

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	EXISTING PAVED ROADWAY
	EXISTING RIGHT-OF-WAY
	EXISTING UNPAVED ROADWAY
	PROPERTY LINE SETBACK
	EXISTING FENCE
	EXISTING STORM SEWER
	EXISTING STORM INLET
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING OVERHEAD ELECTRIC POLE
	EXISTING LIGHT POLE
	EXISTING ELECTRIC MANHOLE
	EXISTING WATER METER/VALVE
	EXISTING GAS LINE
	EXISTING SIGN
	EXISTING BUILDING/TANK
	EXISTING WETLAND
	EXISTING STREAM
	EXISTING TREE
	EXISTING FIRE HYDRANT
	EXISTING RAILROAD TRACKS
	PROPOSED TRAILER
	PROPOSED STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED OUTLET STRUCTURE

NOTES:
1. PROJECT WILL NOT REQUIRE GRADING OR EARTH DISTURBANCE THEREFORE, NO GRADING PERMIT OR EROSION CONTROL PERMIT SHALL BE NECESSARY.
2. REQUIRED PARKING (OFFICE TRAILER): 1 STALL PER 250 GSF
-REQUIRED PARKING = 8 STALLS
-PROVIDED PARKING = 8 STALLS

SITE DEVELOPMENT ZONING DATA		
PARCEL 180-4F52-9A1A = 47.802 ACRES		
ZONING DISTRICT	LI LARGE SCALE INDUSTRIAL	
PERMITTED USE:	NATURAL GAS DE-ETHANIZER FACILITY	
AREA & BULK REQUIREMENTS:	REQUIRED	PROVIDED
LOT AREA:	2 ACRES MIN.	47.802 ACRES (TOTAL)
LOT WIDTH		
AT FRONT BUILDING SETBACK LINE:	200' MIN.	±3,000'
FRONT YARD BUILDING SETBACK:	50' MIN.	±300'
REAR YARD BUILDING SETBACK:	50' MIN.	±650'
SIDE YARD BUILDING SETBACK:	30' MIN.	±1,000'
LOT COVERAGE	80% MAX.	<80%
PARKING REQUIREMENTS:	8 STALLS REQUIRED / PROVIDED	

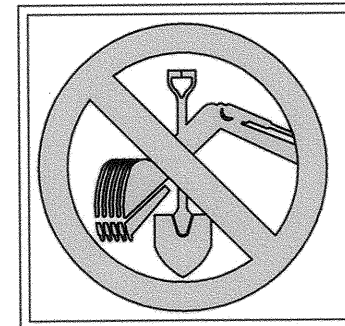
DEVELOPER: MARKWEST LIBERTY BLUESTONE, LLC
4600 J. BARRY COURT, SUITE 500
CANONSBURG, PA 15317

PROPERTY OWNER: MARKWEST LIBERTY BLUESTONE, LLC
4600 J. BARRY COURT, SUITE 500
CANONSBURG, PA 15317

CONTACTS: DAVID SHERK
CHRISTOPHER KELLEY

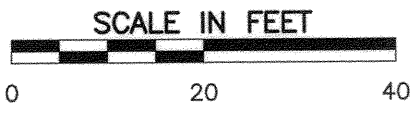
PROPERTY ADDRESS: 440 HARTMANN ROAD
EVANS CITY, PA 16033

- REFERENCE
- PLAN NORTH IS BASED UPON PENNSYLVANIA STATE PLANE SOUTH ZONE AS DETERMINED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. USING SURVEY GRADE GPS MEASUREMENT AND ORIS POST-PROCESSING.
 - EXISTING CONDITIONS AS DEPICTED ARE BASED UPON PREVIOUS PERMIT DRAWINGS PREPARED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. FOR MARKWEST BLUESTONE PROCESSING PLANT PROJECTS AND RAIL YARD PROJECTS. THE EXISTING CONDITIONS AS DEPICTED ARE NOT INTENDED TO BE "AS-BUILT" CONDITIONS.



CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE-STOP CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776

PENNSYLVANIA ACT 38 (1981) REQUIRES NO LESS THAN 3 WORKING DAYS NOTICE NOR MORE THAN 10 WORKING DAYS NOTICE FROM EXCAVATORS WHO ARE ABOUT TO DIG, DRILL, BLAST, AUGER, BORE, GRADE, TRENCH, OR DEMOLISH WHEN IN THE CONSTRUCTION PHASE. FOR LOCATION REQUESTS IN THE STATE OF PENNSYLVANIA, CALL TOLL FREE 1-800-242-1776.



ALL SIGNATURES MUST BE MADE WITH A BLACK INK PEN

I, CHRISTIAN MCELVAIN, owner of the land shown on this Land Development Plan hereby adopt this plan as my land development and irrevocably dedicate all streets and other property identified for dedication on the plan to the Jackson Township. This adoption and dedication shall be binding on my heirs, executors, and assigns.

IN WITNESS OF WHICH, to this I set my hand and seal this 28 day of AUGUST, 20 19

ATTEST:
Judy Edwards
Notary Public

Christian McElvain
Signature of owner(s)
MECHANICAL SUPERVISOR,
MARKWEST LIBERTY BLUESTONE, LLC

Before me, the undersigned Notary Public in and for the Commonwealth of Pennsylvania and County of Butler, personally appeared the above named Christian McElvain (Name of owner(s)), and acknowledged the foregoing adoption and dedication to be (his, her, their) act.

Witness my hand and notarial seal this 28 day of August, 20 19
My commission expires the 15th day of June, 20 21

COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
Judy Edwards, Notary Public
Forward Twp., Butler County
My Commission Expires June 15, 2021

I hereby certify that the title to the property contained in the Bluestone Rail Facility is in the name of MARKWEST LIBERTY BLUESTONE, LLC and is recorded in the deed book volume 353, page 45. I further certify that there is no mortgage, lien, or other encumbrance against this property.

Mark West
Witness

Christian McElvain
Owner
MECHANICAL SUPERVISOR

I hereby certify that, to the best of my information, knowledge and belief the survey and plan shown hereon are correct and accurate to the standards required by the ordinances of Jackson Township.

Date 7/24/2019
(Seal) James R. Bruggeman
Reg. No. SU-051772-E

I hereby certify that, to the best of my information, knowledge and belief the plan shown hereon is true and correct to the accuracy and engineering standards required by the ordinances of Jackson Township.

Date 7/24/2019
(Seal) Dana M. Klann
Reg. No. PE079477

This plan was reviewed by the Township Engineer for conformance with the Jackson Township Subdivision and Land Development Ordinance and other applicable Township ordinances.

Benjamin L. Gilbert
Name
PE 077527
Registration number

Jackson Township agrees not to issue building permits until the "Planning Module for Land Development" has been approved in accordance with the regulations of the Pennsylvania Department of Environmental Protection.

Date 10-24-19
Reviewed by the Planning Commission of Jackson Township this August 1 day of 2018
Secretary Christina Chairperson Christina

Approved by the Board of Supervisors of Jackson Township this 16th day of August, 20 18. The Board of Supervisors of Jackson Township gives notice that in approving this plan for recording Jackson Township assumes no obligation to accept the dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

Date 7/24/2019
(Seal) James R. Bruggeman
Reg. No. SU-051772-E

Approved by the Planning Director of the Township of Jackson this 29th day of August, 20 18, pursuant to Chapter 22, Subdivision and Land Development, of the Code of Jackson Township, as amended. The Planning Director of Jackson Township gives notice that in approving this plan for recording Jackson Township assumes no obligation to accept the dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

Planning Director
Secretary Christina Chairperson Christina

Recorded in the office of the Recorder of Deeds of Butler County, Commonwealth of Pennsylvania in Plan Book Volume 384, page(s) 1

Given under my hand and seal this 19th day of February, 20 20

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

The plan was delivered to the developer on 16th of December, 2019.

Planning Director

PLAN BOOK	PAGE
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SUBMITTAL & REVISION RECORD

NO.	DATE	DESCRIPTION
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Civil & Environmental Consultants, Inc.
333 Baldwin Road - Pittsburgh, PA 15205
412-429-2324 - 800-365-2324
www.cencinc.com

MARKWEST LIBERTY BLUESTONE, LLC
BLUESTONE RAIL
PROPOSED TRAILER
JACKSON TOWNSHIP,
BUTLER COUNTY, PENNSYLVANIA

LAND DEVELOPMENT
RECORDING PLAT

DRAWING NO.: **RP-01**

DATE:	9/20/2018	DRAWN BY:	KEY
DWG SCALE:	1" = 20'	CHECKED BY:	DMK
PROJECT NO:	121-924.0250		
APPROVED BY:	DMK		

KNOW ALL MEN BY THESE PRESENTS; THAT Redevelopment Authority of The County of Butler, A CORPORATION INCORPORATED UNDER THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, BY VIRTUE OF A RESOLUTION BY THE BOARD OF DIRECTORS, THEREOF, DOES HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN SLIPPERY ROCK BOROUGH, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND BOROUGH OF SLIPPERY ROCK, Redevelopment Authority of The County of Butler, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND BOROUGH OF SLIPPERY ROCK, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON Redevelopment Authority of The County of Butler, ITS SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE HAND OF ITS PRESIDENT AND SAME TO BE ATTESTED BY ITS SECRETARY THIS 15 DAY OF February 2020.

ATTEST:

OWNER/OFFICER

OWNER/OFFICER

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER)

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED THE ABOVE NAMED, Edward P. Mauk, FOR THE Redevelopment Authority of The County of Butler, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY:

WITNESS MY HAND AND SEAL THIS 13th DAY OF February 2020.
MY COMMISSION EXPIRES THE 6 DAY OF April 2023.

Martha M. Brown
NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Martha M. Brown, Notary Public
Butler County
My commission expires April 6, 2023
Commission number 1289739
Member, Pennsylvania Association of Notaries

APPROVED BY THE SLIPPERY ROCK BOROUGH PLANNING COMMISSION THIS 11 DAY OF FEBRUARY 2020.

[Signature] SECRETARY
Gerald Heller CHAIRMAN

THE BOROUGH COUNCIL OF THE BOROUGH OF SLIPPERY ROCK HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE BOROUGH OF SLIPPERY ROCK ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS AS BOROUGH STREETS, OR ROADS, OR GRADES, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN BOROUGH STREETS OR ROADS.

APPROVED BY THE BOROUGH COUNCIL OF THE BOROUGH OF SLIPPERY ROCK, THIS 11 DAY OF FEBRUARY 2020.

[Signature] SECRETARY
Ronald Stueb CHAIRMAN, BOROUGH COUNCIL

SUPERVISOR

I, JEFFREY A. SHUTY, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS AND OR AGENTS.

9/13/19 DATE
[Signature] REG. NO. SU075509

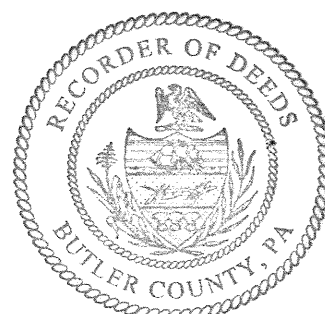
REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 26th DAY OF JUNE 2019.

[Signature] SECRETARY
[Signature] CHAIRMAN

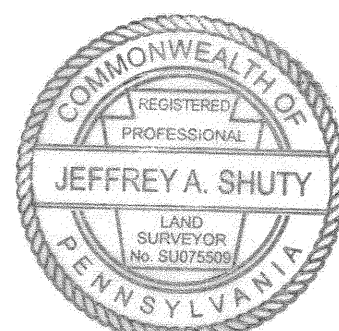
COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER)

RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN SAID COUNTY IN PLAN BOOK VOLUME 384 PAGE 2 GIVEN UNDER MY HAND AND SEAL THIS 24th DAY OF February 2020.

Michele M. Mustello
RECORDER
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



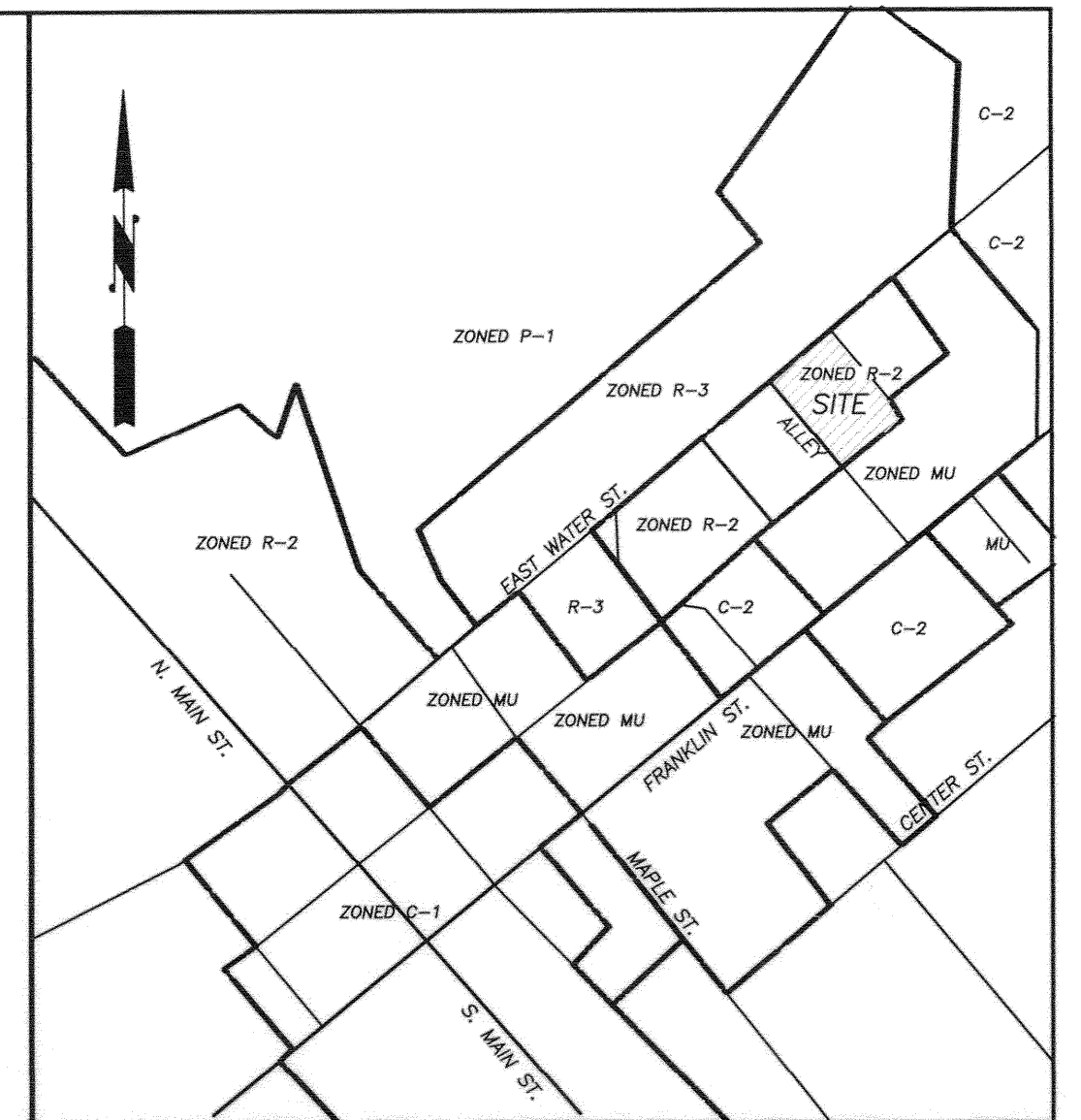
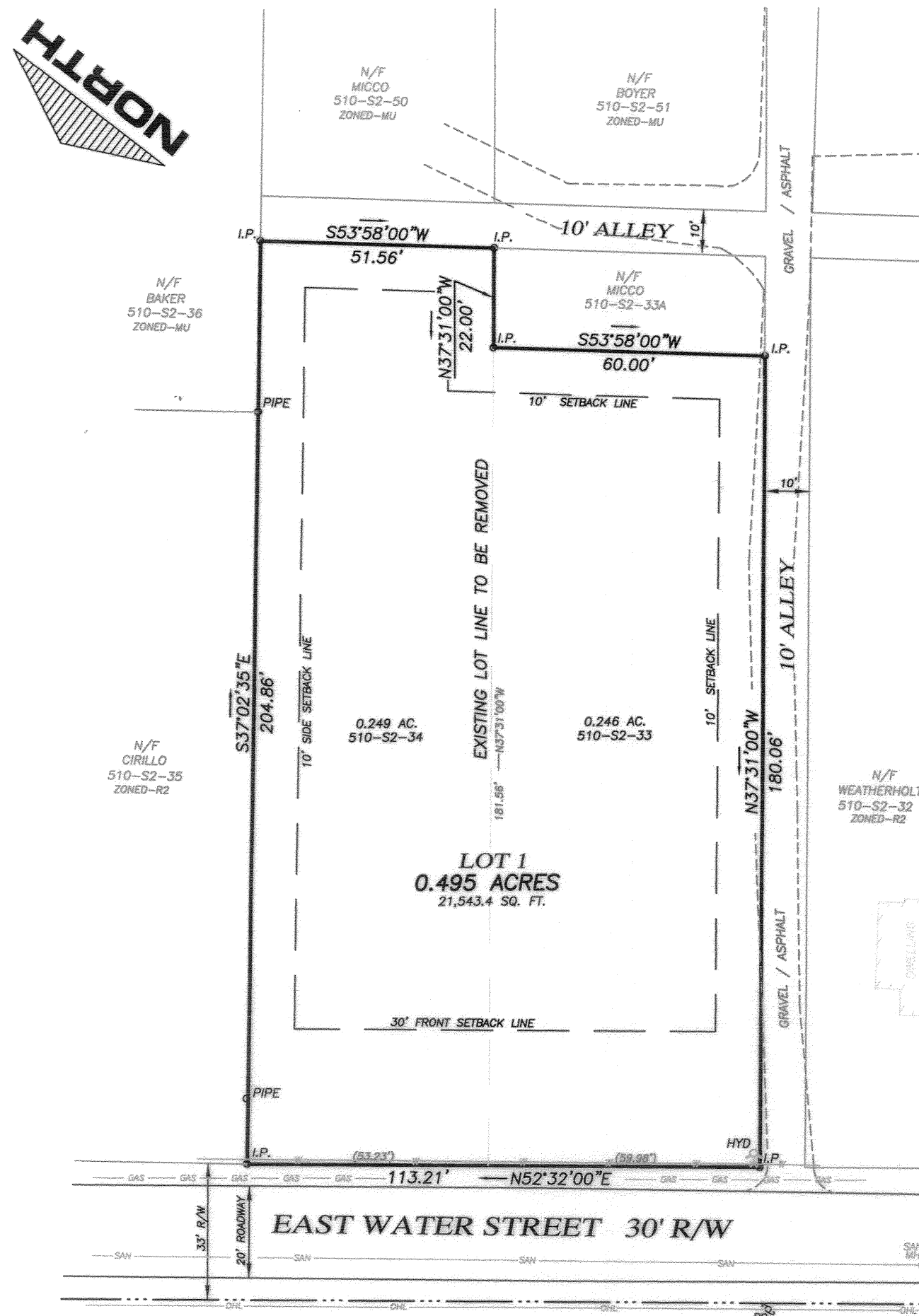
PLAN BOOK	PAGE
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NORTHERN
SURVEYORS AND ASSOCIATES
137 LINK LANE
SLIPPERY ROCK, PA 16057
(724)530-6889

Scale 1" = 30'	HOUSING & REDEVELOPMENT AUTHORITIES Lot Consolidation Plan
Date JUNE 17, 2019	
	Situate in Borough of Slippery Rock Butler County, Pa.
Job No. 2610	Prepared For REDEVELOPMENT AUTHORITY OF THE COUNTY OF BUTLER
	Sheet No. 1 of 1

NOTE:
PROPERTY IS LOCATED IN AN UNMAPPED AREA, OF FIRM MAP FOR SLIPPERY ROCK BOROUGH, BUTLER COUNTY, PENNSYLVANIA, COMMUNITY-PANEL NUMBER 421414.



LOCATION MAP

NOTE:
TAX PARCELS 510-S2-33 AND 510-S2-34 TO BE COMBINED TO FORM LOT 1.

TOTAL PLAN AREA = 0.495 ACRES

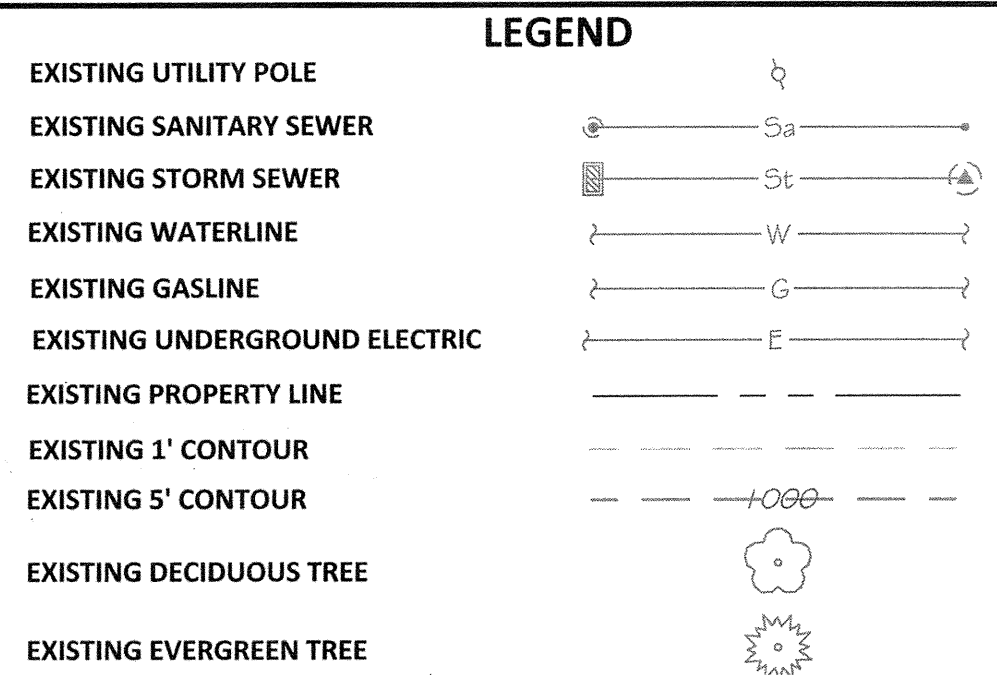
TAX PARCELS: 510-S2-33
510-S2-34

DEED REF: 201711130024914

OWNER:
REDEVELOPMENT AUTHORITY COUNTY OF BUTLER
114 WODDY DR.
BUTLER, PA 16001

ZONING - R-2
MIN. LOT AREA 8712 SQ.FT.
MIN. LOT WIDTH 60'
BUILDING SETBACKS
FRONT 30'
SIDE 10'
REAR 40'
MAX. COVERAGE 35%
MAX. HEIGHT 35'

SITE ADDRESS:
340 EAST WATER STREET
SLIPPERY ROCK, PA 16057



1. Limit soil compaction as much as possible in the areas designated for stormwater management BMPs. Care should be taken to avoid stockpiling material or construction vehicles within the infiltration trench footprint;
2. Construct infiltration trench within the parking lot during the installation of the storm sewer system as directed by the Stormwater Management Plan/Drawings. Refer to the stormwater detail sheet for the construction procedure;

1. Protect Infiltration Trench area from compaction prior to installation.
2. If possible, install Infiltration Trench during later phases of site construction to prevent sedimentation and/or damage from construction activity. After installation, prevent sediment from entering trench and/or damage to trench.
3. Install and maintain proper Erosion and Sediment Control Measures during construction.
4. Excavate Infiltration Trench bottom to a uniform, level uncompacted subgrade free from rocks and debris. Do NOT compact subgrade.
5. Place nonwoven geotextile along bottom and sides of trench*. Nonwoven geotextile rolls should overlap by a minimum of 16 inches within the trench. Fold back and secure excess geotextile during stone placement.
6. Install upstream and downstream Control Structures, cleanouts, etc.
7. Place uniformly graded, clean-washed aggregate in 8-inch lifts, lightly compacting between lifts.
8. Install Continuously Perforated Pipe as indicated on plans. Backfill with uniformly graded, clean-washed aggregate in 8-inch lifts, lightly compacting between lifts.
9. Fold and secure nonwoven geotextile over Infiltration Trench, with minimum overlap of 6 inches.
10. Place 6-inch lift of approved Topsoil over Infiltration Trench, as indicated on plans.
11. Seed and stabilize topsoil.
12. Do not remove Inlet Protection or other Erosion and Sediment Control measures until site is fully stabilized.
13. Any sediment that enters inlets during construction is to be removed within 24 hours.

1. The underground stormwater management facility should be checked four times per year and immediately after a runoff event of one or more inches.
 - a. Underground Storm Piping - The underground stormwater piping used for stormwater storage shall be checked periodically via access ports used for cleanout.
 - Debris and sediment shall be removed from the underground system once approximately 10% of the pipe is filled
 - Flushing sediment out of the system to the existing inlet and diversion system is unacceptable. Proper collection and disposal is required.

- b. **Primary/Emergency Outlet Structure** - The primary outlet structure should be routinely inspected for debris build up and/or clogging of the orifice openings. All obstructions and/or debris should be immediately removed from the outlet structure.
- c. **Discharge Pipe** - The discharge pipe should be routinely inspected for clogging and/or obstructions. All obstructions should be removed immediately to prevent clogging.

d. Inlets - The inlets shall be maintained as not to allow sediment or debris to prevent the flow of water into them. Any obstruction to the pipe should be removed.

e. **Roof Drain Collection System** - The roof drain lines that tie into the storm inlets shall be routinely inspected for clogging and/or obstructions. All obstructions should be removed immediately to prevent clogging.

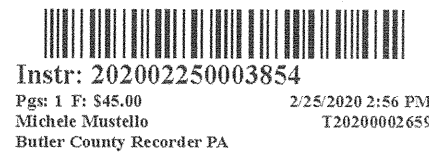
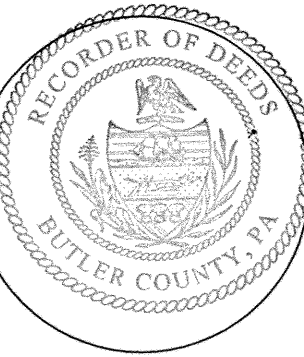
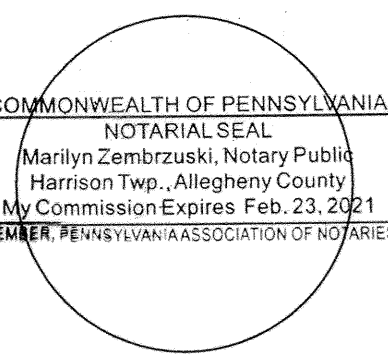
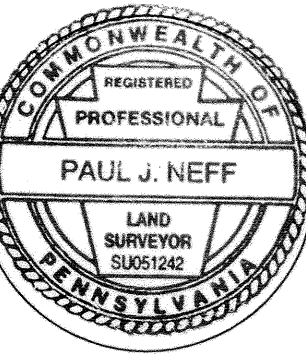
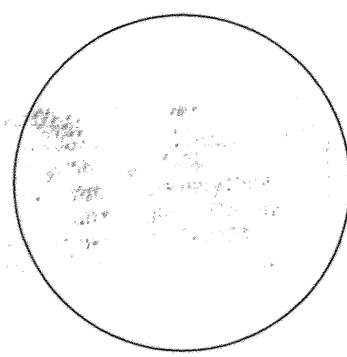
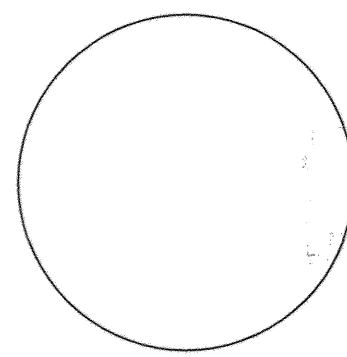
BMD CONSTRUCTION / MAINTENANCE

NOTES:

- After construction, any waste must be removed from the site and disposed of according to Township and County standards. Wastes include, but are not limited to, excess debris, grass clippings, leaves, wood, gravel, and any other material that could be a nuisance or deliverables that could adversely impact water quality. Measures should be planned and implemented for housekeeping, materials management, and litter control. Wherever possible, recycling of excess materials is preferred, rather than disposal.
- All plants that are disturbed that will be removed from the construction area to receive a minimum of 4" inches of topsoil prior to seeding and the soil will be amended as necessary. Any additional plantings will be native vegetation.
- The site will minimize impervious surface and reduce disturbance. Seeding will be performed when disturbed areas at final grade reach no more than 15,000 square feet and vegetation will only be removed from areas where proposed grading is to take place.
- The site will minimize impervious surface.
- To preserve the integrity of existing stream channels and protect existing vegetation and drainage features, runoff velocities, flow rates, and volumes will not be increased from the existing conditions.
- To minimize soil compaction and land clearing and grading, construction vehicles will not be permitted outside of the limit of disturbance.
- To minimize potential impacts to existing stream channel features and existing vegetation, vegetation will only be removed from areas where proposed buildings and parking areas will be constructed. Existing drainage features will be avoided.
- No 100-year floodplain exists within the project.
- Existing stream is located off-site near Clearbrook Drive. Discharge is to Brush Creek, Ch. 93: WWF.
- Post-development time of concentration is assumed to be five minutes.
- Islands within the parking lot and adjacent to the trash inclosure and Addition C were assumed to be impervious for post-development peak flow calculations.
- Islands shown are from USDA Wetland survey. Actual soil types found on site may differ as the site has previously been developed.



TOWNSHIP PLANNING TOWNSHIP BOARD OF SUPERVISORS COUNTY PLANNING SURVEYOR NOTARY RECORDER



ACREAGE:

PLAN PARCEL No.	HARVEY SUBD'N LOT No.	TAX ID No.	EXISTING AREA Acres Sq. Ft.	PROPOSED AREA Per Field Evidence Acres Sq. Ft.	RIGHT-OF- WAY AREA Sq. Ft.
1	5	100-S2-D5	3.0094	131,091	
	2	100-S2-D2	0.9166	39,925	
		TOTALS	3.9260	171,016	2,063

OWNERS:

MICHAEL & BRITTANY LAZARO
BOX 168 LARDINTOWN ROAD
SARVER, PA 16055

PURPOSE:

THIS PLAN CONSOLIDATES TAX MAP No.
100-S2-D5 WITH TAX MAP No.
100-S2-D2, CREATING A NEW PARCEL 1.

CONTOURS:

- CONTOURS FROM PENNSYLVANIA
SPATIAL DATA ACCESS (PASDA)
- 2 FOOT CONTOUR INTERVAL

FLOOD:

PER FEMA, FIRM COMMUNITY PANEL 422345--0001A,
EFFECTIVE DEC. 11, 1981, NO PORTION OF THESE
LANDS IS WITHIN A DESIGNATED FLOOD ZONE.

ZONING:

AC - AGRICULTURAL CONSERVATION DISTRICT

BULK AREAS:

- MINIMUM LOT AREA 5 ACRES
- MINIMUM LOT WIDTH 200 FT
- MINIMUM FRONT YARD 50 FT PER TWP APPROVAL
- MINIMUM SIDE YARD 35 FT
- MINIMUM REAR YARD 50 FT
- MAXIMUM HEIGHT 45 FT
- MAXIMUM COVERAGE 20%

UNDERGROUND UTILITY NOTE:

ALL UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE IN LOCATION AND ARE SHOWN FOR GRAPHICAL PURPOSES ONLY. CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES BEFORE ANY TYPE OF EXCAVATION BEGINS. PA ONE CALL SYSTEM, INC. TO BE NOTIFIED AT LEAST 3 DAYS PRIOR TO CONSTRUCTION TO ASSIST IN THE FIELD LOCATION OF UNDERGROUND UTILITIES.

SURVEYORS NOTES:

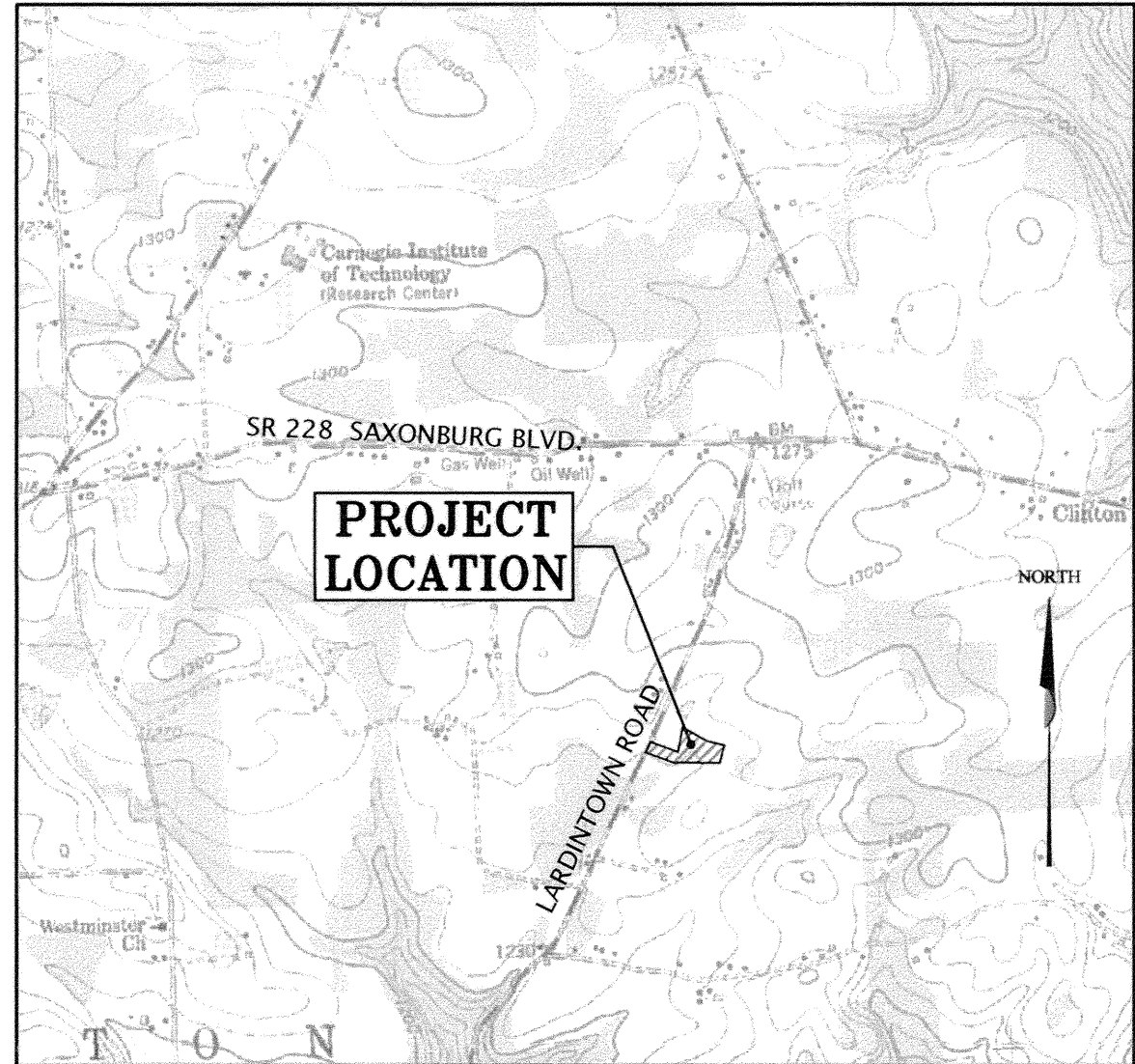
THE PROPERTIES DELINEATED HEREON ARE UNDER AND SUBJECT TO ALL EXCEPTIONS, RESERVATIONS, COVENANTS, CONDITIONS, RESTRICTIONS AND CONVEYANCES WHICH APPEAR IN THE INSTRUMENTS WHICH FORM THE RECORD CHAIN OF TITLE OR WHICH ARE VISIBLE ON THE PREMISES.

THIS PLAT DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISUAL USES OF THE LAND, HOWEVER THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO EASEMENTS EXIST.

BEARINGS ARE TO PENNSYLVANIA STATE PLANE SOUTH COORDINATES.
(DEED BEARINGS ARE SHOWN IN PARENTHESES.)

THE PROPERTIES SHOWN HEREON ARE LOCATED ON THE BUTLER COUNTY TAX ASSESSMENT MAP:

- TAX MAP No. 100-S2-D2 RECORDED AT INSTR. No. 201709290021213 AND
- TAX MAP No. 100-S2-D5 RECORDED AT INSTR. No. 201809110018627 IN THE NAMES OF MICHAEL L. LAZARO & BRITTANY M. LAZARO,



VICINITY MAP

SCALE: 1"=2000'
SOURCE: U.S.G.S. TOPOGRAPHICAL QUADRANGLE, CURTISTOWN, PENNSYLVANIA
7.5 MINUTE SERIES, 1955, PHOTO REV 1969.

OWNERS ADOPTION:

KNOW ALL MEN BY THESE PRESENTS, THAT WE, MICHAEL L. LAZARO AND BRITTANY M. LAZARO, OWNERS, OF THE COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTY, SITUATE IN THE TOWNSHIP OF CLINTON, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANES, RIGHTS-OF-WAY, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, AND WE HEREBY RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF CLINTON, ITS SUCCESSOR OR ASSIGNS, FROM ANY LIABILITY, COURSES OF ACTION, CLAIMS OR DAMAGES ARISING FROM OR PERTAINING TO IN ANY MANNER SAID ROAD AND RIGHTS-OF-WAY. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE HERETO SET OUR HANDS AND SEALS THIS

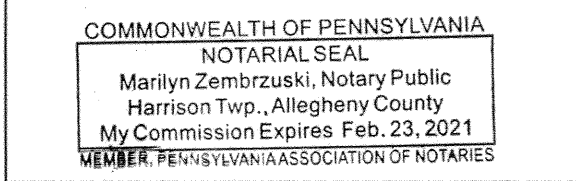
6 DAY OF February, 2020.

ATTEST: *Michael J. Neff*

WITNESS *Michael J. Neff*

WITNESS *Michael J. Neff*

NOTARY



INDIVIDUAL ACKNOWLEDGEMENT:

COMMONWEALTH OF PENNSYLVANIA }

COUNTY OF BUTLER *Allegheny* }

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, PERSONALLY CAME MICHAEL L. LAZARO AND BRITTANY M. LAZARO, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN OF TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH:

WITNESS MY HAND AND NOTARIAL SEAL THIS 6 DAY OF February, 2020.

2020.

NOTARY PUBLIC

MY COMMISSION EXPIRES THE 23 DAY OF February, 2021.

NOTARY PUBLIC

TITLE CLAUSE - (MORTGAGE):

WE, MICHAEL L. LAZARO AND BRITTANY M. LAZARO OWNERS OF THE LAZARO LOT CONSOLIDATION PLAN, DO HEREBY CERTIFY THAT THE TITLE OF THESE PROPERTIES ARE IN THE NAMES OF MICHAEL L. LAZARO AND BRITTANY M. LAZARO AS RECORDED IN INSTRUMENT No. 201809110018627 AND INSTRUMENT No. 201709290021213, RECORDER OF DEED OFFICE.

WITNESS *Michael J. Neff*

WITNESS *Michael J. Neff*

WITNESS *Michael J. Neff*

I/WE, (NAME OF MORTGAGEE) OF THE PROPERTY EMBRACED IN THIS PLAN, LAZARO LOT CONSOLIDATION PLAN, DO HEREBY CONSENT TO THE RECORDING OF SAID PLAN IN THE RECORDER OF DEEDS OFFICE OF BUTLER COUNTY, PENNSYLVANIA, AND TO THE DEDICATIONS AND COVENANTS APPEARING HEREON.

WITNESS MORTGAGEE

HIGHWAY OCCUPANCY NOTICE AND RELEASE:

A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (PL. 1242, NO. 428) KNOWN AS THE "STATE HIGHWAY LAW" BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED. ACCESS TO THE STATE HIGHWAY SHALL BE ONLY AS AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT. APPROVAL OF THIS PLAN IS NOT TO BE CONSTRUED AS APPROVAL OF A HIGHWAY OCCUPANCY PERMIT. THEREFORE WE, IN CONSIDERATION OF APPROVAL OF THIS PLAN AND INTENDING TO BE LEGALLY BOUND HEREBY, FOR OURSELVES, OUR HEIRS, SUCCESSORS AND ASSIGNS RELEASE CLINTON TOWNSHIP FROM ANY AND ALL ACTIONS, SUITS, CLAIMS, DEMANDS, LIABILITIES AND/OR DAMAGES, IN LAW OR EQUITY, ARISING FROM ISSUANCE OR DENIAL OF A HIGHWAY OCCUPANCY PERMIT, OR FAILURE TO REGULATE ANY DRIVEWAY.

WITNESS *Michael J. Neff*

WITNESS *Michael J. Neff*

OWNER *Michael J. Neff*

OWNER *Michael J. Neff*

LOCAL AUTHORITY STIPULATION:

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLINTON HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

THIS 10th DAY OF February, 2020.
Michael J. Neff SEAL *Michael J. Neff*
(SECRETARY) (CHAIRMAN OF THE BOARD)

CLINTON TOWNSHIP PLANNING COMMISSION APPROVAL:

REVIEWED BY THE CLINTON TOWNSHIP PLANNING COMMISSION THIS 3 DAY OF February, 2020.

Michael J. Neff SEAL *Michael J. Neff*
(SECRETARY) (CHAIRMAN)

CLINTON TOWNSHIP BOARD OF SUPERVISORS APPROVAL:

APPROVED BY THE CLINTON TOWNSHIP BOARD OF SUPERVISORS THIS 10th DAY OF February, 2020.

Michael J. Neff SEAL *Michael J. Neff*
(SECRETARY) (CHAIRMAN)

BUTLER COUNTY PLANNING COMMISSION REVIEW:

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 24th DAY OF February, 2020.

Michael J. Neff SEAL *Michael J. Neff*
(SECRETARY) (CHAIRMAN)

PROFESSIONAL LAND SURVEYOR CERTIFICATE:

I, PAUL J. NEFF, A REGISTERED PROFESSIONAL SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES, AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

Paul J. Neff Reg. No. SU051242
Paul.Neff@rheo.us

RECORDER

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

PROOF OF RECORDING:

COMMONWEALTH OF PENNSYLVANIA }

COUNTY OF BUTLER }

RECORDED IN THE RECORDER OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC., IN SAID COUNTY, IN PLAN BOOK VOLUME 384 PAGE(S) 4

GIVEN UNDER MY HAND AND SEAL THIS 25th DAY OF February, 2020.

(RECORDER OF DEEDS) *Michael J. Neff*

Recorded: 01/17/20

PLAN BOOK PAGE

384 4

ISSUE DATE 01/17/20

PROJECT # 5116

DWG # LC1

DATE 12/11/19

1"=60' SCALE

SHEET 1 OF 1

REFERENCES

REF. #	DESCRIPTION
1	ACCESS AND UTILITY EASEMENT AGREEMENT; RECORDED FEB. 2, 2018, INSTR. No. 201809110018627.
2	S. D. GRAFF, Surveyor; SUBDIVISION OF PROPERTY FOR THEODORE L. & CAROL L. HARVEY; Nov. 26, 1990; RECORDED Jan. 17, 1991, PBV 144, Pg. 1.
3	R. B. SHANNON & ASSOCIATES; PROPERTY SUBDIVISION FOR THE ESTATE OF THEODORE P. HARVEY AND THEODORE L. HARVEY; Nov. 23, 1988; RECORDED Dec. 19, 1988, PBV 126, Pg. 42.
4	R. B. SHANNON & ASSOCIATES; PROPERTY SUBDIVISION FOR THEODORE L. & GLORIA M. HARVEY; Oct. 22, 1982; RECORDED Nov. 15, 1984, PBV 102, Pg. 40.
5	R. B. SHANNON & ASSOCIATES; PROPERTY SUBDIVISION FOR THEODORE L. & GLORIA M. HARVEY; Oct. 1982; RECORDED Nov. 18, 1982, PBV 92, Pg. 18.
6	GREENOUGH & GREENOUGH, INC.; PROPERTY SUBDIVISION FOR THEODORE P. HARVEY; JUNE 1975; RECORDED JULY 3, 1975, PBV 66, Pg. 21.

REVISIONS

REV.	REVISION DESCRIPTION	DATE	BY	CHKD	APPR
1	REVISED FRONT SETBACK PER TOWNSHIP COMMENTS	01/07/20	BJE	PLS	PJN

RHEA ENGINEERS & CONSULTANTS, INC.
441 MARS-VALENCIA ROAD,
VALENCIA, PA 16059
www.rheo.us
724-443-4111 (main)
724-443-4187 (fax)

CUSTOMER
MICHAEL L. LAZARO
168 LARDINTOWN ROAD, SARVER, PENNSYLVANIA 16055

PROJECT
LAZARO LOT CONSOLIDATION PLAN
BEING PROPERTIES RECORDED AT:
INSTR. No. 201709290021213 RECORDED AT TAX MAP No. 100-S2-D2
INSTR. No. 201809110018627 RECORDED AT TAX MAP No. 100-S2-D5

CLINTON TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

DRAWN
BJE

CHECKED
PJN

APPROVED
PJN

DATE
12/11/19

ISSUE DATE
01/17/20

PROJECT #
5116

DWG #
LC1

1"=60' SCALE

SHEET 1 OF 1

OWNERS ADOPTION (ADAMS TOWNSHIP)
KNOW ALL MEN BY THESE PRESENTS, THAT I, MATTHEW W. VINSON, OF THE TOWNSHIP OF ADAMS, BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA, FOR MYSELF, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS MY PLAN OF SUBDIVISION OF MY PROPERTY SITUATED IN THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR OVER ADVANTAGES ACCORDING TO ME, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE, AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, I, MATTHEW W. VINSON, HEREBY AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON ME, MATTHEW W. VINSON, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.
IN WITNESS WHEREOF, I HEREUNTO SET MY HANDS AND SEALS THIS 10 DAY OF FEBRUARY, A.D. 2020
ATTEST: [Signature]
NOTARY PUBLIC
MY COMMISSION EXPIRES THE 18 DAY OF DECEMBER, A.D. 2022
INDIVIDUAL ACKNOWLEDGMENT (ADAMS TOWNSHIP)
COMMONWEALTH OF PENNSYLVANIA } ss:
COUNTY OF BUTLER
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED THE ABOVE NAMED MATTHEW W. VINSON WHO ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN OF SUBDIVISION TO BE HIS ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.
WITNESS MY HAND AND NOTARIAL SEAL THIS 10 DAY OF FEBRUARY, 2020
[Signature]
NOTARY PUBLIC
Commonwealth of Pennsylvania - Notary Seal
James Zdzila, Notary Public
Butler County
My commission expires December 18, 2022
Commission number 1287439
Member, Pennsylvania Association of Notaries

OWNERS ADOPTION (ADAMS TOWNSHIP)
KNOW ALL MEN BY THESE PRESENTS, THAT LOUIS D. & ELAINE B. PATER, TRUSTEES OF THE PATER LIVING TRUST, OF THE TOWNSHIP OF ADAMS, BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF SUBDIVISION OF OUR PROPERTY SITUATED IN THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR OVER ADVANTAGES ACCORDING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE, AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, WE, LOUIS D. & ELAINE B. PATER, TRUSTEES OF THE PATER LIVING TRUST, HEREBY AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON US, LOUIS D. & ELAINE B. PATER, TRUSTEES OF THE PATER LIVING TRUST, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.
IN WITNESS WHEREOF, WE HEREUNTO SET OUR HANDS AND SEALS THIS 10 DAY OF FEBRUARY, A.D. 2020
ATTEST: [Signature]
NOTARY PUBLIC
MY COMMISSION EXPIRES THE 18 DAY OF DECEMBER, A.D. 2022
INDIVIDUAL ACKNOWLEDGMENT (ADAMS TOWNSHIP)
COMMONWEALTH OF PENNSYLVANIA } ss:
COUNTY OF BUTLER
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED THE ABOVE NAMED LOUIS D. & ELAINE B. PATER, TRUSTEES OF THE PATER LIVING TRUST, WHO ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN OF SUBDIVISION TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.
WITNESS MY HAND AND NOTARIAL SEAL THIS 10 DAY OF FEBRUARY, 2020
[Signature]
NOTARY PUBLIC
Commonwealth of Pennsylvania - Notary Seal
James Zdzila, Notary Public
Butler County
My commission expires December 18, 2022
Commission number 1287439
Member, Pennsylvania Association of Notaries
CERTIFICATION OF TITLE AND CONCURRENCE OF MORTGAGE
I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE B3V PARTNERS SUBDIVISION AND CONSOLIDATION PLAN IS IN THE NAME OF LOUIS D. & ELAINE B. PATER, TRUSTEES OF THE PATER LIVING TRUST, AND IS RECORDED IN DEED BOOK VOLUME 2716, PG. 517.
WITNESS
LOUIS D. PATER (TRUSTEE)
ELAINE B. PATER (TRUSTEE)

OWNERS ADOPTION (ADAMS TOWNSHIP)
KNOW ALL MEN BY THESE PRESENTS, THAT I, SETH W. GEYER, TRUSTEE OF THE RKSH FAMILY TRUST OF THE TOWNSHIP OF ADAMS, BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF SUBDIVISION OF OUR PROPERTY SITUATED IN THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR OVER ADVANTAGES ACCORDING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE, AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, I, SETH W. GEYER, TRUSTEE OF THE RKSH FAMILY TRUST, HEREBY AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON I, SETH W. GEYER, TRUSTEE OF THE RKSH FAMILY TRUST, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.
IN WITNESS WHEREOF, WE HEREUNTO SET OUR HANDS AND SEALS THIS 10 DAY OF FEBRUARY, A.D. 2020
ATTEST: [Signature]
NOTARY PUBLIC
MY COMMISSION EXPIRES THE 18 DAY OF DECEMBER, A.D. 2022
INDIVIDUAL ACKNOWLEDGMENT (ADAMS TOWNSHIP)
COMMONWEALTH OF PENNSYLVANIA } ss:
COUNTY OF BUTLER
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED THE ABOVE NAMED SETH W. GEYER, TRUSTEE OF THE RKSH FAMILY TRUST, WHO ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN OF SUBDIVISION TO BE HIS ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.
WITNESS MY HAND AND NOTARIAL SEAL THIS 10 DAY OF FEBRUARY, 2020
[Signature]
NOTARY PUBLIC
Commonwealth of Pennsylvania - Notary Seal
James Zdzila, Notary Public
Butler County
My commission expires December 18, 2022
Commission number 1287439
Member, Pennsylvania Association of Notaries
CERTIFICATION OF TITLE AND CONCURRENCE OF MORTGAGE
I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE B3V PARTNERS SUBDIVISION AND CONSOLIDATION PLAN IS IN THE NAME OF SETH W. GEYER, TRUSTEE OF THE RKSH FAMILY TRUST, AND IS RECORDED IN INSTRUMENT NUMBER 201812260025983
WITNESS
SETH W. GEYER, TRUSTEE OF THE RKSH FAMILY TRUST

BUTLER COUNTY PLANNING COMMISSION REVIEW CERTIFICATE
REVIEWED WITH OR WITHOUT COMMENTS BY THE BUTLER COUNTY PLANNING COMMISSION AT A MEETING HELD THIS 18 DAY OF FEBRUARY, A.D. 2020, LETTER TO ADAMS TOWNSHIP BOARD OF SUPERVISORS DATED 7-18 A.D. 2020
[Signature]
DIRECTOR
[Signature]
CHAIRPERSON

ADAMS TOWNSHIP PLANNING COMMISSION
ADAMS TOWNSHIP BOARD OF SUPERVISORS
REGISTERED SURVEYOR
REGISTERED ENGINEER
BUTLER COUNTY RECORDER OF DEEDS

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL SURVEYOR
GARY A. SHEFFLER, JR.
BUTLER COUNTY RECORDER OF DEEDS

PLANNING COMMISSION

OWNERS ADOPTION (ADAMS TOWNSHIP)
KNOW ALL MEN BY THESE PRESENTS, THAT I, MARK T. VINSON, OF THE TOWNSHIP OF ADAMS, BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF SUBDIVISION OF OUR PROPERTY SITUATED IN THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR OVER ADVANTAGES ACCORDING TO ME, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE, AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, WE, MARK T. VINSON, HEREBY AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON I, MARK T. VINSON, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.
IN WITNESS WHEREOF, WE HEREUNTO SET OUR HANDS AND SEALS THIS 10 DAY OF FEBRUARY, A.D. 2020
ATTEST: [Signature]
NOTARY PUBLIC
MY COMMISSION EXPIRES THE 18 DAY OF DECEMBER, A.D. 2022
INDIVIDUAL ACKNOWLEDGMENT (ADAMS TOWNSHIP)
COMMONWEALTH OF PENNSYLVANIA } ss:
COUNTY OF BUTLER
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED THE ABOVE NAMED MARK T. VINSON, WHO ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN OF SUBDIVISION TO BE HIS ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.
WITNESS MY HAND AND NOTARIAL SEAL THIS 10 DAY OF FEBRUARY, 2020
[Signature]
NOTARY PUBLIC
Commonwealth of Pennsylvania - Notary Seal
James Zdzila, Notary Public
Butler County
My commission expires December 18, 2022
Commission number 1287439
Member, Pennsylvania Association of Notaries

OWNERS ADOPTION (ADAMS TOWNSHIP)
KNOW ALL MEN BY THESE PRESENTS, THAT I, KIMBERLY A. VINSON, OF THE TOWNSHIP OF ADAMS, BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF SUBDIVISION OF OUR PROPERTY SITUATED IN THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR OVER ADVANTAGES ACCORDING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE, AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, I, KIMBERLY A. VINSON, HEREBY AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON I, KIMBERLY A. VINSON, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.
IN WITNESS WHEREOF, WE HEREUNTO SET OUR HANDS AND SEALS THIS 7 DAY OF FEBRUARY, A.D. 2020
ATTEST: [Signature]
NOTARY PUBLIC
MY COMMISSION EXPIRES THE 18 DAY OF DECEMBER, A.D. 2022
INDIVIDUAL ACKNOWLEDGMENT (ADAMS TOWNSHIP)
COMMONWEALTH OF PENNSYLVANIA } ss:
COUNTY OF BUTLER
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED THE ABOVE NAMED KIMBERLY A. VINSON, WHO ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN OF SUBDIVISION TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.
WITNESS MY HAND AND NOTARIAL SEAL THIS 7 DAY OF FEBRUARY, 2020
[Signature]
NOTARY PUBLIC
Commonwealth of Pennsylvania - Notary Seal
James Zdzila, Notary Public
Butler County
My commission expires December 18, 2022
Commission number 1287439
Member, Pennsylvania Association of Notaries
CERTIFICATION OF TITLE AND CONCURRENCE OF MORTGAGE
I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE B3V PARTNERS SUBDIVISION AND CONSOLIDATION PLAN IS IN THE NAME OF MARK T. & KIMBERLY A. VINSON, AND IS RECORDED IN DEED BOOK VOLUME 1887, PG. 399.
WITNESS
MARK T. VINSON
KIMBERLY A. VINSON

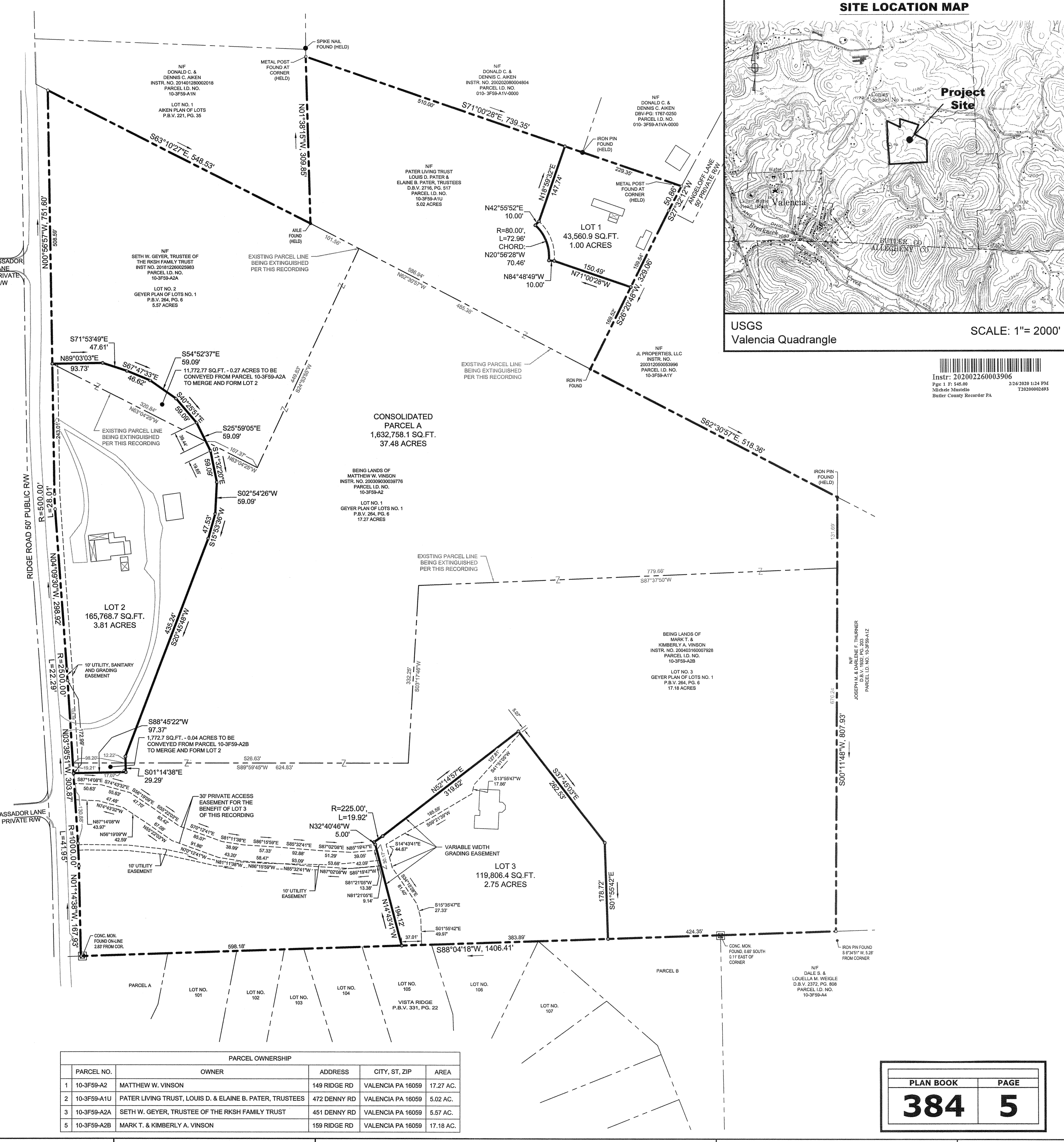
PROFESSIONAL LAND SURVEYORS CERTIFICATION
I, GARY A. SHEFFLER, JR., A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES, AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS AS SHOWN ON THE PLAT HAVE BEEN, OR WILL BE SET, AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.
DATE 2-17-2020
NAME Gary A. Sheffler, Jr. P.E.
REGISTRATION NUMBER 26400-15
TOWNSHIP ENGINEER'S CERTIFICATION
I, Donald Dwyer, A REGISTERED PROFESSIONAL ENGINEER FOR THE TOWNSHIP OF ADAMS, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THIS SUBDIVISION PLAN OR LAND DEVELOPMENT MEETS ALL OF THE ENGINEERING REQUIREMENTS SET FORTH IN THE ADAMS TOWNSHIP ZONING ORDINANCE, SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND THE PUBLIC AND PRIVATE IMPROVEMENT CODE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL OF THE TOWNSHIP BOARD OF SUPERVISORS.
DATE 2-17-2020
NAME Donald Dwyer
REGISTRATION NUMBER 26400-15
TOWNSHIP PLANNING COMMISSION RECOMMENDATION FOR APPROVAL
THIS PLAT OF SUBDIVISION HAS BEEN RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWNSHIP OF ADAMS, BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA ON THIS 10 DAY OF FEBRUARY, 2020
TOWNSHIP SECRETARY
CHAIRPERSON
SUPERVISOR
SUPERVISOR
SUPERVISOR

PROOF OF RECORDING
COMMONWEALTH OF PENNSYLVANIA } ss:
COUNTY OF BUTLER
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS, PLATS, ETC. IN SAID COUNTY IN PLAN BOOK VOLUME 384 PAGE(S) 5
GIVEN UNDER MY HAND AND SEAL THIS 26 DAY OF FEBRUARY, 2020
RECORDER OF DEEDS
MICHELE M. MUSTELLO

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL SURVEYOR
GARY A. SHEFFLER, JR.
BUTLER COUNTY RECORDER OF DEEDS

PLANNING COMMISSION



811 Know what's below. Call before you dig.

POCS SER. #: DESIGN - 20181233614 DIG - 20181233608

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROPRIATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Horizontal Scale
1 inch = 100 ft.

