 WEST KENSINGER DRIVE, SUITE 400
CRANBERRY TOWNSHIP, PA 16066
CONTACT: VIRGINIA R. LOANEY, RLA
PHONE: (724) 779-4777
FAX: (724) 779-4711
EMAIL: vloaney@hrg-inc.com

PA ONE CALL-UTILITY LIST

ADAMS TOWNSHIP MUNICIPAL
WATER AUTHORITY
690 VALENCIA ROAD
PO BOX 807
MARS, PA 160460807
CONTACT: MATTHEW A CRANMER

ARMSTRONG
531 PERRY WAY
ZELIENOPLE, PA 16063
CONTACT: OFFICE PERSONNEL

COLUMBIA GAS OF PA
251 W MAIDEN ST.
WASHINGTON, PA 15304
CONTACT: SHANNON GRIEST
EMAIL: sgriest@msource.com

DQE COMMUNICATIONS, LLC
424 S 27TH ST, SUITE 220
PITTSBURGH, PA 15203
CONTACT: JIM SCANLON
EMAIL: jscanlon@dqe.com

VERIZON PENNSYLVANIA, LLC
15 E MONTGOMERY AVE.
PITTSBURGH, PA 15212
CONTACT: OFFICE PERSONNEL

CRANBERRY TOWNSHIP
2525 ROCHESTER RD, SUITE 400
CRANBERRY TOWNSHIP, PA
16066-6499
CONTACT: DOUGH CLOUTIER

CRANBERRY TOWNSHIP OF
C/O USIC LOCATING SERVICES
INC
13085 HAMILTON CROSSING BLVD,
SUITE 200
CARMEL, IN 46032
CONTACT: USIC PERSONNEL

CONSOLIDATED COMMUNICATIONS
4008 GIBSONIA ROAD
GIBSONIA, PA 15044-9311
CONTACT: GABE WHITE

PENNSYLVANIA POWER CO.
730 SOUTH AVE.
YOUNGSTOWN, OH 44502
CONTACT: DONALD KIRKWOOD JR.
EMAIL: dkirkwood@firstenergycorp.com

PEOPLES GAS GIBSONIA DIVISION
5600 COMMUNITY CENTER DRIVE
GIBSONIA, PA 15044
CONTACT: DESIGN DEPARTMENT

Sheet List Table

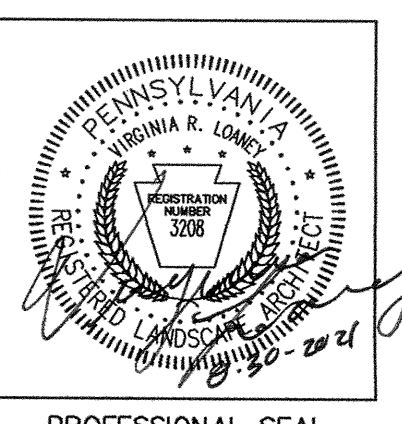
Sheet Number	Sheet Title
01	COVER
02	GENERAL NOTES
03	EXISTING CONDITIONS & DEMOLITION PLAN
04	SITE PLAN
05	GRADING PLAN
06	STORMWATER UTILITY PLAN
07	WATER AND SANITARY UTILITY PLAN
08	PRIVATE EASEMENT PLAN
09	CRANBERRY TOWNSHIP EASEMENT PLAN
10	LANDSCAPE PLAN
11	LIGHTING PLAN
12	SIGNAGE AND PAVEMENT MARKING PLAN
13	ROADWAY PROFILES
14	SANITARY SEWER PROFILES
15	SANITARY BUILDING LATERAL PROFILES
16	WATERLINE PROFILES
17	WATERLINE BUILDING LATERAL PROFILES
18	STORMWATER PROFILES
19	STORMWATER PROFILES
20	EROSION & SEDIMENT CONTROL PLAN
21	EROSION & SEDIMENT CONTROL NOTES
22	EROSION & SEDIMENT CONTROL NOTES
23	EROSION & SEDIMENT CONTROL DETAILS
24	EROSION & SEDIMENT CONTROL DETAILS
25	CRANBERRY TOWNSHIP STANDARD DETAILS
26	CRANBERRY TOWNSHIP STANDARD DETAILS
27	CRANBERRY TOWNSHIP STANDARD DETAILS
28	SITE DETAILS
29	PCSM DETAILS
30	PCSM DETAILS
31	PCSM DETAILS
32	PCSM DETAILS
33	PCSM PLAN

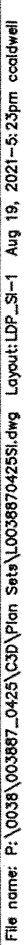
PLAN BOOK	PAGE
398	11

CERTIFICATE OF ACCURACY (PLAN)

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

DATE: Aug 30, 2021
SIGNATURE: VIRGINIA R. LOANEY





PROJ. MGR. – VRL	DRAWING NO.
DESIGN– VRL	SI-1
CADD– CRC	SHEET NO.
CHECKED–VRL	04 OF 33
SCALE– AS SHOWN	PROJECT R003887.0425
DATE– AUG. 2021	

POST CONSTRUCTION STORMWATER MANAGEMENT APPROVAL SIGNATURE BLOCKS

I, VIRGINIA LOANEY, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE CRANBERRY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

PROJECT MANAGER, REGISTERED LANDSCAPE ARCHITECT
TITLE

Virginia Loaney
SIGNATURE

I, Tim Schutzman, HAVE REVIEWED THIS STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF THE CRANBERRY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

Waterworks Coordinator
TITLE OF REVIEWER

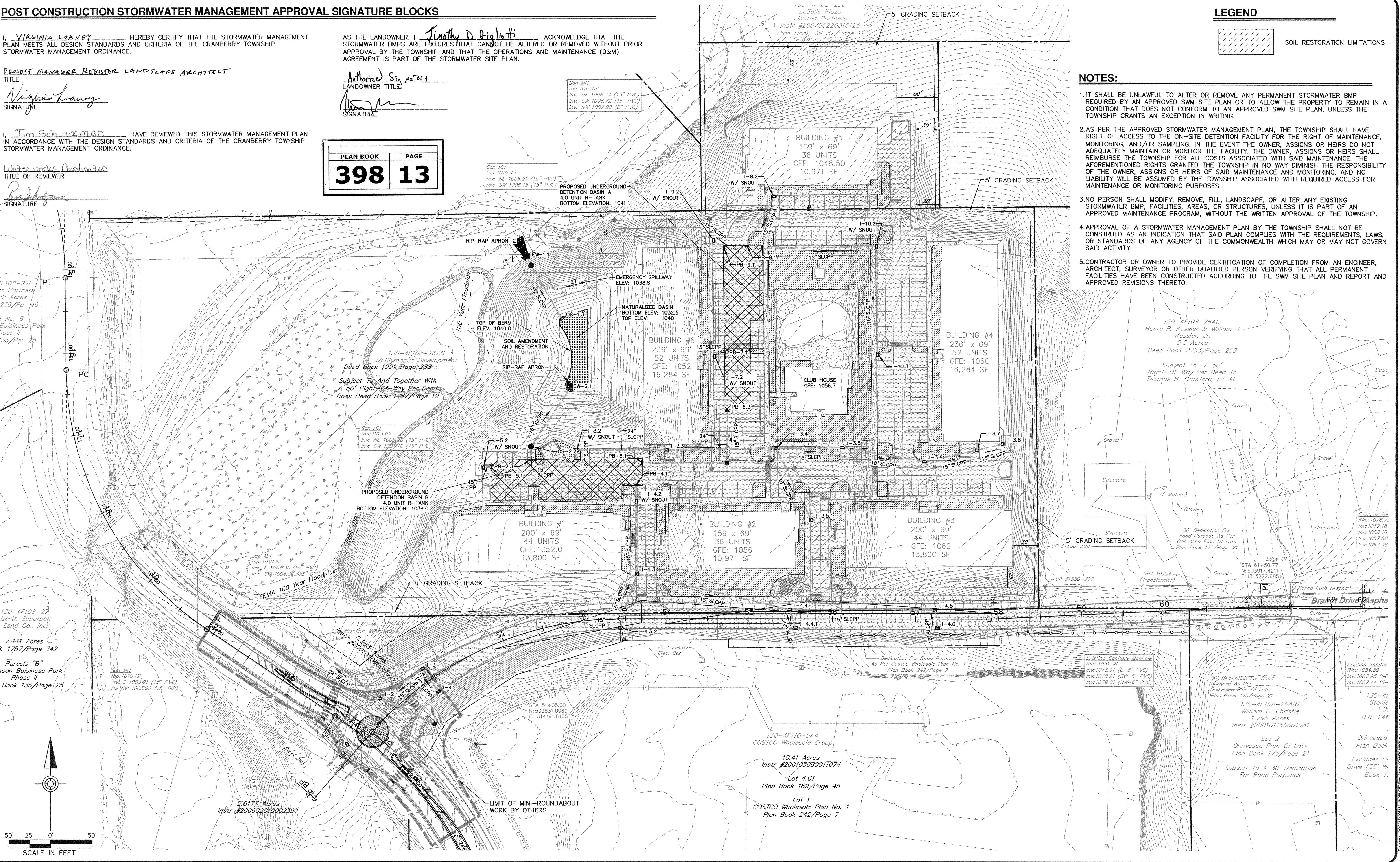
Tim Schutzman
SIGNATURE

AS THE LANDOWNER, I, Timothy D. Grubis, ACKNOWLEDGE THAT THE STORMWATER BMPs ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY THE TOWNSHIP AND THAT THE OPERATIONS AND MAINTENANCE (O&M) AGREEMENT IS PART OF THE STORMWATER SITE PLAN.

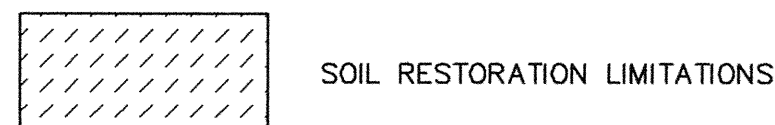
Authorized Signatory
LANDOWNER TITLE

Timothy D. Grubis
SIGNATURE

PLAN BOOK	PAGE
398	13



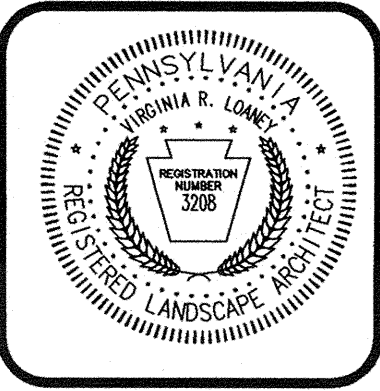
LEGEND



NOTES:

- IT SHALL BE UNLAWFUL TO ALTER OR REMOVE ANY PERMANENT STORMWATER BMP REQUIRED BY AN APPROVED SWM SITE PLAN OR TO ALLOW THE PROPERTY TO REMAIN IN A CONDITION THAT DOES NOT CONFORM TO AN APPROVED SWM SITE PLAN, UNLESS THE TOWNSHIP GRANTS AN EXCEPTION IN WRITING.
- AS PER THE APPROVED STORMWATER MANAGEMENT PLAN, THE TOWNSHIP SHALL HAVE RIGHT OF ACCESS TO THE ON-SITE DETENTION FACILITY FOR THE RIGHT OF MAINTENANCE, MONITORING, AND/OR SAMPLING, IN THE EVENT THE OWNER, ASSIGNS OR HEIRS DO NOT ADEQUATELY MAINTAIN OR MONITOR THE FACILITY. THE OWNER, ASSIGNS OR HEIRS SHALL REIMBURSE THE TOWNSHIP FOR ALL COSTS ASSOCIATED WITH SAID MAINTENANCE. THE AFOREMENTIONED RIGHTS GRANTED TO THE TOWNSHIP IN NO WAY DIMINISH THE RESPONSIBILITY OF THE OWNER, ASSIGNS OR HEIRS OF SAID MAINTENANCE AND MONITORING, AND NO LIABILITY WILL BE ASSUMED BY THE TOWNSHIP ASSOCIATED WITH REQUIRED ACCESS FOR MAINTENANCE OR MONITORING PURPOSES.
- NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, OR ALTER ANY EXISTING STORMWATER BMP, FACILITIES, AREAS, OR STRUCTURES, UNLESS IT IS PART OF AN APPROVED MAINTENANCE PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE TOWNSHIP.
- APPROVAL OF A STORMWATER MANAGEMENT PLAN BY THE TOWNSHIP SHALL NOT BE CONSTRUED AS AN INDICATION THAT SAID PLAN COMPLIES WITH THE REQUIREMENTS, LAWS, OR STANDARDS OF ANY AGENCY OF THE COMMONWEALTH WHICH MAY OR MAY NOT GOVERN SAID ACTIVITY.
- CONTRACTOR OR OWNER TO PROVIDE CERTIFICATION OF COMPLETION FROM AN ENGINEER, ARCHITECT, SURVEYOR OR OTHER QUALIFIED PERSON VERIFYING THAT ALL PERMANENT FACILITIES HAVE BEEN CONSTRUCTED ACCORDING TO THE SWM SITE PLAN AND REPORT AND APPROVED REVISIONS THERETO.

NO.	REVISION	DATE	BY
3	AS PER RESOLUTION SET REVISIONS	2021.08.20	VRL
2	AS PER RESOLUTION SET	2021.07.29	VRL
1	PER DEVELOPER UNIT COUNT REVISIONS	2021.06.08	VRL



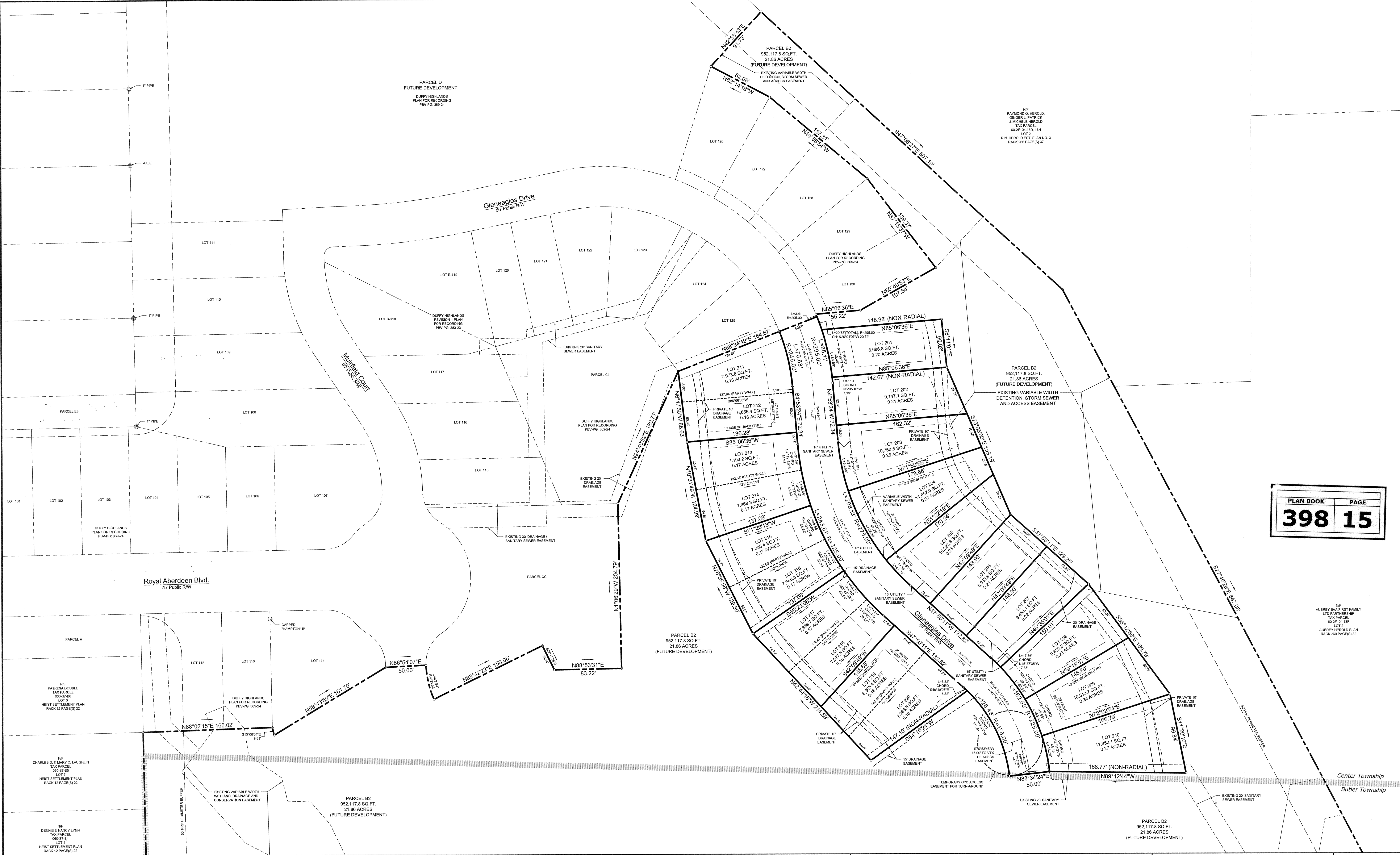
HRG
Herbert, Rowland & Grubic, Inc.
Engineering & Related Services
AN EMPLOYEE-OWNED COMPANY
200 West Kensington Drive, Suite 400
Cranberry Township, PA 16066
(724) 779-4777
Fax (724) 779-4711
hr@hr-inc.com
www.hrg-inc.com


RPG CRANBERRY, LLC
100 E. LANCASTER AVE, SUITE 300
WAYNE, PA
(610) 644-3090

PCSM PLAN
FOR
BRANDT DRIVE APARTMENTS
CRANBERRY TOWNSHIP BUTLER COUNTY PENNSYLVANIA

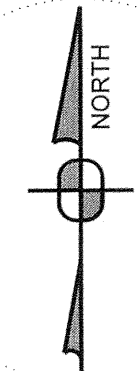
PROJ. MGR. - VRL
DESIGN- VRL
CADD- CRC
CHECKED-VRL
SCALE- AS SHOWN
DATE- AUG. 2021

DRAWING NO.
PC-1
SHEET NO.
33 OF 33
PROJECT R003887.0425

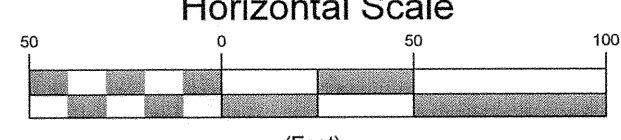




Know what's below.
Call before you dig.



NORTH



Horizontal Scale
(Feet)
1 inch = 50 ft.

Date:	08/24/2021
Revision Description:	REVISED UTILITY EASEMENTS
By:	BJS
Professional Seal	

Prepared By:	Sheffler & Company, Inc. ENGINEERING • SURVEYING
	1712 Mount Nebo Road Sewickley, PA 15143
	Office Phone: 412-219-4509 Email: Info@ShefflerCo.com

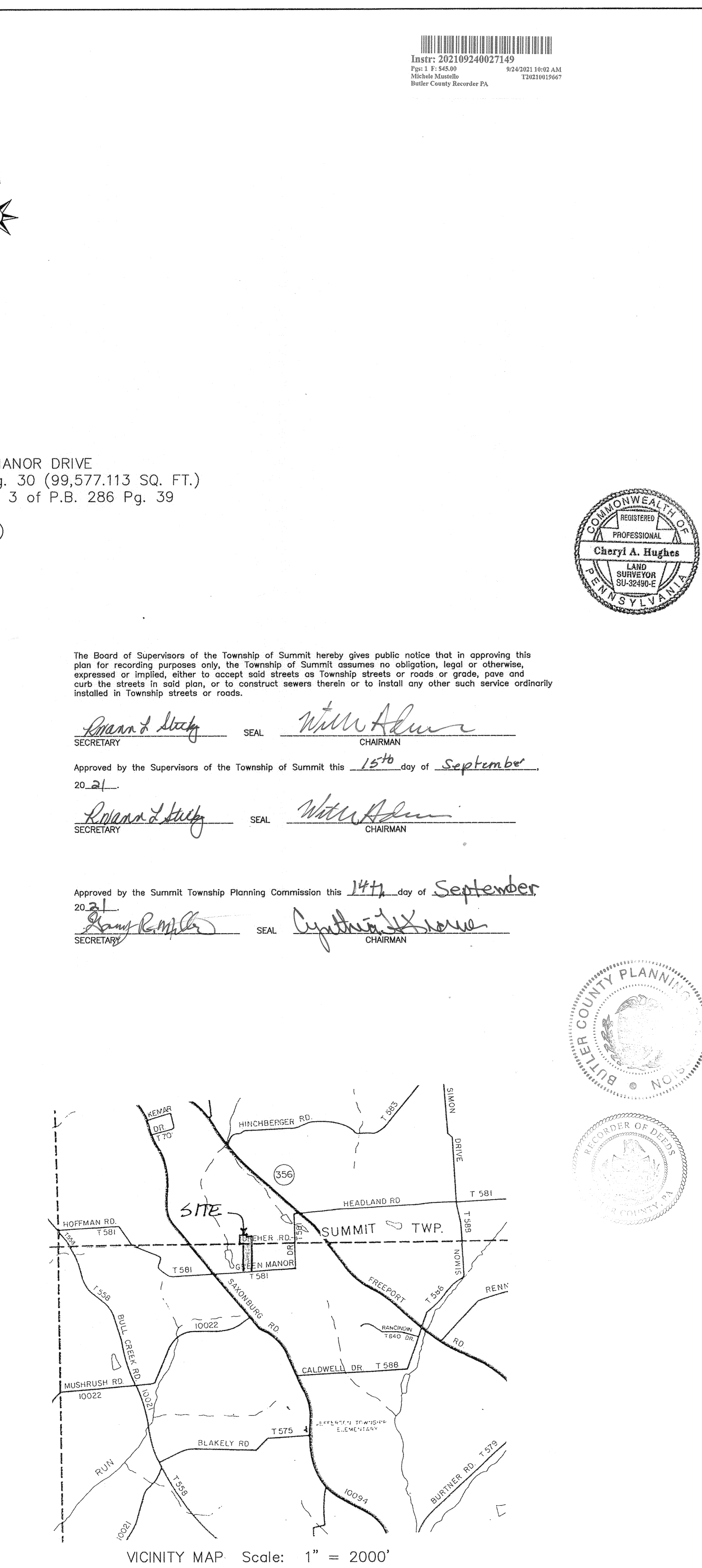
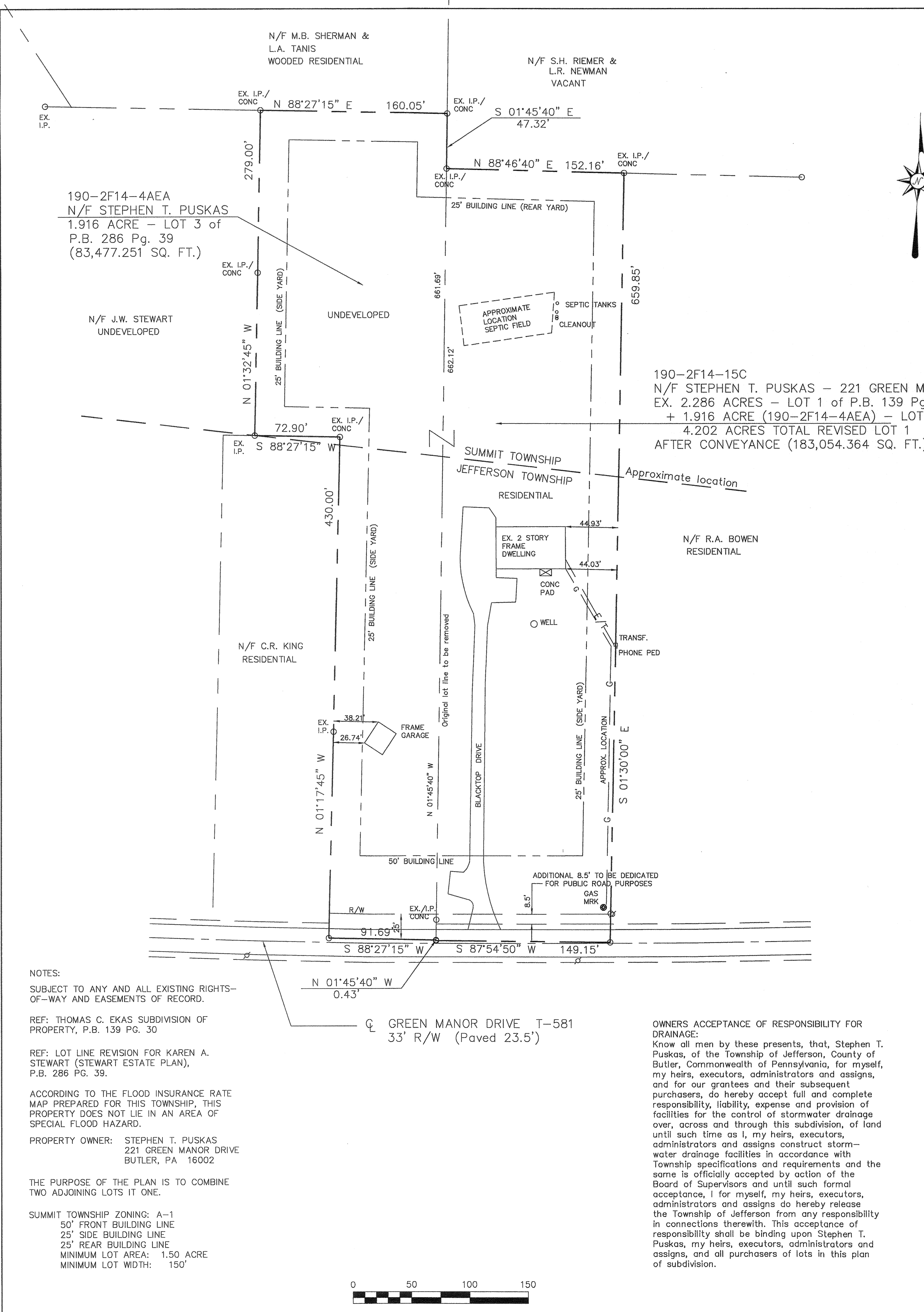
Duffy Highlands, a Planned Community Phase 2 Plan for Recording	
Prepared For: Duffy Highlands, LP.	
Situate In: Center / Butler Township, Butler County, Pennsylvania	

Being Phase 2 of a further Subdivision of the Duffy Highlands Planned Community as recorded in Plan Book Volume 369 page 24.	
DRAWING SCALE: 1" = 50'	DESIGNED BY: AGM
DATE ISSUED: 7/20/2021	REVIEWED BY: GAS
PROJECT JOB#: 3761	FIELD BOOK #: 3761
CADD#: 3761 - Duffy Highlands - REC2 - Subdivision Phase 2.dwg	

Duffy Highlands, LP.
Attn: Robert Brennan, Manager
800 S. Washington Street
Evans City, PA 16033
Phone: 724-965-2929

Sheet No.

REC2



KNOW ALL MEN BY THESE PRESENTS, that I, Stephen T. Puskas, of the Township of Jefferson, of the County of Butler, Commonwealth of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this plan as my Plan of Lots of my property, situate in Jefferson Township, Butler County, Pennsylvania, and for divers advantages accruing to me, do hereby dedicate forever, for public use for highway purposes, all slopes areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Township of Jefferson, I hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Jefferson, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Stephen T. Puskas, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 25 day of August, 2021.

2021

ATTEST:

NOTARY PUBLIC

OWNER

COMMONWEALTH OF PENNSYLVANIA: COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Stephen T. Puskas, and acknowledged the foregoing release and dedication and plan to be his act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day.

WITNESS MY HAND AND NOTARIAL SEAL this 25 day of August, 2021.

My Commission expires the 17 day of October, 2021.

SEAL

NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Anita Orozco, Notary Public
Butler County
My commission expires October 19, 2024
Commission number 1002930
Member, Pennsylvania Association of Notaries

I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.

July 15, 2021

SEAL

REG. NO. SU-32490-E

The Board of Supervisors of the Township of Summit hereby gives public notice that in approving this plan for recording purposes only, the Township of Summit assumes no obligation, legal or otherwise, expressed or implied, either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

Secretary

CHAIRMAN

Approved by the Supervisors of the Township of Summit this 15th day of September, 2021.

Secretary

CHAIRMAN

Approved by the Summit Township Planning Commission this 14th day of September, 2021.

Secretary

CHAIRMAN

Approved by the Jefferson Township Planning Commission this 16th day of August, 2021.

Secretary

CHAIRMAN

Reviewed by the Butler County Planning Commission this 21st day of July, 2021.

Secretary

CHAIRMAN

COMMONWEALTH OF PENNSYLVANIA: COUNTY OF BUTLER

Recorded in the Recorder's Office for the recording of deeds, plans, etc. in said County in Plan Book Volume 398 Page 16

Given under my hand and seal this 24th day of September, 2021.

SEAL

RECORDER

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

REVISED 07/15/2021; TWP. LINE

L S J	Land Surveyors, Inc. 523 North Main Street P.O. Box 1061 Butler, PA 16003-1061 (724) 287-6865 Cheryl A. Hughes, PLS Owner		
LOT LINE REVISION FOR: STEPHEN T. PUSKAS			
SITUATE: JEFFERSON & SUMMIT TWS., BUTLER CO., PA			
Date 07/07/2021	Scale 1" = 50'	Dwn By BEC	Ckd By CAH
Parcel No. 190-2F14-15C1, 4AEA	Inst. # 200604040007475	Service No. 21-089	
Address 221 GREEN MANOR DRIVE			

PLAN BOOK 398 PAGE 16

MIDDLESEX TOWNSHIP
PLANNING COMMISSION

MIDDLESEX TOWNSHIP
ENGINEER

REGISTERED SURVEYOR

MIDDLESEX TOWNSHIP
BOARD OF SUPERVISORS

BUTLER COUNTY
PLANNING COMMISSION

BUTLER COUNTY
RECORDER OF DEEDS

PARTNERSHIP ADOPTION (MIDDLESEX TOWNSHIP)

THE JONES ESTATES SANDY HILLS, LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY, OWNER OF THE LAND SHOWN ON THE SANDY HILL ESTATES SUBDIVISION PLAN NO. 1 HEREBY ADOPTS THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. ANY FUTURE ACCEPTANCE OF SAID PUBLIC STREETS OR PROPERTY BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF MIDDLESEX, I HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF MIDDLESEX, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC STREETS OR PROPERTY AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE PARTNERSHIP AND UPON ITS HEIRS, EXECUTORS, AND ASSIGNS.

IN WITNESS OF WHICH, TO THIS I SET MY HAND AND SEAL THIS 30th DAY OF Aug 2021

ATTEST:
WITNESS
MANAGING MEMBER

PARTNERSHIP ACKNOWLEDGMENT (MIDDLESEX TOWNSHIP)

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED Melissa Solomon THE MANAGING MEMBER OF THE JONES ESTATES SANDY HILLS ESTATES SUBDIVISION PLAN NO. 1, AND ACKNOWLEDGED THE FOREGOING ADOPTION, DEDICATION AND PLAN TO BE THE ACT OF THE PARTNERSHIP AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 30th DAY OF Aug 2021

MY COMMISSION EXPIRES THE 31st DAY OF March 2025

MELISSA SOLOMON
(SEAL) Notary Public, North Carolina
Wake County
My Commission Expires
March 30, 2025

CERTIFICATION OF TITLE AND CONCURRENCE OF MORTGAGE

I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE SANDY HILL ESTATES SUBDIVISION PLAN NO. 1, IS IN THE NAME OF JONES ESTATES SANDY HILLS, LLC, AND IS RECORDED IN INSTRUMENT NO. 202008270017972

WITNESS
MORTGAGEE OF THE PROPERTY CONTAINED IN THE SANDY HILL ESTATES SUBDIVISION PLAN NO. 1,
CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

SURVEYOR'S CERTIFICATION

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THAT THE SURVEY AND PLAN SHOWN HEREON CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED BY ME

DATE 08/22/2021 SURVEYOR

(SEAL) REGISTRATION NUMBER

MIDDLESEX TOWNSHIP SUPERVISORS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX BY RESOLUTION NO. 11, EFFECTIVE THIS 15th DAY OF August 2021

SECRETARY CHAIRMAN, BOARD OF SUPERVISORS

MIDDLESEX TOWNSHIP PLANNING COMMISSION

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF MIDDLESEX, THIS 24 DAY OF August 2021

SECRETARY CHAIRMAN, PLANNING COMMISSION

MIDDLESEX TOWNSHIP ENGINEER

I, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER OF THE TOWNSHIP OF MIDDLESEX, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

DATE REG. NO. (SEAL) SIGNATURE

BUTLER COUNTY PLANNING COMMISSION

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 18th DAY OF August 2021

SECRETARY CHAIRMAN, BUTLER COUNTY PLANNING COMMISSION

BUTLER COUNTY RECORDER OF DEEDS

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 398 PAGE 17

GIVEN UNDER MY HAND SEAL THIS DAY OF 24th of September 2021

MICHELE M. MUSTELLO
(SEAL) RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

BUTLER COUNTY RECORDER OF DEEDS

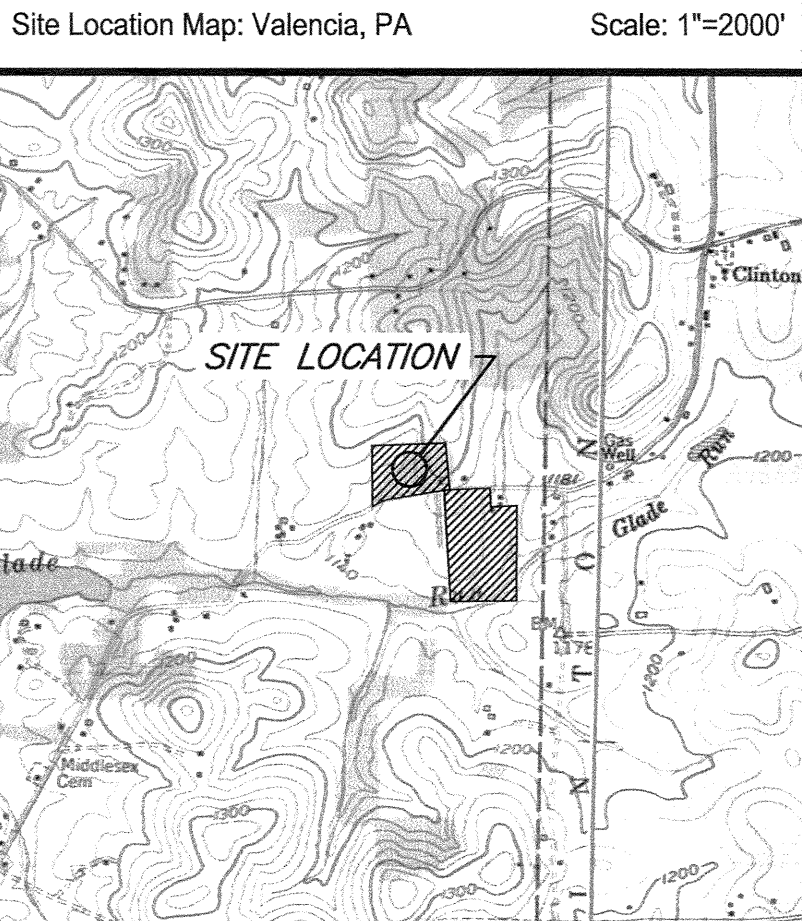


PLAN BOOK 398 PAGE 17

POTENTIAL LIMITING SOIL CHARACTERISTICS													
MAP SYM	DESCRIPTION	CUT BANKS CAVE	CORROSIVE TO CONC.	OR STEEL	EASILY ERODIBLE	FLOODING	DEPTH TO SAT. ZONE	POSSIBLE WATER LOGS	HYDRO INCLUSIONS	LOW STRENGTH	SLOW PERCOLATION	POOR TPOIL	POOR ACTION
Wab	WHARTON SILT LOAM 3 TO 8 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X
GpD	GLPIN-WHARTON COMPLEX 15 TO 20 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X
VcC	VANDERGRIFF-CAVOIDE SILT LOAMS 8 TO 15 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X

NOTE: A COMPETENT PERSON WILL REVIEW THE SOIL CAPABILITY OF THE SITE AND MAKE RECOMMENDATIONS TO THE OWNER. SOILS HAVING UNSTABLE COMPOSITION, SLP AND LANDSLIDE POTENTIAL ARE NOT TO BE PLACED AS FILL MATERIAL AT AREAS HAVING 2:1 SLOPES OR NEAR PROXIMITY TO SUCH SLOPES. LOADING PLACEMENT OF SUCH PLACED FILL SHALL BEAR ON SUITABLE SOILS KEYED INTO VIRGIN SOILS. REFER TO CUTFILL DETAILS ON PLANS. ALL CUT SITUATIONS THAT EXPOSE SUCH SOILS TO UNSUPPORTED BEARING BASE REQUIRES THOSE SOILS TO BE EXCAVATED AND REPLACED WITH SUITABLE SOILS THAT DO NOT HAVE THE MENTIONED CHARACTERISTICS.

TAX MAP NO. 230-2F77-6AA-000			Attn: Melissa Solomon 2310 S. Miami Blvd., Suite 238 Durham, NC 27703-6900 Phone: (252) 452-8532
DRAWING SCALE: 1"=90'	DESIGNED BY: DBM	Sheet No.	
DATE ISSUED: January 11th, 2021	REVIEWED BY: GAS	1 of 1	
PROJECT JOB#: 3901	FIELD BOOK #: 3901		
CADD#: 3901 - Sandy Hill - subD			



ZONING INFORMATION:	
THE SUBJECT PREMISES LIES WITHIN THE (AG-A) ZONING DISTRICT	
ZONING DISTRICT: (AG-A RURAL RESIDENTIAL)	
MAX. BUILDING HEIGHT: (35) FEET - (OR 2-1/2 STORIES)	
MAX. LOT COVERAGE:	
FARMS 5%	
ALL OTHERS 20%	
MIN. LOT WIDTH:	
FARMS 200 FEET	
SINGLE-FAMILY DWELLINGS: 125 FEET	
TWO-FAMILY DWELLINGS: 175 FEET	
ALL OTHER USES: 150 FEET	
MIN. FRONT YARD:	
50 FEET FROM FRONT LOT LINE OR 75 FEET FROM STREET CENTERLINE, WHICHEVER IS GREATER	
MIN. SIDE YARD:	
DWELLINGS: 25 FEET EACH SIDE	
ACCESSORY STRUCTURES: 10 FEET EACH SIDE	
MIN. REAR YARD:	
PRINCIPAL STRUCTURES: 75 FEET	
ACCESSORY STRUCTURES: 10 FEET	
ZONING INFORMATION WAS OBTAINED FROM:	
THE TOWNSHIP OF MIDDLESEX	
ORDINANCE INFO: § 175-15. AREA AND BULK REGULATIONS	
ZONING MAP: 1995, MIDDLESEX TOWNSHIP ZONING MAP, 9-3-15	

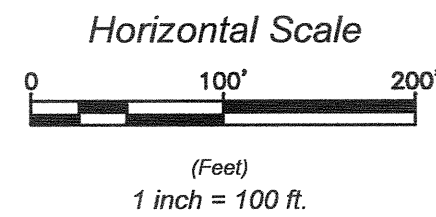
- GENERAL NOTES:
- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE THE EXISTING PROPERTY (TAX MAP 230-2F77-6AA) OWNED BY SANDY HILL ESTATES MOBILE HOME PARK, LP, (INS. NO. 201410080024155) INTO (2 TRACTS OF LAND) LOT 1 TO BE CONVEYED. THE REMAINDER OF PARCEL TO BE RETAINED.
 - MERIDIAN SHOWN HEREON IS BASED ON GRID NORTH PER GPS OBSERVATIONS CONDUCTED IN THE PENNSYLVANIA SOUTH STATE PLANE COORDINATE SYSTEM (NAD83).
 - IRON REBAR "11786-E" TO BE SET AT CORNERS BETWEEN THE PROPOSED LOT NO. 1 & PARCEL B.
 - THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
 - THE UTILITY EASEMENTS SHOWN ON THIS SURVEY HAVE BEEN PLOTTED FROM RECORDED PLAN INFORMATION AND DEEDS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITY EASEMENTS SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITY EASEMENTS SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. ALL UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANYVALL CONSTRUCTION PROJECTS.
 - THE SUBJECT PREMISES LIES WITHIN FLOOD ZONE X, AS SHOWN ON FEMA FIRM MAP NO. 201303032D, BEARING AN EFFECTIVE DATE OF 9/2/2018. ZONE X DENOTES AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN.

LEGEND:	
UTILITY POLE	
WATER WELL	
SEPTIC MANHOLE	
PROPERTY ADJOINER	
SUBJECT PROPERTY	
PROPERTY EASEMENT	
ROAD CENTERLINE	
ROAD LEGAL R/W	
MAJOR CONTOUR	
MINOR CONTOUR	
OVERHEAD LINES	

811 Know what's below.
Call before you dig.

POCS SER. #: DESIGN - N/A
DIG - N/A

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



Date:	Revision Description:	By:
7-16-2021	AMENDED	DBM
8-22-2021	REVISED PER BCPC COMMENTS	DBM

Prepared By:

Sheffler & Company, Inc.
ENGINEERING • SURVEYING

1712 Mount Nebo Road
Sewickley, PA 15143

Office Phone: 412-219-4509
Email: Info@ShefflerCo.com

Sandy Hill Estates Subdivision Plan No. 1

Stackhouse Management, LLC

Middlesex Township, Butler County, Pennsylvania

TAX MAP NO. 230-2F77-6AA-000

DRAWING SCALE: 1"=90'

DESIGNED BY: DBM

DATE ISSUED: January 11th, 2021

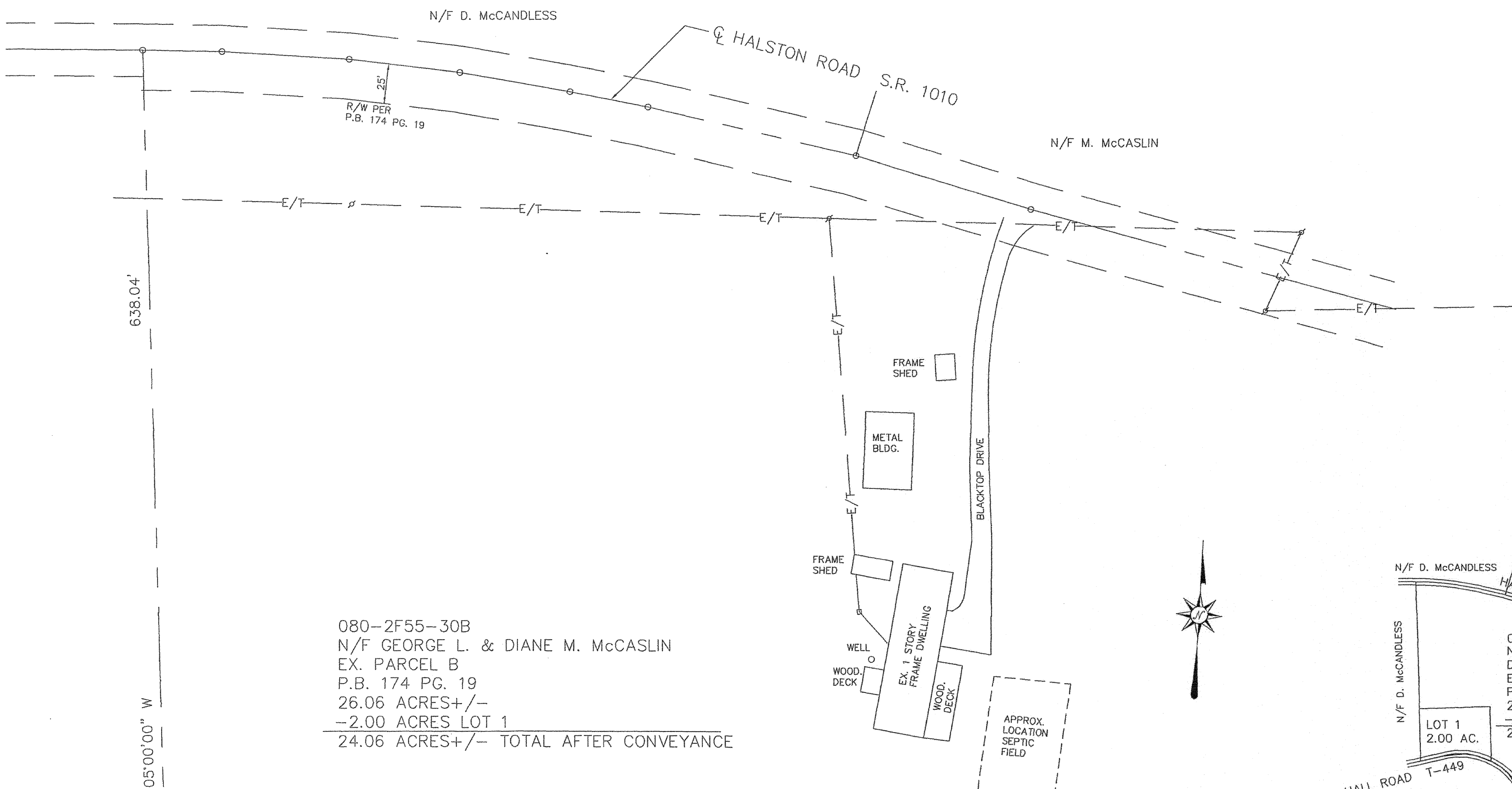
REVIEWED BY: GAS

PROJECT JOB#: 3901

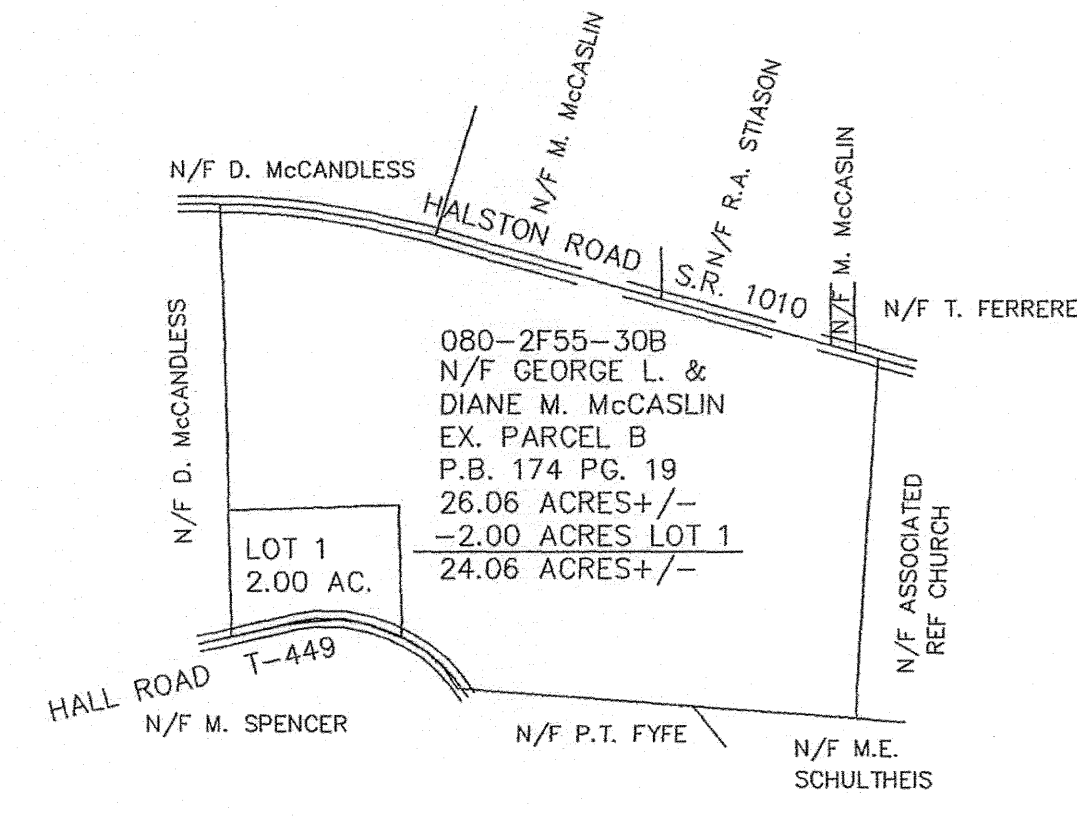
FIELD BOOK #: 3901

CADD#: 3901 - Sandy Hill - subD

1 of 1

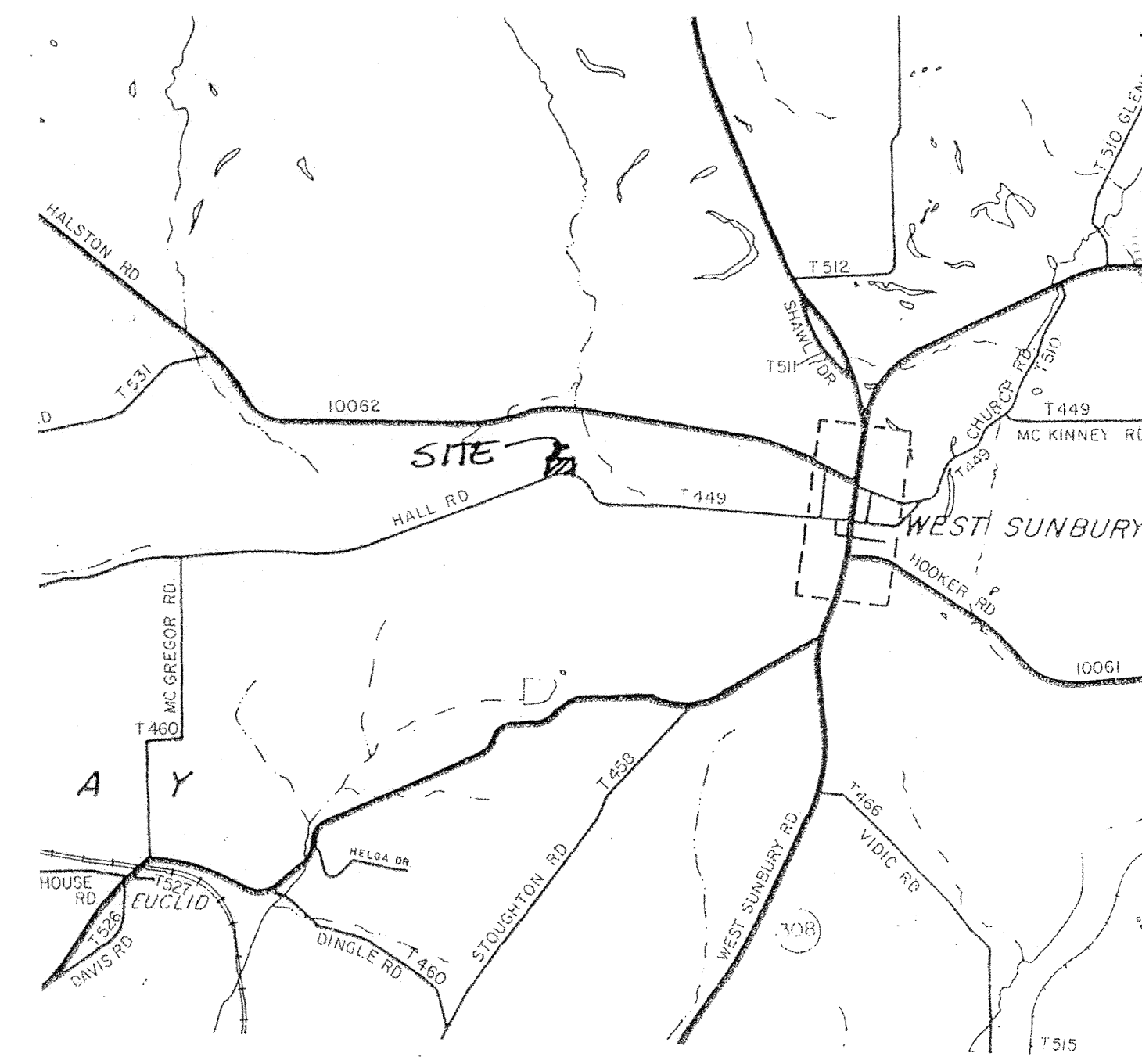
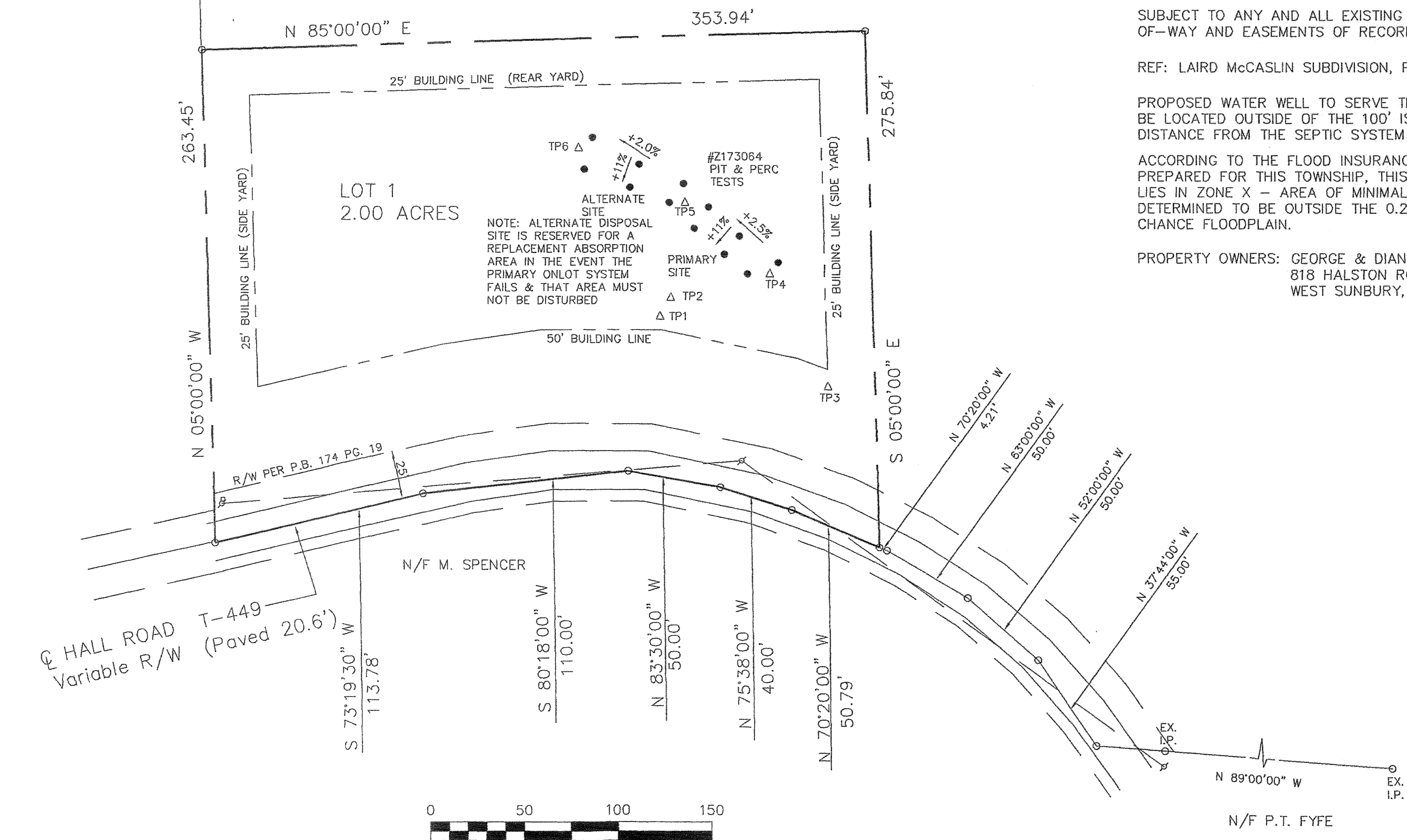


080-2F55-30B
N/F GEORGE L. & DIANE M. McCASLIN
EX. PARCEL B
P.B. 174 PG. 19
26.06 ACRES+/-
-2.00 ACRES LOT 1
24.06 ACRES+/- TOTAL AFTER CONVEYANCE



LOCATION MAP Scale: 1" = 400'

NOTES:
SUBJECT TO ANY AND ALL EXISTING RIGHTS-
OF-WAY AND EASEMENTS OF RECORD.
REF: LAIRD McCASLIN SUBDIVISION, P.B. 174 PG. 19
PROPOSED WATER WELL TO SERVE THIS LOT IS TO
BE LOCATED OUTSIDE OF THE 100' ISOLATION
DISTANCE FROM THE SEPTIC SYSTEM TO BE BUILT.
ACCORDING TO THE FLOOD INSURANCE RATE MAP
PREPARED FOR THIS TOWNSHIP, THIS PROPERTY
LIES IN ZONE X - AREA OF MINIMAL FLOOD HAZARD
DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL
CHANCE FLOODPLAIN.
PROPERTY OWNERS: GEORGE & DIANE McCASLIN
818 HALSTON ROAD
WEST SUNBURY, PA 16061



VICINITY MAP Scale: 1" = 2000'

Inst# 202109280027486
Fig 1 P: 545.00
Michael Mustello
Butler County Recorder PA

CLAY TOWNSHIP DEDICATION
KNOW ALL MEN BY THESE PRESENTS, That we, George L. and Diane M. McCaslin, of the Township of Clay, of the County of Butler, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this plan as our Plan of Lots of our property, situate in Clay Township, Butler County, Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler, and Township of Clay, we hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Clay, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon George L. and Diane M. McCaslin, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 17 day of July 2021.