DATE: 11/20/18 TOWNSHIP SUBMISSION
01/20/19 TOWNSHIP RESUBMISSION
06/06/19 TOWNSHIP RESUBMISSION
07/08/19 TOWNSHIP RESUBMISSION
07/19/19 TOWNSHIP RESUBMISSION
09/05/19 TOWNSHIP RESUBMISSION
01/02/20 ADDED BREAKDOWN DISTANCES
01/06/20 DEVELOPER COMMENTS
02/04/2020 DEVELOPER COMMENTS

Revision Description: By: JLF, GFD, JRD, JRD, AGM, MWS, AGM, MWS

Professional Seal: GARY A. SHEFFLER, JR. REGISTERED PROFESSIONAL SURVEYOR

Prepared By: Sheffler & Company, Inc. ENGINEERING • SURVEYING
1712 Mount Nebo Road Sewickley, PA 15143
Office Phone: 412-219-4509 Email: info@ShefflerCo.com

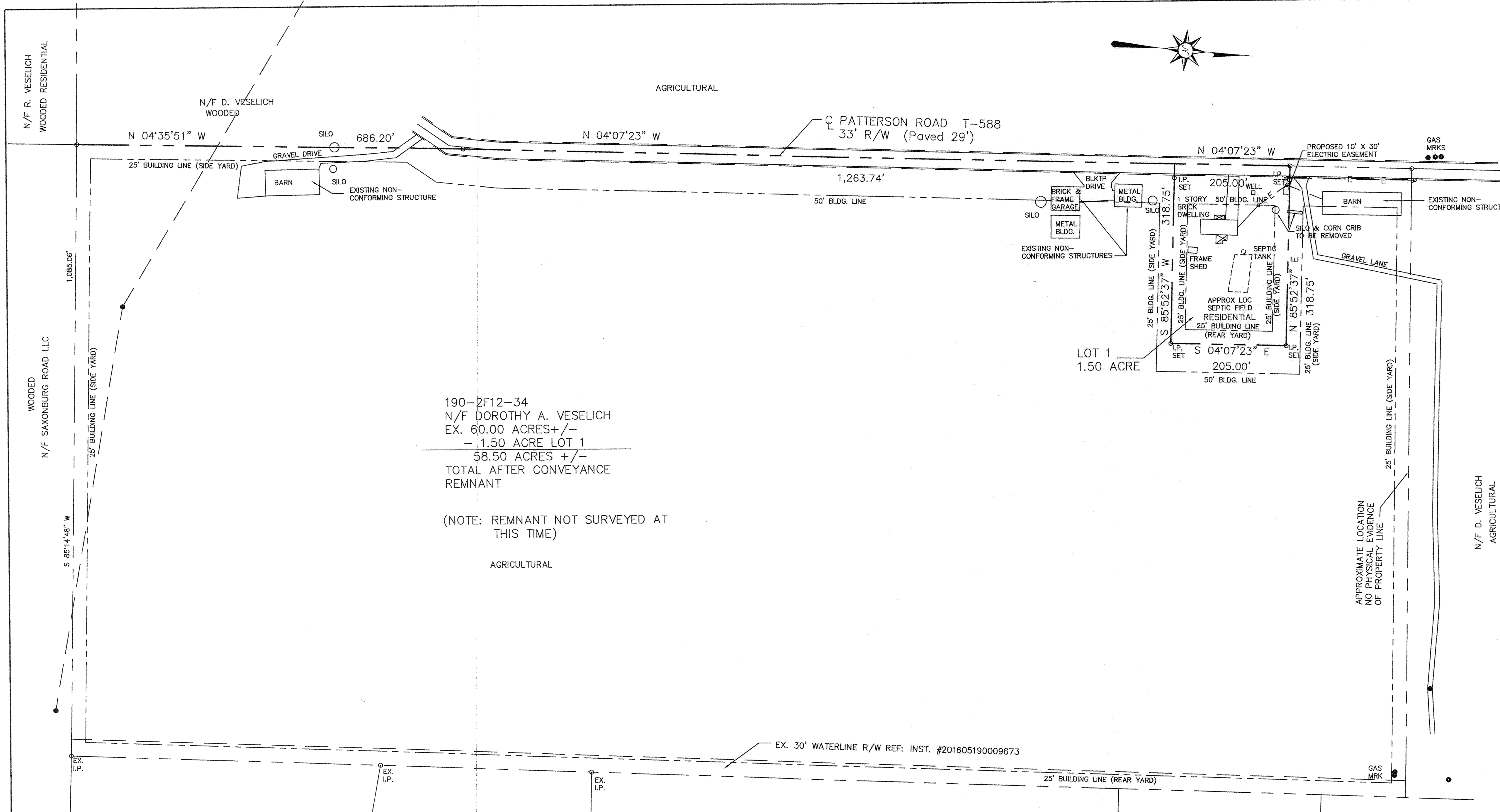
B3V Partners Subdivision and Consolidation Plan
Prepared For: B3V Partners, LP
Situate In: Adams Township, Butler County, Pennsylvania

Being a Consolidation and Subdivision of Parcel Nos. 10-3F59-A2, recorded in Instrument No. 200309030039776, 10-3F59-A1U, recorded in DBV-Pg 2716-517, 10-3F59-A2A, recorded in Instrument No. 201812260025983 & 10-3F59-A2B, recorded in Instrument No. 200403160007928

DRAWING SCALE: 1" = 100' DESIGNED BY: AGM
DATE ISSUED: 12/05/2018 REVIEWED BY: GAS
PROJECT JOB#: 3761 FIELD BOOK #: ---
CADD#:

B3V Partners, LP
Att: Robert Brennan, Manager
800 S. Washington Street
Evans City, PA 16033
Phone: 724-685-2929
Sheet No. 1 of 1

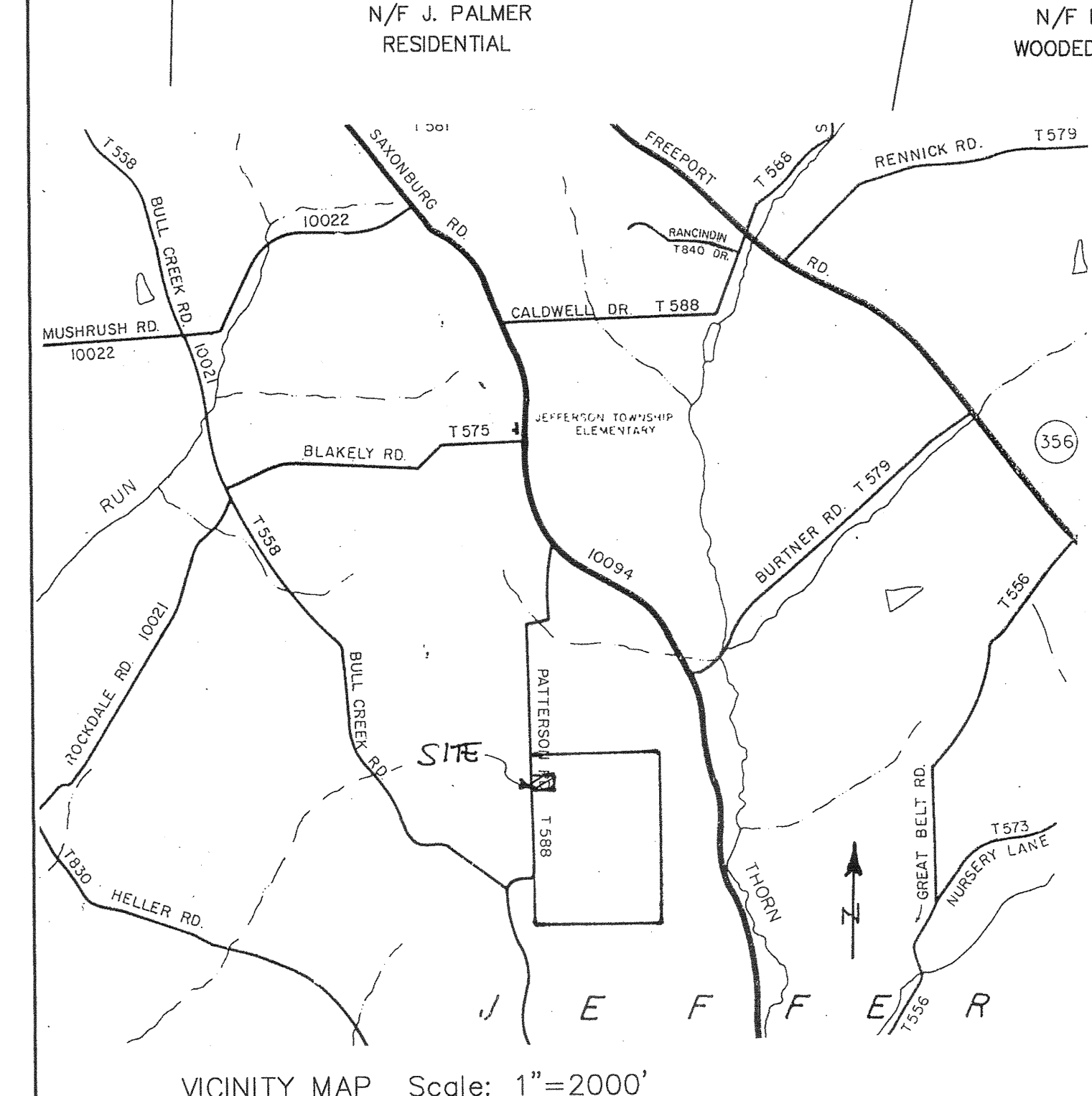
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190-2F12-34
N/F DOROTHY A. VESELICH
EX. 60.00 ACRES +/-
- 1.50 ACRE LOT 1
58.50 ACRES +/-
TOTAL AFTER CONVEYANCE
REMNANT

(NOTE: REMNANT NOT SURVEYED AT
THIS TIME)

AGRICULTURAL



OWNERS ACCEPTANCE OF RESPONSIBILITY FOR DRAINAGE:
Know all men by these presents, that, Dorothy Veselich,
of the Township of Jefferson, County of Butler, and
Commonwealth of Pennsylvania, for myself, my heirs,
executors, administrators and assigns, and for my
grantees and their subsequent purchasers, do hereby
accept full and complete responsibility, liability, expense
and provision of facilities for the control of stormwater
drainage over, across and through this subdivision of
land until such time as I, my heirs, executors, admin-
istrators and assigns construct stormwater drainage
facilities in accordance with Township specifications and
requirements and the same is officially accepted by
action of the Board of Supervisors and until such
formal acceptance, I for myself, my heirs, executors,
administrators and assigns do hereby release the
Township of Jefferson from any responsibility in
connection therewith. This acceptance of responsibility
shall be binding upon Dorothy Veselich, my heirs,
executors, administrators and assigns, and all
purchasers of lots in this plan of subdivision.

In witness whereof, I hereunto set my hand and seal
this 27th day of February, 2020
Dorothy A. Veselich
OWNER

ACKNOWLEDGEMENT OF NOTARY PUBLIC
Witness my hand and seal this 27th day of February, 2020
My Commission expires the 16th day of December, 2022

Christine R. Backus
NOTARY PUBLIC
Commonwealth of Pennsylvania - Notary Seal
CHRISTINE R. BACKUS - Notary Public
Butler County
My Commission Expires Dec 16, 2022
Commission Number 1187342

AS OF THE DATE OF THIS DEED/PLOT PLAN/DEED NOTICE RECORDING,
THE RESIDUAL TRACT OF THIS SUBDIVISION IS DEDICATED FOR THE EXPRESS
PURPOSE OF AGRICULTURAL USE. NO PORTION OF THE RESIDUAL TRACT OF THIS
SUBDIVISION HAS BEEN APPROVED BY JEFFERSON TOWNSHIP OR THE
APPROVING AGENCY FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES.
NO SEWAGE PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION,
CONNECTION TO OR USE OF ANY SEWAGE COLLECTION, CONVEYANCE, TREATMENT
OR DISPOSAL SYSTEM (EXCEPT FOR REPAIRS TO EXISTING SYSTEMS) UNLESS THE
APPROPRIATE MUNICIPALITY AND APPROVING AGENCY HAVE APPROVED ANY
REQUIRED SEWAGE FACILITIES PLANNING FOR THE RESIDUAL TRACT OF THE
SUBDIVISION DESCRIBED HEREIN IN ACCORDANCE WITH THE
PENNSYLVANIA SEWAGE FACILITIES ACT (35 P.S. SECTIONS 750.1 ET
SEQ.) AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO
SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES
CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR SUBDIVIDER OF
ANY PORTION OF THE RESIDUAL TRACT SHOULD CONTACT THE
APPROPRIATE OFFICIALS OF JEFFERSON TOWNSHIP, WHICH IS
CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO
DETERMINE WHAT SEWAGE PLANNING IS REQUIRED AND THE PROCEDURE
AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR
APPROVALS.

NOTES:

SUBJECT TO ANY AND ALL EXISTING RIGHTS-
OF-WAY AND EASEMENTS OF RECORD.
ACCORDING TO THE FLOOD INSURANCE RATE
MAP PREPARED FOR THIS TOWNSHIP, THIS
PROPERTY LIES IN ZONE X - AREA OF MINIMAL
FLOOD HAZARD.

PROPERTY OWNER: DOROTHY VESELICH
4193 PATTERSON ROAD
BUTLER, PA 16002

REF: PROPERTY SURVEY FOR LAWRENCE & DOROTHY
VESELICH BY LAND SURVEYORS, INC., 10/24/91, #91-255

THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE THE
EXISTING DWELLING OFF OF THE FARM.

KNOW ALL MEN BY THESE PRESENTS, that I, Dorothy A. Veselich, of the Township of Jefferson, of the County of Butler, Commonwealth of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this plan as my Plan of Lots of my property, situate in Jefferson Township, Butler County, Pennsylvania, and for divers advantages accruing to me, do hereby dedicate forever, for public use for highway purposes, all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Township of Jefferson, I hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Jefferson, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established at any time. This dedication and release shall be binding upon Dorothy A. Veselich, my heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 12th day of February, 2020

ATTEST:
Held M. Mahagen NOTARY PUBLIC
Dorothy A. Veselich OWNER

COMMONWEALTH OF PENNSYLVANIA(S):
COUNTY OF BUTLER)

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Dorothy A. Veselich, and acknowledged the foregoing release and dedication and plan to be her act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day.

WITNESS MY HAND AND NOTARIAL SEAL this 12th day of February, 2020
My Commission expires the 26th day of August, 2021

SEAL
Held M. Mahagen
NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
Held M. Mahagen, Notary Public
East Franklin Twp., Armstrong County
My Commission Expires Aug. 26, 2021

I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.

DATE January 10, 2020 SEAL *Cheryl A. Hughes*
REG. NO. SU-32490-E

The Board of Supervisors of the Township of Jefferson hereby gives public notice that in approving this plan for recording purposes only, the Township of Jefferson assumes no obligation, legal or otherwise, expressed or implied, either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers herein or to install any other such service ordinarily installed in Township streets or roads.

Louis J. Fennell SECRETARY
John G. Geph CHAIRMAN

Approved by the Supervisors of the Township of Jefferson this FEB day of 10th, 2020
Louis J. Fennell SECRETARY
John G. Geph CHAIRMAN

Approved by the Jefferson Township Planning Commission this 20th day of JANUARY, 2020
William M. Deom SECRETARY
John G. Geph CHAIRMAN

Reviewed by the Butler County Planning Commission this 23rd day of DEC., 2019
Robert J. G. M. SECRETARY
John G. Geph CHAIRMAN

COMMONWEALTH OF PENNSYLVANIA):
COUNTY OF BUTLER)

Recorded in the Recorder's Office for the recording of deeds, plans, etc. in said County in Plan Book Volume 384 Page 7

Given under my hand and seal this 27 day of February, 2020

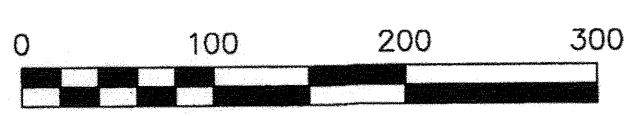
SEAL
Michele M. Mustello
RECORDED

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

REVISED 01/10/2020; TOWNSHIP REVIEW

L J J	Land Surveyors, Inc. 523 North Main Street P.O. Box 1061 Butler, PA 16003-1061 (724) 287-6865 Cheryl A. Hughes, PLS Owner			
	PLAN OF SUBDIVISION FOR: DOROTHY A. VESELICH SITUATE: JEFFERSON TWP., BUTLER CO., PA			
	Date 12/09/19	Scale 1" = 100'	Dwn By BEC	Ckd By CAH
Parcel No. 190-2F12-34		Db-Pg 976-547	Service No. 19-175	
Address 4193 PATTERSON ROAD				

PLAN BOOK	PAGE
384	7



I, KNOW ALL MEN BY THESE PRESENTS, THAT I, MARY LOU SHERDER, POWER OF ATTORNEY FOR KATHERINE L. SCHERDER, OF THE TOWNSHIP OF FAIRVIEW, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR MYSELF, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS MY PLAN OF DISPOSITION OF MY PROPERTY, SITUATED IN THE TOWNSHIP OF FAIRVIEW, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, TO BE USED FOR HIGHWAYS PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, I HAVE HEREBY RELEASED AND AGREE TO HOLD HARMLESS, MY HEIRS, SUCCESSORS AND ASSIGNS FROM AND AGAINST ALL CLAIMS OR DEMANDS, DAMAGES OR LOSSES, INCLUDING REASONABLE ATTORNEYS' FEES AND COSTS, WHICH MAY AT ANY TIME BE ASSERTED AGAINST ME OR MY ESTATE, OR AGAINST MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL OF OFFICE, ON THE ABOVE NAMED DAY, MONTH AND YEAR, BE BINDER UNTO THE ABOVE NAMED PROPERTY OWNERS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

x Mary Lou Scherder - POA
MARY LOU SCHERDER
POWER OF ATTORNEY FOR KATHERINE L. SCHERDER
POA recorded at Inst # 202002260003905

ACKNOWLEDGMENT OF NOTARY PUBLIC
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, MARY LOU SHERDER, POWER OF ATTORNEY FOR KATHERINE L. SCHERDER, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023

x Nelra L. Guffcoat
NOTARY PUBLIC

SURVEYOR'S CERTIFICATION
I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

DATE Jan. 29 2020

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF FAIRVIEW, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY THE TOWNSHIP OF FAIRVIEW ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF FAIRVIEW, ILL. 10 #  2020

x. Dusty D Nf
SECRETARY

x Paul E. Do
CHAIRPERSON
BOARD OF SUPERVISORS

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

x R. H. Hargrave
SECRETARY

x [Signature]
CHAIRPERSON
BLUFER COUNTY PLANNING COMMISSION

PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS

PLAN BOOK VOLUME 384, PAGE(S) 8.

GIVEN UNDER MY HAND AND SEAL THIS 8/7
 x *Michele M. Mustello*
 RECORDER OF DEEDS
MICHELE M. MUSTELLO
RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024

SITE LOCATION MAP

SCALE: 1" = 2000'

The map shows a network of roads: Cherry Rd runs horizontally across the top; Hazenont Rd runs vertically in the center; Dogwood Rd runs vertically on the left; and Fairmont Rd runs vertically on the right. A circled dot is located at the intersection of Cherry Rd and Hazenont Rd, with a line pointing to it from the label 'SITE'.

BUTLER COUNTY ON-LOT SEWAGE & WATER	
Dimension	Single Family Dwelling
Min. Lot Area	1 acre
Min. Lot Width	100 feet at bldg line
Min. Front Yard Depth	50 feet
Min. Side Yard Depth	20 feet
Min. Rear Yard Depth	50 feet

PLAN ORIENTATION NOTE: THE BASIS OF BEARINGS AND/OR COORDINATES SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM - SOUTH ZONE (PA-S) / NAD 1983 AS DETERMINED BY GPS STATIC COLLECTION AND OPUS SOLUTION.

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

Instr: 202002270003980
Pg 1 F: \$45.00
Michele Mustillo
Butler County Recorder PA

N/F
A. BRAY
150-1F59-12FA
Lot 3 of the
Bray Subdivision Plan #2
PB 299 Pg 5

N/F
W. POTSUBAY
150-1F59-12C
Lot 2 of the
Bray Subdivision Plan #2
PB 299 Pg 5

N/F
A. BRAY
150-1F59-12H

N/F
G. SCHERDER
150-1F59-3C
Lot 1 of the
Tyree Subdivision
PB 148 Pg 40

RESIDUAL
43.01 acres

ORIGINAL
K.L. SCHERDER
150-1F59-11D
Residual of Scherder
Subdivision
Pb 125 Pg 49

NON-BUILDING WAIVER / RESIDUAL TRACT
RESIDUAL TRACT WAIVER

"AS OF THE DATE OF THIS PLOT PLAN RECORDING, THE RESIDUAL TRACT OF THIS SUBDIVISION IS DEDICATED FOR THE EXPRESS PURPOSE OF VACANT LAND AND/OR AGRICULTURAL USE. NO PORTION OF THE RESIDUAL TRACT THIS SUBDIVISION IS BEING USED FOR ANY OTHER PURPOSE. THE DEDICATION OF ENVIRONMENTAL PROTECTION FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES. NO SEWAGE PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, MAINTENANCE, OPERATION, REPAIRS, COLLECTION, CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM (EXCEPT FOR REPAIRS TO EXISTING SYSTEMS) UNLESS THE MUNICIPALITY AND DEP HAVE REVIEWED AND APPROVED THE SEWAGE TREATMENT PLAN AND THE USE OF THE SUBDIVISION DESCRIBED HEREIN IN ACCORDANCE WITH THE SEWAGE FACILITIES ACT (35 P.S. SECTIONS 7501 ET. SEQ.) AND REGULATIONS. THE MUNICIPALITY HEREBY AGREES TO REVIEW AND APPROVE OR DENYING ANY SALES CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR PURCHASER OF ANY PORTION OF THIS RESIDUAL TRACT SHOULD CONTACT THE MUNICIPALITY FOR REVIEW AND APPROVAL OF ANY SUCH CONTRACT. TO CONTACT THE MUNICIPALITY WHICH IS CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO DETERMINE WHAT SEWAGE FACILITIES PLANNING IS REQUIRED AND THE REQUIRED PERMITS AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR APPROVALS.

LOT 3
4.67 acres

N/F
K. GROVES
150-1F59-11DA
Lot 1 of the
Scherder Subdivisi
PR 125 Pg 49

N/F
J. GROVES
150-1F59-11DB
Lot 2 of the
Scherder Subdivisi
PB 125 Pg 49

GENERAL NOTES:

- | | | |
|--------|------------------------------------|--|
| 3. | PROPERTY OWNER: | KATHERINE SCHERDER |
| 4. | POWER OF ATTORNEY: | MARY LOU SCHERDER |
| 5. | STREET ADDRESS: | 261 HAZELNUT RD
CHICKORA, PA 16025 |
| 6. | LOT REQUIREMENTS: | SEE TABLE |
| 7. | FEMA FLOOD ZONE: | ZONE X - AREA OF MINIMAL FLOOD HAZARD
FIRM: 42019C0330D
FIRM EFFECTIVE: 9/2/2018 |
| 8. | REFERENCES | |
| 6.1. | CURRENT DEEDS OF RECORD | |
| 6.2. | PREVIOUSLY RECORDED PLANS | |
| 6.2.1. | SCHERDER SUBDIVISION PB 125 PG 49 | |
| 6.2.2. | TREEE SUBDIVISION PB 148 PG 40 | |
| 6.2.3. | RATTAYAN PLAN #1 PB 371 PG 38 | |
| 6.2.4. | MCDONNELL SUBDIVISION PB 336 PG 13 | |
| 6.2.5. | BATT SUBDIVISION #2 PB 299 PG 5 | |

KATHERINE SCHERDER
MARY LOU SCHERDER
261 HAZELNUT RD
CHICORA, PA 16025
SEE TABLE
ZONE X - AREA OF MINII
FIRM: 42019C0330D
FIRM EFFECTIVE: 8/2/20

GRAFF
SURVEYING

GRAFF SURVEYING LLC
PO BOX 521 | SAXONBURG, PA 16056
P: 724-352-3811 F: 724-352-1059
INFO@GRAFFSURVEYING.COM
WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION

K.L. SCHERDER PLAN NO. 2

BEING A
SUBDIVISION
FOR
THERINE SCHERDER

SITUATE
FAIRVIEW TOWNSHIP
BUTLER COUNTY, PENNSYLVANIA

DATE	DRAWN	CHECKED	SCALE
01/20/2020	BAG	Sdg	1" = 10'

PROJECT NO. 20-006	TAX PARCEL NO. 150-1E59-11D	REVISION -
-----------------------	--------------------------------	---------------

RECORDED		20
PLAN BOOK	PAGE	
384	8	
SHEET	of	

OWNERS ADOPTION (ADAMS TOWNSHIP)

WE, B3V PARTNERS, LP, OWNER OF THE LAND SHOWN ON THE SUNRISE ACRES SUBDIVISION PLAN PHASE I HEREBY ADOPTS THIS PLAN AS ITS LAND DEVELOPMENT AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO ADAMS TOWNSHIP. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE PARTNERSHIP AND UPON ITS HEIRS, EXECUTORS, AND ASSIGNS.

IN WITNESS OF WHICH, TO THIS I SET MY HAND AND SEAL THIS 10 DAY OF FEB 2020

ATTEST:

B3V PARTNERS, LP, A PENNSYLVANIA LIMITED PARTNERSHIP
BY: B3V HOLDINGS, LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY ITS GENERAL PARTNER

ROBERT A. BRENNAN
MANAGER

NOTARY PUBLIC

MY COMMISSION EXPIRES THE 2 DAY OF July A.D. 2023

ACKNOWLEDGMENT OF PARTNERSHIP (ADAMS TOWNSHIP)

COMMONWEALTH OF PENNSYLVANIA } SS:

COUNTY OF BUTLER

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED ROBERT A. BRENNAN, MANAGER, OF B3V HOLDINGS, LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY ITS GENERAL PARTNER, B3V PARTNERS, LP, A PENNSYLVANIA LIMITED PARTNERSHIP, AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE THE ACT OF THE PARTNERSHIP.

WITNESS MY HAND AND NOTARIAL SEAL THIS 10 DAY OF Feb 2020

MY COMMISSION EXPIRES THE 2 DAY OF July 2023

NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Pamela A. Fazio-Damico, Notary Public
Butler County
My commission expires July 2, 2023
Commission number 1353821
Member, Pennsylvania Association of Notaries

CERTIFICATION OF TITLE AND CONCURRENCE OF MORTGAGE

I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE SUNRISE ACRES SUBDIVISION PLAN PHASE I IS IN THE NAME OF B3V PARTNERS, LP, AND IS RECORDED IN INSTRUMENT NO. 26400 E

WITNESS [Signature] SIGNATURE OF GENERAL PARTNER

WASHINGTON FINANCIAL BANK MORTGAGEE OF THE PROPERTY CONTAINED IN THE SUNRISE ACRES SUBDIVISION PLAN PHASE I CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

WITNESS [Signature] NAME, TITLE AND MORTGAGEE

PROFESSIONAL LAND SURVEYORS CERTIFICATION

I, GARY A. SHEFFLER, JR., A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES, AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS AS SHOWN ON THE PLAN HAVE BEEN, OR WILL BE SET, AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

2/6/2020 GARY A. SHEFFLER, JR., P.E.
(DATE) (SEAL)

TOWNSHIP ENGINEER'S CERTIFICATION

I, Ronald Olson, A REGISTERED PROFESSIONAL ENGINEER FOR THE TOWNSHIP OF ADAMS, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THIS SUBDIVISION PLAN OR LAND DEVELOPMENT MEETS ALL OF THE ENGINEERING REQUIREMENTS SET FORTH IN THE ADAMS TOWNSHIP ZONING ORDINANCE, SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND THE PUBLIC AND PRIVATE IMPROVEMENT CODE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY

02-17-2020 NAME [Signature]
(DATE) (SEAL) REGISTRATION NUMBER

TOWNSHIP PLANNING COMMISSION RECOMMENDATION FOR APPROVAL

THIS PLAT OF SUBDIVISION HAS BEEN RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWNSHIP OF ADAMS, BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA ON THIS 10th DAY OF July, 2019

[Signature] CHAIRPERSON
TOWNSHIP SECRETARY

APPROVAL BY TOWNSHIP OF ADAMS

THE TOWNSHIP BOARD OF SUPERVISORS OF THE TOWNSHIP OF ADAMS, BUTLER COUNTY, PENNSYLVANIA, HEREBY GIVES PUBLIC NOTICE THAT IT IS APPROVING THIS PLAN OF SUBDIVISION FOR RECORDING PURPOSES ONLY. THE APPROVAL OF THIS SUBDIVISION PLAN BY THE TOWNSHIP OF ADAMS DOES NOT CONSTITUTE AN ACCEPTANCE OF THE ROADS, STREETS, ALLEYS, STORMWATER AND SANITARY SEWAGE DRAINAGE FACILITIES, EASEMENTS OR RIGHTS-OF-WAY, WATER MAINS OR ANY OTHER SERVICES OR IMPROVEMENTS SHOWN ON THIS PLAN NOR AN ASSUMPTION OF MAINTENANCE RESPONSIBILITY. NOR WILL THE SAME BE ACCEPTED OR MAINTAINED UNTIL CONSTRUCTED IN ACCORDANCE WITH ALL TOWNSHIP SPECIFICATIONS AND REQUIREMENTS AND OFFICIALLY ACCEPTED BY ACTION OF THE TOWNSHIP BOARD OF SUPERVISORS.

THIS PLAT OF SUBDIVISION APPROVED BY ACTION OF THE TOWNSHIP BOARD OF SUPERVISORS OF THE TOWNSHIP OF ADAMS, BUTLER COUNTY, PENNSYLVANIA, AND SIGNED ON THIS 24th DAY OF February

[Signature] CHAIRPERSON
TOWNSHIP SECRETARY

BUTLER COUNTY PLANNING COMMISSION REVIEW CERTIFICATE

REVIEWED WITH OR WITHOUT COMMENTS BY THE BUTLER COUNTY PLANNING COMMISSION AT A MEETING HELD THIS 16th DAY OF JAN, A.D. 2019, LETTER TO ADAMS TOWNSHIP BOARD OF SUPERVISORS DATED 1-16

[Signature] CHAIRPERSON
[Signature] CHAIRPERSON

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA } SS:

COUNTY OF BUTLER

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS, PLATS, ETC. IN SAID COUNTY IN PLAN BOOK VOLUME 384, PAGE(S) 9-11

GIVEN UNDER MY HAND AND SEAL THIS 4 DAY OF March, 2020

RECORDER OF DEEDS

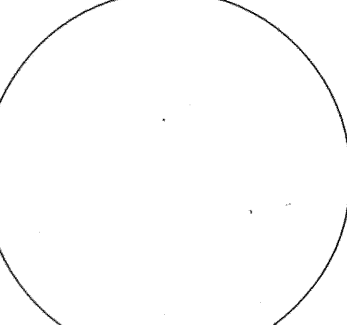
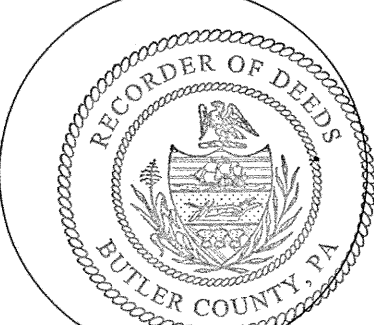
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

ADAMS TOWNSHIP
PLANNING COMMISSION

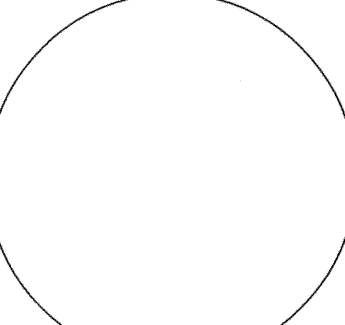
ADAMS TOWNSHIP
BOARD OF SUPERVISORS



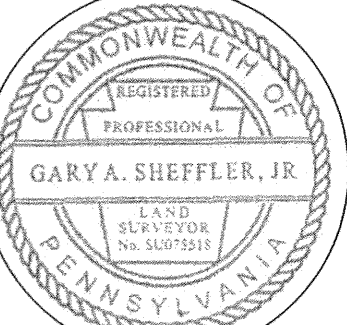
BUTLER COUNTY
RECORDER OF DEEDS



REGISTERED SURVEYOR



REGISTERED ENGINEER



GARY A. SHEFFLER, JR.

PROFESSIONAL
LAND SURVEYOR

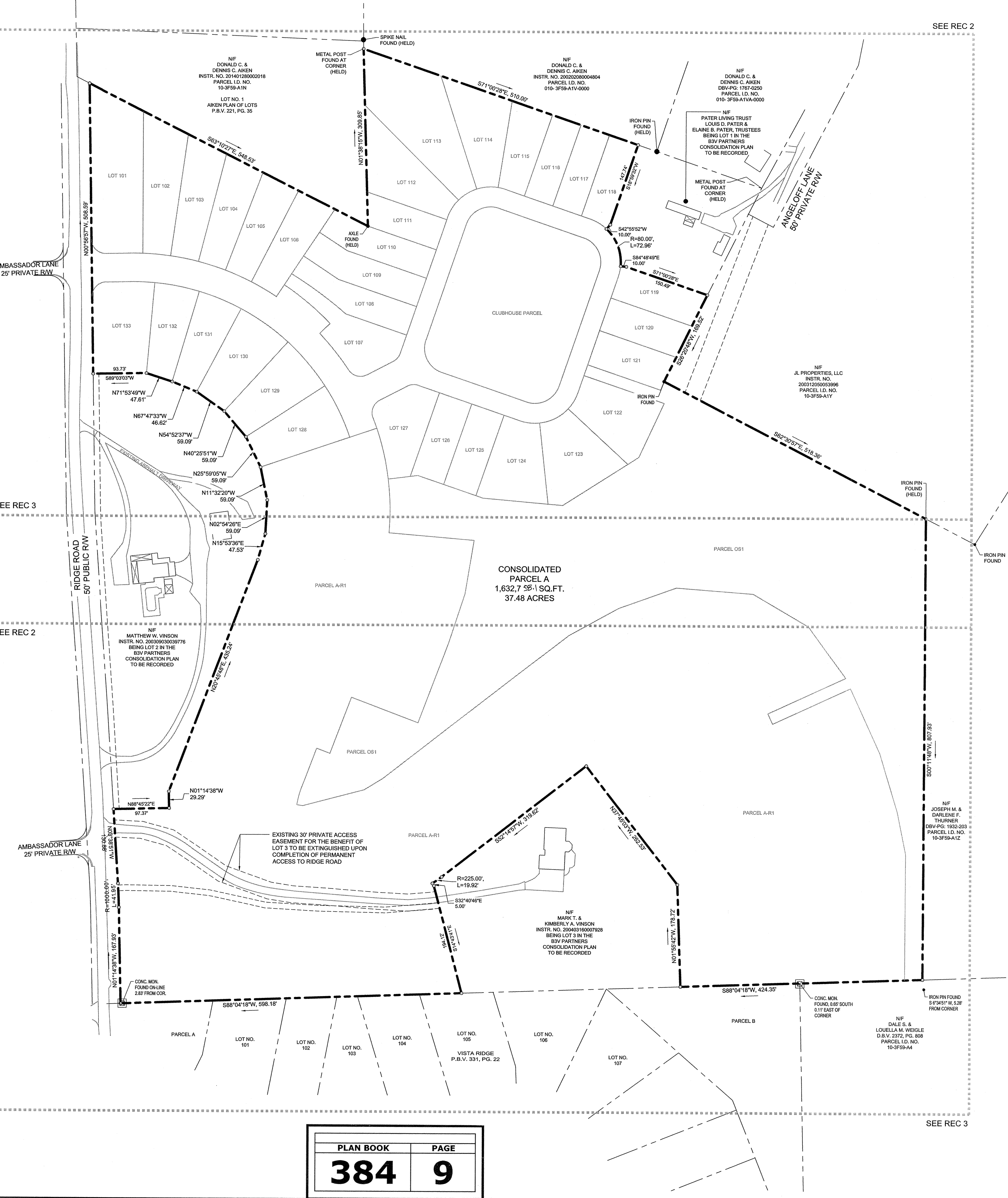
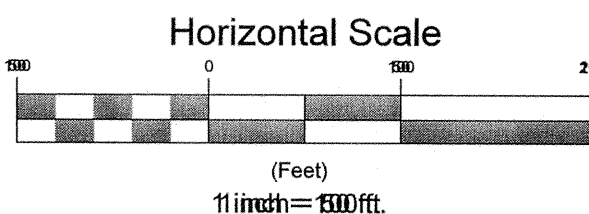
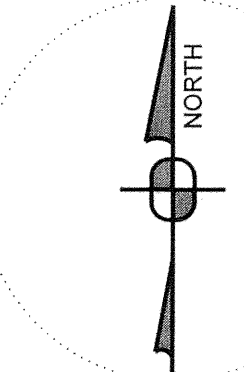
PA. 000001



Know what's Below.
Call before you dig.

POCS SER. #: DESIGN - 20181233614
DIG - 20181233608

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



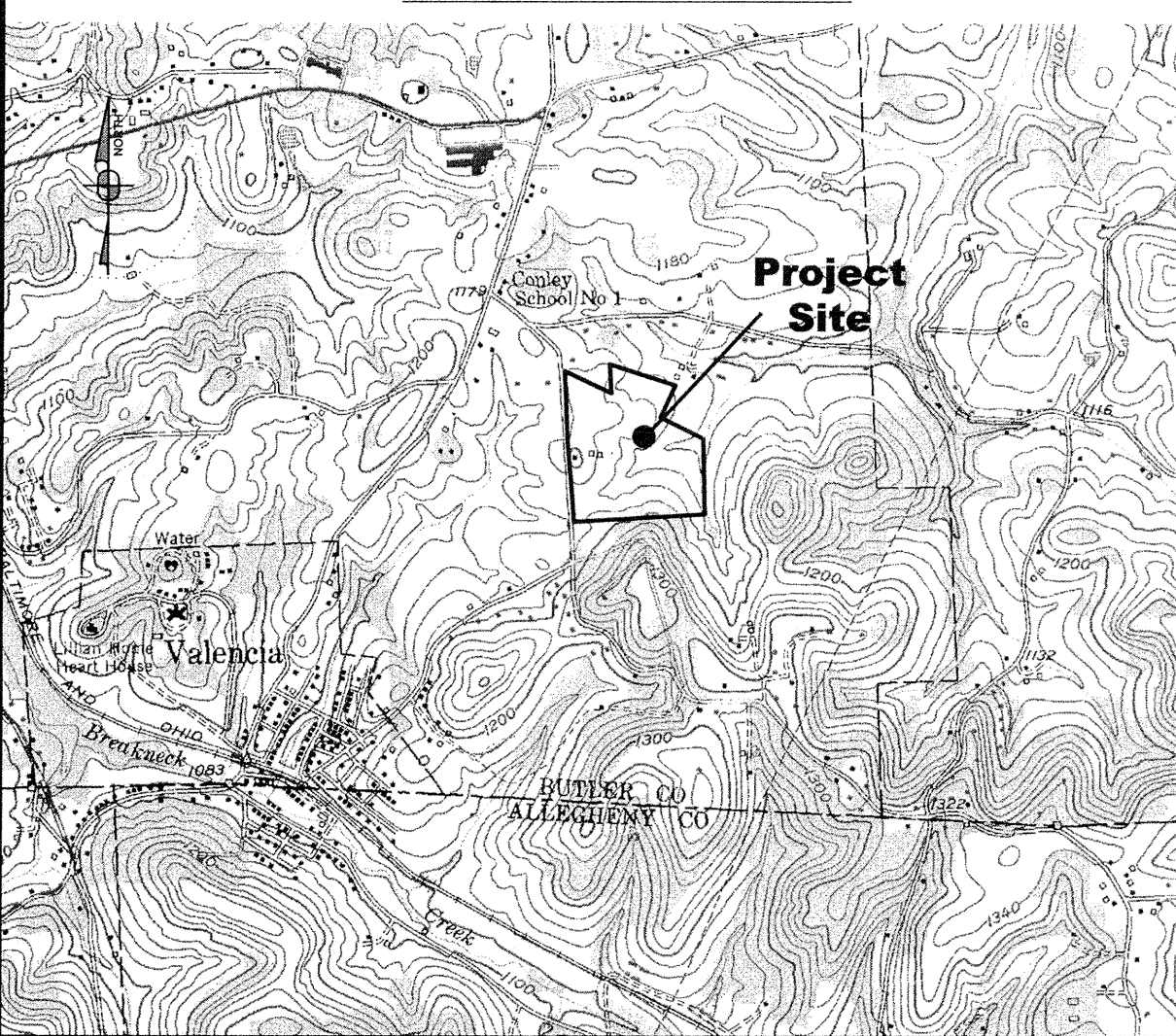
SEE REC 2

SEE REC 3

SEE REC 2

SEE REC 3

SITE LOCATION MAP



USGS
Valencia Quadrangle

SCALE: 1"= 2000'

NOTE:

1. ALL BUFFERYARDS TO BE CONSTRUCTED BY THE DEVELOPER. ALL BUFFERYARDS ON OPEN SPACE LANDS SHALL BE OWNED AND MAINTAIN BY THE HOME OWNERS ASSOCIATION. ALL BUFFERYARDS ON PRIVATE LOTS TO BE MAINTAINED BY LOT OWNERS.

Instr: 202003040004415
Page 3 of 512500
Michele Mustello
Butler County Recorder PA

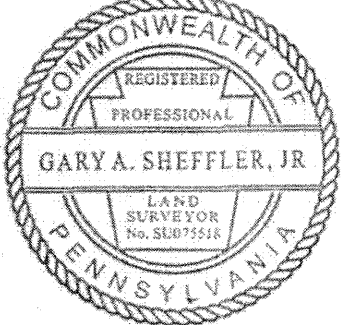
Site Data Chart

ZONING DISTRICT CLASSIFICATION	RAM - SMALL PROPERTY SUBDIVISION MODEL
GROSS PROPERTY AREA	1,632,748.2 SF. (37.48 AC.)
PROPOSED LAND USE	SINGLE-FAMILY / DUPLEX
PROPOSED DEVELOPMENT DENSITY	87 LOTS / 2.1 DU/AC.
PROPOSED MINIMUM LOT AREA	8,421.1 SF. (0.19 AC.)
PROPOSED MINIMUM LOT WIDTH	60.5 FT. @ FRONT SETBACK
PROPOSED FRONT YARD SETBACK	20 / 25 FT. MIN.
PROPOSED SIDE YARD SETBACK	10 FT. MIN. / 12.5 FT. TOTAL
PROPOSED REAR YARD SETBACK	30 FT. MIN.
PROPOSED BUILDING HEIGHT	35' MAX.
PROPOSED IMPERVIOUS LOT COVERAGE	50% MAX.
PROPOSED PARKING SPACES PER LOT	2 GARAGE & 2 DRIVEWAY
PROPOSED AREA IN DEVELOPMENT LOTS	1,026,155 SF. (23.56 AC.)
PROPOSED PUBLIC STREET R/W AREA	209,137.08 SF. (4.80 AC.)
PROPOSED COMMON OPEN SPACE AREA	397,456.52 SF. (9.13 AC.)
PROPOSED OPEN SPACE AREA (%)	24.24% OF GROSS AREA
DEVELOPMENT/CONSTRUCTION PHASING	THREE (3) PHASES
PHASE I - DEVELOPMENT TOTAL	33 LOTS
PHASE II - DEVELOPMENT TOTAL	23 LOTS
PHASE III - DEVELOPMENT TOTAL	31 LOTS

PLAN BOOK
384

PAGE
9

Date:	Revision Description:	By:	Professional Seal	Prepared By:
11/30/18	TOWNSHIP SUBMISSION	GLF		
01/30/19	TOWNSHIP RESUBMISSION	GLF		
06/06/19	TOWNSHIP RESUBMISSION	JRD		
07/08/19	TOWNSHIP RESUBMISSION	GLF		
07/19/19	TOWNSHIP RESUBMISSION	GLF		
09/06/19	TOWNSHIP RESUBMISSION	AGM		
02/04/2020	DEVELOPER COMMENTS	MWS		



Sheffler & Company, Inc.
ENGINEERING • SURVEYING

1712 Mount Nebo Road
Sewickley, PA 15143

Office Phone: 412-219-4509
Email: Info@ShefflerCo.com

SUNRISE ACRES
Subdivision Plan Phase I

Prepared For:
B3V Partners, LP

Situate In:
Adams Township, Butler County, Pennsylvania

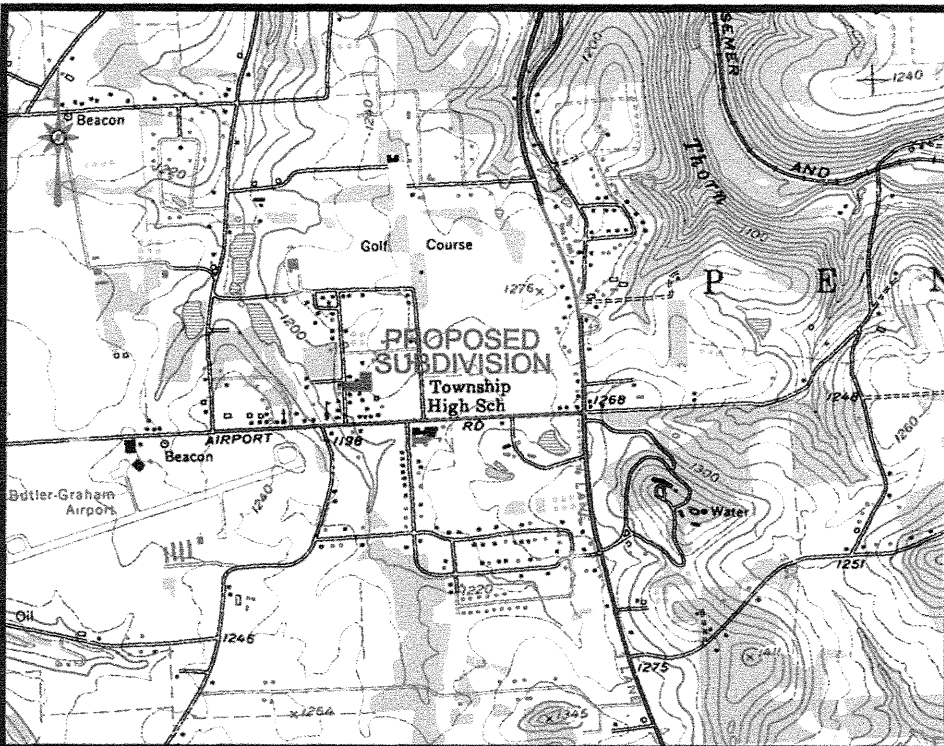
Being a Subdivision of Consolidated Parcel
A in the B3V Partners Consolidation Plan,
to be recorded

DRAWING SCALE: 1"= 500'	DESIGNED BY: AGM
DATE ISSUED: 11/30/2018	REVIEWED BY: GAS
PROJECT JOB#: 3761	FIELD BOOK #: --
CADD#:	

B3V Partners, LP
Att: Robert Brennan, Manager
800 S. Washington Street
Evan City, PA 16033
Phone: 724-865-2929

Sheet No.

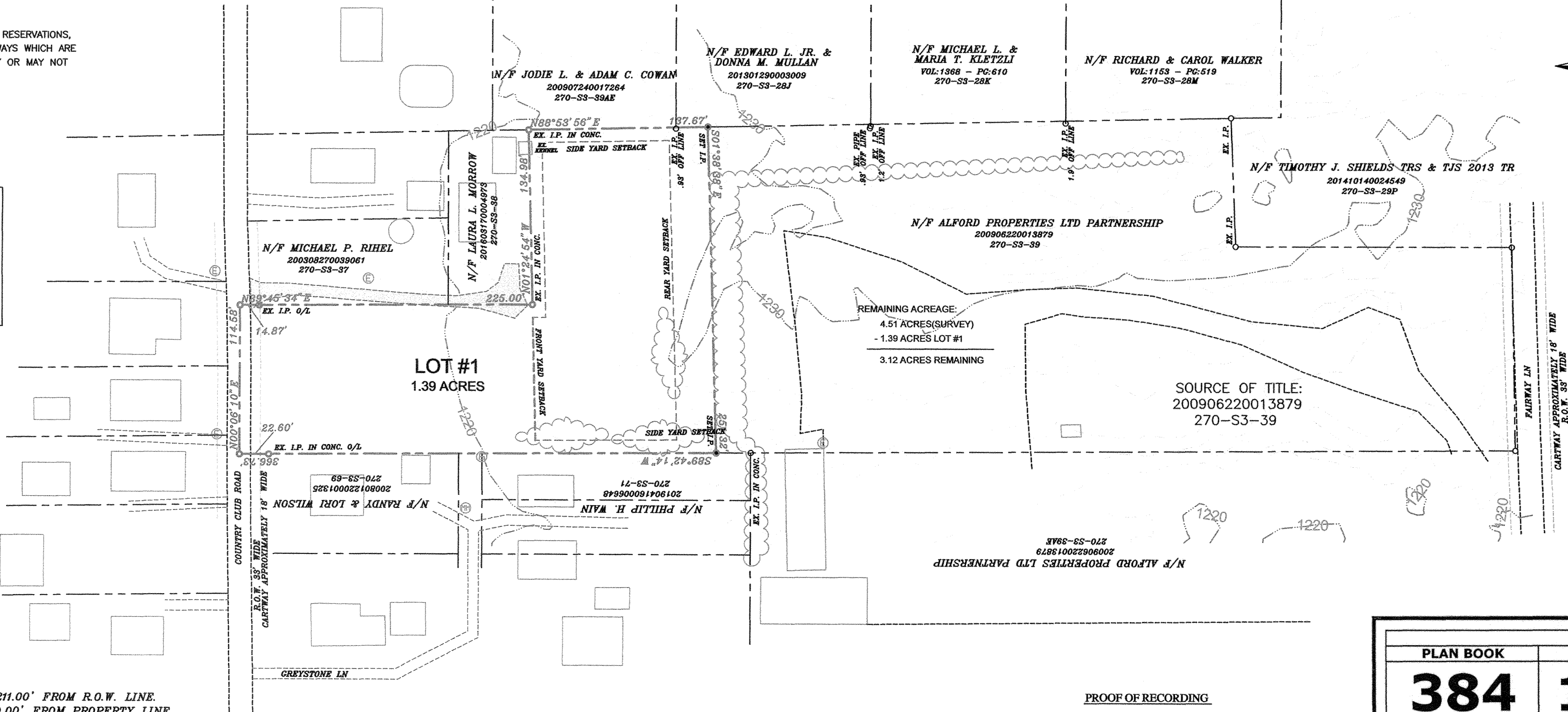
REC1



LOCATION MAP NTS

UNDER AND SUBJECT TO EXCEPTIONS, RESERVATIONS, GRANTS, EASEMENTS, AND RIGHT-OF-WAYS WHICH ARE OF RECORD AND/OR VISIBLE, AND MAY OR MAY NOT BE SHOWN ON PLAT.

LEGEND	
	= STRUCTURE
	= SET BACKS
	= RIGHT-OF-WAY
	= TOPOGRAPHY
	= ROADS, LANES, DRIVEWAY
	= TREELINE
	= ELECTRIC/PHONE POLE
	= MANHOLE
	= SET L.P.



GENERAL NOTES:

- 1.) R-1 ZONING
- 2.) ALL UTILITIES ARE PUBLIC.
- 3.) BUILDING SETBACK FRONT 211.00' FROM R.O.W. LINE.
BUILDING SETBACK REAR 30.00' FROM PROPERTY LINE.
BUILDING SETBACK SIDE 10.00' FROM PROPERTY LINE.
- 4.) THE PURPOSE OF THIS SURVEY IS FOR THE LOCATION OF THE PROPOSED SUBDIVIDED LOT #1 AND PARCEL 270-S3-39 AND DOES NOT REPRESENT A FINISHED BOUNDARY SURVEY OF ADJOINING PARCELS. SOME INFORMATION ON THE MAP WAS OBTAINED AND GENERATED FROM TAX RECORDS, VARIOUS FIELD EVIDENCE AND COUNTY GIS MAPPING.

NOTE:
THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THIS SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.

PROFESSIONAL LAND SURVEYOR CERTIFICATE

I, JOHN A. HUDAK, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS AS SHOWN ON THE PLAT HAVE BEEN, OR WILL BE SET, AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

JOHN A. HUDAK
SU-31409-E
(DATE) January 2020

THIS PLAT DOES NOT ATTEST TO UTILITIES.
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
CALL 1-800-242-1776



CORPORATION ACKNOWLEDGMENT

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUTLER

ON THIS 20 DAY OF FEBRUARY, A.D. 2020 BEFORE ME, A NOTARY PUBLIC AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED DICKSON FORBES OF ALFORD PROPERTIES LTD PARTNERSHIP WHO BEING DULY SWORN, DEPOSES AND SAYS THAT HE WAS PERSONALLY PRESENT AT THE EXECUTION OF THE ADOPTION, RELEASE AND DEDICATION AND THE SAW THE COMMON AND CORPORATE SEAL OF THE SAID CORPORATION DULY SIGNED AND SEALED BY AND AS FOR THE ACT AND DEED OF THE SAID ALFORD PROPERTIES LTD PARTNERSHIP FOR THE USES AND PURPOSES THEREIN MENTIONED, AND THAT THE NAME OF THIS DEPONENT SUBSCRIBED TO THE SAID RELEASE AND DEDICATION MANAGING PARTNER OF ALFORD PROPERTIES LTD PARTNERSHIP IN ATTESTATION OF THE DUE EXECUTION AND DELIVERY OF SAID RELEASE AND DEDICATION OF THIS DEPONENT'S OWN AND PROPER AND RESPECTIVE HANDWRITING.

SWORN TO AND SUBSCRIBED BEFORE ME THE DAY AND DATE ABOVE WRITTEN.
WITNESS MY HAND AND NOTARIAL SEAL THIS DAY 20 OF FEB, 2020.

MY COMMISSION EXPIRES THE 15 DAY OF NOVEMBER, 2021

Commonwealth of Pennsylvania - Notary Seal
Alma J. Bergbigler, Notary Public
Butler County
My commission expires November 15, 2021
Commission number 1219611
Member, Pennsylvania Association of Notaries

CORPORATION, ADOPTION, DEDICATION, AND RELEASE

KNOW ALL MEN BY THESE PRESENTS:
THAT ALFORD PROPERTIES LTD PARTNERSHIP BY VIRTUE OF A RESOLUTION OF ITS BOARD OF DIRECTORS, DOES HERBY HEREBY ADOPT THIS PLAN AS ITS PLAN OF SUBDIVISION OF ITS PROPERTY, SITUATED IN THE TOWNSHIP OF PENN., COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVER ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE TOWNSHIP OF PENN., OF BUTLER COUNTY, ALFORD PROPERTIES LTD PARTNERSHIP, HEREBY CONVENANTS AND AGREES TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF PENN., OF BUTLER COUNTY, ITS SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON ALFORD PROPERTIES LTD PARTNERSHIP ITS SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, SAID CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE HAND OF ITS PRESIDENT AND SAME TO BE ATTESTED BY ITS SECRETARY, THIS 20 DAY OF FEBRUARY, A.D. 2020.

ALFORD PROPERTIES LTD PARTNERSHIP (SEAL)
ATTEST:
Dickson Forbes (SEAL)
PRESIDENT
John A. Hudak (SEAL)
SECRETARY

Instr: 202003040004453
Pg 1 P: \$45.00
Michele Mustello
Butler County Recorder PA
3/4/2020 1:48 PM
120200903087

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUTLER

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, PLATS AND PLANS IN SAID COUNTY, IN PLAN BOOK VOLUME 384 PAGE(S) 12

GIVEN UNDER MY HAND AND SEAL THIS 4th DAY OF March, 2020

MICHELE M. MUSTELLO
RECORDER OF DEEDS

My Commission Expires First Monday in January 2024

MUNICIPAL APPROVAL

REVIEWED AND APPROVED (OR REVIEWED WITH COMMENTS) BY THE Lennon Township Board
THIS 11 DAY OF February, 2020.

(CITY, BOROUGH, TOWNSHIP)
Lennon Township
(SECRETARY)

(CHAIRMAN)

SEAL

REVISION:

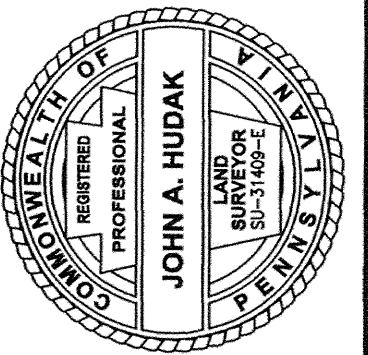
DATE: JANUARY 2020

FILE NAME: C:\WORK\ALFORDTUM

SHEET NO: 1 OF 1

DRAWN BY: TWU

SCALE: 1" = 70'



PREPARED BY:
APPLGATE SERVICES, INC.
P.O. Box 368, Elderton, PA 15736
PHONE (724) 354-4772
FAX (724) 354-4773

ALFORD #1

PLAN OF SUBDIVISION

INTENDED FOR

ALFORD PROPERTIES LTD PARTNERSHIP

BUTLER COUNTY, PA

TOWNSHIP OF PENN

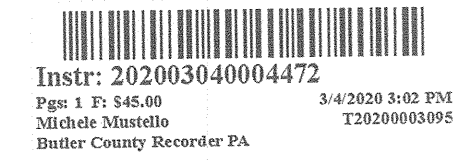
080-3F37-14B (210 HALL ROAD)
N/F DANIEL J. & MARGARET M. HARRINGTON
EX. 2.57 ACRES PARCEL B OF P.B. 102 PG. 47
- 1.09 ACRE PARCEL 1
+ 0.02 ACRE PARCEL 2
1.50 ACRE TOTAL AFTER CONVEYANCE REVISED PARCEL B

N/F R.L. CONRAD

N/F H. TEBAY

N/F H. TEBAY

N/F L.R. HALL



CLAY TOWNSHIP DEDICATION
KNOW ALL MEN BY THESE PRESENTS, That we, Daniel J. and Margaret M. Harrington, of the Township of Clay, of the County of Butler, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this plan as our Plan of Lots of our property, situate in Clay Township, Butler County, Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler, and Township of Clay, we hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Clay, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Daniel J. and Margaret M. Harrington, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 02nd day of MARCH, 2020.

ATTEST:
Notary Public: Daniel J. Harrington OWNER
Notary Public: Margaret M. Harrington OWNER

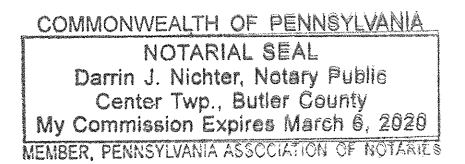
COMMONWEALTH OF PENNSYLVANIA JSS:
COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and Township, personally appeared the above named Daniel J. and Margaret M. Harrington, and acknowledged the foregoing release and dedications and plan to be their act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day.

WITNESS MY HAND AND NOTARIAL SEAL this 02nd day of MARCH, 2020.
My commission expires this 05 day of MARCH, 2020.

SEAL
Notary Public: Daniel J. Harrington



TITLE CLAUSE (NO MORTGAGE)

We, Daniel J. and Margaret M. Harrington, owners of this plan of subdivision in our names, do hereby certify that the title of this property is in the names of Daniel J. and Margaret M. Harrington as recorded in Deed Book Volume 2943 page 966 and Deed Book Volume 1213 page 140, Recorder of Deeds Office. We further certify that there is no mortgage, lien or encumbrance against this property.

Witness: Daniel J. Harrington OWNER
Witness: Margaret M. Harrington OWNER

I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan correctly represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.

February 6, 2020
DATE: February 6, 2020
SIGNATURE OF LAND SURVEYOR: Cheryl A. Hughes
REGISTRATION NUMBER: SU-32490-E

The Board of Supervisors of the Township of Clay hereby gives public notice that in approving this plan for recording purposes only, the Township of Clay assumes no obligations, legal or otherwise, expressed or implied either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

Approval by the Board of Supervisors of the Township of Clay this 27th day of February, 2020.
Secretary: Joan Hake SEAL: David J. Bechen CHAIRMAN

Reviewed by the Clay Township Planning Commission this 27th day of February, 2020.
Secretary: Joan Hake SEAL: Richard E. Geyer CHAIRMAN

Reviewed by the Butler County Planning Commission this 7th day of FEB., 2020.
Secretary: R. H. G. M. SEAL: J. H. G. M. CHAIRMAN

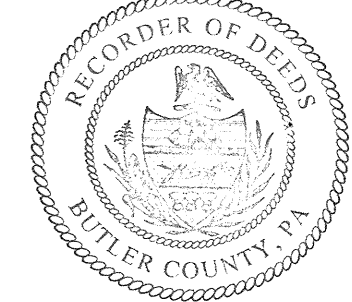
COMMONWEALTH OF PENNSYLVANIA JSS:
COUNTY OF BUTLER

Recorded in the Recorder's Office for the recording of deeds, plans, etc., in said County in Plan Book Volume 384 page 13.

Given under my hand and seal this 4th day of MARCH, 2020.

SEAL
Recorder: Michele Mustello

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



L
S
G
Land Surveyors, Inc.
523 North Main Street
P.O. Box 1061
Butler, PA 16003-1061
(724) 287-6865
Cheryl A. Hughes, PLS Owner

LOT LINE REVISION

FOR: DANIEL J. & MARGARET M. HARRINGTON

SITUATE: CLAY TWP., BUTLER CO., PA

Date: 2/6/2020	Scale: 1" = 50'	Dwn By: BEC	Ckd By: CMH
Parcel No. 080-3F37-14B, 14CB		Db-Pg: 2943-966	Service No. 17-089
Address: 210 & 214 HALL ROAD		1213-140	

NOTES:
SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.

ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREA OF MINIMAL FLOOD HAZARD.

PROPERTY OWNERS: DANIEL & MARGARET HARRINGTON
P.O. BOX 2129
BUTLER, PA 16003

ALL CONVEYANCES UNDER THIS PLAN ARE SUBJECT TO THE GRANTEES, THEIR HEIRS, SUCCESSORS AND ASSIGNS SHARING EQUALLY IN THE COSTS AND EXPENSES OF MAINTAINING ANY AND ALL EASEMENTS IN GOOD REPAIR. THE USE BY THE GRANTEES, THEIR HEIRS, SUCCESSORS AND ASSIGNS OF SAID EASEMENTS SHALL BE LIMITED TO INGRESS, EGRESS AND REGRESS AND NO USE SHALL BE EXPANDED OR MODIFIED WITHOUT PRIOR WRITTEN CONSENT OF ANY AND ALL SIGNATORY LANDOWNERS.

REF: FLOYD E. & THELMA M. HARRINGTON PLAN AS PREPARED BY OLSEN, ZARNICK & SEYBERT, INC., AS RECORDED IN P.B. 102 PG. 47.