ATTEST:
Notary Public: David C. Harkins
Owner: George L. & Diane M. McCaslin

COMMONWEALTH OF PENNSYLVANIA JSS:
COUNTY OF BUTLER
Before me, the subscriber, a Notary Public in and for said Commonwealth and Township, personally appeared the above named George L. and Diane M. McCaslin, and acknowledged the foregoing release and dedications and plan to be their act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day.
WITNESS MY HAND AND NOTARIAL SEAL this 17 day of July 2021.
My commission expires this 04 day of June 2022.

SEAL
Notary Public: David C. Harkins
Commonwealth of Pennsylvania - Notary Seal
David C. Harkins, Notary Public
Butler County
My commission expires June 4, 2022
Commission number 1190259
Member, Pennsylvania Association of Notaries

TITLE CLAUSE (NO MORTGAGE)
We, George L. and Diane M. McCaslin, owners of this plan of subdivision in our names, do hereby certify that the title of this property is in the names of George L. and Diane M. McCaslin, as recorded in Instrument Number 201107250017358, Recorder of Deeds Office. We further certify that there is no mortgage, lien or encumbrance against this property.
Witness: David C. Harkins, Diane M. McCaslin, George L. McCaslin

I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan correctly represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.
Date: July 13, 2021
Signature of Land Surveyor: Cheryl A. Hughes
Registration Number SU-32490-E

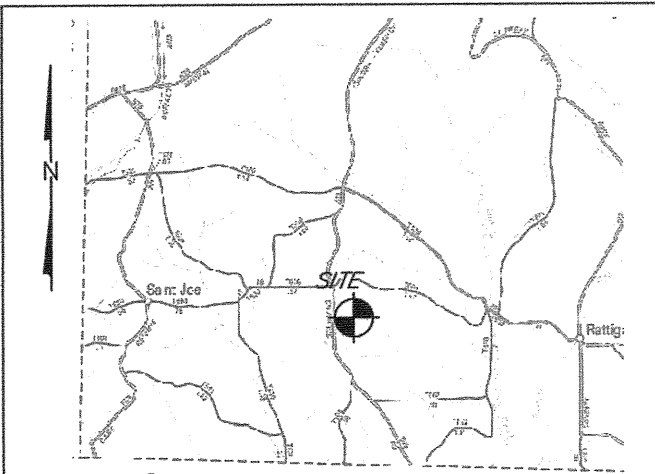
The Board of Supervisors of the Township of Clay hereby gives public notice that in approving this plan for recording purposes only, the Township of Clay assumes no obligations, legal or otherwise, expressed or implied either to accept said streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service or utility installed in Township streets or roads.
Secretary: David C. Harkins
Chairman: David C. Harkins
Approval by the Board of Supervisors of the Township of Clay this 23rd day of Sept 2021.

Reviewed by the Clay Township Planning Commission this 23rd day of September 2021.
Secretary: David C. Harkins
Chairman: Rich Hoyer
Reviewed by the Butler County Planning Commission this 21st day of July 2021.
Secretary: R. Hoyer
Chairman: J. Hoyer

COMMONWEALTH OF PENNSYLVANIA JSS:
COUNTY OF BUTLER
Recorded in the Recorder's Office for the recording of deeds, plans, etc., in said County in Plan Book Volume 398 page 18.
Given under my hand and seal this 28th day of September 2021.
Recorder: Michele M. Mustello
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

PLAN BOOK 398
PAGE 18

L J J	Land Surveyors, Inc. 523 North Main Street P.O. Box 1061 Butler, PA 16003-1061 (724) 287-6865 Cheryl A. Hughes, PLS Owner	
	PLAN OF SUBDIVISION FOR: GEORGE L. & DIANE M. McCASLIN SITUATE: CLAY TWP., BUTLER CO., PA	
Date 07/13/2021	Scale 1" = 50'	Dwn By BEC
Parcel No. 080-2F55-30B	Db-Pg 201107250017358	Ckd By CAH
Address HALL ROAD		Service No. 21-066



LOCATION MAP

NOTE: NO ABSTRACT OF TITLE, NOR TITLE COMMITMENT, NOR RESULTS OF A TITLE SEARCH WERE FURNISHED TO THE SURVEYOR THERE MAY EXIST OTHER DOCUMENTS OF RECORD THAT WOULD AFFECT THIS SURVEYED PARCEL.

SUBJECT TO :

EASEMENTS, SERVITUDES, RIGHTS-OF-WAY, LEASES, EXCEPTIONS, RESERVATIONS, RESTRICTIONS, ECT., IF ANY THAT MAY APPEAR EITHER RECORDED OR UNRECORDED.

BUILDING SETBACK LINES:
FRONT 60' FROM R/W

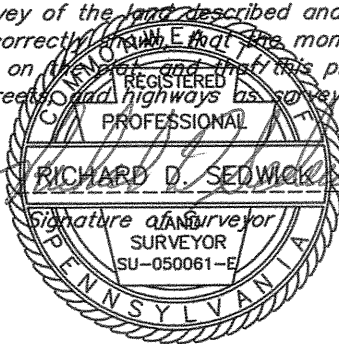
Certification by Professional Land Surveyor

I, Richard D. Sedwick, a Professional Land Surveyor, registered by the Commonwealth of Pennsylvania, do hereby certify that the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correct and that the monuments and markers have been set as shown on the plan and that this plan correctly represents the lots, land, streets and highways as surveyed.

JUNE 2021

DATE

SEAL



Final approval by the Donegal Twp. Planning Commission

this _____ day of _____, 20____

Secretary

Chairman

Final approval by the Donegal Twp. Supervisors

this 28 day of Sept - 2021

Secretary

Chairman

Reviewed by the Butler County Planning Commission

this 18th day of AUG 2021

Secretary

Chairman

COMMONWEALTH OF PENNSYLVANIA COUNTY OF BUTLER
Recording Certificate

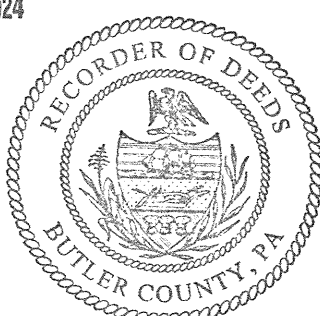
Recorded this 1st day of October, 2021 in the.

Register and Recorder of Deeds office, in Plan Book, Vol. 398, Page 19, SL.

Recorder of Deeds

MICHELE M. MUSTELLO
RECORDER OF DEEDS

My Commission Expires First Monday in January 2024



I, the undersigned, SANDRA BACHMAN, (owners) of the Real Estate shown and described, herein do hereby certify that I have laid off, platted, and subdivided, and hereby layoff, plat, and subdivide said Real Estate in accordance with the within plat.

Owners

Instr: 202110010027893

Pgs: 1 F: 545.00
Michele Mustello
Butler County Recorder PA

10/1/2021 11:50 AM
T20210020221

in and for said state and county personally came

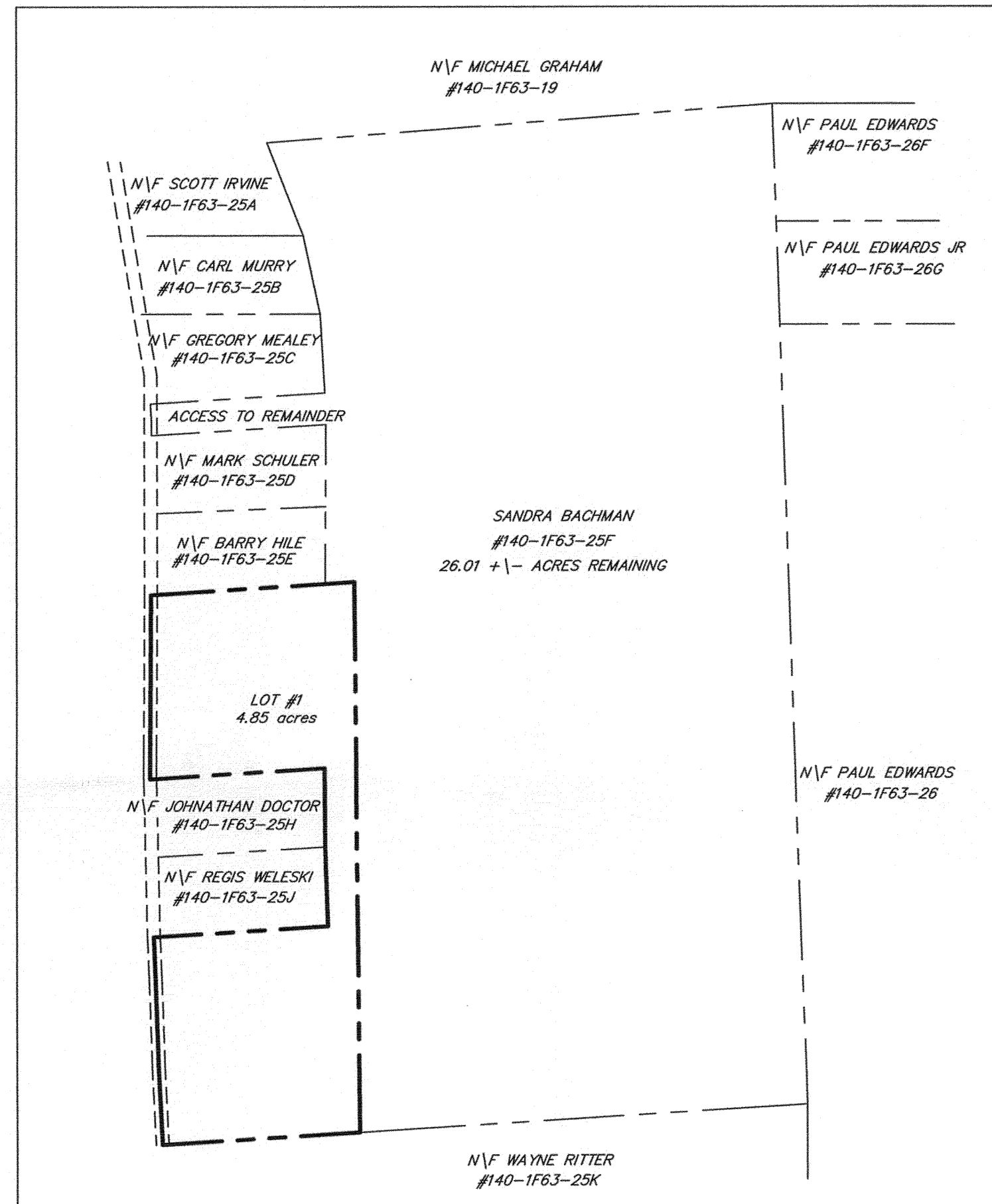
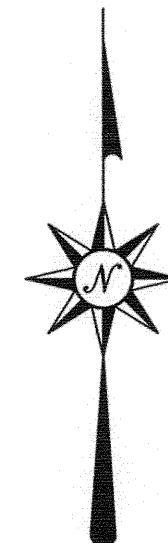
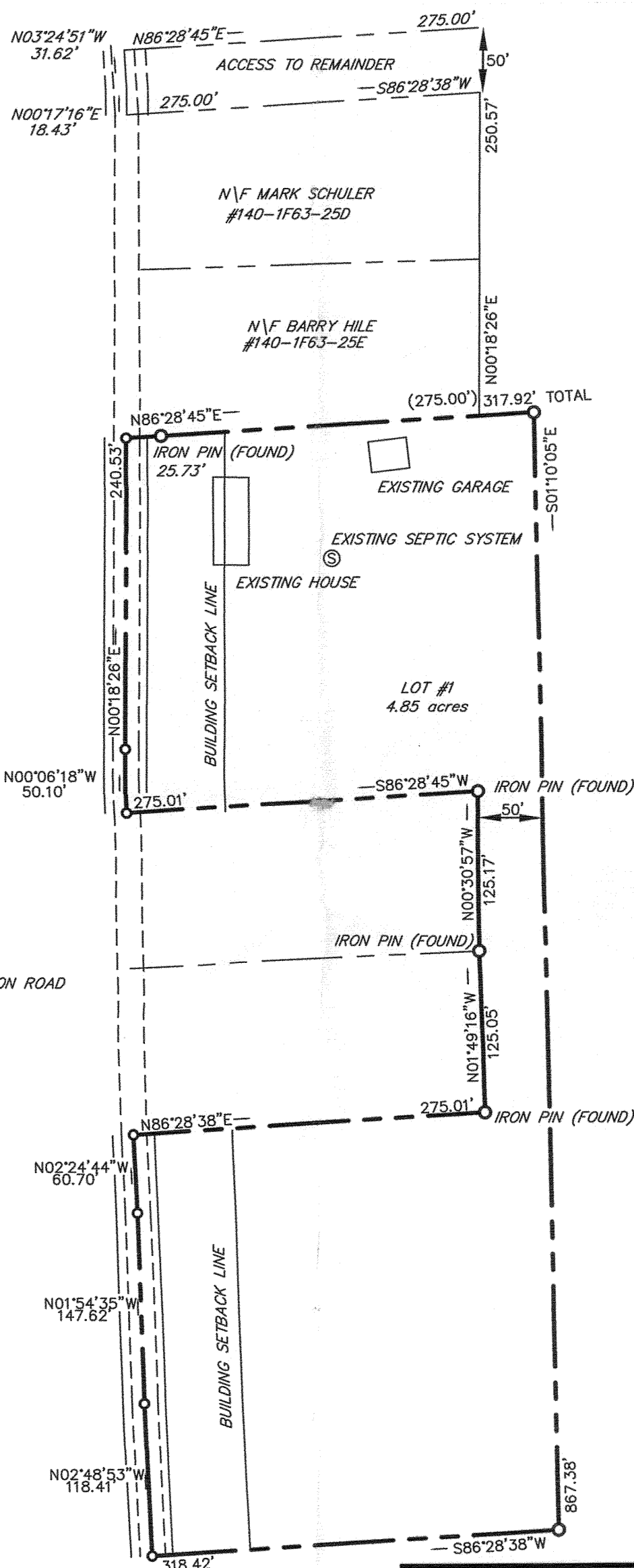
Sandra Bachman known to be the person whose name is

subscribed to the within instrument.

In witness whereof I have here unto set my name and official seal.

T. J. E. O. F. 11/2022

Notary Public



PARENT TRACT MAP

RESIDUAL TRACT NOTE:

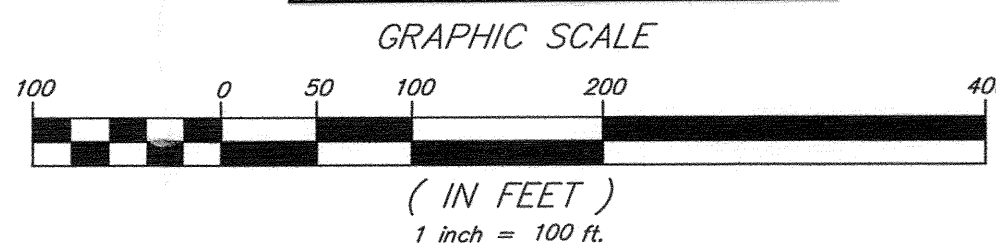
"As of the date of this plot plan, the residual tract of this subdivision is dedicated for the express purpose of agricultural use. No portion of the residual tract of this subdivision has been approved by the municipality or the approving agency for the installation of sewage disposal facilities. No sewage permit will be issued for the installation, construction, connection to or use of any sewage collection, conveyance, treatment or disposal system (except for repairs to existing systems) unless the municipality and approving agency have approved any required sewage facilities planning for the residual tract of the subdivision described herein in accordance with the Sewage Facilities Act (35 P.S. Sections 750.1 et seq.) and regulations promulgated thereunder. Prior to signing, executing, implementing or recording any sales contract or subdivision plan, any purchaser or subdivider of any portion of this residual tract should contact the municipality which is charged with administering the Sewage Facilities Act to determine what type of sewage facilities planning is required and the procedure and requirements for obtaining appropriate permits or approvals."

SANDRA BACHMAN PLAN #1

DRAWN BY:
R.D.S.
CHECKED BY:
D.R.D.
SCALE:
1"=100'
DATE:
JUNE 2021
DRAWING NO:
140-1F63-25F

SUBDIVISION PLAN
MADE FOR
SANDRA BACHMAN

DONEGAL TWP BUTLER CO.
R.D. SEDWICK P.L.S. KITTANNING, PA. 724-355-9302



OWNER'S ADOPTION
WE, OWNERS OR BENEFICIAL OWNERS OF THE LAND SHOWN ON THE SUBDIVISION OF REVISED LOT NO.1, HEREBY ADOPT THIS PLAN AS OUR PLAN OF LOTS OR LAND DEVELOPMENT AND IRREVOCABLY DEDICATE ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC, ANY FUTURE ACCEPTANCE OF SAID PUBLIC STREETS OR PROPERTY BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF MIDDLESEX, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DOE RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF MIDDLESEX, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC STREETS OR PROPERTY AND THE PHYSICAL GRADING THERE OF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON OUR HEIRS, EXECUTORS, AND ASSIGNS.

NAME Herold DATE 9-29-2021
NAME Donna L. Giammatteo DATE 9/29/21

NAME _____ DATE _____
NAME _____ DATE _____

ACKNOWLEDGMENT OF NOTARY PUBLIC
BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED DANIEL J. GIAMMATTEO JR. AND DONNA L. GIAMMATTEO, AND ACKNOWLEDGED THE FOREGOING ADOPTION, DEDICATION AND PLAN TO BE THEIR ACT AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 29th DAY OF SEPTEMBER, 2021.

MY COMMISSION EXPIRES THE DAY OF AUGUST 3, 2023.

NOTARY PUBLIC (SEAL)
Curtis M. Carothers

Commonwealth of Pennsylvania - Notary Seal
Curtis M. Carothers, Notary Public
Allegheny County
My Commission expires August 3, 2023
Commission number 1233434
Member, Pennsylvania Association of Notaries

SURVEYOR'S CERTIFICATION:

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THAT THE SURVEY AND PLAN SHOWN HEREON CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME.

06.17.2021
DATE
MARTIN R. STOUGHTON
SU 075370
REGISTRATION NUMBER



MIDDLESEX TOWNSHIP SUPERVISORS:

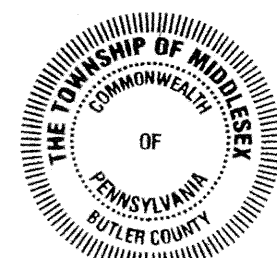
THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX, HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF MIDDLESEX HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX THIS 19th DAY OF AUGUST, 2021.

SECRETARY [Signature] CHAIRMAN, BOARD OF SUPERVISORS [Signature]

SUPERVISOR _____ SUPERVISOR _____

SEAL



BY THE PLANNING COMMISSION:

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF MIDDLESEX, THIS 27 DAY OF JUNE, 2021.

SECRETARY [Signature] CHAIRMAN, BOARD OF SUPERVISORS [Signature]



BY THE MUNICIPAL ENGINEER:

I, Jeffrey A. Mikesic, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER OF THE TOWNSHIP OF MIDDLESEX, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

8/19/21 PE083712 (SEAL) SIGNATURE [Signature]



REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 16th DAY OF JUNE, 2021.

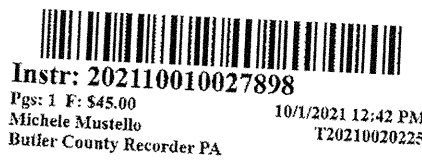
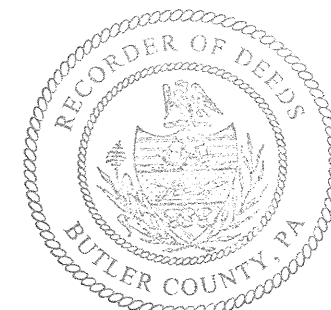
SECRETARY [Signature] CHAIRMAN, BUTLER COUNTY PLANNING COMMISSION [Signature]

Butler Co. Plan # 21134



RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 348 PAGE(S) 20 THIS 1st DAY OF OCTOBER, 2021.

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



LINE	ARC	CHORD BEARING	RADIUS	DELTA	CHORD	TANGENT
C1	44.70'	N71°34'44"W	575.00'	4°27'14"	44.69'	22.36'
C2	91.48'	N54°47'08"W	140.00'	37°26'12"	89.86'	47.44'

TOTAL ACREAGE 2.592
LOT 1A 1.296 ACRES
LOT 1B 1.296 ACRES

FLOOD ZONE INFORMATION:

THIS PROPERTY IS LOCATED IN AREA OF MINIMAL FLOOD HAZARD ZONE "X"
TOWNSHIP OF MIDDLESEX 421229

PER FEMA MAP NUMBER 42019C0537D WITH EFFECTIVE DATA OF 08/02/2018

GENERAL NOTES:

- ADJOINING DEED REFERENCES BASED ON CURRENT INFORMATION FOUND IN THE WEBSITE OF COUNTY OF BUTLER PA MAPPING DEPARTMENT.
- ACCORDING TO THE CURRENT PENNSYLVANIA DCED FLOOD ZONE MAP THIS PARCEL APPEARS TO BE LOCATED IN THE FOLLOWING ZONE: X.
- THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS, RESTRICTIONS, RIGHT -OF -WAYS OF RECORD, GOVERNMENTAL ORDINANCES AND/OR REQUIREMENTS THAT MAY LIMIT THE USE OF THIS PROPERTY.
- ALL BEARINGS ARE BASED ON PLAN BOOK 186 PAGE 20, ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- AREA BY COORDINATE METHOD.
- PROPERTY ZONED AG-A

- LEGEND
- IRF-IRON REBAR FOUND
 - IRF-IRON REBAR SET
 - GP-GAS PEDESTAL
 - DROP INLET
 - PP-POWER POLE
 - SIGN
 - CORRUGATED PLASTIC PIPE
 - INVERT
 - ELEVATION
 - RIGHT OF WAY
 - PROPOSED SANITARY SEWER TIE IN

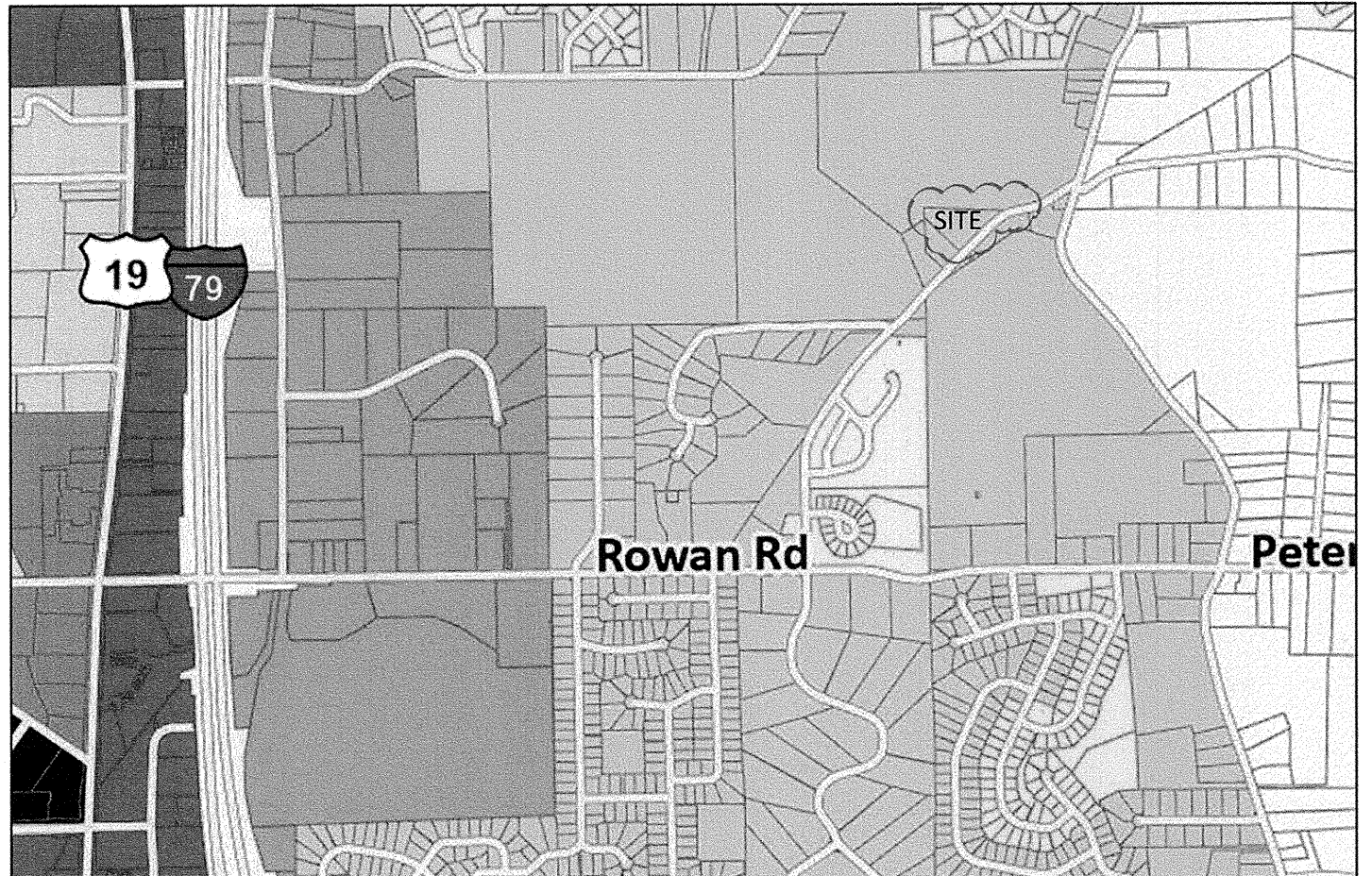
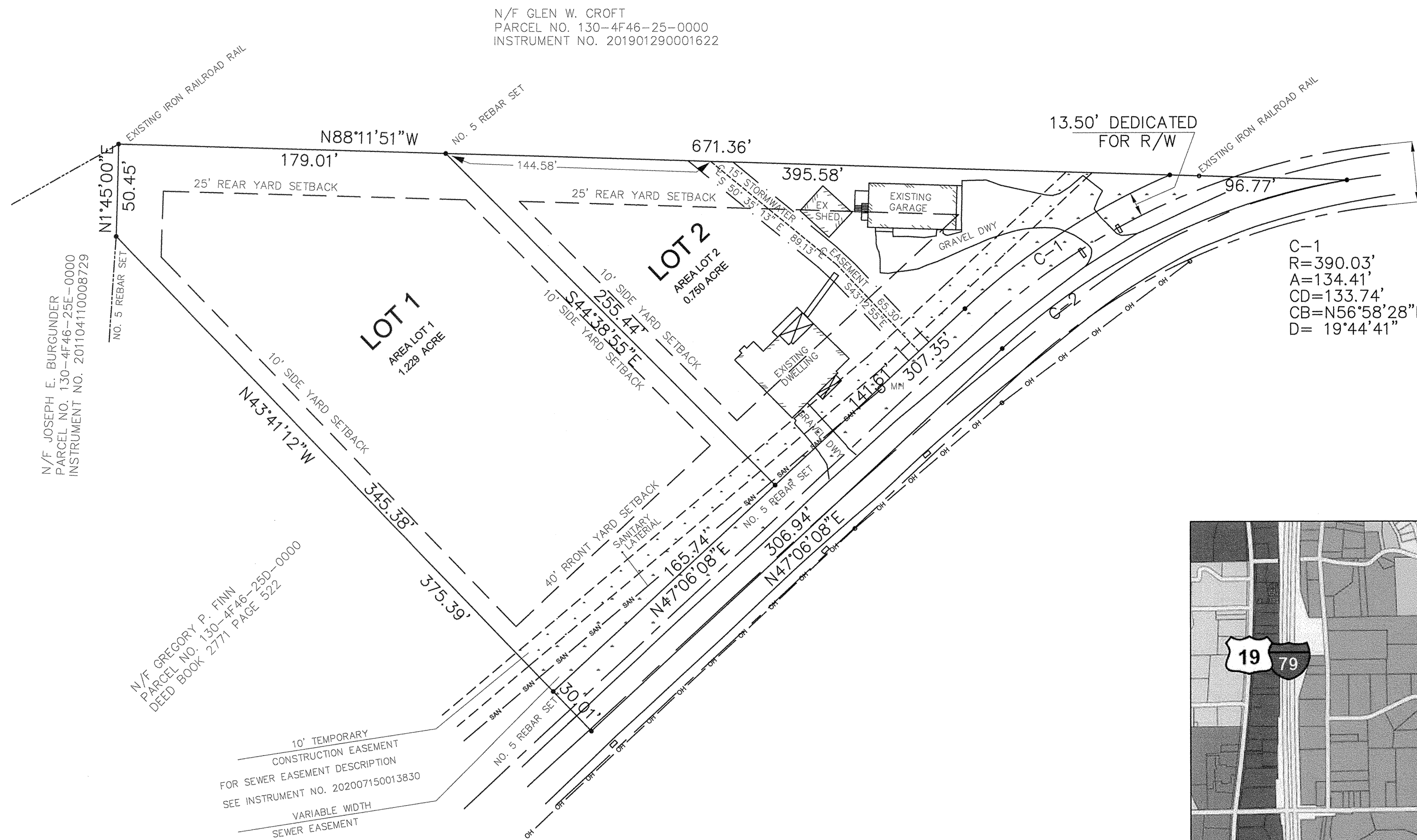
MIN. LOT AREA	WITH PUBLIC WATER AND SEWERAGE	WITHOUT PUBLIC WATER OR SEWERAGE
MIN. LOT WIDTH	32.670 S.F. (3/4 ACRES)	43.560 S.F. (1.0 ACRES)
MIN. LOT DEPTH	125' FT	125' FT
MIN. FRONT YARD SETBACK	50' FT	50' FT
MIN. SIDE YARD SETBACK	25' FT	25' FT
MIN. REAR YARD SETBACK	75' FT	75' FT

SAVAGE GREGORY A
Deed Info 2799-0787
Tax map number 230-3F59-6B2-0000

PATER ERIC & KELLY
Deed info 200506220016282
Tax map Number 230-3F59-6A-0000

THE PROPOSED FORCE MAIN WILL STAY WITHIN THE RIGHT OF WAY OF DENNY ROAD AND EXTEND TO THE MANHOLE AT THE INTERSECTION OF SUNSET VIEW DRIVE AND DENNY ROAD

1.	5/28/21	REVISED SURVEYORS CERTIFICATE REVISED MUNICIPAL CERTIFICATE ADDED EXISTING CONTOURS ADDED SETBACKS	NOK
2.	6/17/21	REVISED SETBACKS ON LOT 1A ADDED PROPOSED FORCE MAIN REVISED OWNERS CERTIFICATE	RMS
NO.	DATE	REVISION	BY
SUBDIVISION OF REVISED LOT No.1 2.592 ACRES FOR DANIEL J. GIAMMATTEO, JR. AND DONNA L. GIAMMATTEO			
TAX MAP NUMBER 230-3F59-6B1-0000 INSTRUMENT No. 202105100013188 VESTING DEED- RECORDED 05/10/2021			
GRAPHIC SCALE 0 40 80 SCALE: 1" = 40'			
PROJECT NO SCALE 1" = 40' DATE 05-03-2021 DRAWN BY CHECKED BY OF SHT			
PREPARED BY: MARTIN R. STOUGHTON LICENSE NUMBER SU 075370 ESP Associates, P.A. One Williamsburg Place Suite G-5 Box 13 Warrendale, PA 15086 724-462-6606 (Cell) 878-332-2163 (Office) www.espassociates.com			



VICINITY MAP
1" = 1000'

R-2 ZONING REQUIREMENTS:

MINIMUM LOT AREA:	0.75 ACRE WITH PUBLIC SEWER/ 1.0 ACRE WITHOUT PUBLIC SEWER
MINIMUM LOT WIDTH:	85.00 FT WITH PUBLIC SEWER/ 100.00 FT WITHOUT PUBLIC SEWER
MINIMUM FRONT SETBACK:	40.00 FT
MINIMUM SIDE SETBACK:	10.00 FT
MINIMUM REAR SETBACK:	25.00 FT
MINIMUM LOT FRONTAGE:	25.00 FT
MAXIMUM BUILDING HEIGHT:	35.00 FT
MAXIMUM LOT COVERAGE:	15%

REFERENCES:
DEED OF ERNEST F. KUHS
INSTRUMENT NO. 200001070000462
RECORDED IN THE RECORDER OF DEEDS OFFICE
BUTLER COUNTY, PENNSYLVANIA

CRANBERRY TOWNSHIP SEWER EASEMENT
INSTRUMENT NO. 20204150013830
RECORDED IN THE RECORDER OF DEEDS OFFICE
BUTLER COUNTY, PENNSYLVANIA

AREA TABLE

CALCULATED DEED AREA	100465.361 SQ FT	2.306 ACRES.
----------------------	------------------	--------------

PLAN AREA		
AREA LOT 1	53553.281 SQ FT	1.229 ACRES.
AREA LOT 2	32670.055 SQ FT	0.750 ACRE
ROAD R/W	14242.025 SQ FT	0.327 ACRE
TOTAL PLAN AREA	100465.361 SQ FT	2.306 ACRES.

GENERAL PLAN NOTES:

OWNER
ERNEST F. KUHS
114 WOODFORD DR
EVANS CITY, PA 16033

PROPERTY ADDRESS
8189 ROWAN ROAD
CRANBERRY TOWNSHIP, PA 16066
TAX PARCEL: 130-4F46-25C-0000
INSTRUMENT # 200001070000462

Certification of Title (Mortgage Clause and Consent of Mortgagee).

I, Ernest F. Kuhs, hereby certify that the title to the property contained in the Ernest F. Kuhs Plan of Lots is in the name of Ernest F. Kuhs and is recorded in instrument no. 200001070000462
Ernest F. Kuhs
Signature of Owner

Ernest F. Kuhs
Print name Title

(NORTHWEST), mortgagee of the property contained in the Ernest F. Kuhs Plan of Lots consents to the recording of said plan and to the dedications and all other matters appearing on the plan.
Paul Schuch
Signature of Representative

Paul Schuch
Print name Title

PROPOSED WATER SUPPLY:
PROPOSED SEWAGE DISPOSAL:

PRIVATE/ WELL
PUBLIC / CRANBERRY TOWNSHIP SEWER AND WATER

TOTAL PROPERTY AFFECTED BY THIS PLAN: 2.40 ACRES
THIS PROPERTY IS CURRENTLY ZONED R-2

A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW" BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED.

I, Daniel A. Santoro, TOWNSHIP MANAGER FOR THE TOWNSHIP OF CRANBERRY TOWNSHIP, CERTIFY THAT CONDITIONS FOR APPROVAL OUTLINED IN THE ORDINANCE/RESOLUTION NO. 2021-40 HAVE BEEN MET IN ACCORDANCE WITH SECTIONS 22-305 AND 22-307 OF THE TOWNSHIP OF CRANBERRY CODE OF ORDINANCES.
9/10/21 DATE 9/10/21 TOWNSHIP MANAGER

I, Michael C. Mala, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER OF CRANBERRY TOWNSHIP, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL THE ENGINEERING AND ORDINANCE, EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY
9/10/21 DATE 9/10/21 REG. NO. PE-073220 SIGNATURE Michael C. Mala

PLAN BOOK	PAGE
398	21



I, ERNEST F. KUHS, OWNER, OF THE LAND SHOWN ON THE ERNEST F. KUHS PLAN OF LOTS, HEREBY ADOPT THIS PLAN AS MY PLAN OF LOTS AND IRREVOCABLY DEDICATE ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON OUR HEIRS, EXECUTORS, AND ASSIGNS.

Ernest F. Kuhs
ERNEST F. KUHS, OWNER
9-7-2021
DATE

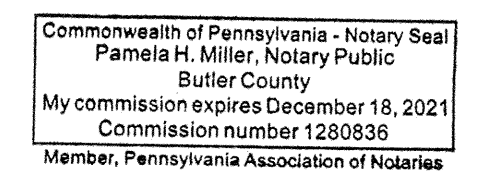
Ernest Engle
WITNESS

COMMONWEALTH OF PENNSYLVANIA)
COUNTY OF BUTLER)SS:

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA, PERSONALLY APPEARED THE NAMED ERNEST F. KUHS AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE HIS ACT AND DESIRED THE SAME TO BE RECOVERED AS SUCH. SWORN TO AND SUBSCRIBED BEFORE ME THIS 7th DAY OF September 2021.

MY COMMISSION EXPIRES THE 18th DAY OF December 2021

Pamela H. Miller
NOTARY PUBLIC



THE BOARD OF SUPERVISORS OF CRANBERRY TOWNSHIP HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF CRANBERRY HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND FACILITIES.

David J. ... SECRETARY
Richard M. Halliday CHAIRMAN, BOARD OF SUPERVISORS

THE TOWNSHIP OF CRANBERRY AGREES NOT TO ISSUE BUILDING PERMITS UNTIL THE "PLANNING MODULE FOR LAND DEVELOPMENT" HAS BEEN APPROVED IN ACCORDANCE WITH THE REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

SECRETARY SECRETARY

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY BY ORDINANCE/RESOLUTION NO. 2021-40 ON THE 26th DAY OF August 2021

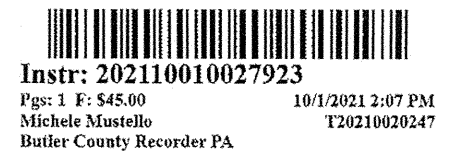
David J. ... SECRETARY
Richard M. Halliday CHAIRMAN, BOARD OF SUPERVISORS

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 15th DAY OF SEPT. 2021

R. H. ... SECRETARY
R. H. ... CHAIRPERSON

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

A. James Leroy, Jr.
A. JAMES LEROY JR, P.L.S. # SU-027129-E DATE 9-07-2021



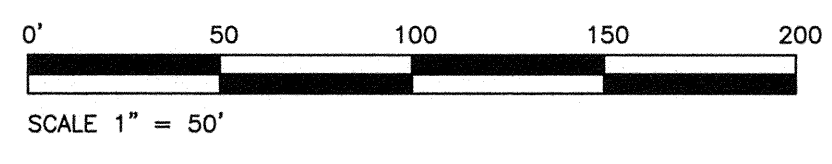
COMMONWEALTH OF PENNSYLVANIA)
COUNTY OF BUTLER)

RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ECT. IN THE COUNTY OF BUTLER IN PLAN BOOK 398 PAGE 21

GIVEN UNDER MY HAND AND SEAL THIS 1st DAY OF October 2021

Michelle M. Mustello
RECORDER OF DEEDS

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



ERNEST F. KUHS PLAN OF LOTS SITUATE TOWNSHIP OF CRANBERRY BUTLER COUNTY, PENNSYLVANIA MADE FOR ERNEST F. KUHS	 AJL Services, LLC P.O. Box 724 Wexford, PA 15090 (724) 776-1180
REVISED DATE:	
DWG NO.: 2120 JOB NO.: 2120 SCALE: 1" = 50'	DATE: AUGUST 10, 2021

Instr: 202110080028525
Pg 1 of 1: 545.00
Michele Mustello
Butler County Recorder PA
10/8/2021 10:07 AM
73201102608

250-3F04-11
N/F H.M. EDWARDS

250-3F04-12F (941 CENTER DRIVE)
N/F CHARLES B. & JOYCE A. MAGER
INST. #200704170009218
EX. 1.704 ACRE
+0.103 ACRE PARCEL A
LOT 2 = 1.807 ACRE TOTAL AFTER
CONVEYANCE

250-3F04-13B (937 CENTER DRIVE)
N/F WANDA J. WESOLOSKI
D.B. 742 PG. 247
EX. 1.787 ACRE
- 0.103 ACRE PARCEL A
LOT 1 = 1.684 ACRE TOTAL AFTER
CONVEYANCE

250-3F04-13
N/F D.L. ANGERT

PARCEL A
0.103 ACRE
To be conveyed to &
combined with lands of
Mager

NOTES:

SUBJECT TO ANY AND ALL EXISTING RIGHTS-
OF-WAY AND EASEMENTS OF RECORD.

ACCORDING TO THE FLOOD INSURANCE RATE
MAP PREPARED FOR THIS TOWNSHIP, THIS
PROPERTY LIES IN ZONE X - AREA OF
MINIMAL FLOOD HAZARD DETERMINED TO BE
OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

PROPERTY OWNERS: CHARLES & JOYCE MAGER
941 CENTER DRIVE
CHICORA, PA 16025

WANDA WESOLOSKI
937 CENTER DRIVE
CHICORA, PA 16025

A HIGHWAY OCCUPANCY PERMIT IS REQUIRED FOR
ACCESS ONTO A STATE HIGHWAY PURSUANT TO
SECTION 420 OF PA STATE HIGHWAY LAW.

BOTH HOMES WERE BUILT PRIOR TO MAY 13, 1974,
THEREFORE NO DEP SEWAGE PERMIT IS AVAILABLE.

REF: MAGER LOT LINE REVISION, 04/17/07, P.B. 299 PG. 31.

REF: MAGER PLAN NO. 1, 12/02/02, P.B. 257 PG. 44.

THE PURPOSE OF THIS PLAN IS A LOT LINE REVISION
ONLY, NO NEW BUILDING LOTS ARE PROPOSED BY
THIS PLAN.

KNOW ALL MEN BY THESE PRESENTS, that we, Charles B. and Joyce A. Mager, of the Township of Oakland, of the County of Butler, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this plan as our Plan of Lots of our property, situate in Oakland Township, Butler County, Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Township of Oakland we hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Oakland, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedications and release shall be binding upon Charles B. and Joyce A. Mager, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 15th day of September, 2021.

ATTEST:
Karen E. Allen Charles B. Mager Joyce A. Mager
NOTARY PUBLIC OWNER OWNER

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Charles B. and Joyce A. Mager, and acknowledged the foregoing release and dedication and plan to be their act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day, 15th day of September, 2021.
WITNESS MY HAND AND NOTARIAL SEAL this

My Commission expires the 25 day of Feb, 2022.

SEAL
Karen E. Allen
NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Karen E. Allen, Notary Public
Butler County
My commission expires February 25, 2022
Commission number 1254547
Member, Pennsylvania Association of Notaries

TITLE CLAUSE (NO MORTGAGE)
We, Charles B. and Joyce A. Mager, owners of the plan of subdivision in our names, do hereby certify that the title of the property is in the names of Charles B. and Joyce A. Mager, as recorded in Instrument Number 200704170009218, Recorder of Deeds Office. We further certify that there is no mortgage, lien, encumbrance against this property.

Nicole Postman Charles B. Mager Joyce A. Mager
WITNESS OWNER OWNER

KNOW ALL MEN BY THESE PRESENTS, that I, Wanda J. Wesoloski, of the Township of Oakland, of the County of Butler, Commonwealth of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this plan as my Plan of Lots of my property, situate in Oakland Township, Butler County, Pennsylvania, and for divers advantages accruing to me, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Township of Oakland I hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Oakland, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedications and release shall be binding upon Wanda J. Wesoloski, my heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 15th day of September, 2021.

ATTEST:
Karen E. Allen Wanda J. Wesoloski
NOTARY PUBLIC OWNER

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Wanda J. Wesoloski, and acknowledged the foregoing release and dedication and plan to be her act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day, 15th day of September, 2021.
WITNESS MY HAND AND NOTARIAL SEAL this

My Commission expires the 25 day of Feb, 2022.

SEAL
Karen E. Allen
NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Karen E. Allen, Notary Public
Butler County
My commission expires February 25, 2022
Commission number 1254547
Member, Pennsylvania Association of Notaries

TITLE CLAUSE (NO MORTGAGE)
I, Wanda J. Wesoloski, owner of the plan of subdivision in my name, do hereby certify that the title of the property is in the name of Wanda J. Wesoloski, as recorded in Deed Book 742 page 247, Recorder of Deeds Office. I further certify that there is no mortgage, lien, encumbrance against this property.

Nicole Postman Wanda J. Wesoloski
WITNESS OWNER

I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that the title of the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.
August 10, 2021 SEAL Cheryl A. Hughes
DATE REG. NO. SU-32490-E

The Board of Supervisors of the Township of Oakland hereby gives public notice that in approving this plan for recording purposes only, the Township of Oakland assumes no obligation, legal or otherwise, expressed or implied, either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

Dan Mager SEAL Jacob Mager
SECRETARY CHAIRMAN/PRESIDENT

Approved by the Supervisors of the Township of Oakland this 6th day of October, 2021.

Dan Mager SEAL Jacob Mager
SECRETARY CHAIRMAN/PRESIDENT

Reviewed by the Oakland Township Planning Commission this 21 day of Sept, 2021.
Dan Mager SEAL Jacob Mager
SECRETARY CHAIRMAN/PRESIDENT

Reviewed by the Butler County Planning Commission this 18th day of AUG., 2021.
R. H. JRM SEAL J. H. JRM
SECRETARY CHAIRMAN/PRESIDENT

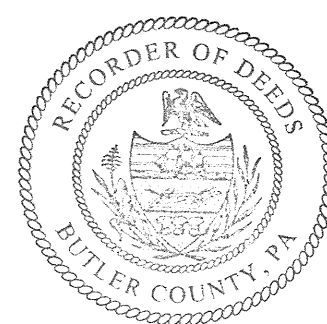
COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER

Recorded in the Recorder's Office for the recording of deeds, plans, etc. in said County in Plan Book Volume 398 page 22.

Given under my hand and seal this 8th day of October, 2021.