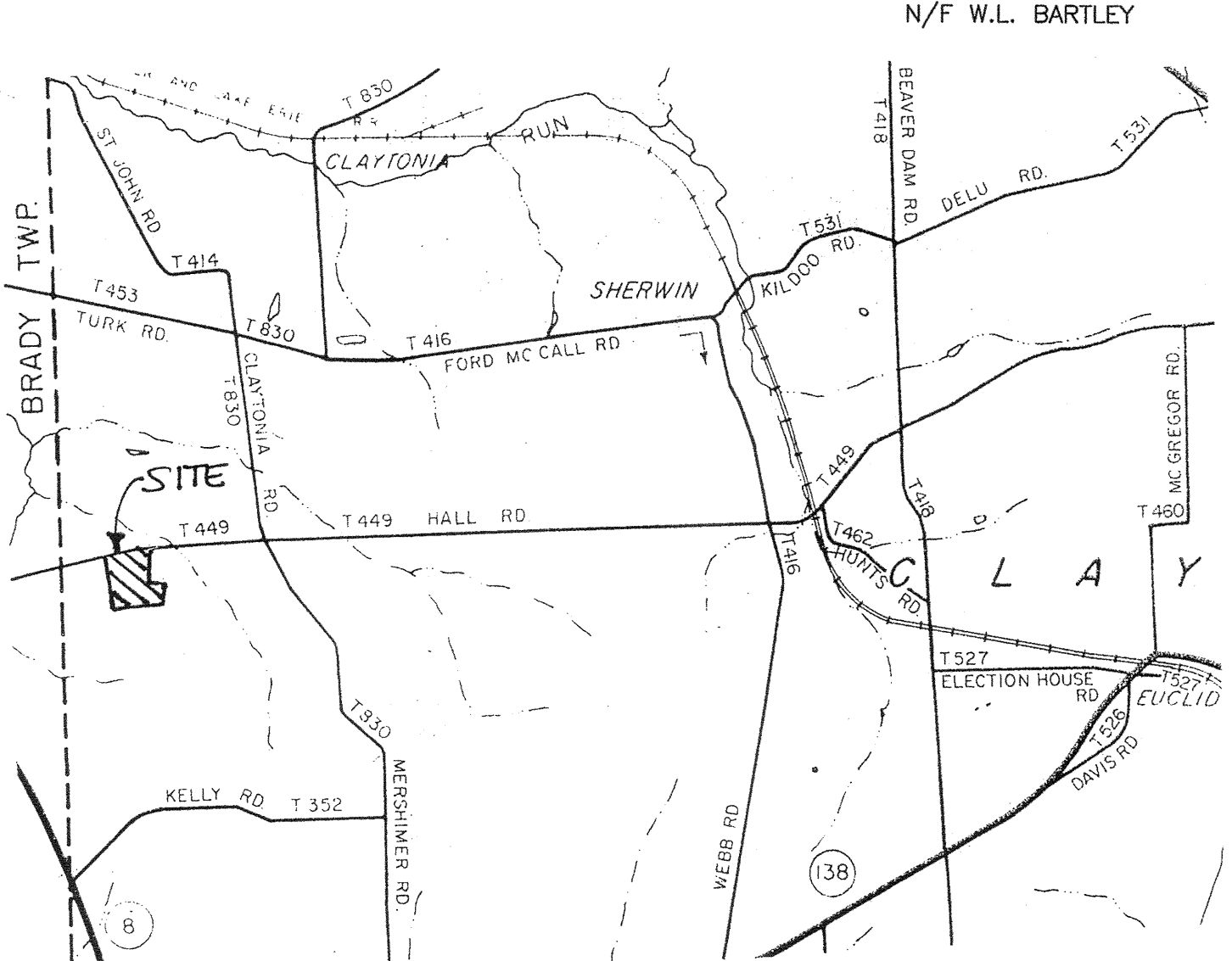
THE PURPOSE OF THIS PLAN IS A LOT LINE REVISION. NO NEW BUILDING LOTS ARE CREATED BY THIS PLAN.

TOTAL AREA: 8.94 ACRES - 2 LOTS

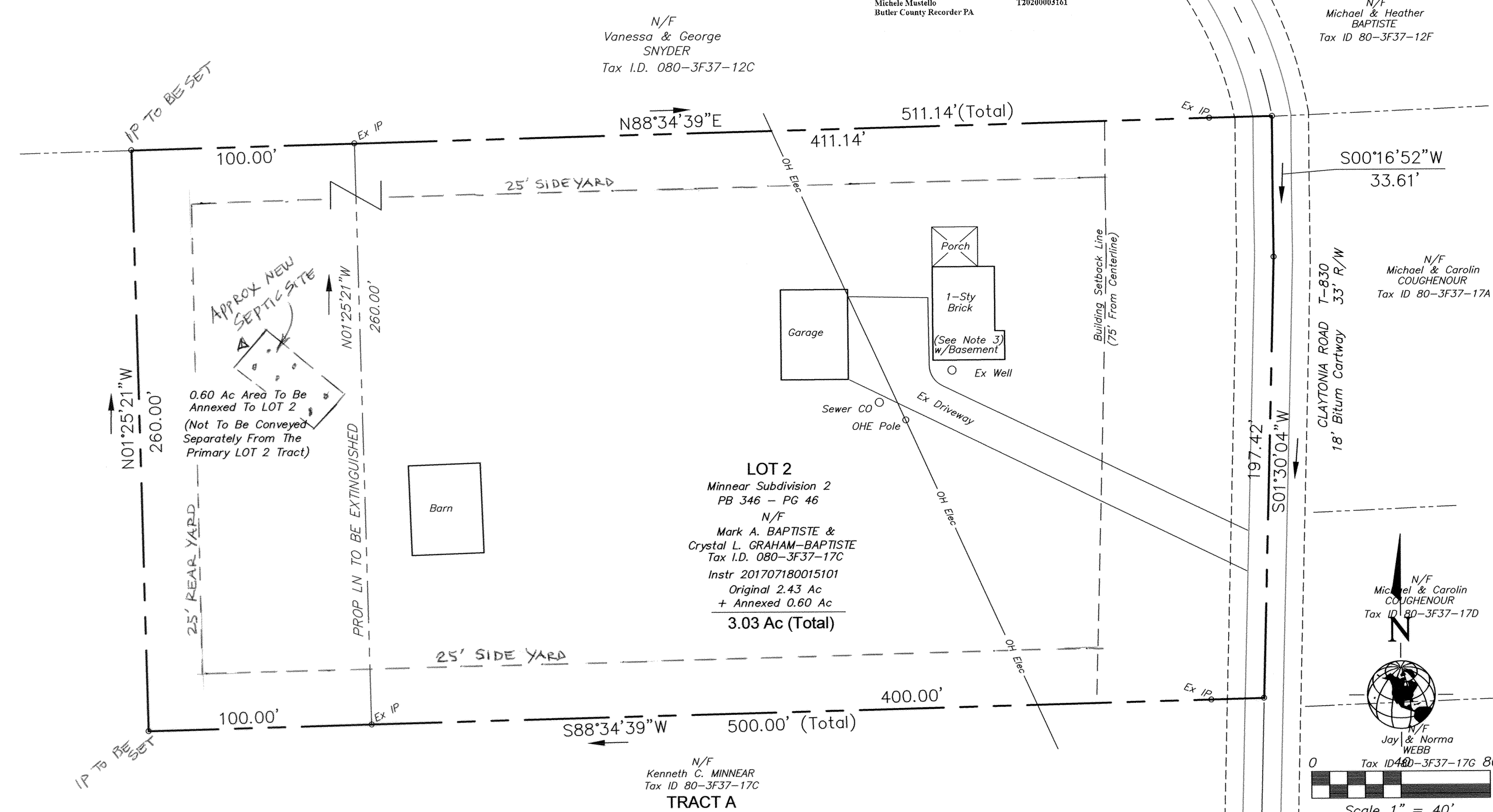


PLAN BOOK	PAGE
384	13

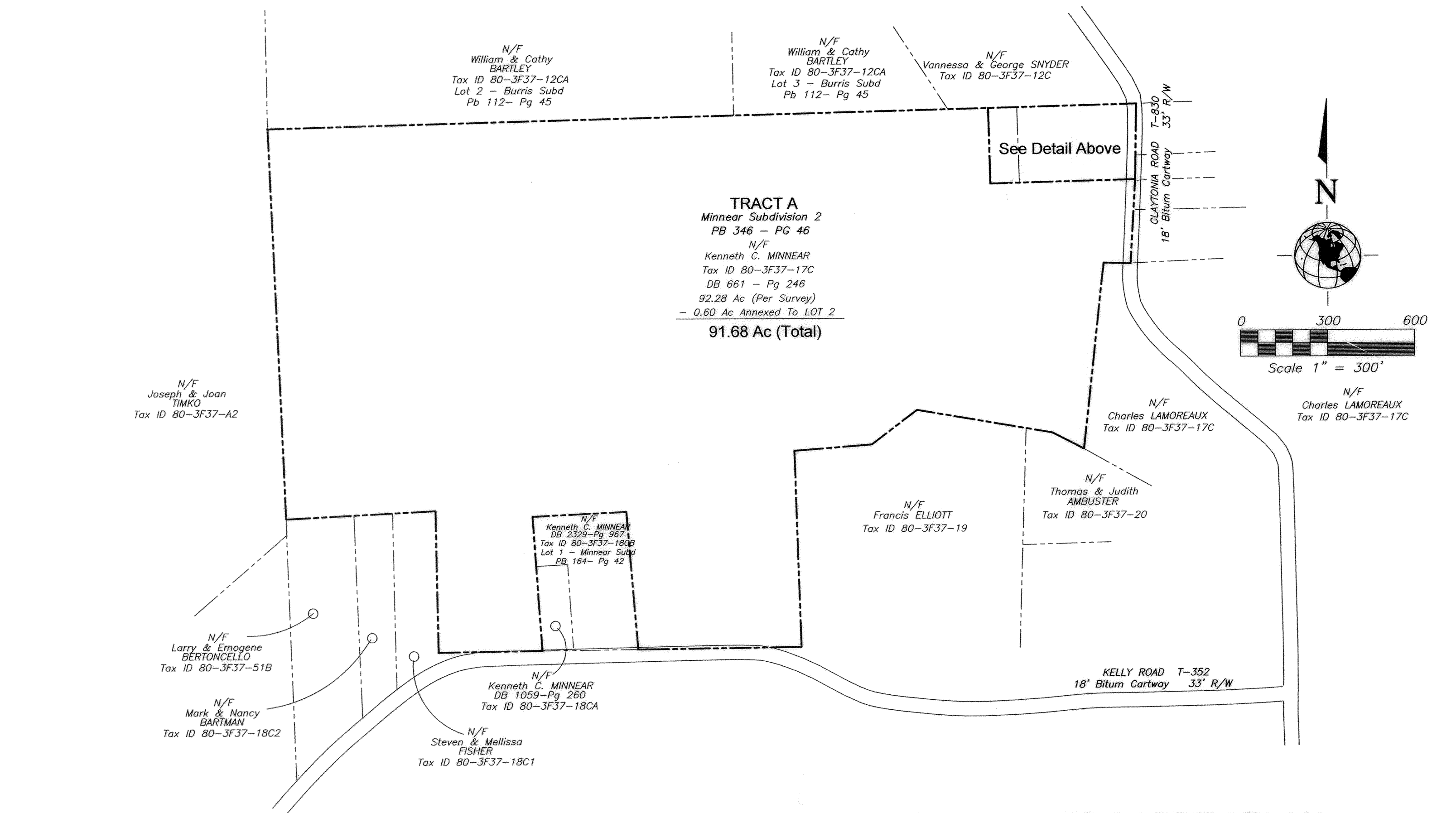
VICINITY MAP Scale: 1" = 2000'



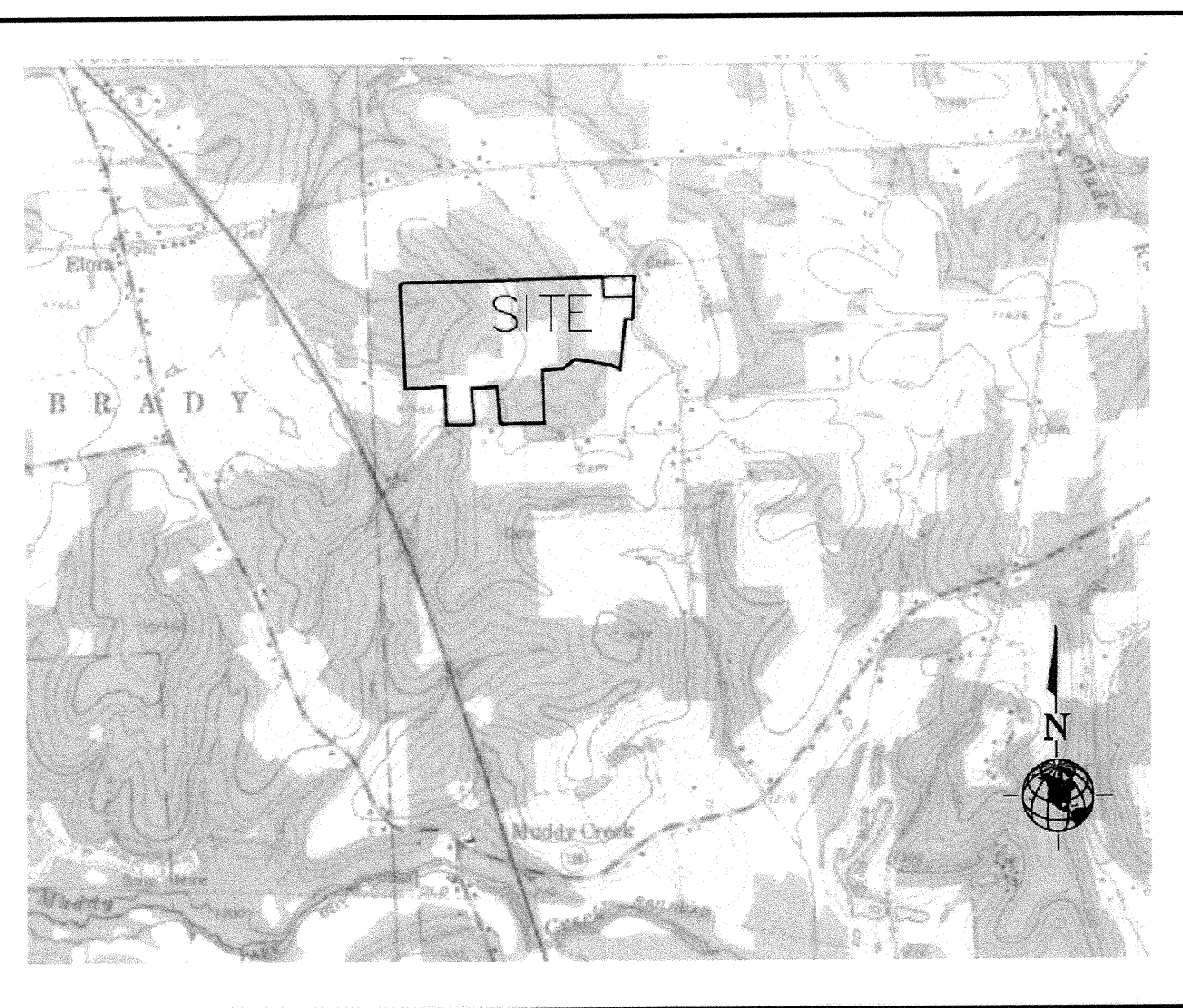
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Pg: 1 of 545.00
3/5/2020 11:40 AM
Nicholas Mustello
Butler County Recorder PA
120200003148



SUBDIVISION DETAIL



OVERALL PROPERTY PLAN



VICINITY MAP

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER

BEFORE ME, THE SCRIBER, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, PERSONALLY APPEARED THE ABOVE NAMED MARK A. BAPTISTE & CRYSTAL L. GRAHAM-BAPTISTE AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH. SWORN TO AND SUBSCRIBED BEFORE ME THIS DAY.

WITNESS MY HAND AND NOTARIAL SEAL THIS 18th DAY OF February, 2020.

MY COMMISSION EXPIRES: 24th DAY OF June, 2023.

Carla D. Rugg
NOTARY PUBLIC (SIGNATURE) (SEAL)
Carla D. Rugg
PRINTED NAME OF NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Carla D. Rugg, Notary Public
Butler County
My commission expires June 24, 2023
Commission number 1022332
Member, Pennsylvania Association of Notaries

I, MARK A. BAPTISTE & CRYSTAL L. GRAHAM-BAPTISTE, OWNERS OF THE PLAN SHOWN HEREON, DO CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF MARK A. BAPTISTE & CRYSTAL L. GRAHAM-BAPTISTE, AS RECORDED AS INSTRUMENT 201707180015101 IN BUTLER COUNTY RECORDER OF DEEDS OFFICE.

Carla D. Rugg
WITNESS
Carla D. Rugg
WITNESS

Mark A. Baptiste
Crystal L. Graham-Baptiste

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER

BEFORE ME, THE SCRIBER, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, PERSONALLY APPEARED THE ABOVE NAMED KENNETH C. MINNEAR AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION TO BE HIS ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH. SWORN TO AND SUBSCRIBED BEFORE ME THIS DAY.

WITNESS MY HAND AND NOTARIAL SEAL THIS 18th DAY OF February, 2020.

MY COMMISSION EXPIRES: 24th DAY OF June, 2023.

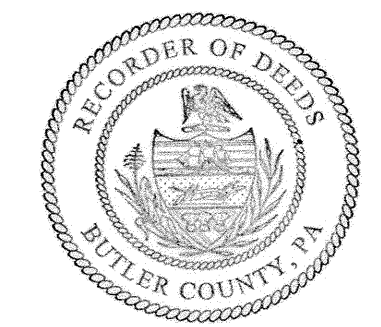
Carla D. Rugg
NOTARY PUBLIC (SIGNATURE) (SEAL)
Carla D. Rugg
PRINTED NAME OF NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Carla D. Rugg, Notary Public
Butler County
My commission expires June 24, 2023
Commission number 1022332
Member, Pennsylvania Association of Notaries

I, KETH C. MINNEAR, OWNER OF THE PLAN SHOWN HEREON, DO CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF KENNETH C. MINNEAR, AS RECORDED AS INSTRUMENT 2015042300008390 IN BUTLER COUNTY RECORDER OF DEEDS OFFICE.

Carla D. Rugg
WITNESS
Carla D. Rugg
WITNESS

Kenneth C. Minnear



OWNERS ADOPTION

KNOW ALL MEN BY THESE PRESENTS, THAT MARK A. BAPTISTE & CRYSTAL L. GRAHAM-BAPTISTE & KENNETH C. MINNEAR OF THE TOWNSHIP OF CLAY, BUTLER COUNTY, PENNSYLVANIA, DO HEREBY ADOPT THIS PLAN OF SUBDIVISION OF OUR PROPERTY SITUATED IN THE TOWNSHIP OF CLAY, BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO ME DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECTS AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND THE TOWNSHIP OF CLAY.

I HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CLAY, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE AFOREMENTIONED OWNERS, MY SUCCESSORS, ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE HERETO SET OUR HANDS AND SEALS THIS 18th DAY OF February, 2020.

ATTEST:
Carla D. Rugg
NOTARY PUBLIC

SEPH C. MINNEAR
My COMMISSION EXPIRES THE 24th DAY OF June, 2023
My commission expires June 24, 2023
Commission number 1022332
Member, Pennsylvania Association of Notaries

Carla D. Rugg
NOTARY PUBLIC

Mark A. Baptiste
Crystal L. Graham-Baptiste

My COMMISSION EXPIRES THE 24th DAY OF June, 2023
My commission expires June 24, 2023
Commission number 1022332
Member, Pennsylvania Association of Notaries

MUNICIPAL APPROVAL

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLAY, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF ALLEGHENY ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS, OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP.

David J. Becher
CHAIRMAN
2/27/2020
(DATE)

APPROVED BY THE BOARD OF SUPERVISORS FOR THE TOWNSHIP OF CLAY
THIS 27th DAY OF February, 2020.

Joan Blake
SECRETARY
(SEAL)

MUNICIPAL PLANNING APPROVAL

APPROVED BY THE CLAY TOWNSHIP PLANNING COMMISSION THIS 28th DAY OF February, 2020.

David J. Becher
CHAIRMAN
2/28/2020
(DATE)

BUTLER COUNTY PLANNING COMMISSION APPROVAL Review

REVIEWED/APPROVED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 14th DAY OF February, 2020.

SECRETARY

SEE COMMENTS ON FILE AT THE BUTLER COUNTY PLANNING COMMISSION
PLAN NUMBER: 80051
(SEAL)

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER) SS:

RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, AND PLANS IN SAID COUNTY IN PLAN BOOK VOLUME 384 PAGE 14

GIVEN UNDER OUR HAND AND SEAL THIS 5th DAY OF March, 2020.

Michele M. Mustello
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

PROFESSIONAL LAND SURVEYOR CERTIFICATE

I, JAMES A. DAY, A REGISTERED LAND SURVEYOR FOR THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

02-07-2020
DATE
James A. Day
REGISTRATION NO. SU-089394-E

NOTES :

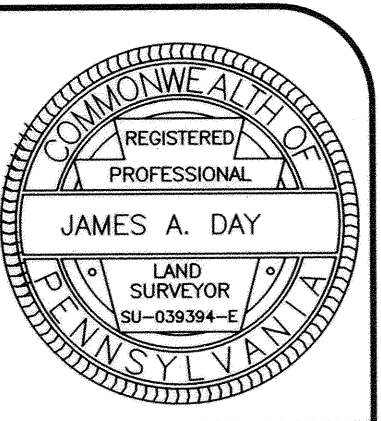
1. THIS PLAN PROPOSES A LOT LINE REVISION BETWEEN TWO ADJACENT PROPERTIES. NO NEW BUILDING LOT IS CREATED.
2. THE PROPERTIES SHOWN HEREON ARE SUBJECT TO ALL EXCEPTIONS, RESERVATIONS, COVENANTS, CONDITIONS, RESTRICTIONS & CONVEYANCES WHICH APPEAR IN THE INSTRUMENTS, WHICH FORM THE RECORD CHAIN OF TITLE OR WHICH ARE VISIBLE ON THE PREMISES.
3. AS OF THE DATE OF THIS SURVEY, THE EXISTING HOUSE WAS FIRE-DAMAGED AND IN PROCESS OF DEMOLITION.
4. REFERENCE MADE TO BOUNDARY SURVEY PREPARED FOR KENNETH MINNEAR, DATED 12-24-2014.

SUBDIVISION OWNERS:

KENNETH C. MINNEAR
135 KELLY ROAD
BUTLER, PA 16001

MARK A. BAPTISTE &
CRYSTAL GRAHAM-BAPTISTE
248 CLAYTONIA ROAD
BUTLER, PA 16001

RECORDED	
PLAN BOOK	PAGE
384	14

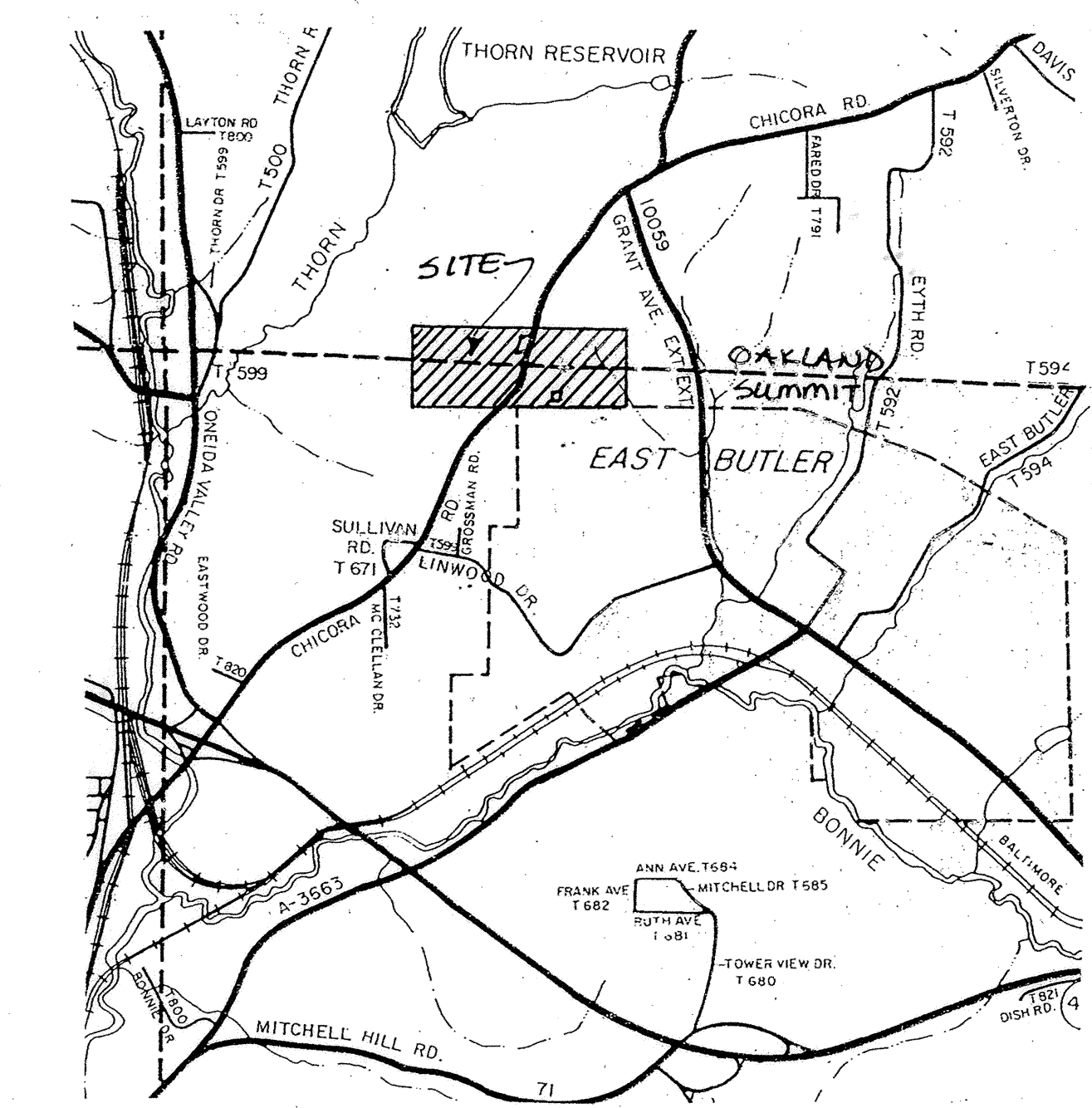
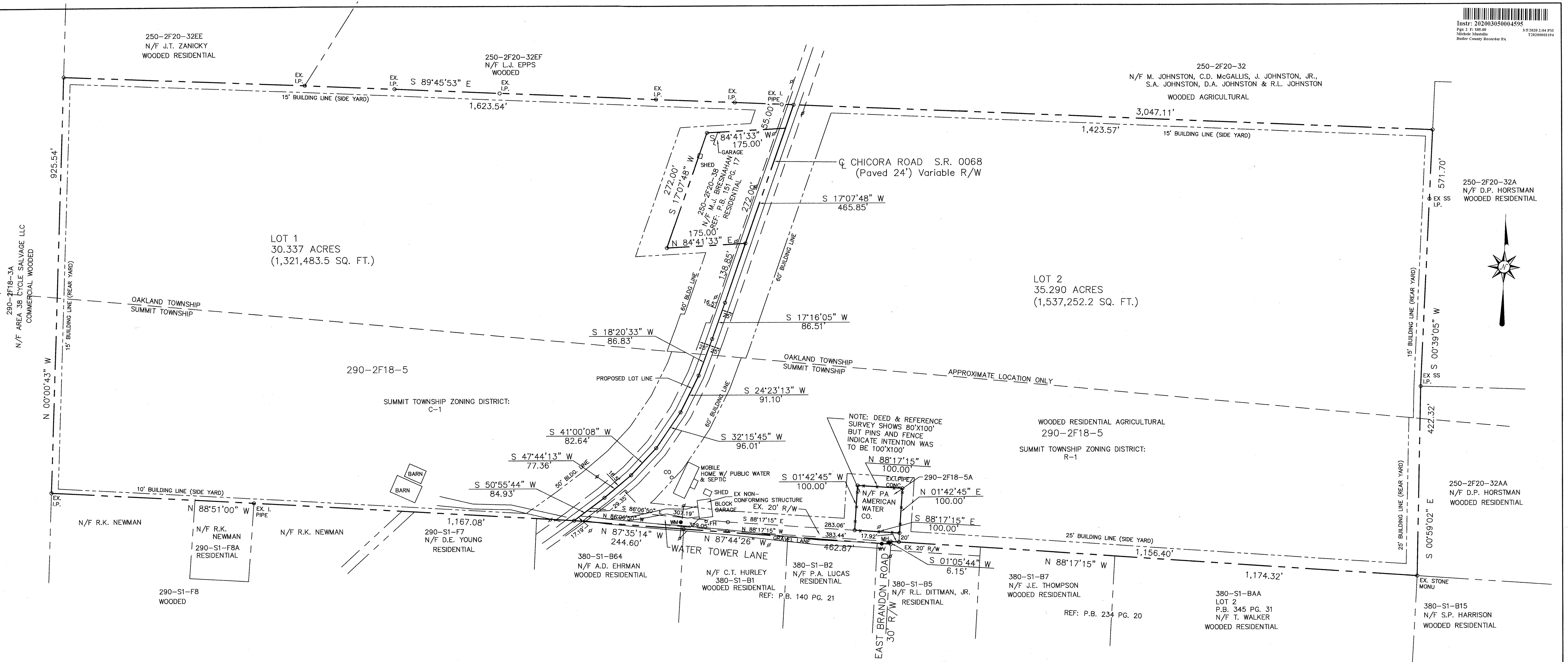


Situated at:
248 CLAYTONIA ROAD
TOWNSHIP OF CLAY
BUTLER COUNTY, PA

LOT LINE REVISION PLAN
LANDS OF
MINNEAR & BAPTISTE

JAMES A. DAY, P.E., P.L.S.
CONSULTING ENGINEERING
AND SURVEYING SERVICES
304 Beach Road
Butler, PA 16001
PH/FAX: 724-285-3287
email: jday@jday.com

DRAWING DATE: 02-07-2020
SCALE: AS SHOWN



VICINITY MAP Scale: 1" = 2000'

NOTES:
SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.
ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THESE TOWNSHIPS, THIS PROPERTY LIES IN ZONE X - AREA OF MINIMAL FLOOD HAZARD.

SUMMIT TOWNSHIP ZONING DISTRICTS:
C-1: GENERAL COMMERCIAL
50' FRONT SETBACK FROM RIGHT-OF-WAY
10' SIDE SETBACK
15' REAR SETBACK
R-1: RESIDENTIAL
50' FRONT SETBACK FROM RIGHTS-OF-WAY
25' SIDE SETBACK
25' REAR SETBACK

PROPERTY OWNERS: KAREN E. LARSEN
DONNA M. McNANY
CLYDE F. BRESNAHAN, JR.
LINDA K. BURK
TRUDY A. HOMA
DARLENE C. BRESNAHAN
TRINA L. SLATER
MARK J. BRESNAHAN
c/o TRINA McCREA
690 THOMPSON ROAD
CHICORA, PA 16025

THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE THE FARM INTO TWO LOTS USING S.R. 0068 AS THE BOUNDARY.
REF: SURVEY FOR MUNICIPAL AUTHORITY OF THE TOWNSHIP OF SUMMIT BY SHOUP/ZARNICK & ASSOCIATES, INC., 10/29/77, SERVICE NO. 2786

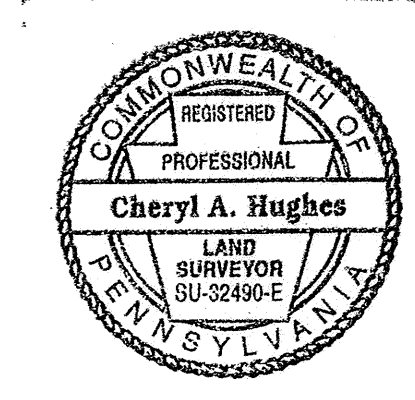
REF: EVANS PLAN, P.B. 234 PG. 20
REF: HAROLD W. & SHIRLEY MILLER SUBDIVISION, P.B. 140 PG. 21
REF: BRESNAHAN SUBDIVISION, P.B. 151 PG. 17
REF: PROPERTY SURVEY FOR LARRY JOEL EPPS BY LAND SURVEYORS, INC., 12/05/18, #18-144.
REF: SURVEY FOR HARRY BAUER ESTATE BY LAND SURVEYORS, INC., #16-035.

A HIGHWAY OCCUPANCY PERMIT IS REQUIRED FOR ACCESS ONTO A STATE HIGHWAY PURSUANT TO SECTION 420 OF PA STATE HIGHWAY LAW.
EXISTING DWELLING HAS SEPTIC AND PROPANE GAS. ELECTRIC SERVICE IS SUPPLIED BY WEST PENN POWER AND WATER IS SUPPLIED BY PA AMERICAN WATER.

AS OF THE DATE OF THIS DEED/PLOT PLAN/DEED NOTICE RECORDING, THE PROPERTY/SUBDIVISION DESCRIBED HEREON IS AND SHALL BE DEDICATED FOR THE EXPRESS PURPOSE OF AGRICULTURAL USE. THIS WAIVER APPLIES TO LOT 1 OF THE PLAN AS SHOWN HEREON. NO PORTION OF THIS PROPERTY/SUBDIVISION HAS BEEN APPROVED BY SUMMIT & OAKLAND TOWNSHIPS OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES. NO SEWAGE PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE COLLECTION, CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM (EXCEPT FOR REPAIRS TO EXISTING SYSTEMS) UNLESS THE MUNICIPALITY AND THE DEP HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR THE PROPERTY/SUBDIVISION HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT (35 P.S. SECTIONS 750.1 ET SEQ.) AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR SUBDIVIDER OF ANY PORTION OF THIS REMNANT SHOULD CONTACT APPROPRIATE OFFICIALS OF SUMMIT & OAKLAND TOWNSHIPS, WHICH IS CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO DETERMINE WHAT SEWAGE FACILITIES PLANNING IS REQUIRED AND THE PROCEDURE AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR APPROVALS.

REVISED 12/4/2019; ENGINEER'S REVIEW COMMENTS

Sheet 1 of 2



L S J Land Surveyors, Inc. 523 North Main Street P.O. Box 1061 Butler, PA 16003-1061 (724) 287-6865 Cheryl A. Hughes, PLS Owner	
BRESNAHAN SUBDIVISION #2 FOR: KAREN E. LARSEN, DONNA M. McNANY, CLYDE F. BRESNAHAN, JR., LINDA K. BURK, TRUDY A. HOMA, DARLENE C. BRESNAHAN, TRINA L. SLATER & MARK J. BRESNAHAN SITUATE: SUMMIT & OAKLAND TOWNSHIPS, BUTLER CO., PA	
Date 10/02/19 Parcel No. 290-2F18-5 Address 278 1/2 CHICORA ROAD	Scale 1" = 100' Dwn By BEC Instrument # 200203040007374 Service No. 19-101

KNOW ALL MEN BY THESE PRESENTS, that I, Donna M. McNary, of the Townships of Summit and Oakland, of the County of Butler, Commonwealth of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this plan as my Plan of Lots of my property, situate in Summit and Oakland Townships, Butler County, Pennsylvania, and for divers advantages accruing to me, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Townships of Summit and Oakland, I hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Townships of Summit and Oakland, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Donna M. McNary, my heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 20th

day of January, 2020

ATTEST:

Gina M. Dallas Donna M. McNary
NOTARY PUBLIC OWNER

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Donna M. McNary, and acknowledged the foregoing release and dedication and plan to be her act and deed and desired the same to be recorded as such.

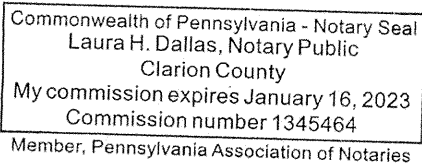
Sworn to and subscribed before me this day.

WITNESS MY HAND AND NOTARIAL SEAL this 20th day of January, 2020

My Commission expires the 16th day of January, 2023

SEAL

Gina M. Dallas
NOTARY PUBLIC



KNOW ALL MEN BY THESE PRESENTS, that I, Trudy A. Homa, of the Townships of Summit and Oakland, of the County of Butler, Commonwealth of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this plan as my Plan of Lots of my property, situate in Summit and Oakland Townships, Butler County, Pennsylvania, and for divers advantages accruing to me, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Townships of Summit and Oakland, I hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Townships of Summit and Oakland, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Trudy A. Homa, my heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 22nd

day of January, 2020

ATTEST:

Gina M. Dallas Trudy A. Homa
NOTARY PUBLIC OWNER

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Trudy A. Homa, and acknowledged the foregoing release and dedication and plan to be her act and deed and desired the same to be recorded as such.

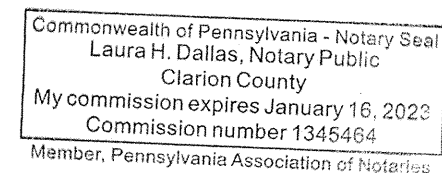
Sworn to and subscribed before me this day.

WITNESS MY HAND AND NOTARIAL SEAL this 22nd day of January, 2020

My Commission expires the 16th day of January, 2023

SEAL

Gina M. Dallas
NOTARY PUBLIC



KNOW ALL MEN BY THESE PRESENTS, that I, Clyde F. Bresnahan, Jr., of the Townships of Summit and Oakland, of the County of Butler, Commonwealth of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this plan as my Plan of Lots of my property, situate in Summit and Oakland Townships, Butler County, Pennsylvania, and for divers advantages accruing to me, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Townships of Summit and Oakland, I hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Townships of Summit and Oakland, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Clyde F. Bresnahan, Jr., my heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 22nd

day of January, 2020

ATTEST:

Gina M. Dallas Clyde F. Bresnahan Jr
NOTARY PUBLIC OWNER

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Clyde F. Bresnahan, Jr., and acknowledged the foregoing release and dedication and plan to be his act and deed and desired the same to be recorded as such.

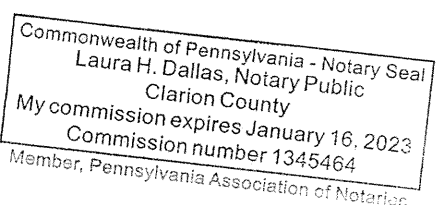
Sworn to and subscribed before me this day.

WITNESS MY HAND AND NOTARIAL SEAL this 22nd day of January, 2020

My Commission expires the 16th day of January, 2023

SEAL

Gina M. Dallas
NOTARY PUBLIC



KNOW ALL MEN BY THESE PRESENTS, that I, Mark J. Bresnahan, of the Townships of Summit and Oakland, of the County of Butler, Commonwealth of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this plan as my Plan of Lots of my property, situate in Summit and Oakland Townships, Butler County, Pennsylvania, and for divers advantages accruing to me, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Townships of Summit and Oakland, I hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Townships of Summit and Oakland, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Mark J. Bresnahan, my heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 20th

day of January, 2020

ATTEST:

Gina M. Dallas Mark J. Bresnahan
NOTARY PUBLIC OWNER

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Mark J. Bresnahan, and acknowledged the foregoing release and dedication and plan to be his act and deed and desired the same to be recorded as such.

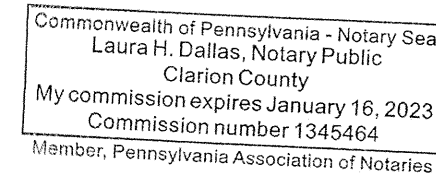
Sworn to and subscribed before me this day.

WITNESS MY HAND AND NOTARIAL SEAL this 20th day of January, 2020

My Commission expires the 16th day of January, 2023

SEAL

Gina M. Dallas
NOTARY PUBLIC



KNOW ALL MEN BY THESE PRESENTS, that I, Linda K. Burk, of the Townships of Summit and Oakland, of the County of Butler, Commonwealth of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this plan as my Plan of Lots of my property, situate in Summit and Oakland Townships, Butler County, Pennsylvania, and for divers advantages accruing to me, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Townships of Summit and Oakland, I hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Townships of Summit and Oakland, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Linda K. Burk, my heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 24th

day of January, 2020

ATTEST:

Gina M. Dallas Linda K. Burk
NOTARY PUBLIC OWNER

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Linda K. Burk, and acknowledged the foregoing release and dedication and plan to be her act and deed and desired the same to be recorded as such.

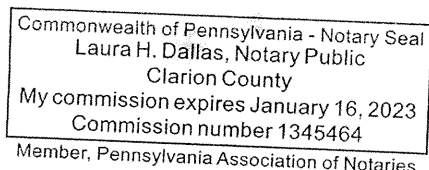
Sworn to and subscribed before me this day.

WITNESS MY HAND AND NOTARIAL SEAL this 24th day of January, 2020

My Commission expires the 16th day of January, 2023

SEAL

Gina M. Dallas
NOTARY PUBLIC



KNOW ALL MEN BY THESE PRESENTS, that I, Darlene C. Bresnahan, of the Townships of Summit and Oakland, of the County of Butler, Commonwealth of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this plan as my Plan of Lots of my property, situate in Summit and Oakland Townships, Butler County, Pennsylvania, and for divers advantages accruing to me, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Townships of Summit and Oakland, I hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Townships of Summit and Oakland, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Darlene C. Bresnahan, my heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 20th

day of January, 2020

ATTEST:

Gina M. Dallas Darlene C. Bresnahan
NOTARY PUBLIC OWNER

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Darlene C. Bresnahan, and acknowledged the foregoing release and dedication and plan to be her act and deed and desired the same to be recorded as such.

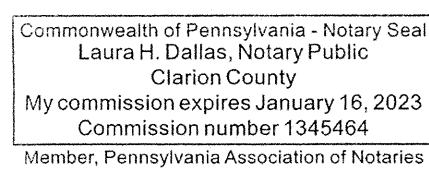
Sworn to and subscribed before me this day.

WITNESS MY HAND AND NOTARIAL SEAL this 20th day of January, 2020

My Commission expires the 16th day of January, 2023

SEAL

Gina M. Dallas
NOTARY PUBLIC



KNOW ALL MEN BY THESE PRESENTS, that I, Karen E. Larsen, of the County of Clarion, State of Georgia, Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this plan as my Plan of Lots of my property, situate in Summit and Oakland Townships, Butler County, Pennsylvania, and for divers advantages accruing to me, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Townships of Summit and Oakland, I hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Townships of Summit and Oakland, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Karen E. Larsen, my heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 6

day of January, 2020

ATTEST:

Gina M. Dallas Karen E. Larsen
NOTARY PUBLIC OWNER

STATE OF GEORGIA)SS:
COUNTY OF Clarion

Before me, the subscriber, a Notary Public in and for said State and County, personally appeared the above named Karen E. Larsen, and acknowledged the foregoing release and dedication and plan to be her act and deed and desired the same to be recorded as such.

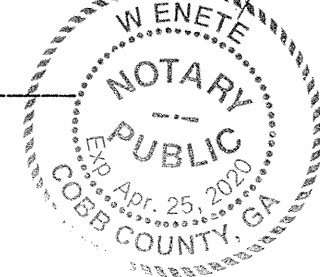
Sworn to and subscribed before me this day.

WITNESS MY HAND AND NOTARIAL SEAL this 6 day of January, 2020

My Commission expires the 25 day of April, 2020

SEAL

Gina M. Dallas
NOTARY PUBLIC



I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.

DATE December 4, 2019 SEAL Cheryl A. Hughes
REC. NO. SU-32490-E

The Board of Supervisors of the Township of Summit hereby gives public notice that in approving this plan for recording purposes only, the Township of Summit assumes no obligation, legal or otherwise, expressed or implied, either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other, such service ordinarily installed in Township streets or roads.

Rhonda X. Hickling SEAL Willis Adams
SECRETARY CHAIRMAN/PRESIDENT

Approved by the Supervisors of the Township of Summit this 18th day of December, 2019

Rhonda X. Hickling SEAL Willis Adams
SECRETARY CHAIRMAN/PRESIDENT

Approved by the Summit Township Planning Commission this 10th day of December, 2019

Rhonda X. Hickling SEAL Willis Adams
SECRETARY CHAIRMAN/PRESIDENT

The Board of Supervisors of the Township of Oakland hereby gives public notice that in approving this plan for recording purposes only, the Township of Oakland assumes no obligation, legal or otherwise, expressed or implied, either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other, such service ordinarily installed in Township streets or roads.

Ann Dube SEAL Willis Adams
SECRETARY CHAIRMAN/PRESIDENT

Approved by the Supervisors of the Township of Oakland this 19th day of February, 2020

Ann Dube SEAL Willis Adams
SECRETARY CHAIRMAN/PRESIDENT

Reviewed by the Oakland Township Planning Commission this 2-11-2020 day of February, 2020

Ann Dube SEAL Willis Adams
SECRETARY CHAIRMAN/PRESIDENT

Reviewed by the Butler County Planning Commission this 27th day of November, 2019

Rhonda X. Hickling SEAL Willis Adams
SECRETARY CHAIRMAN/PRESIDENT

KNOW ALL MEN BY THESE PRESENTS, that I, Trina L. Slater, of the Townships of Summit and Oakland, of the County of Butler, Commonwealth of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this plan as my Plan of Lots of my property, situate in Summit and Oakland Townships, Butler County, Pennsylvania, and for divers advantages accruing to me, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Townships of Summit and Oakland, I hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Townships of Summit and Oakland, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Trina L. Slater, my heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 20th

day of January, 2020

ATTEST:

Gina M. Dallas Trina L. Slater
NOTARY PUBLIC OWNER

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Trina L. Slater, and acknowledged the foregoing release and dedication and plan to be her act and deed and desired the same to be recorded as such.

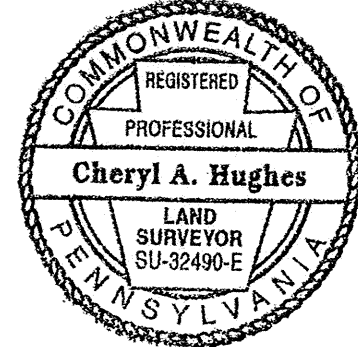
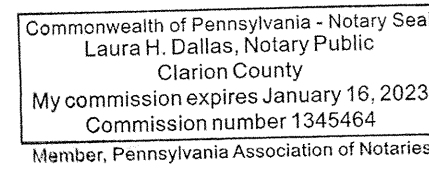
Sworn to and subscribed before me this day.

WITNESS MY HAND AND NOTARIAL SEAL this 20th day of January, 2020

My Commission expires the 16th day of January, 2023

SEAL

Gina M. Dallas
NOTARY PUBLIC



COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER

Recorded in the Recorder's Office for the recording of deeds, plans, etc. in said County in Plan Book Volume 384 page 15-16

Given under my hand and seal this 5th day of March, 2020

SEAL

Michele M. Mustello
RECORDER



MICHELE M. MUSTELLO
RECORDER OF DEEDS

My Commission Expires First Monday in January 2024

REVISED 12/4/2019; ENGINEER'S REVIEW COMMENTS

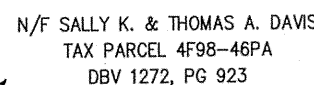
Sheet 2 of 2

L
S
J
Land Surveyors, Inc.
523 North Main Street
P.O. Box 1061
Butler, PA 16003-1061
(724) 287-6865
Cheryl A. Hughes, PLS Owner

BRESNAHAN SUBDIVISION #2
FOR: KAREN E. LARSEN, DONNA M. McNANY,
CLYDE F. BRESNAHAN, JR., LINDA K. BURK,
TRUDY A. HOMA, DARLENE C. BRESNAHAN,
TRINA L. SLATER & MARK J. BRESNAHAN
SITUATE: SUMMIT & OAKLAND TWPS., BUTLER CO., PA

Date 10/02/19	Scale 1" = 100'	Own By BEC	Ckd By CAH
Parcel No. 290-2F18-5	Instrument #	Service No.	
Address 278 1/2 CHICORA ROAD	200203040007374	19-101	

PLAN BOOK	PAGE
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N/F ROBERT P. & SHARON L. McCORMICK
TAX PARCEL 4F98-46H
DBV 1872, PG 220

N/F WILLIAM A. & FAY J. COLLINS
TAX PARCEL 4F98-46F
INST No. 200209230031648

CL HOLDINGS LLC
TAX PARCEL 4F9B-46E
INST. No. 20011031003097

N/F JAY A. WACK
TAX PARCEL 4F98-46D
INST. No. 200601200001443

N/F THOMAS BRIAN D.
TAX PARCEL 4F100-A6

N/F KEITH W. & CINDY L. WARNER
TAX PARCEL 4F98-41AA
DBV 2100, PG 82

N 88°56'32" E
898.16'

N/F DOUBLE K ACRES LLC
TAX PARCEL 4F98-41A
DBV 1042, PG 289

N/F NALEPPA KENNETH
TAX PARCEL 4F98-488
DBV 1066, PG 33

Instr: 202003100004907
Pg: 5 F: \$205.00
Michele Mustello
Butler County Recorder PA

I, JAMES A. SPERDUTE, A PROFESSIONAL LAND SURVEYOR DULY LICENSED BY AND IN THE COMMONWEALTH OF PENNSYLVANIA, HEREBY CERTIFY THAT THE PLATS OF SCENIC RIDGE, A CONDOMINIUM TO WHICH THIS CERTIFICATE IS AFFIXED, CONSISTING OF 5 PAGES AND THE PLANS REQUIRED BY THE DECLARATION, ACCURATELY CONTAINS ALL INFORMATION RECORDED BY SECTIONS 3210(B) AND (C) OF THE PENNSYLVANIA UNIFORM CONDOMINIUM ACT, ACT 82 OF 1980 (68 P.A.C.S.A. SECTION 3210(B) AND

(C) James A. Sperrdite 3/2/2020
BY JAMES A. SPERRDITE, SURVEYOR REG. NO. 24457-E DATE

COMMONWEALTH OF PENNSYLVANIA)
) SS:
COUNTY OF BUTLER)

ON THE 2nd DAY OF march 2020, BEFORE ME, A NOTARY PUBLIC FOR THE COMMONWEALTH OF PENNSYLVANIA, PERSONALLY APPEARED JAMES A. SPERDUTE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE ABOVE CERTIFICATION AND BEING DULY SWORN MADE SOLEMN OATH TO THE TRUTH OF THE STATEMENT TO WHICH HIS NAME IS SUBSCRIBED.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND NOTARIAL SEAL.

Jennifer Lynn Spindt
NOTARY PUBLIC

MY COMMISSION EXPIRES: October 14, 2023

Commonwealth of Pennsylvania - Notary Seal
Jennifer Lyn Sperdute, Notary Public
Butler County
My commission expires October 14, 2023
Commission number 1358573
Member, Pennsylvania Association of Notaries

MICHELE M. MUSTELLO
RECORDER OF DEEDS

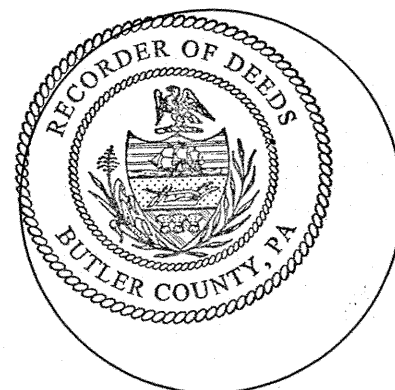
COMMONWEALTH OF PENNSYLVANIA) **RECORDER OF DEEDS**
) ss My Commission Expires First Monday in January 20
COUNTY OF BUTLER)

RECORDED IN THE RECORDER'S OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN
COUNTY IN PLAN BOOK 384 PAGES 17-21 GIVEN UNDER
MY HAND AND SEAL THIS 10 DAY OF March 2020

RECORDER OF DEEDS



SURVEYOR



BUTLER COUNTY
RECORDER OF DEEDS

NOTES:

PREPARED FOR: SCENIC RIDGE PARTNERS, LP
P.O. BOX 449
MARS, PA 16046

1. ALL PORCHES AND PATIOS ARE PART OF THE DWELLING UNIT AND MUST BE BUILT.
2. ALL UNIT SIDEWALKS ARE CONSIDERED LIMITED COMMON ELEMENTS AND MUST BE BUILT.
3. ALL UNIT DRIVEWAYS ARE CONSIDERED LIMITED COMMON ELEMENTS AND MUST BE BUILT.
4. UNITS MAY BE BUILT IN REVERSE.
5. SEE DECLARATION WHICH IS RECORDED SEPARATELY FOR ARCHITECTURAL DRAWINGS RELATED TO BUILDING TYPES AND UNIT DIMENSIONS.
6. SEE SHEET 2 OF 4 FOR AREA TABULATIONS

PLAN REFERENCE : SCENIC RIDGE PLAN OF LOTS
RECORDED IN PLAN BOOK 356, PAGES 12-16

SCENIC RIDGE CONDOMINIUM PLAN NO. 1
RECORDED IN PLAN BOOK 360, PAGE 34

SCENIC RIDGE CONDOMINIUM PLAN NO. 2
RECORDED IN PLAN BOOK 362, PAGE 21

SCENIC RIDGE CONDOMINIUM PLAN NO. 3
RECORDED IN PLAN BOOK 365, PAGE 35

SCENIC RIDGE CONDOMINIUM PLAN NO. 4
RECORDED IN PLAN BOOK 366, PAGE 37

SCENIC RIDGE CONDOMINIUM PLAN NO. 5
RECORDED IN PLAN BOOK 370, PAGE 24

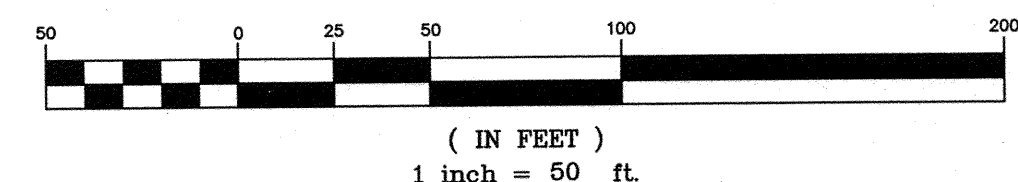
SCENIC RIDGE CONDOMINIUM PLAN NO. 6
RECORDED IN PLAN BOOK 372, PAGE 26

SCENIC RIDGE CONDOMINIUM PLAN NO. 7
RECORDED IN PLAN BOOK 375, PAGE 31

SCENIC RIDGE CONDOMINIUM PLAN NO. 8
RECORDED IN PLAN BOOK 377, PAGE 17

SCENIC RIDGE CONDOMINIUM PLAN NO. 9
RECORDED IN PLAN BOOK 380, PAGE 37

GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.

PLAN BOOK		PAGE	
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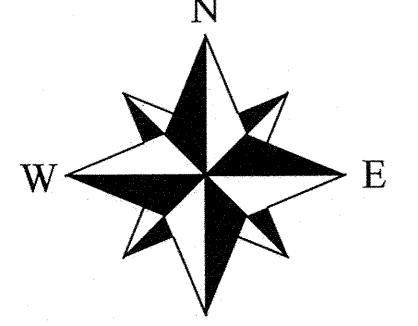
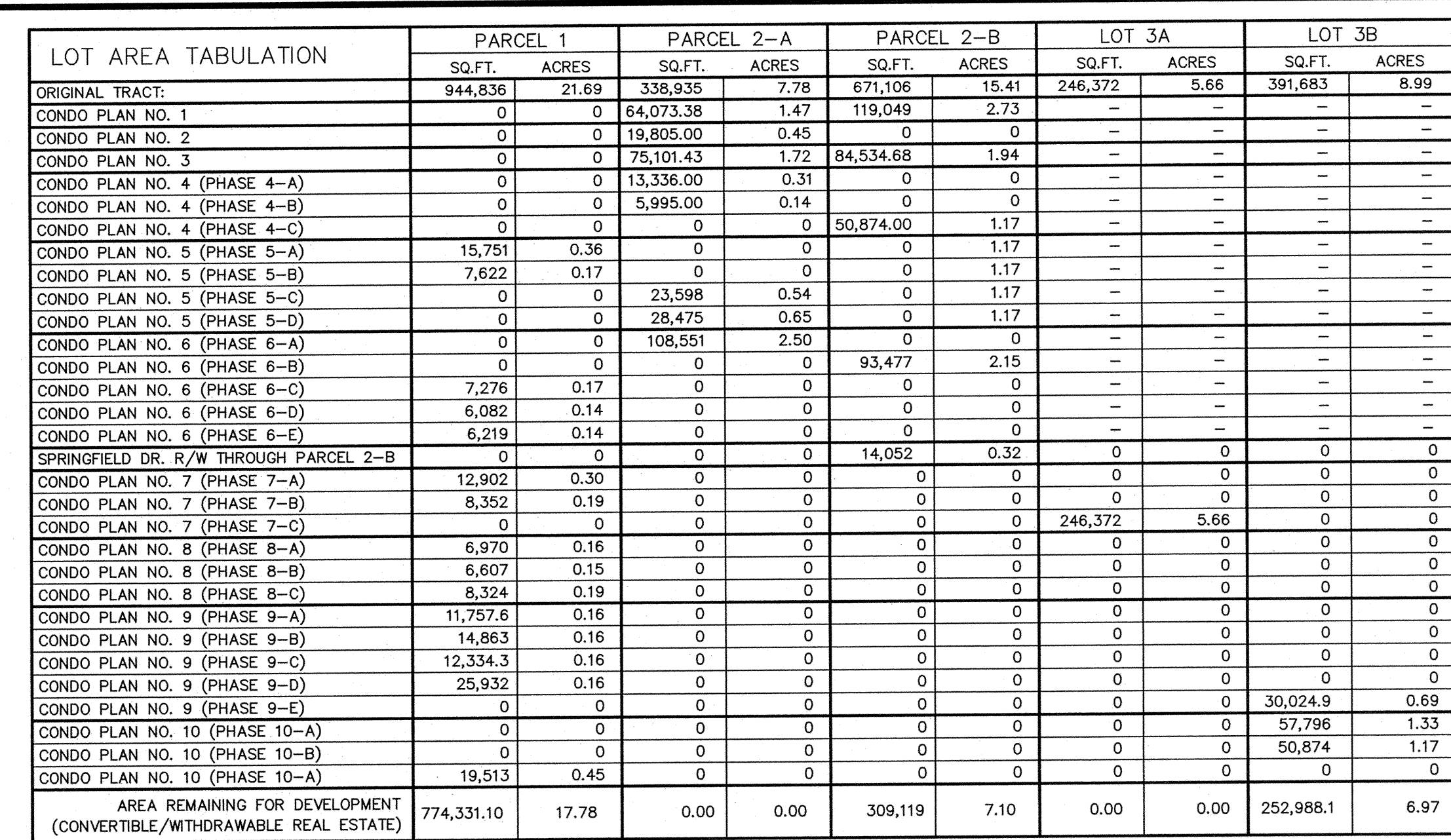
SCENIC RIDGE CONDOMINIUM PLAN NO. 10

PREPARED FOR SCENIC RIDGE PARTNERS, LP.
P.O. BOX 449 MARS, PA 16046
LANCASTER TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

DRAWING NUMBER:	1010-2021273
DRAWING SCALE:	1"=50'
DATE:	MARCH 2, 2020
DRAWN BY:	JSS
RELATIONS:	

SHEET 1 OF 5





PLAN BOOK	PAGE
384	18

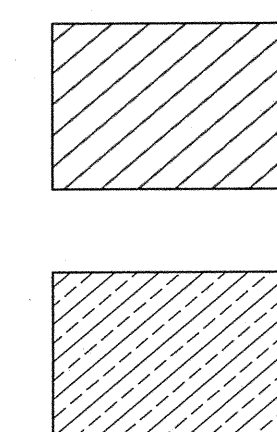
**SCENIC RIDGE
CONDOMINIUM
PLAN NO. 10**

PREPARED FOR SCENIC RIDGE PARTNERS, LP.
P.O. BOX 449 MARS, PA 16046



DRAWING NUMBER:	1010-202127
DRAWING SCALE:	1"=50'
DATE:	MARCH 2, 2021
DRAWN BY:	JS
REVISIONS:	

SHEET 2 OF 5



LOT 1
HUCH - ECKSTEIN PLAN
PRV 163 PG 20

LOT 2B
LAURA P. HUCH PLAT
PBV 173, PG 35

N 89°07'34" E (PHASE 2)
509.14'

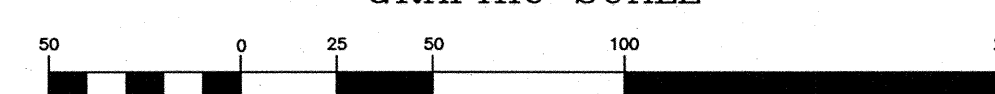
N 89°11'34" E (PHASE 3)
757.54'

PHASE 10-B
50 874 S O F T

SHEET 3 OF 5

PREPARED FOR SCENIC RIDGE PARTNERS, LP.
P.O. BOX 449 MARS, PA 16046

LANCASTER TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

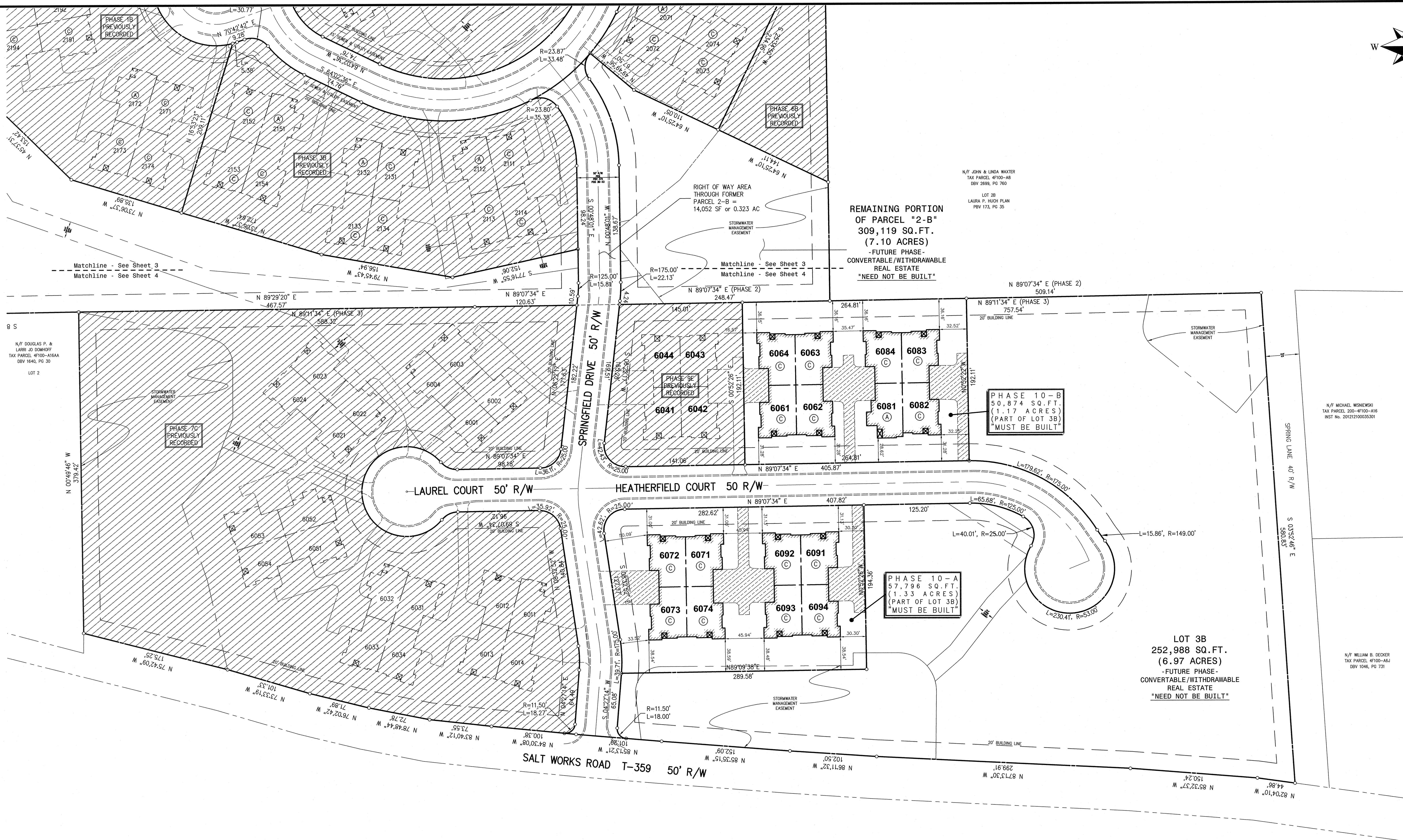


PLAN BOOK	PAGE
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REMAINING PORTION
OF PARCEL "2-B"
309,119 SQ.FT.
(7.10 ACRES)
-FUTURE PHASE-
CONVERTABLE/WITHDRAWABLE
REAL ESTATE
"NEED NOT BE BUILT"

RIGHT OF WAY AREA
THROUGH FORMER
PARCEL 2-B =
14,052 SF or 0.323 AC

Matchline - See Sheet 3
Matchline - See Sheet 4

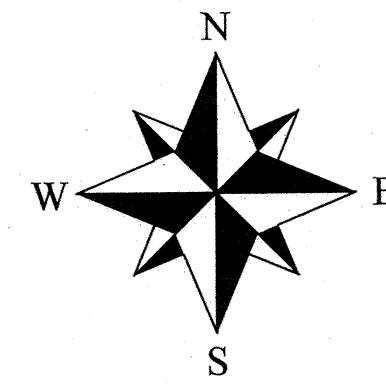


GRAPHIC SCALE

(IN FEET)
1 inch = 50 ft.