SEAL
Michele M. Mustello
RECORDER

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



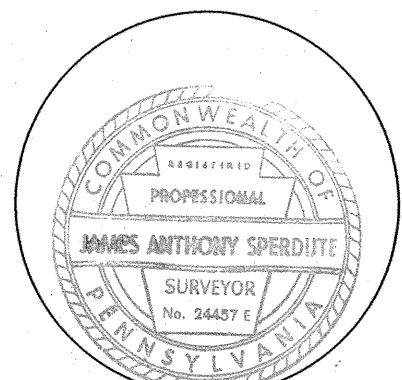
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22

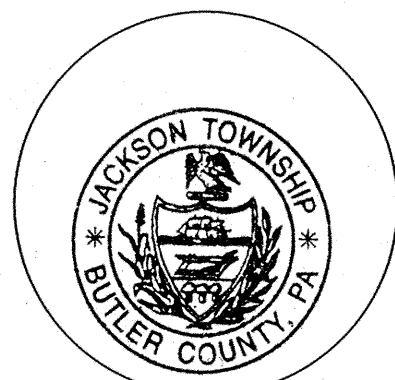
L
S
J
Land Surveyors, Inc.
523 North Main Street
P.O. Box 1081
Butler, PA 16003-1061
(724) 287-6865
Cheryl A. Hughes, PLS Owner

LOT LINE REVISION
FOR: CHARLES B. & JOYCE A. MAGER
and
WANDA J. WESOLOSKI

SITUATE: OAKLAND TWP., BUTLER CO., PA
Date 08/10/2021 Scale 1" = 30' Dwn By REC Ckd By CAH
Parcel No. 250-3F04-12F, 13B Inst. # 200704170009218 Service No.
Address 937 & 941 CENTER DRIVE Db-Pg 742-247 21-125



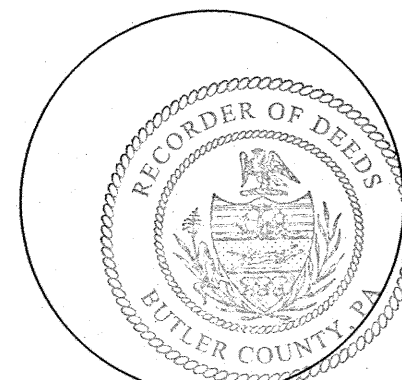
Registered
Surveyor



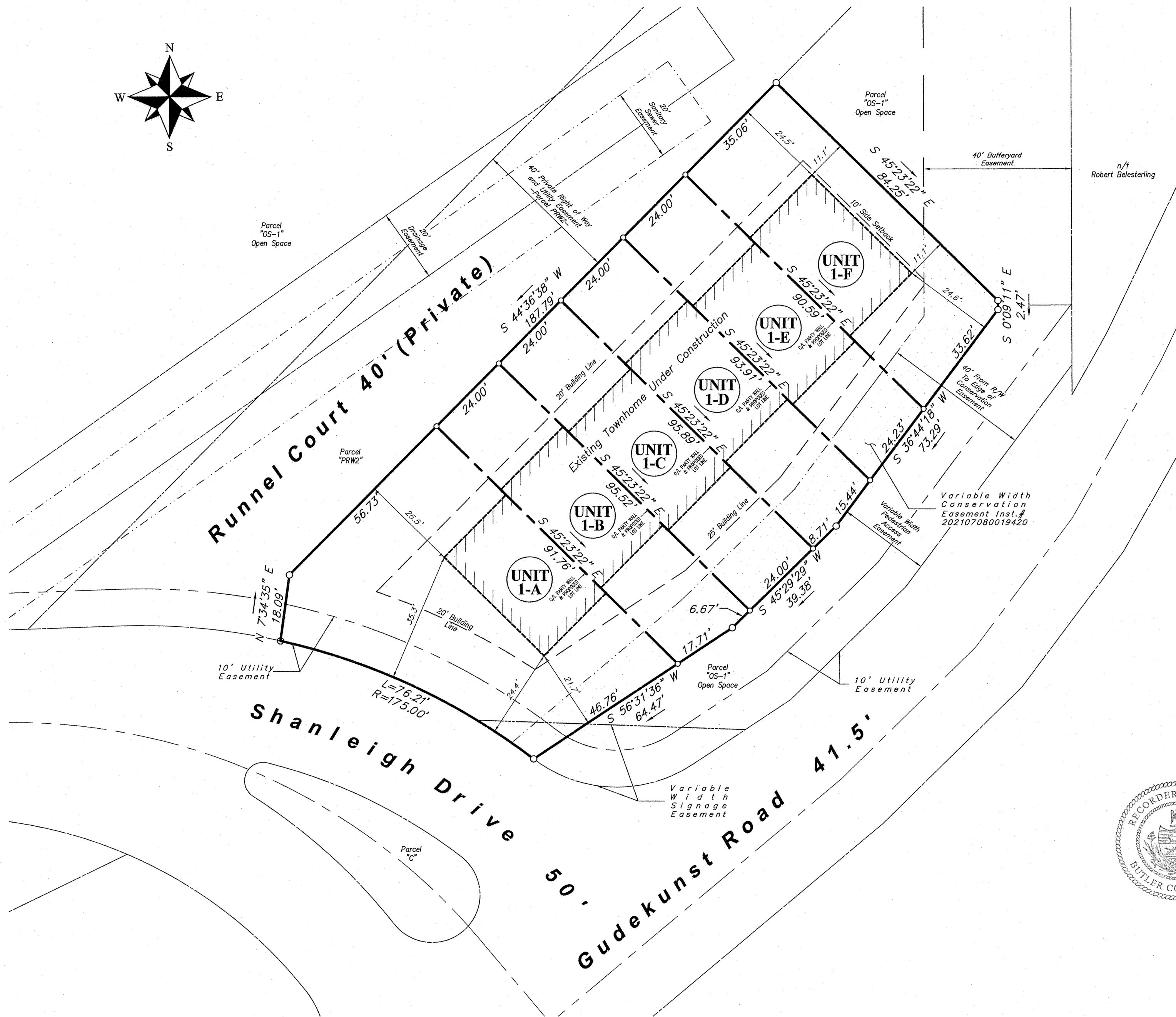
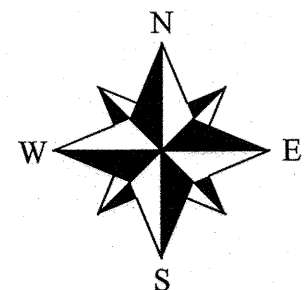
Jackson Township
Board of Supervisors



Butler County
Planning Commission



Butler County
Recorder of Deeds



Lot Area Tabulation

Unit	Sq.Ft.	Acres
1-A	4,871.668	0.112
1-B	2,258.668	0.052
1-C	2,296.895	0.053
1-D	2,287.775	0.053
1-E	2,213.952	0.051
1-F	3,089.505	0.071
TOTALS	17,018.463	0.391

General Plan Notes

- This plan is a re-subdivision of Parcel TH1 of the Seneca Trails Planned Residential Subdivision - Phase 1 as recorded in Plan Book 394, Pages 16-18. No additional units are proposed that were not originally planned for.
- This plan is subject to any and all conditions of the previously approved and recorded plans.
- If applicable, bearings labeled as (NR) are non-radial to the intersecting right of way line.

Property References

Property Owner/Builder:
NVR, Inc.
One Penn Center West, Suite 220
Pittsburgh, PA 15276

Ownership Reference:
Parcel TH-1
Tax Parcel 180-S13-B1
Instrument # 202105280015402

DEVELOPER / PROPERTY OWNER:



DRAWING NUMBER: 1009-2123143

DRAWING SCALE: 1"=20'
DATE: July 7, 2021
DRAWN BY:
REVISIONS:
07/28/21---add easement ref.

Dimensional / Zoning Requirements (Section 27-1516) for Townhomes

	Required	Provided on this plan
Minimum Lot Size (Interior Units - Attached by at least two sides):	2000.00 sf	2,213.952 sf
Minimum Lot Size (End Units - Attached by on side only):	3000.00 sf	3,089.505 sf
Minimum Lot Width at Street Right of Way Line:	22.00 ft	24 ft
Minimum Lot Width at Front Building Setback Line:	22.00 ft	24 ft
Minimum Side Yard Setback (At Attached Dwelling Party Wall) Primary	0.00 ft	0.00 ft
Accessory	5.00 ft	5.00 ft
Minimum Side Yard Setback (At End Dwelling Units): Primary	10.00 ft	10.00 ft
Accessory	5.00 ft	5.00 ft
Minimum Distance Between Primary Buildings:	30.00 ft	22.00 ft*

*Modification Granted for Building Separation as part of overall PRD Approval.

Seneca Trails Amendment No. 1

Being a Re-subdivision of Parcel T1 of the
Seneca Trails Planned Residential Subdivision - Phase 1
As recorded in Plan Book 394, Pages 16-18
Jackson Township, Butler County, Pennsylvania

Sperdute Land Surveying
A Division of Sheffer & Company

108 Deer Lane
Harmony, PA 15037

1712 Mount Nebo Road
Sewickley, PA 15143

Office Phone: 724-452-4362
Email: info@SperduteSurveying.com
James A. Spurdute, RS # 24457-E

NVR, Inc.

By a resolution approved on the 22nd day of August, 2021, the Board of Directors of the NVR, Inc. incorporated in the state of Virginia, owners of the land shown on the Seneca Trails Amendment No. 1 adopted this plan as its plan of lots and irrevocably dedicated all streets and other property identified for dedication on the plan to Jackson Township. This adoption and dedication shall be binding upon the corporation and upon its successors and assigns.

NVR, Inc.

Signature of Officer Witnessing

Signature of Authorized Officer

Joshua Morley VP.
Printed Name & Title of Officer Witnessing

Pete Robertson - Vice President
Printed Name & Title of Authorized Officer

Before me, the undersigned Notary Public in and for the Commonwealth of Pennsylvania and County of Allegheny, personally appeared Pete Robertson of NVR, Inc. who stated that (he/she) is authorized to execute the above adoption and dedication on behalf of the corporation and was present at the meeting at which the action of the corporation was taken to adopt the plan and dedicate public property contained therein to Jackson Township.

Witness my hand and notarial seal this 20th day of August, 2021.

My commission expires the 7th day of December, 2022.

(Seal) Lissette Spurr, Notary Public

Commonwealth of Pennsylvania - Notary Seal
Lissette Spurr, Notary Public
Allegheny County
My commission expires December 7, 2022
Commission number 1195287

I hereby certify that the title to the property contained in the Seneca Trails Amendment No. 1 is in the name of NVR, Inc. and is recorded at Instrument No. 202105280015402. I further certify that there is no mortgage, lien, or other encumbrance against this property.

Witness

Signature of Authorized Officer

Surveyor

I hereby certify that, to the best of my information, knowledge and belief, the survey and plan shown hereon are correct and accurate to the standards required by the ordinances of Jackson Township.

Date 8/9/21
James A. Spurdute, RS # 24457-E

Jackson Township Planning Director/Manager

Jackson Township agrees not to issue building permits until the "Planning Module for Land Development" has been approved in accordance with the regulations of the Pennsylvania Department of Environmental Protection.

Date 9/9/21
Township Manager/Secretary

Approved by the Planning Director of Jackson Township this 27th day of July, 2021, pursuant to Chapter 22, Subdivision and Land Development, of the Code of Jackson Township, as amended. The Planning Director of Jackson Township gives notice that in approving this plan for recording Jackson Township assumes no obligation to accept the dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

Township Secretary Nikki Colton
Planning Director

Jackson Township Board of Supervisors

Approved by the Board of Supervisors of Jackson Township this 27th day of July, 2021. The Board of Supervisors of Jackson Township gives notice that in approving this plan for recording Jackson Township assumes no obligation to accept the dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

Township Secretary
Chairperson

This plat was delivered to Sperdute Land Surveying by Jackson Township on the 1st day of Oct 2021.

Township Manager/Secretary

Butler County Planning Commission

Reviewed by the Butler County Planning Commission on this 21st day of July, 2021.

Secretary Chairperson

Butler County Recorder of Deeds

Recorded in the office of the Recorder of Deeds of Butler County, Commonwealth of Pennsylvania, in Plan Book Volume 394, page(s) 23.

Given under my hand and seal this 8th day of October, 2021.

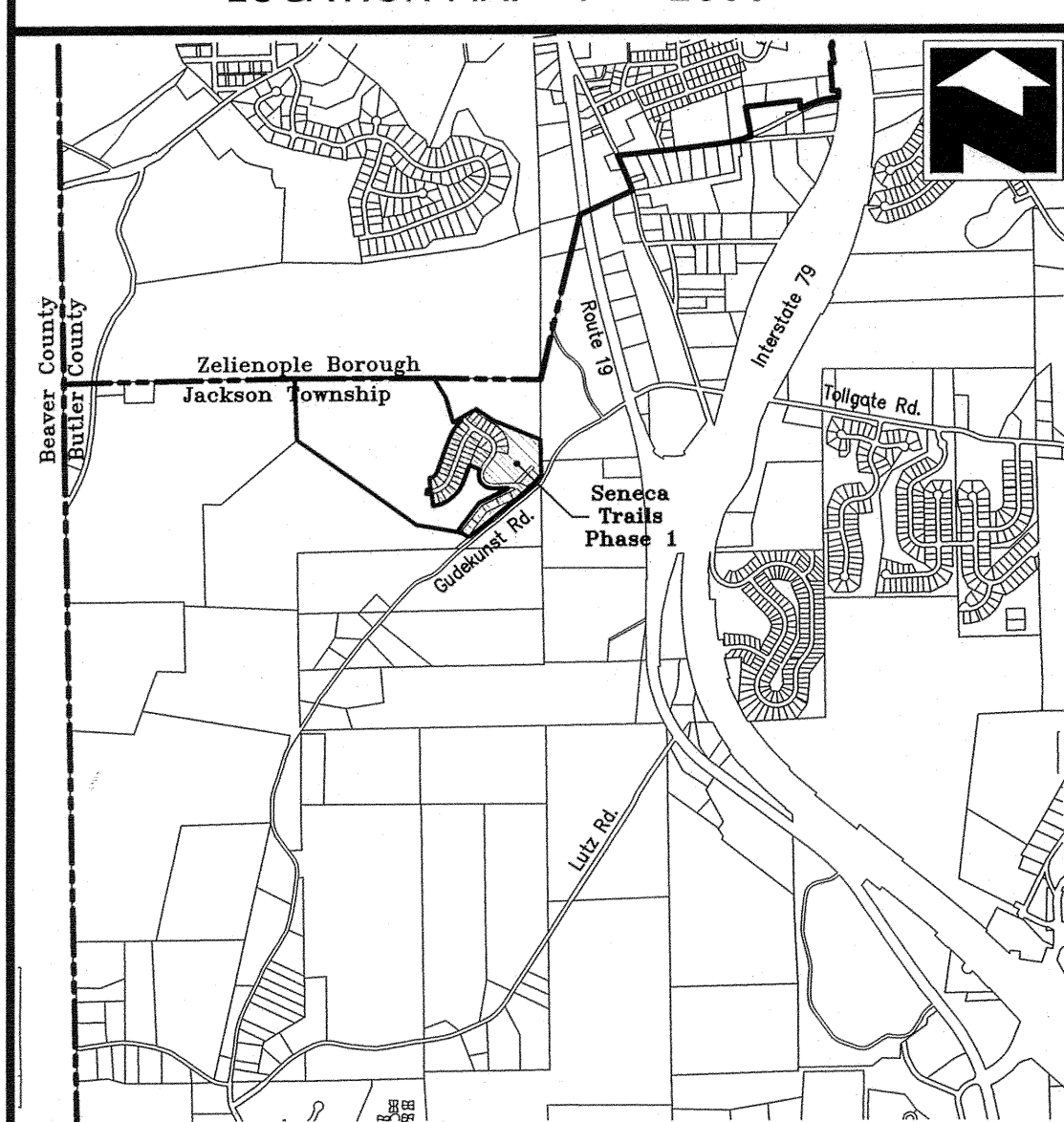
Recorder of Deeds

MICHELE M. MUSTELLO
RECORDER OF DEEDS

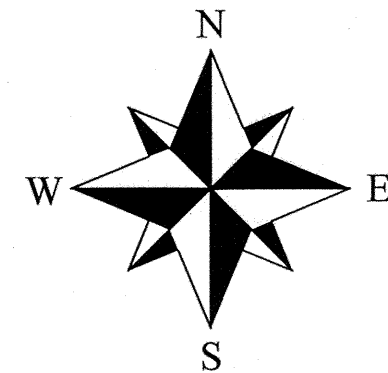
My Commission Expires First Monday in January 2024

Inst# 202110080028568
Page 1 of 540.00
Michele Mustello
Butler County Recorder PA

LOCATION MAP 1" = 2000'



Inst: 202110080028569
Pg: 1 P: 145.00
3/16/2021 11:59 AM
Butler-Notary Public
Butler County Recorder PA



Helenium Drive 50' R/W

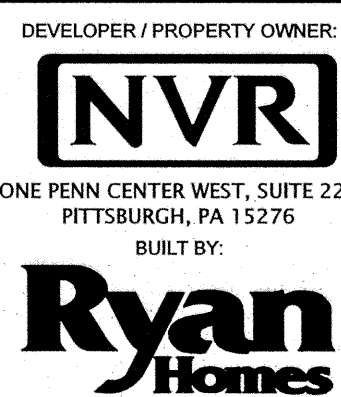
Proposed Lot Areas		
Unit	Sq.Ft.	Acres
64-A	2,808.312	0.064
64-B	1,944.165	0.045
64-C	1,960.444	0.045
64-D	3,186.603	0.073
TOTALS	9,899.524	0.227

General Plan Notes

- This plan is a resubdivision of Lot 64 of the Hesperheide Subdivision Plan-Final as recorded in Plan Book 390, Pages 50-53.
- The purpose of this plan is to further subdivide the affected lot to create fee simple units at the centers of the as-built party walls.
- This plan is subject to any and all restrictions, agreements, covenants and conditions of the previously approved plan.
- If applicable, lines labeled as "NR" are not radial to the adjacent right of way line.
- No new units are being proposed that were not originally accounted for.

Property References

Property Owner:
NVR, Inc.
One Penn Center West, Suite 220
Pittsburgh, PA 15276
Lot Reference:
Lot 64 = Tax Parcel 010-525-AE64
INST# 2021



Drawing Number	1001-2123220
Drawing Scale	1"=20'
Date	August 5, 2021
Project Manager	
Revision	

Whitetail Meadows Amendment No 8

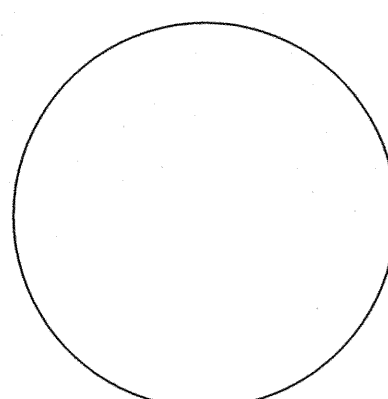
Being A Revision to Lot Number 64 of the
Hesperheide Subdivision Plan - Final
As Recorded in Plan Book 380, Pages 50-53
Adams Township, Butler County, Pennsylvania

Sperdute Land Surveying
A Division of Sheffer & Company

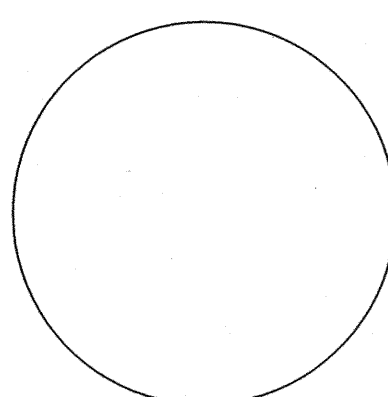
108 Deer Lane
Harmony, PA 16037
Office Phone: 724-452-4362
Email: Info@SperduteSurveying.com



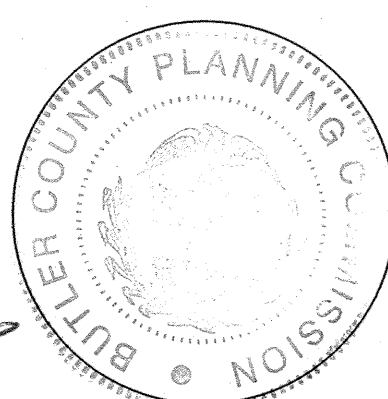
Registered
Surveyor



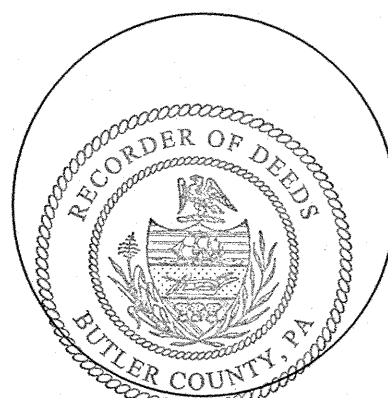
Township
Engineer



Adams Township
Supervisors



Butler County
Planning



Butler County
Recorder of Deeds

NVR, Inc. - Owner

KNOW ALL MEN BY THESE PRESENTS THAT NVR, INC., VIRTUE OF A RESOLUTION OF ITS BOARD OF DIRECTORS DOES HEREBY ADOPT THIS AS ITS PLAN OF SUBDIVISION OF ITS PROPERTY SITUATE IN THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCORDING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, STREETS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE TOWNSHIP OF ADAMS, NVR, INC. HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF ADAMS, ITS SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED.

THIS DEDICATION AND RELEASE SHALL BE BINDING UPON NVR, INC., ITS SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE HAND OF ITS PRESIDENT AND THE SAME TO BE ATTESTED BY ITS SECRETARY, THIS 23rd DAY OF August, A.D. 2021.

ATTEST:
OFFICE WITNESS
[Signature]

VICE PRESIDENT, NVR, INC.

THE FOREGOING ADOPTION AND DEDICATION IS MADE BY NVR, INC. WITH FULL UNDERSTANDING AND AGREEMENT THAT THE APPROVAL OF THE TOWNSHIP BOARD OF SUPERVISORS, IF ATTACHED HERETO, WILL BECOME NULL AND VOID UNLESS THIS PLAN IS RECORDED IN THE RECORDER OF DEEDS OFFICE OF BUTLER COUNTY WITHIN NINETY (90) DAYS FROM THE DATE OF SAID APPROVAL.

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUTLER

ON THIS 23rd DAY OF August, A.D. 2021, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED *[Signature]* of NVR, INC. WHO BEING DULY SWORN, DEPOSES AND SAYS THAT HE/SHE WAS PERSONALLY PRESENT AT THE EXECUTION OF THE ADOPTION, RELEASE AND DEDICATION AND SAW THE COMMON AND CORPORATE SEAL OF THE SAID CORPORATION DULY SHOWN AND SEALED BY AND AS FOR THE ACT AND DEED OF SAID, NVR, INC. FOR THE USES AND PURPOSES THEREIN MENTIONED, AND THAT THE NAME OF THIS DEPENDENT SUBSCRIBED TO THE SAID RELEASE AND DEDICATION AS *[Signature]* of NVR, INC. IN ATTESTATION OF THE DUE EXECUTION AND DELIVERY OF SAID RELEASE AND DEDICATION OF THIS DEPENDENT'S OWN AND PROPER RESPECTIVE HANDWRITING.

Commonwealth of Pennsylvania - Notary Seal
Lisette Spratt, Notary Public
Allegheny County
My commission expires December 7, 2022
Commission number 1195287

VICE PRESIDENT, NVR, INC.

SWORN TO AND SUBSCRIBED BEFORE ME THE DAY AND DATE ABOVE WRITTEN.

WITNESS MY HAND AND NOTARIAL SEAL THIS 23rd DAY OF August, A.D. 2021.

[Signature]
NOTARY PUBLIC

MY COMMISSION EXPIRES THE 7th DAY OF December, A.D. 2022.

Registered Surveyor

I, JAMES A. SPERDUTE, PLS PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

[Signature] 8/20/21
JAMES A. SPERDUTE, PLS # 24457-E DATE

Township Engineer

I, *[Signature]*, A REGISTERED PROFESSIONAL ENGINEER FOR THE TOWNSHIP OF ADAMS, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE ADAMS TOWNSHIP SUBDIVISION AND ZONING ORDINANCES.

[Signature] 09/20/2021
Ronald Ober, R.S. # 26400-E DATE

Adams Township Board of Supervisors

APPROVED BY THE ADAMS TOWNSHIP BOARD OF SUPERVISORS THIS 23rd DAY OF August, 2021.

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF ADAMS HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF ADAMS ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

[Signature] SECRETARY, ADAMS TOWNSHIP SUPERVISORS
[Signature] EDWARD L. VOGEL, ADAMS TOWNSHIP SUPERVISOR
[Signature] CHAIRPERSON, ADAMS TOWNSHIP SUPERVISORS
[Signature] ADAMS TOWNSHIP SUPERVISOR

Butler County Planning Commission

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 18th DAY OF August, A.D. 2021.

[Signature] SECRETARY, BUTLER COUNTY PLANNING COMMISSION
[Signature] CHAIRPERSON, BUTLER COUNTY PLANNING COMMISSION

Butler County Recorder of Deeds

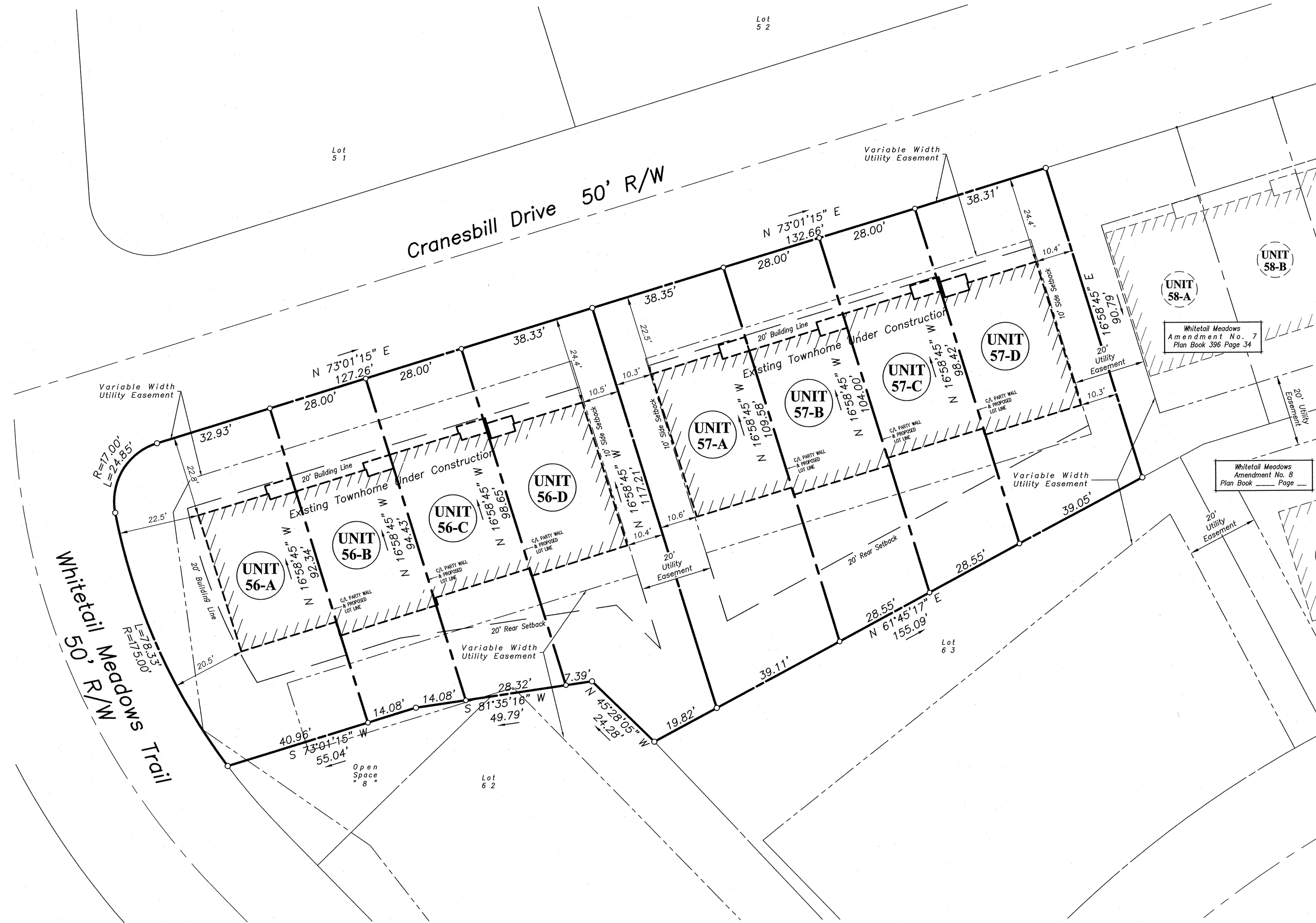
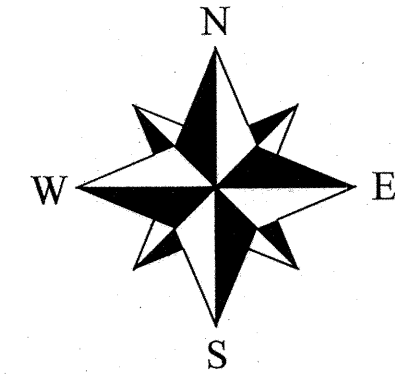
COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUTLER

RECORDED IN THE RECORDER OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN BUTLER COUNTY IN PLAN BOOK VOLUME 398 PAGE 24.

GIVEN UNDER MY HAND AND SEAL THIS 8 DAY OF October, A.D. 2021.

[Signature]
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

Inst: 20210080028570
Page 1 of 24-00
Michele Mustello
Butler County Recorder PA
10/8/2021 11:49 AM
T20336029728



NVR, Inc. - Owner

KNOW ALL MEN BY THESE PRESENTS THAT NVR, INC., VIRTUE OF A RESOLUTION OF ITS BOARD OF DIRECTORS DOES HEREBY ADOPT THIS AS ITS PLAN OF SUBDIVISION OF ITS PROPERTY SITUATE IN THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, STREETS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE TOWNSHIP OF ADAMS, NVR, INC. HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF ADAMS, ITS SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED.

THIS DEDICATION AND RELEASE SHALL BE BINDING UPON NVR, INC., ITS SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE HAND OF ITS PRESIDENT AND THE SAME TO BE ATTESTED BY ITS SECRETARY, THIS 21 DAY OF September, A.D. 2021

ATTEST:
[Signature]
OFFICER WITNESSING

[Signature]
VICE PRESIDENT, NVR, INC.

THE FOREGOING ADOPTION AND DEDICATION IS MADE BY NVR, INC. WITH FULL UNDERSTANDING AND AGREEMENT THAT THE APPROVAL OF THE TOWNSHIP BOARD OF SUPERVISORS, IF ATTACHED HERETO, WILL BECOME NULL AND VOID UNLESS THIS PLAN IS RECORDED IN THE RECORDER OF DEEDS OFFICE OF BUTLER COUNTY WITHIN NINETY (90) DAYS FROM THE DATE OF SAID APPROVAL.

COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER }

VICE PRESIDENT, NVR, INC.

ON THIS 21 DAY OF September, A.D. 2021, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED James A. Spurdute OF NVR, INC. WHO BEING DULY SWORN, DEPOSES AND SAYS THAT HE/SHE WAS PERSONALLY PRESENT AT THE EXECUTION OF THE ADOPTION, RELEASE AND DEDICATION AND SAW THE COMMON AND CORPORATE SEAL OF THE SAID CORPORATION DULY SIGN AND SEALED BY AND AS FOR THE ACT AND DEED OF SAID, NVR, INC. FOR THE USES AND PURPOSES THEREIN MENTIONED, AND THAT THE NAME OF THIS DEPONENT SUBSCRIBED TO THE SAID RELEASE AND DEDICATION AS James A. Spurdute OF NVR, INC. IN ATTESTATION OF THE DUE EXECUTION AND DELIVERY OF SAID RELEASE AND DEDICATION OF THIS DEPONENTS OWN AND PROPER RESPECTIVE HANDWRITING.

Commonwealth of Pennsylvania - Notary Seal
Jennifer Lyn Spurdute, Notary Public
Butler County
My commission expires October 14, 2023
Commission number 1358573
Member, Pennsylvania Association of Notaries

[Signature]
VICE PRESIDENT, NVR, INC.

SWORN TO AND SUBSCRIBED BEFORE ME THE DAY AND DATE ABOVE WRITTEN.

WITNESS MY HAND AND NOTARIAL SEAL THIS 21 DAY OF September, A.D. 2021

[Signature]
NOTARY PUBLIC

MY COMMISSION EXPIRES THE 14 DAY OF October, A.D. 2023

Registered Surveyor

I, JAMES A. SPURDUTE, PLS PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

[Signature] 9/21/21
JAMES A. SPURDUTE, R.S. # 24457-E DATE

Township Engineer

[Signature] A REGISTERED PROFESSIONAL ENGINEER FOR THE TOWNSHIP OF ADAMS, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE ADAMS TOWNSHIP SUBDIVISION AND ZONING ORDINANCES

[Signature] 10/06/2021
Ronald Olson 26400 E DATE

Adams Township Board of Supervisors

APPROVED BY THE ADAMS TOWNSHIP BOARD OF SUPERVISORS THIS 27 DAY OF SEPTEMBER, 2021

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF ADAMS HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF ADAMS ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

[Signature] SECRETARY, ADAMS TOWNSHIP SUPERVISORS
[Signature] ADAMS TOWNSHIP SUPERVISOR
[Signature] ADAMS TOWNSHIP SUPERVISOR
CHAIRPERSON, ADAMS TOWNSHIP SUPERVISORS
ADAMS TOWNSHIP SUPERVISOR

Butler County Planning Commission

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 14TH DAY OF SEPT., A.D. 2021

[Signature] SECRETARY, BUTLER COUNTY PLANNING COMMISSION
[Signature] CHAIRPERSON, BUTLER COUNTY PLANNING COMMISSION

Butler County Recorder of Deeds

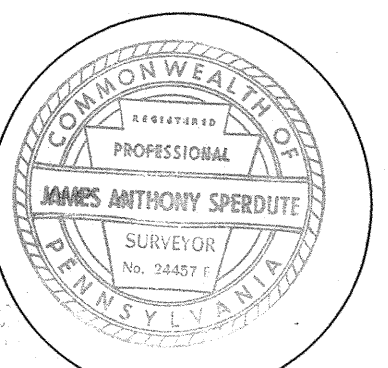
COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER }

RECORDED IN THE RECORDER OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN BUTLER COUNTY IN PLAN BOOK VOLUME 398

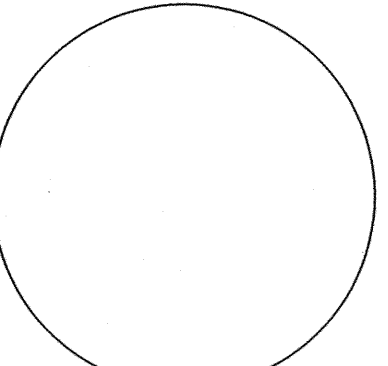
PAGE 25

GIVEN UNDER MY HAND AND SEAL THIS 27 DAY OF October, A.D. 2021

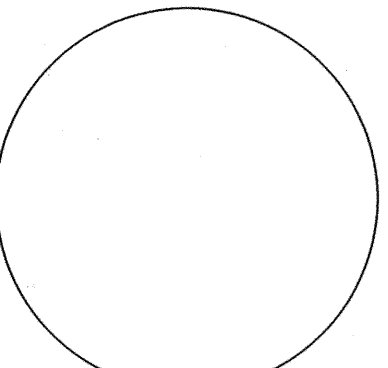
[Signature]
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



Registered
Surveyor



Township
Engineer



Adams Township
Supervisors

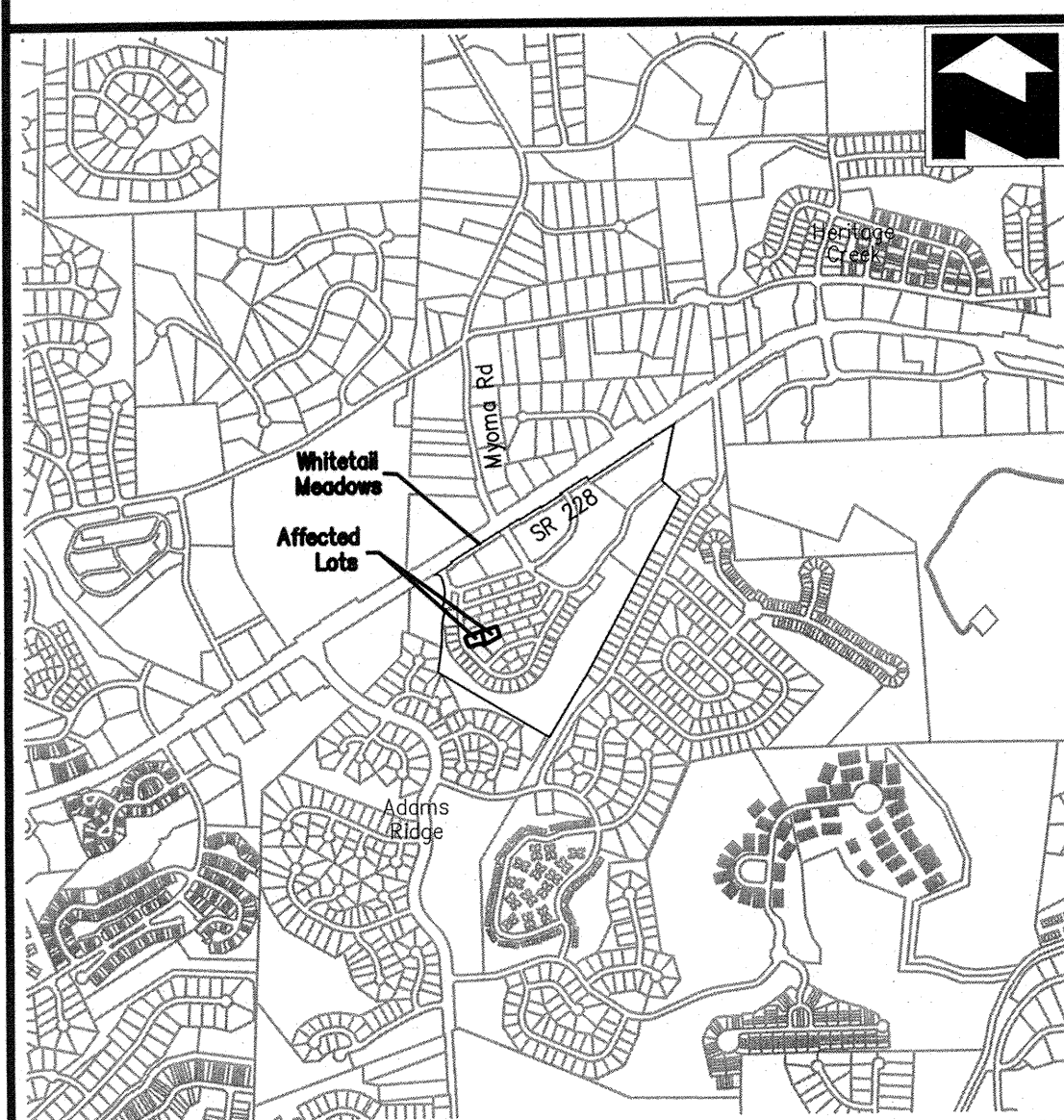


Butler County
Planning



Butler County
Recorder of Deeds

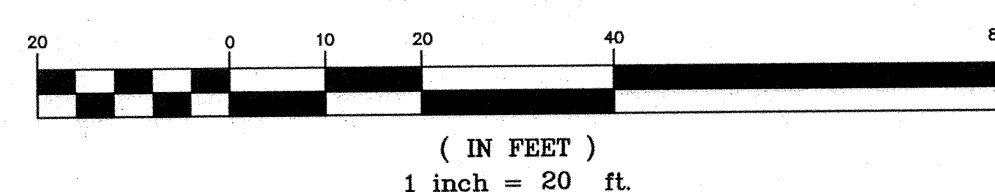
LOCATION MAP 1" = 2000'



Access Note:

The owner or owners of the lots shown on this plan shall allow access over and across their respective lots for repair and maintenance of utilities and stormwater facilities as required.

GRAPHIC SCALE



Proposed Lot Areas

Unit	Sq.Ft.	Acres
56-A	4,424.41	0.102
56-B	2,600.04	0.060
56-C	2,703.21	0.062
56-D	4,320.18	0.099
TOTALS	14,047.84	0.323

Proposed Lot Areas

Unit	Sq.Ft.	Acres
57-A	4,349.26	0.100
57-B	2,990.09	0.069
57-C	2,833.91	0.065
57-D	3,623.95	0.083
TOTALS	13,797.21	0.317

General Plan Notes

- This plan is a resubdivision of Lots 56 & 57 of the Hesperheide Subdivision Plan-Final as recorded in Plan Book 380, Pages 50-53.
- The purpose of this plan is to further subdivide the affected lot to create fee simple units at the centers of the as-built party walls.
- This plan is subject to any and all restrictions, agreements, covenants and conditions of the previously approved plan.
- If applicable, lines labeled as "NR" are not radial to the adjacent right of way line.
- No new units are being proposed that were not originally accounted for.

Property References

Property Owner:
NVR, Inc.
One Penn Center West, Suite 220
Pittsburgh, PA 15276
Lot Reference:
Lot 56 = Tax Parcel 010-S25-AE56
INST# 202108160023402
Lot 57 = Tax Parcel 010-S25-AE57
INST# 202107270021271

DEVELOPER / PROPERTY OWNER:

NVR
ONE PENN CENTER WEST, SUITE 220
PITTSBURGH, PA 15276
BUILT BY:
Ryan Homes

Drawing Number	1001-2123337
Drawing Scale	1"=20'
Date	September 13, 2021
Project Manager	
Revision	
09/14/2021	per review

Whitetail Meadows Amendment No 9

Being A Revision to Lots 56 & 57 of the
Hesperheide Subdivision Plan - Final
As Recorded in Plan Book 380, Pages 50-53
Adams Township, Butler County, Pennsylvania

Spurdute Land Surveying
A Division of Sheffer & Company

108 Deer Lane
Harmony, PA 16037
1712 Mount Nebo Road
Sewickley, PA 15143
Office Phone: 724-452-4362
Email: Info@SpurduteSurveying.com

KNOW ALL MEN BY THESE PRESENTS; THAT WILLIAM A. & ELAINE V. O'BRIEN, DO HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN Clay Township, Butler County, Pennsylvania, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF Clay, WILLIAM A. & ELAINE V. O'BRIEN, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF Clay, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON WILLIAM A. & ELAINE V. O'BRIEN OUR SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 19 DAY OF July, 2021.

ATTEST:

Dan Wiggall WITNESS
William A. O'Brien WILLIAM A. O'BRIEN
Elaine V. O'Brien ELAINE V. O'BRIEN

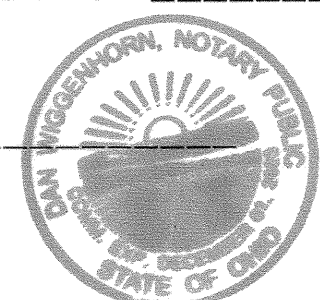
STATE OF PA
COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER) CLAY TOWNSHIP

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED WILLIAM A. & ELAINE V. O'BRIEN AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.

WITNESS MY HAND AND SEAL THIS 19 DAY OF July, 2021.
MY COMMISSION EXPIRES THE 1 DAY OF December, 2023.

Dan Wiggall NOTARY PUBLIC



REVIEWED BY THE CLAY TOWNSHIP PLANNING COMMISSION THIS 27th DAY OF July, 2021.

Michael J. Mustello SECRETARY
Richard J. Geyer CHAIRMAN

NOTE:

1. NON BUILDING WAIVER

"AS OF THE DATE OF THIS DEED/PLOT PLAN RECORDING, THE PROPERTY/SUBDIVISION DESCRIBED HEREIN IS AND SHALL BE DEDICATED FOR THE EXPRESS PURPOSE OF AGRICULTURE USE. NO PORTION (OR LOT NUMBER(S) LOTS 1-3) OF THIS PROPERTY/SUBDIVISION ARE APPROVED BY OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) FOR THE INSTALLATION OF ANY SEWAGE DISPOSAL FACILITY. NO PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE COLLECTION, CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM (EXCEPT FOR REPAIRS TO EXISTING SYSTEMS) UNLESS THE MUNICIPALITY AND DEP HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR THE PROPERTY/SUBDIVISION DESCRIBED HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT (35 P.S. SECTIONS 750.1 ET SEQ.) (ACT) AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR SUBDIVIDER OF ANY PORTION OF THIS PROPERTY SHOULD CONTACT APPROPRIATE OFFICIALS OF CLAY TOWNSHIP (MUNICIPALITY), WHO ARE CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO DETERMINE THE FORM OF SEWAGE FACILITIES PLANNING REQUIRED AND THE PROCEDURE AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR APPROVALS."

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF Clay HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF Clay ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS, OR ROADS, OR GRADES, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLAY, THIS 29th DAY OF July, 2021.

David X. Beachem SECRETARY
David X. Beachem CHAIRMAN, BOARD OF SUPERVISORS
Dale D. Anderson SUPERVISOR

I, GREGORY B. JONES, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS AND OR AGENTS.

7-20-21 DATE
Gregory B. Jones REG. NO. SU-052331-E

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 28th DAY OF July, 2021.

R. H. Jones SECRETARY
J. H. Jones CHAIRMAN

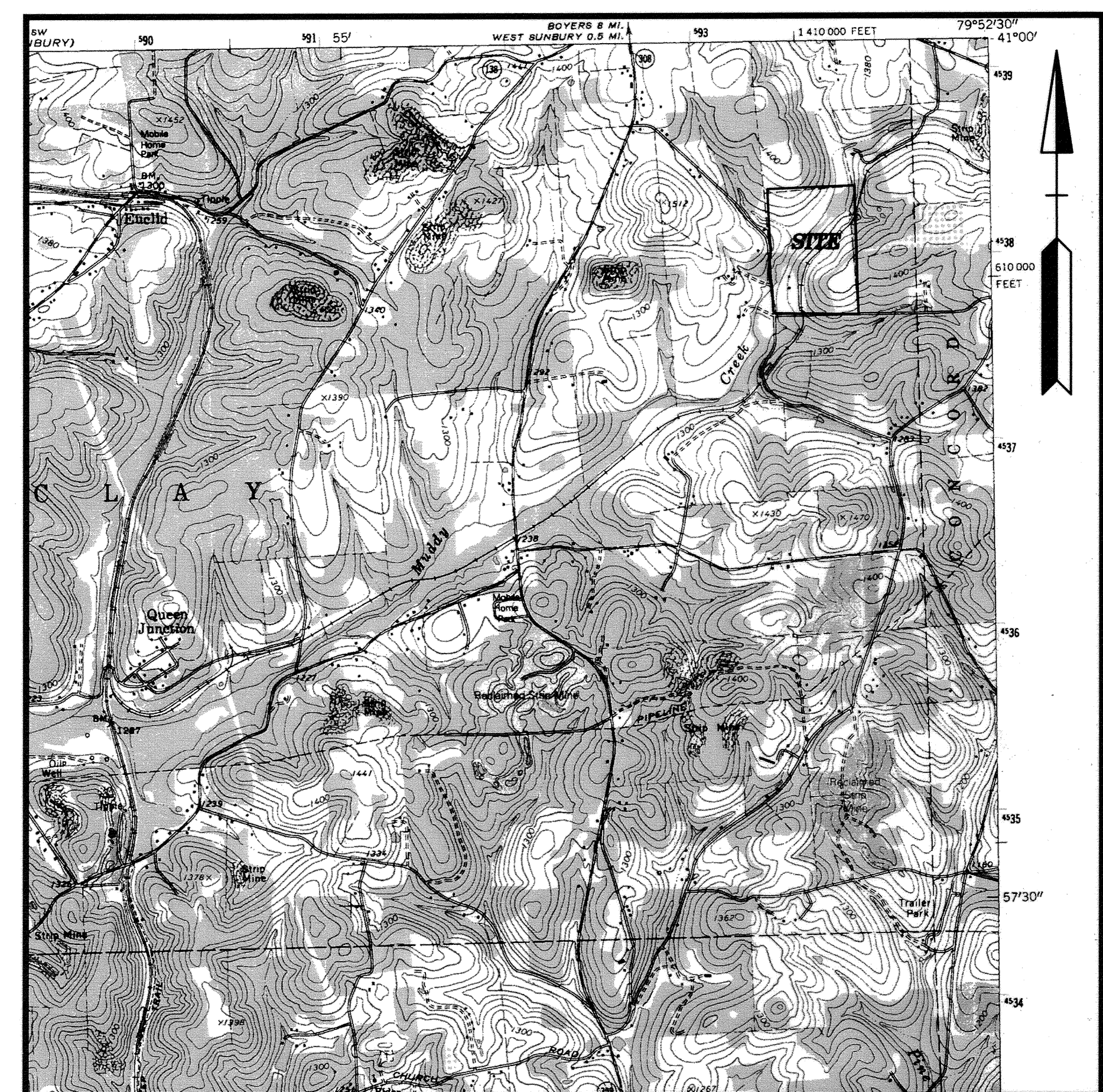
COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER)

RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN SAID COUNTY IN PLAN BOOK VOLUME 398 PAGE 26-27.

GIVEN UNDER MY HAND AND SEAL THIS 8th DAY OF October, 2021.