**SCENIC RIDGE
CONDOMINIUM
PLAN NO. 10**
PREPARED FOR SCENIC RIDGE PARTNERS, LP.
P.O. BOX 449 MARS, PA 16046
LANCASTER TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

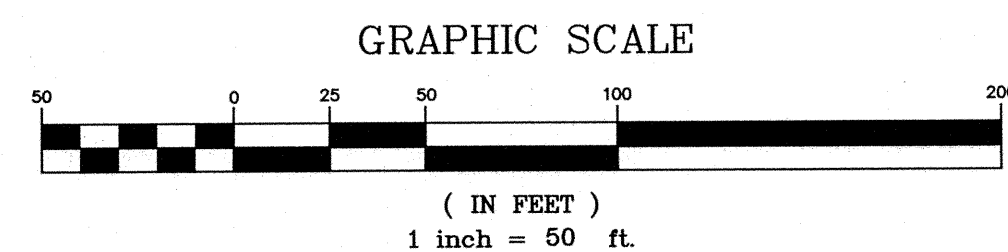




The diagram shows two adjacent lots, 421 and 419, with their boundaries and easements. Lot 421 is a polygon with vertices labeled with measurements: L263, L264, L265, L267, L268, L271, L272, L273, L274, L275, L276, L277, L278, L279, L280, L281, L282, L283, L284, L285, L286, L287, L288, L289, L290, L291, L292, L293, L294, L295, L296, L297, L298, L299, L300, L301, L302, L303, L304, L305, L306, L307, L308, L309, L310, L311, L312, L313, L314, L315, L316, L317, L318, L319, L320, L321, L322, L323, L324, L325, L326, L327, L328, L329, L330, L331, L332, L333, L334, L335, L336, L337, L338, L339, L340, L341, L342, L343, L344, L345, L346, L347, L348, L349, L350, L351, L352, L353, L354, L355, L356, L357, L358, L359, L360, L361, L362, L363, L364, L365, L366, L367, L368, L369, L370, L371, L372, L373, L374, L375, L376, L377, L378, L379, L380, L381, L382, L383, L384, L385, L386, L387, L388, L389, L390, L391, L392, L393, L394, L395, L396, L397, L398, L399, L400, L401, L402, L403, L404, L405, L406, L407, L408, L409, L410, L411, L412, L413, L414, L415, L416, L417, L418, L419, L420, L421, L422, L423, L424, L425, L426, L427, L428, L429, L430, L431, L432, L433, L434, L435, L436, L437, L438, L439, L440, L441, L442, L443, L444, L445, L446, L447, L448, L449, L450, L451, L452, L453, L454, L455, L456, L457, L458, L459, L460, L461, L462, L463, L464, L465, L466, L467, L468, L469, L470, L471, L472, L473, L474, L475, L476, L477, L478, L479, L480, L481, L482, L483, L484, L485, L486, L487, L488, L489, L490, L491, L492, L493, L494, L495, L496, L497, L498, L499, L500, L501, L502, L503, L504, L505, L506, L507, L508, L509, L510, L511, L512, L513, L514, L515, L516, L517, L518, L519, L520, L521, L522, L523, L524, L525, L526, L527, L528, L529, L530, L531, L532, L533, L534, L535, L536, L537, L538, L539, L540, L541, L542, L543, L544, L545, L546, L547, L548, L549, L550, L551, L552, L553, L554, L555, L556, L557, L558, L559, L560, L561, L562, L563, L564, L565, L566, L567, L568, L569, L570, L571, L572, L573, L574, L575, L576, L577, L578, L579, L580, L581, L582, L583, L584, L585, L586, L587, L588, L589, L590, L591, L592, L593, L594, L595, L596, L597, L598, L599, L600, L601, L602, L603, L604, L605, L606, L607, L608, L609, L610, L611, L612, L613, L614, L615, L616, L617, L618, L619, L620, L621, L622, L623, L624, L625, L626, L627, L628, L629, L630, L631, L632, L633, L634, L635, L636, L637, L638, L639, L640, L641, L642, L643, L644, L645, L646, L647, L648, L649, L650, L651, L652, L653, L654, L655, L656, L657, L658, L659, L660, L661, L662, L663, L664, L665, L666, L667, L668, L669, L670, L671, L672, L673, L674, L675, L676, L677, L678, L679, L680, L681, L682, L683, L684, L685, L686, L687, L688, L689, L690, L691, L692, L693, L694, L695, L696, L697, L698, L699, L700, L701, L702, L703, L704, L705, L706, L707, L708, L709, L710, L711, L712, L713, L714, L715, L716, L717, L718, L719, L720, L721, L722, L723, L724, L725, L726, L727, L728, L729, L730, L731, L732, L733, L734, L735, L736, L737, L738, L739, L740, L741, L742, L743, L744, L745, L746, L747, L748, L749, L750, L751, L752, L753, L754, L755, L756, L757, L758, L759, L760, L761, L762, L763, L764, L765, L766, L767, L768, L769, L770, L771, L772, L773, L774, L775, L776, L777, L778, L779, L780, L781, L782, L783, L784, L785, L786, L787, L788, L789, L790, L791, L792, L793, L794, L795, L796, L797, L798, L799, L800, L801, L802, L803, L804, L805, L806, L807, L808, L809, L810, L811, L812, L813, L814, L815, L816, L817, L818, L819, L820, L821, L822, L823, L824, L825, L826, L827, L828, L829, L830, L831, L832, L833, L834, L835, L836, L837, L838, L839, L840, L841, L842, L843, L844, L845, L846, L847, L848, L849, L850, L851, L852, L853, L854, L855, L856, L857, L858, L859, L860, L861, L862, L863, L864, L865, L866, L867, L868, L869, L870, L871, L872, L873, L874, L875, L876, L877, L878, L879, L880, L881, L882, L883, L884, L885, L886, L887, L888, L889, L890, L891, L892, L893, L894, L895, L896, L897, L898, L899, L900, L901, L902, L903, L904, L905, L906, L907, L908, L909, L910, L911, L912, L913, L914, L915, L916, L917, L918, L919, L920, L921, L922, L923, L924, L925, L926, L927, L928, L929, L930, L931, L932, L933, L934, L935, L936, L937, L938, L939, L940, L941, L942, L943, L944, L945, L946, L947, L948, L949, L950, L951, L952, L953, L954, L955, L956, L957, L958, L959, L960, L961, L962, L963, L964, L965, L966, L967, L968, L969, L970, L971, L972, L973, L974, L975, L976, L977, L978, L979, L980, L981, L982, L983, L984, L985, L986, L987, L988, L989, L990, L991, L992, L993, L994, L995, L996, L997, L998, L999, L1000. Lot 419 is a polygon with vertices labeled with measurements: L263, L264, L265, L267, L268, L271, L272, L273, L274, L275, L276, L277, L278, L279, L280, L281, L282, L283, L284, L285, L286, L287, L288, L289, L290, L291, L292, L293, L294, L295, L296, L297, L298, L299, L300, L301, L302, L303, L304, L305, L306, L307, L308, L309, L310, L311, L312, L313, L314, L315, L316, L317, L318, L319, L320, L321, L322, L323, L324, L325, L326, L327, L328, L329, L330, L331, L332, L333, L3

The floor plan shows a building with four rooms and a central hallway. The rooms are labeled 6092, 6091, 6093, and 6094. The plan includes various furniture items such as beds, desks, chairs, and a sofa. The rooms are connected by a central hallway. The plan is labeled with room numbers and includes a scale bar at the bottom.

The floor plan shows a central area with four rooms: 6081 (bottom left), 6082 (bottom right), 6083 (top right), and 6084 (top left). A central corridor runs vertically, marked with a cross-section symbol (+). The plan is surrounded by a perimeter of rooms and corridors, with various room numbers and door symbols indicated. The perimeter rooms include L193, L197, L199, L209, L211, L210, L214, L213, L217, L218, L219, L220, L221, L222, L226, L228, L230, L232, L233, L234, L235, L236, L237, L238, L240, L241, L242, L243, L244, L245, L246, L247, L248, L249, L251, L252, L253, L207, L203, L204, L206, L207, L208, L196, L195, L194, L193, L215, L216, L217, L218, L219, L220, L221, L222, L223, L224, L225, L226, L227, L228, L229, L230, L231, L232, L233, L234, L235, L236, L237, L238, L239, L240, L241, L242, L243, L244, L245, L246, L247, L248, L249, L250, L251, L252, L253, L254, L255, L256, L257, L258, L259, L260, L261, L262, L263, L264, L265, L266, L267, L268, L269, L270, L271, L272, L273, L274, L275, L276, L277, L278, L279, L280, L281, L282, L283, L284, L285, L286, L287, L288, L289, L290, L291, L292, L293, L294, L295, L296, L297, L298, L299, L300, L301, L302, L303, L304, L305, L306, L307, L308, L309, L310, L311, L312, L313, L314, L315, L316, L317, L318, L319, L320, L321, L322, L323, L324, L325, L326, L327, L328, L329, L330, L331, L332, L333, L334, L335, L336, L337, L338, L339, L340, L341, L342, L343, L344, L345, L346, L347, L348, L349, L350, L351, L352, L353, L354, L355, L356, L357, L358, L359, L360, L361, L362, L363, L364, L365, L366, L367, L368, L369, L370, L371, L372, L373, L374, L375, L376, L377, L378, L379, L380, L381, L382, L383, L384, L385, L386, L387, L388, L389, L390, L391, L392, L393, L394, L395, L396, L397, L398, L399, L400, L401, L402, L403, L404, L405, L406, L407, L408, L409, L410, L411, L412, L413, L414, L415, L416, L417, L418, L419, L420, L421, L422, L423, L424, L425, L426, L427, L428, L429, L430, L431, L432, L433, L434, L435, L436, L437, L438, L439, L440, L441, L442, L443, L444, L445, L446, L447, L448, L449, L450, L451, L452, L453, L454, L455, L456, L457, L458, L459, L460, L461, L462, L463, L464, L465, L466, L467, L468, L469, L470, L471, L472, L473, L474, L475, L476, L477, L478, L479, L480, L481, L482, L483, L484, L485, L486, L487, L488, L489, L490, L491, L492, L493, L494, L495, L496, L497, L498, L499, L500, L501, L502, L503, L504, L505, L506, L507, L508, L509, L510, L511, L512, L513, L514, L515, L516, L517, L518, L519, L520, L521, L522, L523, L524, L525, L526, L527, L528, L529, L530, L531, L532, L533, L534, L535, L536, L537, L538, L539, L540, L541, L542, L543, L544, L545, L546, L547, L548, L549, L550, L551, L552, L553, L554, L555, L556, L557, L558, L559, L560, L561, L562, L563, L564, L565, L566, L567, L568, L569, L570, L571, L572, L573, L574, L575, L576, L577, L578, L579, L580, L581, L582, L583, L584, L585, L586, L587, L588, L589, L590, L591, L592, L593, L594, L595, L596, L597, L598, L599, L600, L601, L602, L603, L604, L605, L606, L607, L608, L609, L610, L611, L612, L613, L614, L615, L616, L617, L618, L619, L620, L621, L622, L623, L624, L625, L626, L627, L628, L629, L630, L631, L632, L633, L634, L635, L636, L637, L638, L639, L640, L641, L642, L643, L644, L645, L646, L647, L648, L649, L650, L651, L652, L653, L654, L655, L656, L657, L658, L659, L660, L661, L662, L663, L664, L665, L666, L667, L668, L669, L670, L671, L672, L673, L674, L675, L676, L677, L678, L679, L680, L681, L682, L683, L684, L685, L686, L687, L688, L689, L690, L691, L692, L693, L694, L695, L696, L697, L698, L699, L700, L701, L702, L703, L704, L705, L706, L707, L708, L709, L710, L711, L712, L713, L714, L715, L716, L717, L718, L719, L720, L721, L722, L723, L724, L725, L726, L727, L728, L729, L730, L731, L732, L733, L734, L735, L736, L737, L738, L739, L740, L741, L742, L743, L744, L745, L746, L747, L748, L749, L750, L751, L752, L753, L754, L755, L756, L757, L758, L759, L760, L761, L762, L763, L764, L765, L766, L767, L768, L769, L770, L771, L772, L773, L774, L775, L776, L777, L778, L779, L780, L781, L782, L783, L784, L785, L786, L787, L788, L789, L790, L791, L792, L793, L794, L795, L796, L797, L798, L799, L800, L801, L802, L803, L804, L805, L806, L807, L808, L809, L810, L811, L812, L813, L814, L815, L816, L817, L818, L819, L820, L821, L822, L823, L824, L825, L826, L827, L828, L829, L830, L831, L832, L833, L834, L835, L836, L837, L838, L839, L840, L841, L842, L843, L844, L845, L846, L847, L848, L849, L850, L851, L852, L853, L854, L855, L856, L857, L858, L859, L860, L861, L862, L863, L864, L865, L866, L867, L868, L869, L870, L871, L872, L873, L874, L875, L876, L877, L878, L879, L880, L881, L882, L883, L884, L885, L886, L887, L888, L889, L890, L891, L892, L893, L894, L895, L896, L897, L898, L899, L900, L901, L902, L903, L904, L905, L906, L907, L908, L909, L910, L911, L912, L913, L914, L915, L916, L917, L918, L919, L920, L921, L922, L923, L924, L925, L926, L927, L928, L929, L930, L931, L932, L933, L934, L935, L936, L937, L938, L939, L940, L941, L942, L943, L944, L945, L



PLAN BOOK	PAGE
384	21

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SCENIC RIDGE CONDOMINIUM PLAN NO. 10

PREPARED FOR SCENIC RIDGE PARTNERS, LP.
P.O. BOX 449 MARS, PA 16046
LANCASTER TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA



Instr: 202003100004928
Pg: 13 F: \$525.00
Michele Mustello
Butler County Recorder PA

REVISÉD: MAY 15, 2019



GEOTECH ENGINEERING, INC.
ENGINEERS SURVEYORS GEOLOGISTS

SLIPPERY ROCK TOWNSHIP ZONING REQUIREMENTS
ZONING DISTRICT: C-1 HIGHWAY COMMERCIAL DISTRICT
PERMITTED LAND USE: BANKS

<p align="center">OFF STREET LOADING REQUIREMENTS</p> <p align="center">COMMERCIAL SERVICE ESTABLISHMENTS</p>
<p align="center">REQUIRED LOADING SPACES</p>
<p align="center">ONE (1) BERTH FOR FIRST 30,000 SQ. FT. OF GROSS FLOOR AREA (PROVIDED)</p>

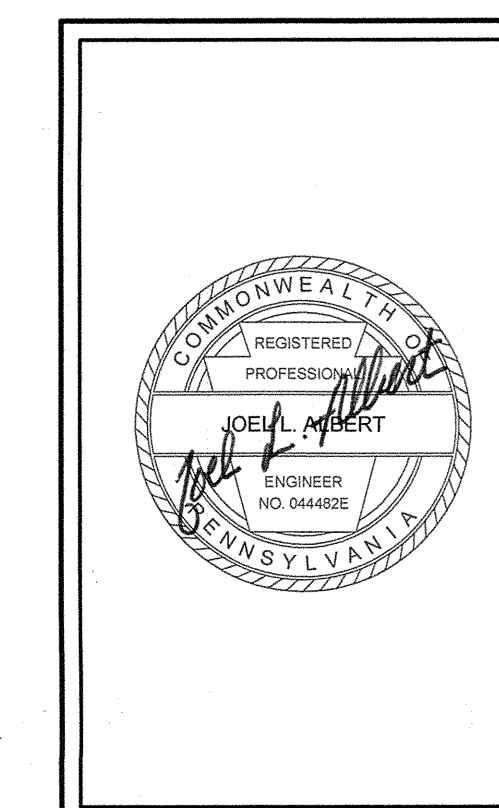
STORMWATER MANAGEMENT FACILITIES NOTES:
THE OWNER LISTED ON THE "OWNERSHIP ACKNOWLEDGEMENT OF PLAN" IS RESPONSIBLE FOR ALL MAINTENANCE REQUIRED FOR THE STORMWATER MANAGEMENT PLAN FOR AS LONG AS THEY OWN THE PROPERTY. THE MAINTENANCE OF THE STORMWATER MANAGEMENT PLAN FOR ACCESS TO STORMWATER MANAGEMENT BEST MANAGEMENT PRACTICES IS PART OF THE RECORDED POST CONSTRUCTION STORMWATER MANAGEMENT PLAN AND SHALL ACT AS A LEGALLY BINDING AGREEMENT BETWEEN THE OWNER/RESPONSIBLE PARTY AND SLIPPERY ROCK TOWNSHIP. THE OWNER CONVEYS SLIPPERY ROCK TOWNSHIP THE RIGHT OF ACCESS TO STORMWATER MANAGEMENT FACILITIES FOR ACCESS TO STORMWATER MANAGEMENT FACILITIES FOR ACCESS TO STORMWATER MANAGEMENT FACILITIES FROM THE NEAREST PUBLIC RIGHT-OF-WAY. RECORD/AS-BUILT DRAWINGS WILL BE SUBMITTED FOR THE STORMWATER MANAGEMENT FACILITIES INCLUDED IN THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN. THE AS-BUILT SURVEY AND AN EXPLANATION OF ANY DISCREPANCIES WITH THE DESIGN PLANS SHALL BE SUBMITTED TO THE PLAN ADMINISTRATOR FOR FINAL APPROVAL.

FLOOD PLAIN HAZARD NOTIFICATION
ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 42019C0140D WITH AN EFFECTIVE DATE - AUGUST 2, 2018, THE PROPOSED SITE LIES WITHIN A ZONE-X AREA OF MINIMAL FLOOD HAZARD.

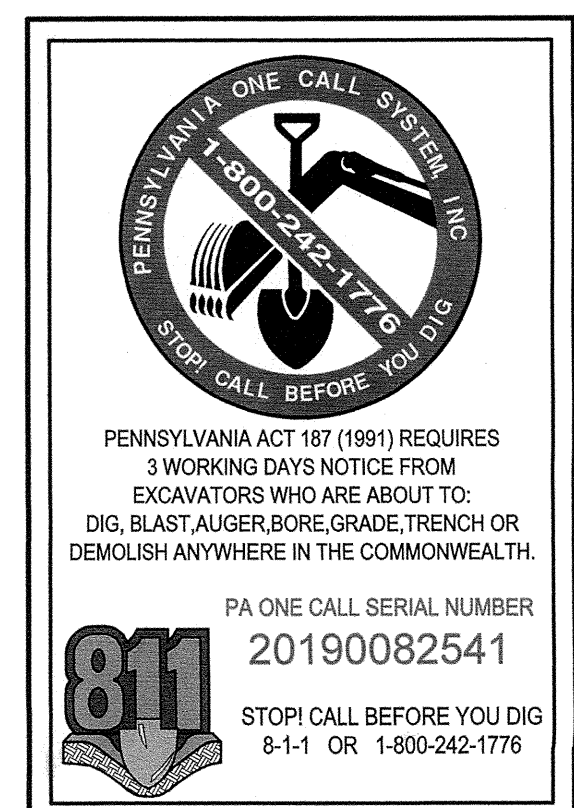
WETLANDS INVESTIGATION
ACCORDING TO THE NATIONAL WETLANDS INVENTORY MAP, NO WETLANDS HAVE BEEN IDENTIFIED FOR THIS PROPERTY. GEOTECH ENGINEERING, INC. HAS CONDUCTED AN ON-SITE WETLANDS INVESTIGATION, AND FOUND THAT NO WETLANDS ARE EXISTING WITHIN THE PROPOSED PROJECT SITE.

HIGHWAY OCCUPANCY NOTIFICATION
NOTE THAT ANY CONSTRUCTION REQUIRED IN THE STATE HIGHWAY RIGHT-OF-WAY WILL REQUIRE
ISSUANCE OF A PENNDOT HIGHWAY OCCUPANCY PERMIT (H.O.P.).

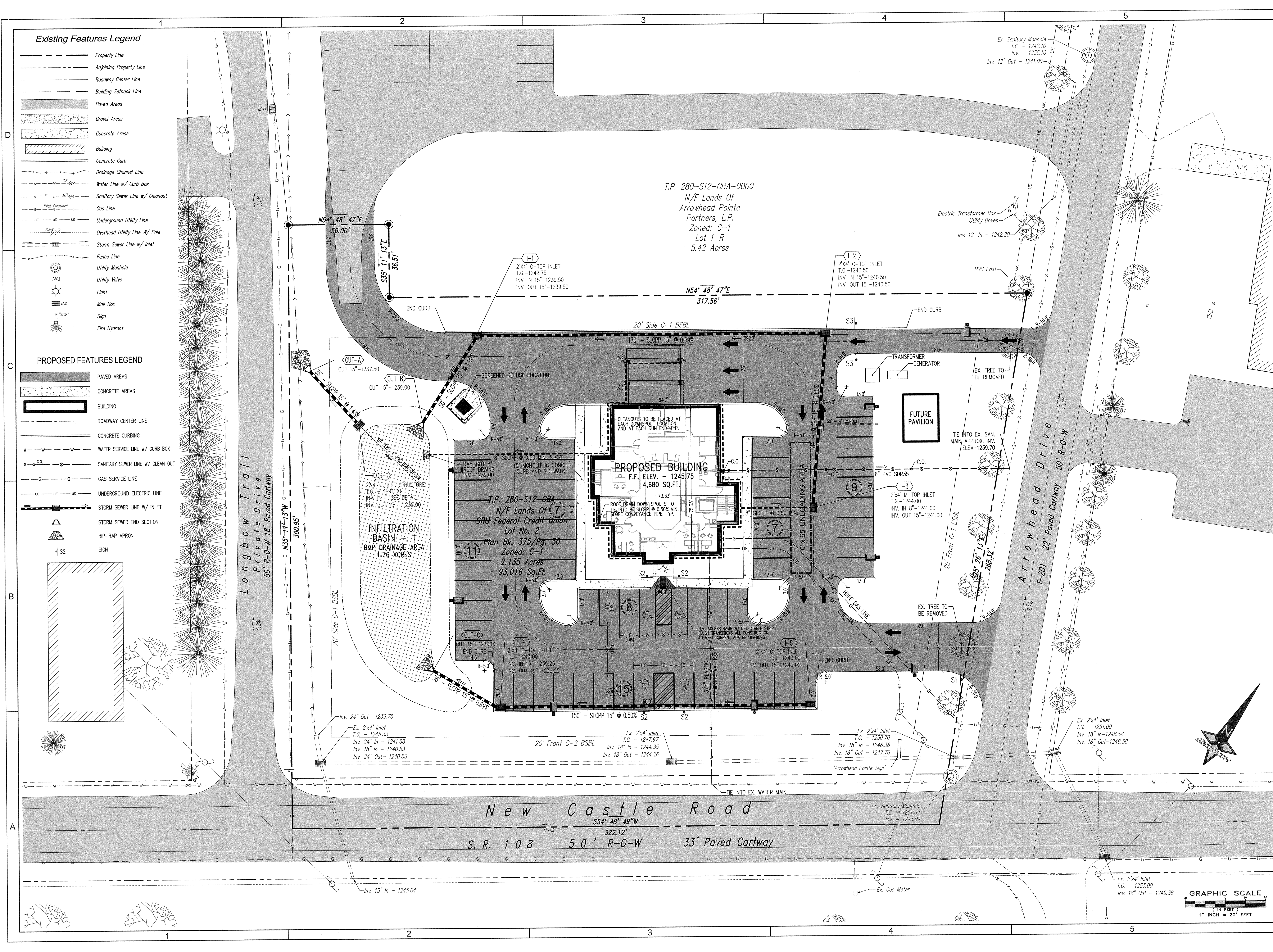
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 20



Owner / Developer:
Slippery Rock University
Federal Credit Union
235 Grove City Road
Slippery Rock, PA 16057
Phone: (724) 794-6292
Fax: (724) 794-5182



PLAN BOOK	PAGE
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GEOTECH ENGINEERING, INC.
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FAX: (814) 342-7099
EMAIL: INFO@GEOTECH-ENGINEERING.COM
WEB SITE: WWW.GEOTECH-ENGINEERING.COM

Project Name:
SRU
FEDERAL CREDIT UNION

PROPOSED
ARROWHEAD DRIVE
LOCATION

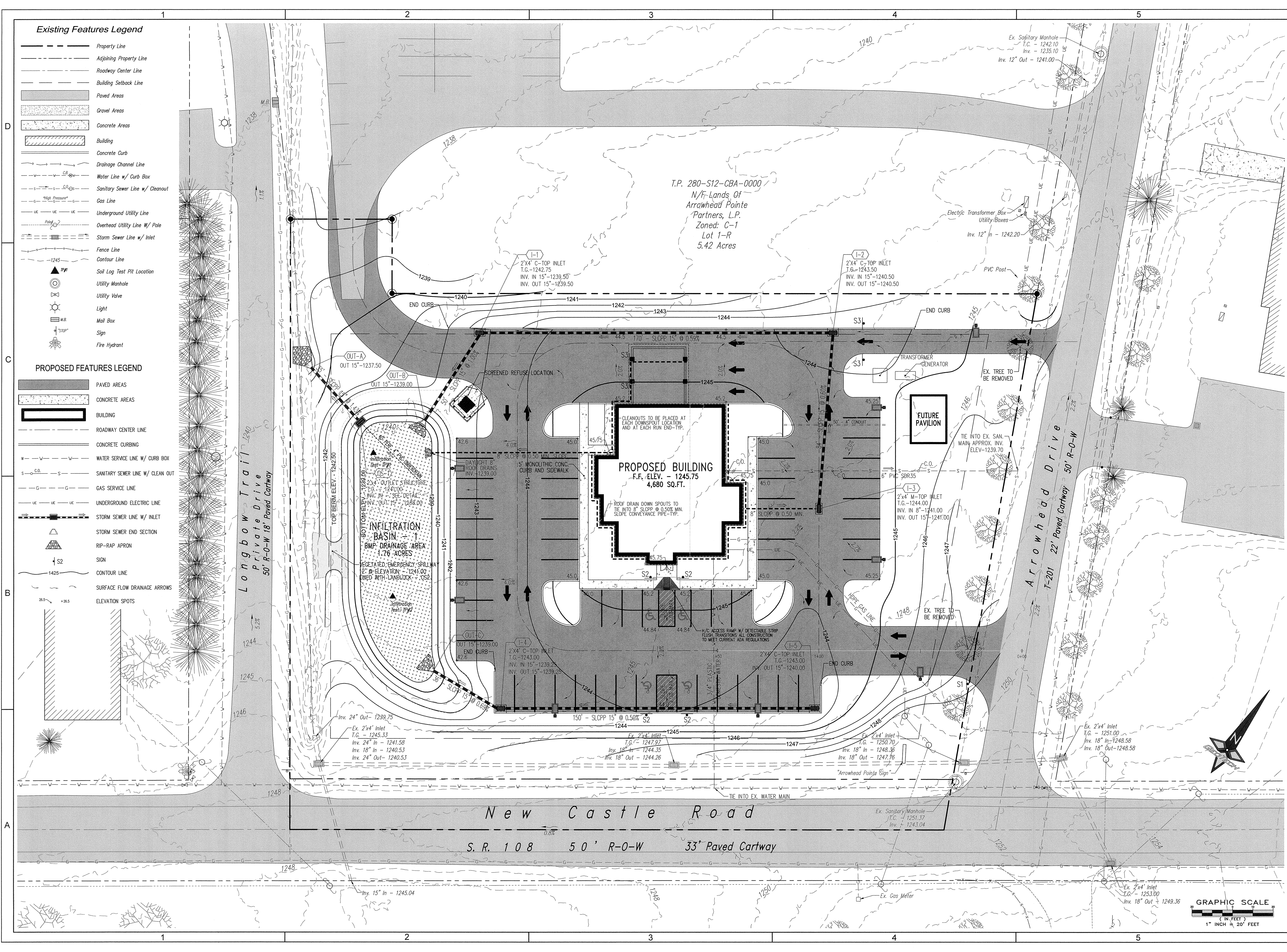
Location:
Slippery Rock Township
Butler County, PA

Owner / Developer:
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Federal Credit Union
235 Grove City Road
Slippery Rock, PA 16057
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PLAN BOOK		PAGE
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Datum projection utilized:
NAD 83 PA South Zone and
measured in U.S. Survey feet.

1	05/15/19	Township Comments
Rev.	Date	Description
Issue: APRIL 25, 2019		
Project No: 938-001		
Scale: 1" = 20'		
Drawn By: MSK		
Checked By: JLS		
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Sheet Title: SITE GEOMETRY AND UTILITY PLAN		
Sheet Number: C1.00		



GET
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Project Name:
SRU
FEDERAL CREDIT UNION
**PROPOSED
ARROWHEAD DRIVE
LOCATION**

Location:
Slippery Rock Township
Butler County, PA
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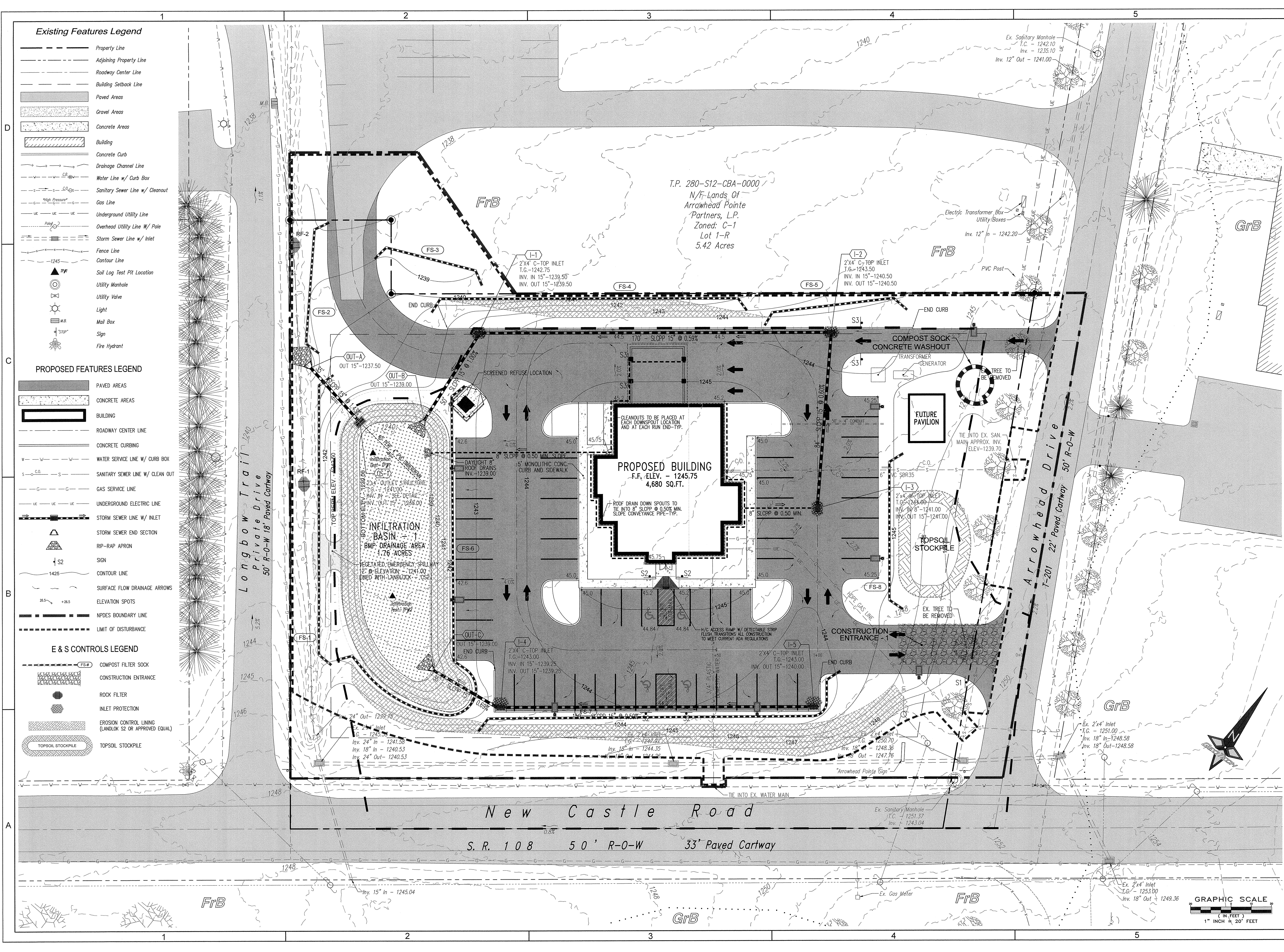
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Project No: 938-001		
Scale: 1" = 20'		
Drawn By: MSK		
Checked By: JLS		

GeoTech Engineering, Inc.
Engineers, Surveyors & Geologists

Sheet Title:
**GRADING
PLAN**

Sheet Number:
C2.00



- Existing Features Legend**
- Property Line
 - Adjoining Property Line
 - Roadway Center Line
 - Building Setback Line
 - Paved Areas
 - Gravel Areas
 - Concrete Areas
 - Building
 - Concrete Curb
 - Drainage Channel Line
 - Water Line w/ Curb Box
 - Sanitary Sewer Line w/ Cleanout
 - Gas Line
 - Underground Utility Line
 - Overhead Utility Line w/ Pole
 - Storm Sewer Line w/ Inlet
 - Fence Line
 - Contour Line
 - Soil Log Test Pit Location
 - Utility Manhole
 - Utility Valve
 - Light
 - Mail Box
 - Sign
 - Fire Hydrant

- PROPOSED FEATURES LEGEND**
- PAVED AREAS
 - CONCRETE AREAS
 - BUILDING
 - ROADWAY CENTER LINE
 - CONCRETE CURBING
 - WATER SERVICE LINE w/ CURB BOX
 - SANITARY SEWER LINE w/ CLEAN OUT
 - GAS SERVICE LINE
 - UNDERGROUND ELECTRIC LINE
 - STORM SEWER LINE w/ INLET
 - STORM SEWER END SECTION
 - RIP-RAP APRON
 - SIGN
 - CONTOUR LINE
 - SURFACE FLOW DRAINAGE ARROWS
 - ELEVATION SPOTS
 - NPDES BOUNDARY LINE
 - LIMIT OF DISTURBANCE

- E & S CONTROLS LEGEND**
- COMPOST FILTER SOCK
 - CONSTRUCTION ENTRANCE
 - ROCK FILTER
 - INLET PROTECTION
 - EROSION CONTROL LINING (LANDLOK S2 OR APPROVED EQUAL)
 - TOPSOIL STOCKPILE

GEOTECH ENGINEERING, INC.
ENGINEERS SURVEYORS GEOLOGISTS
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EMAIL: INFO@GEOTECH-ENGINEERING.COM
WEB SITE: WWW.GEOTECH-ENGINEERING.COM

Project Name:

SRU
FEDERAL CREDIT UNION

PROPOSED
ARROWHEAD DRIVE
LOCATION

Location:

Slippery Rock Township
Butler County, PA

Owner / Developer:

Slippery Rock University
Federal Credit Union
235 Grove City Road
Slippery Rock, PA 16057
Phone: (724) 794-6292
Fax: (724) 794-5182

PLAN BOOK	PAGE
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Scale: 1" = 20'

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Checked By: JLS

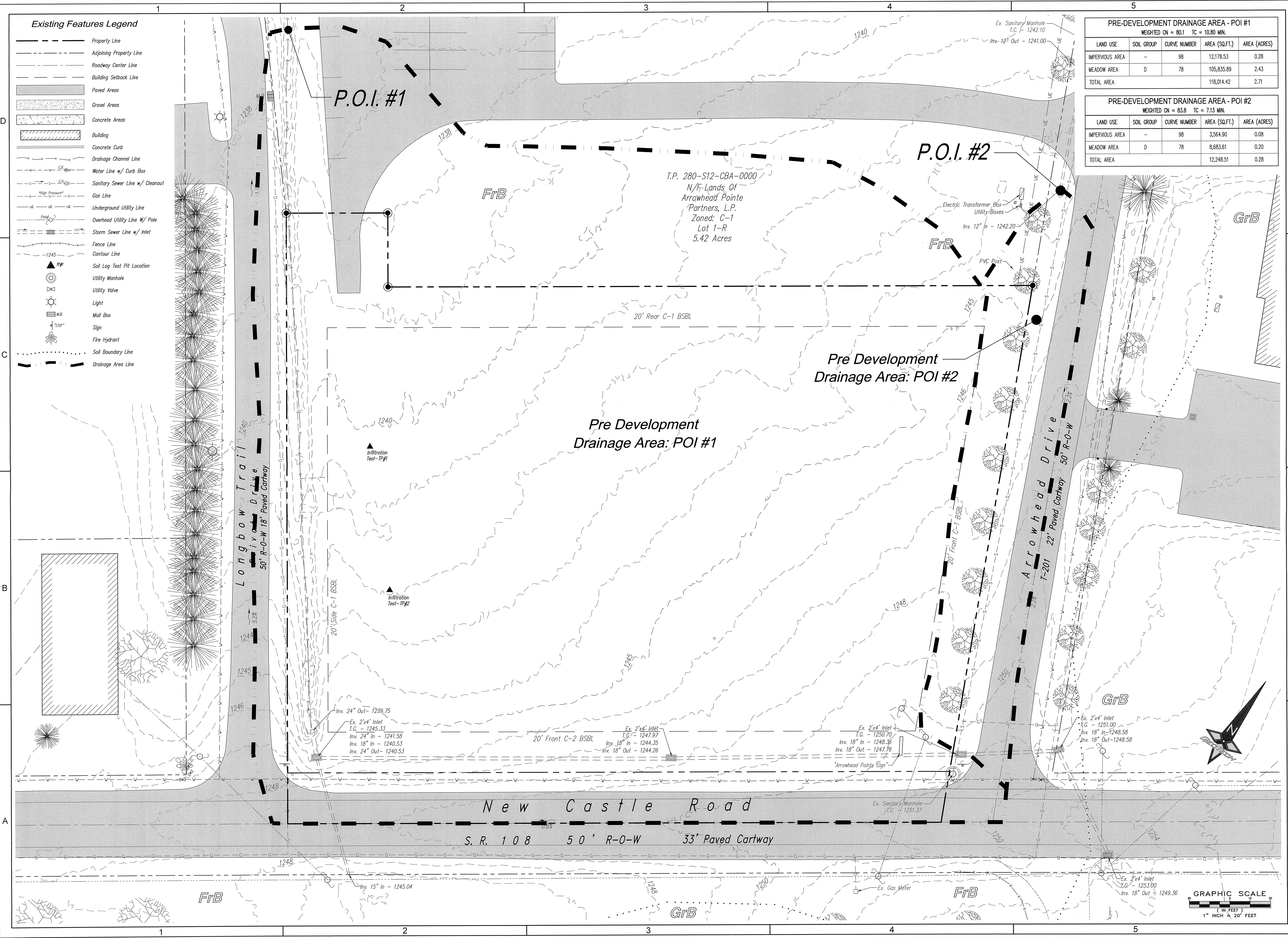
GeoTech Engineering, Inc
Engineers, Surveyors & Geologists

Sheet Title:

**EROSION AND
SEDIMENTATION
CONTROL PLAN**

Sheet Number:

C3.00



Existing Features Legend

- Property Line
- Adjoining Property Line
- Roadway Center Line
- Building Setback Line
- Paved Areas
- Gravel Areas
- Concrete Areas
- Building
- Concrete Curb
- Drainage Channel Line
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- Soil Log Test Pit Location
- Utility Manhole
- Utility Valve
- Light
- Mail Box
- Sign
- Fire Hydrant
- Soil Boundary Line
- Drainage Area Line

PRE-DEVELOPMENT DRAINAGE AREA - POI #1				
WEIGHTED CN = 80.1 TC = 10.80 MIN.				
LAND USE	SOIL GROUP	CURVE NUMBER	AREA (SQ.FT.)	AREA (ACRES)
IMPERVIOUS AREA	-	98	12,178.53	0.28
MEADOW AREA	D	78	105,635.89	2.43
TOTAL AREA			118,014.42	2.71

PRE-DEVELOPMENT DRAINAGE AREA - POI #2				
WEIGHTED CN = 83.8 TC = 7.13 MIN.				
LAND USE	SOIL GROUP	CURVE NUMBER	AREA (SQ.FT.)	AREA (ACRES)
IMPERVIOUS AREA	-	98	3,564.90	0.08
MEADOW AREA	D	78	8,683.61	0.20
TOTAL AREA			12,248.51	0.28

GET
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Project Name:
SRU
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**PROPOSED
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LOCATION**
Location:
Slippery Rock Township
Butler County, PA
Owner / Developer:
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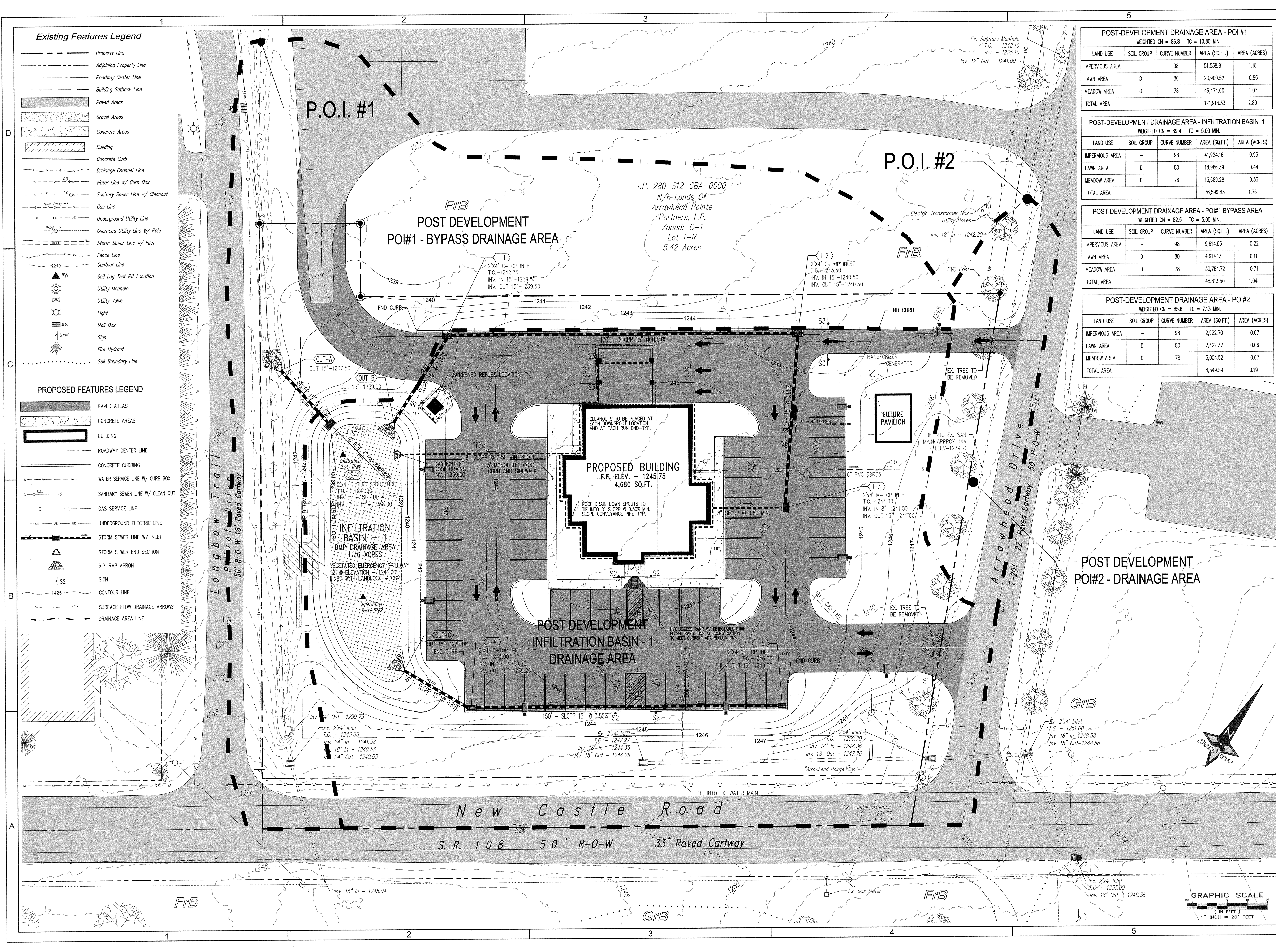
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Datum projection utilized:
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Rev.	Date	Description
Issue:	APRIL 25, 2019	
Project No:	938-001	
Scale:	1" = 20'	
Drawn By:	MSK	
Checked By:	JLS	

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Sheet Title:
**PRE-DEVELOPMENT
DRAINAGE AREA**

Sheet Number:
C4.00



POST-DEVELOPMENT DRAINAGE AREA - POI #1				
WEIGHTED CN = 86.8 TC = 10.80 MIN.				
LAND USE	SOIL GROUP	CURVE NUMBER	AREA (SQ.FT.)	AREA (ACRES)
IMPERVIOUS AREA	-	98	51,538.81	1.18
LAWN AREA	D	80	23,900.52	0.55
MEADOW AREA	D	78	46,474.00	1.07
TOTAL AREA			121,913.33	2.80

POST-DEVELOPMENT DRAINAGE AREA - INFILTRATION BASIN 1				
WEIGHTED CN = 89.4 TC = 5.00 MIN.				
LAND USE	SOIL GROUP	CURVE NUMBER	AREA (SQ.FT.)	AREA (ACRES)
IMPERVIOUS AREA	-	98	41,924.16	0.96
LAWN AREA	D	80	18,986.39	0.44
MEADOW AREA	D	78	15,689.28	0.36
TOTAL AREA			76,599.83	1.76

POST-DEVELOPMENT DRAINAGE AREA - POI#1 BYPASS AREA				
WEIGHTED CN = 82.5 TC = 5.00 MIN.				
LAND USE	SOIL GROUP	CURVE NUMBER	AREA (SQ.FT.)	AREA (ACRES)
IMPERVIOUS AREA	-	98	9,614.65	0.22
LAWN AREA	D	80	4,914.13	0.11
MEADOW AREA	D	78	30,784.72	0.71
TOTAL AREA			45,313.50	1.04

POST-DEVELOPMENT DRAINAGE AREA - POI#2				
WEIGHTED CN = 85.6 TC = 7.13 MIN.				
LAND USE	SOIL GROUP	CURVE NUMBER	AREA (SQ.FT.)	AREA (ACRES)
IMPERVIOUS AREA	-	98	2,922.70	0.07
LAWN AREA	D	80	2,422.37	0.06
MEADOW AREA	D	78	3,004.52	0.07
TOTAL AREA			8,349.59	0.19



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Project Name:



SRU
FEDERAL CREDIT UNION

PROPOSED
ARROWHEAD DRIVE
LOCATION

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Butler County, PA

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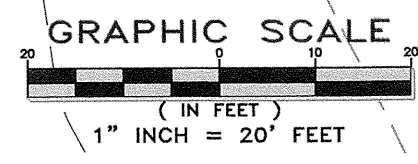
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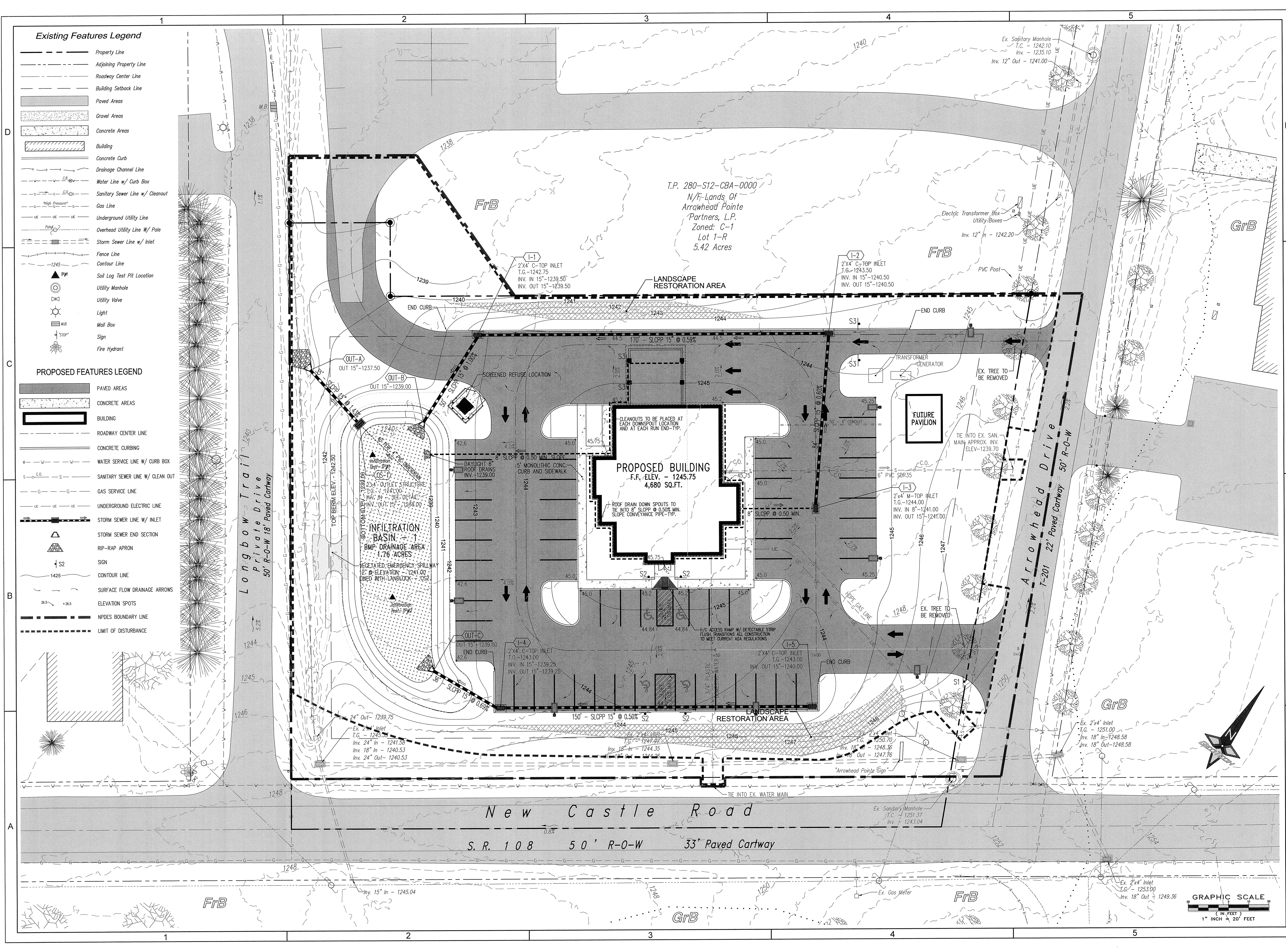
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Sheet Title:
POST-DEVELOPMENT
DRAINAGE AREA

Sheet Number:
C4.01





- Existing Features Legend**
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 - LIMIT OF DISTURBANCE

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Project Name:

SRU
FEDERAL CREDIT UNION

**PROPOSED
ARROWHEAD DRIVE
LOCATION**

Location:
Slippery Rock Township
Butler County, PA

Owner / Developer:
Slippery Rock University
Federal Credit Union
235 Grove City Road
Slippery Rock, PA 16057
Phone: (724) 794-6292
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PLAN BOOK	PAGE
384	29

Datum projection utilized:
NAD 83 PA South Zone and
measured in U.S. Survey feet.

1	05/15/19	Township Comments
Rev.	Date	Description

Issue: **APRIL 25, 2019**

Project No: 938-001

Scale: 1" = 20'

Drawn By: MSK

Checked By: JLS

GeoTech Engineering, Inc
Engineers, Surveyors & Geologists

Sheet Title:
**POST CONSTRUCTION
STORMWATER
MANAGEMENT PLAN**

Sheet Number:
C4.02

STANDARD EROSION AND SEDIMENTATION CONTROL NOTES

- A COPY OF THE APPROVED DRAWINGS (STAMPED SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES (INCLUDING CLEARING AND GRUBBING), THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN PREPARER, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM, INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY DEP PRIOR TO IMPLEMENTATION.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMP'S SPECIFIED BY THE CONSTRUCTION SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS DOCUMENT.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FLAGGED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2H:1V OR FLATTER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BMP'S TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF DEP.
- ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE. UNUSED BUILDING MATERIALS SHALL NOT BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR DEP FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- UNTIL THE SITE IS STABILIZED, ALL E&S BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL E&S BMP'S AFTER EACH RAIN RUNOFF EVENT AND OTHER WEATHER EVENTS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANUP, REPAIR, REPLACEMENT, REGARDING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF E&S BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- A LOG SHOWING DATES THAT E&S BMP'S WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED MUST BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORKDAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMP'S SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
- AREAS, WHICH ARE TO BE TOPSOILED, SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 4 INCHES PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- E&S BMP'S MUST REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR DEP.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMP'S.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY E&S BMP'S MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMP'S. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMP'S MUST BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS SHOULD BE DONE ONLY DURING THE GERMINATING SEASON.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
- FAILURE TO CORRECTLY INSTALL E&S BMP'S, FAILURE TO PREVENT SEDIMENT-LOADED RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMP'S MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.

TOPSOIL APPLICATION

GRADED AREAS SHOULD BE SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREAS AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN THE SLOPE.

TOPSOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A DEPTH OF 4 TO 8 INCHES MINIMUM - 2 INCHES ON FILL OUTSLOPES. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE. IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOIL PLACEMENT SHOULD BE CORRECTED IN ORDER TO PREVENT FORMATION OF DEPRESSIONS UNLESS SUCH DEPRESSIONS ARE PART OF THE PCSM PLAN.

TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION. COMPACTED SOILS SHOULD BE SCARIFIED 6 TO 12 INCHES ALONG CONTOUR WHEREVER POSSIBLE PRIOR TO SEEDING.

NON-GERMINATING PERIOD STABILIZATION

WHEN FINAL GRADE IS ACHIEVED DURING NON-GERMINATING MONTHS, THE AREA SHALL BE MULCHED ACCORDING TO THE MULCHING APPLICATION TABLE. UNTIL THE BEGINNING OF THE NEXT PLANTING SEASON, THE AREA WILL NOT BE CONSIDERED STABILIZED UNTIL A MINIMUM UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES HAS BEEN ACHIEVED. CRITICAL AREAS, ERODIBLE SOILS, WITHIN 50 FEET OF A SURFACE WATER, ETO SHOULD BE BLANKETED. TEMPORARY EROSION CONTROL BMP'S THAT WERE INSTALLED FOR THE EARTHMOVING PHASE OF THE PROJECT MUST REMAIN IN PLACE DURING THIS TIME, UNTIL PERMANENT STABILIZATION IS ACHIEVED.

CONSTRUCTION SEQUENCE

DESCRIBED BELOW ARE THE MAJOR CONSTRUCTION ACTIVITIES THAT ARE THE SUBJECT OF THE EROSION AND SEDIMENTATION POLLUTION CONTROL PLAN. THEY ARE PRESENTED IN THE ORDER (OR SEQUENCE) THAT THEY ARE EXPECTED TO BEGIN, BUT EACH ACTIVITY WILL NOT NECESSARILY BE COMPLETED BEFORE THE NEXT BEGINS. ALSO, THESE ACTIVITIES COULD OCCUR IN A DIFFERENT ORDER IF NECESSARY TO MAINTAIN ADEQUATE EROSION AND SEDIMENT CONTROL. THE COUNTY CONSERVATION DISTRICT MUST APPROVE DEVIATIONS FROM THE APPROVED PLAN AND CONSTRUCTION SEQUENCE.

A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.

AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND A REPRESENTATIVE OF THE APPLICABLE COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.

AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR LOCATION OF EXISTING UNDERGROUND UTILITIES.

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

- INSTALL THE CONSTRUCTION ENTRANCE WHERE INDICATED, MAINTAIN ACCORDING TO PLAN REQUIREMENTS. NO CONSTRUCTION VEHICLES ARE PERMITTED TO LEAVE THE SITE OTHER THAN OVER THE ROCK CONSTRUCTION ENTRANCE.
- FLAG THE LIMIT OF DISTURBANCE WITH CONVENTIONAL SURVEY EQUIPMENT. NO EARTH DISTURBANCE ACTIVITIES SHALL BE CONDUCTED OUTSIDE OF THIS AREA. CLEARING AND GRUBBING ACTIVITIES INCLUDING TOPSOIL REMOVAL SHALL BE LIMITED TO AREAS WITHIN THIS BOUNDARY AND IN SOME CASES LIMITED TO THE TASK AS SEQUENCED. THE LIMIT OF DISTURBANCE HAS BEEN EXTENDED BEYOND THE BMP'S TO ALLOW SUFFICIENT ACCESS FOR MAINTENANCE. THE CONTRACTOR SHALL KEEP SUFFICIENT ACCESS TO THE BMP'S AT ALL TIMES.
- INSTALL COMPOST FILTER SOCK (FS-1 THROUGH FS-4) AT THE LOCATIONS SHOWN ON PLAN SHEET C3.00. THE PROPOSED ROCK FILTERS (RF-1 AND RF-2) SHALL ALSO BE INSTALLED IN THE EXISTING CHANNEL LOCATED AT THE WESTERN PORTION OF THE SITE.
- UPON INSTALLATION OF THE COMPOST FILTER SOCK AND ROCK FILTERS, TOPSOIL FROM THE AREA OF THE PROPOSED INFILTRATION BASIN SHALL BE STRIPPED AND PLACED IN THE TOPSOIL STOCKPILE AREA(S) SHOWN ON PLAN SHEET C3.00. COMPOST FILTER SOCK SHALL BE PLACED BELOW THE TOPSOIL STOCKPILE (S) AS SHOWN. THE CONTRACTOR SHALL TEMPORARILY SEED AND MULCH THE TOPSOIL STOCKPILES IF THEY ARE TO REMAIN UNTOUCHED FOR A PERIOD OF TIME OF FOUR (4) DAYS OR LONGER.

*5. ONCE TOPSOIL IS STRIPPED, BEGIN CONSTRUCTION OF INFILTRATION BASIN -1. THE PROPOSED OUTLET STRUCTURE AND PIPING AS WELL AS THE EMERGENCY SPILLWAY SHALL BE INSTALLED AS GRADE ALLOWS. THE EMERGENCY SPILLWAY SHALL BE IMMEDIATELY STABILIZED WITH SEEDING AND EROSION CONTROL BLANKET. THE PROPOSED BASIN IS NOT TO BE UTILIZED AS A SEDIMENT TRAP AND SHALL BE PROTECTED FROM COMPACTION AND STABILIZED IMMEDIATELY UPON COMPLETION PRIOR TO CONVEYING ANY RUNOFF TO IT. COMPOST FILTER SOCK (FS-6) SHALL BE INSTALLED TO PROTECT THE BASIN FROM SEDIMENT LOADED RUNOFF.

6. TOPSOIL FROM THE REMAINING PORTIONS OF THE SITE SHALL THEN BE STRIPPED AND PLACED IN THE TOPSOIL STOCKPILE AREA(S). ONCE TOPSOIL IS STRIPPED, ROUGH GRADING OF THE PROJECT SITE SHALL COMMENCE. THE CONTRACTOR SHALL INSTALL COMPOST FILTER SOCK (FS-5) AS GRADE ACCOMMODATES. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO THE E&S BMP'S AT ALL TIMES.

7. BUILDING CONSTRUCTION SHALL COMMENCE AS GRADE ACCOMMODATES. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TO THE INSTALLED E&S CONTROLS AT ALL TIMES. MATERIAL IMPORTED FOR BUILDING PAD AND FOOTER CONSTRUCTION SHALL COME FROM AN AUTHORIZED SITE. BUILDING UTILITIES SHALL BE INSTALLED AS CONSTRUCTION CONTINUES. THE TRENCHING GUIDELINES OUTLINED SHALL BE FOLLOWED DURING UTILITY LINE INSTALLATION.

*8. AS GRADE ACCOMMODATES, THE UNDERGROUND STORMWATER PIPING AND INLETS SHALL BE INSTALLED. INSTALLATION SHALL BEGIN AT THE DOWN-GRADIENT PORTION OF THE SYSTEM AND CONTINUE UP-GRADIENT. INLET PROTECTION SHALL BE PLACED IMMEDIATELY UPON INSTALLATION OF THE PROPOSED INLETS (I-1, I-2, I-3, I-4, AND I-5).

*9. AS BUILDING CONSTRUCTION CONTINUES AND THE ROOF AREA IS COMPLETED, THE CONTRACTOR SHALL TIE THE ROOF DRAINS FROM THE PROPOSED BUILDING INTO THE PROPOSED UNDERGROUND CONVEYANCE SYSTEM AND/OR OUTLET INTO THE CONSTRUCTED INFILTRATION BASIN AS SHOWN.

10. PRIOR TO POURING CONCRETE ON-SITE, THE PROPOSED COMPOST SOCK CONCRETE WASHOUT FACILITY SHALL BE INSTALLED AT THE LOCATION SHOWN ON THE PLAN SET. ALL CONCRETE TRUCKS SHALL BE WASHED OUT PER THE DETAIL AND NOTES AS SPECIFIED.