Michele H. Mustello RECORDER

MICHELE H. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



LOCATION MAP

PLAN BOOK	PAGE
398	26

SITE DATA	
TOTAL PLAN AREA	78.12 ACRES
MINIMUM LOT AREA	1 1/2 ACRES
NUMBER OF LOTS	3 LOTS
MINIMUM FRONT YARD FROM R/W	50 FEET MINIMUM
MINIMUM SIDE YARD	25 FEET MINIMUM
MINIMUM REAR YARD	25 FEET MINIMUM

OWNER:
WILLIAM & ELAINE O'BRIEN
27031 RUSSELL ROAD
BAY VILLAGE OH
44140
Phone: 440-454-3047

O'Brien Plan of Lots

Situate in

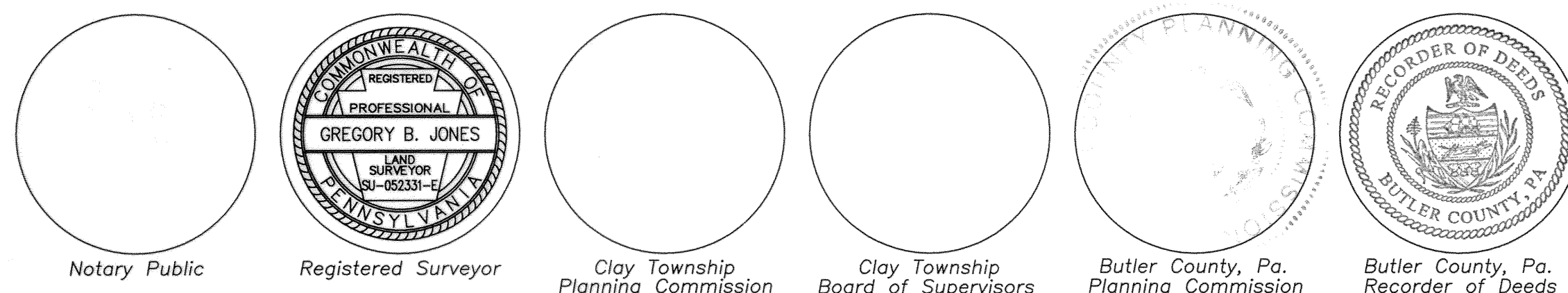
Clay Township
Butler County, Pennsylvania

Prepared For

William A. & Elaine V. O'Brien

Prepared By:
Greg Jones Surveying
752 Harmony Road
Slippery Rock, Pa. 16057
(724) 421-6163

SCALE: AS NOTED
DATE: June 19, 2021
DWG: O'BRIEN-SUBDIVISION.dwg
DRAWN BY: MAM
CHECKED BY: GBJ
SHEET 1 OF 2

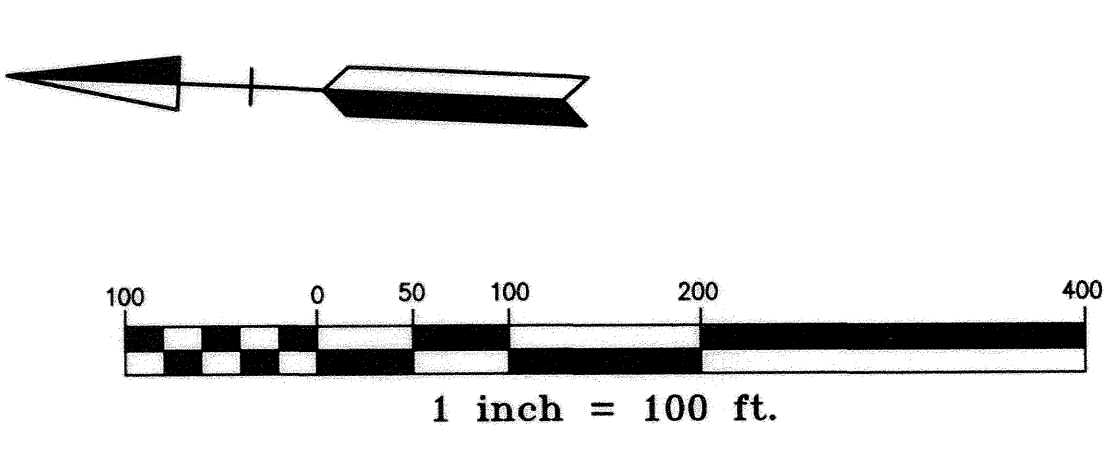
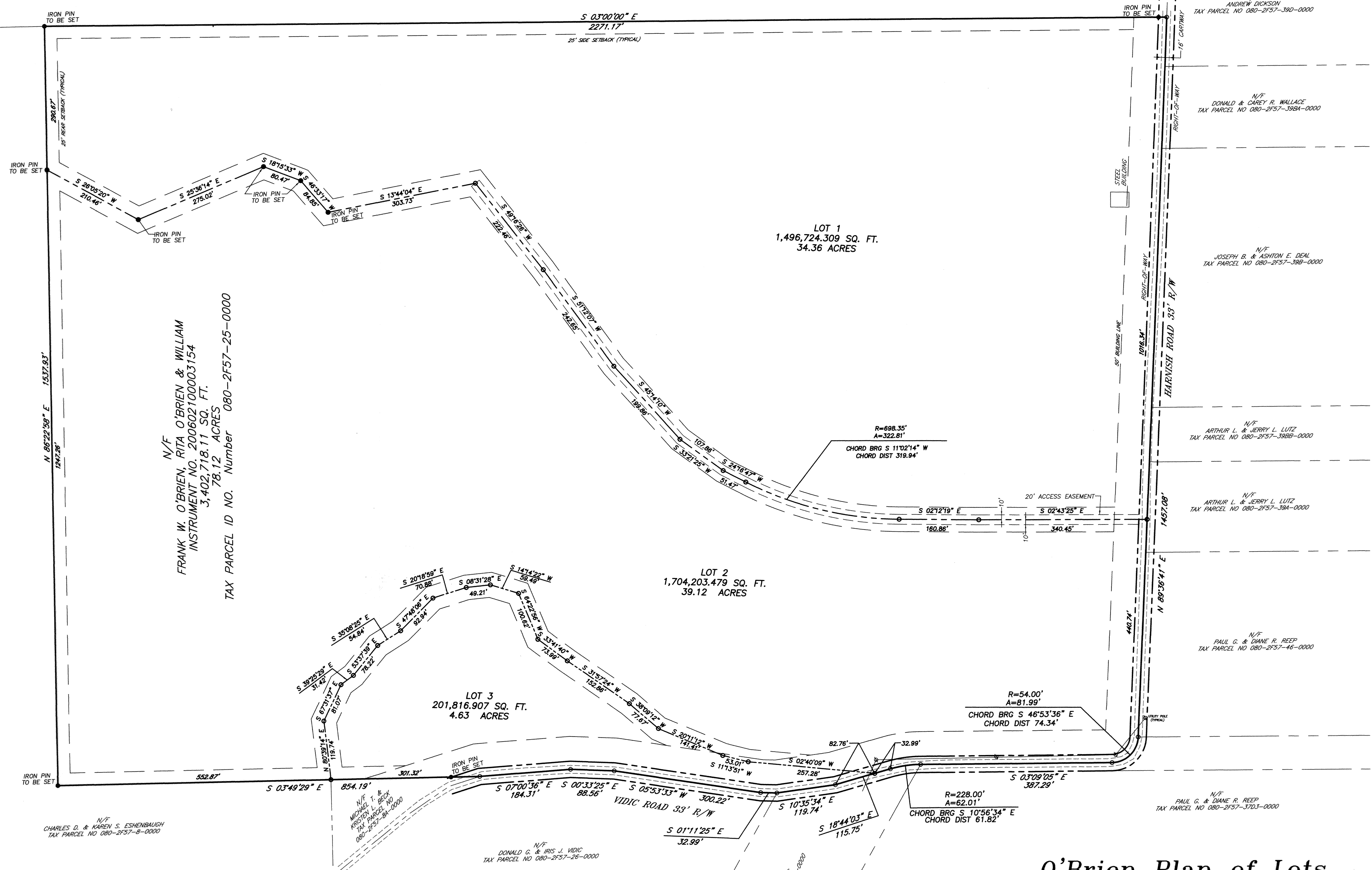


10

N/F
RORY N. & KASEY C. FROGGATT
TAX PARCEL NO 110-2F57-A1-0000

CHARLES D. & KAREN S. ESHENBAUGH
TAX PARCEL NO 080-2F57-B-0000

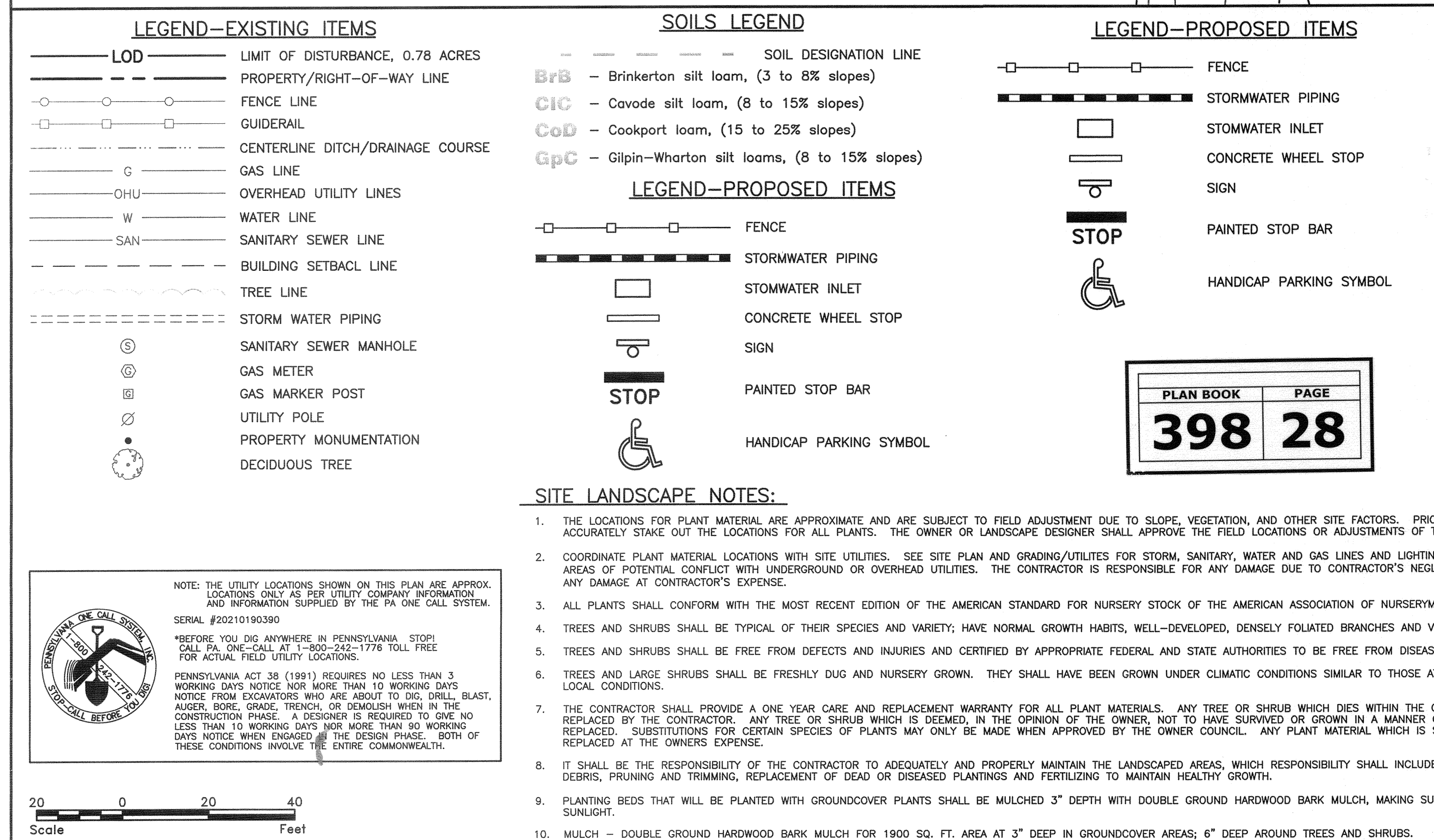
N/F
FRANK W. O'BRIEN, RITA O'BRIEN & WILLIAM
INSTRUMENT NO. 200602100003154
3,402,718.11 SQ. FT.
78.12 ACRES
TAX PARCEL ID NO. Number 080-2F57-25-0000



SITE DATA	
TOTAL PLAN AREA	78.12 ACRES
MINIMUM LOT AREA	1 1/2 ACRES
NUMBER OF LOTS	3 LOTS
MINIMUM FRONT YARD FROM R/W	50 FEET MINIMUM
MINIMUM SIDE YARD	25 FEET MINIMUM
MINIMUM REAR YARD	25 FEET MINIMUM

PLAN BOOK	PAGE
398	27

O'Brien Plan of Lots
Situate in
Clay Township
Butler County, Pennsylvania
Prepared For
William A. & Elaine V. O'Brien
Prepared By:
Greg Jones Surveying
752 Harmony Road
Slippery Rock, Pa. 16057
(724) 421-6163
Scale: 1" = 100'
Date: June 19, 2021
DWG: O'BRIEN-SUBDIVISION.dwg
DRAWN BY: MAM
CHECKED BY: GBJ
SHEET 2 OF 2



TOWNSHIP SECRETARY CHAIRPERSON

RECORDED BY 
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



OWNER'S ADOPTION
KNOW ALL MEN BY THESE PRESENTS THAT I, CARL R. SHULER, JR., OF THE TOWNSHIP OF CLEARFIELD, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF CLEARFIELD, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CLEARFIELD, I HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CLEARFIELD, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNER, HIS HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 7 DAY OF OCTOBER, 2021.

x Carl R. Shuler Jr.
CARL R. SHULER

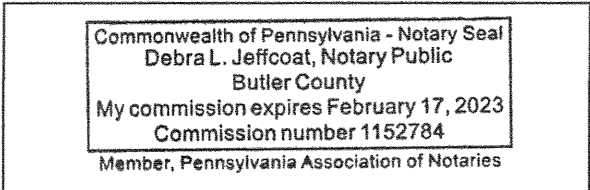
ACKNOWLEDGMENT OF NOTARY PUBLIC

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, CARL R. SHULER, JR., AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 7 DAY OF OCTOBER, 2021.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023

x Debra L. Jeffcoat
NOTARY PUBLIC

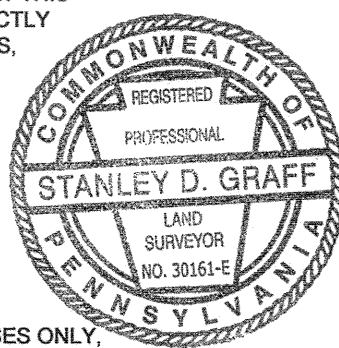


SURVEYOR'S CERTIFICATION

I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

7 Oct 2021
DATE

x Stanley D. Graff
STANLEY D. GRAFF
REG. NO. SU-030161-E



MUNICIPAL DECLARATIONS

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLEARFIELD, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF CLEARFIELD ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLEARFIELD THIS 11th DAY OF October, 2021.

x James S. Smith
SECRETARY

x Donald E. Smith
CHAIRPERSON
BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF CLEARFIELD THIS 4th DAY OF October, 2021.

x Debra M. Dugan
SECRETARY

x Philip J. Hest
CHAIRPERSON
PLANNING COMMISSION

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 24th DAY OF September, 2021.

x R. Han as
SECRETARY

Butler Co. Plan #21215

x J. Han as
CHAIRPERSON
BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN

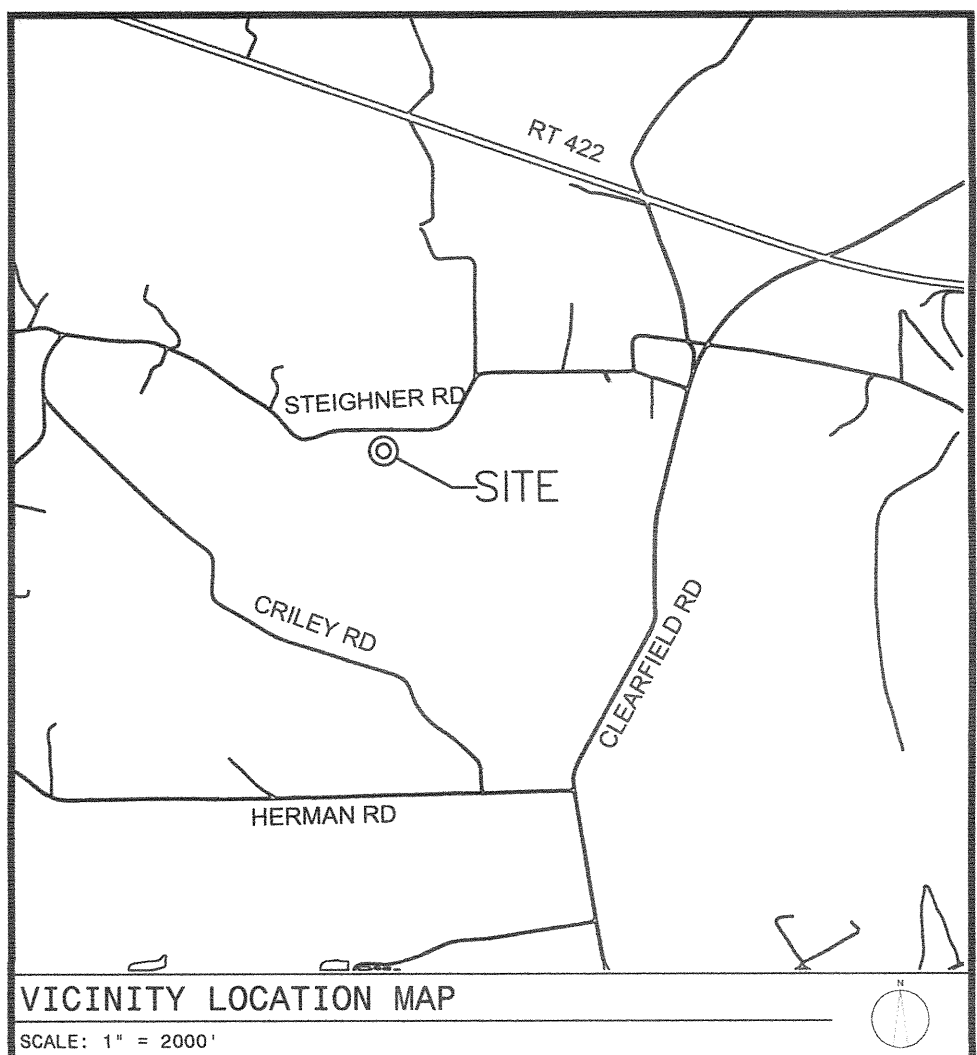
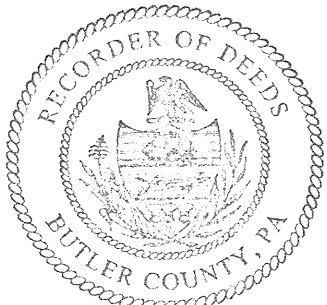
PLAN BOOK VOLUME 398, PAGE(S) 30

GIVEN UNDER MY HAND AND SEAL THIS 15th DAY OF October, 2021.

x Michele M. Mustello
RECORDER OF DEEDS

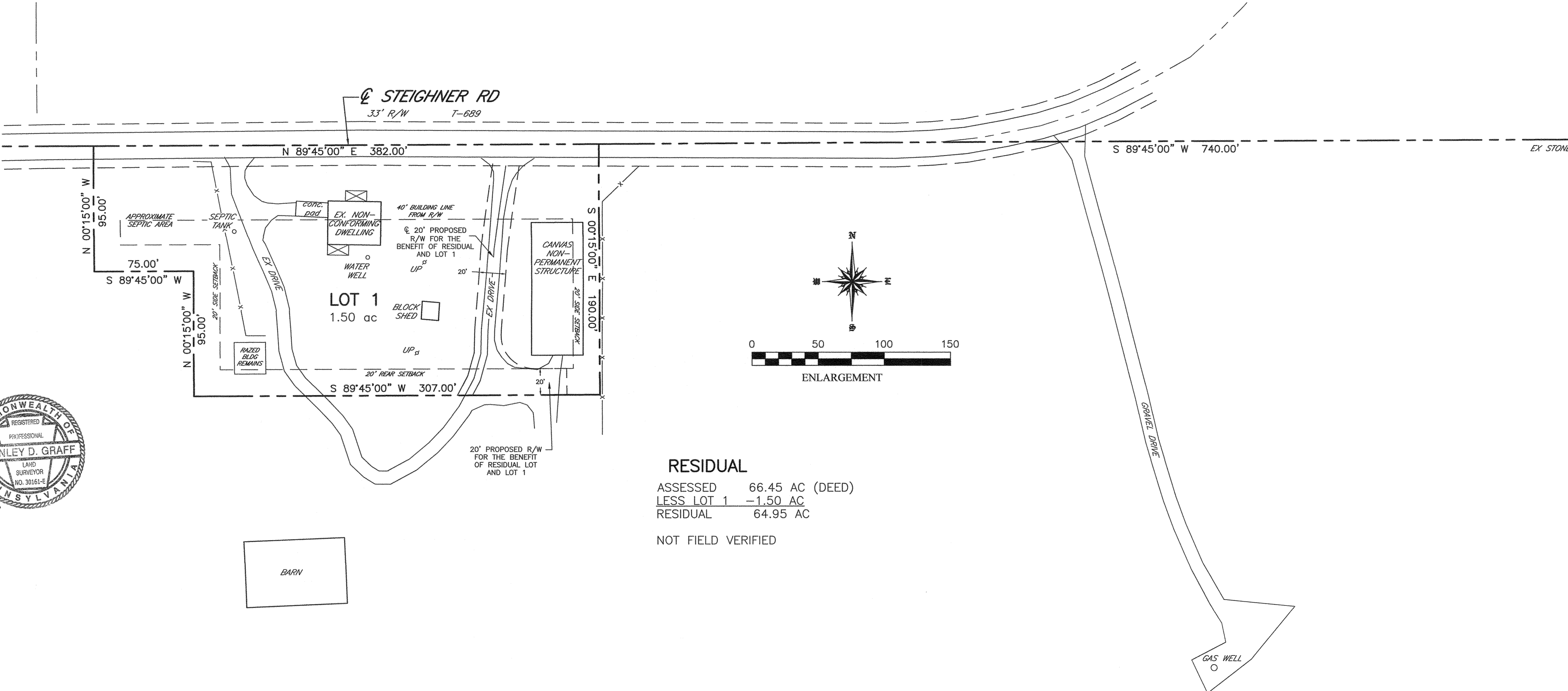
MICHELE M. MUSTELLO
RECORDER OF DEEDS

My Commission Expires First Monday in January 2024



PLAN ORIENTATION NOTE: THE BEARINGS SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (PA-S) / NAD 1983

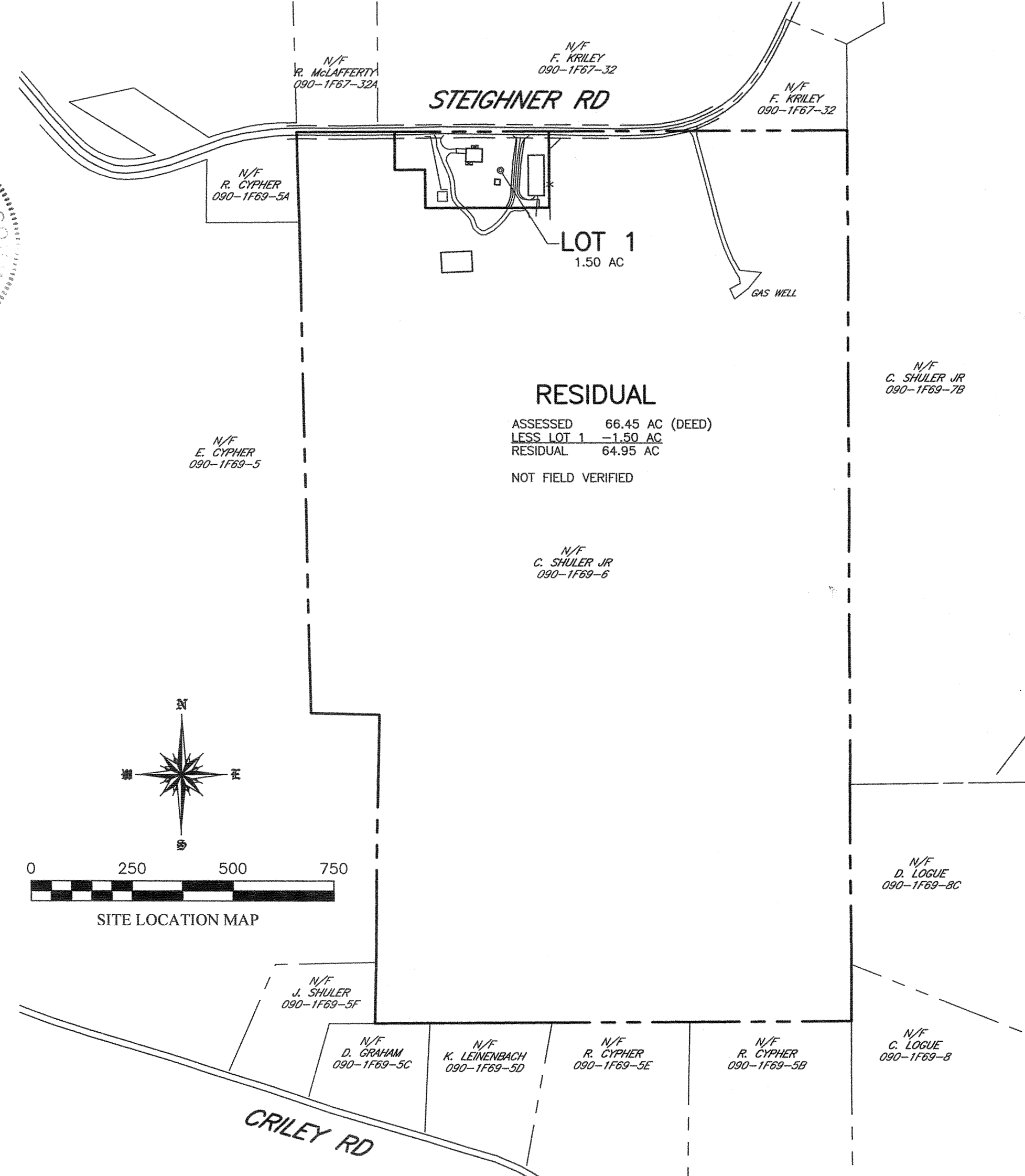
NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.



RESIDUAL

ASSESSED 66.45 AC (DEED)
LESS LOT 1 -1.50 AC
RESIDUAL 64.95 AC

NOT FIELD VERIFIED



NON-BUILDING WAIVER / RESIDUAL TRACT RESIDUAL TRACT WAIVER

"AS OF THE DATE OF THIS PLOT PLAN RECORDING, THE RESIDUAL TRACT OF THIS SUBDIVISION IS DEDICATED FOR THE EXPRESS PURPOSE OF AGRICULTURAL USE. NO PORTION OF THE RESIDUAL TRACT THIS SUBDIVISION HAS BEEN APPROVED BY THE MUNICIPALITY OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES. NO SEWAGE PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE COLLECTION, CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM (EXCEPT FOR REPAIRS TO EXISTING SYSTEMS) UNLESS THE MUNICIPALITY AND DEP HAVE APPROVED SEWAGE FACILITIES PLANNING MODULES FOR THE RESIDUAL TRACT OF THE SUBDIVISION DESCRIBED HEREIN IN ACCORDANCE WITH THE SEWAGE FACILITIES ACT (35 P.S. SECTIONS 750.1 ET. SEQ.) AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR SUBDIVIDER OF ANY PORTION OF THIS RESIDUAL TRACT SHOULD CONTACT THE MUNICIPALITY WHICH IS CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO DETERMINE WHAT SEWAGE FACILITIES PLANNING IS REQUIRED AND THE PROCEDURE AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR APPROVALS."

PROPERTY AREAS:

EXISTING TOTALS
090-1F69-6 66.45 AC (ASSESSED/DEED)

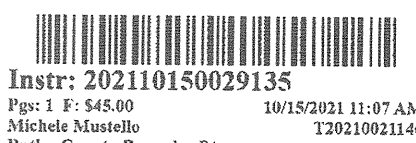
REVISED TOTALS
LOT 1 1.50 AC
+RESIDUAL 64.95 AC (NOT FIELD VERIFIED)
REVISED TOTAL 66.45 AC

CLEARFIELD TOWNSHIP	
Dimension	On lot septic lots
Min. Lot Area	1.25 ac
Min. Lot Width	100 feet
Min. Front Yard Depth	40 feet from R/W
Min. Side Yard Depth	20 feet
Min. Rear Yard Depth	20 feet

RECORDED 20	
PLAN BOOK	PAGE
398	30
SHEET	of

GENERAL NOTES:

1. PROPERTY OWNER: CARL R. SHULER JR
2. TAX PARCEL: 090-1F69-6
3. LOT REQUIREMENTS: SEE TABLE
4. PA ONE CALL: 20212670580
5. REFERENCES
- 5.1. CURRENT DEEDS OF RECORD
- 5.2. PREVIOUSLY RECORDED PLANS
- 5.2.1. SHULER SUBDIVISION A
PLAN BOOK 255 PG 10



GRAFF
SURVEYING

GRAFF SURVEYING LLC
PO BOX 521 | SAXONBURG, PA 16056
P: 724-352-3811 | F: 724-352-1059
INFO@GRAFFSURVEYING.COM
WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION

C. SHULER PLAN
BEING A
SUBDIVISION
FOR
CARL R. SHULER JR.

SITUATE

CLEARFIELD TOWNSHIP
BUTLER COUNTY, PENNSYLVANIA

DATE	DRAWN	CHECKED	SCALE
09/20/2021	SDG	Sdg	VARIES
PROJECT NO.		TAX PARCEL NO.	REVISION
21-193		090-1F69-6	A

OWNER'S ADOPTION
KNOW ALL MEN BY THESE PRESENTS THAT WE, FRANK T. RILEY JR. AND SARA L. RILEY, OF THE BOROUGH OF SAXONBURG, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE BOROUGH OF SAXONBURG, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND BOROUGH OF SAXONBURG, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND BOROUGH OF SAXONBURG, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND SEAL THIS 5 DAY OF OCTOBER, 2021.

x Frank T. Riley Jr.
FRANK T. RILEY JR.
x Sara L. Riley
SARA L. RILEY

ACKNOWLEDGMENT OF NOTARY PUBLIC
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, FRANK T. RILEY JR. AND SARA L. RILEY, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 5 DAY OF OCTOBER, 2021.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023.

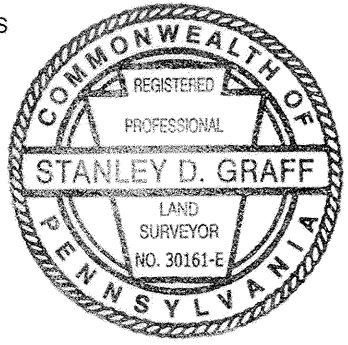
Debra L. Jeffcoat
NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Debra L. Jeffcoat, Notary Public
Butler County
My commission expires February 17, 2023
Commission number 1152784
Member, Pennsylvania Association of Notaries

SURVEYOR'S CERTIFICATION
I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

22 SEPT. 2021
DATE

Stanley D. Graff
STANLEY D. GRAFF
REG. NO. SU-001914



MUNICIPAL DECLARATIONS
THE BOROUGH COUNCIL OF THE BOROUGH OF SAXONBURG, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE BOROUGH OF SAXONBURG ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS BOROUGH STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN BOROUGH STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOROUGH COUNCIL OF THE BOROUGH OF SAXONBURG THIS 21st DAY OF September, 2021.

x Dody B. Vectari
SECRETARY
x Shirley A. Weingard
CHAIRPERSON
BOROUGH COUNCIL

REVIEWED BY THE PLANNING COMMISSION OF THE BOROUGH OF SAXONBURG THIS 13th DAY OF September, 2021.

x Dody B. Vectari
SECRETARY
x Carol J. Neubauer
CHAIRPERSON
PLANNING COMMISSION

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 15th DAY OF September, 2021.

x R. Hen
SECRETARY
x C. Him
CHAIRPERSON
BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING

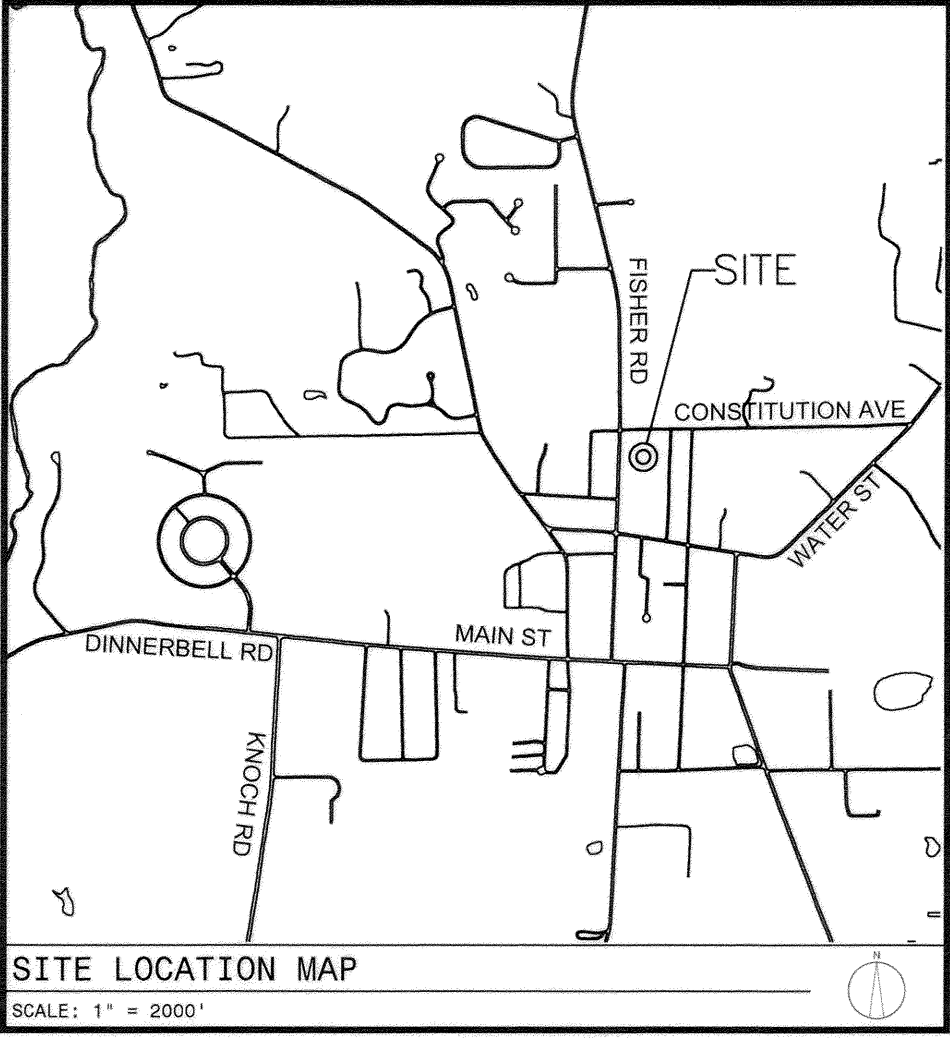
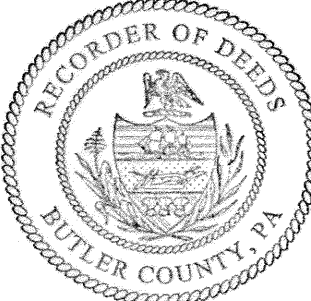
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN

PLAN BOOK VOLUME 398 PAGE(S) 31

GIVEN UNDER MY HAND AND SEAL THIS 15th DAY OF October, 2021.

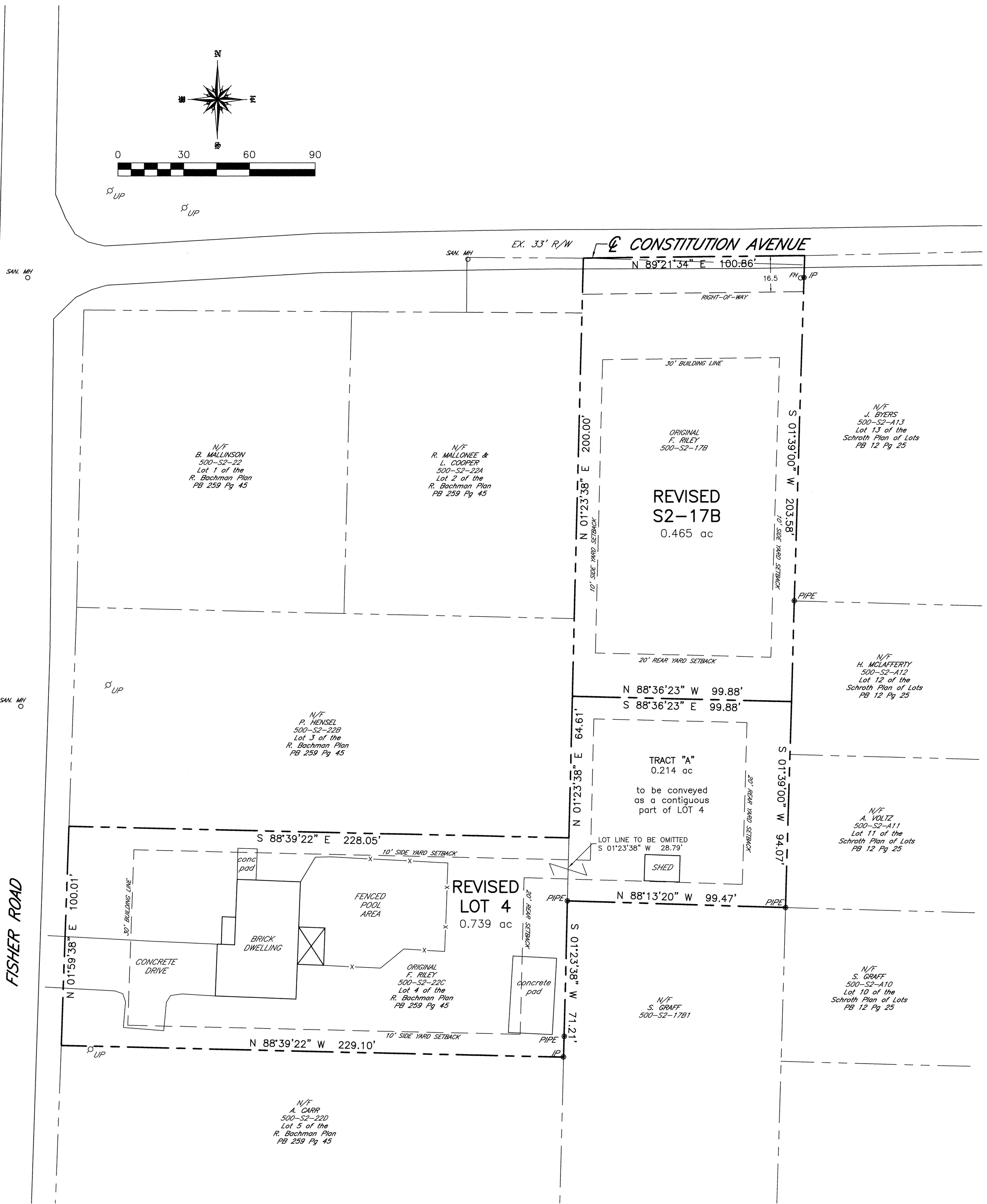
x Michele M. Mustello
RECORDER OF DEEDS

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



PLAN ORIENTATION NOTE: THE BEARINGS SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (PA-S) / NAD 1983

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.



Instr: 202110150029136
Pg: 1 of 1
Michele Mustello
Butler County Recorder PA

PROPERTY AREA SUMMARY:

EXISTING TOTALS	
LOT 4 / 500-S2-22C	0.525 AC
+ 500-S2-17B	0.679 AC
EXISTING TOTAL	1.204 AC

REVISED LOT 4	0.525 AC
+ TRACT A	0.214 AC
REVISED LOT 4	0.739 AC
ORIGINAL S2-17B	0.679 AC
- TRACT A	0.214 AC
REVISED S2-17B	0.465 AC

REVISED TOTALS	
REVISED LOT 4	0.739 AC
+ REVISED S2-17B	0.465 AC
REVISED TOTAL	1.204 AC

- GENERAL NOTES:
- TAX PARCELS: 500-S2-22C, 500-S2-17B
 - OWNERS: FRANK T. RILEY JR, SARA L. RILEY
 - ZONING DISTRICT: R-1
 - SETBACKS: FRONT LINE - 30 FT, SIDE - 10 FT, REAR - 20 FT
 - REFERENCES: 5.1. CURRENT DEEDS OF RECORD, 5.2. PREVIOUSLY RECORDED PLANS, 5.2.1. R. BACHMAN PLAN, PLAN BOOK 259 PG 45, 5.2.2. SCHROTH PLAN OF LOTS, PLAN BOOK 12 PG 25

REV

DESCRIPTION

BY

DATE

GRAFF SURVEYING LLC
PO BOX 521 | SAXONBURG, PA 16056
P: 724-352-3811 F: 724-352-1059
INFO@GRAFFSURVEYING.COM
WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION

RILEY PLAN
BEING A
SUBDIVISION
FOR
FRANK & SARA
RILEY, JR

SITUATE

SAXONBURG BOROUGH
BUTLER COUNTY, PENNSYLVANIA

DATE

DRAWN

CHECKED

SCALE

01/01/2021

SDG

Sdg

1" = 30'

PROJECT NO.

TAX PARCEL NO.

REVISION

21-173

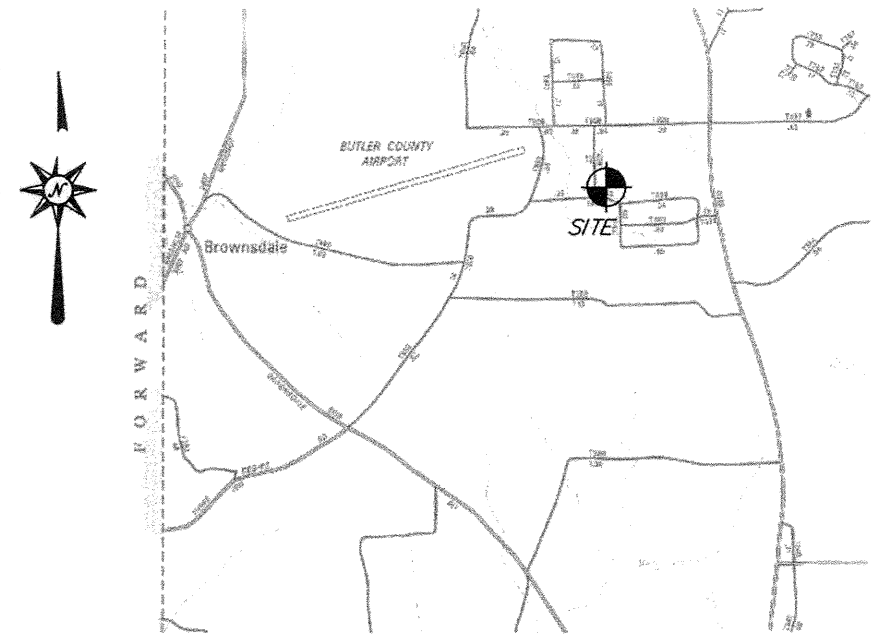
-

-

RILEY PLAN

Being a lot line revision of Butler County Tax
Parcels 500-S2-17B and 500-S2-22C (Lot 4 of the
R. Bachman Plan, Plan Book Volume 259 Page 45)

RECORDED	20
PLAN BOOK	PAGE
398	31
SHEET	of



NOTE: NO ABSTRACT OF TITLE, NOR TITLE COMMITMENT, NOR RESULTS OF A TITLE SEARCH WERE FURNISHED TO THE SURVEYOR THERE MAY EXIST OTHER DOCUMENTS OF RECORD THAT WOULD AFFECT THIS SURVEYED PARCEL.

SUBJECT TO :
EASEMENTS, SERVITUDES, RIGHTS-OF-WAY,
LEASES, EXCEPTIONS, RESERVATIONS,
RESTRICTIONS, ECT., IF ANY THAT MAY
APPEAR EITHER RECORDED OR UNRECORDED.

FRONT BUILDING SETBACK 40'
SIDE SET BACK 10'
REAR SETBACK 30'

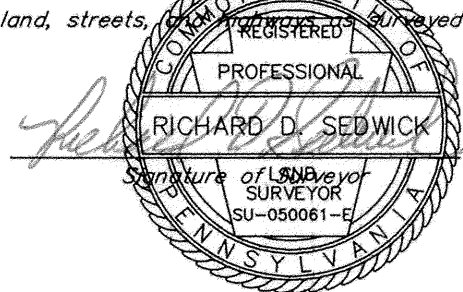
THIS PLAT DOES NOT ATTEST TO UTILITIES.
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
CALL 1-800-242-1776

ZONED R-1

Certification by Professional Land Surveyor

I, Richard D. Sedwick, a Professional Land Surveyor, registered by the Commonwealth of Pennsylvania, do hereby certify that the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan correctly represents the lots, land, streets, and easements shown.

OCT. 2021
DATE



Know all men by these presents that (I, We), ROBERT & LISA HENRY of the County of Butler and State of Pennsylvania, for (myself/ourselves), (my/our) heirs, executors, administrators and assigns, do hereby adopt this as (my/our) plan of (my/our) property, situate in the Township of Penn, Butler County, Pennsylvania, and for divers advantages occurring to (me/us), do hereby dedicate forever, for public use for highway purposes, all drives, road, streets, lanes and other public highways shown upon the plan with the same force and effect as if the same had been opened through legal proceedings, and (I/we) hereby release and forever discharge the Township of Butler, their successors and assigns from any liability, courses of action, claims or damages arising from or pertaining to in any manner said roads and rights-of-way. This dedication and release shall be binding upon the above named property owner(s), (her/his/their) heirs, executors, administrators and assigns and the purchasers of lots in this plan.

IN WITNESS WHEREOF, (I/We) hereunto set (my/our) hand(s) and seal(s) this

11 day of October 2021

Robert Henry
Owners

Lisa Henry
Owners

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUTLER

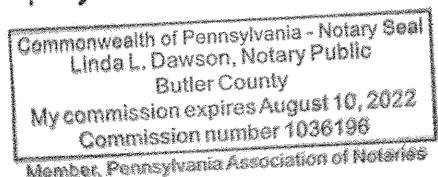
on this 11 day of October 2021 Before me a Notary Public

In and for said state and county personally came

Robert & Lisa Henry and acknowledged the foregoing release and dedication and plan to be (her/his/their) act and deed and desired the same to be recorded as such.

In witness whereof I have here unto set my name and official seal.

Linda L. Dawson
Notary Public



RECORDER'S CERTIFICATE
COMMONWEALTH OF PENNSYLVANIA COUNTY OF BUTLER

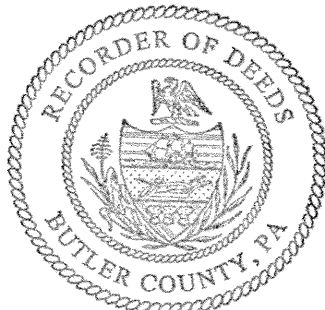
Recorded this 398 day of October 2021 in the

Register and Recorder of Deeds Office, in Plan Book, Vol. 398 Page 32

Instrument number, 202110180029286

Michele M. Mustello
Recorder of Deeds

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



Approved by the Penn Twp. Supervisors

this 17 day of October 2021

Samuel Wad
Secretary Chairman

Approved by the Penn Twp. Planning Commission

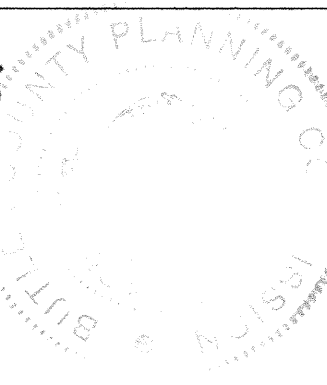
this Not Needed day of Oct 2021

Not Needed
Secretary Chairman

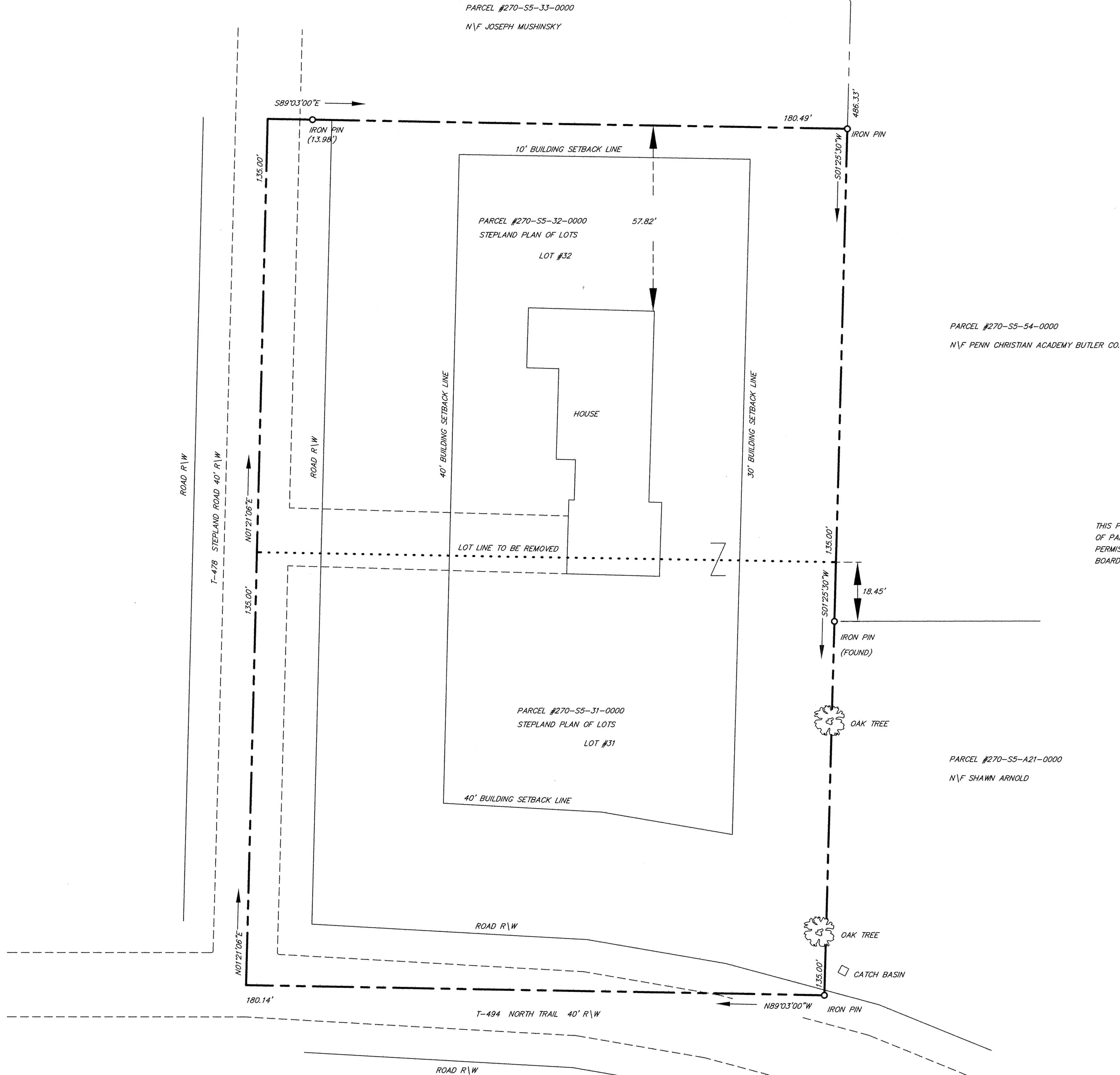
Reviewed
Approved by the Butler County Planning Commission

this Oct day of Oct 2021 #21225

R. Henshaw Secretary
G. Henshaw Chairman



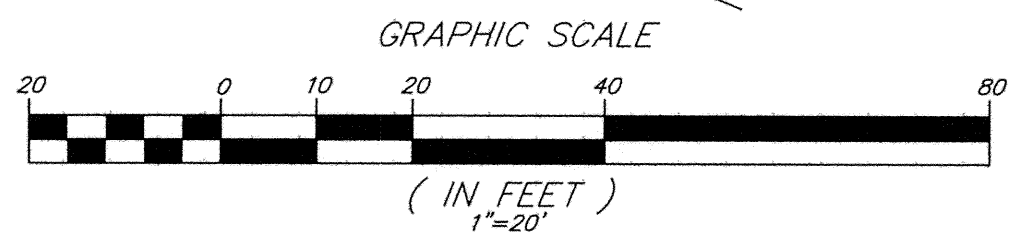
Instr: 202110180029286
Page: 1 of 1
Michele Mustello
Butler County Recorder PA



THIS PLAN IS A LOT LINE REVISION. PARCEL #270-S5-31-0000 WILL BE MADE PART OF PARCEL #270-S5-32-0000, AND CANNOT BE SOLD SEPERATELY WITHOUT WRITTEN PERMISSION FROM THE PENN TWP. PLANNING COMMISSION, AND THE PENN TWP. BOARD OF SUPERVISIORS.

0.56 ACRES
0.56 ACRES
1.12 ACRES TOTAL

PLAN BOOK	PAGE
398	32



DRAWN BY: R.D.S.	HENRY PLAN #1	
CHECKED BY: D.R.D.	LOT LINE REVISION PLAN	
SCALE: 1"=20'	MADE FOR ROBERT & LISA HENRY	
DATE: OCT 2021	PENN TWP.	BUTLER CO.
DRAWING NO: 270-S5-H12	RICHARD D. SEDWICK	KITTANNING, PA. 724-355-9302

OWNERS ADDITION: Know all men by these Presents, that we, PATRICK CHOYAN and PAUL CHOYAN owners of OMEGA LOGGING, INC., BOX 524, WEST MIDDLESEX, PA. ourselves, our heirs, executors, administrators and assigns do hereby adopt this Plan of Subdivision of our property situated in Marion Township, Butler County, of the Commonwealth of Pennsylvania, do and for diver advantages accruing to us do hereby dedicate forever for public use for highway, drainage, sewage and utility purposes all drives, roads, lands, rights-of-way, easements, ways and other public highways shown upon this Plan with the same force and effect as if the same had been opened through legal proceedings and in consideration of the approval of said Plan and any future acceptance of said public highways, rights-of-way and easements by Marion Township of Butler County, we, PATRICK CHOYAN & PAUL CHOYAN owners of OMEGA LOGGING, INC. hereby agree to and these presents do release and forever discharge Marion Township of Butler County, their assigns or successors from any liability for damages arising and to arise from the appropriation of said ground for public highways and other public uses and the physical grading thereof to any grades that may be established. This dedication and release shall be binding upon our heirs, executors, administrators and assigns and purchasers of lots in this plan.

Commonwealth of Pennsylvania

County of Marion
IN WITNESS WHEREOF, We hereunto set our hands and seal this 10 day of June A.D. 2021 ATTEST: Disappeared before me

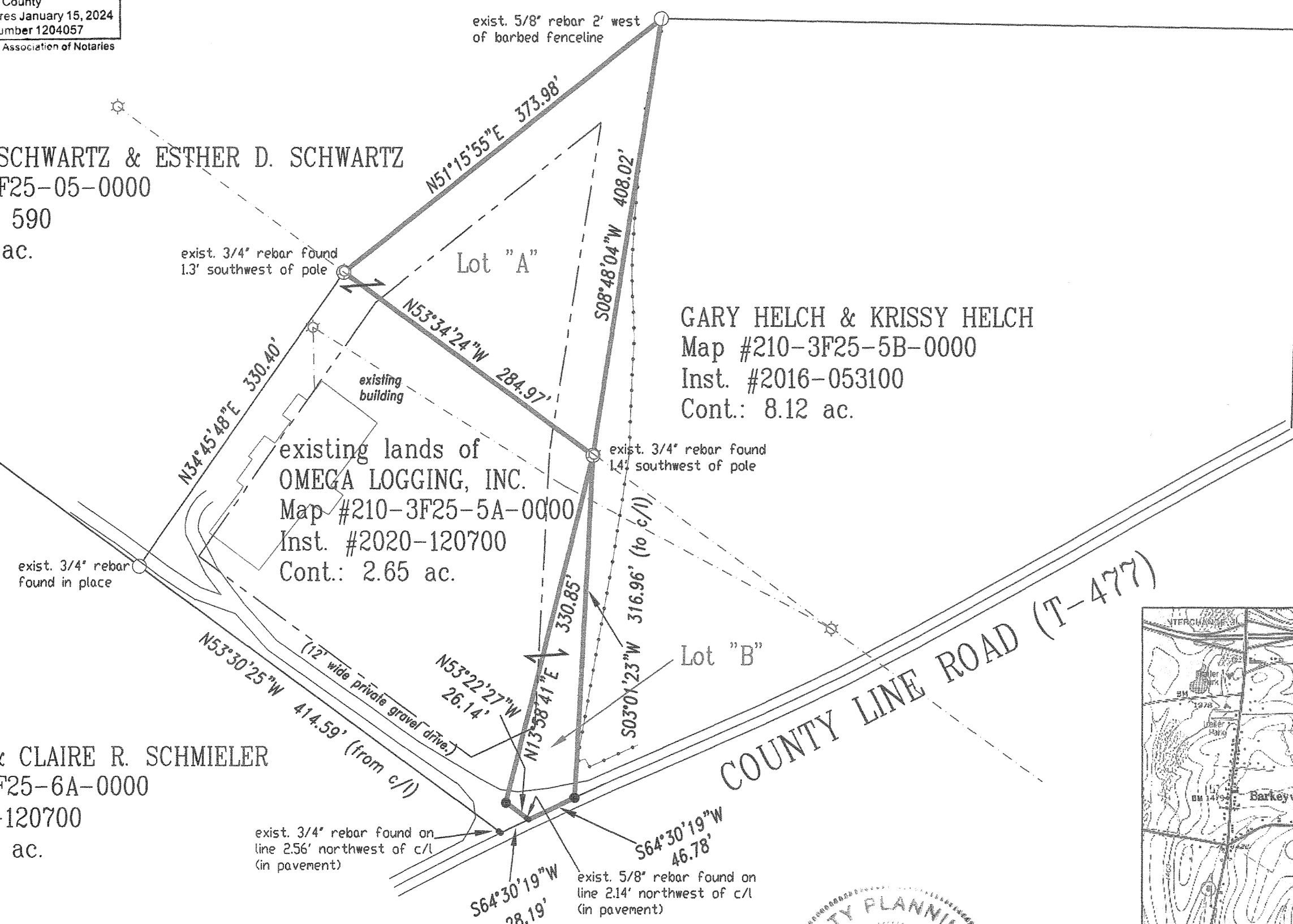
Owner: [Signature]
Owner: [Signature]
Notary Public: Priscilla L. Iliff

My Commission expires the 15 day of January A.D. 2024
Commonwealth of Pennsylvania - Notary Seal
Priscilla L. Iliff, Notary Public
Marion County
My commission expires January 15, 2024
Commission number 1204057
Member, Pennsylvania Association of Notaries

NOTE: LOT "A" BEING A PART OF MAP #210-3F25-05-0000
LOT "B" BEING A PART OF MAP #210-3F25-5B-0000

NOTE: LOT "A" (CONTAINING 51,508.65 SQUARE FEET OR 1.18 ACRES) AND LOT "B" CONTAINING 10,504.51 SQUARE FEET OR 0.24 ACRE ARE TO JOINED TO THE EXISTING LANDS OF OMEGA LOGGING, INC. (CONTAINING 115,517.28 SQUARE FEET OR 2.65 ACRES) AND CANNOT BE BUILT UPON OR CONVEYED INDEPENDENTLY WITHOUT APPROVAL FROM THE MARION TOWNSHIP SUPERVISORS. TOTAL COMBINED ACREAGE OF MAP #210-3F25-5A-0000 WILL BE 4.07 ACRES.