11. ANY WATER THAT IS PUMPED FROM THE CONSTRUCTION SITE SHALL BE TREATED FOR SEDIMENT REMOVAL PRIOR TO DISCHARGING TO A SURFACE WATER. THE PUMPED WATER FILTER BAG DETAIL AND NOTES SHALL BE FOLLOWED FOR ANY PUMPING OPERATIONS ON-SITE.

12. ONCE FINE GRADING OF THE PARKING/ACCESS AREA IS COMPLETE, AND THE UNDERGROUND STORMWATER CONVEYANCE SYSTEM AND UTILITIES ARE INSTALLED, THE AREAS DEPICTED ON THE PLAN SET SHALL BE PAVED AND/OR CONCRETED. THE CONTRACTOR SHALL ENSURE PROPER DRAINAGE TO THE CONSTRUCTED STORMWATER CONVEYANCE BMP'S AND/OR SHEET FLOW AS DESIGNED. THE ROCK CONSTRUCTION ENTRANCE SHALL BE REMOVED PRIOR TO PAVING THE ENTRANCE.

13. ACCORDING TO THE E&SPC MANUAL, IN ORDER TO MINIMIZE DISTURBED AREAS, PREPARATIONS SHOULD BE MADE FOR SEEDING AND MULCHING TO BEGIN. IN NO CASE SHOULD AN AREA EXCEEDING 15,000 SQUARE FEET, WHICH IS TO BE STABILIZED BY VEGETATION, REACH FINAL GRADE WITHOUT BEING SEEDED AND MULCHED.

14. ONCE ANY PORTION OF THE SITE REACHES FINAL GRADE, THE CONTRACTOR SHALL SEED AND MULCH ANY AREAS THAT ARE PROPOSED TO BE MEADOW OR LAWN (EROSION CONTROL BLANKET SHALL BE PLACED ON THE AREAS SHOWN ON PLAN SHEET C3.00) AND ALL AREAS THAT WILL REMAIN DISTURBED FOR A PERIOD OF TIME OF FOUR (4) DAYS OR LONGER (SEE GENERAL E&S NOTES). THE CONTRACTOR SHALL FOLLOW THE TOPSOIL APPLICATION SPECIFICATIONS OUTLINED IN THE PLAN FOR AREAS PROPOSED TO BE VEGETATED. THE SEEDING AND MULCHING SCHEDULE SHALL BE FOLLOWED FOR ALL STABILIZATION ACTIVITIES ON-SITE.

15. ALL AREAS NOT STABILIZED BY GRAVEL OR ASPHALT SHALL HAVE A **MINIMUM 70% VEGETATIVE COVER OR EROSION RESISTANT PERENNIAL SPECIES** ESTABLISHED IN ALL TRIBUTARY AREAS BEFORE E&S BMP'S ARE REMOVED. MAINTAIN EROSION AND SEDIMENTATION CONTROL DEVICES UNTIL DECLARED SATISFACTORY BY THE ENGINEER AND COUNTY CONSERVATION DISTRICT/ PA DEP.

16. UPON OBTAINING SATISFACTORY VEGETATIVE COVER OR EROSION RESISTANT PERENNIAL, THE TEMPORARY E&S BMP'S CAN BE REMOVED. THE CONSTRUCTION ENTRANCES SHALL BE REMOVED PRIOR TO PAVING. THE COMPOST FILTER SOCK SHALL HAVE THE STRAKES REMOVED, AND MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT. EROSION CONTROL BLANKETING IS BIODEGRADABLE AND SHALL REMAIN IN PLACE. THE INLET FILTER BAGS SHALL BE REMOVED FROM THE INLETS AND DISPOSED OF PROPERLY.

* * A LICENSED PROFESSIONAL OR A DESIGNEE SHALL BE PRESENT ONSITE AND BE RESPONSIBLE DURING THIS STAGE OF CONSTRUCTION TO ENSURE PROPER INSTALLATION/CONSTRUCTION OF THE POST CONSTRUCTION STORMWATER MANAGEMENT BMP'S FOR THE SITE.

SYMBOL	NAME	SLOPE (%)	CAPABILITY SUB-CLASS	HYDROLOGIC SUB-GROUP	DEPTH TO BEDROCK	DEPTH TO SEASONAL HIGH WATER TABLE	PROFILE PERMEABILITY
FrB	Frentchtown Silt Loam	3-8	IVw	D	18-38 in.	0-10 in.	Poor
CAPABILITY / SUBCLASS CLASSIFICATION							
I. SOILS HAVE FEW LIMITATIONS THAT RESTRICT THEIR USE							
II. SOILS HAVE MODERATE LIMITATIONS THAT REDUCE THE CHOICE OF PLANTS OR THAT REQUIRE MODERATE CONSERVATION PRACTICES							
III. SOILS HAVE SEVERE LIMITATIONS THAT REDUCE THE CHOICE OF PLANTS OR THAT REQUIRE SPECIAL CONSERVATION PRACTICES OR BOTH							
IV. SOILS HAVE VERY SEVERE LIMITATIONS THAT MAKE THEM UNSUITED FOR CULTIVATION AND THAT RESTRICT THEIR USE LARGELY TO PASTURE, WOOLAND, OR WILDLIFE HABITAT							
V. SOILS HAVE LITTLE OR NO HAZARD OF EROSION BUT HAVE OTHER LIMITATIONS, IMPRACTICAL TO REMOVE, THAT LIMIT THEIR USE MAINLY TO PASTURE, RANGE, FORESTLAND, OR WILDLIFE FOOD AND COVER							
VI. SOILS HAVE SEVERE LIMITATIONS THAT MAKE THEM GENERALLY UNSUITED TO CULTIVATION AND THAT LIMIT THEIR USE MAINLY TO PASTURE, RANGE, FORESTLAND, OR WILDLIFE FOOD AND COVER							
VII. SOILS HAVE VERY SEVERE LIMITATIONS THAT MAKE THEM UNSUITED TO CULTIVATION AND THAT RESTRICT THEIR USE MAINLY TO GRAZING, FORESTLAND, OR WILDLIFE							
a- MAIN RISK IS EROSION							
w- WATER INTERFERES WITH PLANT GROWTH OR CULTIVATION							
s- LIMITED BECAUSE IT IS SHALLOW, DROUGHTY, OR STONY							

SOILS TABLE

ACCELERATED EROSION CONTROL

THIS PLAN SHALL NOT BE CONSIDERED ALL-INCLUSIVE AND THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.

ANY TOPSOIL STOCKPILES, EXCESS EXCAVATION STOCKPILES AND ANY GRADED AREA ON WHICH WORK CEASES FOR FOUR (4) OR MORE DAYS SHALL HAVE INTERIM SOIL EROSION AND SEDIMENTATION CONTROL MEASURES PERFORMED ON THEM. THESE MEASURES CONSIST OF TEMPORARY SEEDING AND MULCHING OF THE STOCKPILES AND THE INSTALLATION OF SILT FENCE.

ALL AREAS NOT TO BE PAVED SHALL BE STABILIZED BY APPLYING FINAL SEED MIXTURE AND MULCHING AS SOON AS PRACTICAL AFTER FINAL GRADING OR FINAL EARTHMOVING IS COMPLETE. ALL AREAS TO BE PAVED WILL HAVE STONE SUBBASE APPLIED AS SOON AS POSSIBLE AFTER REACHING FINAL GRADE. THE PERMANENT VEGETATIVE COVER SHALL BE ACCOMPLISHED WITHIN 10 DAYS AFTER FINAL GRADING OPERATIONS HAVE BEEN COMPLETED.

ENVIRONMENTAL DUE DILIGENCE ANALYSIS

AN ENVIRONMENTAL DUE DILIGENCE ANALYSIS WAS PERFORMED TO ENSURE THAT NO GEOLOGIC OR SOIL CONDITIONS EXISTED ON-SITE WHICH COULD CAUSE POLLUTION DURING ANY EARTHWORK OR CONSTRUCTION ACTIVITIES. THIS ANALYSIS INCLUDED THE VISUAL INSPECTION OF THE SITE AND SURROUNDING AREAS FOR INDICATORS OF ACID MINE DRAINAGE. THE SITE ANALYSIS REVEALED NO INDICATION OF GEOLOGIC OR SOIL CONDITIONS BEING PRESENT WHICH ARE KNOWN TO CAUSE POLLUTION.

BASED ON THE SITE ANALYSIS, POLLUTION FORMING MATERIALS ARE NOT EXPECTED TO BE ENCOUNTERED ON-SITE. UPON COMMENCEMENT OF EARTHMOVING ACTIVITIES ON-SITE, IF MATERIAL IS ENCOUNTERED WHICH MAY CAUSE POLLUTION, EARTHWORK ACTIVITIES SHALL BE HALTED UNTIL A DETERMINATION IS MADE ON-SITE FOR PROPER HANDLING AND/OR DISPOSAL OF THE MATERIALS. HANDLING AND/OR DISPOSAL TECHNIQUES MAY INCLUDE BUT ARE NOT LIMITED TO: EXCAVATION AND HAULING, ISOLATION OF CONTAMINANTS THROUGH APPROPRIATE CAPPING AND/OR ENGINEERING CONTROLS, VAPOR BARRIERS, BLENDING OF SOILS, MONITORED NATURAL ATTENUATION, AND PUMP AND TREAT. ALL HANDLING AND/OR DISPOSAL ACTIVITIES SHALL COMPLY WITH THE APPLICABLE CHAPTERS OF TITLE 25 PA CODE.

UTILITY LINE INSTALLATION PROCEDURES

THE LENGTH OF RIGHT-OF-WAY DISTURBED AT ANY ONE TIME SHOULD BE THE MINIMUM REQUIRED TO EFFICIENTLY CONSTRUCT THE PROPOSED UTILITY LINE. UTILITY LINES WITH JOINTS THAT ALLOW A MANUFACTURED LENGTH OF PIPE TO BE PLACED IN THE TRENCH WITH THE PIPE JOINT ASSEMBLY MADE IN THE TRENCH REQUIRE AN OPEN TRENCH THAT IS ONLY SLIGHTLY LONGER THAN THE LENGTH OF PIPE BEING INSTALLED. THE TOTAL LENGTH OF EXCAVATED TRENCH OPEN AT ANY ONE TIME SHOULD NOT BE GREATER THAN THE TOTAL LENGTH OF UTILITY LINE THAT CAN BE PLACED IN THE TRENCH AND BACK-FILLED IN ONE WORKING DAY. NO MORE THAN 50 LINEAL FEET OF OPEN TRENCH SHOULD EXIST WHEN UTILITY LINE INSTALLATION CEASES AT THE END OF THE WORKDAY. SOIL SUPPLEMENTS, SEED AND MULCH MUST BE APPLIED ACCORDING TO 25 PA CODE 102.22.

STEEL PIPELINES WITH WELDED JOINTS TYPICALLY REQUIRE A RELATIVELY LONG OPEN TRENCH. FOR SUCH INSTALLATIONS, THE LENGTH OF TIME REQUIRED FOR OPEN TRENCH OPERATIONS AT ANY STATION ALONG THE TRENCH SHOULD BE THE MINIMUM TIME NECESSARY TO EFFICIENTLY EXCAVATE THE TRENCH, INSTALL THE UTILITY, BACKFILL THE TRENCH, AND BEGIN STABILIZATION OF THE DISTURBED AREAS.

RECYCLING & DISPOSAL OF MATERIALS/FILL MATERIALS

CONTRACTOR MUST ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDE, BUT ARE NOT LIMITED TO EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHOULD BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHERE POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL.

THE CONTRACTOR SHALL USE ENVIRONMENTAL DUE DILIGENCE TO ENSURE THAT THE FILL MATERIAL ASSOCIATED WITH THIS PROJECT (IF ANY) QUALIFIES AS CLEAN FILL MATERIAL. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ANY REQUIRED PERMITS.

CLEAN FILL SHALL BE DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THIS TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT ARE SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THIS TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ALPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)

ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUE, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.

MULCHING NOTES

- STRAW SHALL BE UNROTTED, SMALL, GRAIN FREE OF ALL KINDS OF WEEDS AND PROHIBITIVE NOXIOUS WEEDS SUCH AS: THISTLES, JOHNSONGRASS AND QUACKGRASS.
- WOOD CELLULOSE SHALL BE GREEN DYED AND AIR-DRIED WOOD CELLULOSID FIBERS, CONTAINING NO GROWTH OR GERMINATION INHIBITING SUBSTANCES, IN PACKAGES NOT EXCEEDING ONE HUNDRED POUNDS NET WEIGHT SHOWN ON PACKAGE AND MEETING THE FOLLOWING:
 - MOISTURE CONTENT: 14% +/- 3%
 - ORGANIC MATTER (OVEN DRIED BASIS): 98.6 +/- 0.2%
 - ASH CONTENT: 1.4% +/- 0.2%
 - WATER HOLDING CAPACITY: 1000% MINIMUM
- SHREDDED BARK SHALL BE SUITABLE FIBROUS GROUND, SHREDDED OR CHUNKS, AGED HARDWOOD BARK, FREE FROM VIABLE, NOXIOUS WEED SEEDS AND INSECT LIFE NOT DECOMPOSED AND BETWEEN 1/4" AND 2" IN DIMENSION
- A. EMULSIFIED ASPHALT SHALL CONFORM TO PADOT STANDARDS CONTAINING NO SOLVENTS OR DILUTING AGENTS TOXIC TO PLANT LIFE AND NOT MORE THAN 0.75% OF SAPONIFIABLE ACIDS.
- B. CUTBACK ASPHALT SHALL CONFORM TO PADOT STANDARDS.
- C. NON ASPHALTIC EMULSION SHALL BE NATURAL VEGETABLE GUM BLENDED WITH JELLING AND HARDENING AGENTS (TERRA TACK AR) AS MANUFACTURED BY GRASS GROWERS COMPANY OR EQUAL.
- D. OTHER MULCH BINDERS AS APPROVED BY THE PADEP BUREAU OF LAND AND WATER CONSERVATION.

SEED TYPE	DESCRIPTION FORMULA SPECIES	% BY WEIGHT	MINIMUM %		MAX % WEED SEED	SEEDING RATE (LBS/1,000 SF)	SEEDING DATES	FERTILIZER RATE (LBS/1,000 SF)	LIME RATE (LBS/1,000 SF)	MULCH RATE (TON/ACRE)
			PURITY	GERMINATION						
TYPE 1 LAWN AREAS (PER PENN STATE SEED MIX)	PENN STATE SEED MIX "FINE FESCUES" "KENTUCKY BLUEGRASS" "PERENNIAL RYEGRASS"	40-50 40-50 10-20	95 90 95	80 80 85	0.15 0.15 0.20	4.00 4.00 4.00	3/15 - 6/1 8/1 - 10/15	10-20-20 12-16 LBS/1,000 SF	180	3
	TYPE 2 SLOPED AREAS GREATER THAN 3:1	80 40 10	99 98 98	70 90 90	0.10 0.15 0.20	0.55 0.44 0.11/1.10	3/1 - 10/15	10-20-20 12-16 LBS/1,000 SF	180	3 (1 1/2" STRAW)
	TYPE 3 TEMPORARY SEEDING	ANNUAL RYEGRASS	100	90	90	0.15	3/15 - 10/15	5-5-5 3.5 LBS/1,000 SF		3
TYPE 4 COLLECTED CHANNEL SEEDING	KENTUCKY 31 TALL FESCUE	40 40 20	98 90 98	85 85 85	0.15 0.15 0.15	2.00 2.00 2.00	3/31 - 6/15 8/16 - 9/15	10-20-20 3 LBS/1,000 SF	180	3 (1 1/2" STRAW)
	TETRAPOLOD ANNUAL RYEGRASS									
	CREeping REED FESCUE									

SEEDING SCHEDULE

MAINTENANCE SCHEDULE

THE EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL GROUND DISTURBING ACTIVITIES CEASE AND PERMANENT STABILIZATION OF DISTURBED AREAS IS COMPLETED AND ACCEPTED BY THE COUNTY CONSERVATION DISTRICT/ PA DEP. THE OWNER/CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE REQUIRED BY THE EROSION AND SEDIMENTATION CONTROL PLAN.

THE CONTRACTOR/OWNER SHALL INSPECT ALL EROSION AND SEDIMENTATION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER EACH RAINFALL OR SNOWMELT EVENT. THE CONTRACTOR/OWNER SHALL REMOVE ALL ACCUMULATED SEDIMENT WHENEVER THE LEVEL OF ACCUMULATION HAS REACHED THE CLEANOUT DEPTH OF THE SEDIMENT DEVICE OR THE SPECIFIED CLEANOUT LEVEL AS INDICATED ON THE PLANS. SEDIMENTS OBTAINED FROM SEDIMENT STRUCTURES WILL BE REMOVED AND DISPOSED OF OR UTILIZED ON-SITE IN A CONTROLLED MANNER.

IT IS A CONDITION OF NPDES PERMITS THAT A VISUAL INSPECTION IS CONDUCTED BY THE PERMITTEE AND ALL CO-PERMITTEES ON A WEEKLY BASIS AND AFTER EVERY MEASURABLE RAINFALL EVENT. FAILURE TO CONDUCT THE REQUIRED INSPECTION MAY RESULT IN PERMIT SUSPENSION OR THE IMPOSITION OF CIVIL PENALTIES. FORM 3900-FM-WM0083, INCLUDED IN APPENDIX C, FROM THE COMMONWEALTH OF PENNSYLVANIA DEP SHALL BE UTILIZED FOR THE INSPECTIONS.

WHEN THE LOOSE STONE TIRE TREAD CLEANER AT THE CONSTRUCTION ENTRANCE BECOMES CHOKED WITH SEDIMENT, THE CONTRACTOR SHALL REPLACE THE STONE OR PROVIDE ADDITIONAL TOP DRESSING OF AASHTO NO. 1 AS DIRECTED BY THE ENGINEER OR THE COUNTY CONSERVATION DISTRICT/ PA DEP. A STOCKPILE OF AASHTO NO. 1 SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE.

COMPOST FILTER SOCKS SHALL BE CLEANED OF ACCUMULATED SEDIMENT WHEN THE SEDIMENT REACHES ONE-HALF OF THE ABOVE GROUND SOCK HEIGHT. IF THE SOCK FAILS TO HOLD IN ANY WAY, THE FAILED SECTION WILL BE REPAIRED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION. PRIOR TO FINAL REMOVAL OF THE SOCKS, AND FOLLOWING STABILIZATION OF UPSLOPE DRAINAGE AREAS, THE ACCUMULATED SEDIMENTS WILL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED.

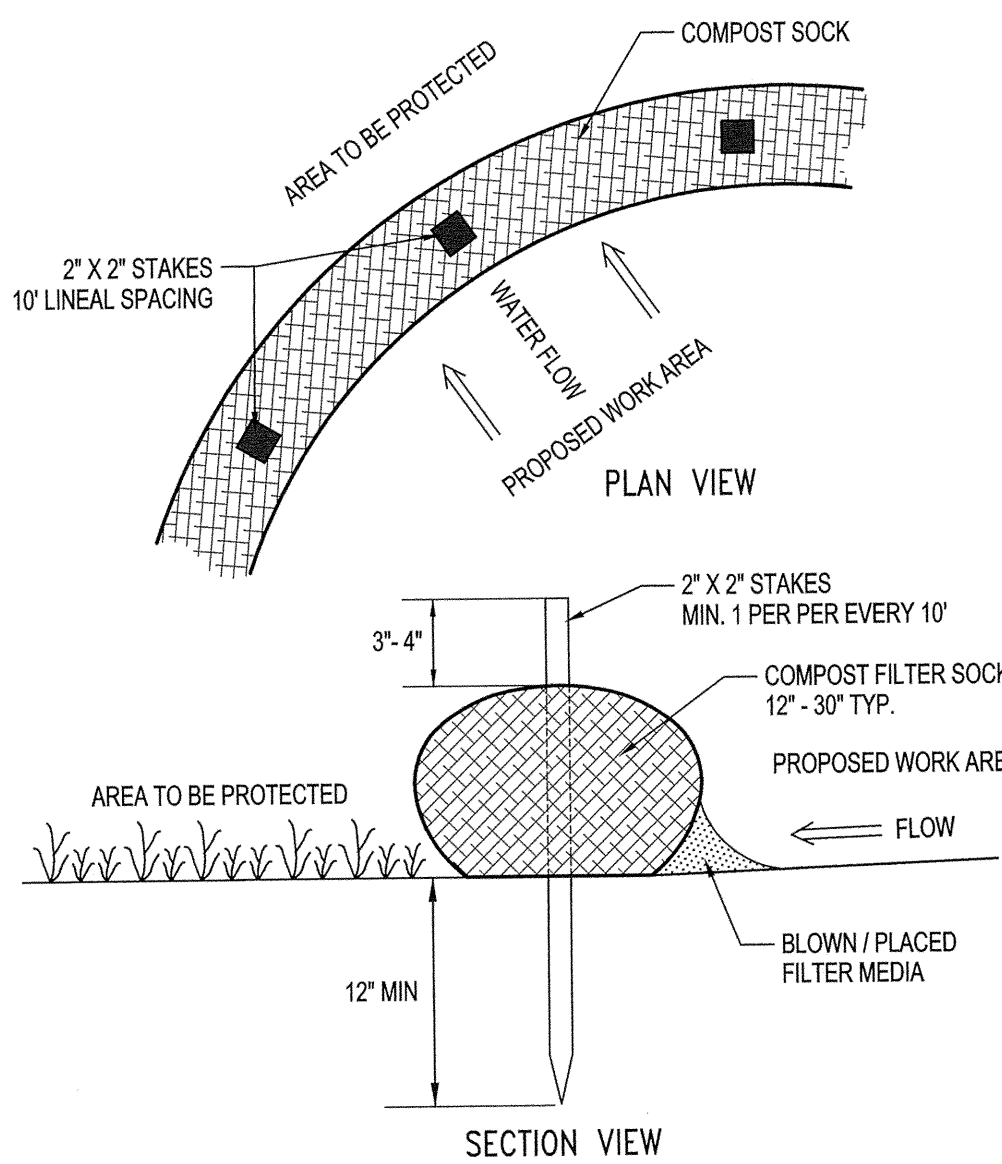
WEIGHTED SEDIMENT TUBES SHALL BE CLEANED OF ACCUMULATED SEDIMENT WHEN THE SEDIMENT REACHES ONE-HALF OF THE ABOVE GROUND TUBE HEIGHT. IF THE TUBE FAILS TO HOLD IN ANY WAY, THE FAILED SECTION WILL BE REPAIRED OR REPLACED WITHIN 24 HOURS OF INSPECTION. PRIOR TO FINAL REMOVAL OF THE TUBES, AND FOLLOWING STABILIZATION OF UPSLOPE DRAINAGE AREAS, THE ACCUMULATED SEDIMENTS WILL BE REMOVED.

ROCK FILTERS SHALL BE INSPECTED WEEKLY AND AFTER ALL STORM EVENTS THAT PRODUCE RUNOFF. CLOGGED FILTER STONE SHALL BE REPLACED WITH AASHTO #57 STONE. ANY DAMAGE AND/OR CLOGGING SHALL BE REPAIRED IMMEDIATELY AFTER INSPECTION.

THE SEDIMENT TRAPS WILL BE CLEANED OF SEDIMENT BUILDUP IF THE DEPTH OF SEDIMENT REACHES THE CLEAN-OUT ELEVATION LISTED ON THE PLANS. SEDIMENT SHOULD BE CLEANED OUT OF THE TRAP USING A BACKHOE OR GRADE-AD TO SCOOP SEDIMENT FROM THE TRAP. CLEANING SHOULD OCCUR ONLY UNDER DRY CONDITIONS. AT A MINIMUM, THE TRAP SHALL BE CLEANED EVERY SIX (6) MONTHS.

CHANNELS SHALL BE CLEANED OF ANY SEDIMENT OR OBSTRUCTIONS, WHICH COULD CLOG OR REDUCE THE FLOW AREAS. RESEED AND MULCH AS REQUIRED. ALL CHANNELS WILL BE CHECKED FOR POINTS OF SCOUR, BANK FAILURE, DEPOSITION, OR EXCESSIVE SETTLING. REPAIR ANY DAMAGES IMMEDIATELY, INCLUDING ANY FAILURE OF TEMPORARY LINING MATERIALS.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN ½ FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ONSITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION.

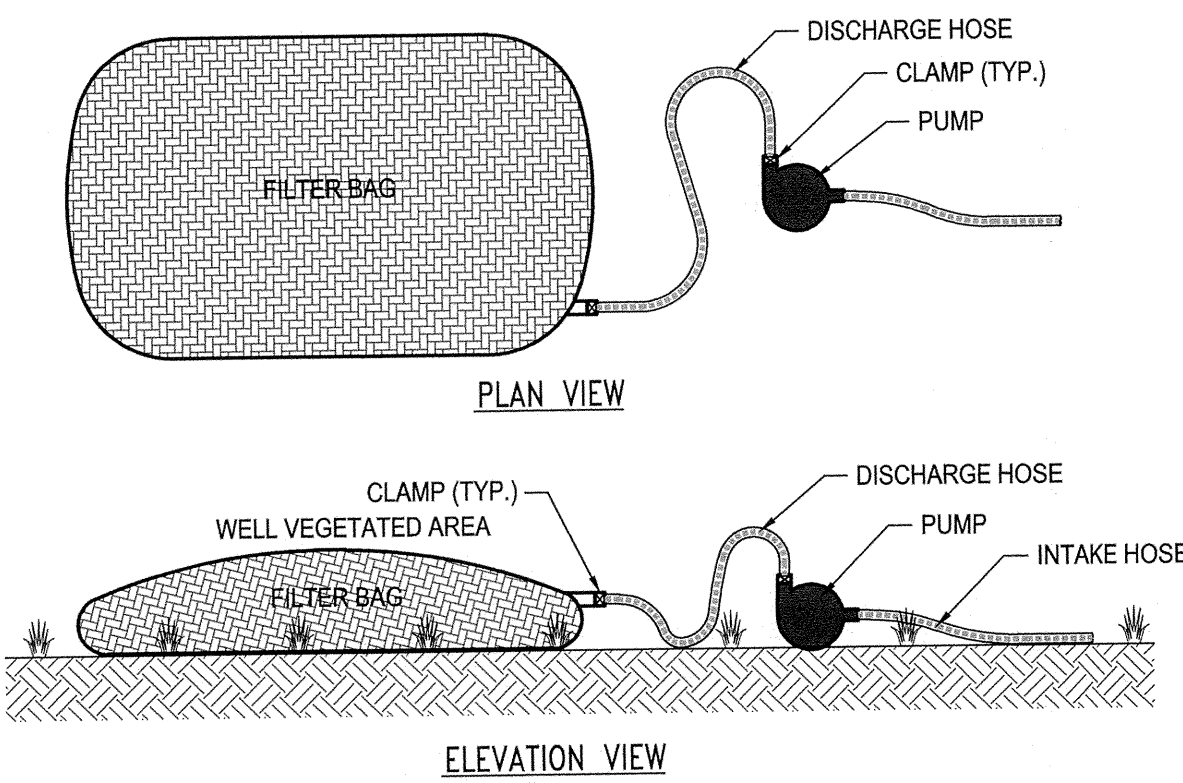


Barrier No.	Location	Slope Length Above Barrier (ft)	Slope (%)	Sock Size	Sock Length
CFS-1	SEE C3.00	7.7'	38.9%	12"	140'
CFS-2	SEE C3.00	112.0'	3.5%	12"	72'
CFS-3	SEE C3.00	136.5'	5.0%	12"	60'
CFS-4	SEE C3.00	53.8'	7.4%	12"	162'
CFS-5	SEE C3.00	58.5'	11.9%	12"	170'
CFS-6	SEE C3.00	96.6'	3.1%	12"	144'
CFS-7	SEE C3.00	-	-	12"	-

- NOTES:
1. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT.
 2. TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
 3. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE SOCK AND DISPOSED IN A MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 4. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURERS SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 5. BIODEGRADABLE FILTER SOCK SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURERS RECOMMENDATIONS.
 6. UPON STABILIZATION OF THE TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

COMPOST FILTER SOCK DETAIL

SCALE: NTS



1. FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH DOUBLE STITCHED "V" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS.
2. A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.
3. BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
4. NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK MAY BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.
5. THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER, AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.
6. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD BE FLOATING AND SCREENED.
7. FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

PUMPED WATER FILTER BAG DETAIL

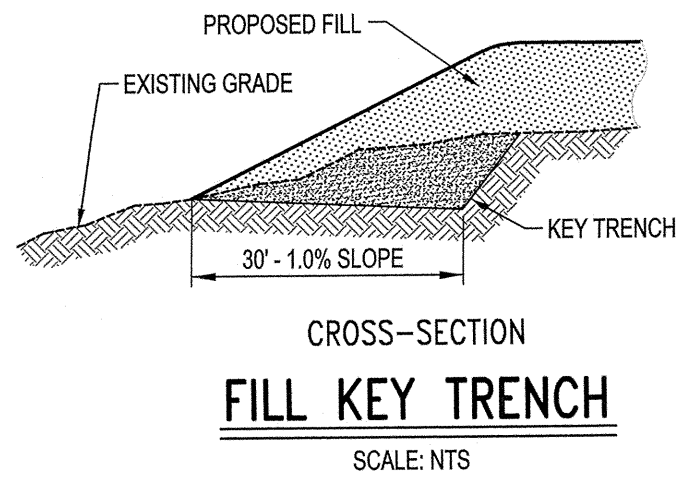
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COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS					
MATERIAL TYPE	3 MIL HDPE	5 MIL HDPE	5 MIL HDPE	MULTI-FILAMENT POLYPROPYLENE (MFPP)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMFPP)
MATERIAL CHARACTERISTICS	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	BIO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE
SOCK DIAMETERS	12", 18"	12", 18", 24", 32"	12", 18", 24", 32"	12", 18", 24", 32"	12", 18", 24", 32"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	1/8"
TENSILE STRENGTH		26 PSI	26 PSI	44 PSI	202 PSI
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1,000 HR.	23% AT 1,000 HR.		100% AT 1,000 HR.	100% AT 1,000 HR.
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEAR

TWO-PLY SYSTEMS	
INNER CONTAINMENT NETTING	HDPE BIAXIAL NET
	CONTINUOUSLY WOUND
	FUSION-WELDED JUNCTURES
OUTER FILTRATION MESH	3/4" X 3/4" MAX APERTURE SIZE
	COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER AND NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH)
	3/16" MAX APERTURE SIZE

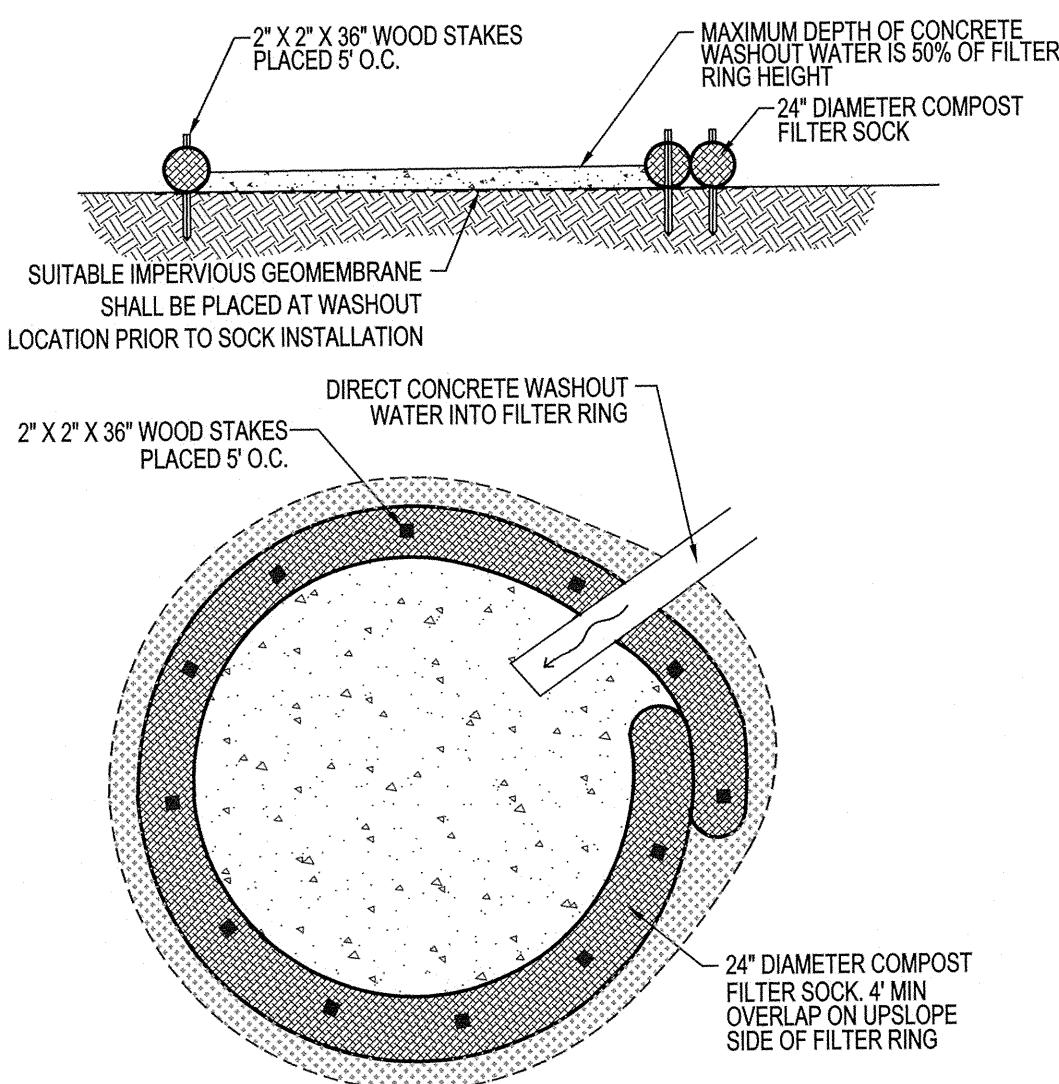
SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS

COMPOST STANDARDS	
ORGANIC MATTER CONTENT	80% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
PH	5.5 - 8.0
MOISTURE CONTENT	35% - 55%
PARTICLE SIZE	98% PASS THROUGH 1" SCREEN
SOLUBLE SALT CONCENTRATION	5.0 DSM (MMHOS/CM) MAXIMUM



FILL KEY TRENCH

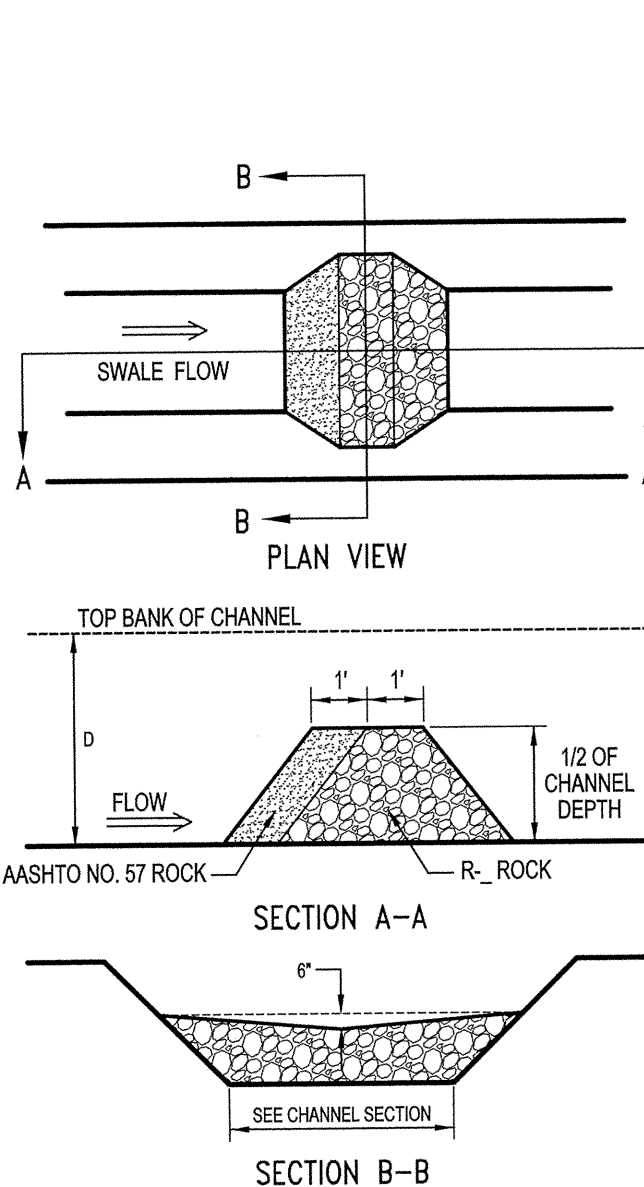
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- NOTES:
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
 2. 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.

COMPOST SOCK CONCRETE WASHOUT

SCALE: NTS

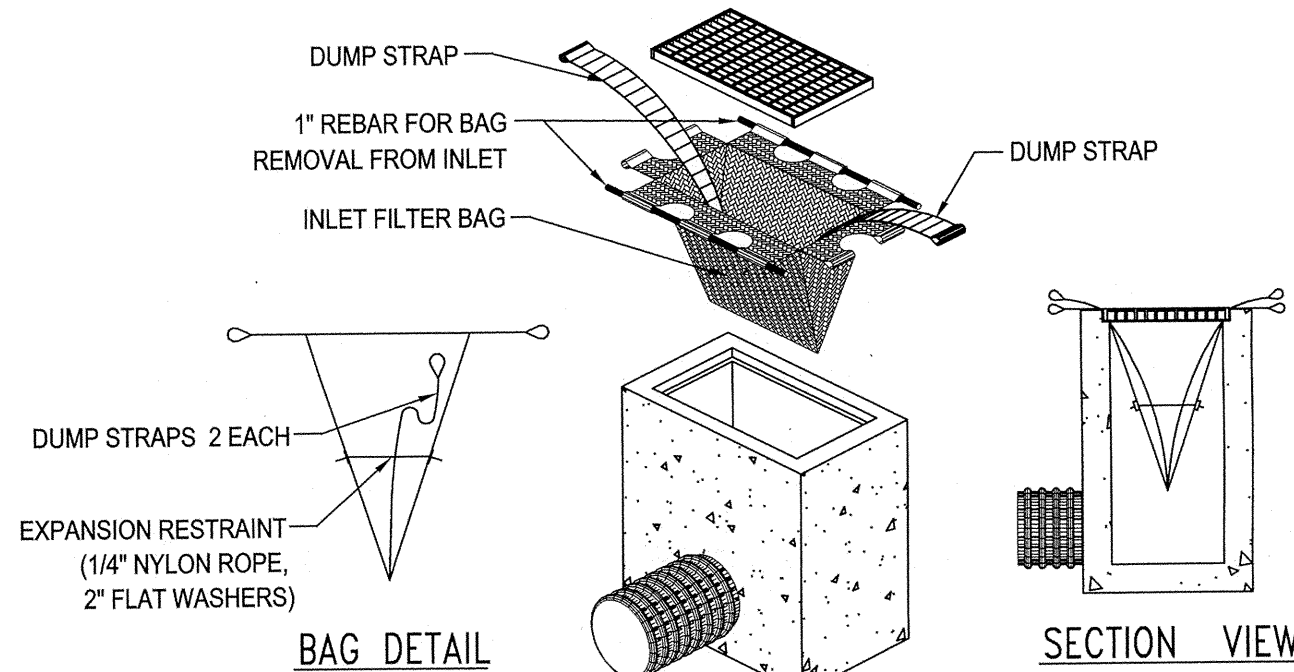


DEPTH GREATER THEN 3' - USE R-4
DEPTH FROM 2' - 3' - USE R-3
NOT APPLICABLE FOR D<2'

ROCK FILTER NO.	LOCATION	DEPTH D (FT.)	RIPRAP SIZE
RF-1	SEE C3.00	2.0	R-3
RF-2	SEE C3.00	2.0	R-3

ROCK FILTER DETAIL

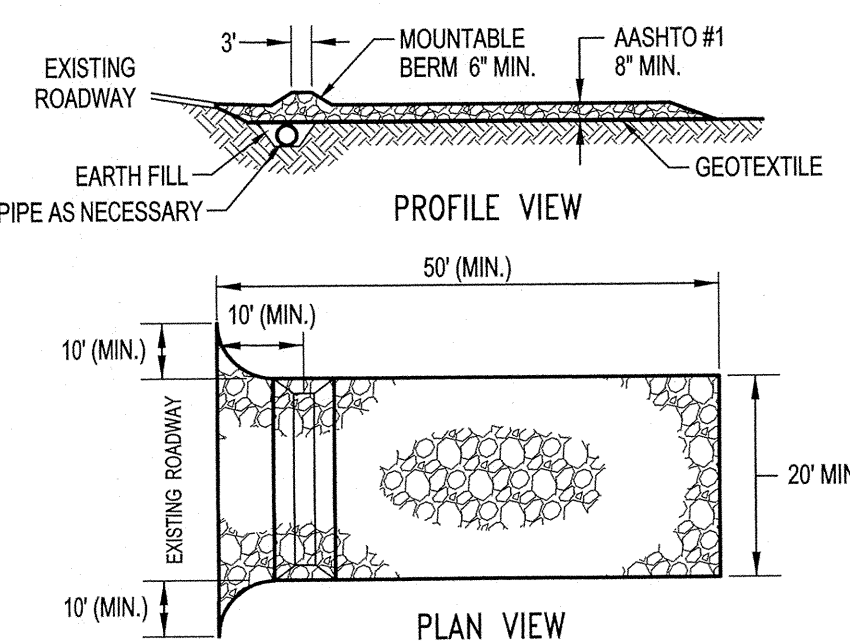
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- INLET FILTER BAG NOTES:
- FILTER BAG SHOULD TRAP PARTICLES LARGER THAN 150 MICRONS.
 - WHEREVER FILTER BAGS ARE USED THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS.
 - INLET FILTER BAGS SHOULD BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT.
 - FILTER BAGS SHOULD BE CLEANED AND/OR REPLACED WHEN BAG IS 1/2 FULL.
 - DAMAGED FILTER BAGS SHOULD BE REPLACED.
 - NEEDED REPAIRS SHOULD BE INITIATED IMMEDIATELY AFTER THE INSPECTION.

INLET FILTER BAG

SCALE: NTS

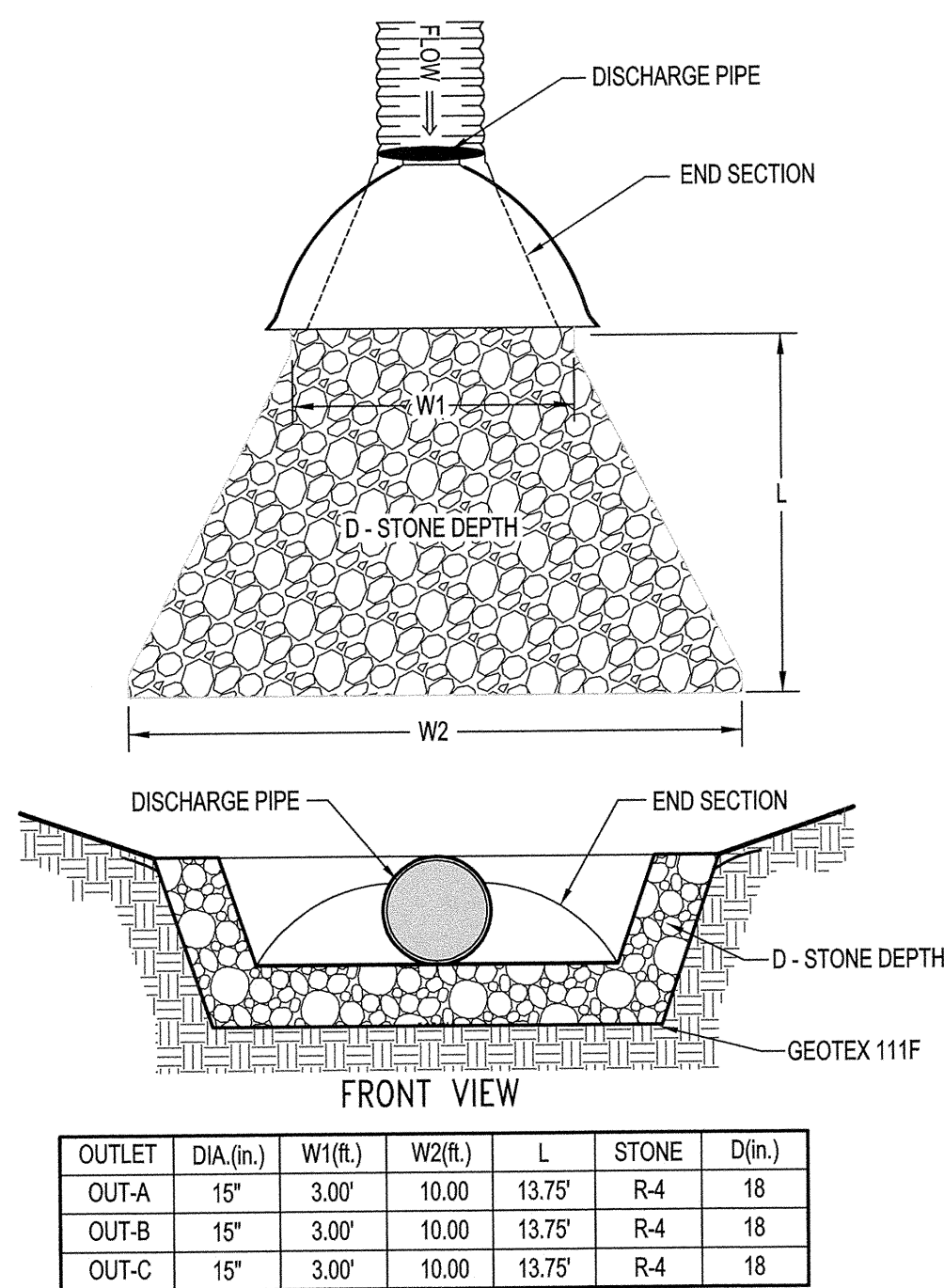


- TOPSOIL SHOULD BE REMOVED PRIOR TO THE INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE. MOUNTABLE BERM SHOULD BE INSTALLED WHEREVER OPTIONAL PIPE CULVERT IS USED. PIPE TO BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE:
ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND THE LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FEET INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWER, CULVERTS, OR OTHER DRAINAGEWAYS IS NOT ACCEPTABLE.

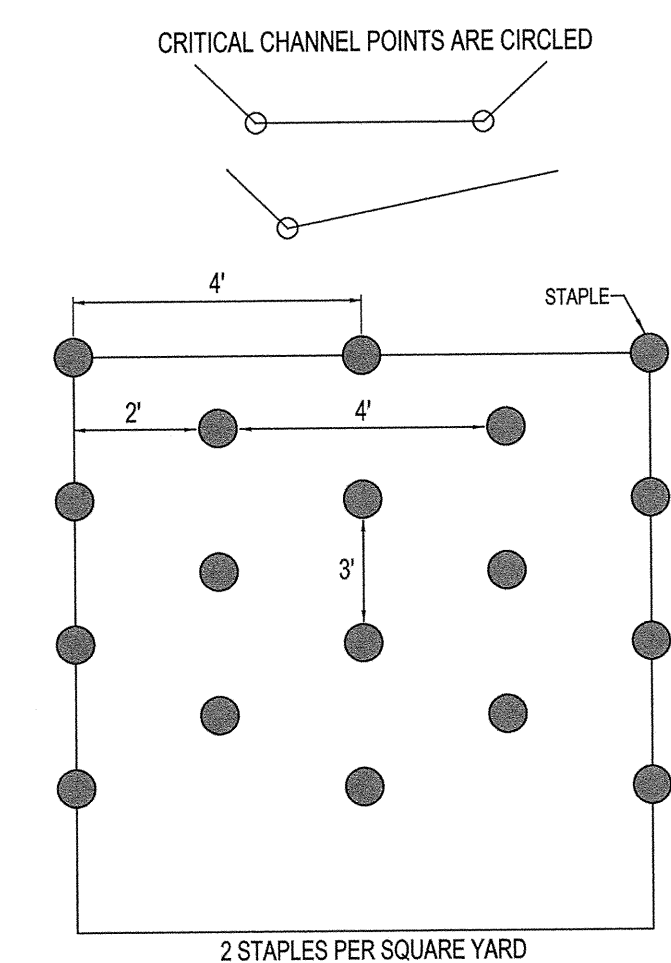
CONSTRUCTION ENTRANCE DETAIL

SCALE: NTS



RIP-RAP APRON

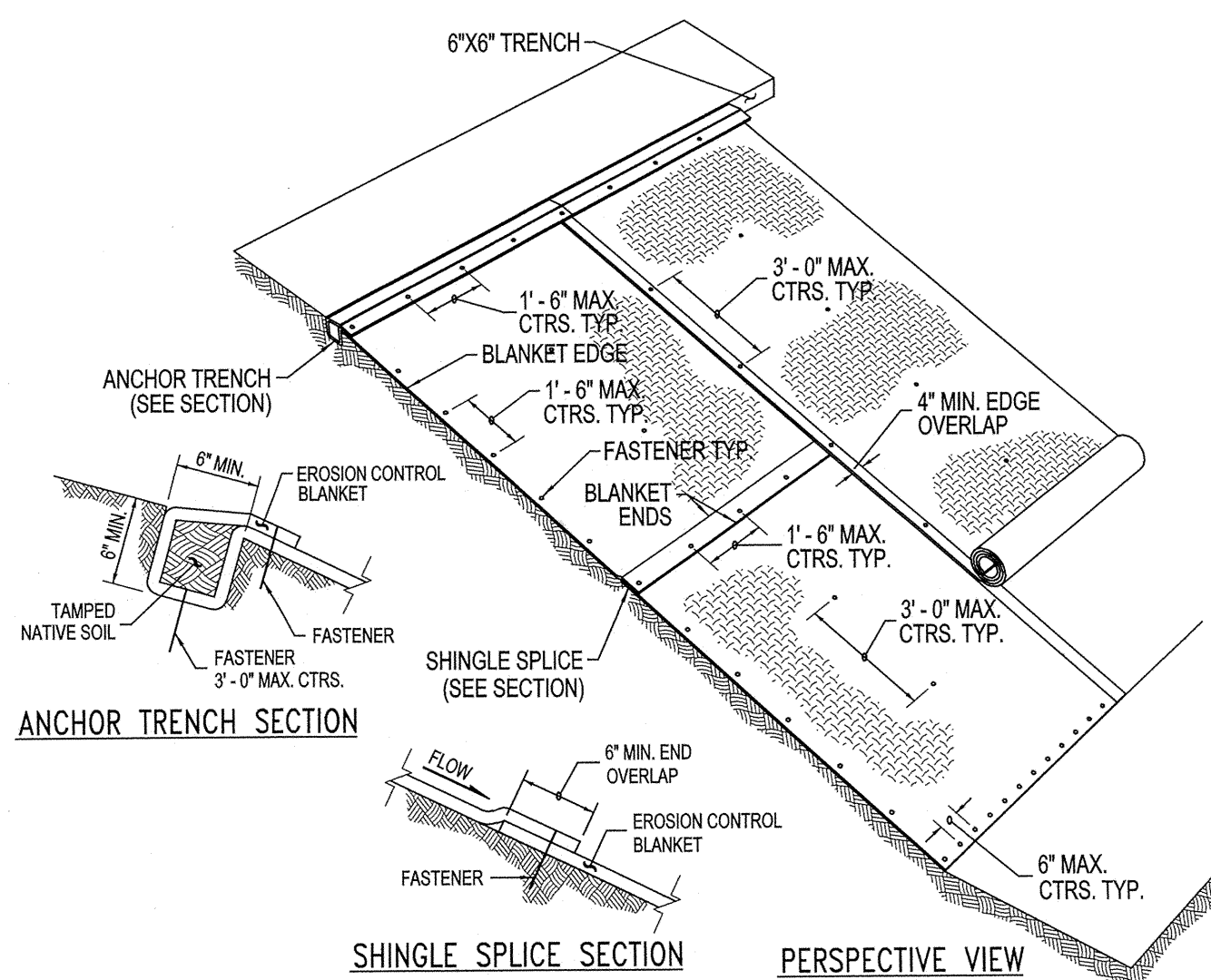
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- NOTES:
1. RECOMMENDED STAPLES ARE A MINIMUM 4 IN. BIODEGRADABLE E-STAPLE OR 6 IN. WIRE FOR COHESIVE SOILS AND 6 IN. BIODEGRADABLE E-STAPLE OR 8 IN WIRE FOR NON-COHESIVE SOILS.
 2. FOR BEST RESULTS INSERT STAPLES SO HEADS ARE PARALLEL TO THE FLOW OF WATER.
 3. ADJUST STAPLE PATTERN SO STAPLES ARE PLACED IN CRITICAL CHANNEL POINTS (E.G. SLOPE INTERFACE, CHANNEL BOTTOM) AS ILLUSTRATED ABOVE.

EROSION CONTROL BLANKET STAPLE PATTERN

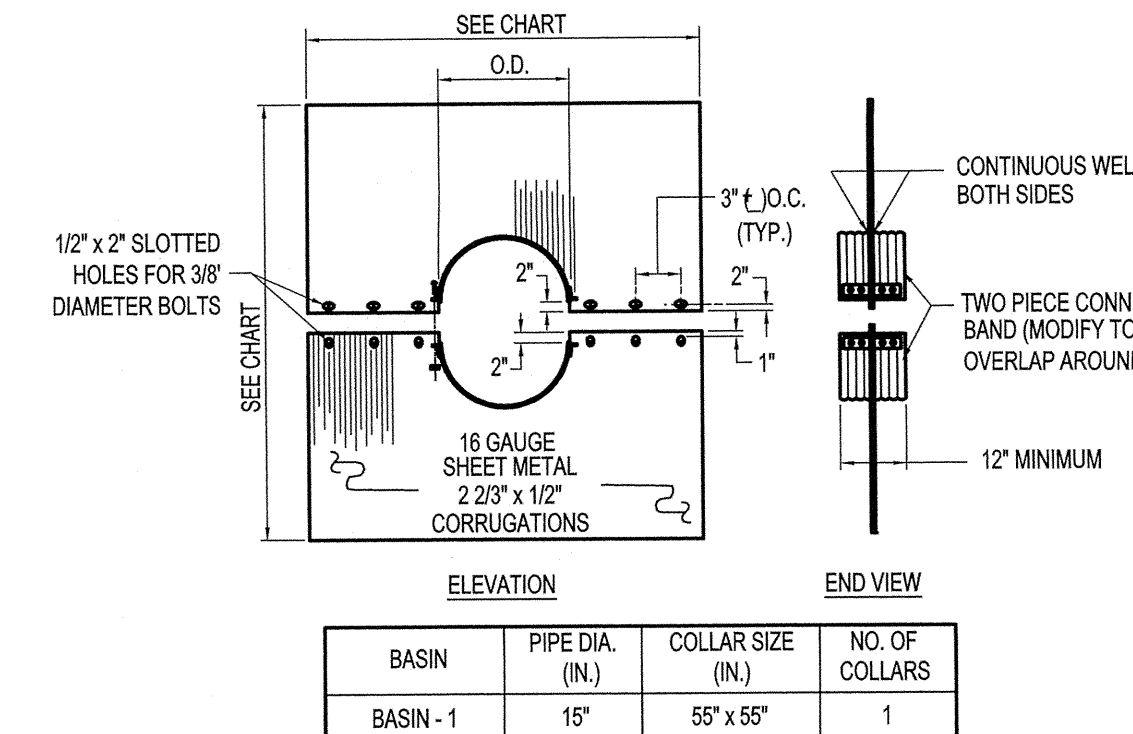
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- NOTE:
MORE THAN THE MINIMUM OF ONE FASTENER PER SQUARE YARD MAY BE REQUIRED DUE TO CONDITIONS SUCH AS BLANKET COMPOSITION, SOIL TYPE, SURFACE UNIFORMITY, AND SLOPE STEEPNESS.

EROSION CONTROL BLANKET FOR SLOPE

SCALE: NTS



BASIN	PIPE DIA. (IN.)	COLLAR SIZE (IN.)	NO. OF COLLARS
BASIN - 1	15"	55" x 55"	1

- NOTES:
1. ANTI-SEEP COLLARS AND THEIR CONNECTIONS TO THE PIPE (BARREL) MUST BE WATERTIGHT.
 2. ANTI-SEEP COLLARS SHOULD BE LOCATED BELOW THE PHREATIC LINE IN THE EMBANKMENT AND SHOULD BE EVENLY SPACED.
 3. ANTI-SEEP COLLARS SHOULD BE NO CLOSER THAN 2 FEET TO A PIPE JOINT.
 4. THERE MUST BE SUFFICIENT DISTANCE BETWEEN COLLARS FOR HAULING AND COMPACTING EQUIPMENT.

ANTI-SEEP COLLAR

SCALE: NTS

PLAN BOOK	PAGE
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Rev.	Date	Description
Issue:	APRIL 25, 2019	
Project No:	938-001	
Scale:	AS NOTED	
Drawn By:	MSK	
Checked By:	JLS	
GeoTech Engineering, Inc © Engineers, Surveyors & Geologists		

STRUCTURAL BMP INSTALLATION SEQUENCE
INFILTRATION BASINS

THE FOLLOWING SEQUENCE SHALL BE IN ADDITION TO THE ASSOCIATED EROSION AND SEDIMENTATION CONTROL PLAN AS WELL AS THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN. THE STAGES OF CONSTRUCTION ARE PRESENTED IN THE ORDER (OR SEQUENCE) THAT THEY ARE EXPECTED TO BEGIN, BUT EACH ACTIVITY WILL NOT NECESSARILY BE COMPLETED BEFORE THE NEXT BEGINS. ALSO, THESE ACTIVITIES COULD OCCUR IN A DIFFERENT ORDER IF NECESSARY TO MAINTAIN ADEQUATE EROSION AND SEDIMENT CONTROL. THE COUNTY CONSERVATION DISTRICT MUST APPROVE DEVIATIONS FROM THE APPROVED PLAN AND CONSTRUCTION SEQUENCE.

STRUCTURAL BMP INSTALLATION SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

1. PROTECT INFILTRATION BASIN AREA FROM COMPACTION PRIOR TO INSTALLATION. THIS MAY BE DONE BY SURROUNDING THE AREA WITH CONSTRUCTION FENCING TO PREVENT CONSTRUCTION MACHINERY FROM ENTERING THE AREA.
2. IF POSSIBLE, INSTALL THE INFILTRATION BASIN DURING THE LATER PHASES OF SITE CONSTRUCTION TO PREVENT SEDIMENTATION AND/OR DAMAGE FROM CONSTRUCTION ACTIVITY. AFTER INSTALLATION, PROTECT SEDIMENT-LADEN WATER FROM ENTERING THE BASIN.
3. INSTALL AND MAINTAIN THE EROSION AND SEDIMENTATION CONTROL BMP'S AS OUTLINED IN THE ASSOCIATED EROSION AND SEDIMENTATION CONTROL PLAN.
4. IF NECESSARY, EXCAVATE INFILTRATION BASIN BOTTOM TO AN UNCOMPACTED SUBGRADE FREE FROM ROCKS AND DEBRIS. DO NOT COMPACT SUBGRADE.
5. INSTALL ANY ASSOCIATED OUTLET STRUCTURES/SPILLWAYS.
6. SEED AND STABILIZE TOPSOIL. VEGETATE IF APPROPRIATE WITH NATIVE PLANTINGS.
7. DO NOT REMOVE INLET PROTECTION OR OTHER EROSION AND SEDIMENTATION CONTROL BMP'S UNTIL THE SITE IS FULLY STABILIZED.

BMP INSTALLATION SEQUENCE
LANDSCAPE RESTORATION (BMP 6.7.2)

MEADOW INSTALLATION SHOULD PROCEED AS FOLLOWS:

1. SELECT SITE
CONFIRM SITE IS SUITABLE FOR RESTORATION. SHOULD BE SUNNY, OPEN, AND WELL-VENTILATED. MEADOW PLANTS REQUIRE AT LEAST HALF A DAY OR FULL SUN.
2. ANALYZE SITE
EVALUATE SITE'S PHYSICAL CONDITIONS (SOIL ATTRIBUTED, GEOLOGY, TERRAIN)
EVALUATE SITE'S VEGETATIVE FEATURES (DESIRABLE AND UNDESIRABLE SPECIES, NATIVE SPECIES, AND SENSITIVE HABITS). GOOD CANDIDATES FOR MEADOW PLANTINGS INCLUDE AREAS PRESENTLY IN TURF, CORNFIELDS, SOYBEAN FIELDS, ALFALFA FIELDS, AND BARE SOILS FROM NEW CONSTRUCTION.
AREAS WITH A HISTORY OF HEAVY WEED GROWTH MAY REQUIRE A FULL YEAR OR LONGER TO PREPARE FOR PLANTING.
BEWARE OF RESIDUAL HERBICIDES THAT MAY HAVE BEEN APPLIED TO AGRICULTURAL FIELDS. ALWAYS CHECK THE HERBICIDE HISTORY OF THE PAST 2-3 YEARS AND TEST THE SOILS IF IN DOUBT.
3. PLANT SELECTION
SELECT PLANTS THAT ARE WELL ADAPTED TO THE SPECIFIC SITE CONDITIONS. MEADOW PLANTS MUST BE ABLE TO BE ABLE TO COMPETE WEED SPECIES IN THE FIRST FEW YEARS AS THEY BECOME ESTABLISHED.
4. PREPARE SITE
ALL WEEDS OR EXISTING VEGETATION MUST BE ELIMINATED PRIOR TO SEEDING.
PERENNIAL WEEDS MAY REQUIRE YEARLONG SMOTHERING, REPEATED SPRAYINGS WITH HERBICIDES, OR REPEATED TILLAGE WITH EQUIPMENT THAT CAN UPROOT AND KILL PERENNIAL WEEDS.
5. PLANTING DAY
PLANTING CAN TAKE PLACE FROM SPRING THAW THROUGH JUNE 30 OR FROM SEPTEMBER 1 THROUGH SOIL FREEZE-UP ("DORMANT SEEDING")
PLANTING IN JULY AND AUGUST IS GENERALLY NOT RECOMMENDED DUE TO THE FREQUENCY OF DROUGHT DURING THIS TIME.
SEEDING CAN BE ACCOMPLISHED BY A VARIETY OF METHODS: NO-TILL SEEDER FOR MULTI-ACRE PLANTING BROADCAST SEEDER; HAND BROADCAST FOR SMALL ACRES OF ONE ACRE OR LESS.
SEED QUALITY IS CRITICAL AND A SEED MIX SHOULD BE USED WITH A MINIMUM PERCENTAGE OF NON-SEED PLANT PARTS.
6. SITE MAINTENANCE
ASSIGN RESPONSIBILITIES FOR WATERING, WEEDING, MOWING, AND MAINTENANCE.
MONITOR SITE REGULARLY FOR GROWTH AND POTENTIAL PROBLEMS.