REUBEN R. SCHWARTZ & ESTHER D. SCHWARTZ
Map #210-3F25-05-0000
RB 2470 P 590
Cont.: 2.65 ac.



ROBERT E. & CLAIRE R. SCHMIELER
Map #210-3F25-6A-0000
Inst. #2004-120700
Cont.: 37.56 ac.

PROPERTY OWNER/ADDRESS:

OMEGA LOGGING, INC.
BOX 524
WEST MIDDLESEX, PA. 16159
PATRICK CHOYAN & PAUL CHOYAN (OWNERS)

GARY & KRISSY HELCH
381 COUNTY LINE ROAD
HARRISVILLE, PA. 16038

REUBEN R. & ESTHER D. SCHWARTZ
140 COAST ROAD
HARRISVILLE, PA. 16038

- indicates existing corner found
- indicates capped 5/8" rebar set by this survey
- indicates reference point
- ☆ indicates utility pole

REVIEWED/APPROVED BY THE BUTLER COUNTY PLANNING COMMISSION THIS
16TH DAY OF JUNE, 2021

Re-Reviewed 13th day of October 2021

R. H. [Signature]
SECRETARY

J. H. [Signature]
CHAIRMAN

REVIEWED/APPROVED BY THE MARION TOWNSHIP BOARD OF SUPERVISORS THIS
14th DAY OF JUNE, 2021

Reapproved on Oct. 19, 2021. Jason R. McQuinn, Michael [Signature]

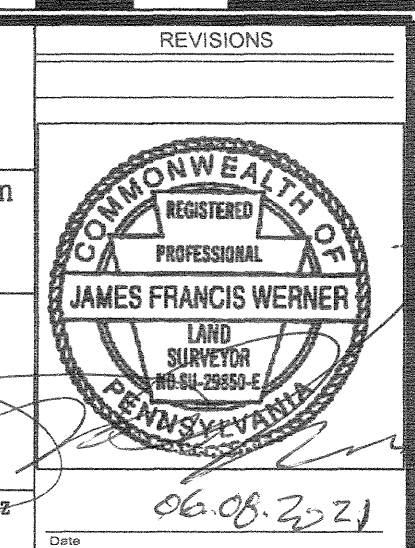
Michael [Signature]
SECRETARY

Jason R. McQuinn
CHAIRMAN

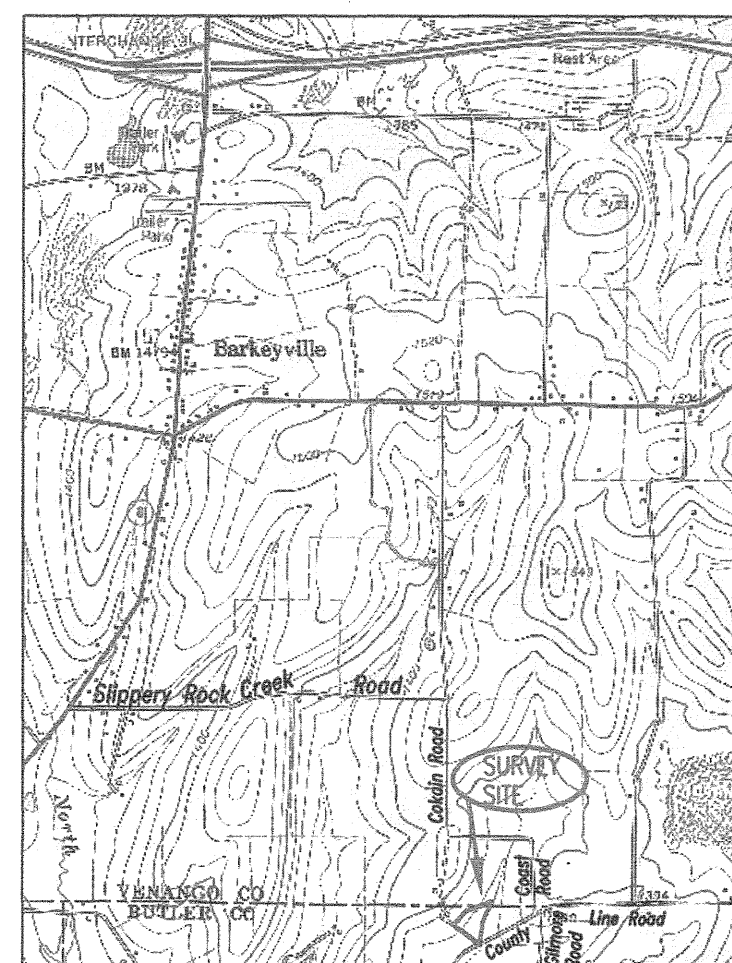
LOT LINE REVISION

Fike Associates, Inc.
Surveying & Consulting
22830 Route 68, Clarion, PA 16214
Minor Subdivision Plan Showing Lands To Be Conveyed From
GARY HELCH & KRISSY HELCH AND
REUBEN R. JR. SCHWARTZ & ESTHER D. SCHWARTZ
To Be Conveyed To
OMEGA LOGGING, INC.
situated in
MARION TOWNSHIP BUTLER COUNTY
PENNSYLVANIA

Date: MAY 25, 2021 Job No.: omegaschwartz
Scale: 1" = 100' Drawn By: JFW



NOTE: THIS MAP MAY NOT SHOW ALL UTILITIES, EASEMENTS AND RIGHTS OF WAYS.



TOPOGRAPHIC MAP - NOT TO SCALE
BARKEYVILLE QUADRANGLE

NON-BUILDING WAIVER STATEMENT FOR THE COMBINED PARCEL OF MAP #210-3F25-5A-0000:

"As of the date of this deed/plot plan recording, the property/subdivision described herein is and shall be dedicated for the express purpose of silviculture/agricultural use. No portion of the combined parcel of this property/subdivision are approved by Marion Township or the Department of Environmental Protection (DEP) for the installation of any sewage disposal facility. No permit will be issued for the installation, construction, connection to or use of any sewage collection, conveyance, treatment or disposal system (except for repairs to existing systems) unless the municipality and DEP have both approved sewage facilities planning for the property/subdivision described herein in accordance with the Pennsylvania Sewage Facilities Act (35 P.S. Sections 750.1 et seq.) and regulations promulgated thereunder. Prior to signing, executing, implementing or recording any sales contract or subdivision plan, any purchaser or subdivider of any portion of this property should contact appropriate officials of Marion Township, who are charged with administering the Sewage Facilities Act to determine the form of sewage facilities planning required and the procedure and requirements for obtaining appropriate permits or approvals."

NOTE: NO SEWAGE EXISTS ON MAP #210-3F25-5A-0000

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER } SS:
Recorded in the office for the recording of deeds, plats and plans in said County, in
Plan Book Volume 398 Page(s) 33
Given under my hand and seal this 19th day of October, 2021
(Recorder of Deeds)

PROFESSIONAL LAND SURVEYOR CERTIFICATE

[Signature] a Professional Land Surveyor of the
Commonwealth of Pennsylvania, do hereby certify that this plan shown hereon is
based upon actual field survey of the land described and that all angles,
distances, and courses are correctly shown, that the monuments and markers as
shown on the plat have been, or will be set, and to the best of my knowledge, that
this plan correctly represents the lots, lands, streets, and highways as surveyed and
plotted by me for the owners or agents.
JAMES FRANCIS WERNER SEAL
(Surveyor's Name)
SU029850E
(Surveyor's Registration No.)
06/09/2021
(Date)

BUTLER COUNTY PLANNING COMMISSION APPROVAL

Approved by the Butler County Planning Commission this 16th day of June, 2021
(Secretary) (Chairman)
See Comments On File at the Butler County Planning Commission
Plan Number:

SEAL

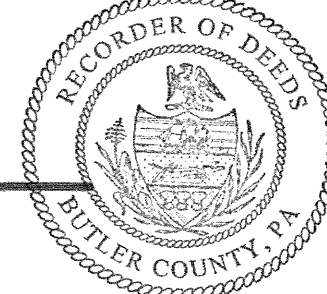
MUNICIPAL APPROVAL

Reviewed and approved (or Reviewed with comments) by the
this 14th day of June, 2021
(City, Borough, Township) (Chairman)
(Secretary)

SEAL

COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER } SS:
RECORDED IN THE OFFICE FOR THE RECORDING OF DEED PLANS, ETC. IN SAID COUNTY IN
PLAN BOOK 398 PAGE 33
GIVEN UNDER MY HAND AND SEAL THIS 19th DAY OF October, 2021

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



KNOW ALL MEN BY THESE PRESENTS THAT GARY HELCH & KRISSY HELCH OF THE TOWNSHIP OF MARION, COUNTY OF BUTLER AND STATE OF PENNSYLVANIA FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTY, SITUATE IN THE TOWNSHIP OF MARION, COUNTY OF BUTLER AND STATE OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCORDING TO US DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND WHEREBY RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF MARION, THEIR SUCCESSORS, AND AS-SON FROM ANY LIABILITY FOR DAMAGE CAUSED BY ANY GRADING THEREOF TO ANY GRADES HERE-AFTER AT ANY TIME THEREOF ACCORDING TO SUCH ESTABLISHED GRADES. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE NAMES PROPERTY OWNER(S) OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, HEREUNTO SET HAND(S) AND SEAL(S) THIS 11 DAY OF June, 2021

Gary Helch (OWNER)
Krissy Helch (OWNER)

STATE OF Pennsylvania SS:
COUNTY OF Butler

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY PERSONALLY CAME

Gary Helch (OWNER)
Krissy Helch (OWNER)

AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH WITNESS MY HAND AND NOTORIAL SEAL
THIS 11 DAY OF June, 2021

NOTARY SEAL
Commonwealth of Pennsylvania - Notary Seal
Priscilla L. Iliff, Notary Public
Marion County
My commission expires January 15, 2024
Commission number 1204057
Member, Pennsylvania Association of Notaries

KNOW ALL MEN BY THESE PRESENTS THAT REUBEN R. SCHWARTZ, JR. & ESTHER D. SCHWARTZ OF THE TOWNSHIP OF MARION, COUNTY OF BUTLER AND STATE OF PENNSYLVANIA FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTY, SITUATE IN THE TOWNSHIP OF MARION, COUNTY OF BUTLER AND STATE OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCORDING TO US DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND WHEREBY RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF MARION, THEIR SUCCESSORS, AND AS-SON FROM ANY LIABILITY FOR DAMAGE CAUSED BY ANY GRADING THEREOF TO ANY GRADES HERE-AFTER AT ANY TIME THEREOF ACCORDING TO SUCH ESTABLISHED GRADES. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE NAMES PROPERTY OWNER(S) OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, HEREUNTO SET HAND(S) AND SEAL(S) THIS 11 DAY OF June, 2021

Reuben R. Schwartz Jr. (OWNER)
Esther D. Schwartz (OWNER)

STATE OF Pennsylvania SS:
COUNTY OF Butler

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY PERSONALLY CAME

Reuben R. Schwartz Jr. (OWNER)
Esther D. Schwartz (OWNER)

AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH WITNESS MY HAND AND NOTORIAL SEAL
THIS 11 DAY OF June, 2021

NOTARY SEAL
Commonwealth of Pennsylvania - Notary Seal
Priscilla L. Iliff, Notary Public
Marion County
My commission expires January 15, 2024
Commission number 1204057
Member, Pennsylvania Association of Notaries

ARCHITECT
HKS ARCHITECTS, INC.
90 SOUTH 400 WEST, SUITE 110
SALT LAKE CITY, UTAH 84101

INTERIOR DESIGN
LISMAN STUDIO
515 S 700 E STE 3A
SALT LAKE CITY, UT 84102

MECHANICAL ENGINEER
VAN BOERUM & FRANK
330 SOUTH 300 WEST
SALT LAKE CITY, UTAH 84111

ELECTRICAL ENGINEER
BNA CONSULTING
635 SOUTH STATE STREET
SALT LAKE CITY, UTAH 84111

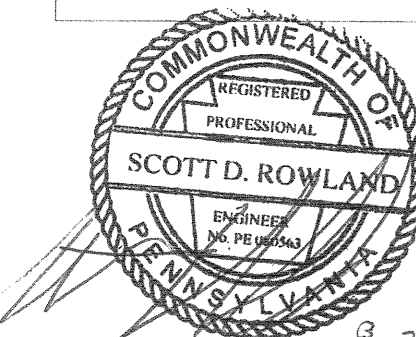
STRUCTURAL ENGINEER
REAVELEY
675 E 500 S, SUITE 400
SALT LAKE CITY, UT 84102

CIVIL AND LANDSCAPE
LANGAN
2400 ANSYS DRIVE, SUITE 403
CANONSBURG, PA 15317

EXTERIOR ENCLOSURE
MORRISON HERSHFIELD
50 WEST BROADWAY, SUITE 300
SALT LAKE CITY, UTAH 84101

ACOUSTICS
JAFFE HOLDEN
114-A WASHINGTON STREET
NORWALK, CT 06854

PITTSBURGH TEMPLE
THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS



SIGNATURE SCOTT ROWLAND DATE SIGNER 8-26-21

PROFESSIONAL ENGINEER PA Lic. No. PE080563

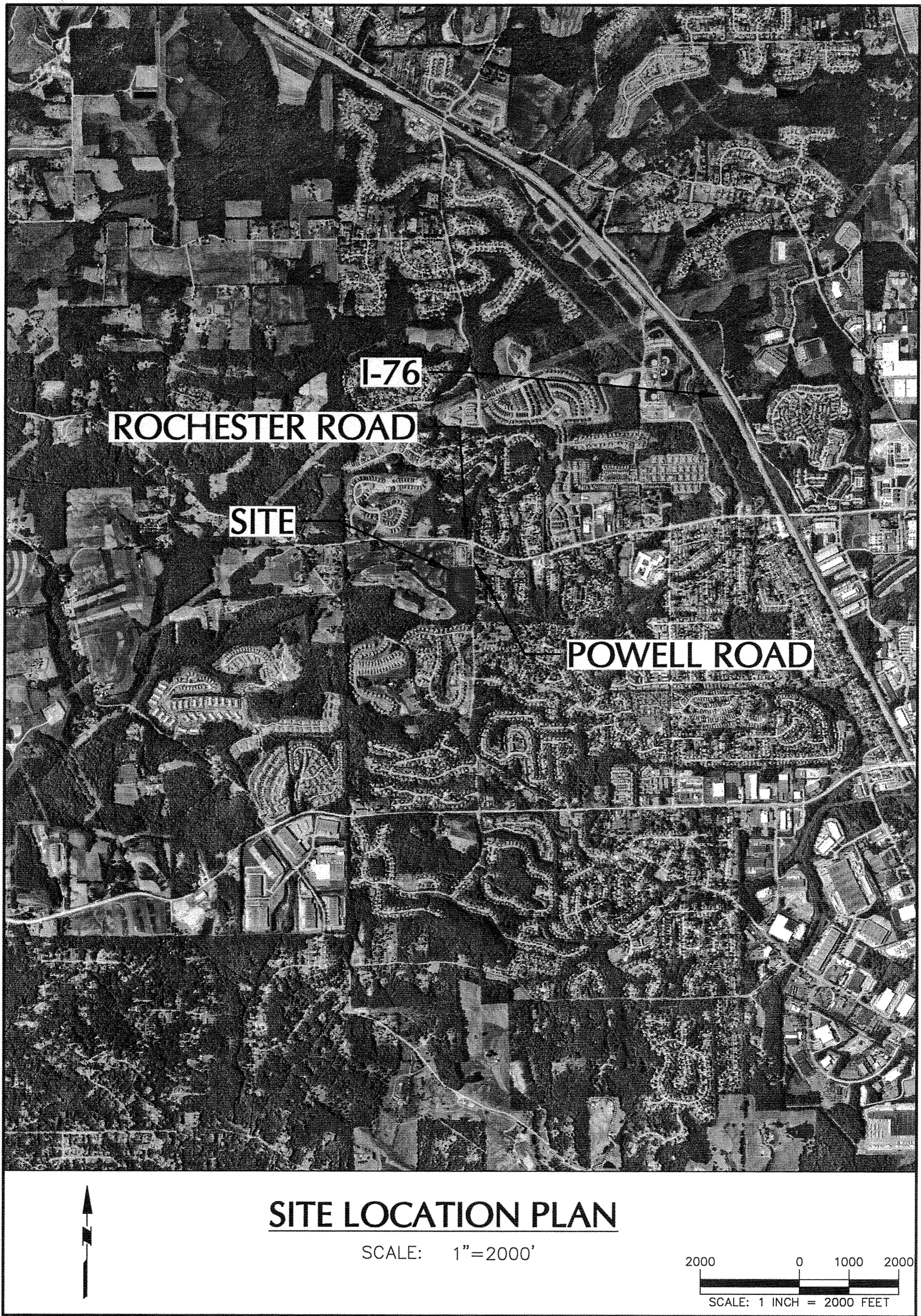
REVISION
NO. DESCRIPTION DATE

PROJECT NUMBERS
LANGAN: 250121801

DATE
09 APRIL, 2021
ISSUE

LAND DEVELOPMENT
TOWNSHIP SUBMISSION
SHEET TITLE
SIGNATURE SHEET

SHEET
NO.
CS002



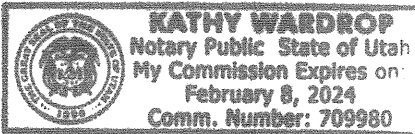
SITE LOCATION PLAN

SCALE: 1"=2000'

2000 0 1000 2000
SCALE: 1 INCH = 2000 FEET

1. BY RESOLUTION APPROVED ON THE 2nd DAY OF September, 2021, THE BOARD OF DIRECTORS OF THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS, A UTAH CORPORATION SOLE, INCORPORATED IN THE STATE OF UTAH, THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS, A UTAH CORPORATION SOLE OF THE LAND SHOWN ON THE PITTSBURGH TEMPLE ADOPTED THIS PLAN AS ITS LAND DEVELOPMENT AND IRREVOCABLY DEDICATED ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE CORPORATION AND UPON ITS SUCCESSORS AND ASSIGNS.

(SEAL)



Kathy Wardrop Notary Public, State of Utah
SIGNATURE AND TITLE OF OFFICER WITNESSING
September 2, 2021
DATE

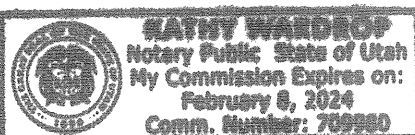
The Church of Jesus Christ of Latter-Day Saints, A Utah Corporation Sole
NAME OF CORPORATION

Michael Thomson - Director
SIGNATURE AND TITLE OF AUTHORIZED OFFICER
Michael Thomson

2. BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE STATE OF UTAH AND COUNTY OF SALT LAKE PERSONALLY APPEARED Michael Thomson OF THE Church of Jesus Christ of Latter-Day Saints, A Utah Corporation Sole WHO STATED THAT (HE/SHE) IS AUTHORIZED TO EXECUTE THE ABOVE ADOPTION AND DEDICATION ON BEHALF OF THE CORPORATION AND WAS PRESENT AT THE MEETING AT WHICH THE ACTION OF THE CORPORATION WAS TAKEN TO ADOPT THE PLAN AND DEDICATE PUBLIC PROPERTY CONTAINED THEREIN TO THE PUBLIC.

WITNESS MY HAND AND NOTARIAL SEAL THIS 2nd DAY OF September, 2021.

(SEAL)



Kathy Wardrop
NOTARY PUBLIC

3. CERTIFICATION OF TITLE (NO MORTGAGE). (I/WE) HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE PITTSBURGH TEMPLE IS IN THE NAME OF THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS, A UTAH CORPORATION SOLE AND IS RECORDED IN DEED BOOK VOLUME 222, PAGE 21-22. (I/WE) FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN, OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

Kathy Wardrop
WITNESS

Michael Thomson - Director
OWNER

MUNICIPAL DECLARATIONS:

4. NO ACCEPTANCE OF DEDICATION. A DECLARATION MUST BE PLACED ON ANY PLAN THAT SHOWS DEDICATION OF STREETS OR OTHER PROPERTY TO THE TOWNSHIP THAT THE DEDICATION IMPOSES NO RESPONSIBILITY UPON THE TOWNSHIP FOR ACCEPTANCE OF THE DEDICATION, OR FOR THE IMPROVEMENT OR MAINTENANCE OF ANY DEDICATED FACILITY UNTIL THE DEDICATION IS ACCEPTED BY ORDINANCE. THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY, HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF CRANBERRY HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

Michael Thomson
SECRETARY

Michael Thomson
CHAIRMAN, BOARD OF SUPERVISORS

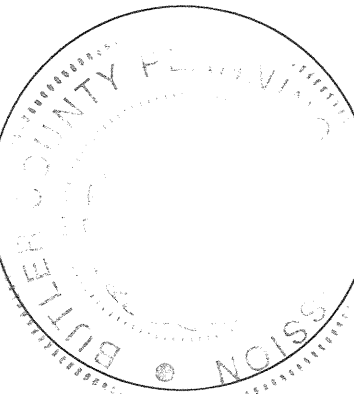
5. NO BUILDING PERMITS WITHOUT APPROVED SEWAGE FACILITIES. ALTHOUGH SEWAGE FACILITIES PLANNING MODULES SHOULD BE APPROVED BY THE TIME OF RECORDING, THIS DECLARATION CLARIFIES THAT BUILDINGS MAY NOT BE CONSTRUCTED WITHOUT APPROVAL OF SEWAGE FACILITIES. THE MUNICIPAL SECRETARY MAY SIGN THIS DECLARATION. THE TOWNSHIP OF CRANBERRY AGREES NOT TO ISSUE BUILDING PERMITS UNTIL THE "PLANNING MODULE FOR LAND DEVELOPMENT" HAS BEEN APPROVED IN ACCORDANCE WITH THE REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

September 29, 2021
DATE

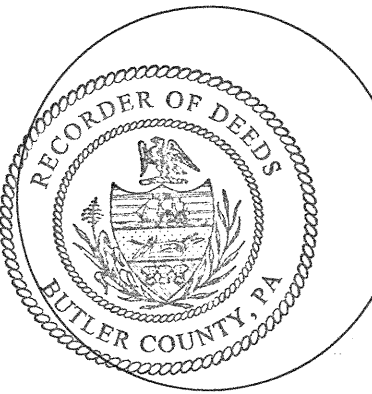
Michael Thomson
SECRETARY

APPROVAL STATEMENTS

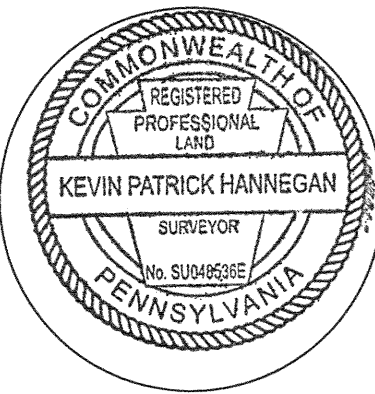
BUTLER COUNTY
PLANNING COMMISSION



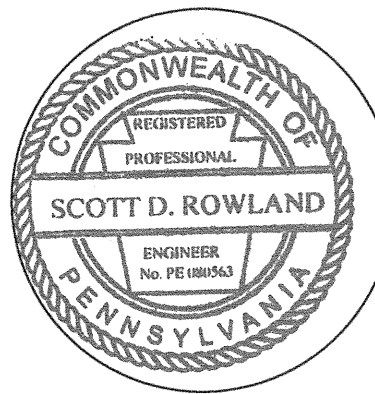
BUTLER COUNTY
RECORDER OF DEEDS



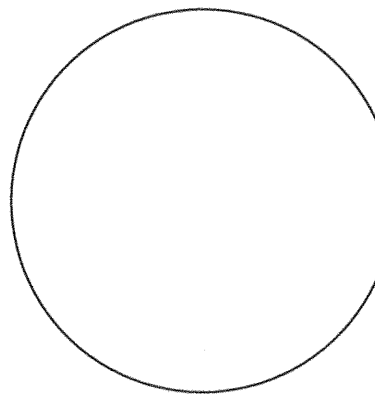
REGISTERED
SURVEYOR



ENGINEER:
LANGAN



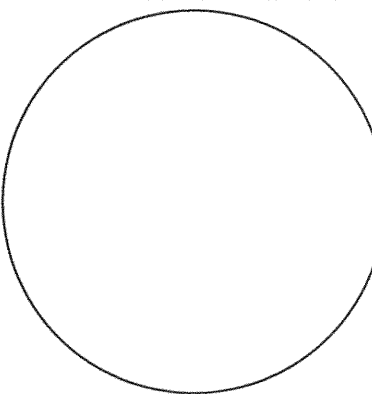
NOTARY PUBLIC



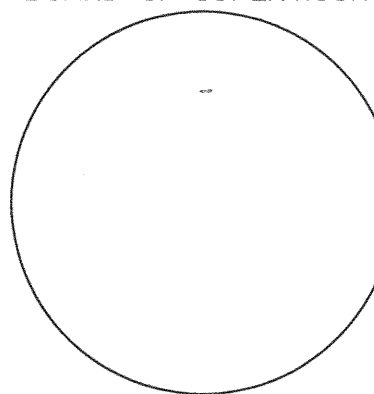
TOWNSHIP OF CRANBERRY
TOWNSHIP ENGINEER



TOWNSHIP OF CRANBERRY
PLANNING COMMISSION



TOWNSHIP OF CRANBERRY
BOARD OF SUPERVISORS



ARCHITECT
HKS ARCHITECTS, INC.
90 SOUTH 400 WEST, SUITE 110
SALT LAKE CITY, UTAH 84101

INTERIOR DESIGN
LISMAN STUDIO
515 S 700 E STE 3A
SALT LAKE CITY, UT 84102

MECHANICAL ENGINEER
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SALT LAKE CITY, UTAH 84111

ELECTRICAL ENGINEER
BNA CONSULTING
635 SOUTH STATE STREET
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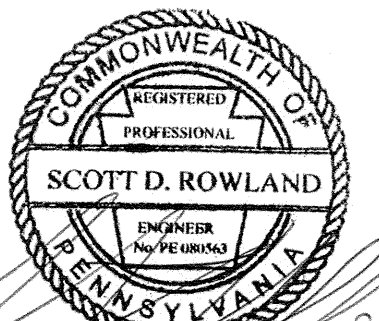
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50 WEST BROADWAY, SUITE 300
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ACOUSTICS
JAFFE HOLDEN
114-A WASHINGTON STREET
NORWALK, CT 06854

PITTSBURGH TEMPLE OF THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS



SIGNATURE: SCOTT ROWLAND
PROFESSIONAL ENGINEER PA Lic. No. PE080563

REVISION NO. DESCRIPTION DATE

1 ADDENDUM #01 07/01/21

2 ADDENDUM #02 07/13/21

3 TOWNSHIP 02 07/30/21

4 SITE CLARIFICATIONS 08/25/21

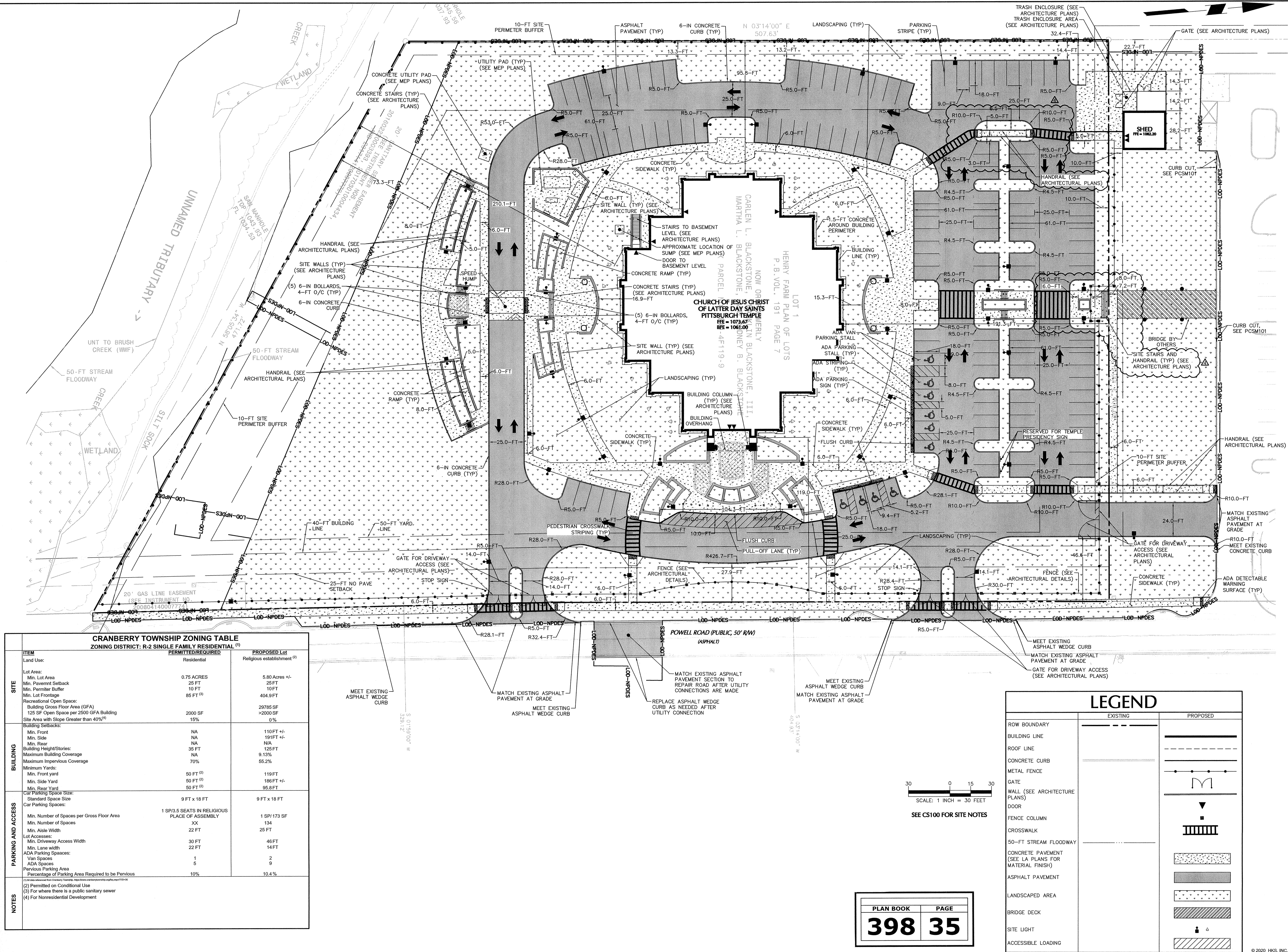
PROJECT NUMBERS
LANGAN: 250121801

DATE
JUNE 04, 2021

ISSUE
PERMIT SET

SHEET TITLE
SITE PLAN

SHEET NO.
CS101



CRANBERRY TOWNSHIP ZONING TABLE			
ZONING DISTRICT: R-2 SINGLE FAMILY RESIDENTIAL (1)			
SITE	PERMITTED/REQUIRED		PROPOSED Lot
	Residential		Religious establishment (2)
Lot Area:	0.75 ACRES		5.80 Acres +/-
Min. Lot Area	25 FT		25 FT
Min. Pavement Setback	10 FT		10 FT
Min. Perimeter Buffer	85 FT (3)		404.9 FT
Min. Lot Frontage			
Recreational Open Space:			29785 SF
Building Gross Floor Area (GFA)	2000 SF		>2000 SF
125 SF Open Space per 2500 GFA Building	15%		0%
Site Area with Slope Greater than 40% (4)			
BUILDING	Building Setbacks:		
	Min. Front	NA	110 FT +/-
BUILDING	Min. Side	NA	191 FT +/-
	Min. Rear	NA	NA
BUILDING	Building Height/Stories:	35 FT	125 FT
	Maximum Building Coverage	9.13%	9.13%
BUILDING	Maximum Impervious Coverage	70%	55.2%
	Minimum Yards:		
BUILDING	Min. Front yard	50 FT (2)	119 FT
	Min. Side Yard	50 FT (2)	186 FT +/-
BUILDING	Min. Rear Yard	50 FT (2)	95.8 FT
PARKING AND ACCESS	Car Parking Space Size:	9 FT x 18 FT	9 FT x 18 FT
	Standard Space Size		
PARKING AND ACCESS	Car Parking Spaces:		
	Min. Number of Spaces per Gross Floor Area	1 SP/3.5 SEATS IN RELIGIOUS PLACE OF ASSEMBLY	1 SP/173 SF
PARKING AND ACCESS	Min. Number of Spaces	XX	134
	Min. Aisle Width	22 FT	25 FT
PARKING AND ACCESS	Lot Accesses:		
	Min. Driveway Access Width	30 FT	46 FT
PARKING AND ACCESS	Min. Lane Width	22 FT	14 FT
	ADA Parking Spaces:		
PARKING AND ACCESS	Van Spaces	1	2
	ADA Spaces	5	9
PARKING AND ACCESS	Previous Parking Area		
	Percentage of Parking Area Required to be Paved	10%	10.4%

DATE: 07/04/2021

ARCHITECT
HKS ARCHITECTS, INC.
90 SOUTH 400 WEST, SUITE 110
SALT LAKE CITY, UTAH 84101

INTERIOR DESIGN
LISMAN STUDIO
515 S 700 E STE 3A
SALT LAKE CITY, UTAH 84102

MECHANICAL ENGINEER
VAN BOERUM & FRANK
330 SOUTH 300 WEST
SALT LAKE CITY, UTAH 84111

ELECTRICAL ENGINEER
BNA CONSULTING
635 SOUTH STATE STREET
SALT LAKE CITY, UTAH 84111

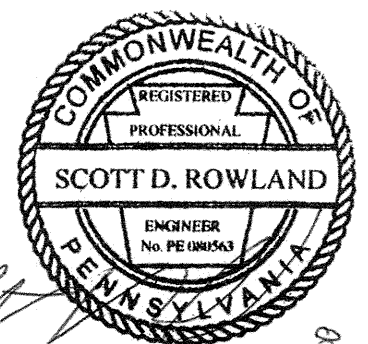
STRUCTURAL ENGINEER
REAVELEY
675 E 500 S, SUITE 400
SALT LAKE CITY, UTAH 84102

CIVIL AND LANDSCAPE
LANGAN
2400 ANSYS DRIVE, SUITE 403
CANONSBURG, PA 15317

EXTERIOR ENCLOSURE
MORRISON HERSHFELD
50 WEST BROADWAY, SUITE 300
SALT LAKE CITY, UTAH 84101

ACOUSTICS
JAFFE HOLDEN
114-A WASHINGTON STREET
NORWALK, CT 06854

PITTSBURGH TEMPLE
THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS



SIGNATURE: SCOTT ROWLAND DATE: 8-26-21

PROFESSIONAL ENGINEER PA Lic. No. PE080563

REVISION	NO.	DESCRIPTION	DATE
1	ADDENDUM #01	JULY 1, 2021	

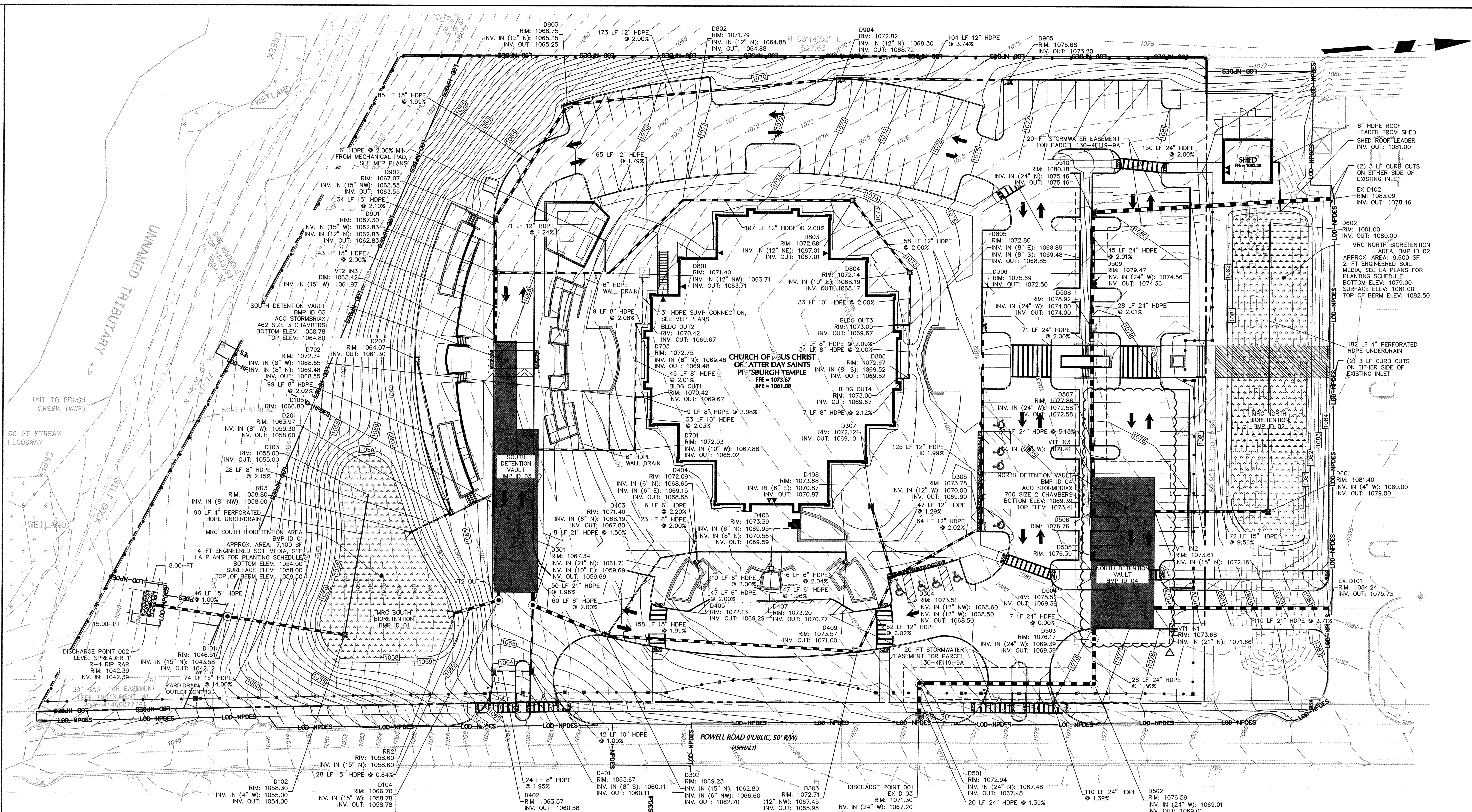
PROJECT NUMBERS
LANGAN: 250121801

DATE
JUNE 04, 2021
ISSUE
PERMIT SET

SHEET TITLE
POST-CONSTRUCTION
STORMWATER
MANAGEMENT PLAN

SHEET
NO.

PCSM101



STRUCTURE SCHEDULE

NAME:	TYPE:	NOMINAL SIZE:	NAME:	TYPE:	NOMINAL SIZE:	NAME:	TYPE:	NOMINAL SIZE:	NAME:	TYPE:	NOMINAL SIZE:
D101	MANHOLE	4-FT	D305	INLET	2-FT X 4-FT	D409	YARD DRAIN	2-FT X 2-FT	D601	YARD DRAIN/ OUTLET CONTROL	2-FT X 2-FT
D102	YARD DRAIN/ OUTLET CONTROL	2-FT X 2-FT	D306	INLET	2-FT X 4-FT	D501	MANHOLE	4-FT	D602	CLEANOUT	10-IN
D103	CLEANOUT	12-IN	D307	YARD DRAIN	2-FT X 2-FT	D502	MANHOLE	4-FT	D701	CLEANOUT	10-IN
D104	MANHOLE	4-FT	D401	INLET	2-FT X 4-FT	D503	MANHOLE	4-FT	D702	CLEANOUT	10-IN
D105	INLET	2-FT X 4-FT	D402	INLET	2-FT X 4-FT	D504	INLET	2-FT X 4-FT	D703	CLEANOUT	10-IN
D201	YARD DRAIN	2-FT X 2-FT	D403	CLEANOUT	10-IN	D505	INLET	2-FT X 4-FT	D801	CLEANOUT	12-IN
D202	YARD DRAIN	2-FT X 2-FT	D404	CLEANOUT	10-IN	D506	INLET	2-FT X 4-FT	D802	CLEANOUT	12-IN
D301	MANHOLE	4-FT	D405	YARD DRAIN	2-FT X 2-FT	D507	INLET	2-FT X 4-FT	D803	YARD DRAIN	2-FT X 2-FT
D302	INLET	2-FT X 4-FT	D406	CLEANOUT	10-IN	D508	INLET	2-FT X 4-FT	D804	YARD DRAIN	2-FT X 2-FT
D303	INLET	2-FT X 4-FT	D407	YARD DRAIN	2-FT X 2-FT	D509	INLET	2-FT X 4-FT	D805	CLEANOUT	10-IN
D304	INLET	2-FT X 4-FT	D408	CLEANOUT	10-IN	D510	INLET	2-FT X 4-FT	D806	CLEANOUT	10-IN

CRANBERRY TOWNSHIP STORMWATER
MANAGEMENT ORDINANCE APPROVAL BLOCK

I, Scott Rowland, HEREBY CERTIFY THAT THE STORMWATER
MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF
THE CRANBERRY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

SIGNATURE: *Scott Rowland* DATE: 8-26-21

IT SHALL BE UNLAWFUL TO ALTER OR REMOVE ANY PERMANENT
STORMWATER BMP REQUIRED BY AN APPROVED STORMWATER
MANAGEMENT PLAN OR ALLOW THE PROPERTY TO REMAIN IN A
CONDITION WHICH DOES NOT CONFORM TO AN APPROVED
STORMWATER MANAGEMENT PLAN, UNLESS THE TOWNSHIP GRANTS
AN EXCEPTION IN WRITING.

OWNER SIGNATURE: *Scott Rowland* DATE: 9/2/2021

I, Tim Schumacher, P.E., HAVE REVIEWED THIS STORMWATER
MANAGEMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS
AND CRITERIA OF THE CRANBERRY TOWNSHIP STORMWATER
MANAGEMENT ORDINANCE.

SIGNATURE: *Tim Schumacher* DATE: 10/20/21

PLAN BOOK	PAGE
398	36

30 0 15 30
SCALE: 1 INCH = 30 FEET

LEGEND

	EXISTING	PROPOSED
ROW BOUNDARY	---	---
LOD BOUNDARY	---	---
SANITARY SEWER	---	---
SANITARY MANHOLE	---	---
STORM SEWER	---	---
INLET	---	---
YARD DRAIN	---	---
STORM MANHOLE	---	---
STORM CLEANOUT	---	---
MAJOR CONTOUR	---	---
MINOR CONTOUR	---	---
BIORETENTION	---	---
UNDERGROUND DETENTION SYSTEM	---	---
RIP RAP	---	---
VAULT GRAVEL FOOTPRINT	---	---
STORMWATER EASEMENT	---	---
APPROX. LOCATION OF INFILTRATION TEST	---	---

NOTE: ALL SIGNATURES MUST BE MADE WITH A BLACK INK FELT TIP PEN !!!

OWNER'S ADOPTION - CORPORATION

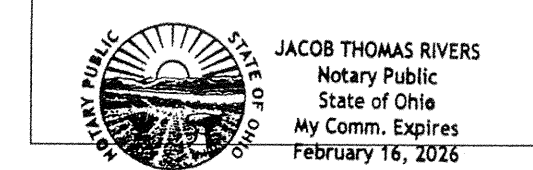
STNL Cranberry Township, LLC, owner of the land shown on the Petsuites Cranberry Site Plan for Recording hereby adopts this plan as its land development and irrevocably dedicates all streets and other property identified for dedication on the plan to the public. This adoption and dedication shall be binding upon the partnership and upon its heirs, executors, and assigns.

Chris Hilbert
Signature of Witness
Date: 9-22-21
Christopher Canaris
Signature of SVP
Chris Canaris Principal
SVP Development

ACKNOWLEDGMENT OF NOTARY PUBLIC

State of Ohio
County of Hamilton
Before me, the undersigned notary public in and for the Commonwealth of Pennsylvania and County of Butler, personally appeared *Chris Canaris* the SVP-Real Estate Development of STNL Cranberry Township, LLC, and acknowledged the foregoing adoption and dedication to be the act of the corporation.

WITNESS My hand and notarial seal this 22nd day of September, 2021.



Jacob T. Rivers
Notary Public

MUNICIPAL DECLARATIONS

The Board of Supervisors of the Township of Cranberry, hereby gives notice that in approving this plan for recording, the Township of Cranberry has not accepted dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

Robert J. Satter
Secretary
Robert J. Satter
Chairman, Board of Supervisors

APPROVAL BY THE CRANBERRY TOWNSHIP BOARD OF SUPERVISORS

This statement certifies only that action was taken by the Board of Supervisors granting final approval.

Approved by the Board of Supervisors of the Township of Cranberry by Ordinance/Resolution No. 2021-35 on the 29th day of July, 2021.

Robert J. Satter
Secretary
Robert J. Satter
Chairman, Board of Supervisors

APPROVAL BY THE TOWNSHIP MANAGER

I, *Denise D. Satter*, Township Manager for the Township of Cranberry, certify that the conditions for final approval outlined in Ordinance/Resolution No. 2021-35 have been met in accordance with Sections 22-305 and 22-307 of the Township of Cranberry Code of Ordinances of

Denise D. Satter
Township Manager

MUNICIPAL ENGINEER'S CERTIFICATE

I, *Michael C. Malak*, a Registered Professional Engineer, the Township Engineer of the Township of Cranberry, do hereby certify that this Subdivision Plan meets all the engineering and design requirements of the Township Subdivision and Zoning Ordinance except as departures have been authorized by the approval authority.

DATE: 9/19/21 REG. NO. PE-073220 SIGNATURE: *Michael C. Malak*

BUTLER COUNTY PLANNING COMMISSION

Reviewed by the Butler County Planning Commission at a meeting held this 16th day of June, 2021.

Robert J. Satter
Secretary
Robert J. Satter
Chairman, Planning Commission

PROOF OF RECORDING

Recorded in the Office for the Recording of Deeds, Plats, etc., in Butler County, in Plan Book Volume 398, Page 37-38, 20th day of October, 2021.

Michael M. Mustello
Recorder of Deeds

MICHELE M. MUSTELLO
RECORDER OF DEEDS

My Commission Expires First Monday in January 2024

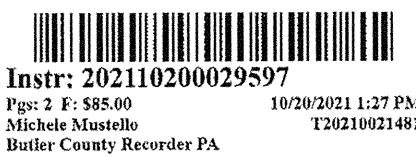
ZONING REQUIREMENTS

SITE ZONING: SPECIAL USE DISTRICT (SU-1) AND CCD-C OVERLAY
CONDITIONAL USE: KENNEL

TOWNSHIP STANDARD	REQUIRED	PROVIDED
BUILDING HEIGHT	50 FEET	23 FEET
MAXIMUM IMPERVIOUS SURFACE	70%	18.3%
MINIMUM PARKING AREA GREENSPACE	10%	10.5%
SETBACKS		
FRONT YARD	25 FEET	25 FEET
SIDE YARD (BUILDING)	15 FEET	15 FEET
SIDE YARD (PARKING)	10 FEET	10 FEET
REAR YARD	15 FEET	15 FEET

PARKING*		
TOTAL	28 SPACES	30 SPACES
ADA ACCESSIBLE	2 SPACES	2 SPACES

*PARKING REQUIREMENT CALCULATION:
1 SPACE PER 400 S.F. OF GROSS FLOOR AREA
11,000 SF / 400 SF = 27.5 = 28 SPACES REQUIRED
30 SPACES PROVIDED



OWNER \ DEVELOPER:

STNL PS CRANBERRY TOWNSHIP, LLC
8170 CORPORATE PARK DRIVE
CINCINNATI, OH 45242
CONTACT: BILL CHESTER - SVP REAL ESTATE DEVELOPMENT
PHONE: 513-655-1210
EMAIL: BCHESTER@STNLDEVELOPMENT.COM



Know what's below.
Call before you dig.
Serial No. 20211591535

PLAN BOOK	PAGE
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SITE PLAN NOTES:

- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES.
- ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
- LABELLED DIMENSIONS OVERRIDE SCALED DIMENSIONS.
- ALL NEW MATERIALS AND CONSTRUCTION METHODS MUST MEET PADOY PUBLICATION 400 STANDARDS.
- CONTRACTOR TO WORK AROUND EXISTING UTILITIES. IF ADJUSTMENTS ARE NECESSARY, WORK WILL BE CONSIDERED INCIDENTAL.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE NECESSARY SAFETY MEASURES TO SECURE THE SITE DURING CONSTRUCTION ACTIVITIES.
- THE GATEWAY ENGINEERS, INC. IS NOT RESPONSIBLE TO INSPECT PROJECT SITES TO ENSURE COMPLIANCE WITH OCCUPATIONAL SAFETY HEALTH ADMINISTRATION (OSHA) STANDARDS.
- TACK COAT SHALL BE REQUIRED IF PAVING LIFTS ARE NOT COMPLETED WITHIN 3 DAYS OF EACH OTHER. TACK COAT VERTICAL SURFACES ALONG SAW CUT LIMITS.
- ALL NON-LANDSCAPED ISLANDS SHALL BE PAINTED WITH STRIPES 4" WIDE, AT 45° AND 2 FEET O.C., UNLESS OTHERWISE SPECIFIED. USE ALKYD-RESIN TYPE, READY MIX COMPLYING WITH AASHTO M248, TYPE I COLOR WHITE.
- WITHIN THE LIMITS OF THE PROPOSED DRIVEWAYS THE CONTRACTOR SHALL SAW CUT AND REMOVE THE EXISTING PAVEMENT AND THE EXISTING CURB AND SHOULDER. THE CURB SECTION OF THE PROPOSED DRIVEWAYS SHALL BE DEPRESSED ACROSS THE LIMITS OF EACH DRIVEWAY. THE PROPOSED CURB SHALL MATCH INTO THE EXISTING PAVEMENT AT ALL DRIVEWAY LOCATIONS. THE CONTRACTOR SHALL CLEAN CONTACT SURFACES OF ALL EXISTING PAVEMENTS BEFORE PLACEMENT OF PROPOSED ADJACENT PAVEMENT. ALL JOINTS SHALL BE SEALED WITH A 4-INCH STRIP OF PG 64-22.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH PA DOT PUBLICATION 215 "WORK ZONE TRAFFIC CONTROL" (LATEST REVISION), AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
- ALL SIDEWALKS, CURB RAMPS, ADA PARKING SPACES, AND ADA ACCESS ROUTES MUST BE INSTALLED TO MEET THE MOST CURRENT FEDERAL AND STATE REQUIREMENTS AND MUST BE IN ACCORDANCE WITH ACCESSIBILITY GUIDELINES OF THE AMERICANS WITH DISABILITIES ACT (ADA).

SIDEWALKS SHALL NOT EXCEED A 2% CROSS-SLOPE.

NO PORTION OF AN ADA PARKING SPACE SHALL EXCEED 2% SLOPE.

CURB RAMPS SHALL NOT EXCEED 8.3% LONGITUDINAL SLOPE.

ACCESSIBLE ROUTES WILL BE PROVIDED FROM ALL ACCESSIBLE PARKING SPACES TO THE PROPOSED BUILDING IN ACCORDANCE WITH THE STATEWIDE BUILDING CODE (ICC ANSI A 117.1).

Date	No	REVISION RECORD
2021-07-09	01	REVISED PER TOWNSHIP REVIEW LETTER DATED 2021-06-25
2021-07-09	02	ISSUED FOR PERMIT
2021-08-04	03	CODE SYS SUBMISSION
2021-08-26	04	REVISED PER BCD INCOMPLETENESS COMMENTS
2021-09-01	05	AS PER RESOLUTION SUBMISSION TO TOWNSHIP
2021-09-15	06	ISSUED FOR CONSTRUCTION
-	07	-
-	08	-

PETSUITES CRANBERRY

PERRY HIGHWAY (S.R. 0019)
CRANBERRY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

PREPARED FOR:

STNL PS CRANBERRY TOWNSHIP, LLC
8170 CORPORATE PARK DRIVE
CINCINNATI, OH 45242

SITE PLAN FOR
RECORDING

Project Number: C-39840-0003
Drawing Scale: 1" = 40'
Date Issued: 2021-06-08
Index Number: -
Drawn By: BHAMTLW
Checked By: JEG
Project Manager: JEG

C102

THIS PLAN IS FOR POST-CONSTRUCTION STORMWATER MANAGEMENT PURPOSES ONLY

STORMWATER MANAGEMENT DECLARATIONS

I, Jonathan Garczewski, hereby certify that the Stormwater Management Plan meets all Design Standards and Criteria of the Cranberry Township Stormwater Management Ordinance.

Jonathan Garczewski
Jonathan Garczewski
Reg. 079459-PE

2021-09-21
Date

STNL Cranberry Township, LLC, owner of the land shown on the STNL Development plan hereby acknowledge that stormwater management BMPs are fixtures that cannot be altered or removed without prior approval by Cranberry Township.

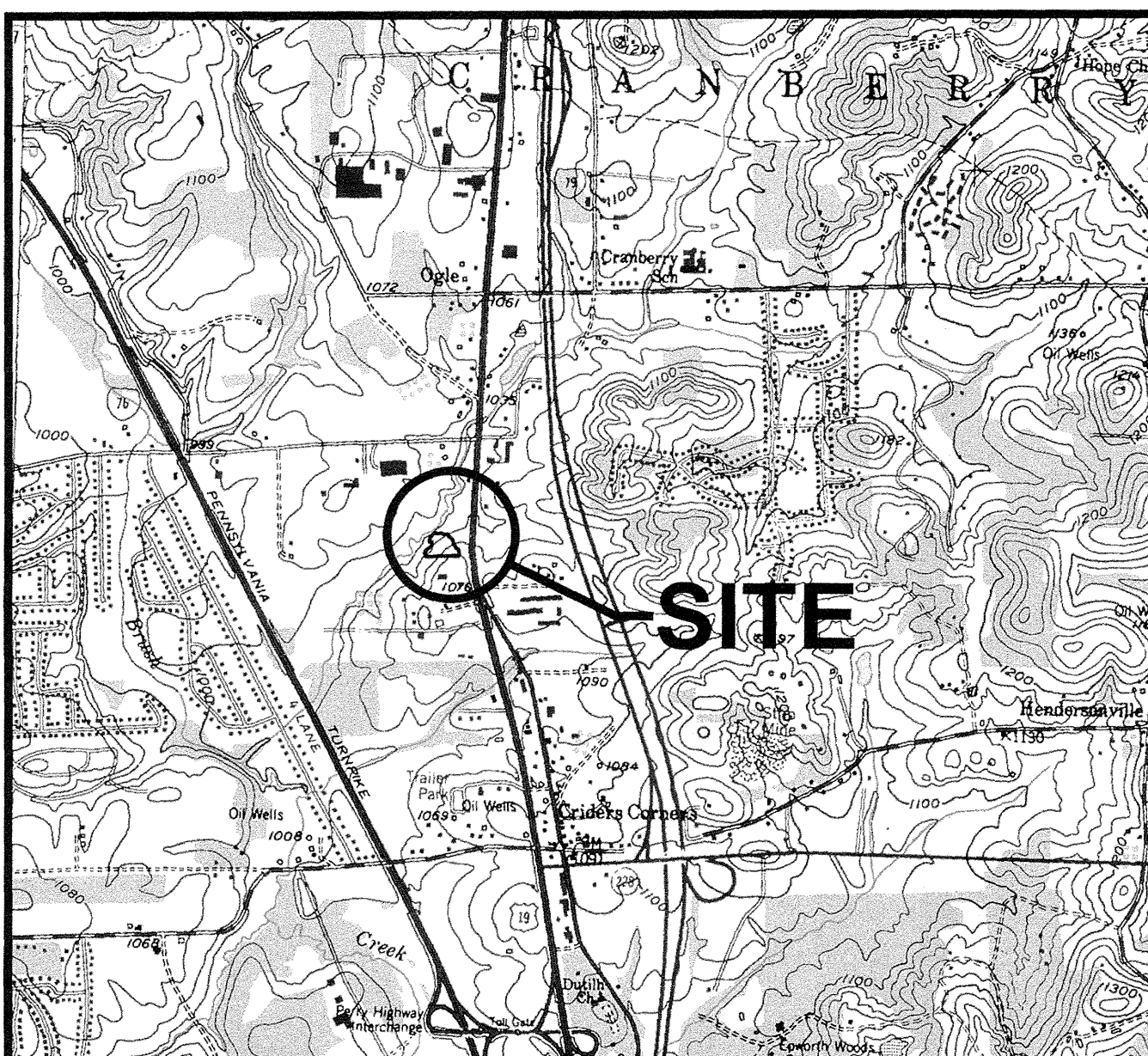
9/22/21
Date

Christopher Glanville
Bill Christner - SVP
Chris Glanville - Principal
Real Estate Development STNL Development

I, Tim Schutzmayer, have reviewed this Stormwater Management Plan in accordance with the Design Standards and Criteria of the Cranberry Township Stormwater Management Ordinance.

Tim Schutzmayer
Township Engineer
Waterworks Coordinator

10/20/21
Date



USGS SITE LOCATION MAP - MARS QUADRANGLE
SCALE: 1" = 2000'

PCSM LEGEND

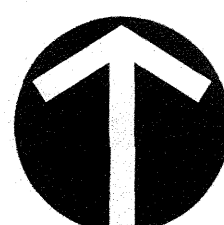
	0 C000	EROSION CONTROL BLANKET
	0 C000	ROCK RIP RAP APRON
		SOIL BOUNDARIES
		LIMITS OF DISTURBANCE
		PERMIT BOUNDARY

POST-CONSTRUCTION STORMWATER NOTES:

- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-64), FEDERAL REGISTER, CHAPTER XVII, PART 1826 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF THE BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PENNSYLVANIA ONE CALL SYSTEMS, INC. AT 1-800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER MANHOLES, INLETS, AND DETENTION SYSTEMS.
- AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
- ALL STORM PIPE SHALL BE HDPE, SMOOTH INTERIOR, CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED. ALL STORM SEWER CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS. ALL JOINTS SHALL BE WATERTIGHT.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- THE CONTRACTOR SHALL ASSURE THAT THERE IS POSITIVE DRAINAGE TO THE INLETS UPON PLACEMENT OF NEW PAVEMENT.
- IT SHALL BE UNLAWFUL TO ALTER OR REMOVE ANY PERMANENT STORMWATER BMP REQUIRED BY AN APPROVED SWM SITE PLAN OR TO ALLOW THE PROPERTY TO REMAIN IN A CONDITION THAT DOES NOT CONFORM TO AN APPROVED SWM SITE PLAN, UNLESS THE TOWNSHIP GRANTS AN EXCEPTION IN WRITING.
- PRIOR TO FINAL APPROVAL OF THE SWM SITE PLAN AND REPORT, THE APPLICANT SHALL SIGN AN OPERATION AND MAINTENANCE (O&M) AGREEMENT IN FORM AND SUBSTANCE APPROVED BY THE TOWNSHIP SOLLICITOR AND THE BOARD OF SUPERVISORS.
- NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, OR ALTER ANY EXISTING STORMWATER BMP, FACILITIES, AREAS, OR STRUCTURES, UNLESS IT IS PART OF AN APPROVED MAINTENANCE PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE TOWNSHIP.
- NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING, OR VEGETATION INTO A STORMWATER BMP, FACILITIES, AREAS, STRUCTURES, OR WITHIN A DRAINAGE EASEMENT WHICH WOULD LIMIT OR ALTER THE FUNCTIONING OF THE BMP WITHOUT THE WRITTEN APPROVAL OF THE TOWNSHIP.
- MUNICIPAL LIABILITY DISCLAIMER - APPROVAL OF A STORMWATER MANAGEMENT PLAN BY THE TOWNSHIP SHALL NOT BE CONSTRUED AS AN INDICATION THAT SAID PLAN COMPLIES WITH THE REQUIREMENTS, LAWS, OR STANDARDS OF ANY AGENCY OF THE COMMONWEALTH WHICH MAY OR MAY NOT GOVERN SAID ACTIVITY.
- AT THE COMPLETION OF THE PROJECT AND AS A PREREQUISITE FOR THE RELEASE OF THE FINANCIAL GUARANTEE, THE APPLICANT SHALL PROVIDE A CERTIFICATION OF COMPLETION FROM AN ENGINEER, ARCHITECT, SURVEYOR OR OTHER QUALIFIED PERSON VERIFYING THAT ALL PERMANENT FACILITIES HAVE BEEN CONSTRUCTED ACCORDING TO THE SWM SITE PLAN AND REPORT AND APPROVED REVISIONS THERETO.

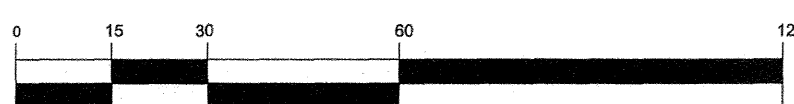
PROJECT AREAS

TOTAL PERMIT AREA = 2.30 ACRES
DISTURBED AREA = 1.95 ACRES



NORTH

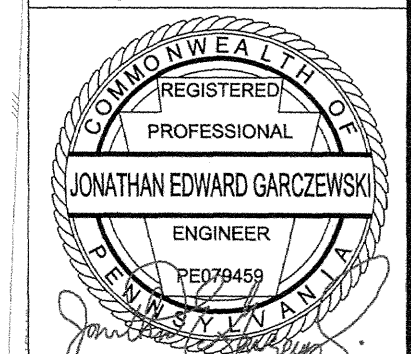
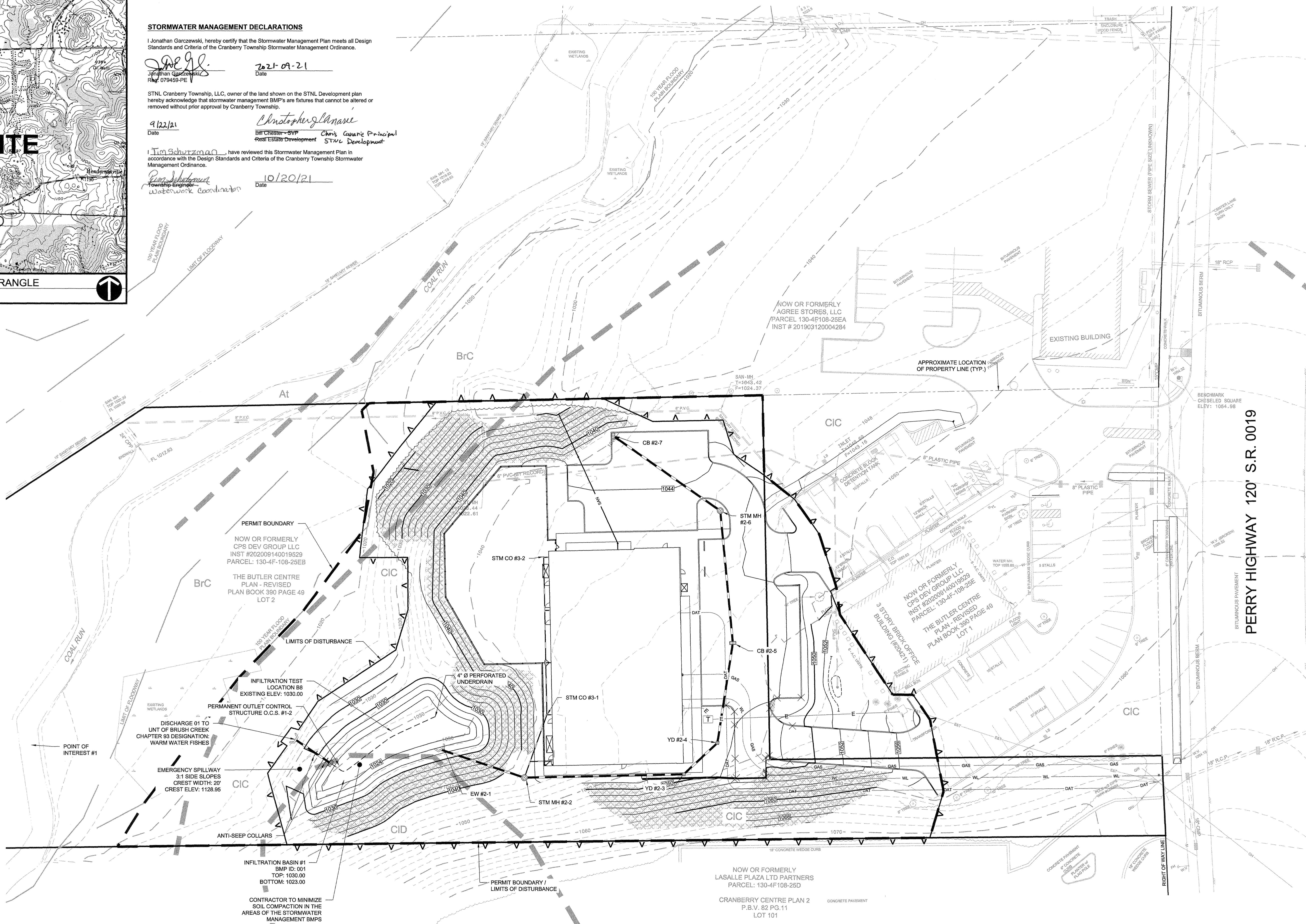
GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.



Know what's below.
Call before you dig.
Serial No. 20211591355

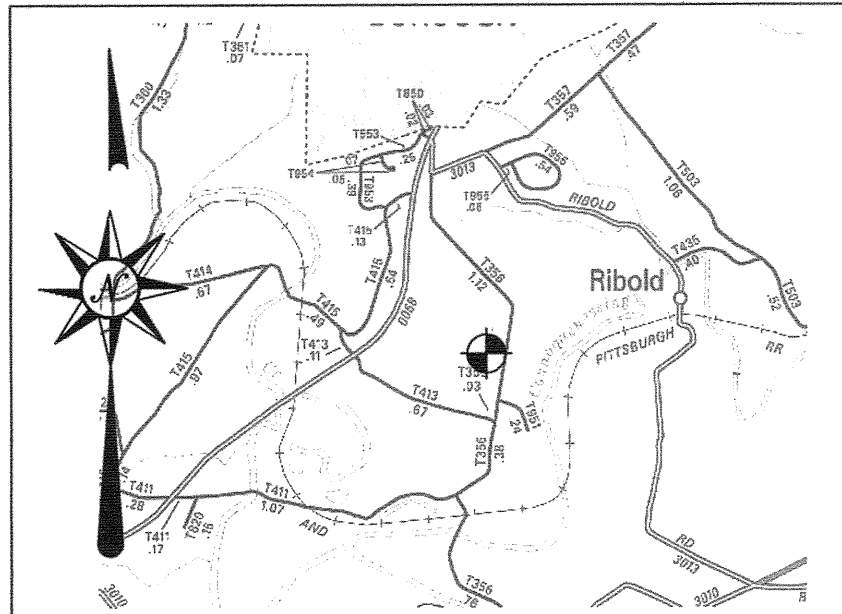


Date	No.	Revision
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2021-09-01	05	AS PER RESOLUTION SUBMISSION TO TOWNSHIP
2021-09-15	06	ISSUED FOR CONSTRUCTION
2021-10-20	07	
2021-10-20	08	

PETSUITES CRANBERRY
PERRY HIGHWAY (S.R. 0019)
CRANBERRY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA
PREPARED FOR:
STNL PS CRANBERRY TOWNSHIP, LLC
8170 CORPORATE PARK DRIVE
CINCINNATI, OH 45242

POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN
Project Number: C-39840-0003
Drawing Scale: 1"=30'
Date Issued: 2021-06-08
Index Number: --
Drawn By: BHMTLW
Checked By: JEG
Project Manager: JEG
C700

PLAN BOOK	PAGE
398	38



LOCATION MAP

The Board of Supervisors of the Township of Forward, Butler County, Pennsylvania hereby approves this plan of subdivision, for recording purposes only. This approval by the Township of Forward does not constitute an acceptance of the roads, streets, storm and sanitary drainage facilities, easements or rights of way, water mains or any other services or improvements shown on this plan, nor an assumption of maintenance responsibility nor will the same be accepted or maintained until constructed in accordance with all Township specifications and requirements and officially accepted by action of the Board of Supervisors. This approval shall in no way be deemed an authorization to commence construction or related activities. This plan of lot line revision approved by resolution of the Board of Supervisors of the Township of Forward, Butler County, Pennsylvania, on this 14 day of September, 2021

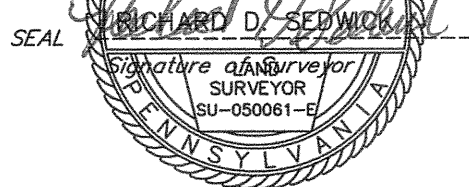
ATTEST:
Lindsey Everett
SECRETARY

Mark Malachuk
CHAIRMAN

Certification by Professional Land Surveyor

I, Richard D. Sedwick, a Professional Land Surveyor, registered by the Commonwealth of Pennsylvania, do hereby certify that the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown and that the monuments and markers have been set as shown on the plan. This plan correctly represents the lots, land, streets and highways as surveyed.

JUNE 2021
DATE



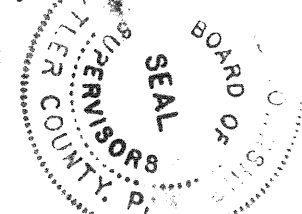
Final approval by the Forward Twp. Planning Commission

this 24 day of August, 2021
Bette Spithaler Secretary
Scott L. P. Chairman



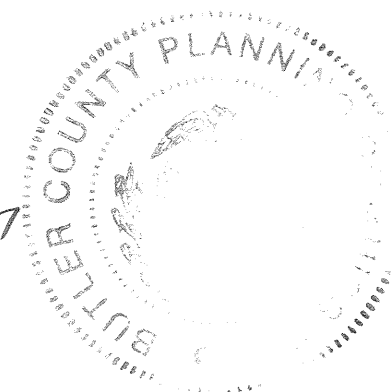
Final approval by the Forward Twp. Supervisors

this 14 day of September, 2021
Lindsey Everett Secretary
Mark Malachuk Chairman



Reviewed by the Butler County Planning Commission

this 18th day of AUG., 2021
R. H. JRM Secretary
J. H. JRM Chairman



COMMONWEALTH OF PENNSYLVANIA COUNTY OF BUTLER
Recording Certificate

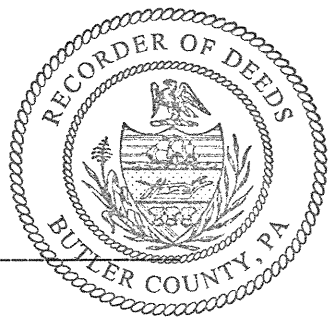
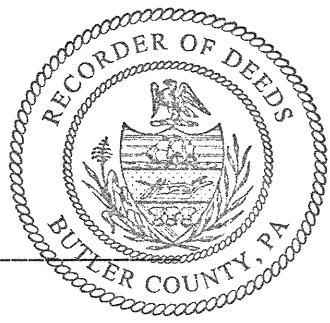
Recorded this 22nd day of October, 2021 in the.

Register and Recorder of Deeds office, in Plan Book, Vol. 398, Page 39 SL.

Michele M. Mustello
Recorder of Deeds

MICHELE M. MUSTELLO
RECORDER OF DEEDS

My Commission Expires First Monday in January 2024



RESIDUAL TRACT NOTE FOR THE REMAINDER OF LOT #4

"As of the date of this plot plan, the residual tract of this subdivision is dedicated for the express purpose of agricultural use. No portion of the residual tract of this subdivision has been approved by the municipality or the approving agency for the installation of sewage disposal facilities. No sewage permit will be issued for the installation, construction, connection to or use of any sewage collection, conveyance, treatment or disposal system (except for repairs to existing systems) unless the municipality and approving agency have approved any required sewage facilities planning for the residual tract of the subdivision described herein in accordance with the Sewage Facilities Act (35 P.S. Sections 750.1 et seq.) and regulations promulgated thereunder. Prior to signing, executing, implementing or recording any sales contract or subdivision plan, any purchaser or subdivider of any portion of this residual tract should contact the municipality which is charged with administering the Sewage Facilities Act to determine what type of sewage facilities planning is required and the procedure and requirements for obtaining appropriate permits or approvals."

KNOW ALL MEN BY THESE PRESENTS, that we, ARTHUR & NANCY ZATTIERO of the Township of Forward, Pa., for us, our heirs, executors, administrators and assigns do hereby adopt this as our plan of subdivision of my property, situate in the Township of Forward, County of Butler, Commonwealth of Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever, for public use for highway, drainage, sewage and utility purposes, all drives, roads, streets, lands, rights-of-way, easements, way and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings and in consideration of the approval of said plan and any future acceptance of said public highways, right-of-way and easements by said County of Butler and Township of Forward

We, ARTHUR & NANCY ZATTIERO, hereby agree to and by these presents do release and forever discharge said County of Butler and said Township of Forward, their successors or assigns from any liability for damages arising and to arise from the appropriation of said ground for public highways, and other public uses and the physical grading thereof to any grades that may be established. This dedication and release shall be binding upon ARTHUR & NANCY ZATTIERO, our heirs, executors administrators and assigns and purchasers of said lots in his plan. IN WITNESS WHEREOF, I hereunto set my hand and seal this 24 day of Sept., 2021

ATTEST
Nancy Zattiero + Arthur Zattiero
Owners
Amy C. Jones
Notary Public

My commission expires the 23 day of Feb., 2024

Commonwealth of Pennsylvania - Notary Seal
Amy C. Jones, Notary Public
Butler County
My commission expires February 23, 2024
Commission number 1296179
Member, Pennsylvania Association of Notaries

PARCEL #160-3F74-25AA
N/F WILLIAM GLEASON

PARCEL #160-3F74-26D
N/F EDWARD BRICKER

LOT #3
ZATTIERO PLAN #2
RECORDED PB: 226 PG: 2
AUGUST 27 1999

IRON PIN (FOUND)

TEST PITS & PERC TEST HOLES

PARCEL #160-3F74-27C
N/F WAYNE REUTER

PARCEL #160-3F74-26
LOT #4
ZATTIERO PLAN #2
RECORDED PB: 226 PG: 2
AUGUST 27 1999
6.37 ACRES
REMAINING

PARCEL #160-3F74-27A2
N/F ALVIN VOGEL

NOTE: NO ABSTRACT OF TITLE, NOR TITLE COMMITMENT, NOR RESULTS OF A TITLE SEARCH WERE FURNISHED TO THE SURVEYOR THERE MAY EXIST OTHER DOCUMENTS OF RECORD THAT WOULD AFFECT THIS SURVEYED PARCEL.

SUBJECT TO :
EASEMENTS, SERVITUDES, RIGHTS-OF-WAY, LEASES, EXCEPTIONS, RESERVATIONS, RESTRICTIONS, ECT., IF ANY THAT MAY APPEAR EITHER RECORDED OR UNRECORDED.

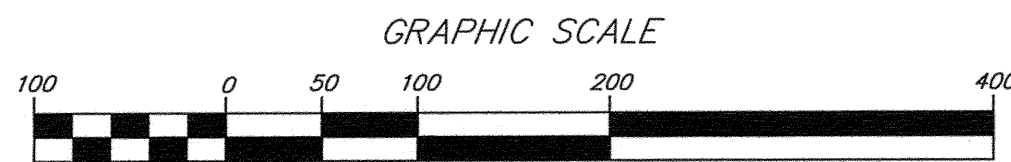
BUILDING SETBACK LINES:
FRONT 50' FROM R/W
SIDE 15'
REAR 20'

PLAN BOOK	PAGE
398	39

Commonwealth of Pennsylvania - Notary Seal
Amy C. Jones, Notary Public
Butler County
My commission expires February 23, 2024
Commission number 1296179
Member, Pennsylvania Association of Notaries

COMMONWEALTH OF PENNSYLVANIA :
COUNTY OF Butler
On this, the 20 day of October, 2021, before me a Notary Public, Nancy and Arthur Zattiero, know to me or satisfactorily proven to be the person whose name is subscribed to the within instrument, and acknowledged that he/she executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.
Amy C. Jones
Notary Public



(IN FEET)
1 inch = 100 ft.

ZATTIERO PLAN #3

DRAWN BY: R.D.S.	SUBDIVISION PLAN MADE FOR ARTHUR & NANCY ZATTIERO	
CHECKED BY D.R.D.		
SCALE: 1"=100'		
DATE: JUNE 2021	FORWARD TWP	BUTLER CO. PA.
DRAWING NO: 160-3F74-26	R.D.SEDWICK P.L.S.	KITTANNING, PA. 724-355-9302

OWNER'S ADOPTION
I, KENNETH A. KAISER, OWNER OF THE LAND SHOWN ON THE K, KAISER PLAN, HEREBY ADOPT THIS PLAN AS OUR PLAN OF LOTS AND IRREVOCABLY DEDICATE ALL STREET AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. ANY FUTURE ACCEPTANCE OF SAID PUBLIC STREETS OR PROPERTY BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF MIDDLESEX, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF MIDDLESEX, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC STREETS OR PROPERTY AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON MY HEIRS, EXECUTORS, AND ASSIGNS.

x Kenneth A. Kaiser
KENNETH A. KAISER

ACKNOWLEDGMENT OF NOTARY PUBLIC
BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, KENNETH A. KAISER, AND ACKNOWLEDGED THE FOREGOING ADOPTION, DEDICATION AND PLAN TO BE THEIR ACT AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 1 DAY OF OCTOBER, 2021.

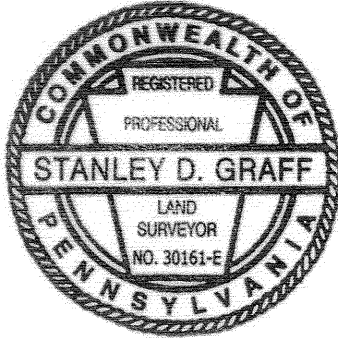
MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023.

x Debra L. Jeffcoat
NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Debra L. Jeffcoat, Notary Public
Butler County
My commission expires February 17, 2023
Commission number 1152794
Member, Pennsylvania Association of Notaries

SURVEYOR'S CERTIFICATION
I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THAT THE SURVEY AND PLAN SHOWN HEREON CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME.

DATE 8 APRIL 2021
STANLEY D. GRAFF
REG. NO. SU-030161-E



MUNICIPAL DECLARATIONS
THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX, HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF MIDDLESEX HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

x [Signature]
CHAIRPERSON
BOARD OF SUPERVISORS

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX BY RESOLUTION NO. _____, EFFECTIVE THIS 20 DAY OF OCTOBER, 2021.

x [Signature]
CHAIRPERSON
BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF MIDDLESEX THIS 20 DAY OF OCTOBER, 2021.

x [Signature]
CHAIRPERSON
PLANNING COMMISSION

I, Jeff A. Mikesic, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER FOR MIDDLESEX TOWNSHIP, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

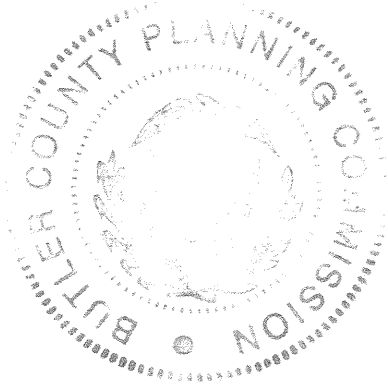
x [Signature]
TOWNSHIP ENGINEER
REGISTRATION NO. PE083712 DATE 5/5/21



BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 17TH DAY OF MARCH, 2021.

x [Signature]
CHAIRPERSON
BUTLER COUNTY PLANNING COMMISSION



PROOF OF RECORDING

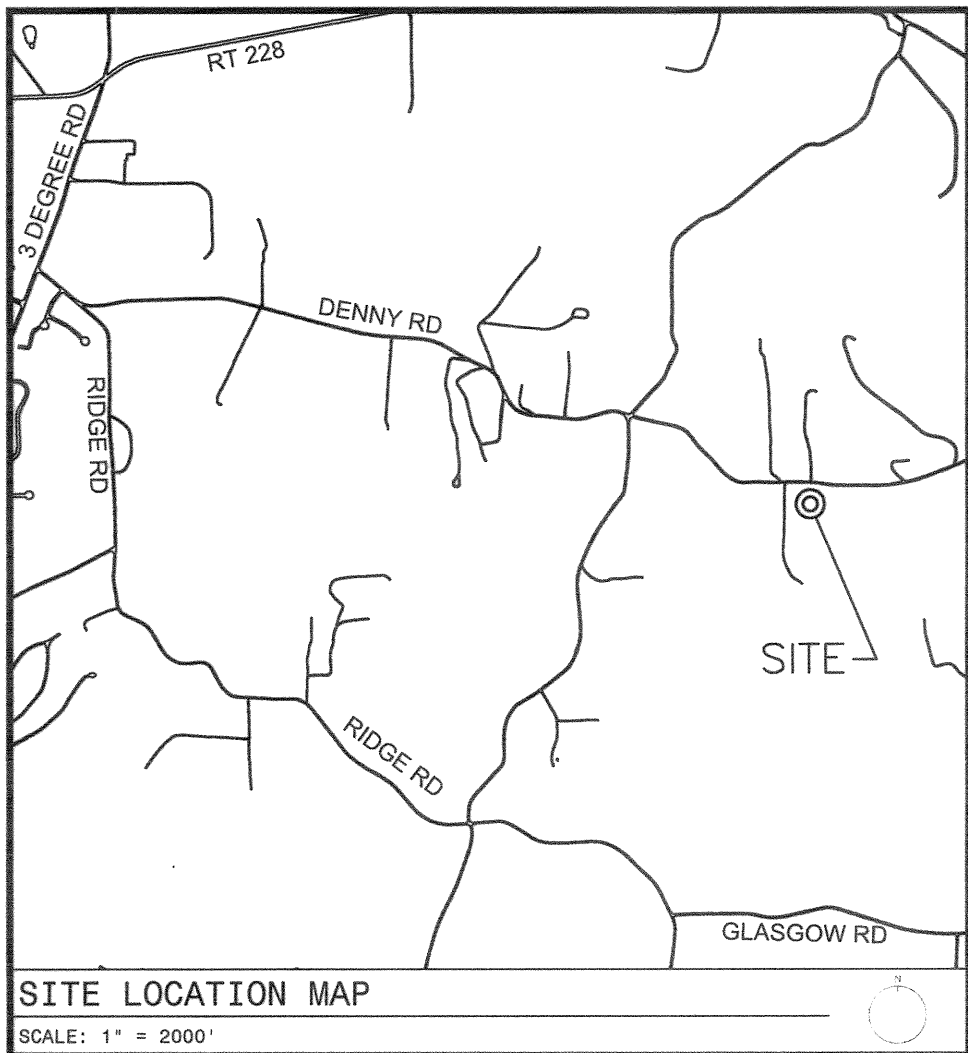
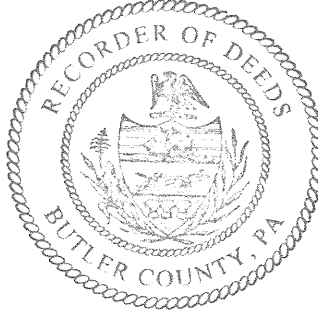
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA.

IN PLAN BOOK VOLUME 398 PAGE(S) 40

GIVEN UNDER MY HAND AND SEAL THIS 25TH DAY OF October, 2021.

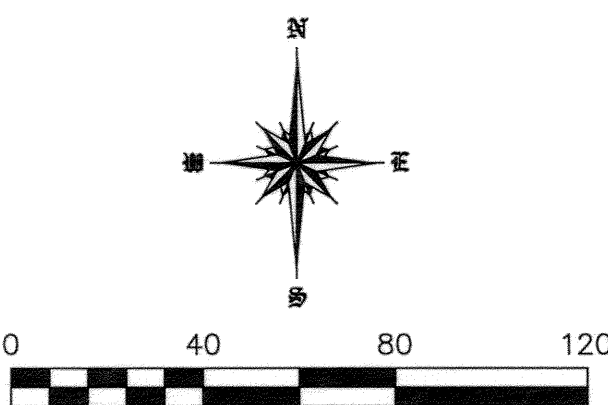
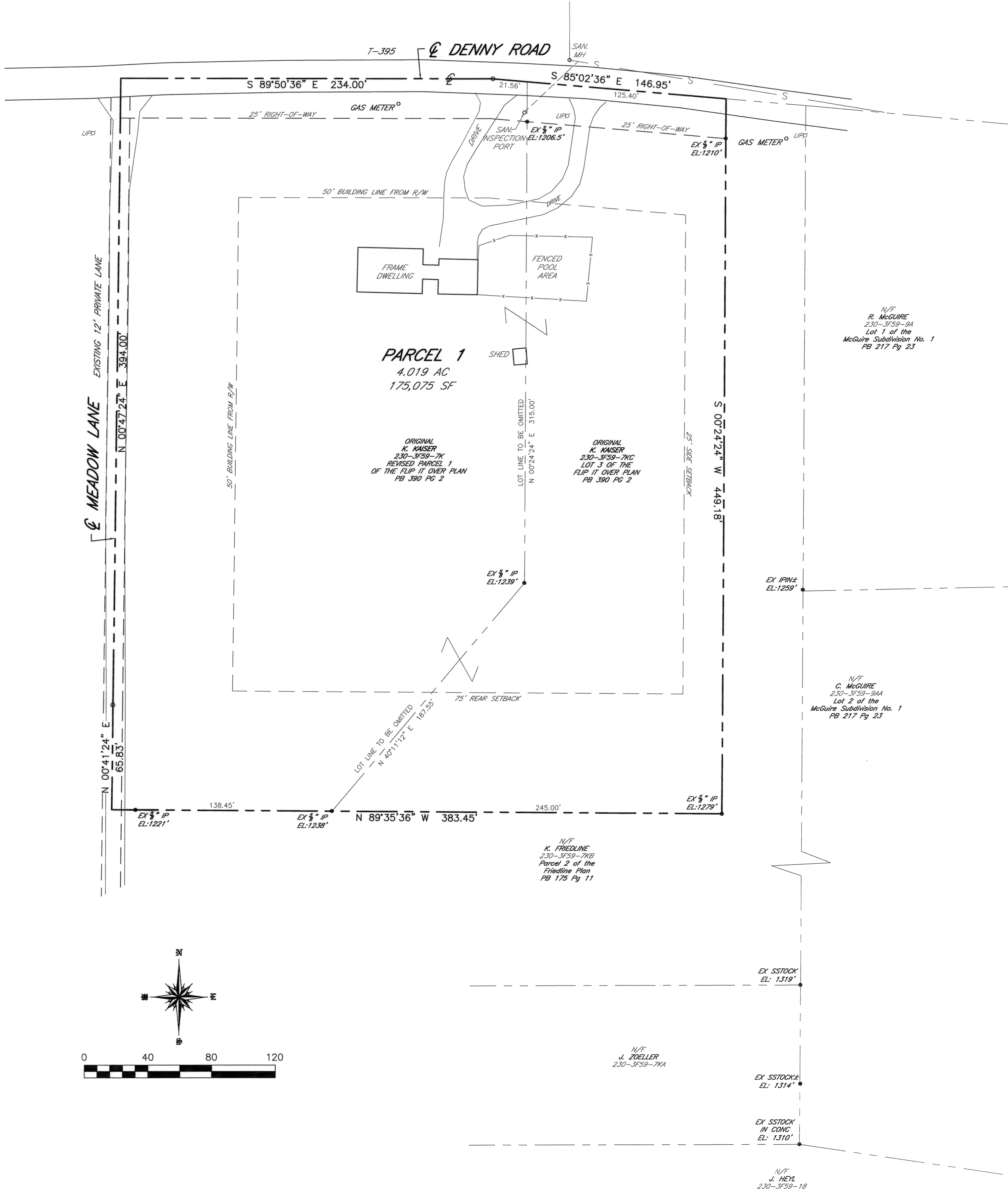
x [Signature]
RECORDER OF DEEDS

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



PLAN ORIENTATION NOTE: THE BEARINGS SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (PA-S) / NAD 1983

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.



PROPERTY AREAS:	
EXISTING TOTALS	
REVISED PARCEL 1	2.517 ACRES
+LOT 3	1.502 ACRES
EXISTING TOTAL	4.019 ACRES
REVISED TOTALS	
PARCEL 1	4.019 ACRES
REVISED TOTAL	4.019 ACRES

MIDDLESEX TOWNSHIP AG-A RURAL RESIDENTIAL DISTRICT		
Dimension	Single Family with Public Water and Sewer	Single Family without Public Water or Sewer
Min. Lot Area	3/4 AC / 32,670 SF	1 AC / 43,560 SF
Min. Lot Width	125 FT	125 FT
Min. Front Yard Depth	50 FT from lot or 75 FT from CL, whichever is greater	50 FT from lot or 75 FT from CL, whichever is greater
Min. Side Yard Depth	Dwellings: 25 FT Accessory structures: 10 FT	Dwellings: 25 FT Accessory structures: 10 FT
Min. Rear Yard Depth	Principal structures: 75 FT Accessory structures: 10 FT	Principal structures: 75 FT Accessory structures: 10 FT

GENERAL NOTES:

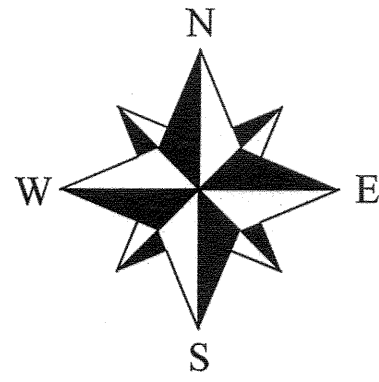
- OWNERS: KENNETH A. KAISER
- TAX ID: 230-3F59-7K & 230-3F59-7KC
- ZONING DISTRICT: AG-A RURAL RESIDENTIAL
- SETBACKS: SEE TABLE
- UTILITY:
 - PUBLIC SANITARY SEWER
 - ON-LOT WATER
- FEMA FLOOD ZONE: ZONE X - AREA OF MINIMAL FLOOD HAZARD
FIRM: 42019C0537D
FIRM EFFECTIVE: 9/2/2018
- REFERENCES:
 - CURRENT DEEDS OF RECORD
 - PREVIOUSLY RECORDED PLANS
 - FRIEDLINE PLAN
PLAN BOOK 175 PG 11
 - McGUIRE SUBDIVISION NO. 1
PLAN BOOK 217 PG 23
 - FLIP II OVER LLC PLAN
PLAN BOOK 390 PG 2

A	REVISIONS PER TOWNSHIP ENGINEER REVIEW	SDG	3/24/2021
REV	DESCRIPTION	BY	DATE
GRAFF SURVEYING LLC PO BOX 521 SAXONBURG, PA 16056 P: 724-352-3811 F: 724-352-1059 INFO@GRAFFSURVEYING.COM WWW.GRAFFSURVEYING.COM			
PROJECT DESCRIPTION K. KAISER PLAN BEING A CONSOLIDATION FOR KENNETH A. KAISER			
SITUATE MIDDLESEX TOWNSHIP BUTLER COUNTY, PENNSYLVANIA			
DATE 03/08/21	DRAWN BAG	CHECKED Sdg	SCALE 1" = 40'
PROJECT NO. 21-033	TAX PARCEL NO. 230-3F59-7K & 7KC	REVISION A	

RECORDED	20
PLAN BOOK	PAGE
398	40
SHEET	of

K. KAISER PLAN

Being a consolidation of Revised Parcel 1 and Lot 3 of the Flip II Over LLC Plan, PB 390 PG 2, and being Butler County Tax Parcels 230-3F59-7K & 7KC



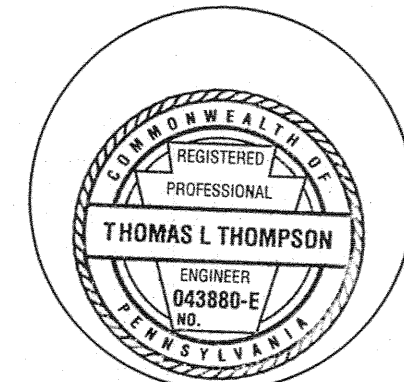
Instr: 202110270030202
Pg: 1 P: 845.00
Michele Mustello
Butler County Recorder PA
10/27/2021 11:48 AM
T20211027198

Review By Twp Engineer & Planning Director

THIS PLAN WAS REVIEWED BY THE TOWNSHIP ENGINEER
FOR CONFORMANCE WITH THE LANCASTER TOWNSHIP
SUBDIVISION AND LAND DEVELOPMENT ORDINANCES
AND OTHER APPLICABLE TOWNSHIP ORDINANCES.

Thomas L Thompson 043880-E
PRINTED NAME & REGISTRATION NO.

Thomas L Thompson
TOWNSHIP ENGINEER SIGNATURE



TOWNSHIP ENGINEER

APPROVED BY THE PLANNING DIRECTOR OF LANCASTER TOWNSHIP THIS 23rd DAY OF September
PURSUANT TO CHAPTER 22, SUBDIVISION AND LAND DEVELOPMENT, OF THE CODE OF LANCASTER TOWNSHIP
AS AMENDED. THE PLANNING DIRECTOR OF LANCASTER TOWNSHIP GIVES NOTICE THAT IN APPROVING THIS
PLAN FOR RECORDING, LANCASTER TOWNSHIP HAS NO OBLIGATION TO ACCEPT DEDICATION OF ANY
STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS,
LAND OR FACILITIES.

C. Michell
TOWNSHIP PLANNING DIRECTOR
(SEAL)

BY RESOLUTION APPROVED ON THE 21 DAY OF September 2021 THE BOARD OF DIRECTORS OF NVR, INC.
INCORPORATED IN THE COMMONWEALTH OF PENNSYLVANIA, OWNER OF THE LAND SHOWN ON THE ARDEN WOOD AMENDMENT NO.
16 PLAN ADOPTED THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATED ALL STREETS AND OTHER PROPERTY
IDENTIFIED FOR DEDICATION TO THE PUBLIC. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE
CORPORATION AND UPON ITS SUCCESSORS AND ASSIGNS.

NVR, INC.
Michael Mustello
SIGNATURE AND TITLE OF OFFICER WITNESSING

Michael Mustello -VP
SIGNATURE AND TITLE OF AUTHORIZED OFFICER

9-21-21
DATE

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF
Butler PERSONALLY APPEARED Mike Robertson UP OF NVR, INC. WHO
STATED THAT HE IS AUTHORIZED TO EXECUTE THE ABOVE ADOPTION AND DEDICATION ON BEHALF OF THE CORPORATION AND
WAS PRESENT AT THE MEETING AT WHICH THE ACTION OF THE CORPORATION WAS TAKEN TO ADOPT THE PLAN AND DEDICATE
PUBLIC PROPERTY CONTAINED THEREIN TO THE PUBLIC.

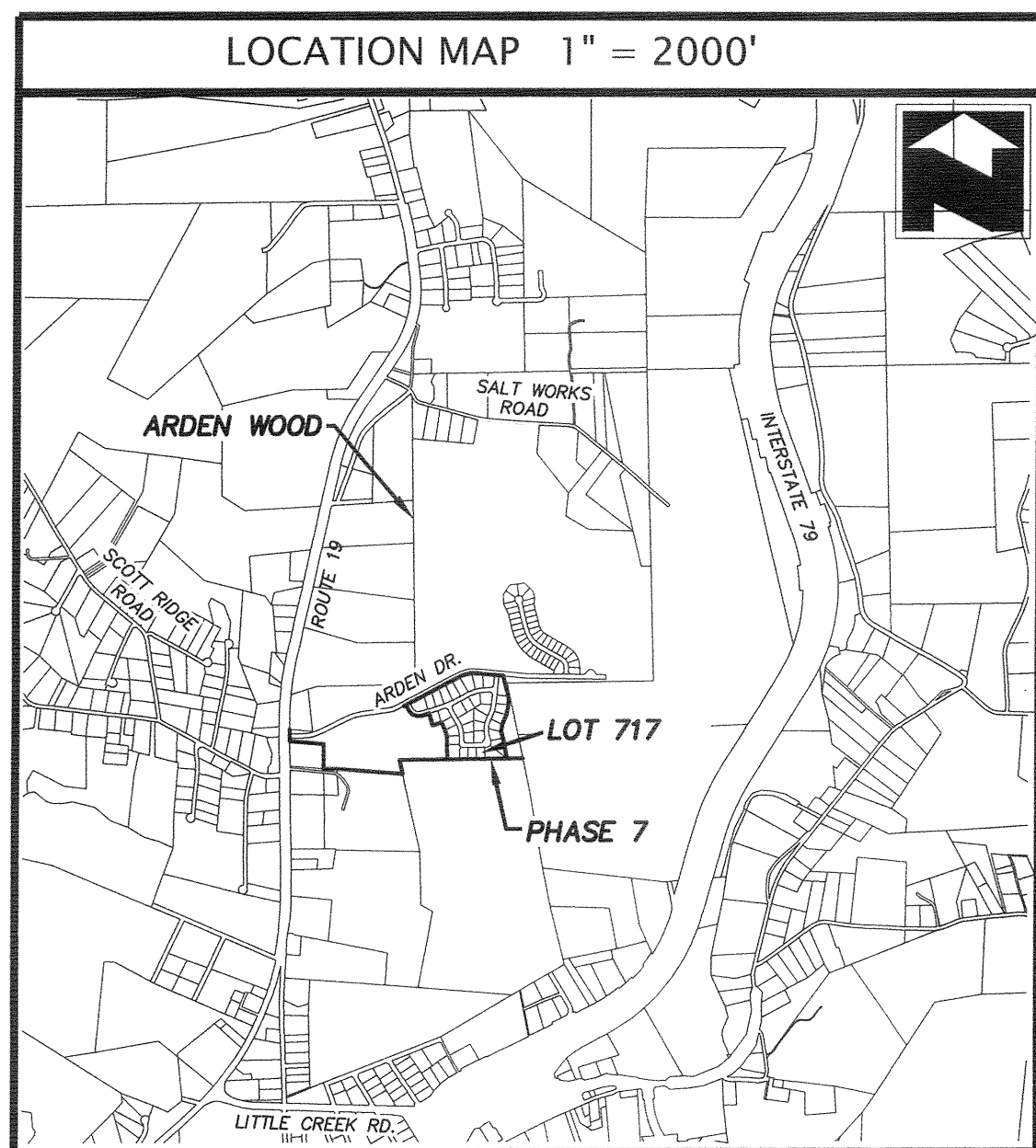
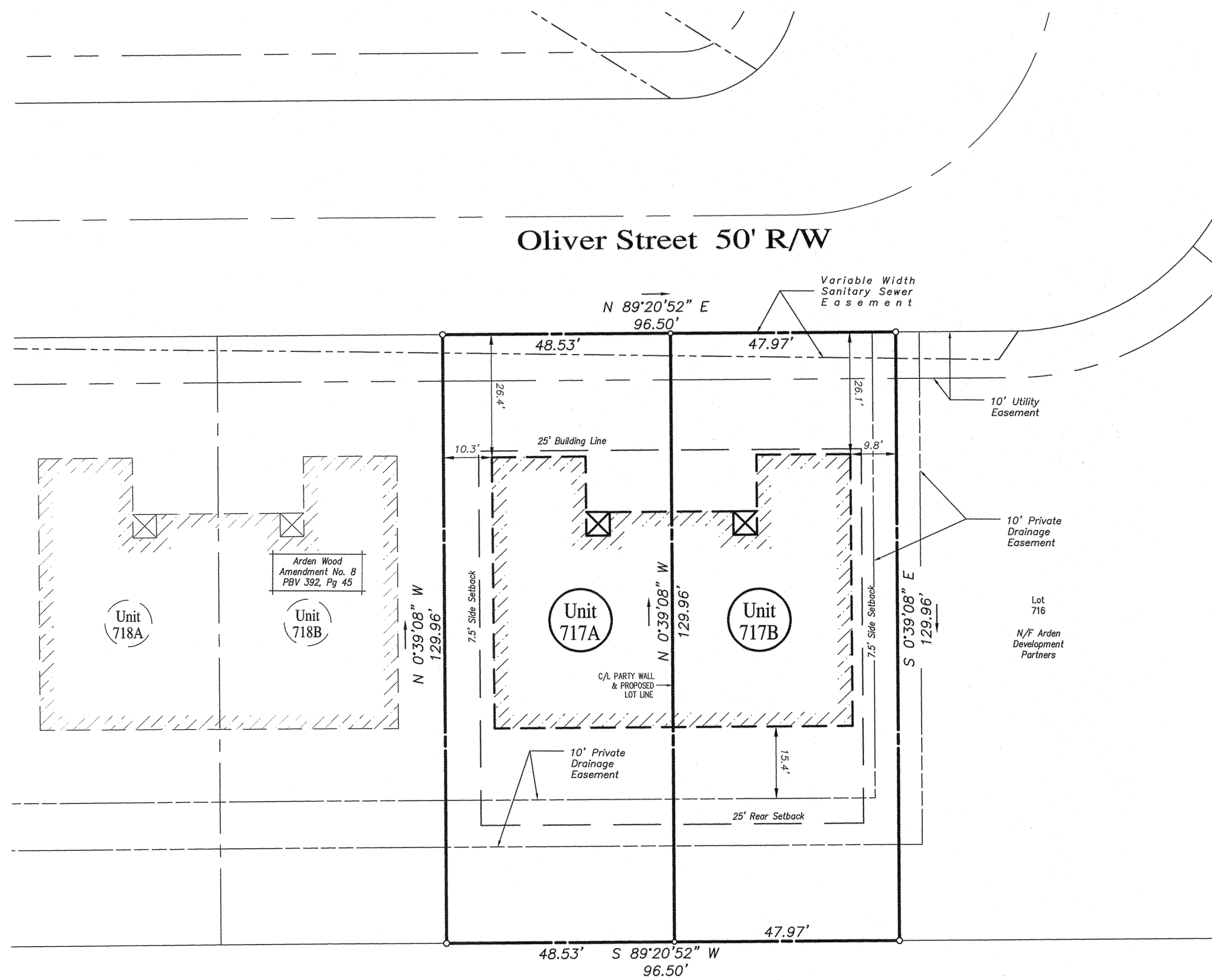
WITNESS MY HAND AND NOTARIAL SEAL THIS 21 DAY OF September 2021
(SEAL) Commonwealth of Pennsylvania - Notary Seal
Jennifer Lyn Spurdute, Notary Public,
Butler County
My commission expires October 14, 2023
Commission number 1355873
Member, Pennsylvania Association of Notaries
Jennifer Lyn Spurdute
NOTARY PUBLIC

I, Mike Robertson UP HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED
IN THE ARDEN WOOD AMENDMENT NO. 16 IS IN THE NAME OF NVR, INC. AND IS RECORDED AT INSTRUMENT NO. 2021072200207933. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

Michael Mustello
SIGNATURE OF WITNESS
Mike Robertson -VP
SIGNATURE AND TITLE OF AUTHORIZED OFFICER

I, JAMES A. SPERDUTE, A REGISTERED PROFESSIONAL SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA,
DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED
UPON AN ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND
COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON
THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS A
SURVEYED BY ME AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

James A. Spurdute
JAMES A. SPERDUTE, R.S. # 2457-E



GENERAL PLAN NOTES

- THIS PLAN IS A RE-SUBDIVISION OF LOT 717 OF THE ARDEN WOOD RESIDENTIAL PLAN OF LOTS - PHASE 7 AS RECORDED IN PLAN BOOK 382, PAGES 8-9
- THIS PLAN IS SUBJECT TO ANY AND ALL CONDITIONS OF THE PREVIOUSLY APPROVED AND RECORDED PLANS.
- IF APPLICABLE, BEARINGS LABELED AS (NR) ARE NON-RADIAL TO THE INTERSECTING RIGHT OF WAY LINE.
- NO ADDITIONAL BUILDING LOTS/UNITS ARE BEING PROPOSED THAT WERE NOT PREVIOUSLY ACCOUNTED FOR IN THE MASTER PLAN.

AFFECTED ZONING DISTRICT R-2 RESIDENTIAL

- MINIMUM LOT WIDTH 110.00' @ BUILDING LINE
- MINIMUM FRONT SETBACK 25.00 FEET
- MINIMUM REAR SETBACK 25.00 FEET
- MINIMUM SIDE SETBACK 5.00 MIN/15.00 TOTAL
- MAXIMUM BUILDING HEIGHT 2.5 STORIES

*ABOVE CRITERIA PERTAINS TO THE ORIGINAL LOT PRIOR TO THIS PLAN.