STORMWATER MAINTENANCE PROGRAM

A MAINTENANCE PROGRAM FOR THE STORMWATER MANAGEMENT CONTROL FACILITIES IS HELPFUL IN ENSURING THAT THE FACILITIES FUNCTION AS DESIGNED TO PREVENT ANY PEAK FLOWS ABOVE THE PRE-DEVELOPMENT LEVELS AND TO DO SO IN A SAFE AND EFFICIENT MANNER WHILE MAINTAINING THE FACILITIES AS AESTHETICALLY PLEASING AS POSSIBLE.

THE OWNER IS RESPONSIBLE FOR ALL MAINTENANCE REQUIRED FOR THE STORMWATER MANAGEMENT PLAN FOR THE LIFETIME OF THE SITE. THE PROPER MAINTENANCE OF THE STORMWATER FACILITIES IS ALSO HELPFUL TO PREVENTION OF SEDIMENT INTO THE STORMWATER MANAGEMENT FACILITIES. STRUCTURE OUTFLOWS AND DOWNSTREAM WATERWAYS. THE OWNER IS RESPONSIBLE FOR ALL RECORD KEEPING/MAINTENANCE FOR THE STORMWATER BMP'S. THE RECORDS SHOULD BE KEPT FOR A MINIMUM OF FIVE (5) YEARS. A VISUAL SITE INSPECTION REPORT HAS BEEN INCLUDED WITH THE PLAN SUBMISSION.

MAINTENANCE AND INSPECTION MEASURES
INFILTRATION BASINS

INFILTRATION BASINS REQUIRE THE FOLLOWING REGULAR MAINTENANCE.

- ANY CATCH BASINS AND INLETS (UP GRADIENT OF THE INFILTRATION BASIN) SHOULD BE INSPECTED AND CLEANED AT LEAST TWO TIMES PER YEAR AND AFTER RUNOFF EVENTS.
- THE VEGETATION ALONG THE SURFACE OF THE INFILTRATION BASIN SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS IMMEDIATELY RE-VEGETATED AS SOON AS POSSIBLE.
- INSPECT THE BASIN SIDES AND SPILLWAY AREA FOR ANY GROWING BRUSH AND REMOVE ANY BRUSH PRESENT.
- REMOVE ANY TRASH THAT HAS BUILT UP WITHIN THE BASIN(S) OR IS CAUGHT IN THE TRASH RACKS. THE TRASH SHALL BE REMOVED TO AN OFF-SITE LOCATION AND DISPOSED OF IN A LAWFUL MANNER.
- INSPECT THE BASIN SIDE SLOPES AND EMBANKMENT FOR ANY SIGNS OF ANIMAL BURROWS OR FOR ANY SLOUGHING OR EROSION OF SOILS. IF PRESENT, BACKFILL OR REPAIR AS REQUIRED AND REVEGETATE.
- INSPECT THE PRINCIPAL AND EMERGENCY SPILLWAY FOR MODIFICATIONS BY UNAUTHORIZED PERSONS THAT WOULD DAM OR OTHERWISE ALTER THE FLOW OF WATER.
- INSPECT THE PRINCIPAL/EMERGENCY SPILLWAY OUTLET FOR ANY SIGNS OF EROSION OR SCOURING. REPLACE AND/OR REPAIR ANY SERIOUS SCOURING OF EARTH, LINING OR ANY OTHER PROTECTION ON THE SPILLWAY.
- INSPECT THE ENERGY DISSIPATORS FOR DAMAGE, REPLACE OR REPAIR AS NECESSARY.
- VEHICLES SHOULD NOT BE PARKED OR DRIVEN ON AN INFILTRATION BASIN, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION ON THE INFILTRATION BASIN AREA.
- INSPECT THE COMPLETED BASIN AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 72 HOURS. INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, EROSION CONTROL MEASURES, SIGNS OF WATER CONTAMINATION/SPILLS, AND SLOPE STABILITY IN THE BERMS.
- MOW ONLY AS APPROPRIATE FOR VEGETATIVE COVER SPECIES. REMOVE SEDIMENT FROM BASIN ACCUMULATIONS. RESTORE ORIGINAL CROSS SECTION AND INFILTRATION RATE AND PROPERLY DISPOSE OF SEDIMENT.

MAINTENANCE AND INSPECTION MEASURES
LANDSCAPE RESTORATION (BMP 6.7.2)

MEADOWS AND FORESTS ARE LOW MAINTENANCE, BUT NOT "NO MAINTENANCE". THEY USUALLY REQUIRE MORE FREQUENT MAINTENANCE IN THE FIRST FEW YEARS IMMEDIATELY FOLLOWING INSTALLATION.

A SEASONAL MOWING OR BURNING MAY BE REQUIRED, ALTHOUGH CARE MUST BE TAKEN TO MAKE SURE THAT ANY MANAGEMENT IS COORDINATED WITH ESSENTIAL RESEEDING AND OTHER IMPORTANT ASPECTS OF MEADOW REESTABLISHMENT. IN THE FIRST YEAR, WEEDS MUST BE CAREFULLY CONTROLLED AND CONSISTENTLY MOWED BACK TO 4-6 INCHES TALL WHEN THEY REACH 12 INCHES IN HEIGHT. IN THE SECOND YEAR, WEEDS SHOULD CONTINUE TO BE MONITORED AND MOWED RHIZOMATOUS WEEDS SHOULD BE HAND TREATED WITH HERBICIDE. WEEDS SHOULD NOT BE SPRAYED WITH HERBICIDE AS A DRIFT FROM THE SPRAY MAY KILL LARGE PATCHES OF DESIRABLE PLANTS, ALLOWING WEEDS TO MOVE IN TO THESE OPEN NEW AREAS. IN THE BEGINNING OF THE THIRD SEASON, THE YOUNG MEADOW SHOULD BE BURNED OFF MID-SPRING. IF BURNING IS NOT POSSIBLE, THE MEADOW SHOULD BE MOWED VERY CLOSELY TO THE GROUND INSTEAD. THE MOWED MATERIAL SHOULD BE REMOVED FROM THE SITE TO EXPOSE THE SOIL TO THE SUN. THIS HELPS ENCOURAGE RAPID SOIL WARMING WHICH FAVORS THE ESTABLISHMENT OF "WARM SEASON" PLANTS OVER "COOL SEASON" WEEDS.

ENVIRONMENTAL DUE DILIGENCE ANALYSIS

AN ENVIRONMENTAL DUE DILIGENCE ANALYSIS WAS PERFORMED TO ENSURE THAT NO GEOLOGIC OR SOIL CONDITIONS EXISTED ON-SITE WHICH COULD CAUSE POLLUTION DURING ANY EARTHWORK OR CONSTRUCTION ACTIVITIES. THIS ANALYSIS INCLUDED THE VISUAL INSPECTION OF THE SITE AND SURROUNDING AREAS FOR INDICATORS OF ACID MINE DRAINAGE.THE SITE ANALYSIS REVEALED NO INDICATION OF GEOLOGIC OR SOIL CONDITIONS BEING PRESENT WHICH ARE KNOWN TO CAUSE POLLUTION.

BASED ON THE SITE ANALYSIS, POLLUTION FORMING MATERIALS ARE NOT EXPECTED TO BE ENCOUNTERED ON-SITE. UPON COMMENCEMENT OF EARTHMOVING ACTIVITIES ON-SITE, IF MATERIAL IS ENCOUNTERED WHICH MAY CAUSE POLLUTION, EARTHWORK ACTIVITIES SHALL BE HALTED UNTIL A DETERMINATION IS MADE ON-SITE FOR PROPER HANDLING AND/OR DISPOSAL OF THE MATERIALS. HANDLING AND/OR DISPOSAL TECHNIQUES MAY INCLUDE BUT ARE NOT LIMITED TO: EXCAVATION AND HAULING, ISOLATION OF CONTAMINANTS THROUGH APPROPRIATE CAPPING AND/OR ENGINEERING CONTROLS, VAPOR BARRIERS, BLENDING OF SOILS, MONITORED NATURAL ATTENUATION, AND PUMP AND TREAT. ALL HANDLING AND/OR DISPOSAL ACTIVITIES SHALL COMPLY WITH THE APPLICABLE CHAPTERS OF TITLE 25 PA CODE.

CRITICAL STAGES OF IMPLEMENTATION

A LICENSED PROFESSIONAL OR PROJECT DESIGNEE SHALL BE PRESENT ON SITE DURING THE CONSTRUCTION OF ALL PROPOSED STORMWATER MANAGEMENT BMP'S ASSOCIATED WITH THE PROJECT. BMP'S INCLUDE BUT ARE NOT LIMITED TO THE INSTALLATION OF ANY UNDERGROUND STORMWATER MANAGEMENT SYSTEM(S) AND CONSTRUCTION OF STORMWATER BASIN(S), RAIN GARDEN(S), AND COLLECTION/VERSION CHANNEL(S). ELEVATIONS OF THE ASSOCIATED OUTLET STRUCTURE(S) AND PIPING SHALL BE VERIFIED, AS WELL AS CORRECT PLACEMENT OF THE OUTLET STRUCTURE ORIFICE(S) AND WEIR(S). SEE THE CONSTRUCTION SEQUENCE ON PLAN SHEET C5.00 FOR SITE SPECIFIC CRITICAL STAGES OF IMPLEMENTATION.

DOWNSTREAM ANALYSIS

THERE WILL BE A NET DECREASE IN RUNOFF DURING AND POST CONSTRUCTION. RUNOFF DURING CONSTRUCTION WILL DISCHARGE TO EXISTING STABILIZED DRAINAGE FEATURES. THE STORMWATER MANAGEMENT BMP'S WERE DESIGNED TO OBTAIN AS CLOSE TO PRE-DEVELOPMENT RUNOFF CONDITIONS AS POSSIBLE, WHILE STILL MEETING THE STORMWATER MANAGEMENT REQUIREMENTS SET FORTH BY THE APPLICABLE ORDINANCE/CODE. THE SLIGHT DECREASE IN RUNOFF RATE AND EVENTUALLY VOLUME (POST CONSTRUCTION) INDICATES THERE WILL BE NO HARMFUL IMPACT DOWNSTREAM DURING OR AFTER CONSTRUCTION.

TOPSOIL APPLICATION

GRADED AREAS SHOULD BE SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREAS AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN THE SLOPE.

TOPSOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A DEPTH OF 4 TO 8 INCHES MINIMUM - 2 INCHES ON FILL OUTSLOPES. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE. IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOIL PLACEMENT SHOULD BE CORRECTED IN ORDER TO PREVENT FORMATION OF DEPRESSIONS UNLESS SUCH DEPRESSIONS ARE PART OF THE PCSM PLAN.

TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL IS IN A FROZEN OR MUDDY CONDITION. WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION, COMPACTED SOILS SHOULD BE SCARIFIED 6 TO 12 INCHES ALONG CONTOUR WHEREVER POSSIBLE PRIOR TO SEEDING.

FINAL CERTIFICATION REQUIREMENT

IN COMPLIANCE WITH THE PENNSYLVANIA CODE, TITLE 25, CHAPTER 102 "FINAL CERTIFICATION", RECORD/AS-BUILT DRAWINGS SHALL BE INCLUDED WITH THE NOTICE OF TERMINATION FOR THE STORMWATER MANAGEMENT FACILITIES INCLUDED IN THE PCSM PLAN. THESE PLANS SHALL ACCURATELY REFLECT THE AS-BUILD CONDITIONS AND CERTIFY THAT THE PROJECT SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PCSM PLAN, ALL APPROVED PLAN CHANGES, AND ACCEPTED CONSTRUCTION PRACTICES.

RECYCLING & DISPOSAL OF MATERIALS/FILL MATERIALS

CONTRACTOR MUST ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDE, BUT ARE NOT LIMITED TO EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHOULD BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHERE POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL.

THE CONTRACTOR SHALL USE ENVIRONMENTAL DUE DILIGENCE TO ENSURE THAT THE FILL MATERIAL ASSOCIATED WITH THIS PROJECT (IF ANY) QUALIFIES AS CLEAN FILL MATERIAL. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ANY REQUIRED PERMITS.

CLEAN FILL SHALL BE DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THIS TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT ARE SEPERATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THIS TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ALPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)

ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUE, INCLUDING, BUT NOT LIMITED TO , VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.

MULCH TYPE	APPLICATION RATE (MIN.)			NOTES
	PER ACRE	PER 1,000 SQ.FT.	PER 1,000 SQ.YD.	
STRAW	3 TONS	140 LBS.	1,240 LBS.	EITHER WHEAT OR OAT STRAW, FREE OF WEEDS, NOT CHOPPED OR FINELY BROKEN
HAY	3 TONS	140 LBS.	1,240 LBS.	TIMOTHY, MIXED CLOVER AND TIMOTHY OR OTHER NATIVE FORAGE GRASSES
WOOD CHIPS	4 - 6 TONS	185 - 275 LBS.	1,650 - 2,500 LBS.	MAY PREVENT GERMINATION OF GRASSES AND LEGUMES
HYDROMULCH	1 TONS	47 LBS.	415 LBS.	SEE LIMITATIONS ABOVE

MULCH APPLICATION RATE

SOIL AMEDMENT	PERMANENT SEEDING APPLICATION RATE			NOTES
	PER ACRE	PER 1,000 SQ.FT.	PER 1,000 SQ.YD.	
AGRICULTURAL LIME	6 TONS	240 LBS.	2,480 LBS.	OR AS PER SOIL TEST; MAY NOT BE REQUIRED IN AGRICULTURAL FIELDS
10-10-20 FERTILIZER	1,000 LBS.	25 LBS.	210 LBS.	OR AS PER SOIL TEST; MAY NOT BE REQUIRED IN AGRICULTURAL FIELDS
TEMPORARY SEEDING APPLICATION RATE				
AGRICULTURAL LIME	1 TON	40 LBS.	410 LBS.	TYPICALLY NOT REQUIRED FOR TOPSOIL STOCKPILES
10-10-10 FERTILIZER	500 LBS.	12.5 LBS.	100 LBS.	TYPICALLY NOT REQUIRED FOR TOPSOIL STOCKPILES

SOIL AMENDMENT APPLICATION RATE EQUIVALENTS

SEED TYPE	DESCRIPTION FORMULA SPECIES	% BY WEIGHT	MINIMUM %		MAX % WEED SEED	SEEDING RATE (LBS/1,000 SF)	SEEDING DATES	FERTILIZER RATE (LBS/1,000 SF)	LIME RATE (LBS/1,000 SF)	MULCH RATE (TON/ACRE)
			PURITY	GERMINATION						
TYPE 1 LAWN AREAS (PER PENN STATE SEED MIX)	PENN STATE SEED MIX	40-50	95	80	0.15	4.00	3/15 - 6/1	10-20-20	180	3
	*FINE FESCUES	40-50	90	80	0.15	4.00	8/1 - 10/15	12-16 LBS/1,000 SF		
	*KENTUCKY BLUEGRASS	10-20	95	80	0.20	4.00				
TYPE 2 SLOPED AREAS GREATER THAN 3:1	EROSION CONTROL COVER MIX	50	99	70	0.10	0.55	3/1 - 10/15	10-20-20	180	3
	*ANNUAL RYEGRASS	40	98	90	0.15	0.44		12-16 LBS/1,000 SF		(1 1/2" STRAW)
	*PERENNIAL RYEGRASS CONFETTI III	10	96	90	0.20	0.11/1.10				
TYPE 3 TEMPORARY SEEDING	ANNUAL RYEGRASS	100	90	90	0.15	2.00/2.00	3/15 - 10/15	5-5-5 3.5 LBS/1,000 SF	180	3
TYPE 4 COLLECTION CHANNEL SEEDING	KENTUCKY 31 TALL FESCUE	40	98	85	0.15	2.00	3/31 - 6/15	10-20-20	180	3
	TETRAPLOID ANNUAL RYEGRASS	40	90	85	0.15	2.00	8/16 - 9/15	3 LBS/1,000 SF		(1 1/2" STRAW)
	GREeping RED FESCUE	20	98	85	0.15	2.00				

SEEDING SCHEDULE

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ENGINEERS SURVEYORS GEOLOGISTS

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Project Name:



SRU
FEDERAL CREDIT UNION

PROPOSED
ARROWHEAD DRIVE
LOCATION

Location:
Slippery Rock Township
Butler County, PA

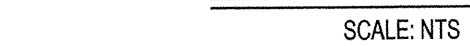
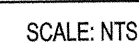
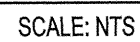
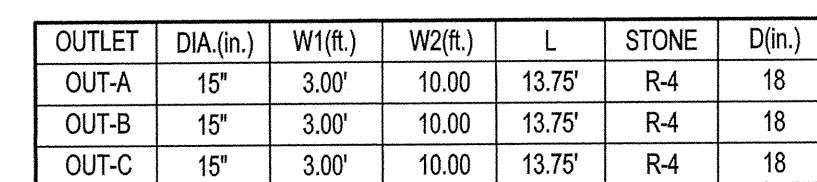
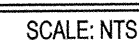
Owner / Developer:
Slippery Rock University
Federal Credit Union
235 Grove City Road
Slippery Rock, PA 16057
Phone: (724) 794-6292
Fax: (724) 794-5182

Datum projection utilized:
NAD 83 PA South Zone and
measured in U.S. Survey feet.

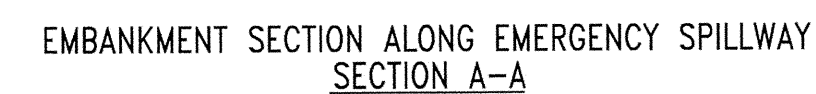
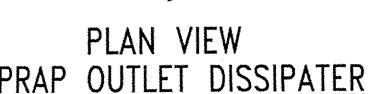
Rev.	Date	Description
Issue: APRIL 25, 2019		
Project No: 938-001		
Scale: AS NOTED		
Drawn By: MSK		
Checked By: JLS		
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Sheet Title:
STORMWATER
MANAGEMENT
NOTES

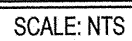
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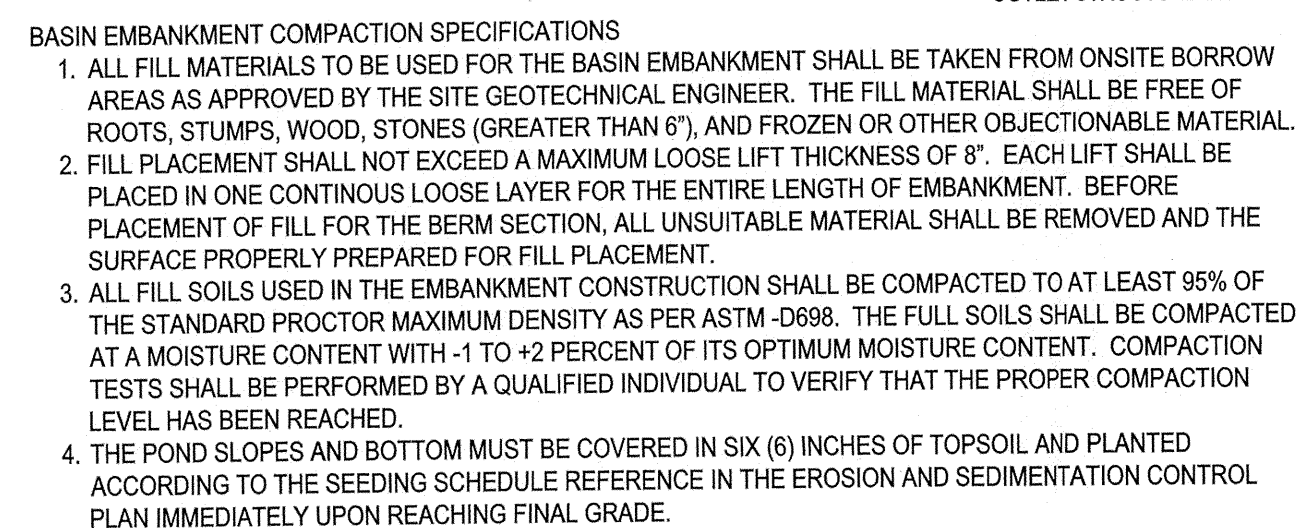
1. ANTI-SEEP COLLARS AND THEIR CONNECTIONS TO THE PIPE (BARREL) MUST BE WATERTIGHT.
2. ANTI-SEEP COLLARS SHOULD BE LOCATED BELOW THE PHREATIC LINE IN THE EMBANKMENT AND SHOULD BE EVENLY SPACED.
3. ANTI-SEEP COLLARS SHOULD BE NO CLOSER THAN 2 FEET TO A PIPE JOINT.
4. THERE MUST BE SUFFICIENT DISTANCE BETWEEN COLLARS FOR HAULING AND COMPACTING EQUIPMENT.



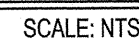
BASIN NO.	WEIR					LINING TYPE	LINING		CHANNEL		DISSIPATER			
	Z3 (FT)	Z4 (FT)	TOP ELEV WTE (FT)	CREST ELEV WCE (FT)	WIDTH Ww (FT)		Z5 (FT)	DEPTH Cd (FT)	LENGTH DI (FT)	WIDTH Dw (FT)	RIPRAP SIZE (R-)	RIPRAP THICK. (IN)		
1	3	3	1242.50	1241.00	12	LANDLOK S2	3	1.50	10	12	R-4	18		



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BASIN NO.	SURFACE ELEV. WSE	EMBANKMENT ELEV. ETE	EMBANKMENT WIDTH ETW	OUTLET LENGTH & Ø BL	POND BOT. ELEV.	TOP ELEV. OS	OUTLET ELEV. BOE
1	1240.90	1242.50	5'	35' (15")	1239.00	1241.00	1237.50



Project Name:

SRU
FEDERAL CREDIT UNION

PROPOSED
ARROWHEAD DRIVE
LOCATION

Location:

Slippery Rock Township
Butler County, PA

Owner / Developer:

Slippery Rock University
Federal Credit Union
235 Grove City Road
Slippery Rock, PA 16057
Phone: (724) 794-6292
Fax: (724) 794-5182

Datum projection utilized:

NAD 83 PA South Zone and
measured in U.S. Survey feet.

Rev.	Date	Description
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Issue: APRIL 25, 2019

Project No:	938-001
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Scale:	AS NOTED
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Drawn By: MSK

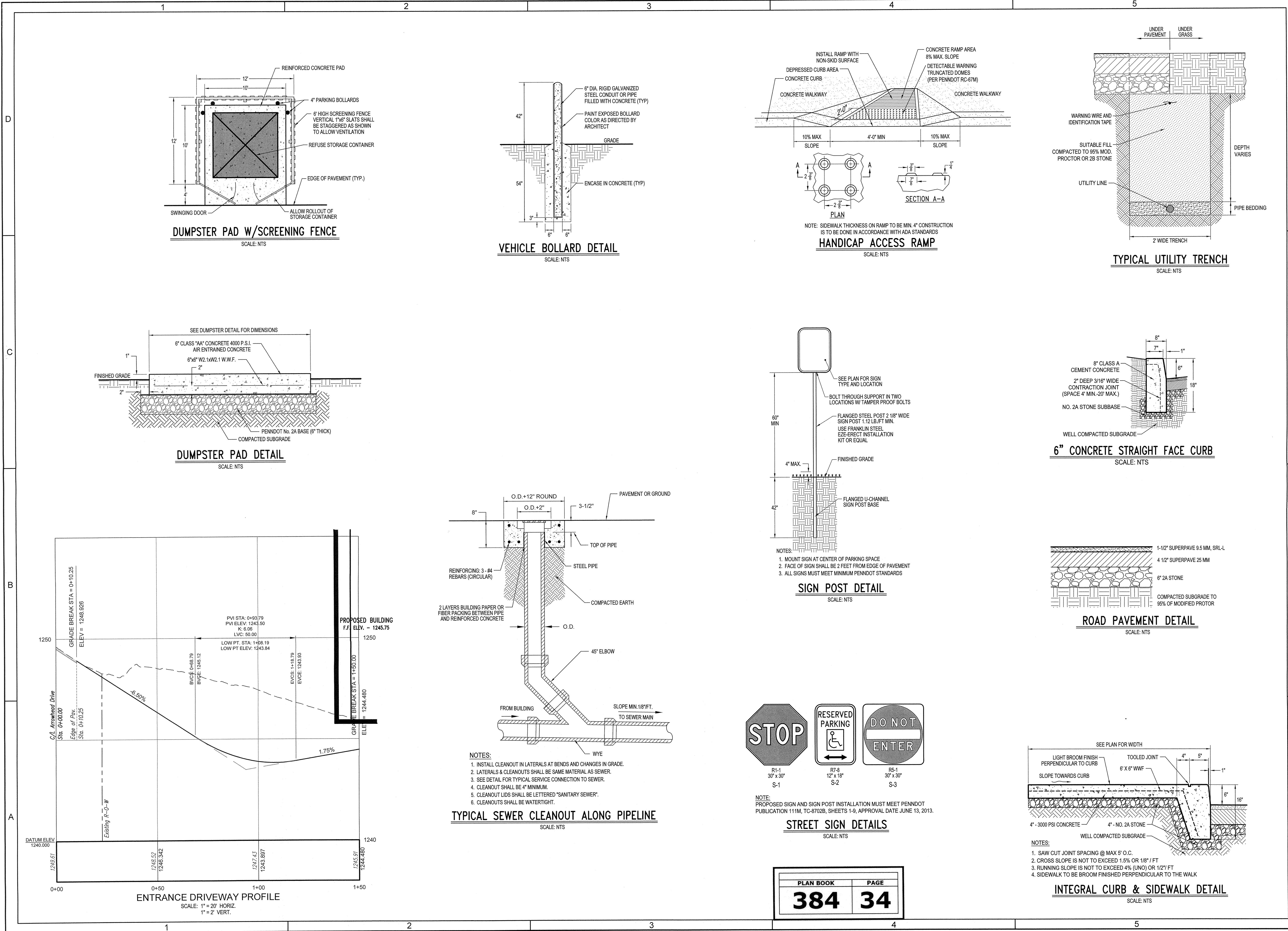
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Sheet Title:

STORMWATER MANAGEMENT DETAILS

Sheet Number:

C6.01



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Rev.	Date	Description
Issue:	APRIL 25, 2019	
Project No:	938-001	
Scale:	1" = 20'	
Drawn By:	MSK	
Checked By:	JLS	
GeoTech Engineering, Inc Engineers, Surveyors & Geologists		
Sheet Title:	SITE DETAILS AND DRIVEWAY PROFILE	
Sheet Number:	C7.00	

OWNER'S ADOPTION

I, EDWARD E. FERREE, OWNER OF THE LAND SHOWN ON THE E. FERREE PLAN NO. 2, HEREBY ADOPT THIS PLAN AS OUR PLAN OF LOTS AND IRREVOCABLY DEDICATE ALL STREET AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. ANY FUTURE ACCEPTANCE OF SAID PUBLIC STREETS OR PROPERTY BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF MIDDLESEX, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF MIDDLESEX, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC STREETS OR PROPERTY AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON MY HEIRS, EXECUTORS, AND ASSIGNS.

EDWARD E. FERREE

ACKNOWLEDGMENT OF NOTARY PUBLIC

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, EDWARD E. FERREE, AND ACKNOWLEDGED THE FOREGOING ADOPTION, DEDICATION AND PLAN TO BE THEIR ACT AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 20 DAY OF FEB, 2020.

MY COMMISSION EXPIRES THE 7 DAY OF OCTOBER, 2022.

NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Donna L. Weising, Notary Public
Butler County
My commission expires October 07, 2022
Commission number 1175307

SURVEYOR'S CERTIFICATION

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THAT THE SURVEY AND PLAN SHOWN HEREON CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME.

JAN 29, 2020

DATE

STANLEY D. GRAFF
REG. NO. 30165-E

MUNICIPAL DECLARATIONS

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX, HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF MIDDLESEX HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

SECRETARY

CHAIRPERSON
BOARD OF SUPERVISORS

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX BY RESOLUTION NO. 10, EFFECTIVE THIS 19th DAY OF February, 2020.

SECRETARY

CHAIRPERSON
BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF MIDDLESEX THIS 28th DAY OF January, 2020.

SECRETARY

CHAIRPERSON
PLANNING COMMISSION

I, Jeffrey A. Mikesic, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER FOR MIDDLESEX TOWNSHIP, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

TOWNSHIP ENGINEER

REGISTRATION NO.

DATE

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 20th DAY OF JAN, 2020.

SECRETARY

CHAIRPERSON
BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA.

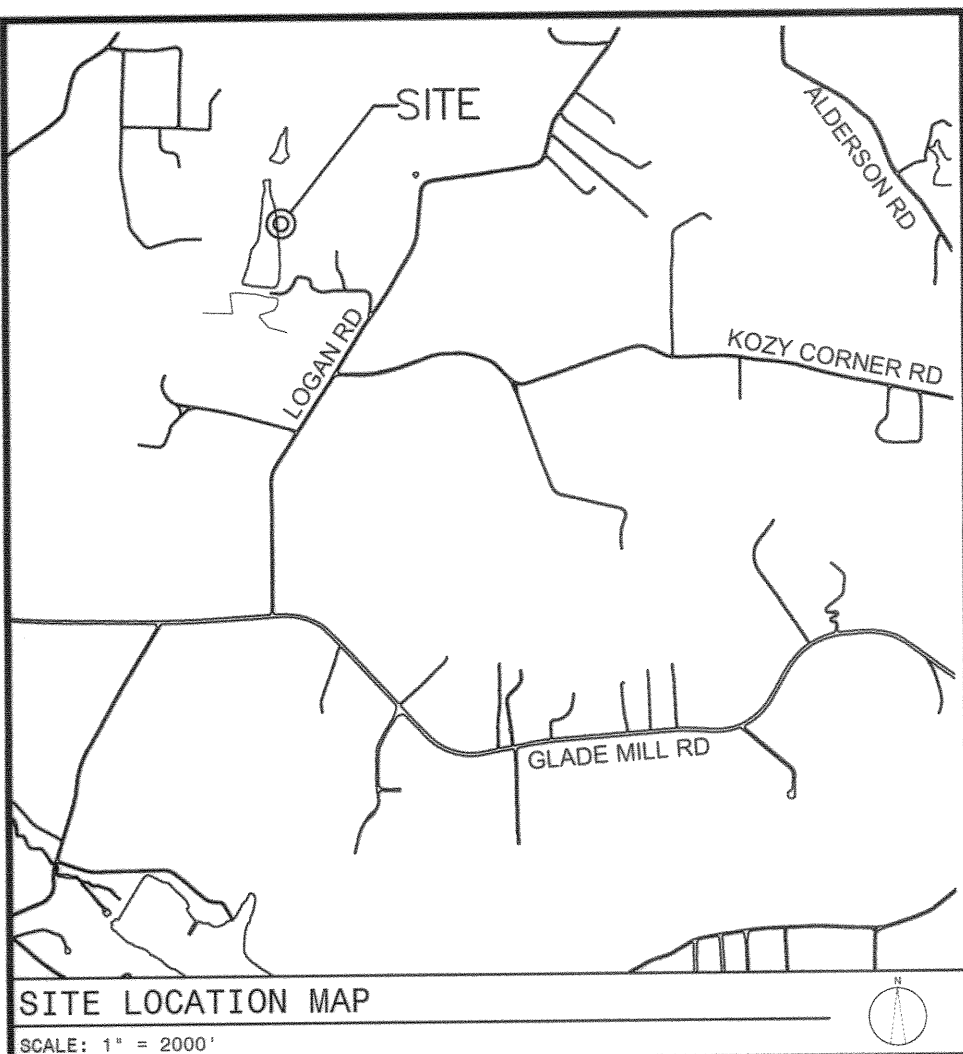
IN PLAN BOOK VOLUME 384, PAGE(S) 35

GIVEN UNDER MY HAND AND SEAL THIS 11th DAY OF March, 2020.

RECORDED BY

MICHELE M. MUSTELLO
RECORDER OF DEEDS

My Commission Expires First Monday in January 2026



MAINTENANCE AGREEMENT NOTE FOR PRIVATE DRIVE

PERTAINING TO THE COMMON AREA OF COMMON DRIVE AND IN THE ABSENCE OF CONVEYING ANY PROPERTY RIGHTS, ENCUMBRANCES OR RESTRICTIONS.

WITNESSETH, IN CONSIDERATION OF THE MUTUAL COVENANTS, PROMISES AND BENEFITS HEREINAFTER SET FORTH BY THE PARTIES HERETO, FOR THEMSELVES, THEIR HEIRS, SUCCESSORS AND ASSIGNS AGREE AS FOLLOWS:

1. THE PARTIES HERETO HEREBY ACKNOWLEDGE THE EXISTENCE OF A PRIVATE LANE ACCESSING THEIR PROPERTIES AS SHOWN ON HEREON PLOTTED PLAN.
2. THE PARTIES HERETO AGREE TO PROVIDE EQUAL CARE, MAINTENANCE AND REPAIRS TO THE ROAD SURFACE OF THE CERTAIN PRIVATE LANE OR DRIVE. THE LANE OR DRIVE EXTENDS FROM THE PUBLIC HIGHWAY SO AS TO ENABLE THE RESPECTIVE PARTIES TO HAVE A SAFE INGRESS, EGRESS AND REGRESS.
3. THE PARTIES FURTHER AGREE THAT ANY AND ALL EXPENSES OF MAINTAINING AND REPAIRING SAID PRIVATE LANE TO THE TRACTS OF LAND OF THE RESPECTIVE PARTIES HERETO ARE TO BE PROPORTIONATE TO LENGTH USED OR AGREED TO PREVIOUSLY AMONG THE PARTIES HERETO AND ALL THE PARTIES HERETOSHAALL BE IN AGREEMENT WITH RESPECT TO THE TIME FOR THE NEEDED MAINTENANCE AND REPAIRS AND AS TO THE METHOD AND COST OF SAID MAINTENANCE AND REPAIRS.
4. THIS AGREEMENT AND EACH AND EVERY PART AND/OR PORTION OF THE SAME SHALL INSURE TO THE BENEFIT OF AND BE BINDING UPON THE RESPECTIVE PARTIES OF LOTS SHOWN HEREON, THEIR RESPECTIVE HEIRS, SUCCESSORS AND ASSIGNS.
5. THE PARTIES FURTHER AGREE THAT THEY WILL SEPARATELY MAINTAIN THEIR OWN PRIVATE DRIVEWAYS ON THEIR PROPERTIES.
6. THE TOWNSHIP HEREBY ACCEPTS NO RESPONSIBILITY FOR THE PRIVATE LANE SET FORTH WITHIN THIS PLAN OF LOTS.
7. FUTURE REQUESTS BY THE LOT OWNERS TO HAVE THE PRIVATE LANE ACCEPTED AND ADOPTED BY THE TOWNSHIP AS A PUBLIC STREET SHALL BE SUBJECT TO THE OWNERS ASSUMING THE TOTAL COST OF IMPROVING THE PRIVATE LANE TO THE PUBLIC STREET CURRENT TOWNSHIP CONSTRUCTION STANDARDS FOR A PUBLIC STREET.
8. DEEDS CONVEYING LOTS SHOWN HEREON SHALL CONTAIN A REFERENCE TO AN EXECUTED AND RECORDED AGREEMENT OBLIGATING THE PROPERTY OWNERS, THEIR HEIRS, SUCCESSORS AND ASSIGNS TO JOINTLY MAINTAIN THE SAID PRIVATE LANE AND/OR DRIVE.

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

MIDDLESEX TOWNSHIP AG-A AGRICULTURAL DISTRICT	
Dimension	All Permitted Uses
Min. Lot Area	1 ACRE
Min. Lot Width	150 feet
Min. Front Yard Depth	50' from lot or 7' from CL
Min. Side Yard Depth	25 feet
Min. Rear Yard Depth	75 feet

E. FERREE PLAN No. 2

Being a lot line revision of Butler County Tax Parcels
230-2F75-12 and 230-2F75-12A

PROPERTY AREAS:

EXISTING TOTALS
230-2F75-12 68.96 AC
+230-2F75-12A 1.00 AC
EXISTING TOTAL 69.96 AC

REVISED 230-2F75-12 68.96 AC
ORIGINAL 2F75-12 6.50 AC
-TRACT A 6.50 AC
REVISED 2F75-12 TOTAL 62.46 AC

REVISED 230-2F75-12A 1.00 AC
ORIGINAL 2F75-12A 6.50 AC
+TRACT A 6.50 AC
REVISED 2F75-12A TOTAL 7.50 AC

REVISED TOTALS
REVISED 230-2F75-12 62.46 AC
+REVISED 230-2F75-12A 7.50 AC
REVISED TOTAL 69.96 AC

GENERAL NOTES:

1. PROPERTY OWNER: EDWARD FERREE
2. ZONING DISTRICT: AG-A AGRICULTURAL
3. LOT REQUIREMENTS: SEE TABLE
4. FEMA FLOOD ZONE: ZONE A - POND AND POND DRAINAGE REMAINDER OF PROPERTY LOCATED IN ZONE X - AREA OF MINIMAL FLOOD HAZARD FIRM: 42019C0532D FIRM EFFECTIVE: 8/2/2018
5. REFERENCES:
 - 5.1. CURRENT DEEDS OF RECORD
 - 5.2. PREVIOUSLY RECORDED PLANS
 - 5.2.1. FERREE-MILLER LOT LINE REVISION NO. 1 PLAN BOOK 343 PG 42

REV	DESCRIPTION	BY	DATE
A	REVISIONS PER ENGINEER REVIEW LETTER DATED 1/24/20	SDG	1/27/2020

GRAFF SURVEYING

GRAFF SURVEYING LLC
PO BOX 521 | SAXONBURG, PA 16056
P: 724-352-3811 F: 724-352-1059
INFO@GRAFFSURVEYING.COM
WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION

E. FERREE PLAN NO. 2

BEING A
LOT LINE REVISION
FOR
EDWARD E.
FERREE

SITUATE		MIDDLESEX TOWNSHIP BUTLER COUNTY, PENNSYLVANIA	
DATE	DRAWN	CHECKED	SCALE
11/06/19	BAG	Sdg	1" = 120'
PROJECT NO.	TAX PARCEL NO.	REVISION	
19-243	230-2F75-12 & 12A	A	

RECORDED		20	
PLAN BOOK		PAGE	
384		35	
SHEET		of	

OWNER'S ADOPTION

WE, BETH LAM & HOWARD UYT, CO-EXECUTORS OF THE MARY LOUISE LANG REALTY TRUST, OWNER OF THE LAND SHOWN ON THE LONG REALTY TRUST PLAN, HEREBY ADVERTISE THIS PLAN AS A PLAN OF LOTS AND IRREVOCABLY DEDICATE ALL STREET AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. ANY FUTURE ACCEPTANCE OF SAID PUBLIC STREETS OR PROPERTY BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF MIDDLESEX, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS TO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF MIDDLESEX, THEIR SUCCESSORS AND ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE DEDICATION OF SAID GROUND FOR PUBLIC STREETS OR PROPERTY AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON OUR HEIRS, EXECUTORS, AND ASSIGNS.

X 
BETH LANG, as Co-Executor


HOWARD UTZ, as Co-Executor

ACKNOWLEDGMENT OF NOTARY PUBLIC

ACKNOWLEDGMENT OF NOTARY PUBLIC

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED BETH LANG & HOWARD UTZ, CO-EXECUTORS OF THE MARY LOUISE LANG REALTY TRUST, AND ACKNOWLEDGED THE FOREGOING ADOPTION, DEDICATION AND PLAN TO BE THEIR ACT AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 3 DAY OF FEBRUARY, 2020.


MY COMMISSION EXPIRES THE 19 DAY OF FEBRUARY 2023

x Debra L. Gruffcoat
NOTARY PUBLIC

SURVEYOR'S CERTIFICATION



I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THAT THE SURVEY AND PLAN SHOWN HEREON CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME.

JAN. 29, 2020

X 
STANLEY D. GRAFF
REG. NO. SU-070161-B

MUNICIPAL DECLARATIONS

MUNICIPAL DECLARATIONS
THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX, HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF MIDDLESEX HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.






x _____
 SECRETARY CHAIRPERSON
 BOARD OF SUPERVISORS BOARD OF SUPERVISORS

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX BY RESOLUTION NO. 9 EFFECTIVE THIS 19th DAY OF February 2020



APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX

X  SECRETARY

X  CHAIRPERSON
BOARD OF SUPERVISOR

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF MIDDLESEX THIS 28th DAY OF January, 2020

REVIEWED BY THE PLANNING COMMISSION OF THE POLYMER SUBCOMMITTEE

X SECRETARY X CHAIRPERSON

PLANNING COMMISSION

I, Jeffrey Nikesic, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER FOR MIDDLESEX TOWNSHIP, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

x  PE083712 3/4/2020
 TOWNSHIP ENGINEER REGISTRATION NO. DATE

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 23RD DAY OF JAN., 2020.

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 22 DAY OF APRIL

X R. H. G. R. M. X R. H. G. R. M.
SECRETARY CHAIRPERSON
BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING

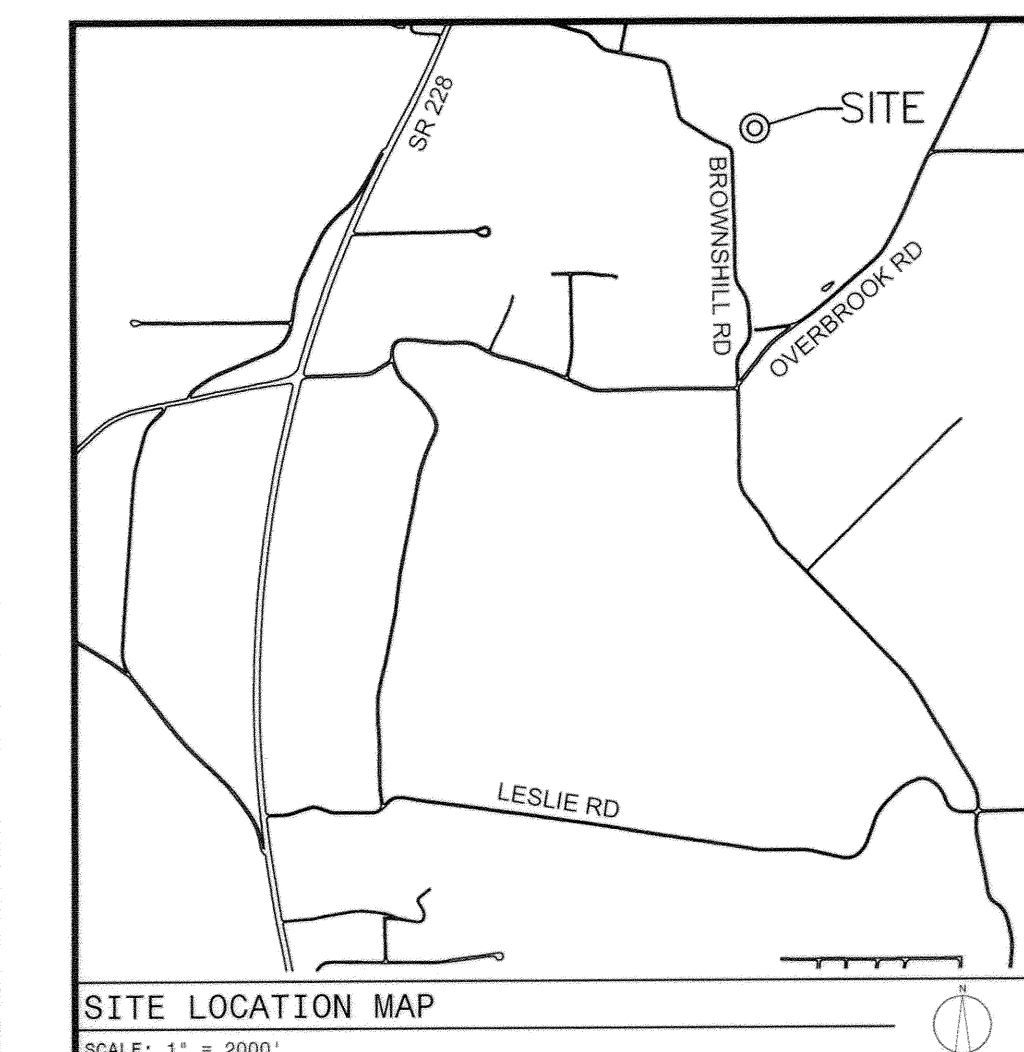
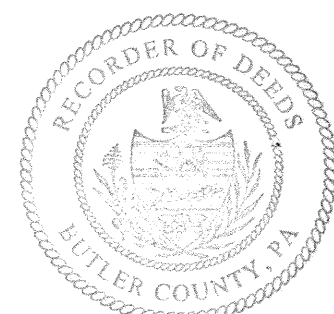
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA

IN PLAN BOOK VOLUME 384 PAGE(S) 31

GIVEN UNDER MY HAND AND SEAL THIS 11th DAY OF March, 2020

RECORDED OF DEEDS

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS

LANG REALTY TRUST PLAN

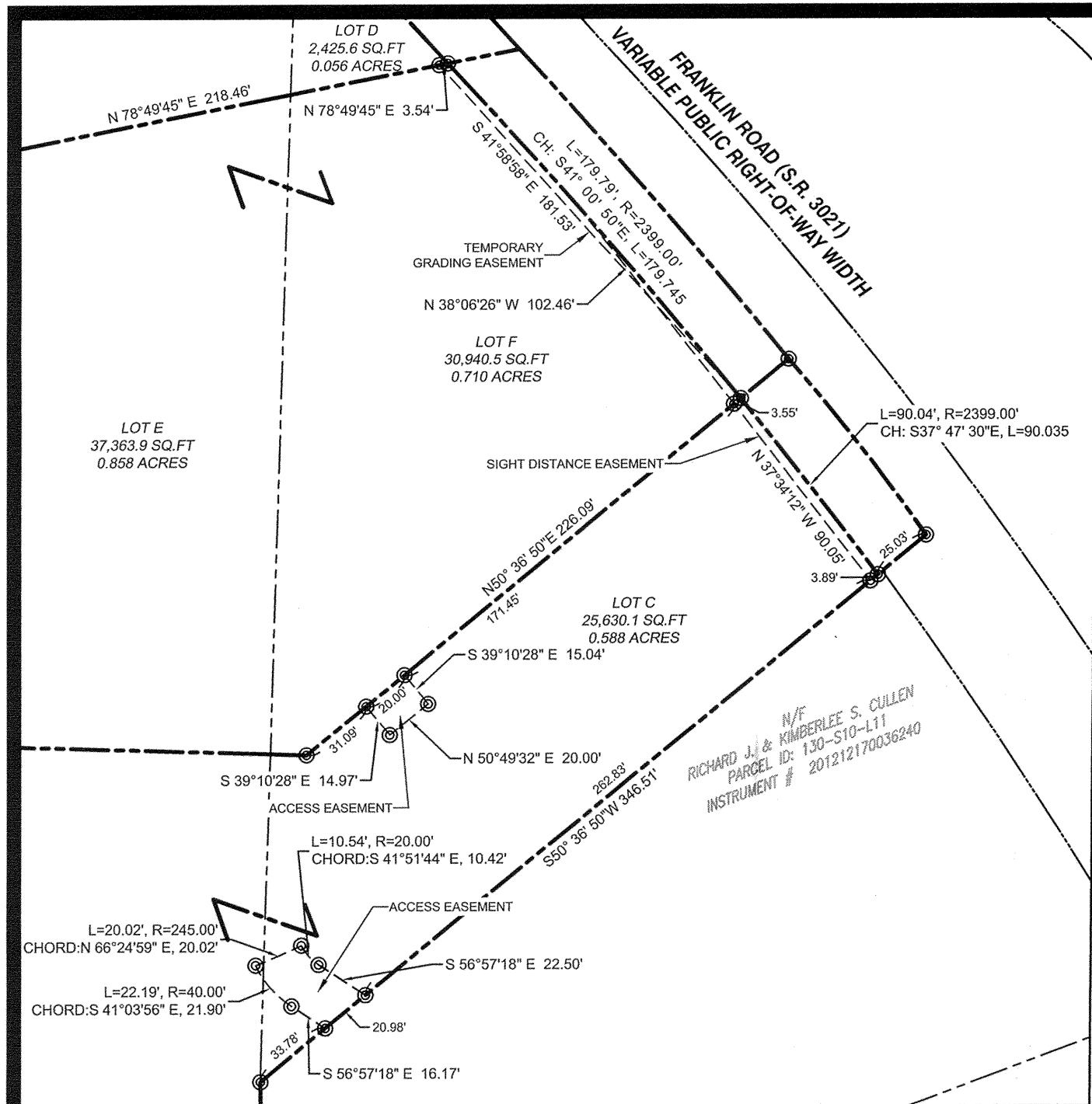
Being a consolidation of Lots 1 and 2 of the Lang Subdivision No. 1
of Pb 187 Pg 7, and being Butler County Tax Parcels
230-2F92-48A (Lot 1) and 230-2F92-48 (Lot 2)

RECORDED _____ 20 _____	
PLAN BOOK	PAGE
384	36
SHEET _____	of _____

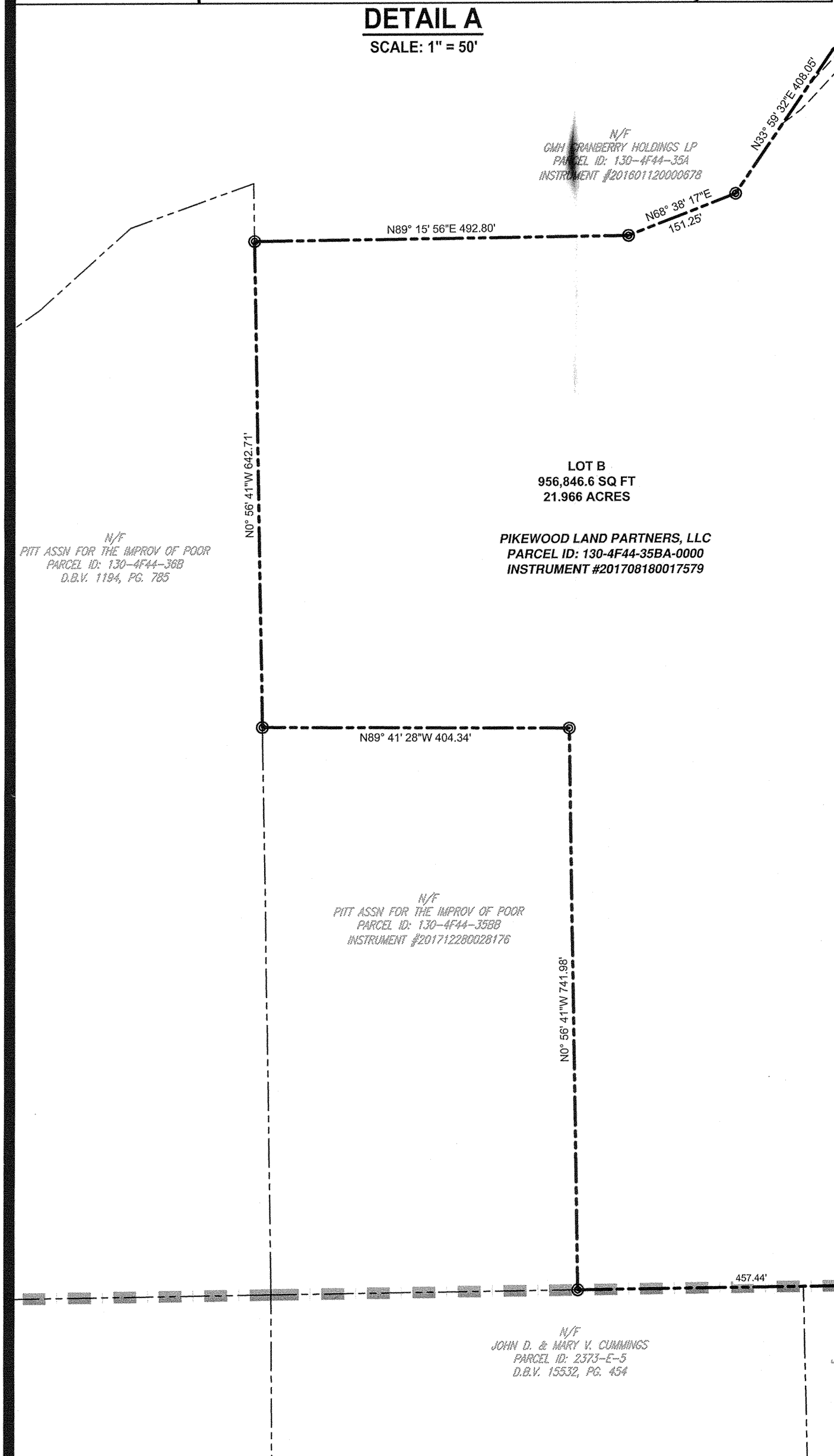
REV	DESCRIPTION						BY	DATE	
<div><p>GRAFF SURVEYING LLC PO BOX 521 SAXONBURG, PA 16056 P: 724-352-3811 F: 724-352-1059 INFO@GRAFFSURVEYING.COM WWW.GRAFFSURVEYING.COM</p></div>									
PROJECT DESCRIPTION									
LANG REALTY ESTATE PLAN									
BEING A									
CONSOLIDATION									
FOR									
MARY LOUISE LANG									
REALTY TRUST									
SITUATE									
MIDDLESEX TOWNSHIP BUTLER COUNTY, PENNSYLVANIA									
DATE	DRAWN			CHECKED			SCALE		
12/23/19	BAG			Sdg			1" = 60'		
PROJECT NO.			TAX PARCEL NO.						
19-280			230-2F92-48, 48A & 36E						
			REVISION						
			-						

GENERAL NOTES:

1. OWNERS: 230-2992-48 A & M - LUNG REALTY TRUST
185 & 187 BROWNS HILL ROAD
VALENCIA, PA 16059
2. ZONING DESIGNATION: RURAL RESIDENTIAL (AG-A)
3. SETBACKS: FRONT LINE - 75 FEET
SIDE YARD - 25
REAR YARD - 75
4. REFERENCES:
 - 4.1. CURRENT DEEDS OF RECORD
 - 4.2. PREVIOUSLY RECORDED PLANS
 - 4.2.1. LANG SUBDIVISION NO. 1
PLAN BOOK 187 PG 7
 - 4.2.2. EDINGER SUBDIVISION NO. 1
PLAN BOOK 183 PG 49
 - 4.2.3. TOMACARI PLAN
PLAN BOOK 120 PG 41
 - 4.2.4. EKIN PLAN NO. 3
PLAN BOOK 98 PG 30
5. SURVEY AZIMUTH BASED ON STATE PLANE GRID SYSTEM (PA SOUTH

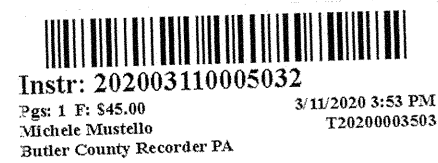


DETAIL A
SCALE: 1" = 50'



GENERAL NOTES

- A RIGHT-OF-WAY AND EASEMENT FOR THE NON-EXCLUSIVE USE OF A PRIVATE ROAD TRaversing A PORTION OF THE ASSOCIATION'S LAND FOR INGRESS, EGRESS AND REGRESS TO AND FROM THE FACILITIES SITE.
- PADOT ROUTE 10005 ROAD DOCKET NUMBER 2 PAGE 267. SEE DRAWINGS FOR CONSTRUCTION AND CONDEMNATION OF RIGHT-OF-WAY ROUTE NUMBER 10005 IN BUTLER COUNTY FROM STATION 10+00.00 TO STATION 28+50.00 ON APPROVED PLAN DATED MAY 1, 1947.



PLAN BOOK	PAGE
384	38

LEGEND	
---	SUBJECT PROPERTY
---	ADJOINER PROPERTY
---	EASEMENT
---	ROAD CENTERLINE
---	ROAD RIGHT-OF-WAY

PIKEWOOD LAND PARTNERS, LLC ADOPTION

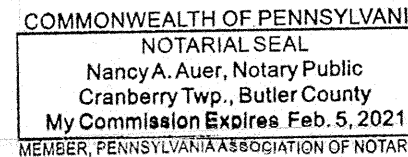
The Pikewood Land Partners, LLC, owner of the land shown on the "Laurel Pointe - Lot Consolidation" hereby adopts this plan as its plan of lots and irrevocably dedicates all streets and other property identified for dedication on the plan to the public. This adoption and dedication shall be binding upon the partnership and upon its heirs, executors, and assigns.

Witness
Signature of Owner
Date 1/29/2020

Before me, the undersigned Notary public in and for the Commonwealth of Pennsylvania and County of Butler, personally appeared the above named Brian L. Singer, Owner of Pikewood Land Partners, LLC, and acknowledged the foregoing adoption and dedication to be the act of the partnership.

Witness my hand and notarial seal this 11th day of January, 2020.

My commission expires the 11th day of January, 2021.



PIKEWOOD LAND PARTNERS, LLC CERTIFICATION OF TITLE

I hereby certify that the title to the property contained in the "Laurel Pointe - Lot Consolidation" is in the name of Pikewood Land Partners, LLC and is recorded in Instrument # 201708180017579.

Witness
Signature of Owner
Date 1/29/2020

Washington Financial Bank mortgage of the property contained in the "Laurel Pointe - Lot Consolidation" consents to the recording of said plan and to the dedications and all other matters appearing on the plan.

Witness
Name, Title, and Mortgagee
Date 1/29/2020

SIPPEL ADOPTION

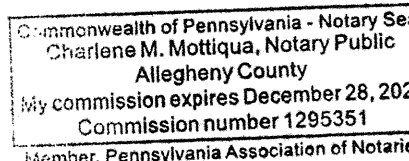
We, owners of the land shown on the "Laurel Pointe - Lot Consolidation", hereby adopt this plan as our plan of lots and irrevocably dedicate all streets and other property identified for dedication on the plan to the public. This adoption and dedication shall be binding upon our heirs, executors, and assigns.

Witness
Signature of Owner
Date 1-29-2020

Before me, the undersigned Notary public in and for the Commonwealth of Pennsylvania and County of Butler, personally appeared the above named Timothy J. Sippl and Adrienne A. Sippl, and acknowledged the foregoing adoption and dedication to be the act of the partnership.

Witness my hand and notarial seal this 29th day of January, 2020.

My commission expires the 28th day of December, 2023.



SIPPEL CERTIFICATION OF TITLE

We hereby certify that the title to the property contained in the "Laurel Pointe - Lot Consolidation" is in the name of Timothy J. Sippl and Adrienne A. Sippl and is recorded in Instrument # 201708180017579. We further certify that there is no mortgage, lien, or other encumbrance against this property.

Witness
Signature of Owner
Date 1-29-2020

Witness
Signature of Owner
Date 1-29-2020

SURVEYOR'S CERTIFICATION

I, Jon P. Myers, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, certify to the best of my knowledge, the survey and plan shown herein are correct and accurate to the standards required.

Date of Plan: January 17, 2020

By: Jon P. Myers, PLS
PA Registration No. SU051238

NO ACCEPTANCE OF DEDICATION

The Board of Supervisors of the Township of Cranberry, hereby gives notice that in approving this plan for recording, the Township of Cranberry has not accepted dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

NO BUILDING PERMITS WITHOUT APPROVED SEWAGE FACILITIES

The Township of Cranberry agrees not to issue building permits until the "Planning Module for Land development" has been approved in accordance with the regulations of the Pennsylvania Department of Environmental Protection.

CRANBERRY TOWNSHIP BOARD OF SUPERVISORS APPROVAL

Approved by the Board of Supervisors of the Township of Cranberry by Ordinance/Resolution No. 2017-79 on the 10th day of March, 2020.

Secretary
Chairman, Board of Supervisors

CRANBERRY TOWNSHIP MANAGER APPROVAL

Township Manager for the Township of Cranberry, certify that the conditions for final approval outlined in Ordinance/Resolution No. 2017-79 have been met in accordance with Sections 22-305 and 22-307 of the Township of Cranberry Code of Ordinances.

Township Manager

CRANBERRY TOWNSHIP ENGINEER APPROVAL

Timothy John Schutzmayer, a registered professional engineer, the Township Engineer for Cranberry Township, do hereby certify that this land development plan meets all the engineering and design requirements of the Township ordinances except as departures have been authorized by the Cranberry Township Board of Supervisors.

Signature
Registration Number
Date 3/10/2020

BUTLER COUNTY PLANNING COMMISSION REVIEW

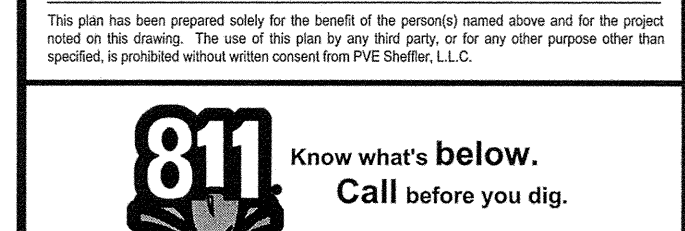
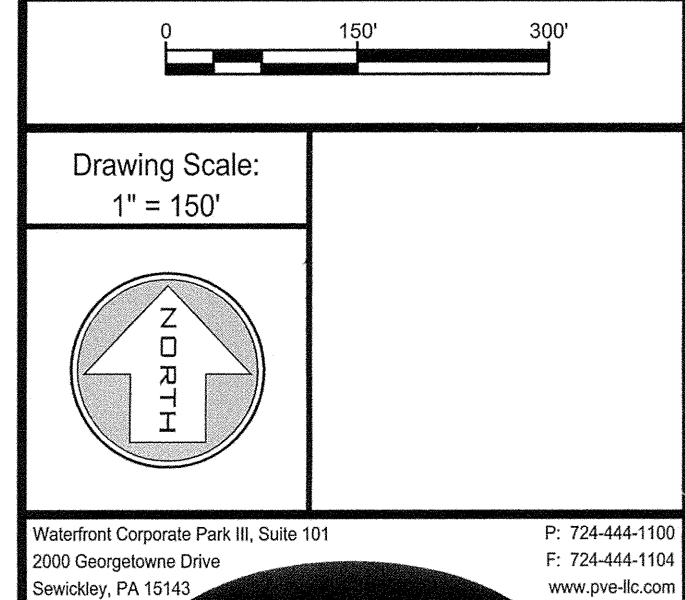
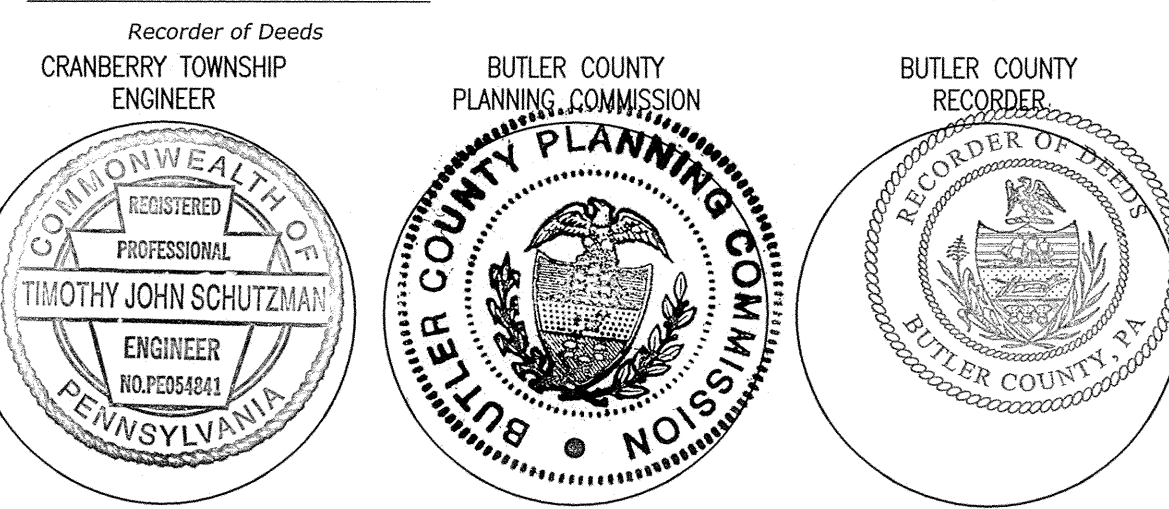
Reviewed by the Butler County Planning Commission on this 16th day of August, 2017.