PROPOSED LOT AREAS

	717A	717B	Total
Sq. Ft.	6,307.415	6,233.585	12,540.000
Acres	0.145	0.143	0.288

PROPERTY REFERENCES

PROPERTY OWNER:
NVR, INC
ONE PENN CENTER WEST, SUITE 220
PITTSBURGH, PA 15276
LOT REFERENCE:
TAX PARCEL 200-S7-B717
INSTRUMENT NO. 202107220020793

DEVELOPER / PROPERTY OWNER:



DRAWING NUMBER: 1010-2123246

DRAWING SCALE: 1"=20'
DATE: August 17, 2021
DRAWN BY:
REVISIONS:

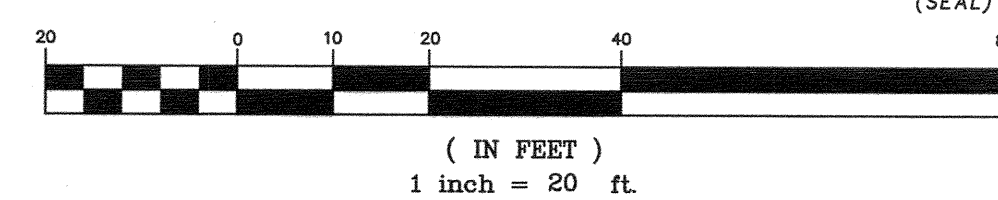
Arden Wood Amendment No. 16

Being a subdivision of Lots 717 of the
Arden Woods Residential Plan of Lots Phase 7
As recorded in Plan Book 382, Page 8
Lancaster Township, Butler County, PA

Spurdute Land Surveying
A Division of Sheffler & Company

108 Deer Lane
Harmony, PA 16037
1712 Mount Nebo Road
Sewickley, PA 15143
Office Phone: 724-452-4362
Email: Info@SpurduteSurveying.com

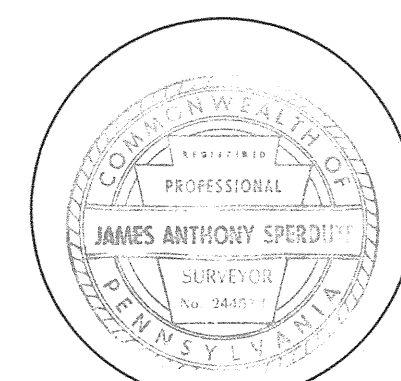
GRAPHIC SCALE



(SEAL)

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

Michele M. Mustello
RECORDER OF DEEDS



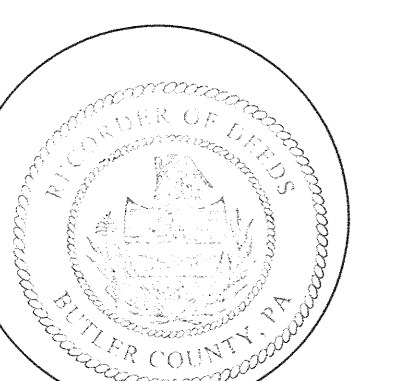
REGISTERED
SURVEYOR



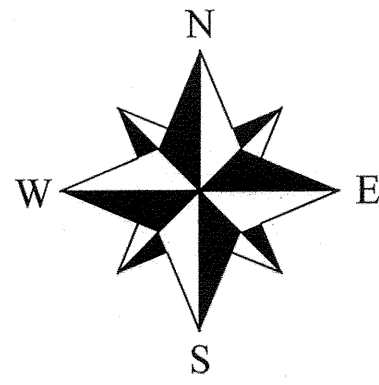
LANCASTER TOWNSHIP
BOARD OF SUPERVISORS



BUTLER COUNTY
PLANNING COMMISSION



BUTLER COUNTY
RECORDER OF DEEDS



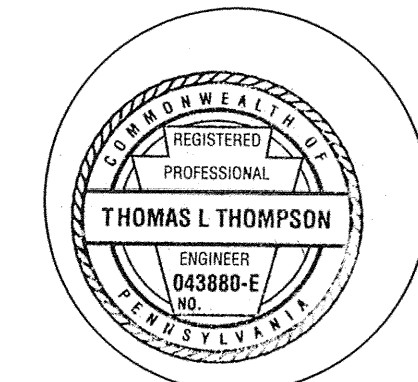
Instr: 20210270030263
Pg: 1 of 545.00
Michele Mustello
Butler County Recorder PA
10/27/2021 11:48 AM
T20210221985

Review By Twp Engineer & Planning Director

THIS PLAN WAS REVIEWED BY THE TOWNSHIP ENGINEER FOR CONFORMANCE WITH THE LANCASTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCES AND OTHER APPLICABLE TOWNSHIP ORDINANCES.

THOMAS L. THOMPSON
PRINTED NAME & REGISTRATION NO.

TOWNSHIP ENGINEER SIGNATURE



TOWNSHIP ENGINEER

APPROVED BY THE PLANNING DIRECTOR OF LANCASTER TOWNSHIP THIS 23 DAY OF September
PURSUANT TO CHAPTER 22, SUBDIVISION AND LAND DEVELOPMENT, OF THE CODE OF LANCASTER TOWNSHIP AS AMENDED. THE PLANNING DIRECTOR OF LANCASTER TOWNSHIP GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, LANCASTER TOWNSHIP ASSUMES NO OBLIGATION TO ACCEPT DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

TOWNSHIP PLANNING DIRECTOR
(SEAL)

BY RESOLUTION APPROVED ON THE 21 DAY OF September 2021 THE BOARD OF DIRECTORS OF NVR, INCORPORATED IN THE COMMONWEALTH OF PENNSYLVANIA, OWNER OF THE LAND SHOWN ON THE ARDEN WOOD AMENDMENT NO. 17 PLAN ADOPTED THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATED ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION TO THE PLAN TO THE PUBLIC. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE CORPORATION AND UPON ITS SUCCESSORS AND ASSIGNS.

NVR, INC.
SIGNATURE AND TITLE OF OFFICER WITNESSING

SIGNATURE AND TITLE OF AUTHORIZED OFFICER

DATE
9-21-2021

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED Peter Robertson, V.P. OF NVR, INC. WHO STATED THAT HE IS AUTHORIZED TO EXECUTE THE ABOVE ADOPTION AND DEDICATION ON BEHALF OF THE CORPORATION AND WAS PRESENT AT THE MEETING AT WHICH THE ACTION OF THE CORPORATION WAS TAKEN TO ADOPT THE PLAN AND DEDICATE PUBLIC PROPERTY CONTAINED THEREIN TO THE PUBLIC.

WITNESS MY HAND AND NOTARIAL SEAL THIS 21 DAY OF September 2021
Commonwealth of Pennsylvania - Notary Seal
Jenniffer Lynn Spurdute, Notary Public
Butler County
My commission expires October 14, 2023
Commission number 1355573
NOTARY PUBLIC
Member, Pennsylvania Association of Notaries

I, Peter Robertson, V.P. HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE ARDEN WOOD AMENDMENT NO. 17 IS IN THE NAME OF NVR, INC. AND IS RECORDED AT INSTRUMENT NO. 202108060022534. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.
SIGNATURE OF WITNESS
SIGNATURE AND TITLE OF AUTHORIZED OFFICER

I, JAMES A. SPURDUTE, A REGISTERED PROFESSIONAL SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS A SURVEYED BY ME AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

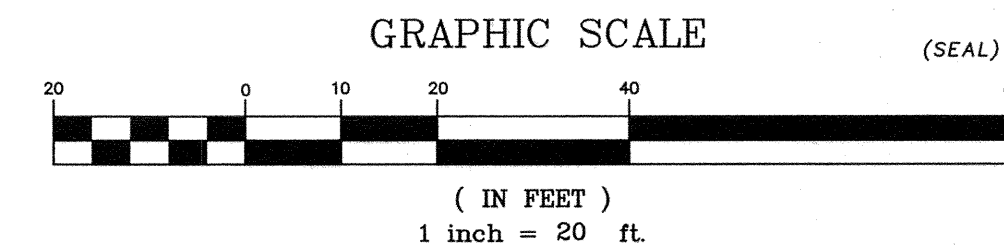
JAMES A. SPURDUTE, R.S. 14141-E

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF LANCASTER HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF LANCASTER ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADES, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR INSTALL ANY OTHER SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

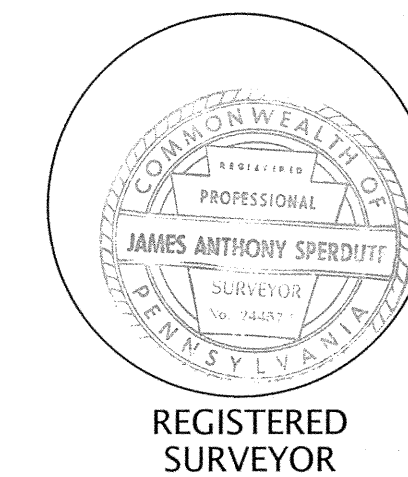
APPROVED BY THE LANCASTER TOWNSHIP BOARD OF SUPERVISORS THIS 23rd DAY OF September
REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THE 20th DAY OF Oct. 2021
SECRETARY
CHAMPPERSON

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS IN AND FOR BUTLER COUNTY PENNSYLVANIA IN SUBDIVISION PLAN BOOK 398 PAGE 42
GIVEN UNDER MY HAND AND SEAL THIS 27th DAY OF October 2021

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024
RECORDER OF DEEDS



PLAN BOOK
398
PAGE
42



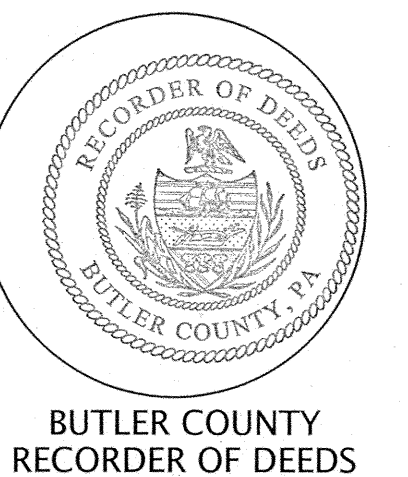
REGISTERED SURVEYOR



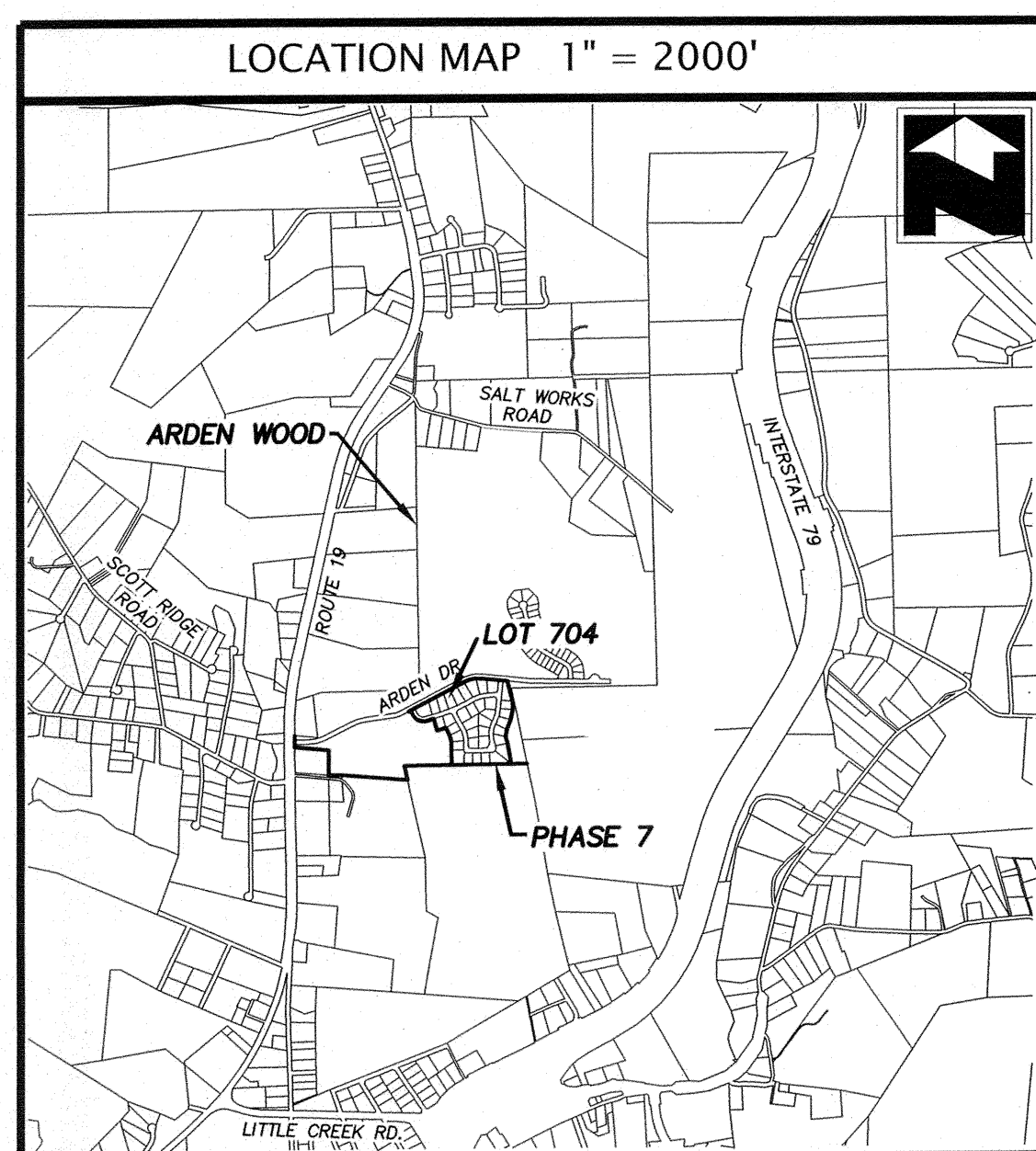
LANCASTER TOWNSHIP
BOARD OF SUPERVISORS



BUTLER COUNTY
PLANNING COMMISSION



BUTLER COUNTY
RECORDER OF DEEDS



GENERAL PLAN NOTES

- THIS PLAN IS A RE-SUBDIVISION OF LOT 704 OF THE ARDEN WOOD RESIDENTIAL PLAN OF LOTS - PHASE 7 AS RECORDED IN PLAN BOOK 382, PAGES 8-9
- THIS PLAN IS SUBJECT TO ANY AND ALL CONDITIONS OF THE PREVIOUSLY APPROVED AND RECORDED PLANS.
- IF APPLICABLE, BEARINGS LABELED AS (NR) ARE NON-RADIAL TO THE INTERSECTING RIGHT OF WAY LINE.
- NO ADDITIONAL BUILDING LOTS/UNITS ARE BEING PROPOSED THAT WERE NOT PREVIOUSLY ACCOUNTED FOR IN THE MASTER PLAN.

AFFECTED ZONING DISTRICT R-2 RESIDENTIAL

- MINIMUM LOT WIDTH 110.00' @ BUILDING LINE
- MINIMUM FRONT SETBACK 25.00 FEET
- MINIMUM REAR SETBACK 25.00 FEET
- MINIMUM SIDE SETBACK 5.00 MIN/15.00 TOTAL
- MAXIMUM BUILDING HEIGHT 2.5 STORIES

*ABOVE CRITERIA PERTAINS TO THE ORIGINAL LOT PRIOR TO THIS PLAN.

PROPOSED LOT AREAS

	704A	704B	Total
Sq. Ft.	9,485.594	9,388.344	18,873.938
Acres	0.218	0.216	0.434

PROPERTY REFERENCES

PROPERTY OWNER:
NVR, INC
ONE PENN CENTER WEST, SUITE 220
PITTSBURGH, PA 15276
LOT REFERENCE:
TAX PARCEL 200-57-B704
INSTRUMENT NO. 202108060022534

DEVELOPER / PROPERTY OWNER:

NVR
ONE PENN CENTER WEST, SUITE 220
PITTSBURGH, PA 15276
BUILT BY:
Ryan Homes

DRAWING NUMBER: 1010-2123310
DRAWING SCALE: 1"=20'
DATE: September 8, 2021
DRAWN BY:
REVISIONS:

Arden Wood Amendment No. 17

Being a subdivision of Lots 704 of the
Arden Woods Residential Plan of Lots Phase 7
As recorded in Plan Book 382, Page 8
Lancaster Township, Butler County, PA

Spurdute Land Surveying
A Division of Sheffler & Company

108 Deer Lane
Harmony, PA 16037
1712 Mount Nebo Road
Sevickley, PA 15143
Office Phone: 724-452-4362
Email: Info@SpurduteSurveying.com

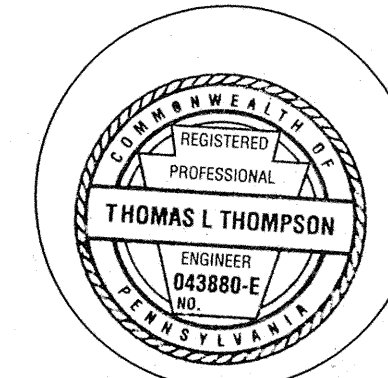
Instr: 202110270030264
10/27/2021 11:48 AM
Diane Mustello
Butler County Recorder PA

Review By Twp Engineer & Planning Director

THIS PLAN WAS REVIEWED BY THE TOWNSHIP ENGINEER FOR CONFORMANCE WITH THE LANCASTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCES AND OTHER APPLICABLE TOWNSHIP ORDINANCES.

Thomas L Thompson 043880-E
PRINTED NAME & REGISTRATION NO.

Thomas L Thompson
TOWNSHIP ENGINEER SIGNATURE



TOWNSHIP ENGINEER

APPROVED BY THE PLANNING DIRECTOR OF LANCASTER TOWNSHIP THIS 18th DAY OF October 2021. PURSUANT TO CHAPTER 22, SUBDIVISION AND LAND DEVELOPMENT, OF THE CODE OF LANCASTER TOWNSHIP AS AMENDED. THE PLANNING DIRECTOR OF LANCASTER TOWNSHIP GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, LANCASTER TOWNSHIP ASSUMES NO OBLIGATION TO ACCEPT DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

C. Mustello
TOWNSHIP PLANNING DIRECTOR
(SEAL)

BY RESOLUTION APPROVED ON THE 18th DAY OF October, 2021, THE BOARD OF DIRECTORS OF NVR, INCORPORATED IN THE COMMONWEALTH OF PENNSYLVANIA, OWNER OF THE LAND SHOWN ON THE ARDEN WOOD AMENDMENT NO. 18 PLAN, ADOPTED THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATED ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION TO THE PUBLIC. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE CORPORATION AND UPON ITS SUCCESSORS AND ASSIGNS.

NVR, INC.
Pete Robinson, V.P.
SIGNATURE AND TITLE OF OFFICER WITNESS

Pete Robinson, V.P.
SIGNATURE AND TITLE OF AUTHORIZED OFFICER

10/18/21
DATE

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF Allegheny, PERSONALLY APPEARED Pete Robinson OF NVR, INC. WHO STATED THAT HE IS AUTHORIZED TO EXECUTE THE ABOVE ADOPTION AND DEDICATION ON BEHALF OF THE CORPORATION AND WAS PRESENT AT THE MEETING AT WHICH THE ACTION OF THE CORPORATION WAS TAKEN TO ADOPT THE PLAN AND DEDICATE PUBLIC PROPERTY CONTAINED THEREIN TO THE PUBLIC.

WITNESS MY HAND AND NOTARIAL SEAL THIS 18th DAY OF October 2021.
(SEAL) *Lissette Spritt*, Notary Public
My commission expires December 7, 2022
Commission number 1195287

Pete Robinson, V.P. OF NVR, INC. HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE ARDEN WOOD AMENDMENT NO. 18 IS IN THE NAME OF NVR, INC. AND IS RECORDED AT INSTRUMENT NO. 202109070025404 & 202108230024099. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

Pete Robinson, V.P.
SIGNATURE OF WITNESS
Pete Robinson, V.P.
SIGNATURE AND TITLE OF AUTHORIZED OFFICER

I, JAMES A. SPERDUTE, A REGISTERED PROFESSIONAL SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS A SURVEYED BY ME AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

James A. Spurdute
JAMES A. SPERDUTE, R.S. # 24457-E

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF LANCASTER HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF LANCASTER ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADES, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR INSTALL ANY OTHER SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

APPROVED BY THE LANCASTER TOWNSHIP BOARD OF SUPERVISORS THIS 18th DAY OF October 2021.
C. Mustello
SECRETARY
David O. Phelan
CHAIRPERSON

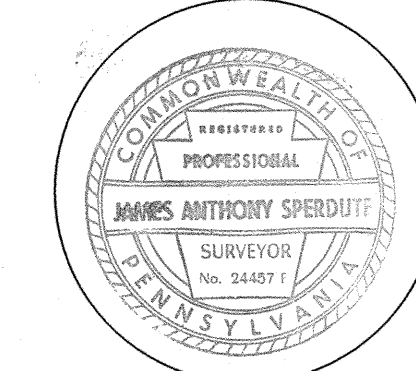
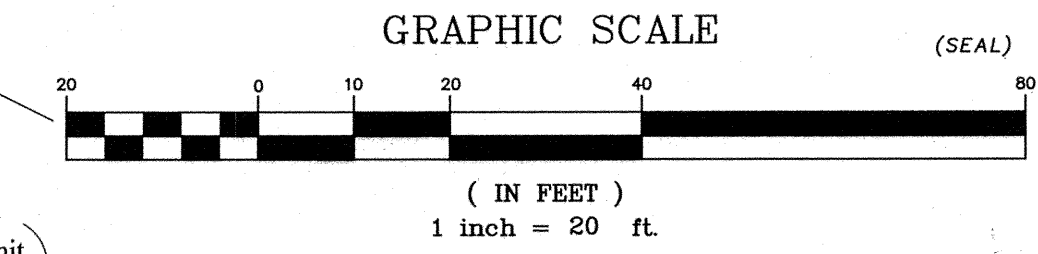
REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THE 20th DAY OF OCT. 2021.
R. H. Gern
SECRETARY
David O. Phelan
CHAIRPERSON

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS IN AND FOR BUTLER COUNTY PENNSYLVANIA IN SUBDIVISION PLAN BOOK 398, PAGE 43, GIVEN UNDER MY HAND AND SEAL THIS 27th DAY OF October 2021.

(SEAL) MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

Michele M. Mustello
RECORDER OF DEEDS

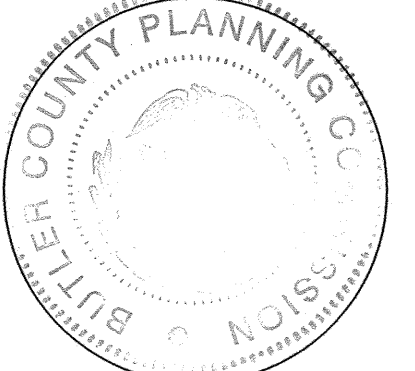
PLAN BOOK	PAGE
398	43



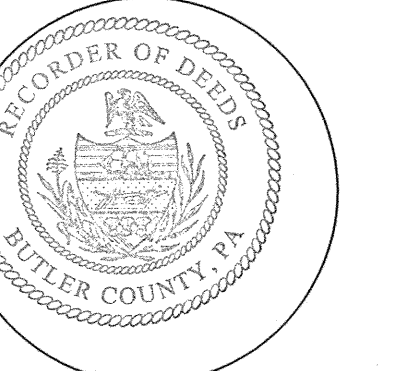
REGISTERED SURVEYOR



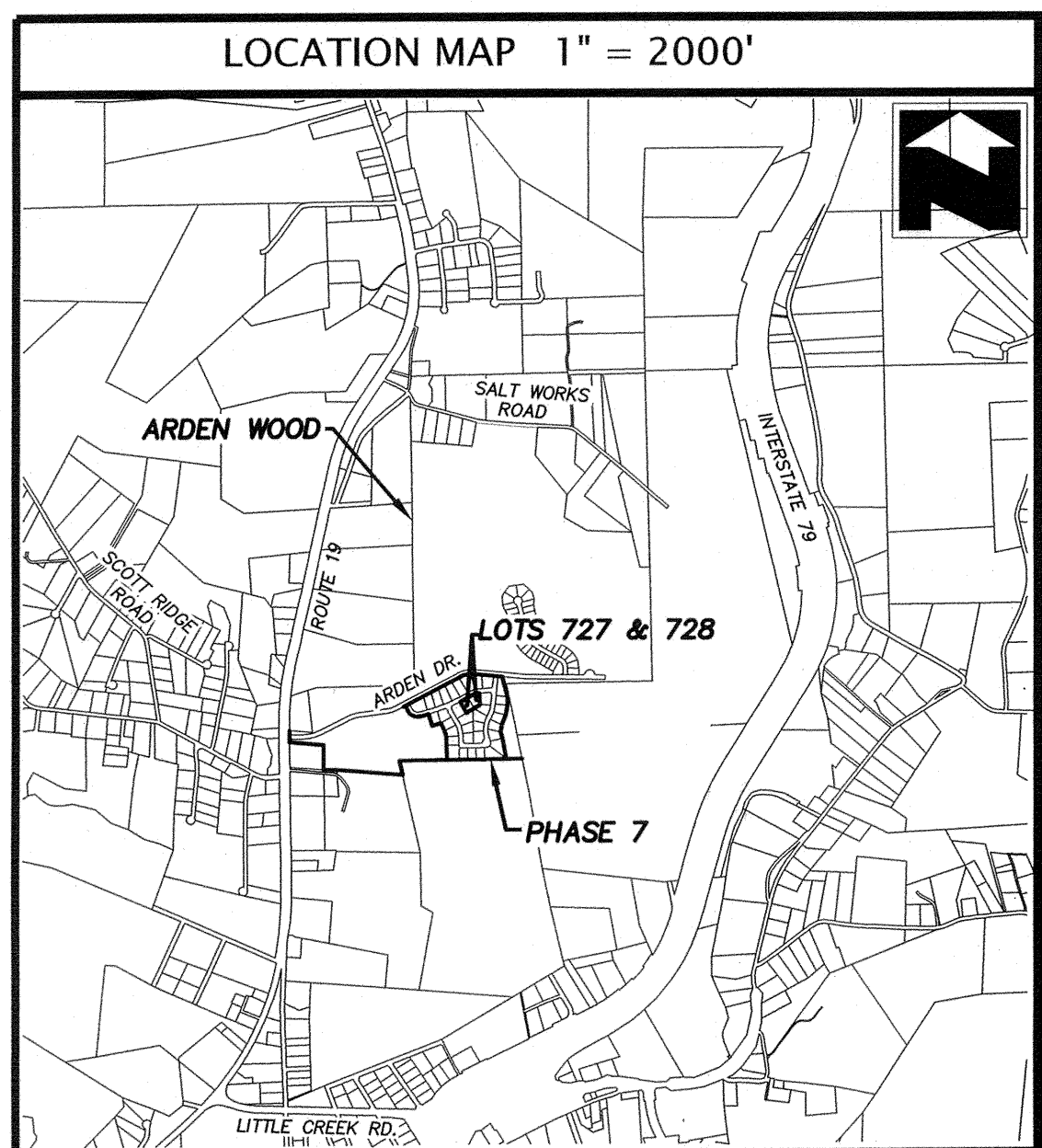
LANCASTER TOWNSHIP
BOARD OF SUPERVISORS



BUTLER COUNTY
PLANNING COMMISSION



BUTLER COUNTY
RECORDER OF DEEDS



GENERAL PLAN NOTES

- THIS PLAN IS A RE-SUBDIVISION OF LOTS 727 & 728 OF THE ARDEN WOOD RESIDENTIAL PLAN OF LOTS - PHASE 7 AS RECORDED IN PLAN BOOK 382, PAGES 8-9.
- THIS PLAN IS SUBJECT TO ANY AND ALL CONDITIONS OF THE PREVIOUSLY APPROVED AND RECORDED PLANS.
- IF APPLICABLE, BEARINGS LABELED AS (NR) ARE NON-RADIAL TO THE INTERSECTING RIGHT OF WAY LINE.
- NO ADDITIONAL BUILDING LOTS/UNITS ARE BEING PROPOSED THAT WERE NOT PREVIOUSLY ACCOUNTED FOR IN THE MASTER PLAN.

AFFECTED ZONING DISTRICT R-2 RESIDENTIAL

- MINIMUM LOT WIDTH 110.00' @ BUILDING LINE
- MINIMUM FRONT SETBACK 25.00 FEET
- MINIMUM REAR SETBACK 25.00 FEET
- MINIMUM SIDE SETBACK 5.00 MIN/15.00 TOTAL
- MAXIMUM BUILDING HEIGHT 2.5 STORIES

*ABOVE CRITERIA PERTAINS TO THE ORIGINAL LOT PRIOR TO THIS PLAN.

PROPOSED LOT AREAS

727A	727B	Total
Sq. Ft. 7,354.0108	7,235.7844	14,589.7952
Acres 0.169	0.166	0.335

728A	728B	Total
Sq. Ft. 7,528.4945	7,729.5897	15,258.0842
Acres 0.173	0.177	0.350

Total area affected by this plan: 29,847.879 sf or 0.685 acres

PROPERTY REFERENCES

PROPERTY OWNER:
NVR, INC.
ONE PENN CENTER WEST, SUITE 220
PITTSBURGH, PA 15276
LOT REFERENCE: - Lot 727
TAX PARCEL 200-57-B727
INSTRUMENT NO. 202109070025404
LOT REFERENCE: - Lot 728
TAX PARCEL 200-57-B728
INSTRUMENT NO. 202108230024099

DEVELOPER / PROPERTY OWNER:

NVR
ONE PENN CENTER WEST, SUITE 220
PITTSBURGH, PA 15276
BUILT BY:
Ryan Homes

DRAWING NUMBER: 1010-2123409
DRAWING SCALE: 1"=20'
DATE: October 3, 2021
DRAWN BY:
REVISIONS:

Arden Wood Amendment No. 18

Being a subdivision of Lots 727 & 728 of the Arden Woods Residential Plan of Lots Phase 7 As recorded in Plan Book 382, Page 8 Lancaster Township, Butler County, PA

Sperdute Land Surveying
A Division of Sheffler & Company

108 Deer Lane
Harmony, PA 16037
Office Phone: 724-452-4362
Email: Info@SperduteSurveying.com
1712 Mount Nebo Road
Sewickley, PA 15143

Inst: 202110270030265
Fig: 1 P: 545.00
Michele Mustello
Butler County Recorder PA
10/27/2021 11:48 AM
12010021985

Review By Twp Engineer & Planning Director

THIS PLAN WAS REVIEWED BY THE TOWNSHIP ENGINEER FOR CONFORMANCE WITH THE LANCASTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCES AND OTHER APPLICABLE TOWNSHIP ORDINANCES.

THOMAS L THOMPSON 043880-E
PRINTED NAME & REGISTRATION NO.

TOWNSHIP ENGINEER SIGNATURE



TOWNSHIP ENGINEER

APPROVED BY THE PLANNING DIRECTOR OF LANCASTER TOWNSHIP THIS 18th DAY OF October 2021 PURSUANT TO CHAPTER 22, SUBDIVISION AND LAND DEVELOPMENT, OF THE CODE OF LANCASTER TOWNSHIP AS AMENDED. THE PLANNING DIRECTOR OF LANCASTER TOWNSHIP GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, LANCASTER TOWNSHIP ASSUMES NO OBLIGATION TO ACCEPT DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

TOWNSHIP PLANNING DIRECTOR (SEAL)

BY RESOLUTION APPROVED ON THE 18th DAY OF October 2021, THE BOARD OF DIRECTORS OF NVR, INCORPORATED IN THE COMMONWEALTH OF PENNSYLVANIA, OWNER OF THE LAND SHOWN ON THE ARDEN WOOD AMENDMENT NO. 19 PLAN ADOPTED THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATED ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE CORPORATION AND UPON ITS SUCCESSORS AND ASSIGNS.

NVR, INC.
SIGNATURE AND TITLE OF OFFICER WITNESSING

SIGNATURE AND TITLE OF AUTHORIZED OFFICER

10/19/21
DATE

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF Allegheny, PERSONALLY APPEARED Peter Robinson of NVR, INC. WHO STATED THAT HE IS AUTHORIZED TO EXECUTE THE ABOVE ADOPTION AND DEDICATION ON BEHALF OF THE CORPORATION AND WAS PRESENT AT THE MEETING AT WHICH THE ACTION OF THE CORPORATION WAS TAKEN TO ADOPT THE PLAN AND DEDICATE PUBLIC PROPERTY CONTAINED THEREIN TO THE PUBLIC.

WITNESS MY HAND AND NOTARIAL SEAL THIS 18th DAY OF October 2021

(SEAL) Commonwealth of Pennsylvania - Notary Seal
Lissette Sprott, Notary Public
Allegheny County
My commission expires December 7, 2022
Commission number 1195287

NOTARY PUBLIC

Peter Robinson VP of NVR HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE ARDEN WOOD AMENDMENT NO. 19 IS IN THE NAME OF NVR, INC. AND IS RECORDED AT INSTRUMENT NO. 202108310024901. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

SIGNATURE OF WITNESS

SIGNATURE AND TITLE OF AUTHORIZED OFFICER

I, JAMES A. SPERDUTE, A REGISTERED PROFESSIONAL SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS A SURVEYED BY ME AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

JAMES A. SPERDUTE, R.S. # 34457-E

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF LANCASTER HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF LANCASTER ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADES, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR INSTALL ANY OTHER SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

APPROVED BY THE LANCASTER TOWNSHIP BOARD OF SUPERVISORS THIS 18th DAY OF October 2021

SECRETARY

CHAIRPERSON

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THE 20th DAY OF October 2021

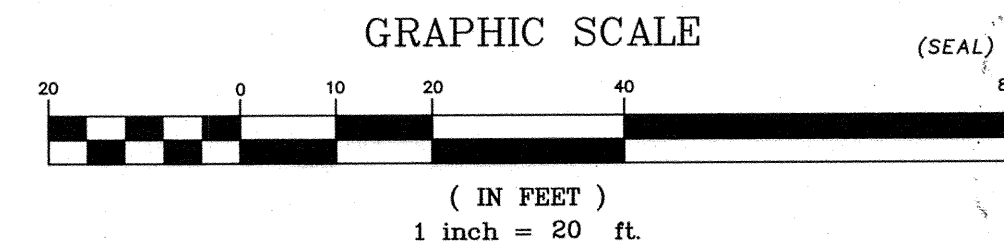
SECRETARY

CHAIRPERSON

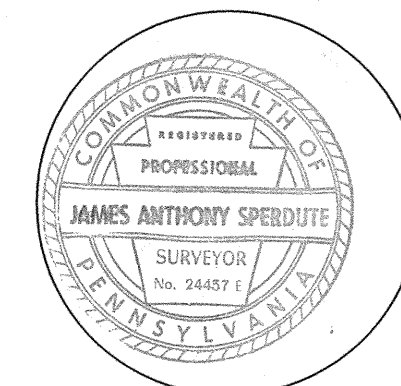
RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS IN AND FOR BUTLER COUNTY PENNSYLVANIA IN SUBDIVISION PLAN BOOK 398 PAGE 44 GIVEN UNDER MY HAND AND SEAL THIS 18th DAY OF October 2021

(SEAL) MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

RECORDER OF DEEDS



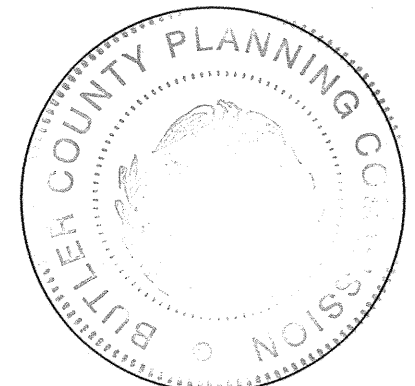
PLAN BOOK 398
PAGE 44



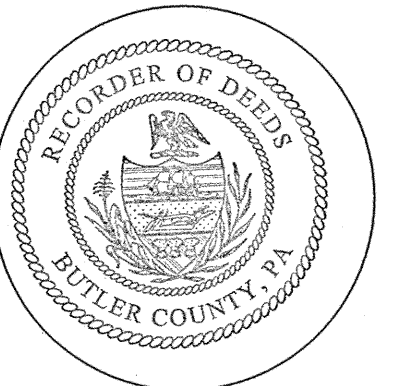
REGISTERED SURVEYOR



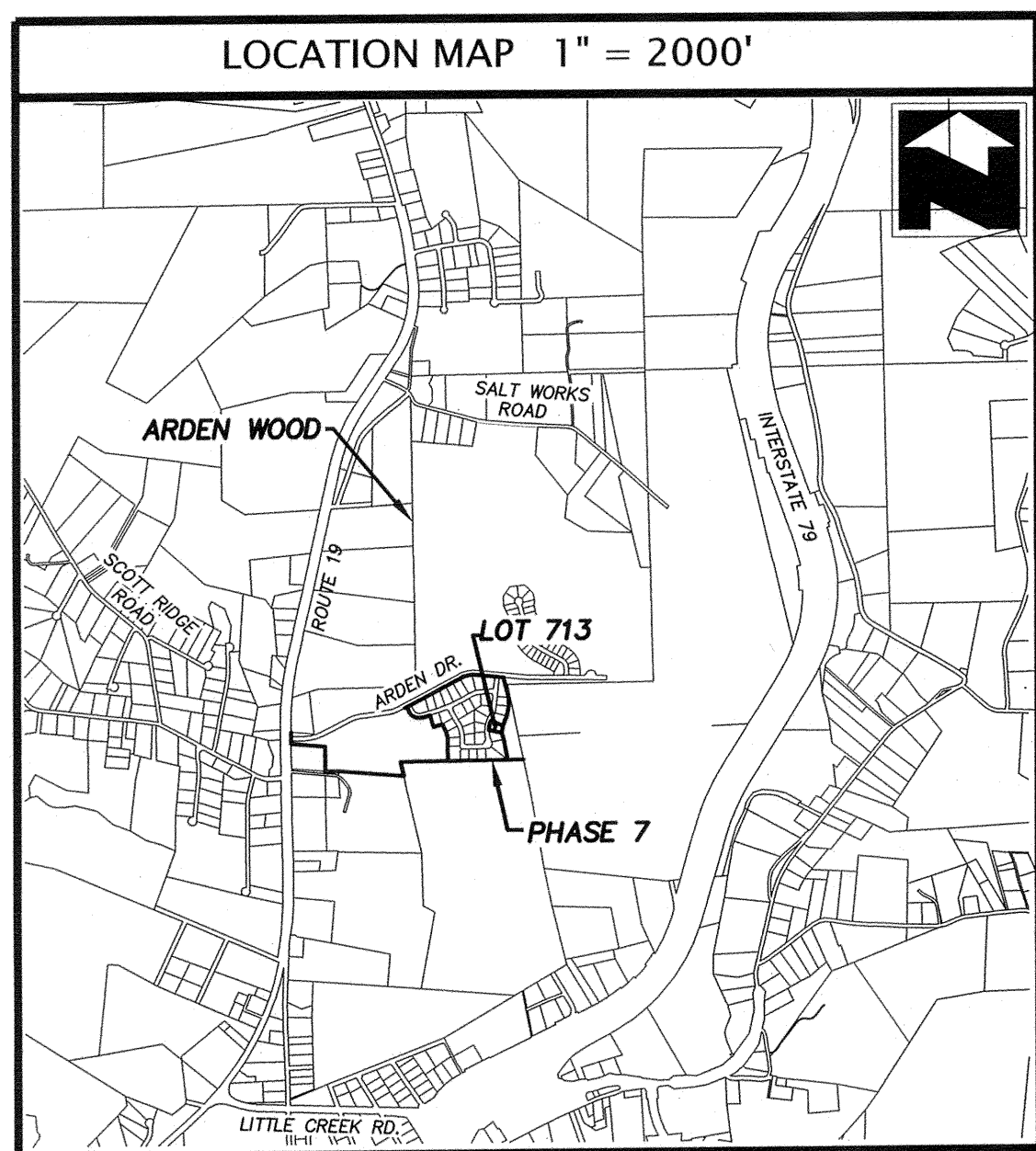
LANCASTER TOWNSHIP BOARD OF SUPERVISORS



BUTLER COUNTY PLANNING COMMISSION



BUTLER COUNTY RECORDER OF DEEDS



GENERAL PLAN NOTES

- THIS PLAN IS A RE-SUBDIVISION OF LOT 713 OF THE ARDEN WOOD RESIDENTIAL PLAN OF LOTS - PHASE 7 AS RECORDED IN PLAN BOOK 382, PAGES 8-9
- THIS PLAN IS SUBJECT TO ANY AND ALL CONDITIONS OF THE PREVIOUSLY APPROVED AND RECORDED PLANS.
- IF APPLICABLE, BEARINGS LABELED AS (NR) ARE NON-RADIAL TO THE INTERSECTING RIGHT OF WAY LINE.
- NO ADDITIONAL BUILDING LOTS/UNITS ARE BEING PROPOSED THAT WERE NOT PREVIOUSLY ACCOUNTED FOR IN THE MASTER PLAN.

AFFECTED ZONING DISTRICT R-2 RESIDENTIAL

- MINIMUM LOT WIDTH 110.00' @ BUILDING LINE
- MINIMUM FRONT SETBACK 25.00 FEET
- MINIMUM REAR SETBACK 25.00 FEET
- MINIMUM SIDE SETBACK 5.00 MIN/15.00 TOTAL
- MAXIMUM BUILDING HEIGHT 2.5 STORIES

*ABOVE CRITERIA PERTAINS TO THE ORIGINAL LOT PRIOR TO THIS PLAN.

PROPOSED LOT AREAS

	713A	713B	Total
Sq. Ft.	6,988.3607	7,324.1784	14,312.5391
Acres	0.160	0.168	0.328

PROPERTY REFERENCES

PROPERTY OWNER:
NVR, INC.
ONE PENN CENTER WEST, SUITE 220
PITTSBURGH, PA 15276
LOT REFERENCE: - Lot 713
TAX PARCEL 200-S7-8713
INSTRUMENT NO. 202108310024901

DEVELOPER / PROPERTY OWNER:

NVR
ONE PENN CENTER WEST, SUITE 220
PITTSBURGH, PA 15276
BUILT BY:
Ryan Homes

DRAWING NUMBER: 1010-2123415
DRAWING SCALE: 1"=20'
DATE: October 3, 2021
DRAWN BY:
REVISIONS:

Arden Wood Amendment No. 19

Being a subdivision of Lot 713 of the Arden Woods Residential Plan of Lots Phase 7 As recorded in Plan Book 382, Page 8 Lancaster Township, Butler County, PA

Sperdute Land Surveying
A Division of Sheffler & Company

108 Deer Lane
Harmony, PA 16037
1712 Mount Nebo Road
Sewickley, PA 15143
Office Phone: 724-452-4362
Email: Info@SperduteSurveying.com

CORPORATE ADOPTION AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS, that Mars Home For Youth, a Pennsylvania nonprofit corporation, by virtue of a Resolution of its Board of Directors, does hereby adopt this Plan of Subdivision of its property, situated in the Township of Adams, County of Butler, Commonwealth of Pennsylvania, and for diver advantages accruing to it, does hereby dedicate forever, for public use for highway, drainage, sewage and utility purposes, all drives, roads, lands, rights-of-way, easements, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings and in consideration of the approval of said plan and any future acceptance of said public highways, rights-of-way and easements by the Township of Adams, of Butler County. Mars Home For Youth hereby covenants and agrees to and by these presents do release and forever discharge the Township of Adams, of Butler County, its successors or assigns from any liability for damages arising and to arise from the appropriation of said ground for public highways, and other public uses and the physical grading thereof to any grades that may be established. This dedication and release shall be binding upon Mars Home For Youth, its successors and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, the said Corporation has caused its Corporate seal to be affixed by the hand of its President and same to attested Secretary, this 12th day of October, 2021.

MARS HOME FOR YOUTH

Jimmy P. Lopez
Secretary

Jim Schiller
President Executive Director

CORPORATE ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER } SS:

On this 12th day of October, 2021, before me, a Notary Public and for said County and Commonwealth, personally appeared Lisa M. Schiller (Name and Title) of Mars Home For Youth, who being duly sworn, deposes and says that he/she was personally present at the execution of the adoption, release and dedication and saw the common and corporate seal of the said Corporation duly sign and sealed by and as for the act and deed of the said Mars Home For Youth, for the uses and purposes therein mentioned, and that the name of the deponent subscribed to the said released and dedication Lisa M. Schiller (Name and Title) of Mars Home For Youth, in attestation of the due execution and delivery of said release and dedication of this deponent's own and proper respective handwriting.

MARS HOME FOR YOUTH

Jennifer L. Jacobs
Notary Public
Commonwealth of Pennsylvania - Notary Seal
Jennifer L. Jacobs, Notary Public
Butler County
My commission expires July 15, 2025
Commission number 1277758
Member, Pennsylvania Association of Notaries

Jim Schiller
Name
Executive Director
Title

Sworn to and subscribed before me the day and date above written.

Witness my hand and notarial seal this 12th day of October, 2021.

My commission expires on the 15th day of July, 2026.

Jennifer L. Jacobs
Notary Public

Commonwealth of Pennsylvania - Notary Seal
Jennifer L. Jacobs, Notary Public
Butler County
My commission expires July 15, 2025
Commission number 1277758
Member, Pennsylvania Association of Notaries

CERTIFICATION OF TITLE AND NO MORTGAGE

I hereby certify that the title to the property contained in the Mars Home For Youth Plan of Subdivision is in the name of Mars Home For Youth and is recorded in Deed Book Volume 2752, Page 81. We further certify that there is no mortgage, lien, or other encumbrance against this property.

Jimmy P. Lopez
Witness

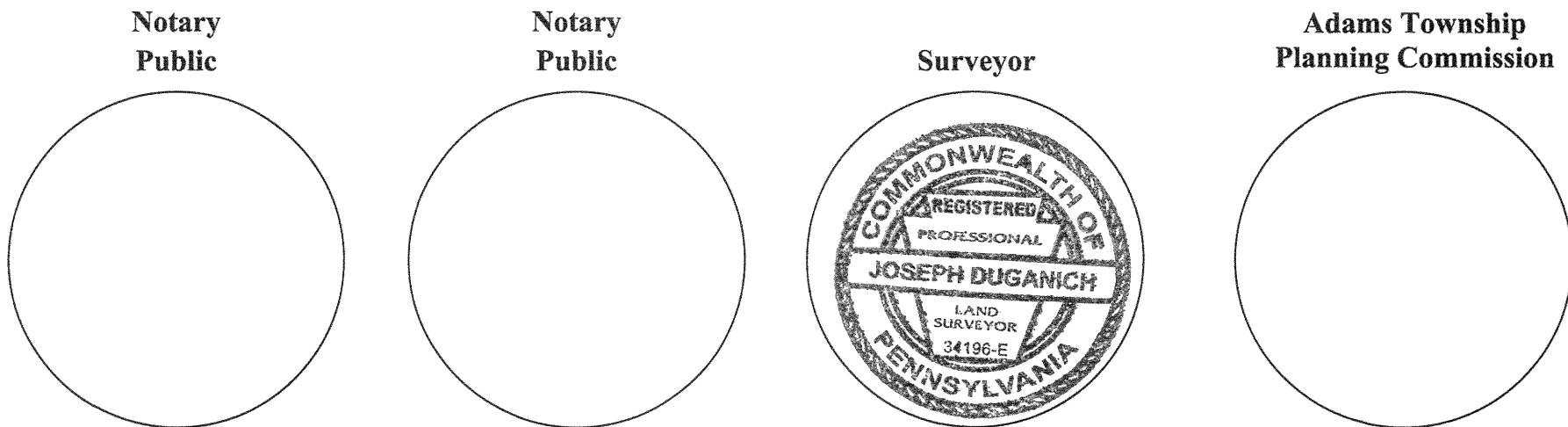
Jim Schiller
President Executive Director

SURVEYOR'S CERTIFICATION

I certify that, to the best of my information, knowledge and belief, the survey and plan shown hereon are correct and accurate to the standards required and that this plan of subdivision meets the requirements of the applicable ordinances of the Township of Adams except as departures have been authorized by Township Council.

October 5, 2021
Date
34196-E
Registration number

Joseph Duganich
Joseph Duganich



TOWNSHIP ENGINEER'S APPROVAL

I, Ronald Olsey, a Registered Professional Engineer for the Township of Adams, do hereby certify to the best of my knowledge and belief, that this Subdivision Plan or Land Development meets all engineering requirements set forth in the Adams Township Zoning Ordinance, Subdivision and Land Development Ordinance, and the Public and Private Improvement Code except as departures have been authorized by the approval authority.

Oct. 25, 2021 26400 E (SEAL)
Date Reg. No. Signature

TOWNSHIP PLANNING COMMISSION RECOMMENDATION FOR APPROVAL

This plat of subdivision has been recommended for approval by the Planning Commission of the Township of Adams, Butler County, Commonwealth of Pennsylvania on this 4th day of August A.D., 2021.

Michael Mustello (Secretary) Michael Mustello (Chairman)

APPROVAL BY THE TOWNSHIP OF ADAMS

The Township Board of Supervisors of the Township of Adams, Butler County, Pennsylvania, hereby gives public notice that it is approving this plan for recording purposes only. The approval of this subdivision plat by the Township of Adams does not constitute an acceptance of the roads, streets, alleys, stormwater and sanitary sewer drainage facilities, easements or rights-of-way, water mains or any other services or improvements shown on this plan nor an assumption of maintenance responsibility, nor will the same be accepted or maintained until constructed in accordance with all Township specifications and requirements and officially accepted by action of the Township Board of Supervisors.

This plat of subdivision approved by action of the Township Board of Supervisors of the Township of Adams, Butler County, Pennsylvania on this the 23rd day of August A.D. 2021.

ATTEST:

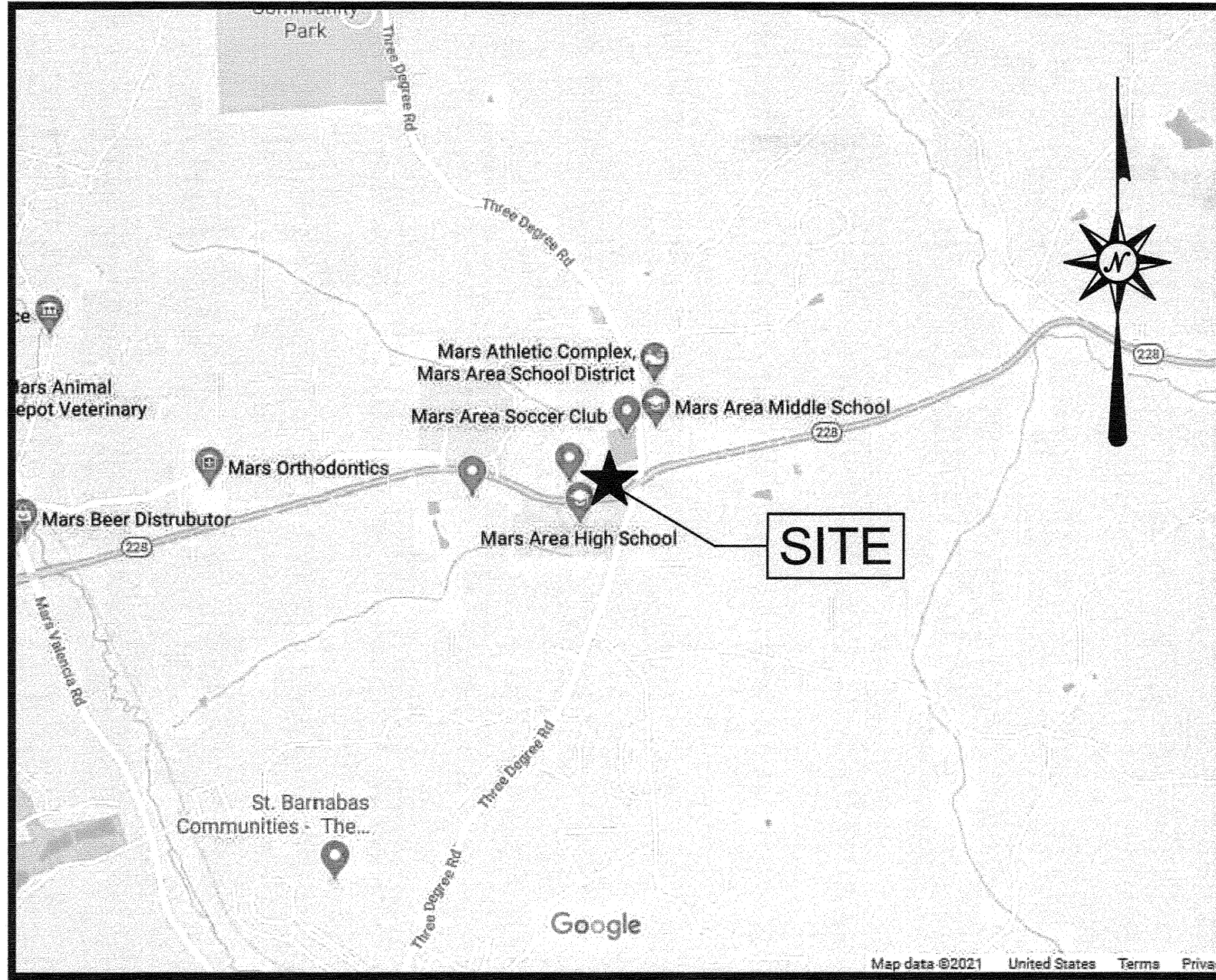
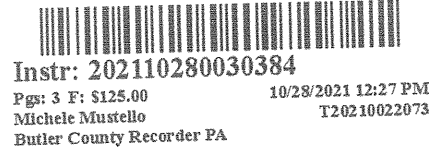
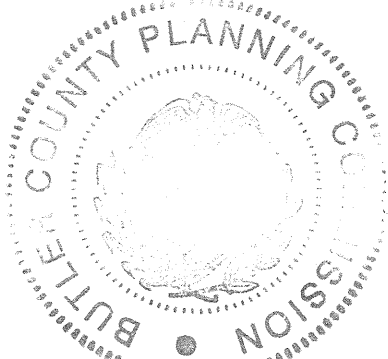
Edward L. Vogel (Secretary of Board of Supervisors) Darryl Branton (Chairman of Board of Supervisors)

SEAL:

BUTLER COUNTY REVIEW

Reviewed with or without comments by the Butler County Planning Commission at a meeting held this 21st day of July, A.D. 2021. Letter to Adams Township Board of Supervisors dated 22nd day of July, A.D. 2021.

R. Han (Director) Secretary
J. Han (Chairman)
Butler Co. Plan # 21142



LOCATION MAP
1" = 2000'

ACCESS TO STATE HIGHWAY

A highway occupancy permit is required pursuant to Section 420 of the act of June 1, 1945 (P.L. 1242, No. 428), known as the "State Highway Law" before driveway access to a State Highway is permitted.

ZONING
CURRENTLY ZONED RC (RURAL CONSERVATION DISTRICT)
ROUTE 228 TRANSITION OVERLAY DISTRICT APPLIES

SITE REQUIREMENTS

	REQUIRED	PROVIDED
MINIMUM LOT AREA	N/A	2.5 ACRES
MINIMUM LOT WIDHTH	N/A	621'
MAXIMUM BUILDING HEIGHT	5 STORIES	1 STORY
MAXIMUM LOT COVERAGE	70%	<70%

SETBACK REQUIREMENTS

	REQUIRED	PROVIDED
FRONT YARD	10'	>10'
SIDE YARD	20'	>20'
REAR YARD	15'	>15'
PARKING (SIDE & REAR)	10'	>10'

REFERENCE:

COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF TRANSPORTATION

DRAWINGS AUTHORIZING ACQUISITION
OF
RIGHT-OF-WAY
FOR

STATE ROUTE 0228 SECTION 29B R/W
IN BUTLER COUNTY

FROM STA. 159 + 88.20 TO STA. 278 + 25.42
LENGTH 11834.01 FT. 2.241 MI.

FROM SEG. 0030 OFFSET 0179 TO SEG. 0034 OFFSET 1164

AND

STATE ROUTE 3007 SECTION 29B R/W
IN BUTLER COUNTY

FROM STA. 12 + 90.00 TO STA. 43 + 84.00
LENGTH 2949.23 FT. 0.559 MI.

FROM SEG. 0030 OFFSET 0172 TO SEG. 0034 OFFSET 1164

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER } SS:

Recorded in the office for the recording of deeds, plats, etc., in said County, in Plan Book Volume

398, Page(s) 46-47.

Given under my hand and seal this 28th day of October, A.D. 2021.

Michael Mustello
(Recorder of Deeds)

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

PROPERTY ADDRESS
521 ROUTE 0228
MARS, PA 16046
PARCEL ID: 10-3F66-5B-0000

BASIS OF BEARINGS: PENNSYLVANIA STATE
PLANE COORDINATE SYSTEM SOUTH ZONE

No.	Date	Description	By
1	06/30/21	Revised Per Township Comments	BJP
2	07/16/21	Revised Per Township Comments	GC
3	08/30/21	Revised Plan Per New Title Information	GC

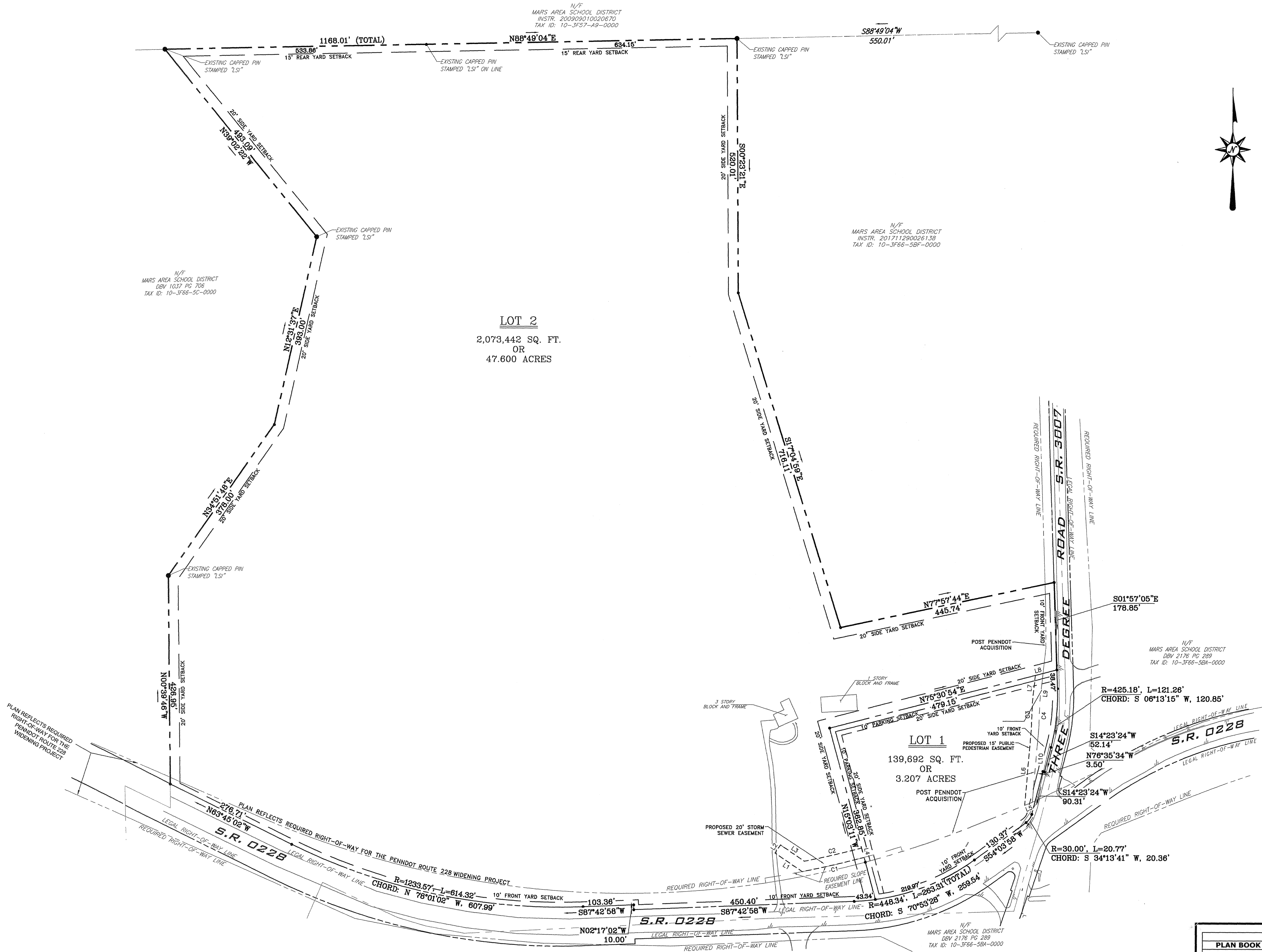
OWNER
Mars Home For Youth
521 Route 228
Mars, PA 16046
Phone No.:

THE PURPOSE OF THIS SUBDIVISION PLAN IS TO
SUBDIVIDE LANDS OF MARS HOME FOR YOUTH RECORDED
IN DEED BOOK VOLUME 2752 PAGE 81 AND IDENTIFIED AS
PARCEL ID: 10-3F66-5B-0000 INTO TWO LOTS.

Mars Home For Youth Plan of Subdivision Prepared For Mars Home For Youth Situate In Adams Township, Butler County, Pennsylvania			
Drawn By GSC	Scale: AS SHOWN	Drawing No. 270-148-18-1	
Checked By JD	Date: June 7, 2021	Sheet No. 1 of 3	
Approved By JD		Filename: 270148SUB.dwg	
 LSSE Civil Engineers and Surveyors 846 4th Avenue Coraopolis, Pennsylvania 15108 Phone: 412-264-4400 Fax: 412-264-1200 email: info@lsse.com			

AREAS / LOT CLOSURES 10/4/21 JD

N:\P\270148SUB\270148SUB.dwg Plot Date: 12/1/2021 2:33 PM User: dgregory, S. Copell Layout: Subdivision



EXISTING AREA SUMMARY		
PARCEL ID	SQUARE FEET	ACRES
10-3F66-5B-0000	2,213,134	50.807
TOTAL	2,213,134	50.807

PROPOSED AREA SUMMARY		
PARCEL/LOT	SQUARE FEET	ACRES
LOT 1	139,692	3.207
LOT 2	2,073,442	47.600
TOTAL	2,213,134	50.807

POST PENNDOT ACQUISITION AREA SUMMARY		
PARCEL/LOT	SQUARE FEET	ACRES
LOT 1	108,900	2.500
LOT 2	2,016,386	46.290
TOTAL	2,125,286	48.790

20' STORM SEWER EASEMENT LINE TABLE		
LINE #	BEARING	DISTANCE
L1	N55°35'25"W	67.42
L2	N34°24'35"E	20.00
L3	S55°35'25"E	59.00
L4	S15°03'11"E	20.00

20' STORM SEWER EASEMENT CURVE TABLE				
Curve #	RADIUS	ARC LENGTH	CHORD BEARING	CHORD DISTANCE
C1	1891.99	129.76	S76°58'15"W	129.73
C2	1871.99	120.01	N76°48'34"E	119.99

15' PUBLIC PEDESTRIAN EASEMENT LINE TABLE		
LINE #	BEARING	DISTANCE
L5	S68°04'13"W	16.79
L6	N04°47'36"E	158.14
L7	N06°17'41"E	53.16
L8	N75°30'54"E	16.04
L9	S06°17'41"W	58.28
L10	S04°47'36"W	150.86

15' PUBLIC PEDESTRIAN EASEMENT CURVE TABLE			
Curve #	RADIUS	ARC LENGTH	CHORD DISTANCE
C3	3640.00	55.87	N02°19'36"E
C4	3655.00	55.78	S02°20'00"W



PLAN BOOK	PAGE
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-- DENOTES EXISTING OR CAPPED PIN TO BE SET

No.	Date	Description	By
1	06/30/21	Revised Per Township Comments	BJP
2	07/16/21	Revised Per Township Comments	GC
3	08/30/21	Revised Plan Per New Title Information	GC

Mars Home For Youth

Plan of Subdivision

Prepared For

Mars Home For Youth

Situate In

Adams Township, Butler County, Pennsylvania

Drawn By
GSC

Checked By
JP

Approved By
JB

Date:
June 7, 2021

Scale:
1" = 100'

Drawing No.
270-148-18-2

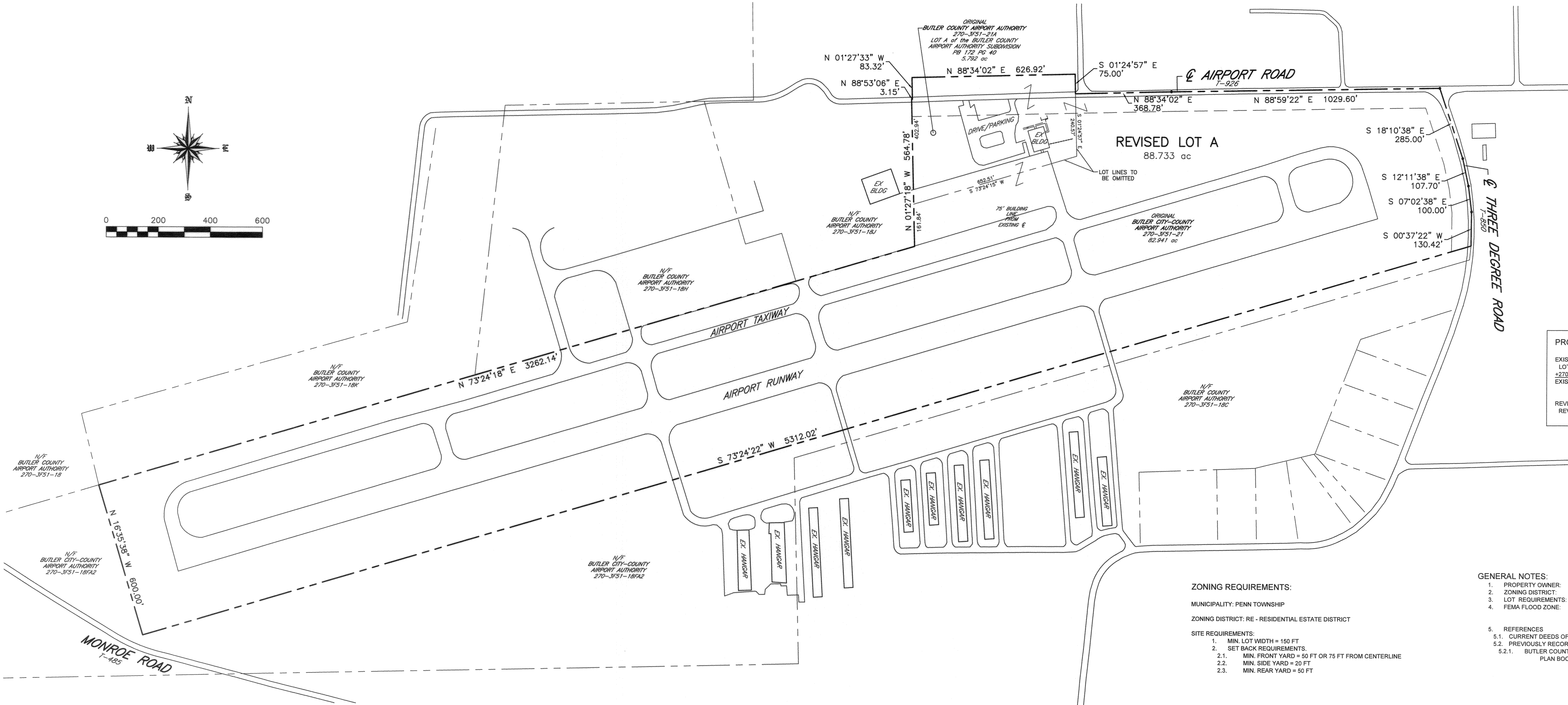
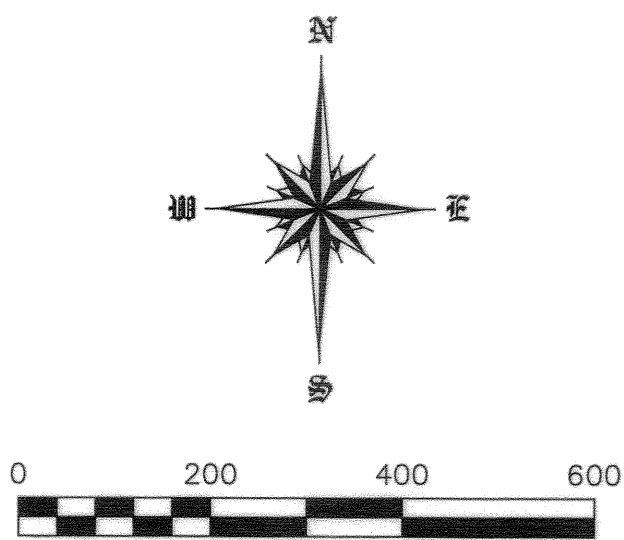
Sheet No.
2 of 3

Filename:
270148SUB.dwg

LSSE

Civil Engineers and Surveyors

846 4th Avenue
Coraopolis, Pennsylvania 15108
Phone: 412-264-4400
Fax: 412-264-1200
email: info@lsse.com



PROPERTY AREAS:	
EXISTING TOTALS	
LOT A (270-3F51-21A)	5.792 AC
+270-3F51-21	82.941 AC
EXISTING TOTAL	88.733 AC
REVISED TOTALS	
REVISED LOT A	88.733 AC

ZONING REQUIREMENTS:

MUNICIPALITY: PENN TOWNSHIP
ZONING DISTRICT: RE - RESIDENTIAL ESTATE DISTRICT

SITE REQUIREMENTS:

1. MIN. LOT WIDTH = 150 FT
2. SET BACK REQUIREMENTS:
 - 2.1. MIN. FRONT YARD = 50 FT OR 75 FT FROM CENTERLINE
 - 2.2. MIN. SIDE YARD = 20 FT
 - 2.3. MIN. REAR YARD = 50 FT

GENERAL NOTES:

1. PROPERTY OWNER: BUTLER COUNTY AIRPORT AUTHORITY
2. ZONING DISTRICT: RE - RESIDENTIAL ESTATE
3. LOT REQUIREMENTS: SEE TABLE
4. FEMA FLOOD ZONE: ZONE X - AREA OF MINIMAL FLOOD HAZARD
FIRM: 42019C0415D
FIRM EFFECTIVE: 8/2/2016
5. REFERENCES:
 - 5.1. CURRENT DEEDS OF RECORD
 - 5.2. PREVIOUSLY RECORDED PLANS
 - 5.2.1. BUTLER COUNTY AIRPORT AUTHORITY SUBDIVISION
PLAN BOOK 172 PG 40

PLAN ORIENTATION NOTE: THE BEARINGS SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (PA-S) / NAD 1983

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

OWNER'S ADOPTION

KNOW ALL MEN BY THESE PRESENTS: THAT BUTLER COUNTY AIRPORT AUTHORITY, AN AIRPORT AUTHORITY TO THE TOWNSHIP OF PENN. COUNTY OF BUTLER, PENNSYLVANIA, ITS SUCCESSORS AND ASSIGNS, BY VIRTUE OF A RESOLUTION OF ITS BOARD OF DIRECTORS, DOES HEREBY ADOPT THIS PLAN OF ITS PROPERTIES, SITUATE IN THE TOWNSHIP OF BUFFALO, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVER ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE TOWNSHIP OF PENN. COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, THE AUTHORITY HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF PENN. COUNTY OF BUTLER, ITS SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE BUTLER COUNTY AIRPORT AUTHORITY, ITS SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HEREBY SET MY HAND AND SEAL THIS 21 DAY OF October, 2021.

x Anthony A. Allen SECRETARY
x Michael E. Walsh CHAIRPERSON

ACKNOWLEDGMENT OF NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER }

BEFORE ME, NOTARY PUBLIC AND FOR SAID COUNTY OF COMMONWEALTH, PERSONALLY APPEARED Michael Walsh, CHAIRPERSON OF THE BUTLER COUNTY AIRPORT AUTHORITY AND BY VIRTUE OF A RESOLUTION OF THE BOARD OF DIRECTORS OF SAID AUTHORITY IS HEREBY AUTHORIZED TO SIGN THE ABOVE INSTRUMENT AND ACKNOWLEDGE THE FOREGOING RELEASE AND DEDICATION TO BE THEIR ACT AND DEED FOR THE PURPOSES THEREIN CONTAINED AND DESIRES THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 21 DAY OF October, 2021

MY COMMISSION EXPIRES THE 15 DAY OF December, 2024

x Stacey L. Daugherty
NOTARY PUBLIC

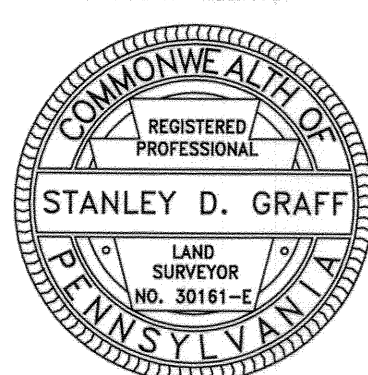
Commonwealth of Pennsylvania - Notary Seal
Stacey L. Daugherty, Notary Public
Butler County
My commission expires December 15, 2024
Commission number 1302644
Member, Pennsylvania Association of Notaries

SURVEYOR'S CERTIFICATION

I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

15 Oct. 2021
DATE

x Stanley D. Graff
REG. NO. SU130161-E



MUNICIPAL DECLARATIONS

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF PENN. HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF PENN. ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF PENN. THIS 14 DAY OF Sept, 2021.

x Linda M. Zupers
SECRETARY

x Samuel M. Walsh
CHAIRPERSON
BOARD OF SUPERVISORS

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 15TH DAY OF SEPT., 2021.

x R. H. - JRM
SECRETARY

x Samuel M. Walsh
CHAIRPERSON
BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING

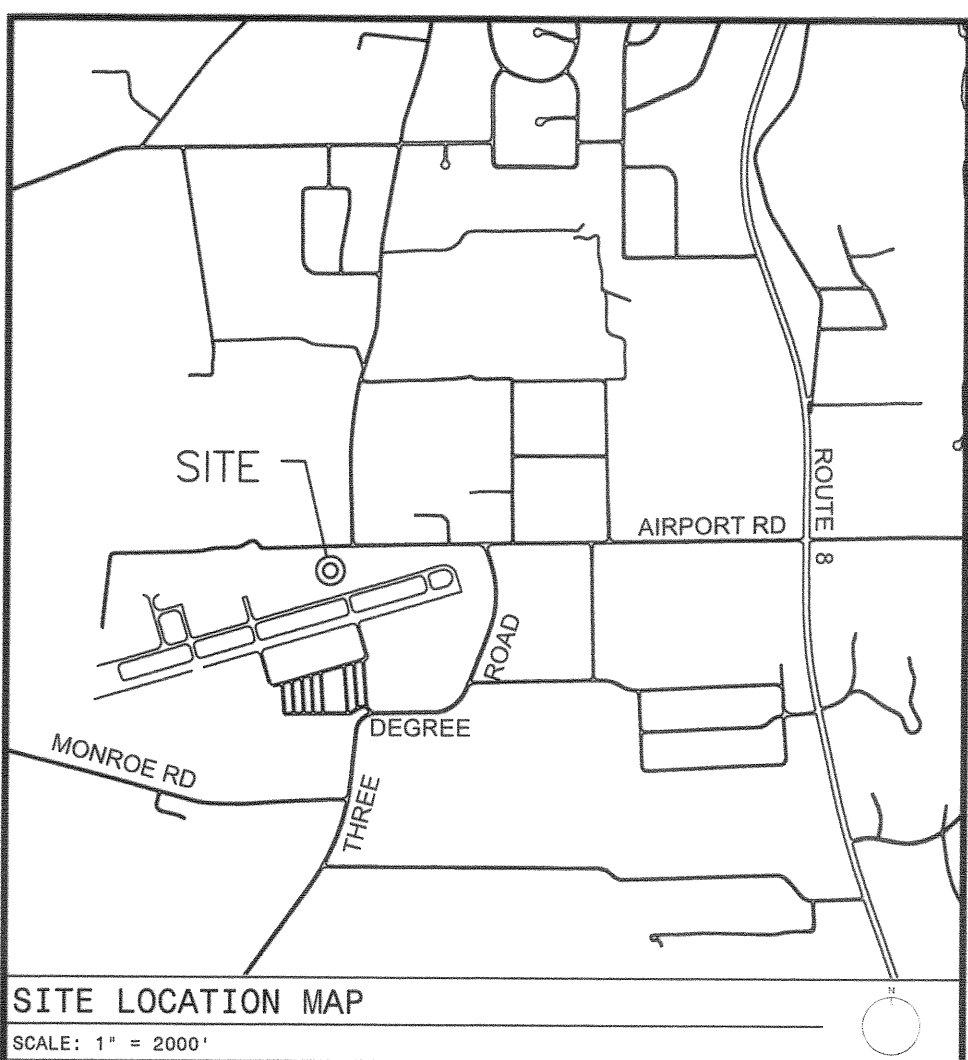
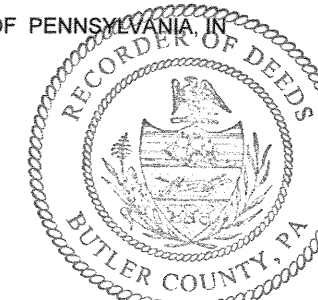
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN

PLAN BOOK VOLUME 398, PAGE(S) 48

GIVEN UNDER MY HAND AND SEAL THIS 15th DAY OF November, 2021.

x Michele M. Mustello
RECORDER OF DEEDS

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



BUTLER COUNTY AIRPORT PLAN

Being a consolidation of Lot A (270-3F51-21A) of the Butler County Airport Authority Subdivision, Plan Book Volume 172 Page 40, and Butler County Tax Parcel 270-3F51-21

RECORDED	20
PLAN BOOK	PAGE
398	48
SHEET	of

REV	DESCRIPTION	BY	DATE
GRAFF SURVEYING			
GRAFF SURVEYING LLC PO BOX 521 SAXONBURG, PA 16056 P: 724-352-3811 F: 724-352-1059 INFO@GRAFFSURVEYING.COM WWW.GRAFFSURVEYING.COM			
PROJECT DESCRIPTION BUTLER COUNTY AIRPORT PLAN BEING A CONSOLIDATION FOR BUTLER COUNTY AIRPORT AUTHORITY			
SITUATE PENN TOWNSHIP BUTLER COUNTY, PENNSYLVANIA			
DATE 07/27/2021	DRAWN SDG	CHECKED Sdg	SCALE 1" = 200'
PROJECT NO. 21-159	TAX PARCEL NO. 270-3F51-21 & 21A	REVISION -	

Instr: 202111040031074
Page 1 of 146-00
11/14/2021 10:11 AM
Michele Mustello
Butler County Recorder PA
12021002275

Know all men by these Presents, that we, George R. Rotunda, III and Lucy N. Rotunda, Trustees of the George and Lucy Rotunda Revocable Trust, of the Township of Butler, County of Butler, and State of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this Plan as our Plan of our property situated in Butler Township and do hereby dedicate forever for public use for highway and utility purposes, all drives, roads, lanes, ways rights of way, and other public highways shown upon the plan, and we, release, remise and discharge the Township of Butler, its successors or assigns, of and from all liability, courses of action, claims or damages arising from or pertaining to in any manner said roads and rights of ways.

We further agree that said plan is approved by the Township of Butler for "Planning Purposes Only" and that said township shall not issue any "Building Permits" for lots contained herein, nor shall any lots be deeded until either all of said roads and improvements in accordance with Butler Township Ordinance 730 and all other applicable ordinances have been completed and accepted by said township or until the township has approved a bond with sufficient surety to guarantee construction of the same.

In Witness Whereof, we hereunto set our hands and seals this 7th day of October, 2021.

Heidi M. Gahagan Notary Public
George R. Rotunda, III Trustee
Lucy N. Rotunda Trustee

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER)

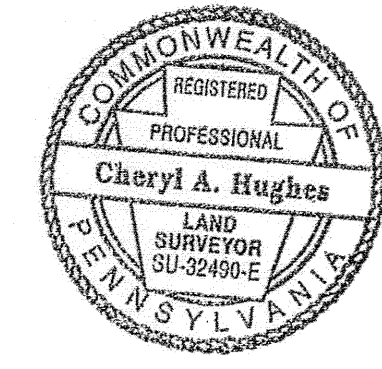
Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named George R. Rotunda, III and Lucy N. Rotunda, Trustees of the George and Lucy Rotunda Revocable Trust, and acknowledged the foregoing release and dedication and plan to be their act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this 7th day of October, 2021.
My Commission Expires the 26th day of August, 2025.

SEAL
Heidi M. Gahagan Notary Public
Commonwealth of Pennsylvania - Notary Seal
HEIDI M. GAHAGAN - Notary Public
Butler County
My Commission Expires August 26, 2025
Commission Number 1278572

TITLE CLAUSE (NO MORTGAGE)
We, George R. Rotunda, III and Lucy N. Rotunda, Trustees of the George and Lucy Rotunda Revocable Trust, owners of this plan of subdivision in our names, do hereby certify that the title of this property is in the names of George Rotunda, III and Lucy N. Rotunda, as recorded in Instrument Number 20191120022754, Recorder of Deeds Office. We further certify that there is no mortgage, lien or encumbrance against this property.

Beverly E. Buer Witness
George R. Rotunda, III Trustee
Lucy N. Rotunda Trustee



I, Cheryl A. Hughes, a Registered Surveyor of the Commonwealth of Pennsylvania, do hereby certify that the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan correctly represents the lots, land, streets and highways as surveyed and plotted by me for the owners or agents.

September 23, 2021 DATE
SEAL
Cheryl A. Hughes SIGNATURE AND REG. NO. SU-32490-E

The Board of Commissioners of the Township of Butler hereby gives public notice that in approving this plan for recording purposes only, the Township assumes no obligations, legal or otherwise, expressed or implied, either to accept said streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such services ordinarily installed in Township streets or roads.

Theresa Guala Secretary
Theresa Guala President

Approved by the Board of Commissioners of the Township of Butler this 18TH day of October, 2021.

Theresa Guala Secretary
Theresa Guala President of Board

Approved by the Butler Township Planning Commission this 5TH day of October, 2021.

Ernst H. Lusterling Secretary
Ernst H. Lusterling Chairman

Reviewed by the Butler County Planning Commission this 15th day of September, 2021.

R. Hansen Secretary
R. Hansen Chairman

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER)

Recorded in the Recorder's Office for the recording of deeds, plans, etc., in said County in Plan Book

Volume 398 page 49

Given under my hand and seal this 4th day of November, 2021.

SEAL
Michele M. Mustello Recorder
RECORDED

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

REVISED 9/22/2021: ENGINEER'S REVIEW COMMENT

L
S
J
Land Surveyors, Inc.
523 North Main Street
P.O. Box 1081
Butler, PA 16003-1061
(724) 287-6865
Cheryl A. Hughes, PLS Owner

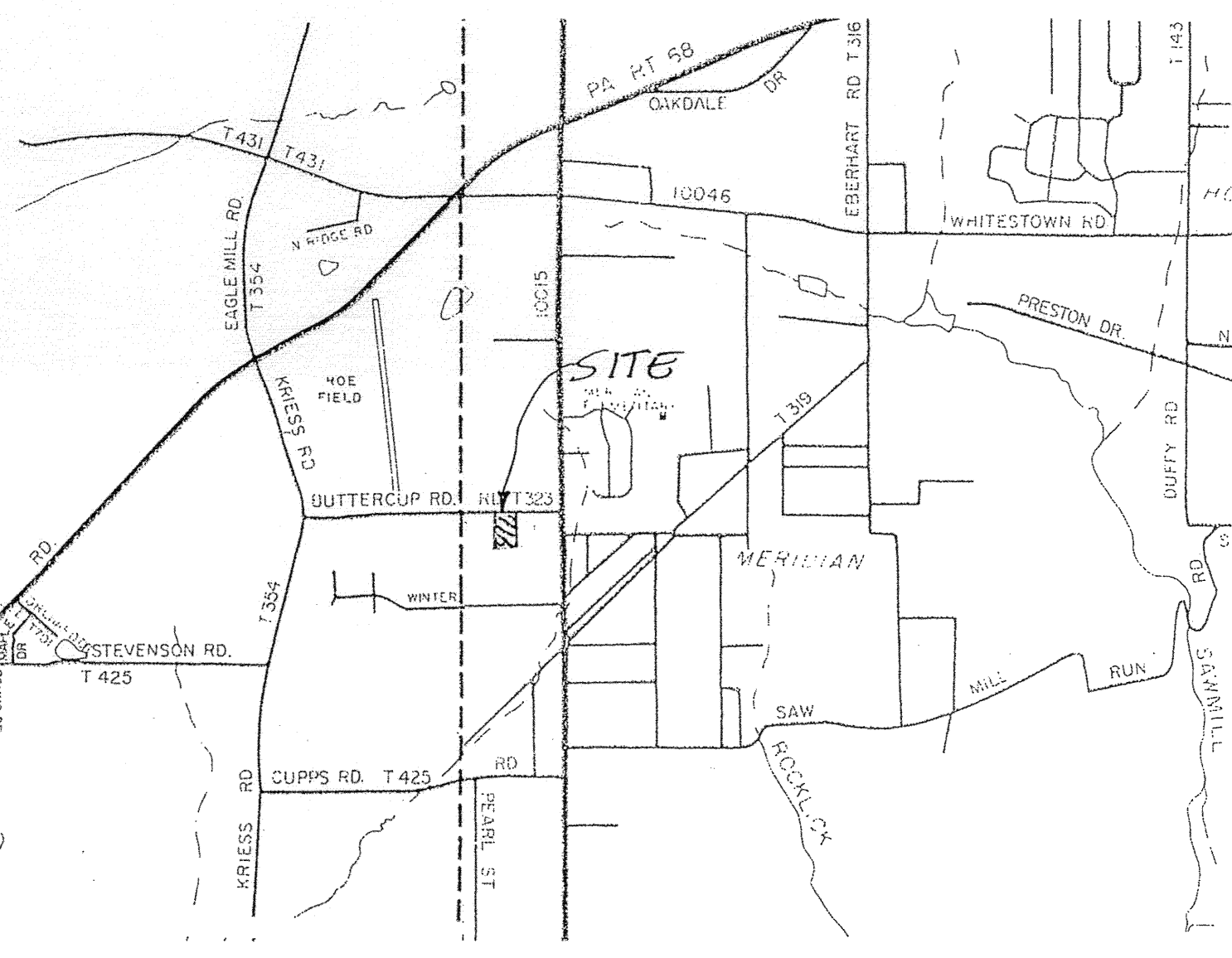
PLAN OF SUBDIVISION

FOR: GEORGE & LUCY ROTUNDA REVOCABLE TRUST,
George R. Rotunda, III and Lucy N. Rotunda, Trustees

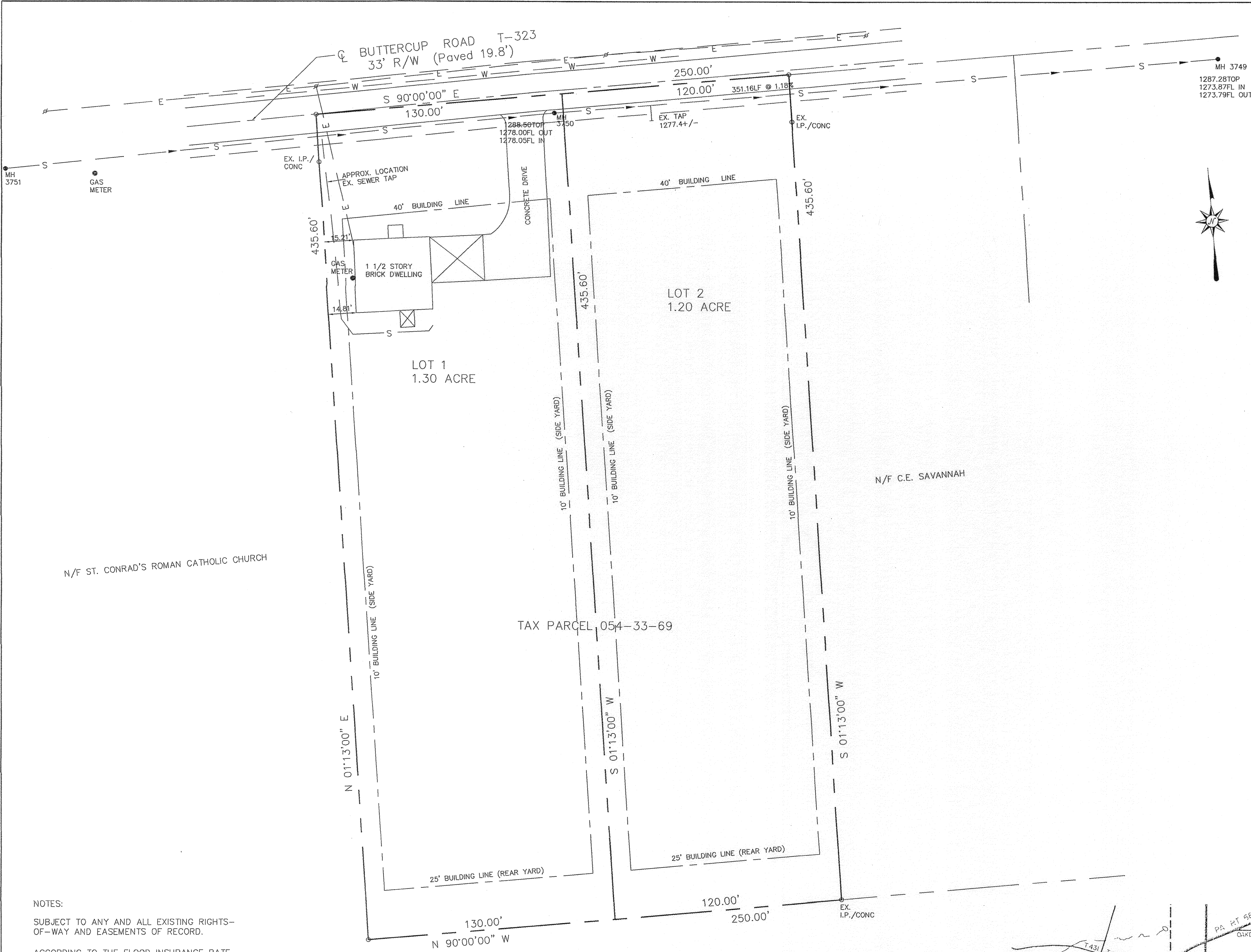
SITUATE: BUTLER TWP., BUTLER CO., PA

Date 08/31/2021 Scale 1" = 30' Dwn By BEC Ckd By CAH
Parcel No. 054-33-69 Instrument # 20191120022754 Service No. 21-119
Address 123 BUTTERCUP ROAD

PLAN BOOK
PAGE
398 49



VICINITY MAP Scale: 1" = 2000'



NOTES:
SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.

ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREA OF MINIMAL FLOOD HAZARD DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

ZONING: R-1
BUILDING REQUIREMENTS:
40' FRONT SETBACK
10' SIDE SETBACK
25' REAR SETBACK
MINIMUM LOT SIZE: 15,000 S.F.
MINIMUM LOT WIDTH: 100'

PROPERTY OWNERS: GEORGE & LUCY ROTUNDA
123 BUTTERCUP ROAD
BUTLER, PA 16001

REF: PROPERTY SUBDIVISION FOR GEORGE ROTUNDA III,
P.B. 179 PG. 17.

THE PURPOSE OF THIS PLAN IS TO CREATE A NEW BUILDING LOT.



Know all men by these Presents, that I, Kristine Snyder, Executor of the Estate of Anna Mae Snyder, of the Township of Butler, County of Butler and State of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this Plan as my Plan of my property situated in Butler Township and do hereby dedicate forever for public use for highway and utility purposes, all drives, roads, lanes, ways, rights of way, and other public highways shown upon the plan, and I release, remise and discharge the Township of Butler, its successors or assigns, of and from all liability, courses of action, claims or damages arising from or pertaining to in any manner said roads and rights of ways.

I further agree that said plan is approved by the Township of Butler for "Planning Purposes Only" and that said township shall not issue any "Building Permits" for lots contained herein, nor shall any lots be deeded until either all of said roads and improvements in accordance with Butler Township Ordinance 730 and all other applicable ordinances have been completed and accepted by said township or until the township has approved a bond with sufficient surety to guarantee construction of the same.

In Witness Whereof, I hereunto set my hand and seal this 28 day of

October, 2021

David C. Harkins
NOTARY PUBLIC

Kristine Snyder
KRISTINE SNYDER, EXECUTOR

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER)

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Kristine Snyder, Executor of the Estate of Anna Mae Snyder, and acknowledged the foregoing release and dedication and plan to be her act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this 28 day of October, 2021

My Commission Expires the 04 day of June, 2022

SEAL
David C. Harkins
NOTARY PUBLIC

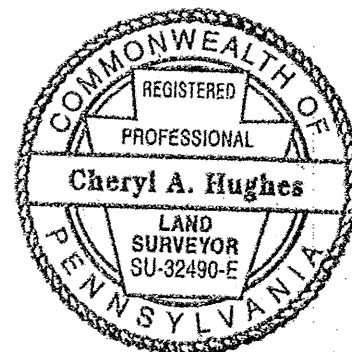
Commonwealth of Pennsylvania - Notary Seal
David C. Harkins, Notary Public
Butler County
My commission expires June 4, 2022
Commission number 1190259
Member, Pennsylvania Association of Notaries

TITLE CLAUSE (NO MORTGAGE)

I, Kristine Snyder, Executor of the Estate of Anna Mae Snyder, owner of this plan of subdivision in my name, do hereby certify that the title of this property is in the name of Anna Mae Snyder as recorded in Deed Book Volume 669 page 523 and Deed Book Volume 1000 page 637, Recorder of Deeds Office. I further certify that there is no mortgage, lien or encumbrance against this property.

David C. Harkins
WITNESS

Kristine Snyder
KRISTINE SNYDER, EXECUTOR



I, Cheryl A. Hughes, a Registered Surveyor of the Commonwealth of Pennsylvania, do hereby certify that the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan correctly represents the lots, land, streets and highways as surveyed and plotted by me for the owners or agents.

August 23, 2021
DATE

Cheryl A. Hughes
SIGNATURE AND REG. NO. SU-32490-E

The Board of Commissioners of the Township of Butler hereby gives public notice that in approving this plan for recording purposes only, the Township assumes no obligations, legal or otherwise, expressed or implied, either to accept said streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

Theresa Giesler
SECRETARY

Ami Giesler
PRESIDENT

Approved by the Board of Commissioners of the Township of Butler this 18th day of October, 2021

Theresa Giesler
SECRETARY

Ami Giesler
PRESIDENT OF BOARD

Approved by the Butler Township Planning Commission this 5th day of October, 2021

Christ R. Lester
SECRETARY

Sam J. Keph
CHAIRMAN

Reviewed by the Butler County Planning Commission this 15th day of SEPT., 2021

R. H. - JRM
SECRETARY

J. H. - JRM
CHAIRMAN

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER)

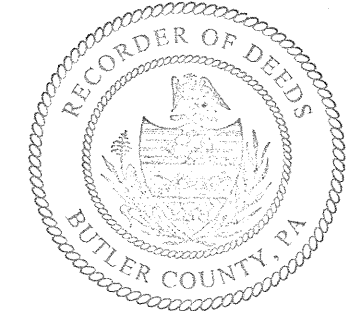
Recorded in the Recorder's Office for the recording of deeds, plans, etc., in said County in Plan Book

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Given under my hand and seal this 4th day of November, 2021

SEAL
Michele M. Mustello
RECORDER

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



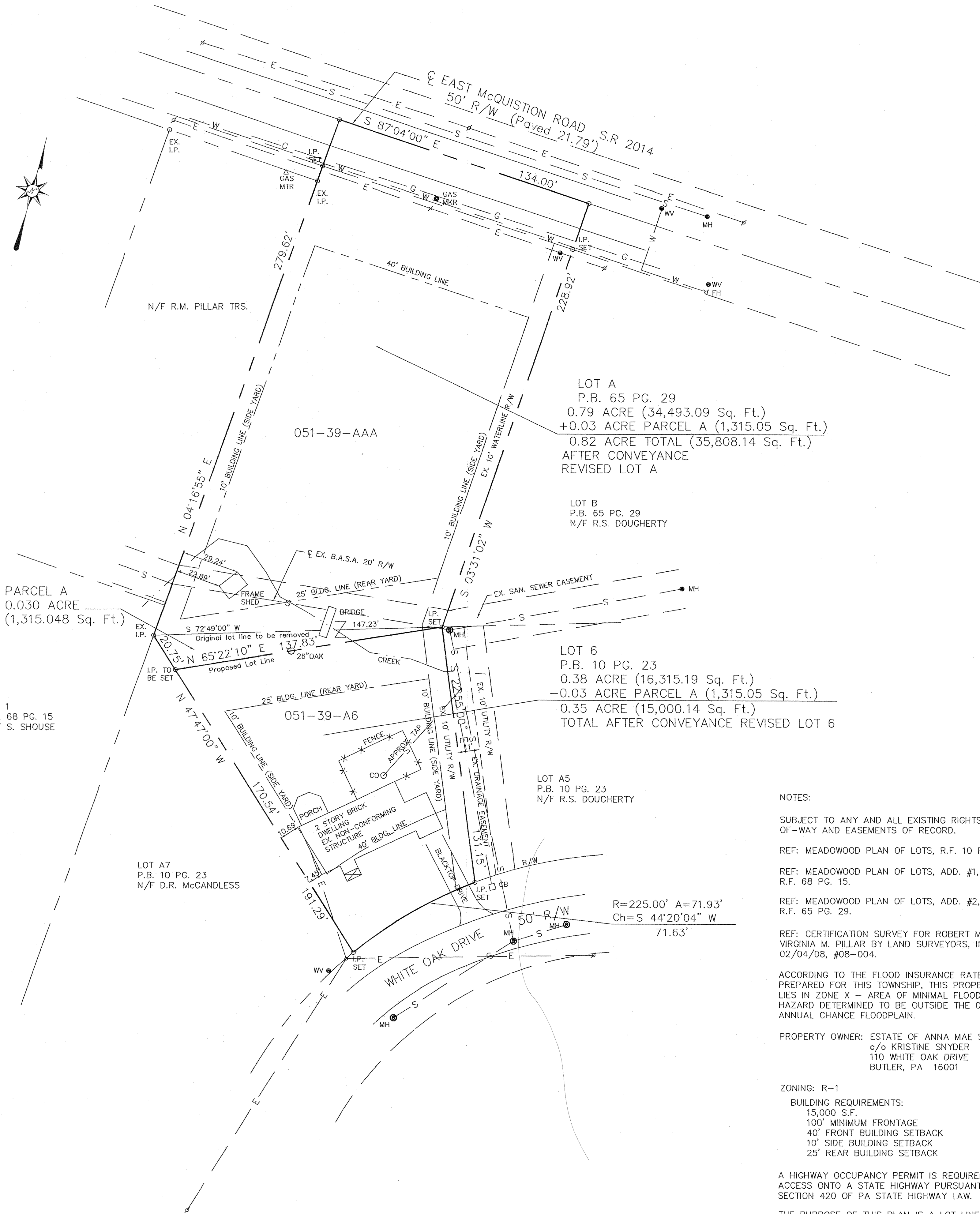
L
S
J
Land Surveyors, Inc.
523 North Main Street
P.O. Box 1061
Butler, PA 16003-1061
(724) 287-6865
Cheryl A. Hughes, PLS Owner

LOT LINE REVISION

FOR: ESTATE OF ANNA MAE SNYDER
KRISTINE SNYDER, EXECUTOR

SITUATE: BUTLER TWP., BUTLER CO., PA

Date 08/23/2021 Scale 1" = 30'	Dwn By BEC	Ckd By CAH
Parcel No. 051-39-A6 & AAA	Db-Pg 669-523	Service No. 21-129
Address 110 WHITE OAK DRIVE	1000-637	



NOTES:

SUBJECT TO ANY AND ALL EXISTING RIGHTS-
OF-WAY AND EASEMENTS OF RECORD.

REF: MEADOWOOD PLAN OF LOTS, R.F. 10 PG. 23

REF: MEADOWOOD PLAN OF LOTS, ADD. #1,
R.F. 68 PG. 15.

REF: MEADOWOOD PLAN OF LOTS, ADD. #2,
R.F. 65 PG. 29.

REF: CERTIFICATION SURVEY FOR ROBERT M. &
VIRGINIA M. PILLAR BY LAND SURVEYORS, INC.,
02/04/08, #08-004.

ACCORDING TO THE FLOOD INSURANCE RATE MAP
PREPARED FOR THIS TOWNSHIP, THIS PROPERTY
LIES IN ZONE X - AREA OF MINIMAL FLOOD
HAZARD DETERMINED TO BE OUTSIDE THE 0.2%
ANNUAL CHANCE FLOODPLAIN.

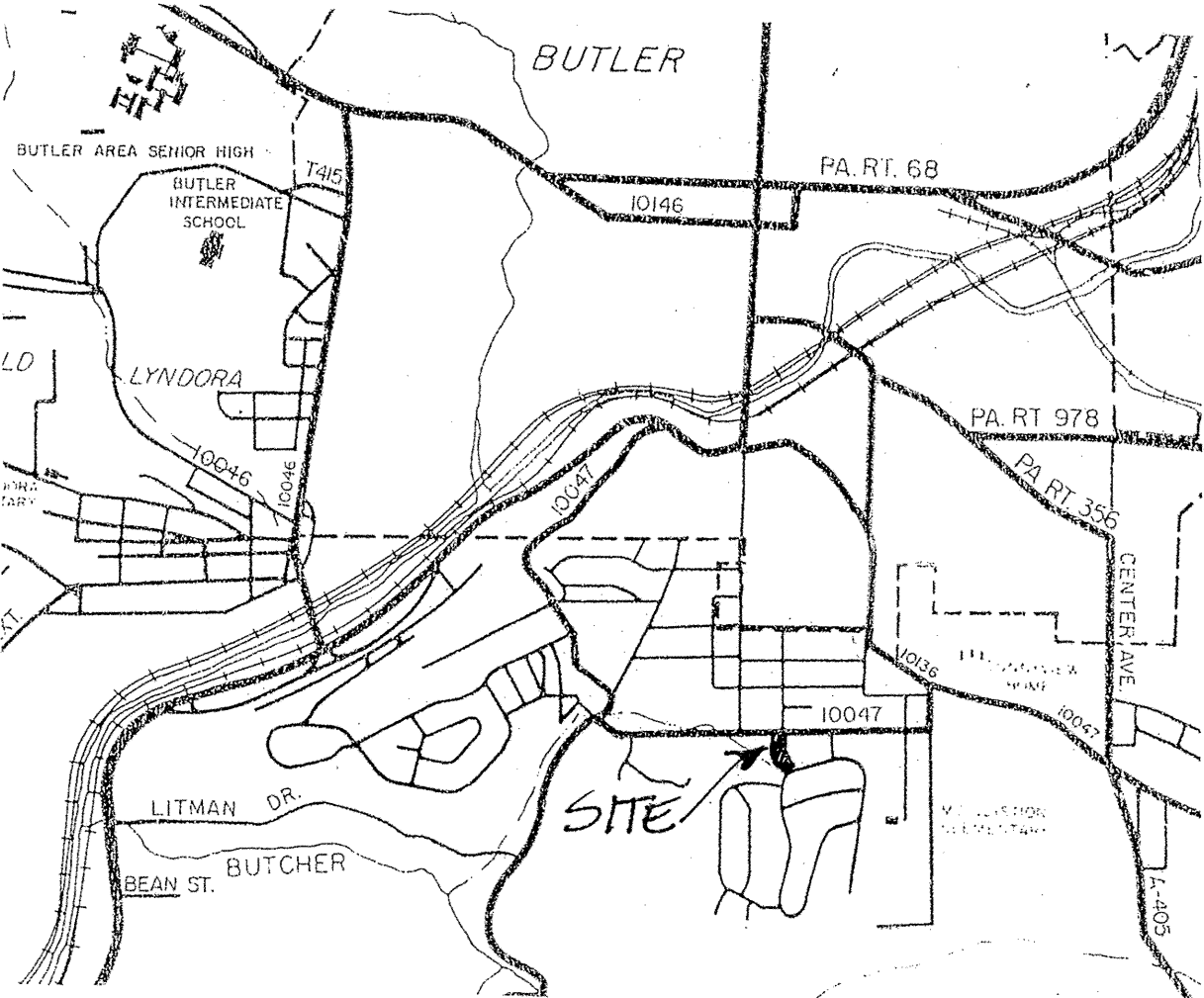
PROPERTY OWNER: ESTATE OF ANNA MAE SNYDER
c/o KRISTINE SNYDER
110 WHITE OAK DRIVE
BUTLER, PA 16001

ZONING: R-1

BUILDING REQUIREMENTS:
15,000 S.F.
100' MINIMUM FRONTAGE
40' FRONT BUILDING SETBACK
10' SIDE BUILDING SETBACK
25' REAR BUILDING SETBACK

A HIGHWAY OCCUPANCY PERMIT IS REQUIRED FOR
ACCESS ONTO A STATE HIGHWAY PURSUANT TO
SECTION 420 OF PA STATE HIGHWAY LAW.

THE PURPOSE OF THIS PLAN IS A LOT LINE
REVISION TO ADD PARCEL A TO TAX PARCEL
051-39-AAA.



VICINITY MAP Scale: 1" = 2000'