Secretary
Chairman, Butler County Planning Commission

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUTLER
Recorded in the Recorder's Office for the recording of deeds; plans, etc., in said County in Plan Book Volume 384, Page 38.

Given under my hand and seal this 11th day of March, 2020.
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREEES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DATE ISSUED:	DECEMBER 6, 2019
PLAN REVISIONS	
DATE	DESCRIPTION
1	01/17/2020 ADDED ROAD DEDICATION AREAS
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	

Situate In:
Cranberry Township, Butler County, Pennsylvania
Project Name:
LAUREL POINTE
Drawing Name:
Lot Consolidation
Project No:
161175
Drawing No:
1 of 1

KNOW ALL MEN BY THESE PRESENTS; THAT JOHN W. & APRIL S. HINES, DO HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN SLIPPERY ROCK TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF SLIPPERY ROCK, JOHN W. & APRIL S. HINES, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF SLIPPERY ROCK, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON JOHN W. & APRIL S. HINES OUR SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 9th DAY OF MARCH 2020.

ATTEST:

John W. Hines
OWNER

April S. Hines
OWNER

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED JOHN W. & APRIL S. HINES AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.

WITNESS MY HAND AND SEAL THIS 9th DAY OF MARCH 2020.
MY COMMISSION EXPIRES THE 26th DAY OF JULY 2023.

Vonnie J. Hogg
NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Vonnie J. Hogg, Notary Public
Butler County
My commission expires July 26, 2023
Commission number 1235484
Member, Pennsylvania Association of Notaries

APPROVED BY THE SLIPPERY ROCK TOWNSHIP PLANNING COMMISSION THIS 9th DAY OF MARCH, 2020.

Vonnie J. Hogg
SECRETARY

Don Sytner
CHAIRMAN

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF SLIPPERY ROCK HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF SLIPPERY ROCK ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS, OR ROADS, OR GRADES, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF SLIPPERY ROCK, THIS 9th DAY OF MARCH, 2020.

Karen M. Connell
SECRETARY

Paul A. Dahn
CHAIRMAN, BOARD OF SUPERVISORS

Timothy Dahn
SUPERVISOR

I, JEFFREY A. SHUTY, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS AND OR AGENTS.

3/7/2020
DATE

Jeffrey A. Shuty
REG. NO. SU075509

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 19th DAY OF FEB 2020.

Rita G. M.
SECRETARY

John G. M.
CHAIRMAN

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER

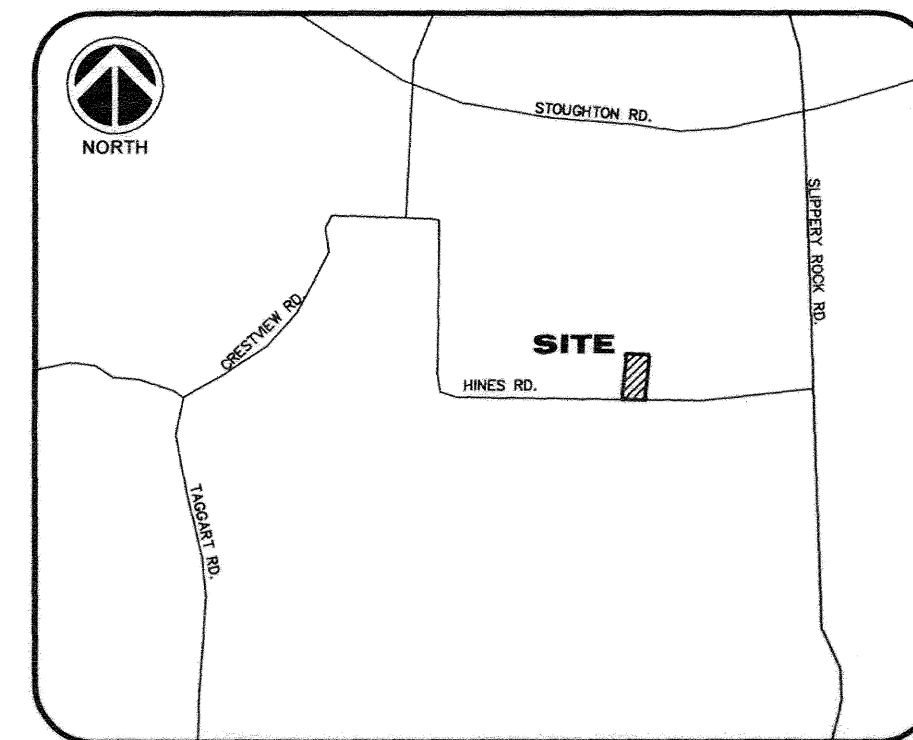
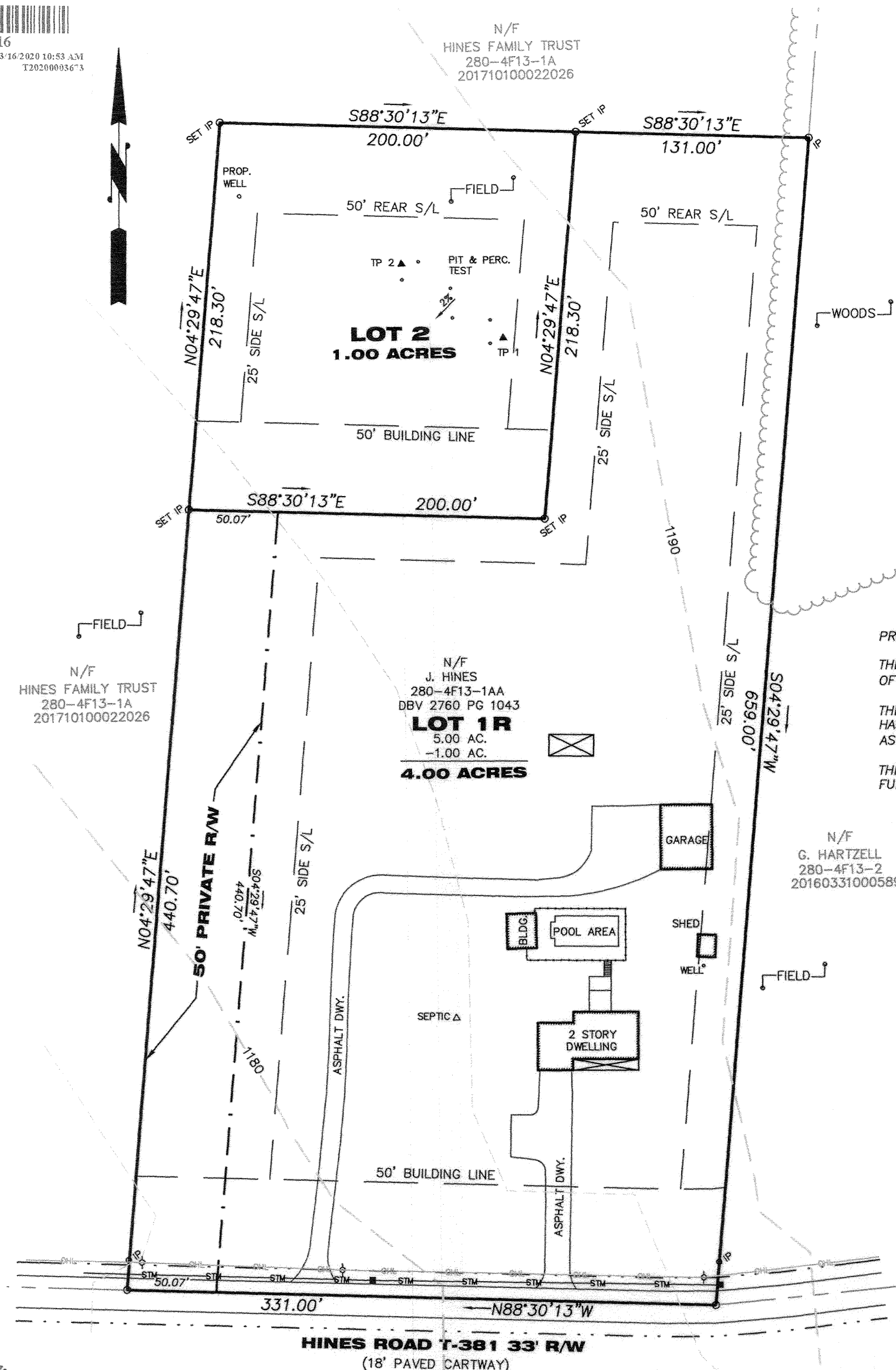
RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN SAID COUNTY IN PLAN BOOK VOLUME 384 PAGE 39.

GIVEN UNDER MY HAND AND SEAL THIS 16th DAY OF MARCH 2020.

Michele M. Mustello
RECORDER

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

Instr: 202003160005316
Pgs: 1 P: 545.00
Michele Mustello
Butler County Recorder PA
3/16/2020 10:53 AM
T20200003673



VICINITY MAP

NOT TO SCALE

PRIVATE 50' RIGHT OF WAY

THE PRIVATE RIGHT OF WAY AS SHOWN ON THIS PLAN SHALL BE A MEANS OF VEHICULAR AND/OR PEDESTRIAN ENTRY, EGRESS AND REGRESS TO/FROM LOT 2.

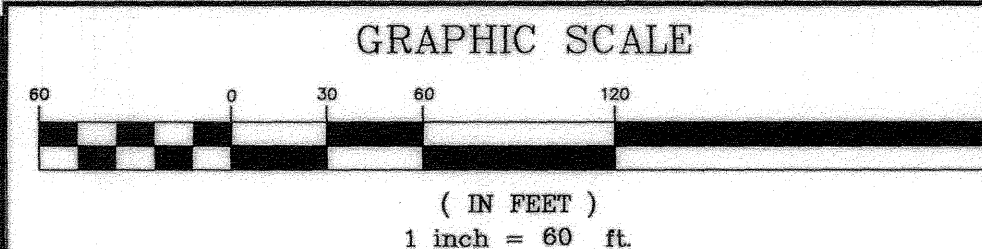
THE PRIVATE RIGHT OF WAY IS NOT INTENDED AS A PUBLIC ROAD/STREET, HAS NOT BEEN DEDICATED FOR PUBLIC USE AND HAS NOT BEEN ACCEPTED AS A PUBLIC ROAD/STREET BY SLIPPERY ROCK TOWNSHIP.

THE MAINTENANCE AND/OR REPAIR OF NONPUBLIC STREET SHALL BE THE FULL AND SOLE RESPONSIBILITY OF THE OWNER OF LOT 2.

N/F
G. HARTZELL
280-4F13-2
201603310005899

TOTAL PLAN AREA 5.00 ACRES
LOT 1R 4.00 AC.
LOT 2 1.00 AC.

PLAN BOOK	PAGE
384	39



OWNER:
JOHN W. & APRIL S. HINES
133 HINES ROAD
SLIPPERY ROCK, PA 16057
724-991-9737

ZONING - RC-1 RURAL CONSERVATION
MIN. LOT AREA 1 ACRE
MIN. LOT WIDTH 150'
SETBACKS:
FRONT YARD 50'
SIDE YARD 25'
REAR YARD 50'
MAX. BLDG. HT. 35'
MAX. COVERAGE 15%

PARCEL ID: 280-4F13-1AA
DEED REF: DBV 2760 PG 1043
PBV 204 PG 16

NORTHERN
SURVEYORS AND ASSOCIATES

137 LINK LANE
SLIPPERY ROCK, PA 16057
(724)530-6889
northernsurveyor@gmail.com

Scale 1" = 60'
Date January 23, 2020

Hines Subdivision

Situate in Slippery Rock Township
Butler County, Pa.

Prepared For

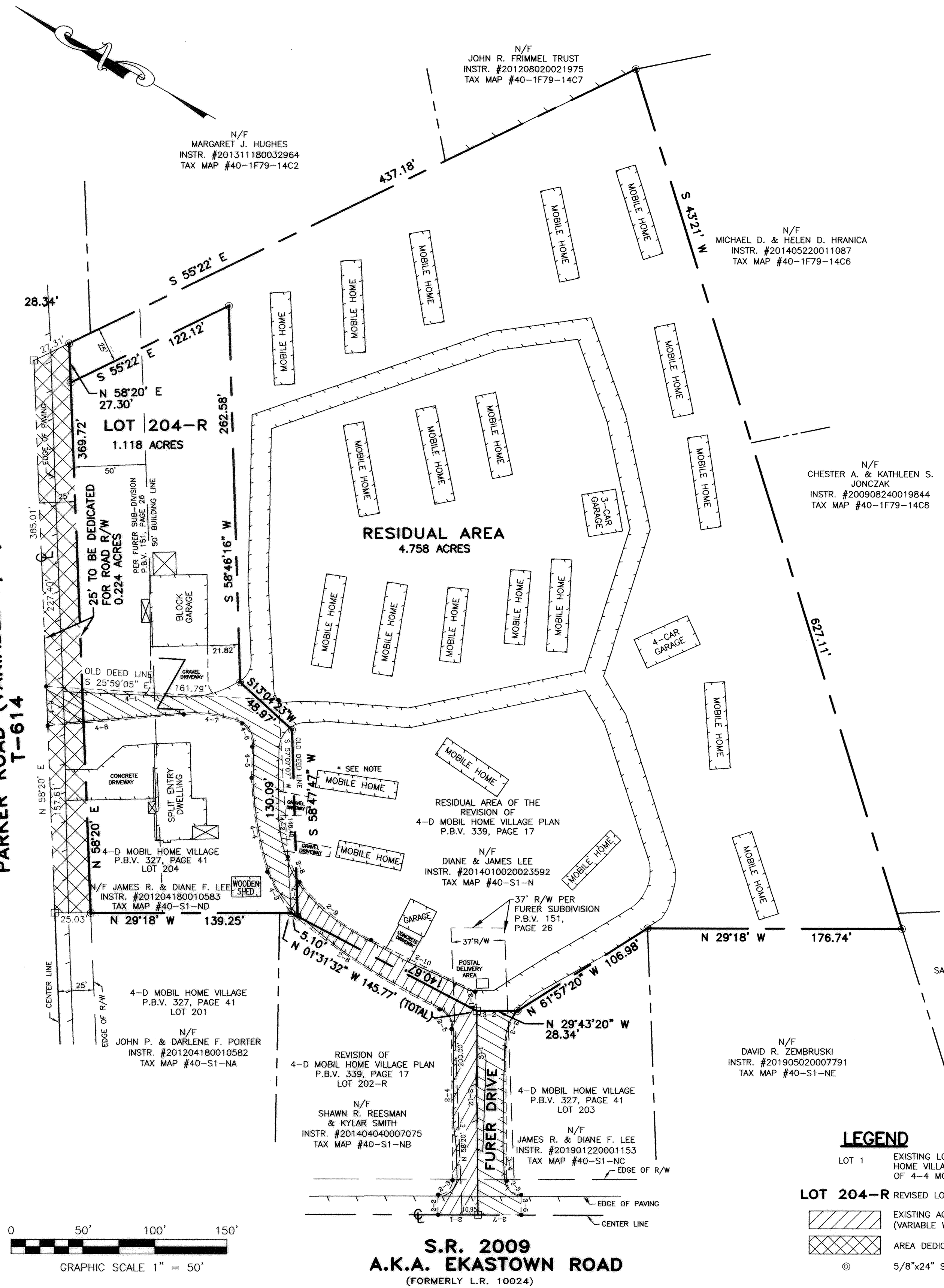
Brett Hines

Job No.

3240

Sheet No. 1 of 1

PARKER ROAD (VARIABLE R/W)
T-614



ACCESS EASEMENT THRU LOT 202-R AND RESIDUAL AREA PER REVISION OF 4-D MOBIL HOME VILLAGE PLAN P.B.V. 339, P. 17		
LINE	BEARING/RADIUS	DIST./ARC
2-1	N 29°18' W	27.66'
2-2	N 60°42' E	14.07'
2-3	R=10.00'	A=15.80'
2-4	N 60°11'12\" E	105.16'
2-5	R=13.88'	A=17.14'
2-6	R=493.31'	A=123.28'
2-7	N 57°07'07\" E	39.41'
2-8	S 35°48'47\" W	19.53'
2-9	R=146.24'	A=64.71'
2-10	S 02°59'58\" E	80.65'
2-11	S 56°22'40\" W	13.48'
2-12	S 60°11'12\" W	141.90'

ACCESS EASEMENT THRU LOT 203 PER 4-D MOBIL HOME VILLAGE PLAN P.B.V. 327, P. 41		
LINE	BEARING/RADIUS	DIST./ARC
3-1	N 60°11'12\" E	141.90'
3-2	S 29°43'20\" E	28.34'
3-3	R=41.69'	A=26.70'
3-4	S 60°11'12\" W	93.15'
3-5	R=10.00'	A=15.80'
3-6	S 60°42' W	14.06'
3-7	N 29°18' W	30.04'

ACCESS EASEMENT THRU LOT 204-R PER 4-D MOBIL HOME VILLAGE PLAN P.B.V. 327, P. 41		
LINE	BEARING/RADIUS	DIST./ARC
4-1	S 25°59'05\" E	161.79'
4-2	S 57°07'07\" W	148.40'
4-3	R=138.85'	A=33.40'
4-4	R=236.14'	A=66.43'
4-5	N 61°43'25\" E	21.70'
4-6	R=19.85'	A=18.08'
4-7	R=88.27'	A=41.69'
4-8	N 34°08'49\" W	94.87'
4-9	N 58°20' E	27.40'

LEGEND

LOT 1 EXISTING LOT NUMBER PER 4-D MOBIL HOME VILLAGE PLAN AND THE REVISION OF 4-D MOBIL HOME VILLAGE PLAN

LOT 204-R REVISED LOT NUMBER

EXISTING ACCESS EASEMENT (VARIABLE WIDTH)

AREA DEDICATED FOR R/W

5/8\"x24\" STEEL PIN WITH CAP

AREA SUMMARY

EXISTING CONDITION:	
TM #40-S1-ND LOT 204	0.570 ACRES
TM #40-S1-N RESIDUAL AREA	5.530 ACRES
TOTAL	6.100 ACRES
PROPOSED CONDITION:	
LOT 204-R	1.118 ACRES
RESIDUAL AREA	4.758 ACRES
AREA FOR R/W	0.224 ACRES
TOTAL PLAN AREA	6.100 ACRES

IT IS THE INTENT OF THIS SUBDIVISION TO REVISE THE LOT LINE BETWEEN TWO ADJOINING PARCELS OF THE SAME OWNERSHIP. NO NEW LOTS ARE BEING CREATED.

KNOW ALL MEN BY THESE PRESENTS, THAT WE, JAMES R. & DIANE F. LEE, OWNERS OF THE PROPERTY IN THE 4-D MOBIL HOME VILLAGE, REVISION NUMBER 2, OF THE TOWNSHIP OF BUFFALO, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS PLAN AS OUR PLAN OF LOTS OF OUR PROPERTY, SITUATE IN THE TOWNSHIP OF BUFFALO, BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANDS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF BUFFALO, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, TOWNSHIP OF BUFFALO, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON JAMES R. & DIANE F. LEE, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE HEREUNTO SET OUR HAND AND SEAL.

THIS 16 DAY OF March, 2020.

ATTEST:

NOTARY PUBLIC

JAMES R. LEE

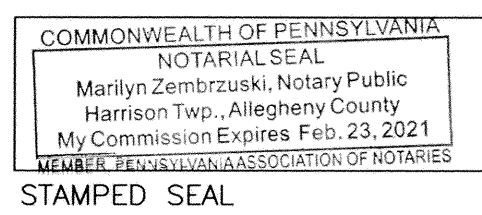
DIANE F. LEE

COMMONWEALTH OF PENNSYLVANIA)
COUNTY OF BUTLER Allegheny)

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED JAMES R. & DIANE F. LEE, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE BY THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH, SWORN TO AND SUBSCRIBED BEFORE ME THIS DAY.

WITNESS MY HAND AND NOTORIAL SEAL THIS 16 DAY OF March, 2020.

MY COMMISSION EXPIRES THE 23 DAY OF Feb, 2021.



STAMPED SEAL

NOTARY PUBLIC

I, ANTHONY J. MALES, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN. THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

2-17-20

DATE

ANTHONY J. MALES, P.L.S. - REG. NO. 23630-E

COMMONWEALTH OF PENNSYLVANIA)
COUNTY OF BUTLER)

RECORDED IN THE RECORDER'S OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC., IN SAID COUNTY. Book 384 Pg 40

INSTRUMENT NUMBER 202003180005556

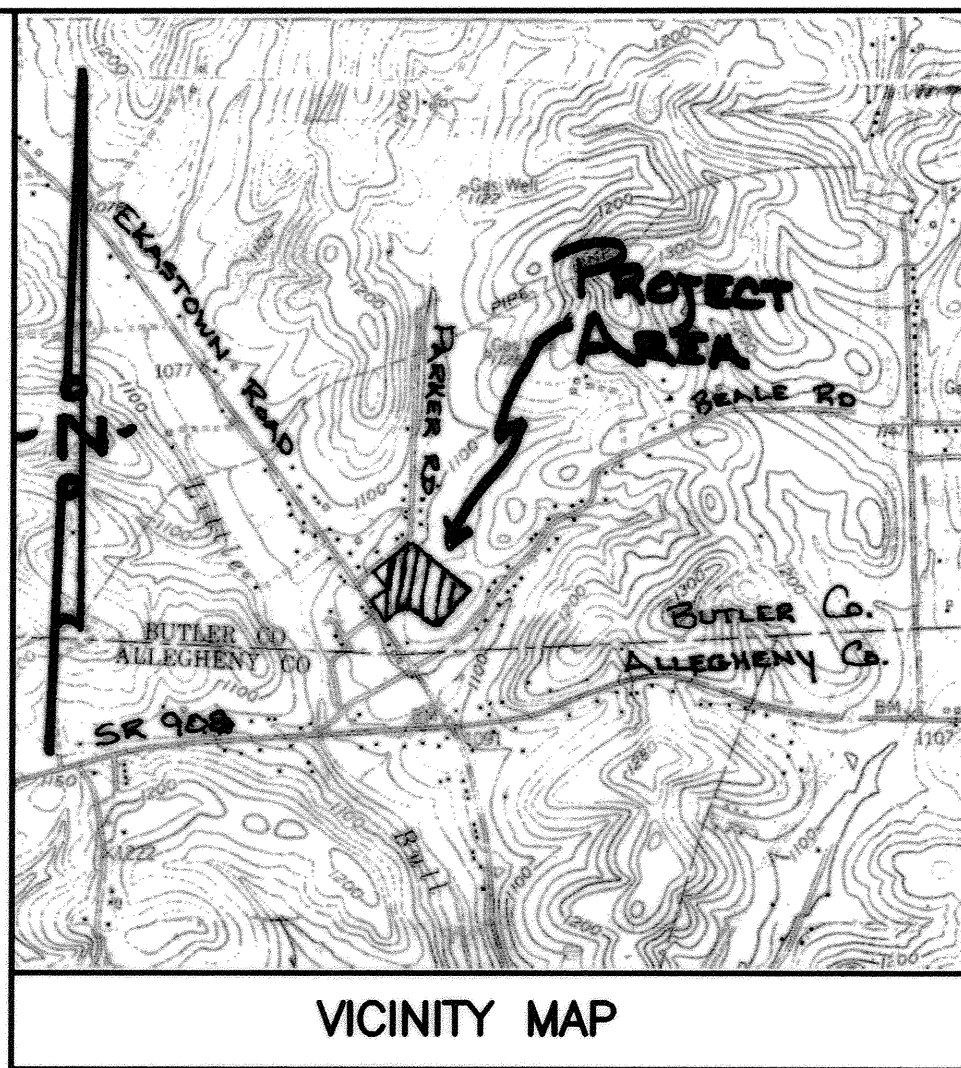
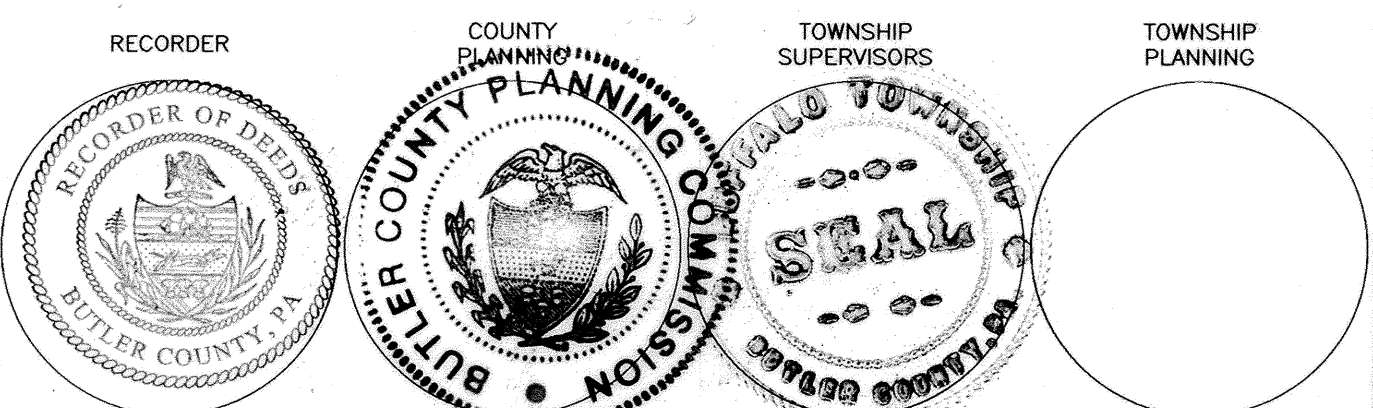
GIVEN UNDER MY HAND AND SEAL

THIS 18th DAY OF March, 2020.

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

RECORDED

ALL SIGNATURES MUST BE MADE WITH BLACK INK OR BLACK FELT TIP PEN



APPROVED BY THE Buffalo County PLANNING COMMISSION

THIS 5th DAY OF December, 2019.

SECRETARY

CHAIRPERSON

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF BUFFALO HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF BUFFALO ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF BUFFALO

THIS 12th DAY OF FEBRUARY, 2020.

SECRETARY

CHAIRPERSON

REVIEWED BY THE Buffalo Township PLANNING COMMISSION

THIS 5th DAY OF FEBRUARY, 2020.

SECRETARY

CHAIRPERSON

INSTR: 202003180005556
Pg: 1 F: 545.50
Michele Mustello
Butler County Recorder PA

OWNERS:

JAMES R. & DIANE F. LEE
617 PARKER ROAD
SARVER, PA 16055

RECORDED	PAGE NO.
PLAN BOOK	384 40
SHEET	OF


4-D MOBIL HOME VILLAGE PLAN REVISION NUMBER 2

BEING A LOT LINE REVISION BETWEEN LOT 204 IN THE 4-D MOBIL HOME VILLAGE PLAN, AS RECORDED IN PLAN BOOK 327, PAGE 41 AND THE RESIDUAL AREA IN THE REVISION OF 4-D MOBIL HOME VILLAGE PLAN, AS RECORDED IN PLAN BOOK 339, PAGE 17

SITUATE IN
BUFFALO TOWNSHIP, BUTLER COUNTY, PA

MADE FOR
JAMES R. & DIANE F. LEE

ALPHA ENGINEERING COMPANY, INCORPORATED
DESIGNERS-PLANNERS-ENGINEERS-SURVEYORS
2668 LEECHBURG ROAD, LOWER BURRELL, PA 15068 (724) 339-2000

 <div>SURVEYOR REGISTERED PROFESSIONAL ANTHONY J. MALES LAND SURVEYOR No. 50026008</div>	SCALE: HORZ: 1" = 50'		DATE: NOV 2019	
	DRAWN BY: A.R.H.	CHECKED BY: A.J.M.	COMPUTER FILE: 4-D_MOBIL_HOME_7-19	DRAWING NUMBER: B-15772
	REFERENCES:		REVISIONS:	
			2-10-20 PER ENGINEER REVIEW COMMENTS	
			2-17-20 ADD MODIFICATION NOTE	
				SHEET 1 OF 1

ZONING SUMMARY

ZONING: B-
(BUSINESS DISTRICT)

SETBACK REQUIREMENTS:

LOT AREA: 20,000 SQ.FT.
LOT WIDTH: 100' MIN
FRONT YARD DEPTH: 100' MIN
SIDE YARD WIDTH: 20' MIN
REAR YARD DEPTH: 20' MIN

ZONING: A2
(ACCESS MANAGEMENT OVERLAY ZONE)

FOR LOTS WITHIN THE A-2 ACCESS MANAGEMENT OVERLAY ZONE DISTRICT, BUT CREATED BEFORE THE ESTABLISHMENT OF THE A-2, THE SETBACK MAY BE REDUCED TO THE AVERAGE OF BUILDINGS LOCATED WITHIN ONE HUNDRED (100) FEET IN EITHER DIRECTION ON THE SAME SIDE OF THE STREET.

FLOODPLAIN INFORMATION

PROPERTY IS LOCATED IN FLOODPLAIN ZONE X (UNSHADED)

ZONE X (UNSHADED) INDICATES AREAS DETERMINED TO BE OUTSIDE THE 0.2% (500-YEAR) ANNUAL CHANCE FLOODPLAIN AREA, PER FLOOD INSURANCE RATE MAP (FIRM) NO.: 42019C0586D, DATED AUGUST 2, 2018.

AVAILABLE UTILITIES

WATER: FANNY TOWNSHIP WATER AUTHORITY
SEWAGE: BUFFALO TOWNSHIP SEWER AUTHORITY
ELECTRIC: PENN POWER
GAS: PEOPLES

NOTES:

PROPERTY IS SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAYS AND EASEMENTS OF RECORD.

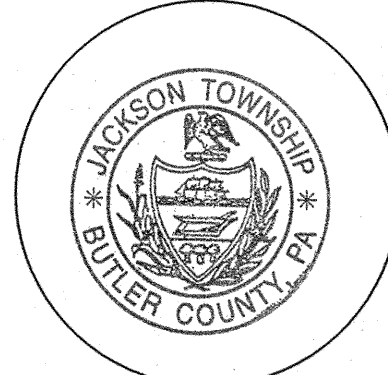
LOT 204-R AND RESIDUAL AREA SHALL HAVE THE RIGHT TO USE ACCESS EASEMENTS AS SHOWN.

ACCESS EASEMENTS SHALL BE MAINTAINED BY 4-D MOBIL HOME VILLAGE.

MOBILE HOME (IDENTIFIED WITH ASTERISK, WHICH IS SITUATE DIRECTLY BEHIND THE SPLIT ENTRY DWELLING) WAS GRANTED A MODIFICATION ON FEBRUARY 12, 2020 BY THE BUFFALO TOWNSHIP SUPERVISORS. IN REGARD TO THE TWENTY (20) FOOT SETBACK REQUIREMENT, IF SAID MOBILE HOME IS RAZED OR REMOVED ANY MOBILE HOME REPLACEMENT OR STRUCTURE MUST CONFORM WITH ALL REQUIREMENTS.



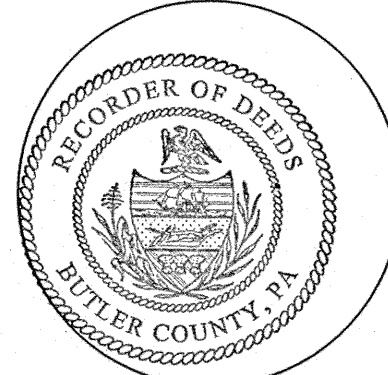
REGISTERED
SURVEYOR



JACKSON TOWNSHIP
BOARD OF SUPERVISORS



BUTLER COUNTY
PLANNING COMMISSION



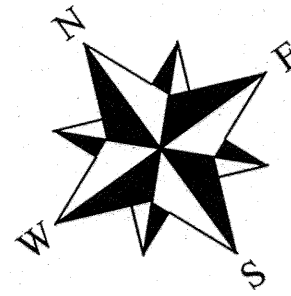
BUTLER COUNTY
RECORDER OF DEEDS

LOT
322

PLAN JACKSON CROSSING PHASE 3
BOOK 384 PAGES 364 PAGES 15-16

S 48°16'37" E
212.09'

LOT
323



LOT 238-R
27,760.40 SQ.FT.
(0.64 ACRES)

CONSERVATION EASEMENT

LOT
235

LOT
239

25' REAR SETBACK

10' PRIVATE
STORM SEWER
EASEMENT

S 74°06'26" E
20.26'

LOT
236

EXISTING DWELLING

PARCEL "B"
477.15 SQ.FT.
(0.011 AC)
(SEE NOTE "B")

10' UTILITY
EASEMENT

(TOTAL ARC)
R=50.00'
L=76.45'
Tan=47.95'
Δ=87°36'04"

PARCEL "A"
477.15 SQ.FT.
(0.011 AC)
(SEE NOTE "A")

LOT 237-R
12,502.42 SQ.FT.
(0.29 ACRES)

EXISTING DWELLING

R=25.00'
L=30.77'
Tan=17.68'
Δ=70°31'44"

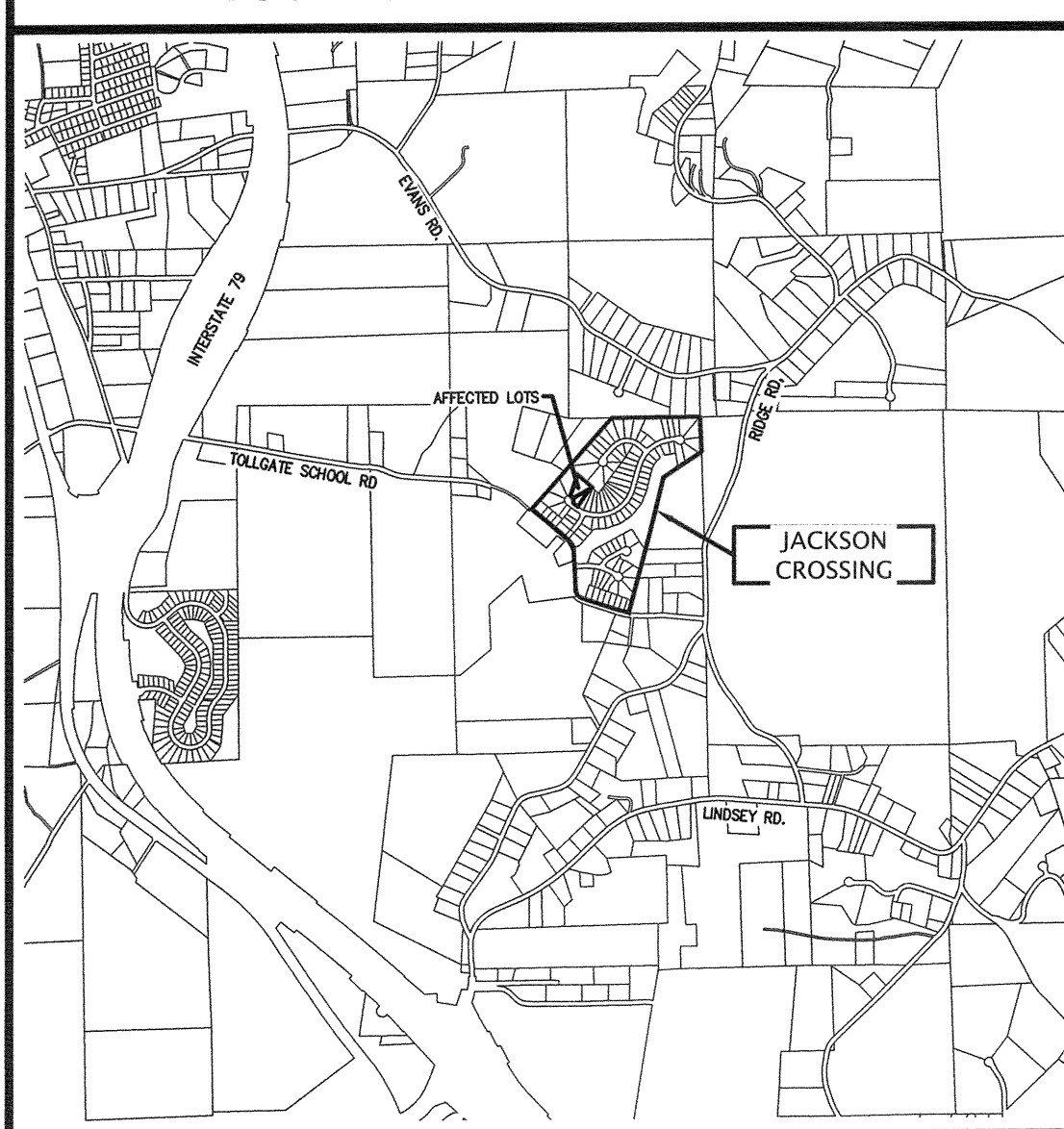
10' UTILITY
EASEMENT

S1°06'
M 82°15.55' N

R=375.00'
L=10.48'
Tan=5.24'
Δ=1°36'05"

ISABELLA COURT 50' R/W

LOCATION MAP 1" = 2000'



GENERAL PLAN NOTES

- PARCEL "A" IS TO BE CONVEYED TO AND BECOME AN INTEGRAL PART OF LOT 237 AND IS NOT TO BE CONSIDERED A SEPARATE BUILDING LOT.
- PARCEL "B" IS TO BE CONVEYED TO AND BECOME AN INTEGRAL PART OF LOT 238 AND IS NOT TO BE CONSIDERED A SEPARATE BUILDING LOT.
- THE ABOVE CONVEYANCES OF PARCELS "A" & "B" MUST BE DONE BY DEED TRANSFERRING TITLE TO SAID PARCELS UPON RECORDING OF THIS PLAN. THIS PLAN DOES NOT CONVEY TITLE TO ANY PARCEL.
- THIS PLAN IS SUBJECT TO ANY AND ALL CONDITIONS OF THE PREVIOUS APPROVED AND RECORDED JACKSON CROSSINGS PLAN OF RECORDING RECORDED IN PLAN BOOK 358, PAGES 14-16.

AFFECTED ZONING : R-RESIDENTIAL
(CLUSTER OPTION)

- MINIMUM LOT SIZE : 7,200 SF/ PER LOT
- MINIMUM LOT WIDTH : 55.00 FEET
- MINIMUM FRONT SETBACK: 25.00 FEET
- MINIMUM REAR SETBACK: 25.00 FEET
- MINIMUM SIDE SETBACK: 15.00 FEET W/ 5' MIN
- MAXIMUM LOT COVERAGE: 80%

ORIGINAL LOT 237

THOMAS R. & CATHERINE J. LEENHEER
406 ISABELLA COURT
ZELIENOPLE, PA 16063

TAX PARCEL 180-S8-A237
INSTRUMENT NO. 201712060026688

LOT AREA PRIOR TO THIS PLAN:
12,502.42 SQ.FT. or 0.29 ACRES

REVISED LOT AREA PER THIS PLAN
12,502.42 SQ.FT. or 0.259 ACRES

PROPERTY OWNERS

ORIGINAL LOT 238

ARTHUR J. & MARY ANN C. ACTON
404 ISABELLA COURT
ZELIENOPLE, PA 16063

TAX PARCEL 180-S8-A238
INSTRUMENT NO. 201710260023340

LOT AREA PRIOR TO THIS PLAN:
27,760.40 SQ.FT. or 0.64 ACRES

REVISED LOT AREA PER THIS PLAN
27,760.40 SQ.FT. or 0.64 ACRES

ARTHUR J. & MARY ANN C. ACTON

KNOW ALL MEN BY THESE PRESENTS THAT I, ARTHUR J. & MARY ANN C. ACTON OF THE COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR MYSELF, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS MY PLAN OF LOTS FOR MY PROPERTY SITUATE IN THE TOWNSHIP OF JACKSON, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA AND FOR DIVERS ADVANTAGES ACCRUING TO EM, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND AFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN THE CONSIDERATION OF THE APPROVAL OF THIS PLAN, ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF JACKSON, I HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF JACKSON, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNER, HIS HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 15th DAY OF February, 2020

ARTHUR J. ACTON

MARY ANN C. ACTON

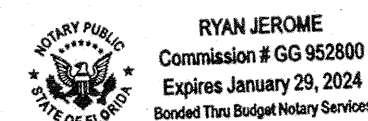
STATE OF FLORIDA

COUNTY OF Lee

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID STATE OF FLORIDA, PERSONALLY APPEARED ARTHUR J. & MARY ANN C. ACTON AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 15th DAY OF February, 2020

NOTARY PUBLIC



BUTLER COUNTY RECORDER OF DEEDS

COMMONWEALTH OF PENNSYLVANIA :

COUNTY OF BUTLER :

RECORDED IN THE RECORDER OF DEEDS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN SAID COUNTY OF BUTLER IN PLAN BOOK VOLUME 384 PAGES 41

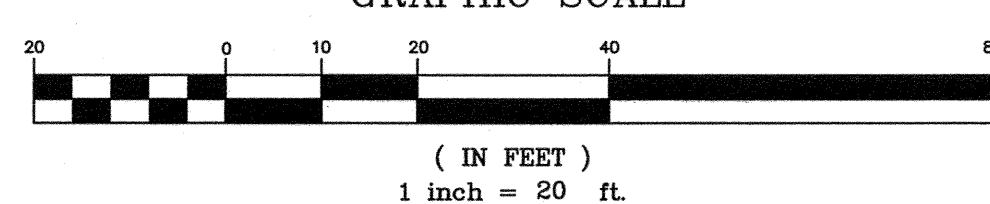
GIVEN UNDER MY HAND AND SEAL THIS 24th DAY OF March, 2020

MICHELE M. MUSTELLO
RECORDER OF DEEDS

MICHELE M. MUSTELLO
RECORDER OF DEEDS

My Commission Expires First Monday in January 2024

GRAPHIC SCALE



THOMAS R. & CATHERINE J. LEENHEER

KNOW ALL MEN BY THESE PRESENTS THAT I, THOMAS R. & CATHERINE J. LEENHEER OF THE COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR MYSELF, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS MY PLAN OF LOTS FOR MY PROPERTY SITUATE IN THE TOWNSHIP OF JACKSON, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA AND FOR DIVERS ADVANTAGES ACCRUING TO EM, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND AFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN THE CONSIDERATION OF THE APPROVAL OF THIS PLAN, ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF JACKSON, I HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF JACKSON, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNER, HIS HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 21 DAY OF February, 2020

THOMAS R. LEENHEER

CATHERINE J. LEENHEER

COMMONWEALTH OF PENNSYLVANIA :

COUNTY OF BUTLER :

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH OF PENNSYLVANIA, PERSONALLY APPEARED THOMAS R. & CATHERINE J. LEENHEER AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 21 DAY OF February, 2020

NOTARY PUBLIC

Mary M. Coluzzi

Mary M. Coluzzi, Notary Public
Ross Twp., Allegheny County
My Commission Expires Sept. 20, 2020
MEMBER PENNSYLVANIA ASSOCIATION OF NOTARIES

SURVEYOR

I HEREBY CERTIFY, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF THAT THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS OF THE REQUIRED ORDINANCES OF JACKSON TOWNSHIP.

JAMES A. SPERDUTE, R.S. # 24457-E

2/10/2020
DATE

BUTLER COUNTY PLANNING COMMISSION

REVIEWED BUTLER COUNTY PLANNING COMMISSION THIS 9th DAY OF January 2020

SECRETARY

CHAIRPERSON

JACKSON TOWNSHIP PLANNING DIRECTOR

APPROVED BY THE PLANNING DIRECTOR OF JACKSON TOWNSHIP ON THE 23rd DAY OF January, 2020 PURSUANT TO CHAPTER 22 OF THE JACKSON TOWNSHIP CODE OF ORDINANCES, SUBDIVISION AND LAND DEVELOPMENT, AS AMENDED AND SUBJECT TO CERTAIN CONDITIONS REFERENCED IN THE TOWNSHIP DECISION LETTER DATED January 23, 2020. THE PLANNING DIRECTOR OF THE TOWNSHIP OF JACKSON GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF JACKSON ASSUMES NO OBLIGATION TO ACCEPT ANY OF THE STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

SIGNED AND NOTED AS APPROVED THIS 11th DAY OF March, 2020

SECRETARY

PLANNING DIRECTOR

JACKSON TOWNSHIP BOARD OF SUPERVISORS

APPROVED BY THE BOARD OF SUPERVISORS OF JACKSON TOWNSHIP ON THE 23rd DAY OF January, 2020 PURSUANT TO CHAPTER 22 OF THE JACKSON TOWNSHIP CODE OF ORDINANCES, SUBDIVISION AND LAND DEVELOPMENT, AS AMENDED AND SUBJECT TO CERTAIN CONDITIONS REFERENCED IN THE TOWNSHIP DECISION LETTER DATED January 23, 2020. THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF JACKSON GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF JACKSON ASSUMES NO OBLIGATION TO ACCEPT ANY OF THE STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

SIGNED AND NOTED AS APPROVED THIS 9th DAY OF March, 2020

SECRETARY

CHAIRPERSON

DELIVERY ACKNOWLEDGEMENT

THIS PLAN WAS DELIVERED TO BY JACKSON TOWNSHIP ON THE 19 DAY OF March, 2020

SECRETARY/MANAGER

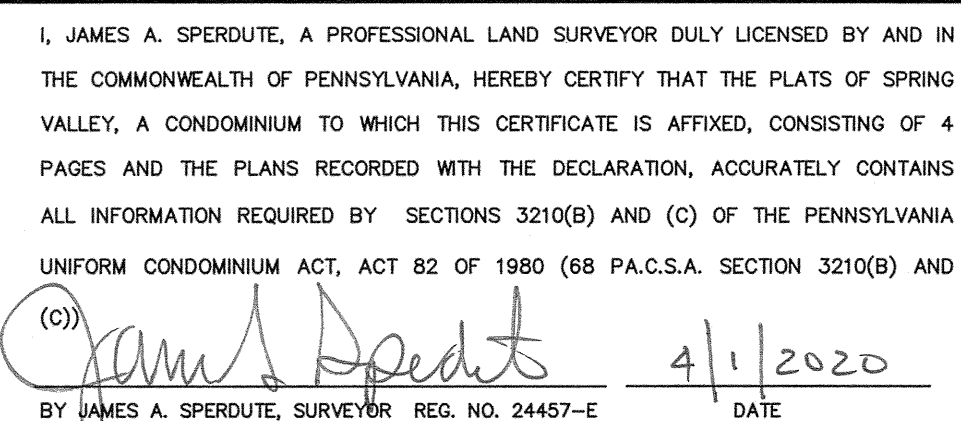
PLAN BOOK
384
PAGE
41

JACKSON CROSSING
LOTS 237 & 238
REVISED

BEING A REVISION TO LOTS 237 & 238 OF THE JACKSON CROSSING PHASE 2 PLAN OF LOTS AS RECORDED IN PBV 358, PGS 14-16

JACKSON TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA



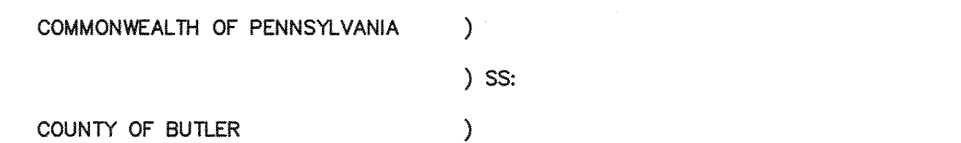


ON THE 1 DAY OF April 2020, BEFORE ME, A NOTARY PUBLIC FOR THE COMMONWEALTH OF PENNSYLVANIA, PERSONALLY APPEARED JAMES A. SPERDUTE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE ABOVE CERTIFICATION AND BEING DULY SWORN MADE SOLEMN OATH TO THE TRUTH OF THE STATEMENT TO WHICH HIS NAME IS SUBSCRIBED.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND NOTARIAL SEAL.

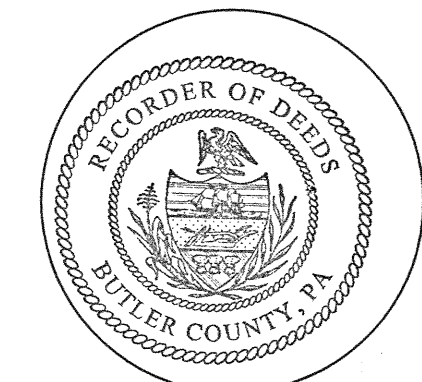
Jennifer Lyn Spurdute
NOTARY PUBLIC

MY COMMISSION EXPIRES: October 14, 2023



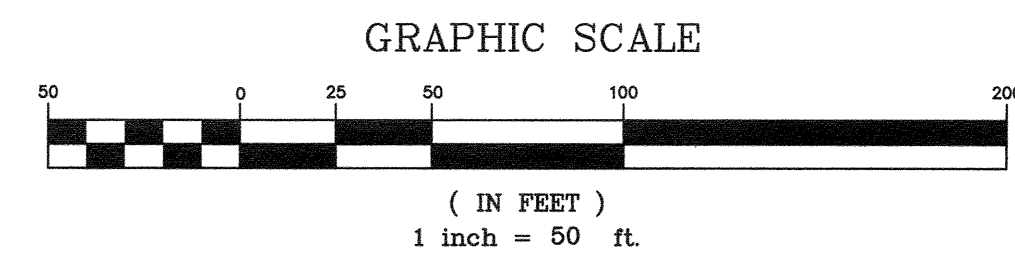
RECORDED IN THE RECORDER'S OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN
COUNTY IN PLAN BOOK 384 PAGES 42-45 GIVEN UNDER
MY HAND AND SEAL THIS 3rd DAY OF April 2020

Michael H. Mastella
RECORDER OF DEEDS



SURVEYOR BUTLER COUNTY
RECORDER OF DEEDS

MICHELE M. MUSTELLO
RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



LOT AREA TABULATION	LOT 101		LOT 201	
	SQ.FT.	ACRES	SQ.FT.	ACRES
ORIGINAL TRACT:	986,391	22.644	857,603	19.688
CONDO PLAN NO. 1 PHASE 1 (PART A)	113,282	2.601		
CONDO PLAN NO. 1 PHASE 1 (PART B)	90,399	2.075		
CONDO PLAN NO. 2 PHASE 2	628,475.41	14.428		
CONDO PLAN NO. 2 PHASE 3A	45,413	14.428		
CONDO PLAN NO. 2 PHASE 3B			50,082	1.150
CONDO PLAN NO. 2 PHASE 3C			65975	1.515
AREA REMAINING FOR DEVELOPMENT (CONVERTIBLE/WITHDRAWABLE REAL ESTATE)	108,821.59	2.497	741,546	17.023

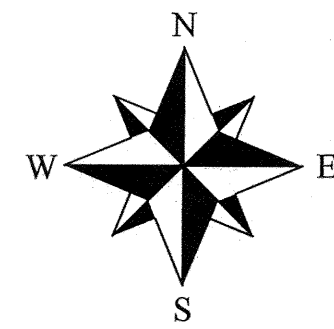
PLAN BOOK	PAGE
384	42

[illegible]

**SPRING VALLEY
CONDOMINIUM
PLAN NO. 3**

PREPARED FOR SPRING VALLEY PARTNERS 2,LP
P.O. BOX 449 MARS, PA 16046
JACKSON TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA





N/F KOHLMEYER
T/P # 180-53-01B

N/F WHITEHEAD
T/P # 180-4F123-8

S 84°34'10" E 1705.97' (TOTAL)

20' SANITARY SEWER EASEMENT

1121.63'

20' SANITARY SEWER EASEMENT

60' PERIMETER SETBACK

REMAINING PORTION OF
LOT 201
741,546 SF
(17.023 ACRES)

THE VILLAS AT SPRING VALLEY
SUBDIVISION PLAN NO. 3
PBV 381, PAGE 45

CONVERTIBLE/WITHDRAWABLE REAL ESTATE
NEED NOT BE BUILT

REMAINING PORTION OF
LOT 201
741,546 SF
(17.023 ACRES)

THE VILLAS AT SPRING VALLEY
SUBDIVISION PLAN NO. 3
PBV 381, PAGE 45

CONVERTIBLE/WITHDRAWABLE REAL ESTATE
NEED NOT BE BUILT

Lutz Road (Variable Width R/W)
N 62°28'45" E 205.59'

N/F SPRING VALLEY PARTNERS 2, LP
T/P # 180-4F123-9JA

STORMWATER
MANAGEMENT
EASEMENT

PHASE 3 C
45,413 SQ. FT.
(1.043 ACRES)
PART OF LOT 201
MUST BE BUILT

PHASE 3 B
50,082 SQ. FT.
(1.150 ACRES)
PART OF LOT 201
MUST BE BUILT

N/F ALBEN
T/P # 180-4F123-9

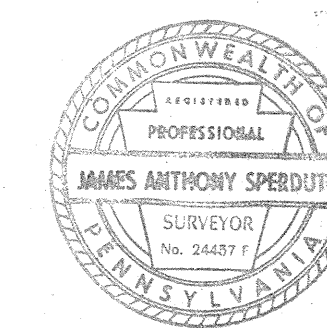
N/F GROSSON
T/P # 180-4F123-9F

N/F SYE
T/P # 180-4F123-9D

N/F SPRING VALLEY PARTNERS 2, LP
T/P # 180-4F123-9JA

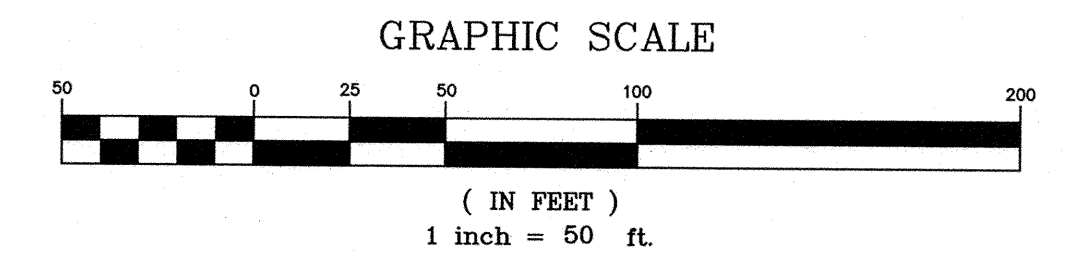
N/F BARNHART
T/P # 180-4F123-9G

N/F BARNHART
T/P # 180-4F1"



DRAWING NUMBER: 1009-2021432
DRAWING SCALE: 1"=50'
DATE: MARCH 23, 2020
DRAWN BY: JSS
REVISIONS:

SHEET 3 OF 4

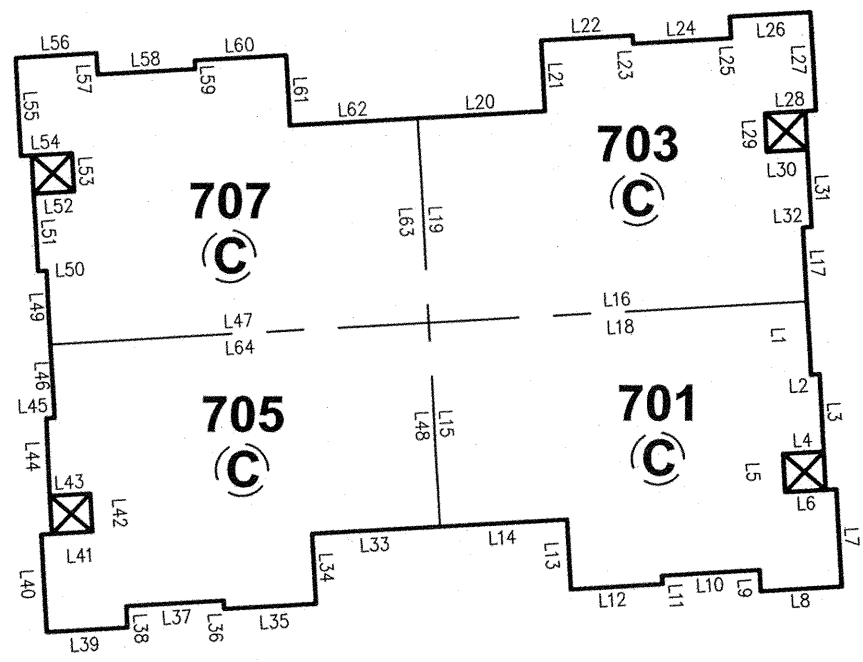


SPRING VALLEY CONDOMINIUM PLAN NO. 3

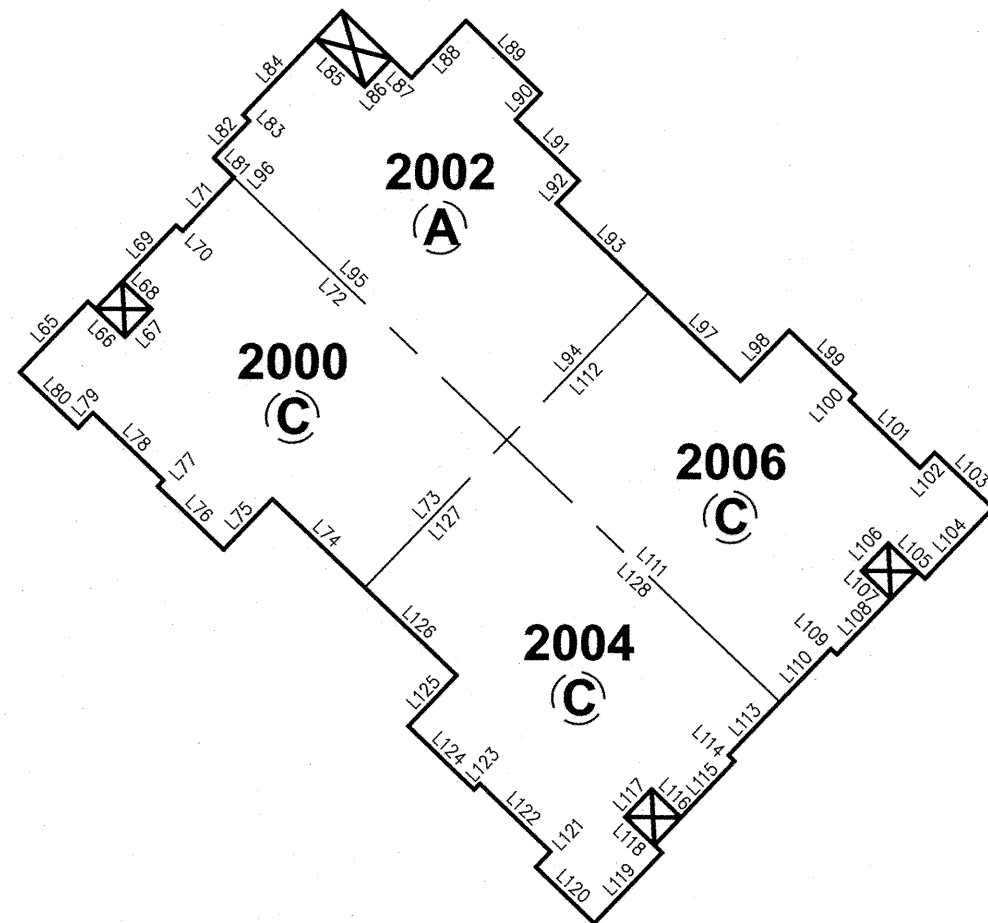
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P.O. BOX 449 MARS, PA 16046
JACKSON TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA



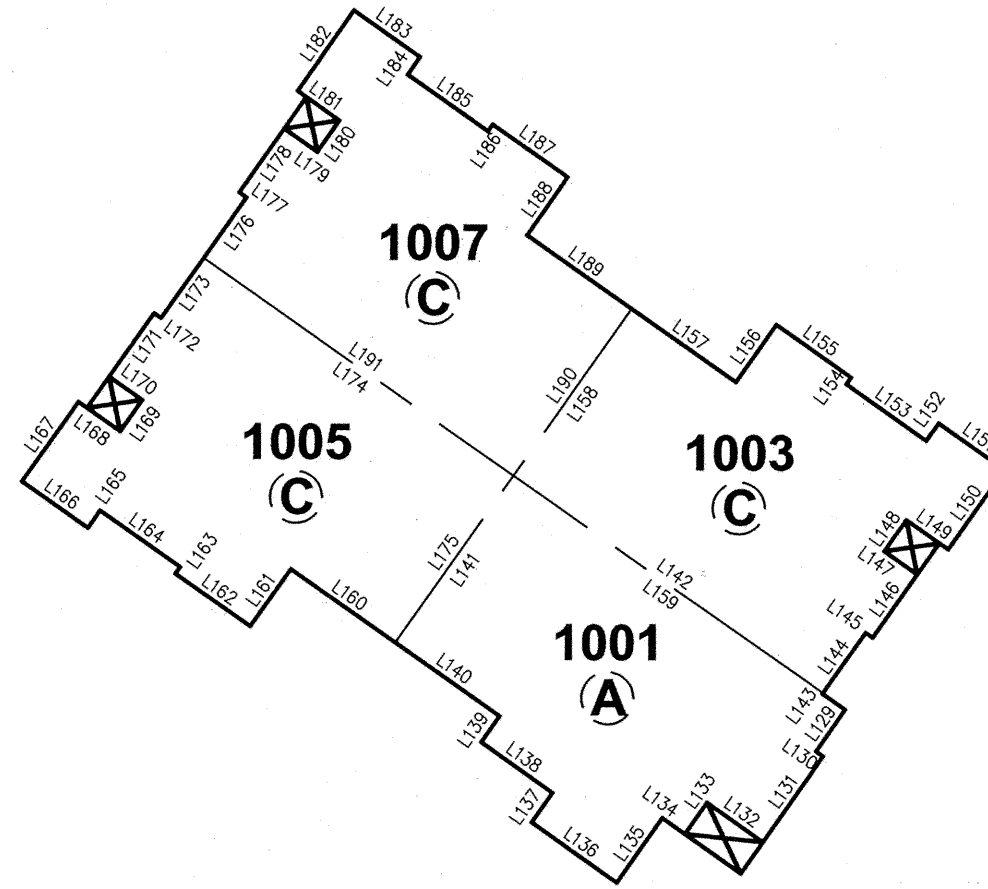
PLAN BOOK	PAGE
384	44



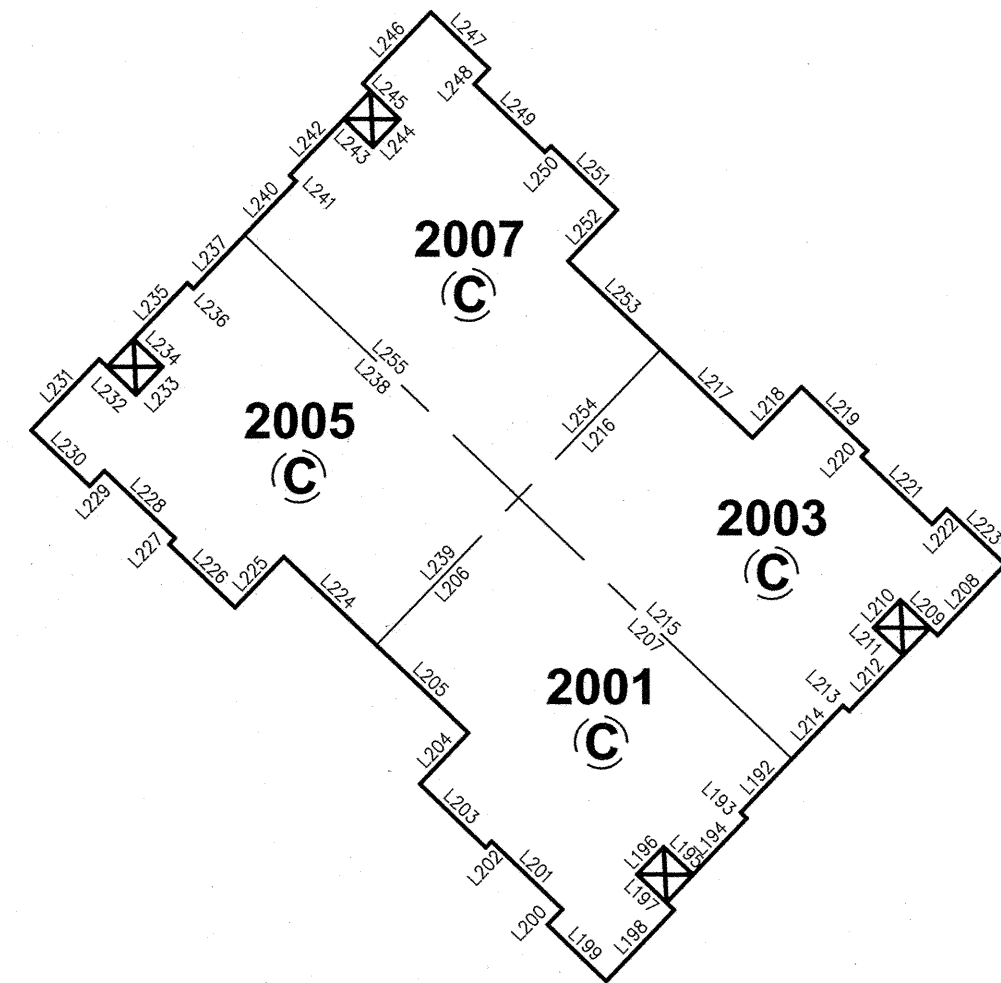
UNITS 701, 703, 705 & 707



UNITS 2000, 2002, 2004 & 2006



UNITS 1001, 1003, 1005 & 1007



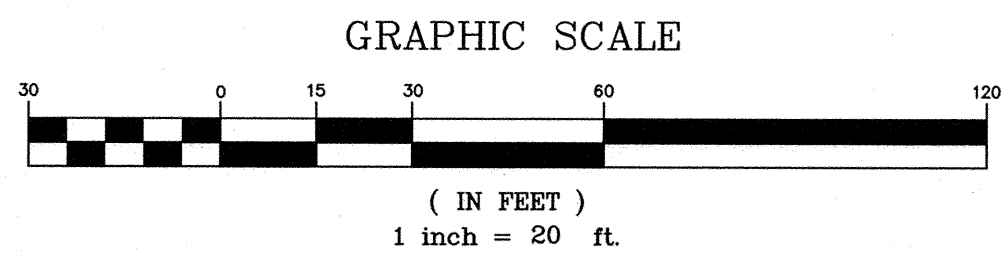
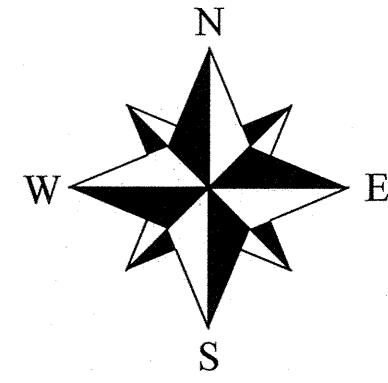
UNITS 2001, 2003, 2005 & 2007

UNITS 701-703-705-707		
LINE	LENGTH	BEARING
L1	11.56	S02°50'40"W
L2	1.33	S87°09'20"E
L3	12.17	S02°50'40"W
L4	6.33	N87°09'20"W
L5	6.00	S02°50'40"W
L6	8.00	S87°09'20"E
L7	15.33	S02°50'40"W
L8	12.67	N87°09'20"W
L9	3.33	N02°50'40"E
L10	15.33	N87°09'20"W
L11	1.33	S02°50'40"W
L12	14.33	N87°09'20"W
L13	11.00	N02°50'40"E
L14	20.00	N87°09'20"W
L15	32.06	N02°50'40"E
L16	59.33	S87°09'20"E
L17	11.56	S02°50'40"W
L18	59.33	N87°09'20"W
L19	32.06	N02°50'40"E
L20	20.00	S87°09'20"E
L21	11.00	N02°50'40"E
L22	14.33	S87°09'20"E
L23	1.33	S02°50'40"W
L24	15.33	S87°09'20"E
L25	3.33	N02°50'40"E
L26	12.67	S87°09'20"E
L27	15.33	S02°50'40"W
L28	8.00	N87°09'20"W
L29	6.00	S02°50'40"W
L30	6.33	S87°09'20"E
L31	12.17	S02°50'40"W
L32	1.33	N87°09'20"W
L33	20.00	N87°09'20"W
L34	11.00	S02°50'40"W
L35	14.33	N87°09'20"W
L36	1.33	N02°50'40"E
L37	15.33	N87°09'20"W
L38	3.33	S02°50'40"W
L39	12.67	N87°09'20"W
L40	15.33	N02°50'40"E
L41	8.00	S87°09'20"E
L42	6.00	N02°50'40"E
L43	6.33	N87°09'20"W
L44	12.17	N02°50'40"E
L45	1.33	S87°09'20"E
L46	11.56	N02°50'40"E
L47	59.33	S87°09'20"E
L48	32.06	S02°50'40"W
L49	11.56	N02°50'40"E
L50	1.33	N87°09'20"W
L51	12.17	N02°50'40"E
L52	6.33	S87°09'20"E
L53	8.00	N02°50'40"E
L54	8.00	N87°09'20"W
L55	15.33	N02°50'40"E
L56	12.67	S87°09'20"E
L57	3.33	S02°50'40"W
L58	15.33	S87°09'20"E
L59	1.33	N02°50'40"E
L60	14.33	S87°09'20"E
L61	11.00	S02°50'40"W
L62	20.00	S87°09'20"E
L63	32.06	S02°50'40"W
L64	59.33	N87°09'20"W

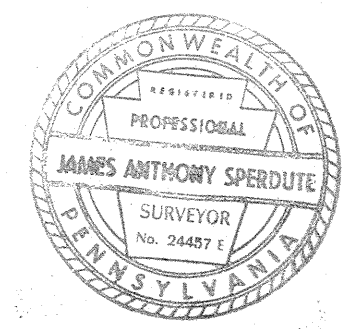
UNITS 2000-2002-2004-2006		
LINE	LENGTH	BEARING
L65	15.33	N49°52'26"E
L66	8.00	S40°07'34"E
L67	6.00	N49°52'26"E
L68	6.33	N40°07'34"W
L69	12.17	N49°52'26"E
L70	1.33	S40°07'34"E
L71	11.56	N49°52'26"E
L72	59.33	S40°07'34"E
L73	32.06	S49°52'26"W
L74	20.00	N40°07'34"W
L75	11.00	S49°52'26"W
L76	14.33	N40°07'34"W
L77	1.33	N02°50'40"E
L78	15.33	N40°07'34"W
L79	3.33	S49°52'26"E
L80	12.67	N40°07'34"W
L81	4.33	N40°07'34"W
L82	7.96	N49°52'26"E
L83	1.33	N40°07'34"W
L84	16.33	N49°52'26"E
L85	10.67	S40°07'34"E
L86	6.00	N49°52'26"E
L87	4.33	S40°07'34"E
L88	12.33	N49°52'26"E
L89	16.33	S40°07'34"E
L90	5.67	S49°52'26"W
L91	13.67	S40°07'34"E
L92	5.00	S49°52'26"W
L93	20.00	S40°07'34"E
L94	32.06	S49°52'26"W
L95	59.33	N40°07'34"W
L96	0.10	N49°52'26"E
L97	20.00	S40°07'34"E
L98	11.00	N49°52'26"E
L99	14.33	S40°07'34"E
L100	1.33	S49°52'26"W
L101	15.33	S40°07'34"E
L102	3.33	S02°50'40"W
L103	12.67	S40°07'34"E
L104	15.33	N02°50'40"E
L105	8.00	N40°07'34"W
L106	6.00	S49°52'26"W
L107	6.33	S40°07'34"E
L108	12.17	S49°52'26"W
L109	1.33	N40°07'34"W
L110	11.56	S49°52'26"W
L111	59.33	N40°07'34"W
L112	32.06	N49°52'26"E
L113	11.56	S49°52'26"W
L114	1.33	S40°07'34"E
L115	12.17	S49°52'26"W
L116	6.33	N40°07'34"W
L117	6.00	S49°52'26"W
L118	8.00	S40°07'34"E
L119	15.33	S49°52'26"W
L120	12.67	N40°07'34"W
L121	3.33	N49°52'26"E
L122	15.33	N40°07'34"W
L123	1.33	S49°52'26"E
L124	14.33	N40°07'34"W
L125	11.00	N49°52'26"E
L126	20.00	N40°07'34"W
L127	32.06	N49°52'26"E
L128	59.33	S40°07'34"E

UNITS 1001-1003-1005-1007		
LINE	LENGTH	BEARING
L129	7.96	S41°12'32"W
L130	1.33	S48°47'28"E
L131	16.33	S41°12'32"W
L132	10.67	N48°47'28"W
L133	6.00	S41°12'32"W
L134	4.33	N48°47'28"W
L135	12.33	S41°12'32"W
L136	16.33	N48°47'28"W
L137	5.67	N41°12'32"E
L138	13.67	N48°47'28"W
L139	5.00	N41°12'32"E
L140	20.00	N48°47'28"W
L141	32.06	N41°12'32"E
L142	59.33	S48°47'28"E
L143	0.10	S41°12'32"W
L144	11.67	N41°12'32"E
L145	1.33	S48°47'28"E
L146	12.17	N41°12'32"E
L147	6.33	N48°47'28"W
L148	6.00	N41°12'32"E
L149	8.00	S48°47'28"E
L150	15.33	N41°12'32"E
L151	12.67	N48°47'28"W
L152	3.33	S41°12'32"W
L153	15.33	N48°47'28"W
L154	1.33	N41°12'32"E
L155	14.33	N48°47'28"W
L156	11.00	S41°12'32"W
L157	20.00	N48°47'28"W
L158	32.06	S41°12'32"W
L159	59.33	S48°47'28"E
L160	20.00	N48°47'28"W
L161	11.00	S41°12'32"W
L162	14.33	N48°47'28"W
L163	1.33	N41°12'32"E
L164	15.33	N48°47'28"W
L165	3.33	S41°12'32"W
L166	12.67	N48°47'28"W
L167	15.33	N41°12'32"E
L168	8.00	S48°47'28"E
L169	6.00	N41°12'32"E
L170	6.33	N48°47'28"W
L171	12.17	N41°12'32"E
L172	1.33	S48°47'28"E
L173	11.56	N41°12'32"E
L174	59.33	S48°47'28"E
L175	32.06	S41°12'32"W
L176	11.56	N49°52'26"E
L177	1.33	N48°47'28"W
L178	12.17	N41°12'32"E
L179	6.33	S48°47'28"E
L180	6.00	N41°12'32"E
L181	8.00	N48°47'28"W
L182	15.33	N41°12'32"E
L183	12.67	S48°47'28"E
L184	3.33	S41°12'32"W
L185	15.33	S48°47'28"E
L186	1.33	N41°12'32"E
L187	14.33	S48°47'28"E
L188	11.00	S41°12'32"W
L189	20.00	S48°47'28"E
L190	32.06	S41°12'32"W
L191	59.33	N48°47'28"W

UNITS 2001-2003-2005-2007		
LINE	LENGTH	BEARING
L192	11.56	S49°52'26"W
L193	1.33	S40°07'34"E
L194	12.17	S49°52'26"W
L195	6.33	N40°07'34"W
L196	6.00	S49°52'26"W
L197	8.00	S40°07'34"E
L198	15.33	S49°52'26"W
L199	12.67	N40°07'34"W
L200	3.33	N49°52'26"E
L201	15.33	N40°07'34"W
L202	1.33	S49°52'26"W
L203	14.33	N40°07'34"W
L204	11.00	N49°52'26"E
L205	20.00	N40°07'34"W
L206	32.06	N49°52'26"E
L207	59.33	S40°07'34"E
L208	15.33	S49°52'26"W
L209	8.00	N40°07'34"W
L210	6.00	S49°52'26"W
L211	6.33	S40°07'34"E
L212	12.17	S49°52'26"W
L213	1.33	N40°07'34"W
L214	11.56	S49°52'26"W
L215	59.33	N40°07'34"W
L216	32.06	N49°52'26"E
L217	20.00	S40°07'34"E
L218	11.00	N49°52'26"E
L219	14.33	S40°07'34"E
L220	1.33	S49°52'26"W
L221	15.33	S40°07'34"E
L222	3.33	N49°52'26"E
L223	12.67	S40°07'34"E
L224	20.00	N40°07'34"W
L225	11.00	S49°52'26"W
L226	14.33	N40°07'34"W
L227	1.33	N49°52'26"E
L228	15.33	N40°07'34"W
L229	3.33	S49°52'26"W
L230	12.67	N40°07'34"W
L231	15.33	N49°52'26"E
L232	8.00	S40°07'34"E
L233	6.00	N49°52'26"E
L234	6.33	N40°07'34"W
L235	12.17	N49°52'26"E
L236	1.33	S40°07'34"E
L237	11.56	N49°52'26"E
L238	59.33	S40°07'34"E
L239	32.06	S49°52'26"W
L240	11.56	N49°52'26"E
L241	1.33	N40°07'34"W
L242	12.17	N49°52'26"E
L243	6.33	S40°07'34"E
L244	6.00	N49°52'26"E
L245	8.00	N40°07'34"W
L246	15.33	N49°52'26"E
L247	12.67	S40°07'34"E
L248	3.33	S49°52'26"W
L249	15.33	S40°07'34"E
L250	1.33	N49°52'26"E
L251	14.33	S40°07'34"E
L252	11.00	S49°52'26"W
L253	20.00	S40°07'34"E
L254	32.06	S49°52'26"W
L255	59.33	N40°07'34"W



PLAN BOOK	PAGE
384	45



DRAWING NUMBER: 1009-2021432
DRAWING SCALE: 1"=30'
DATE: MARCH 23, 2020
DRAWN BY: JSS
REVISIONS:
SHEET 4 OF 4

**SPRING VALLEY
CONDOMINIUM
PLAN NO. 3**
PREPARED FOR SPRING VALLEY PARTNERS 2,LP
P.O. BOX 449 MARS, PA 16046
JACKSON TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA



INSTR: 202004140007205
Figs 1, F: 545.00
Michele Mustello
Butler County Recorder PA

4/4/2020 11:18 AM
1250000496

KNOW ALL MEN BY THESE PRESENTS, that I, Donald C. McCollough, III, of the Township of Fairview, of the County of Butler, Commonwealth of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this plan as my Plan of Lots of my property, situate in Fairview Township, Butler County, Pennsylvania, and for divers advantages accruing to me, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Township of Fairview, I hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Fairview, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Donald C. McCollough, III, my heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 5th day of February, 2020.

ATTEST:
Chasity Ann King
NOTARY PUBLIC

OWNER
Donald C. McCollough, III

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Donald C. McCollough, III, and acknowledged the foregoing release and dedication and plan to be his act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day.

WITNESS MY HAND AND NOTARIAL SEAL this 5th day of February, 2020.

My Commission expires the 15 day of January, 2023.

SEAL
Chasity Ann King
NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Chasity Ann King, Notary Public
Butler County
My commission expires January 15, 2023
Commission number 1343379
Member, Pennsylvania Association of Notaries

Commonwealth of Pennsylvania - Notary Seal
Chasity Ann King, Notary Public
Butler County
My commission expires January 15, 2023
Commission number 1343379
Member, Pennsylvania Association of Notaries

KNOW ALL MEN BY THESE PRESENTS, that I, Lori Jo Plunkard, of the Township of Fairview, of the County of Butler, Commonwealth of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this plan as my Plan of Lots of my property, situate in Fairview Township, Butler County, Pennsylvania, and for divers advantages accruing to me, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Township of Fairview, I hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Fairview, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Lori Jo Plunkard, my heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 5th day of February, 2020.

ATTEST:
Chasity Ann King
NOTARY PUBLIC

OWNER
Lori Jo Plunkard

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Lori Jo Plunkard, and acknowledged the foregoing release and dedication and plan to be her act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day.

WITNESS MY HAND AND NOTARIAL SEAL this 5th day of February, 2020.

My Commission expires the 15 day of January, 2023.

SEAL
Chasity Ann King
NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Chasity Ann King, Notary Public
Butler County
My commission expires January 15, 2023
Commission number 1343379
Member, Pennsylvania Association of Notaries

Commonwealth of Pennsylvania - Notary Seal
Chasity Ann King, Notary Public
Butler County
My commission expires January 15, 2023
Commission number 1343379
Member, Pennsylvania Association of Notaries

The Board of Supervisors of the Township of Fairview hereby gives public notice that in approving this plan for recording purposes only, the Township of Fairview assumes no obligation, legal or otherwise, expressed or implied, either to accept said streets as Township streets or roads or grade, pave, curb the streets in said plan, or to construct sewers therein or to install any other service ordinarily installed in Township streets or roads.

January 13, 2020
DATE
SEAL
R&B, NO. SU-32490-E

Approved by the Supervisors of the Township of Fairview this 10th day of February, 2020.

Secretary
Chairman/President

Approved by the Butler County Planning Commission this 22nd day of January, 2020.

Secretary
Chairman/President

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER

Recorded in the Recorder's Office for the recording of deeds, plans, etc. in said County in Plan Book Volume 384 page 46.

Given under my hand and seal this 14 day of April, 2020.

SEAL
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

0 100 200 300

AS OF THE DATE OF THIS DEED/PLOT PLAN/DEED NOTICE RECORDING, THE RESIDUAL TRACT OF THIS SUBDIVISION IS DEDICATED FOR THE EXPRESS PURPOSE OF AGRICULTURAL USE. NO PORTION OF THE RESIDUAL TRACT OF THIS SUBDIVISION HAS BEEN APPROVED BY FAIRVIEW TOWNSHIP OR THE APPROVING AGENCY FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES. NO SEWAGE PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE COLLECTION, CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM (EXCEPT FOR REPAIRS TO EXISTING SYSTEMS) UNLESS THE APPROPRIATE MUNICIPALITY AND APPROVING AGENCY HAVE APPROVED ANY REQUIRED SEWAGE FACILITIES PLANNING FOR THE RESIDUAL TRACT OF THE SUBDIVISION DESCRIBED HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT (35 P.S. SECTIONS 750.1 ET. SEQ.) AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR SUBDIVIDER OF ANY PORTION OF THE RESIDUAL TRACT SHOULD CONTACT THE APPROPRIATE OFFICIALS OF FAIRVIEW TOWNSHIP, WHICH IS CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO DETERMINE WHAT SEWAGE PLANNING IS REQUIRED AND THE PROCEDURE AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR APPROVALS.

NOTES:
SUBJECT TO ANY AND ALL EXISTING RIGHTS OF-WAY AND EASEMENTS OF RECORD.
ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREAS OF MINIMAL FLOOD HAZARD.
PROPERTY OWNERS: DONALD MCCOLLOUGH III
LORI JO PLUNKARD
PROPOSED WATER WELL TO SERVE THIS LOT IS TO BE LOCATED OUTSIDE OF THE 100' ISOLATION DISTANCE FROM THE SEPTIC SYSTEM TO BE BUILT.
ALTERNATE DISPOSAL SITE IS RESERVED FOR A REPLACEMENT ABSORPTION AREA IN THE EVENT THE PRIMARY ONLOT SYSTEM FAILS & THAT AREA MUST NOT BE DISTURBED.
THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE ONE NEW BUILDING LOT.

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PIT 100

LOT 14
3.02 ACRES
PIT 1
PIT 2
PIT 3
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LOT 15
3.02 ACRES
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PIT 21

OWNERS ADOPTION FOR PARTNERSHIP

THE JTC 1422 ASSOCIATES, A PENNSYLVANIA LIMITED PARTNERSHIP, OWNER OF THE LAND SHOWN ON THE CREEKSIDE MANOR 2 LOT SUBDIVISION PLAN HEREBY ADOPTS THIS PLAN AS ITS LAND DEVELOPMENT AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE JACKSON TOWNSHIP. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE PARTNERSHIP AND UPON ITS HEIRS, EXECUTORS, AND ASSIGNS.

IN WITNESS OF WHICH, TO THIS I SET MY HAND AND SEAL THIS 10th DAY OF March, 2020

ATTEST:

NOTARY PUBLIC SIGNATURE OF GENERAL PARTNER

ACKNOWLEDGMENT OF PARTNERSHIP ADOPTION AND DEDICATION

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED DONALD B. RODGERS, SR., A GENERAL PARTNER IN THE FIRM OF JTC 1422 ASSOCIATES, A PENNSYLVANIA LIMITED PARTNERSHIP, AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE THE ACT OF THE PARTNERSHIP.

WITNESS MY HAND AND NOTARIAL SEAL THIS 10th DAY OF March, 2020

MY COMMISSION EXPIRES THE 13th DAY OF September, 2020

NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
Kimberly May, Notary Public
Cranberry Twp., Butler County
My Commission Expires Sep. 13, 2020
Member, Pennsylvania Association of Notaries

CERTIFICATION OF TITLE WITH MORTGAGE AND CONSENT OF MORTGAGEE

I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE CREEKSIDE MANOR 2 LOT SUBDIVISION PLAN IS IN THE NAME OF THE JTC 1422 ASSOCIATES, A PENNSYLVANIA LIMITED PARTNERSHIP AND IS RECORDED IN INSTRUMENT 201603100004517.

DOLLAR BANK, FEDERAL SAVINGS BANK, MORTGAGEE OF THE PROPERTY CONTAINED IN THE CREEKSIDE MANOR 2 LOT SUBDIVISION PLAN CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

WITNESS David W. LaPearle Vice President
NAME, TITLE AND MORTGAGEE

SURVEYORS CERTIFICATION

I HEREBY CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED BY THE ORDINANCES OF JACKSON TOWNSHIP.

DATE 3/10/2020
DAVID W. LAPEARLE P.L.S. REG. NO. SU-034201-E

JACKSON TOWNSHIP BOARD OF SUPERVISORS APPROVAL CERTIFICATE

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF JACKSON THIS 12th DAY OF March, 2020. THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF JACKSON GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING THE TOWNSHIP OF JACKSON ASSUMES NO OBLIGATION TO ACCEPT THE DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

TOWNSHIP SECRETARY CHAIRMAN, BOARD OF SUPERVISORS

JACKSON TOWNSHIP PLANNING DIRECTOR APPROVAL CERTIFICATE

APPROVED BY THE PLANNING DIRECTOR OF JACKSON TOWNSHIP THIS 12th DAY OF March, 2020. PURSUANT TO CHAPTER 22, SUBDIVISION AND LAND DEVELOPMENT, OF THE JACKSON TOWNSHIP, AS AMENDED, THE PLANNING DIRECTOR OF THE TOWNSHIP OF JACKSON GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, JACKSON TOWNSHIP ASSUMES NO OBLIGATION TO ACCEPT THE DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

TOWNSHIP SECRETARY PLANNING DIRECTOR

JACKSON TOWNSHIP PLANNING COMMISSION REVIEW CERTIFICATE

REVIEWED BY THE PLANNING COMMISSION ON THIS 15th DAY OF April, 2020

SECRETARY CHAIRPERSON

BUTLER COUNTY PLANNING COMMISSION REVIEW CERTIFICATE

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 15th DAY OF April, 2020

SECRETARY CHAIRPERSON

PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA IN PLAN BOOK VOLUME 384 PAGE(S) 47-48

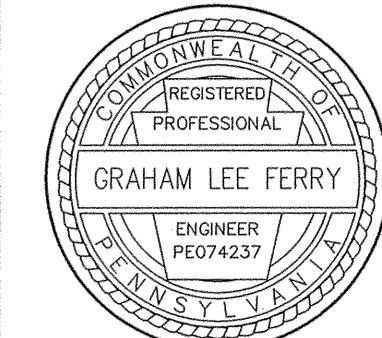
GIVEN UNDER MY HAND AND SEAL THIS 17 DAY OF April, 2020

RECORDED BY DEEDS

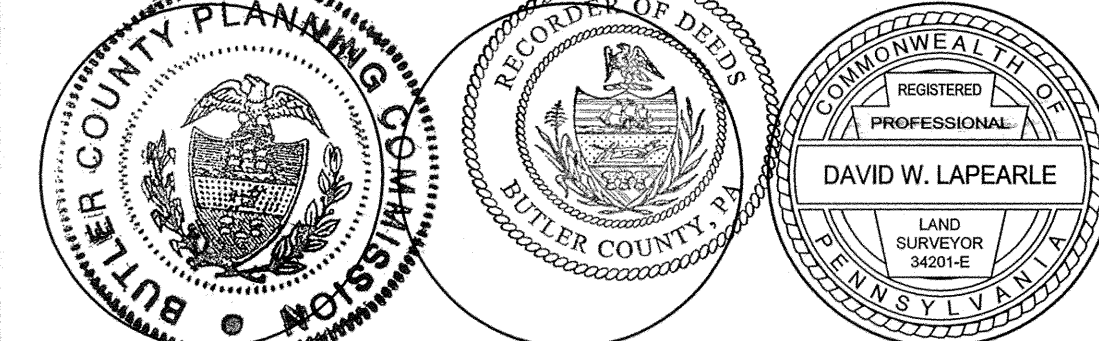
MICHELE M. MUSTELLO
RECORDER OF DEEDS

My Commission Expires First Monday in January 2024

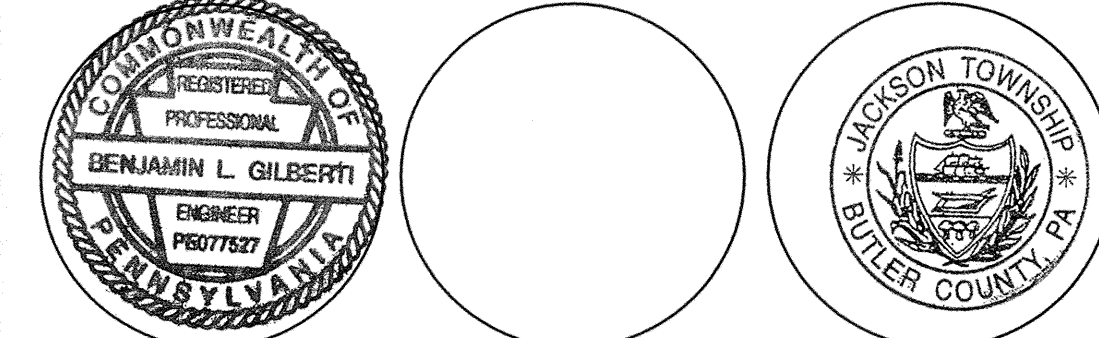
REGISTERED ENGINEER



BUTLER COUNTY PLANNING COMMISSION BUTLER COUNTY RECORDER OF DEEDS REGISTERED SURVEYOR



TOWNSHIP OF JACKSON TOWNSHIP ENGINEER TOWNSHIP OF JACKSON PLANNING COMMISSION TOWNSHIP OF JACKSON BOARD OF SUPERVISORS



TOWNSHIP ENGINEER'S CERTIFICATION

THIS PLAN WAS REVIEWED BY THE TOWNSHIP ENGINEER FOR CONFORMANCE WITH THE JACKSON TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND OTHER APPLICABLE TOWNSHIP ORDINANCES.

DATE 3/11/2020 NAME Graham L. Ferry
PE 077527
REGISTRATION NUMBER

SEWAGE FACILITY DECLARATION

JACKSON TOWNSHIP AGREES NOT TO ISSUE BUILDING PERMITS UNTIL THE "PLANNING MODULE FOR LAND DEVELOPMENT" HAS BEEN APPROVED IN ACCORDANCE WITH THE REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

DATE 3/12/2020

TOWNSHIP MANAGER/SECRETARY

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF, THE PLAN SHOWN HEREON IS TRUE AND CORRECT TO THE ACCURACY AND ENGINEERING STANDARDS REQUIRED BY THE ORDINANCES OF JACKSON TOWNSHIP.

DATE 3/24/20 NAME Graham L. Ferry
P.E. REG. NO. PE074237

STORMWATER MANAGEMENT CERTIFICATION

I HEREBY CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF, THE STORM DRAINAGE FACILITIES SHOWN AND DESCRIBED HEREON ARE TRUE AND CORRECT TO THE ACCURACY AND STANDARDS REQUIRED BY THE ORDINANCES OF JACKSON TOWNSHIP.

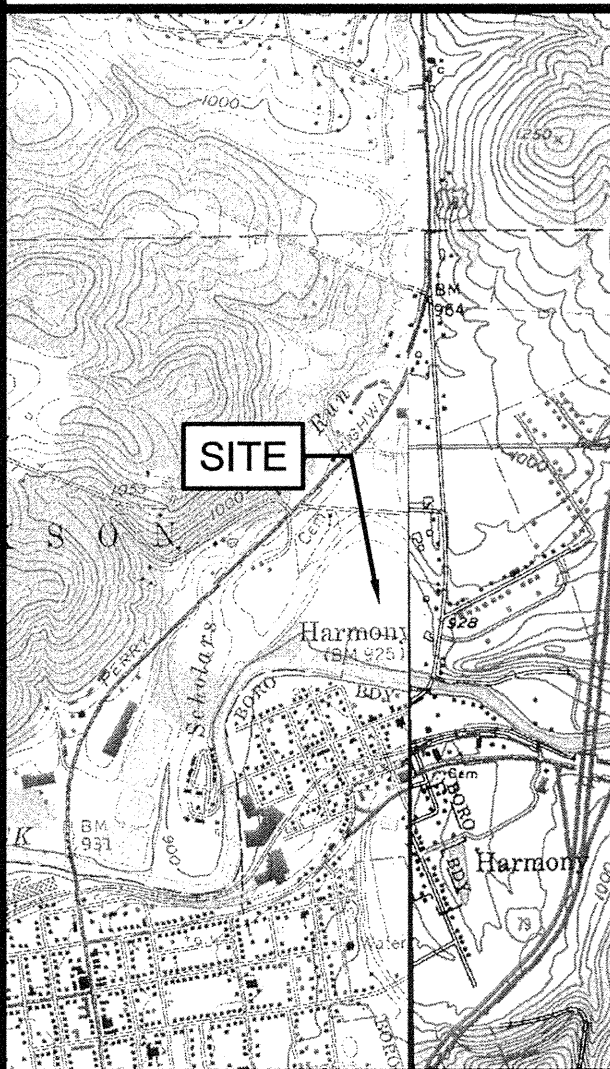
DATE 3/24/20 NAME Graham L. Ferry
P.E. REG. NO. PE074237

TABULATION OF ZONING DATA		
Zoning District	V-TND - Village Traditional Neighborhood Development	Townhouse, Multi-Family Allowed Use
Total Site Acreage		38.52 AC
Environmentally Sensitive Areas		15.99 AC
Zoning Yard & Build Requirements	Allowable	Proposed
Min Lot Size	6,000 S.F. per lot	7083.89 Sq. Ft.
Min Lot Width at ROW	55 Feet	76.40 feet
Min Lot Width at Front Setback	55 feet	68.0 feet
Min Front Yard	15 feet from ROW	15 feet
Min Rear Yard	10 feet	10 feet
Min Side Yard	10 feet	10 feet
Side Yard Abutting Residential	10 feet	10 feet
Max Lot Coverage	80%	60%
Max Height	40 feet	40 feet

Instr: 202004170007443
Page: 2 F: \$85.00
Michele Mustello
Butler County Recorder-PA

Zellenople and Evan City PA USGS Quadrangle

Scale: 1"=200'



General Notes:

- MERIDIAN SHOWN HEREON IS BASED ON GRID NORTH PER GPS OBSERVATIONS CONDUCTED IN PENNSYLVANIA SOUTH STATE PLANE COORDINATE SYSTEM (NAD 83). INTERIOR ANGLES FOR THE EXISTING PROPERTIES SHOWN HEREON ARE BASED UPON THE VESTING DEEDS FOR THE SUBJECT PROPERTIES, INSTRUMENT NOS. 201603100004517 FOR LANDS OF JTC 1422 ASSOCIATES & CREEKSIDE MANOR- PLAN BOOK VOLUME 347 PAGE 1.
- HORIZONTAL DATUM IS PENNSYLVANIA SOUTH STATE PLANE NAD 83. VERTICAL DATUM IS NAVD 88.

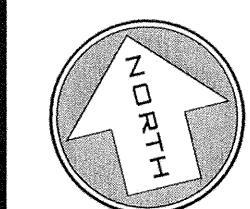
Document Reference List:

- RECORD DEEDS
 - JTC 1422 ASSOCIATES - INSTRUMENT NO. 201603100004517
- RECORD PLANS
 - CREEKSIDE MANOR- PLAN BOOK VOLUME 347 PAGE 1

0 100' 200'

Drawing Scale:

1"= 100'



Prepared By:

Sheffler & Company, Inc.
ENGINEERING • SURVEYING

1712 Mount Nebo Rd.
Sewickley, PA 15143
Phone: 412-219-4509
Email: info@shefflerCo.com

Prepared For:

JTC1422 ASSOCIATES, LP
215 Executive Drive, Suite 300
Cranberry, PA 16066

This plan has been prepared solely for the benefit of the person(s) named above and for the project noted on this drawing. The use of this plan by any third party, or for any other purpose other than specified, is prohibited without written consent from PVE Sheffler, L.L.C.

811 Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DATE ISSUED: March 10, 2020

PLAN REVISIONS	
DATE	DESCRIPTION
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Situate In:
Jackson Township, Butler County, PA

Project Name:

Creekside Manor
TND-3 Planned Residential Development

Drawing Name:

2 LOT SUBDIVISION PLAN

Project No:

3078

Drawing No:

S-200

OWNERS

JTC 1422 ASSOCIATES
215 EXECUTIVE DRIVE, SUITE 300
CRANBERRY TWP., PA 16066

DEVELOPER

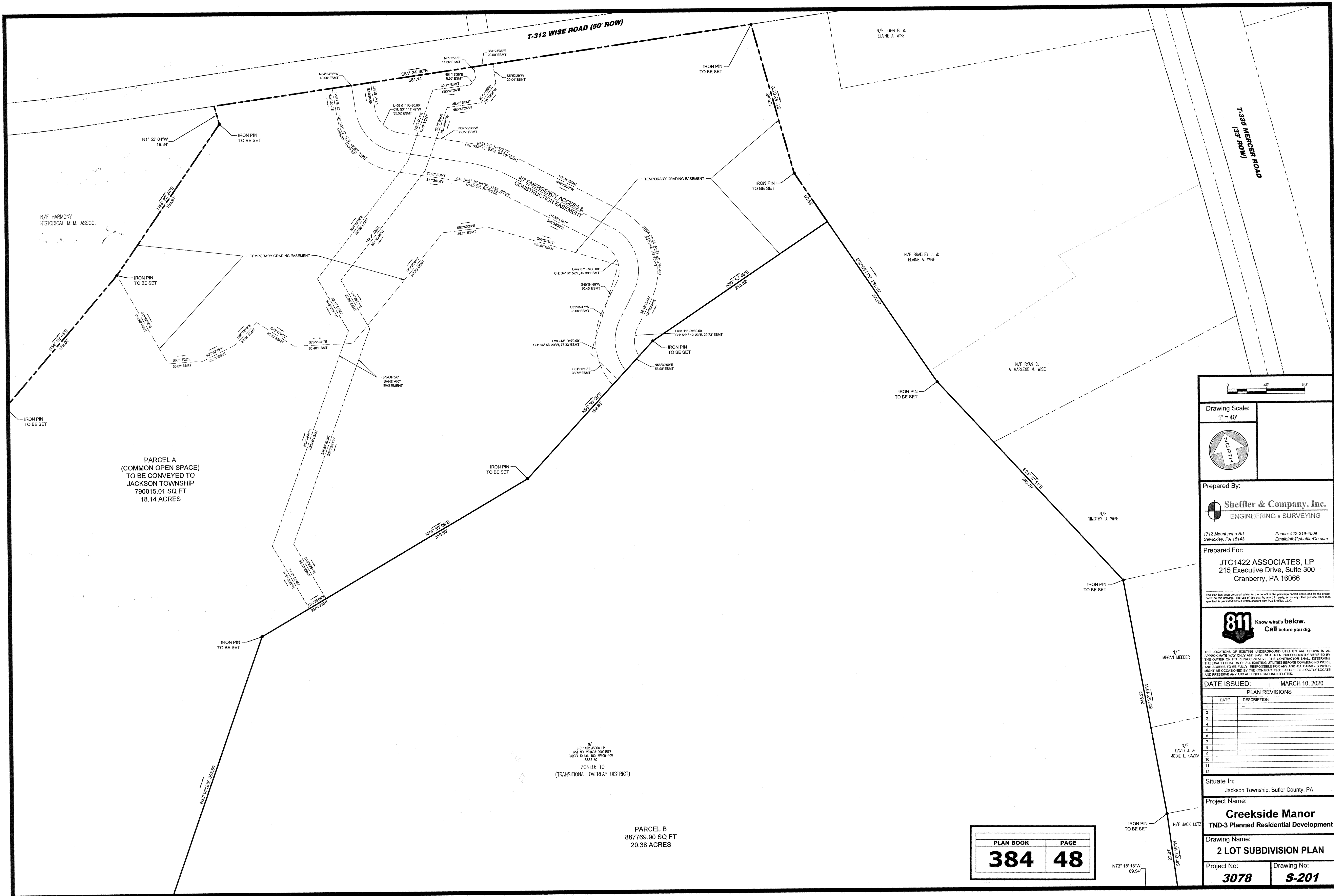
JTC 1422 ASSOCIATES
215 EXECUTIVE DRIVE, SUITE 300
CRANBERRY TWP., PA 16066

PLAN BOOK

384

PAGE

47



PARCEL A
(COMMON OPEN SPACE)
TO BE CONVEYED TO
JACKSON TOWNSHIP
790015.01 SQ FT
18.14 ACRES

N/F
JTC 1422 ASSOCIATES, LP
PLOT NO. 201003100004517
PHEIL D. NO. 180-40100-10N
35.52 AC
ZONED: TO
(TRANSITIONAL OVERLAY DISTRICT)

PARCEL B
887769.90 SQ. FT
20.38 ACRES

PLAN BOOK	PAGE
384	48

0 40' 80'

Drawing Scale:
1" = 40'

Prepared By:

Sheffler & Company, Inc.
ENGINEERING • SURVEYING
1712 Mount nabo Rd.
Sewickley, PA 15143
Phone: 412-219-4509
Email: info@shefflerco.com

Prepared For:

JTC1422 ASSOCIATES, LP
215 Executive Drive, Suite 300
Cranberry, PA 16066
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DATE ISSUED: MARCH 10, 2020

PLAN REVISIONS	
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Situate In:
Jackson Township, Butler County, PA

Project Name:
Creekside Manor
TND-3 Planned Residential Development

Drawing Name:
2 LOT SUBDIVISION PLAN

Project No:
3078

Drawing No:
S-201

ACKNOWLEDGEMENT OF NOTARY PUBLIC

BEFORE ME, A NOTARY PUBLIC, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE STATE OF FLORIDA AND COUNTY OF COLLIER, PERSONALLY APPEARED KRISHNAN ANANDAN, A PARTNER IN MADAKKARA, L.P., AND ACKNOWLEDGED THE FOREGOING ADOPTION, DEDICATION AND PLAN TO BE THE ACT OF THE PARTNERSHIP AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 31 DAY OF March 2020.

MY COMMISSION EXPIRES THE 18 DAY OF July 2021.

NOTARY PUBLIC

ACKNOWLEDGEMENT OF NOTARY PUBLIC

BEFORE ME, A NOTARY PUBLIC, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED DANNY S. & PEGGY D. WEIGLE, AND ACKNOWLEDGED THE FOREGOING ADOPTION, DEDICATION AND PLAN TO BE THEIR ACT AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 28 DAY OF Feb 2020.

MY COMMISSION EXPIRES THE 24 DAY OF Feb 2022.

NOTARY PUBLIC

MUNICIPAL DECLARATIONS

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX, HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF MIDDLESEX HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

SECRETARY CHAIRMAN
BOARD OF SUPERVISORS

TOWNSHIP SUPERVISORS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX, BY RESOLUTION NO. 12 EFFECTIVE THIS 14th DAY OF February 2020.

SECRETARY CHAIRMAN
BOARD OF SUPERVISORS

TOWNSHIP PLANNING COMMISSION

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF MIDDLESEX. THIS 28th DAY OF January 2020.

SECRETARY CHAIRMAN
PLANNING COMMISSION

TOWNSHIP ENGINEER

I, Jeffrey Mikesic, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER OF THE TOWNSHIP OF MIDDLESEX, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN AND ZONING ORDINANCE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

DATE 4/15/2020 REGISTRATION NO. PE083712 SIGNATURE

PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 384 PAGE(S) 49

GIVEN UNDER MY HAND AND SEAL THIS 17 DAY OF April 2020.

RECORDED BY MICHELE M. MUSTELLO

BUTLER COUNTY PLANNING APPROVAL

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 21st DAY OF February 2020.

SECRETARY CHAIRMAN, BUTLER COUNTY PLANNING COMMISSION
County Plan # 60020

FEMA FLOOD ZONE INFORMATION

BASED ON AN INSPECTION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S MAP NUMBER 42019C0545D WITH AN EFFECTIVE DATE OF AUGUST 2, 2018 AND MAP NUMBER 42019C0537D WITH AN EFFECTIVE DATE OF AUGUST 2, 2018, FOR TOWNSHIP OF MIDDLESEX, BUTLER COUNTY, PENNSYLVANIA, THE PROPERTY LIES PRIMARILY IN ZONE "X", WHICH IS DETERMINED AS AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. HOWEVER, A PORTION OF THE PROPERTY THAT IS NEAR GLADE RUN TRIBUTARY 1.4 IS WITHIN ZONE "A" HAVING NO ESTABLISHED BASE FLOOD ELEVATIONS.

ZONING INFORMATION

AG-A RURAL RESIDENTIAL (SINGLE FAMILY)

MINIMUM LOT AREA (ON LOT SEPTIC) 1.0 ACRES
MINIMUM LOT WIDTH 125 FEET
FRONT SETBACK 50 FEET
SIDE SETBACK 35 FEET
REAR SETBACK (PRIMARY STRUCTURE) 75 FEET
MAXIMUM BUILDING HEIGHT 35 FEET
MAXIMUM IMPERVIOUS COVERAGE 20%

C-3 REGIONAL COMMERCE

MINIMUM LOT AREA 1.0 ACRES
MINIMUM LOT WIDTH 150 FEET
FRONT SETBACK 85 FEET (+1 FT FOR EACH BUILDING OVER 36 FEET)
SIDE SETBACK 50 FEET
REAR SETBACK 50 FEET
MAXIMUM BUILDING HEIGHT 50 FEET
MAXIMUM IMPERVIOUS COVERAGE 40%

R-1 SUBURBAN RESIDENTIAL (SINGLE FAMILY)

MINIMUM LOT AREA 22,000 SQUARE FEET
MINIMUM LOT WIDTH 100 FEET
FRONT SETBACK 50 FEET
SIDE SETBACK 15 FEET
REAR SETBACK (PRIMARY STRUCTURE) 50 FEET
MAXIMUM BUILDING HEIGHT 35 FEET
MAXIMUM IMPERVIOUS COVERAGE 35%

LEGEND OF SYMBOLS & ABBREVIATIONS

POWER POLE (PP)
FIRE HYDRANT (FH)
WATER VALVE (WV)
WATER METER (WM)
GAS VALVE (GV)
GAS METER (GMT)
SANITARY SEWER MANHOLE
CLEAN OUT (CO)
CHAIN LINK FENCE
BOARD FENCE
WATER LINE
GAS LINE
OVERHEAD ELECTRIC
OVERHEAD TELEPHONE/CABLE
UNDERGROUND ELECTRIC
UNDERGROUND TELEPHONE/CABLE

MONUMENT FOUND AS NOTED
SET 30" LONG 5/8" DIAMETER REBAR WITH RED PLASTIC CAP LABELED "PA SU075334 WV2165 JONES"
PROPERTY CORNER

INVEST: 202004170007513
Page 1 of 1 \$: \$45.00
Michele Mustello
Butler County Recorder PA
4/17/2020 2:28 PM
126200010396

Michael S. Marchese, II
Instrument #20040827003128
Parcel ID: 230-S2-43D

Thomas J. Yeager & Michelle L. Black
Instrument #200601240001657
Parcel ID: 230-S2-43D503

Patrick J. McGuire
Instrument #20191011020376
Parcel ID: 230-2F88-1D

Madakkara, L.P.
Instrument #200409300031809
Parcel ID: 230-2F88-1
44.240 Acres (Residual)

Thomas J. Yeager & Michelle L. Black
Instrument #200601240001657
Parcel ID: 230-S2-43D502

Thomas J. Yeager & Michelle L. Black
Instrument #200601240001657
Parcel ID: 230-S2-43D503

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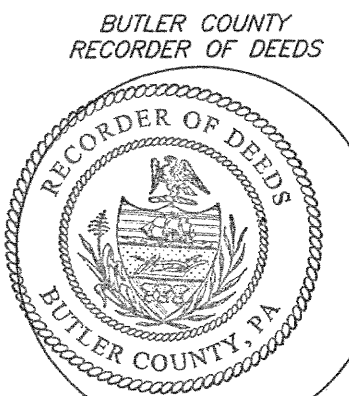
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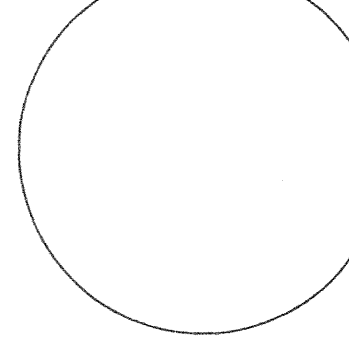
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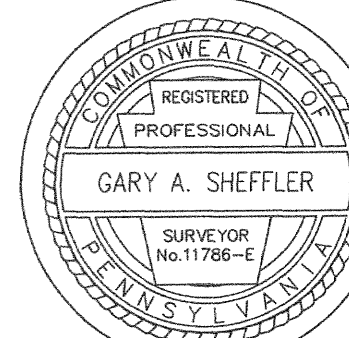
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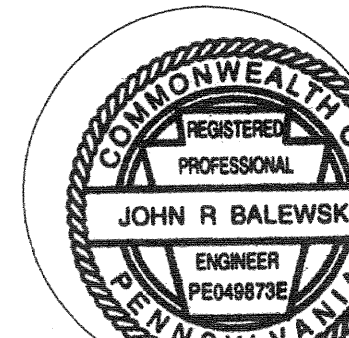
BOROUGH OF SEVEN FIELDS COUNCIL



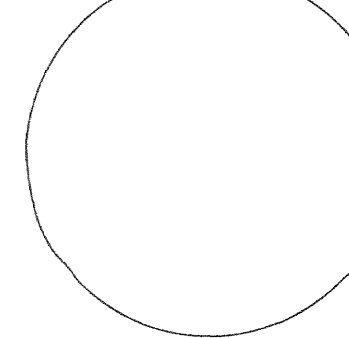
REGISTERED SURVEYOR



NOTARY PUBLIC



BOROUGH ENGINEER



CORPORATE ADOPTION

KNOW ALL MEN BY THESE PRESENTS: That GROUP 7 DEVELOPMENT, LLC, a Pennsylvania non-profit corporation, by virtue of a Resolution of its Board of Directors, does hereby adopt this Plan of Amendment of its property, situated in the Borough of Seven Fields, County of Butler, Commonwealth of Pennsylvania, and for other advantages occurring to it, does hereby dedicate forever, for public use for highway, drainage, sewage and utility purposes, all drives, roads, rights-of-way, easements, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings and in consideration of the approval of said plan and any future acceptance of said public highways, rights-of-way and easements by the Borough of Seven Fields, County of Butler, GROUP 7 DEVELOPMENT, LLC hereby covenants and agrees to and by these presents do release and forever discharge the Borough of Seven Fields, County of Butler, its successors or assigns from any liability for damages arising and to arise from the appropriation of said ground for public highways, and other public uses and the physical grading thereof to any grades that may be established. This dedication and release shall be binding upon GROUP 7 DEVELOPMENT, LLC its successors and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, the said Corporation has caused its Corporate seal to be affixed by the hand of its President and same to be attested Secretary, this 2nd day of April, A.D. 2020.

GROUP 7 DEVELOPMENT, LLC (SEAL)
ATTEST: (SEAL) President
Secretary

CORPORATE ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA, ss:

COUNTY OF BUTLER

On this 2nd day of April, A.D. 2020, before me, a Notary Public and for said County and Commonwealth, personally appeared Christopher J. Kaclik of GROUP 7 DEVELOPMENT, LLC, a Pennsylvania non-profit corporation, who being duly sworn, deposes and says that he was personally present at the execution of the adoption, release and dedication and saw the common and corporate seal of the said Corporation duly sign and sealed by and as for the act and deed of the said GROUP 7 DEVELOPMENT, LLC for the uses and purposes therein mentioned, and that the name of this deponent subscribed to the said release and dedication Christopher J. Kaclik of GROUP 7 DEVELOPMENT, LLC in attestation of the due execution and delivery of said release and dedication of this deponent's own and proper and respective handwriting.

(SEAL) President
(Name of Officer) (Title of Officer)

Sworn to and subscribed before me the day, date and date above written.
WITNESS MY HAND AND NOTARIAL SEAL this 2nd day of April, 2020.

(SEAL)
Paula K. Rouda, Notary Public
Adams Twp., Butler County
My Commission Expires Aug. 15, 2021
MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES

CERTIFICATION OF TITLE

I hereby certify that the title to the property contained in the Amendment to Parcel J-R of the Northpointe Center North Plan is in the name of GROUP 7 DEVELOPMENT, LLC, and is recorded in Instrument #201803220005376.

(SEAL)
John R. Balewski, Engineer
PE#048873E

SURVEYOR CERTIFICATION

I, Gary A. Sheffler, a Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan shown hereon is based upon actual field survey of the land described and that all angles, distances, and courses are correctly shown, that the monuments and markers as shown on the plat have been, or will be set, and to the best of my knowledge, that this plan correctly represents the lots, land, streets, and highways as surveyed and plotted by me for the owners or agents.

2-12-2020
Date (SEAL) Gary A. Sheffler, P.L.S.

BUTLER COUNTY PLANNING COMMISSION APPROVAL

Reviewed by the Butler County Planning Commission this 16th day of April, 2020.

(SEAL) Chairman
Secretary

MUNICIPAL APPROVAL

Reviewed and approved by the Borough of Seven Fields Council this 17th day of April, 2020.

(SEAL) Chairman
Secretary

BOROUGH ENGINEER

Reviewed and approved by the Borough of Seven Fields Engineer this 17th day of April, 2020.

(SEAL)
Date (SEAL) (Engineer)

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA, ss:

COUNTY OF BUTLER

Recorded in the office for the recording of deeds, plats and plans in said County, in Plan Book Volume 384 Page(s) 50.

Given under my hand and seal this 21st day of April, 2020.

(SEAL)
Michele M. Mustello
Recorder of Deeds
My Commission Expires First Monday in January 2024

Inst#: 202004210007630
Page 1 of 1
Michele Mustello
Butler County Recorder PA

General Notes:

1. THE PURPOSE OF THIS PLAN IS TO ELIMINATE REFERENCES TO "OPEN SPACE" ON PARCEL J-R.
2. BASIS OF BEARING: RECORDED BEARINGS SHOWN ON THE "REVISION TO PARCEL J-R (OPEN SPACE) OF THE NORTHPOINTE CENTER NORTH PLAN" RECORDED IN PLAN BOOK VOLUME 380 PAGE 2.

ZONING INFORMATION:

THE SUBJECT PREMISES LIES WITHIN THE INDUSTRIAL ZONING DISTRICT.

ZONING DISTRICT: (INDUSTRIAL)

MAX. BUILDING HEIGHT: FIFTY (50) FEET

MIN. LOT AREA: 40,000 SQUARE FEET

MIN. LOT WIDTH: ONE HUNDRED (100) FEET

MIN. FRONT YARD: FIFTY (50) FEET

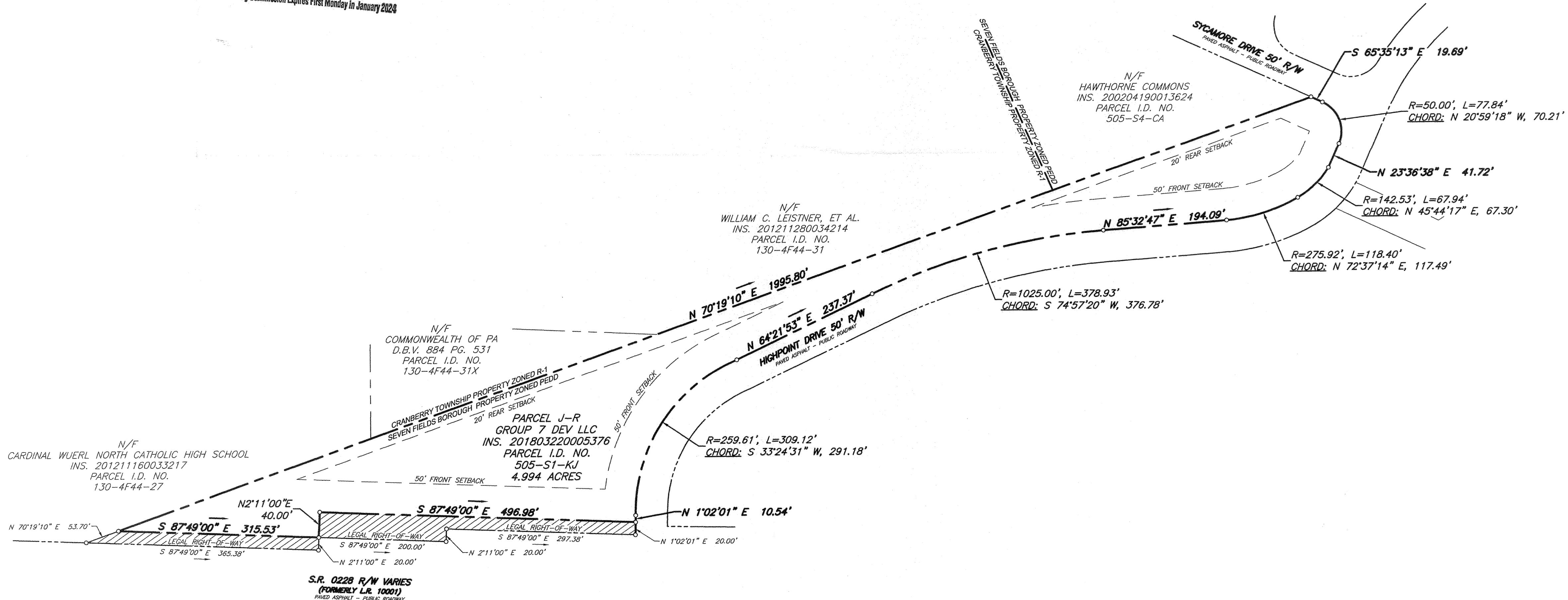
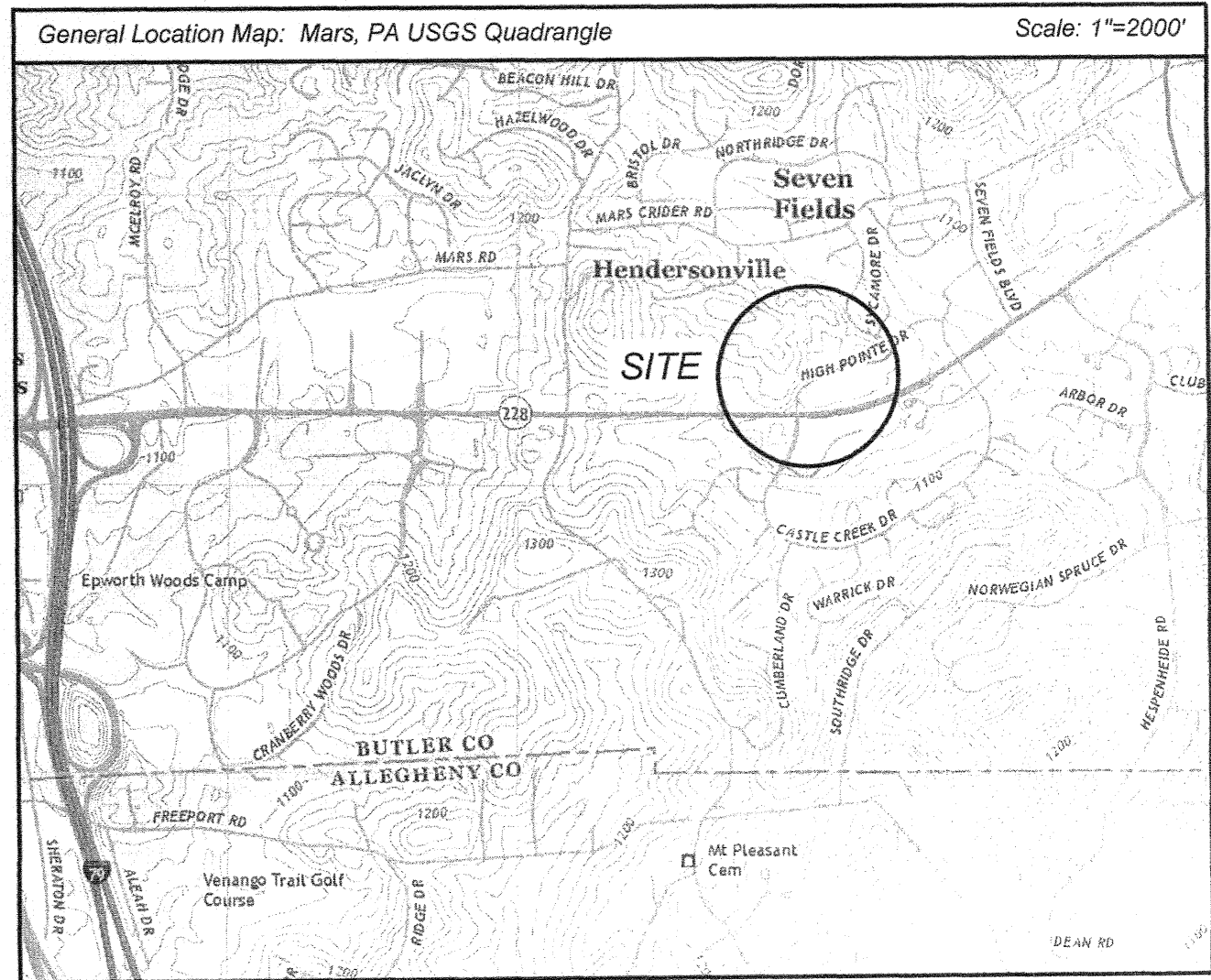
MIN. SIDE YARD: TWENTY (20) FEET

MIN. REAR YARD: TWENTY (20) FEET

ZONING INFORMATION WAS OBTAINED FROM:

THE BOROUGH OF SEVEN FIELDS
ORDINANCE INFO: ORDINANCE NUMBER 88
ZONING MAP: OCTOBER 2013

ZONING OFFICER:
THOMAS B. SMITH



PLAN BOOK	PAGE
384	50

 Know what's below. Call before you dig. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.	 Horizontal Scale 0 100' 200' (Feet) 1 inch = 100 ft.	Date:	Revision Description:	By:	Professional Seal:	Prepared By:				
<div>Amendment to Parcel J-R of the Northpointe Center North Plan</div> <div>Prepared For: Kaclik Builders</div> <div>Situate In: Borough of Seven Fields, Butler County, Pennsylvania</div>							Being a revision of Parcel J-R recorded in Plan Book 290, page 2	DRAWING SCALE: As Shown DATE ISSUED: 2/13/2020 PROJECT JOB#: 3681 CADD#: 3681 Amendment to Parcel J-R of the Northpointe Center North Plan.dwg	DRAWN BY: CEL REVIEWED BY: GAS FIELD BOOK #: 3681	Kaclik Builders Attn: Chris Kaclik 1272 Mars-Evans City Road #101 Evans City, PA 16033 Email: ck18@comcast.net Sheet No. REC-1