

OWNERS ADOPTION

The Pikewood Land Partners, LLC, owner of the land shown on the "Laurel Pointe Phase 1 - Plan of Recording" hereby adopts this plan as its plan of lots and irrevocably dedicates all streets and other property identified for dedication on the plan to the public.

Witness Signature Date 1-11-21

Before me, the undersigned Notary public in and for the Commonwealth of Pennsylvania and County of Butler, personally appeared the above named Pikewood Land Partners, LLC and acknowledged the foregoing adoption and dedication to be the act of the partnership.

Witness my hand and notarial seal this 11th day of January, 2021

My commission expires the 21st day of July, 2023. Notary Public Diane Randolph, Notary Public Allegheny County Commission number 1292126

CERTIFICATION OF TITLE

I hereby certify that the title to the property contained in the "Laurel Pointe Phase 1 - Plan of Recording" is in the name of Pikewood Land Partners, LLC and is recorded in Instrument #201708180017579 and 2020002100002720.

Witness Signature Date 1-11-21

Dollar Bank, mortgagee of the property contained in the "Laurel Pointe Phase 1 - Plan of Recording" consents to the recording of said plan and to the dedications and all other matters appearing on the plan.

Witness Signature Dollar Bank Representative - Name, Title

SURVEYOR'S CERTIFICATION

I, Jon P. Myers, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, certify to the best of my knowledge, the survey and plan shown herein are correct and accurate to the standards required

Date of Plan: March 10, 2020 By: Jon P. Myers, PLS PA Registrar No. SU051238

NO ACCEPTANCE OF DEDICATION

The Board of Supervisors of the Township of Cranberry, hereby gives notice that in approving this plan for recording, the Township of Cranberry has not accepted dedication of any streets, land or public facilities and has no obligation to improve or partially such streets, land or facilities.

Secretary Chairman, Board of Supervisors

NO BUILDING PERMITS WITHOUT APPROVED SEWAGE FACILITIES

The Township of Cranberry agrees not to issue building permits until the "Planning Module for Land Development" has been approved in accordance with the regulations of the Pennsylvania Department of Environmental Protection.

Secretary Date 3/23/2021

CRANBERRY TOWNSHIP BOARD OF SUPERVISORS APPROVAL

Approved by the Board of Supervisors of the Township of Cranberry by Ordinance/Resolution No. 2020-54 on this 30th day of March, 2021.

Secretary Chairman, Board of Supervisors

CRANBERRY TOWNSHIP MANAGER APPROVAL

Township Manager for the Township of Cranberry, certify that the conditions for final approval outlined in Ordinance/Resolution No. 2020-54 have been met in accordance with Sections 22-305 and 22-307 of the Township of Cranberry Code of Ordinances.

Township Manager

CRANBERRY TOWNSHIP ENGINEER APPROVAL

I, Michael C Malak, a registered professional engineer, the Township Engineer for Cranberry Township, do hereby certify that this land development plan meets all the engineering and design requirements of the Township ordinances except as departures have been authorized by the Cranberry Township Board of Supervisors.

Signature Registration Number Date 3/23/21

BUTLER COUNTY PLANNING COMMISSION REVIEW # 20205

Reviewed by the Butler County Planning Commission on this 21st day of Oct, 2020

Secretary Chairman, Butler County Planning Commission

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA COUNTY OF BUTLER

Recorded in the Recorder's Office for the recording of deeds; plans, etc., in said County in Plan Book Volume 393, Page 1-16

Given under my hand and seal this 25th day of March, 2021.

Recorder of Deeds MICHELE M. MUSTELLO

MICHELE M. MUSTELLO RECORDER OF DEEDS My Commission Expires First Monday in January 2024

Instr: 20210325008407 Pg. 16 of 3645.00 3/25/2021 1:20 PM Michele Mustello Butler County Recorder PA 170210906146

Property owner: It shall be unlawful to alter or remove any permanent stormwater BMP required by an approved stormwater management plan or allow the property to remain in a condition which does not conform to an approved stormwater management plan, unless the Township grants an exception in writing.

Owner Signature Date February 11, 2021

Engineer: I, James Venture, hereby certify that the stormwater management plan meets all design standards and criteria of the Cranberry Township Stormwater Ordinance.

Signature Date 2-21-2021

Township Engineer: I, township engineer, have reviewed this stormwater management plan in accordance with the design standards and criteria of the Cranberry Township Stormwater Management Ordinance.

Signature Date 3/25/21

GENERAL NOTES

- 1. AS PER THE APPROVED STORM WATER MANAGEMENT PLAN, THE TOWNSHIP SHALL HAVE RIGHT OF ACCESS TO THE ONSITE DETENTION FACILITY FOR THE RIGHT OF MAINTENANCE MONITORING, AND/OR SAMPLING, IN THE EVENT THE OWNER ASSIGNS OR HEIRS DO NOT ADEQUATELY MAINTAIN OR MONITOR THE FACILITY. THE OWNER ASSIGNS OR HEIRS SHALL REIMBURSE THE TOWNSHIP FOR ALL COSTS ASSOCIATED WITH SAID MAINTENANCE. THE APPOINTMENT RIGHTS GRANTED TO THE TOWNSHIP IN NO WAY DIMINISH THE RESPONSIBILITY OF THE OWNER ASSIGNED OR HEIRS OF SAID MAINTENANCE AND MONITORING, AND NO LIABILITY WILL BE ASSUMED BY THE TOWNSHIP ASSOCIATED WITH REQUIRED ACCESS FOR MAINTENANCE OR MONITORING PURPOSES.
2. PRIVATE STORM SEWERS AND SWALES SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

AREA TABULATION

EXISTING AREA: PARCEL ID: 130-4F44-35B-0000 & 130-4F44-35BB-0000 OWNER: PIKEWOOD LAND PARTNERS LLC. DEED: INSTRUMENT #201708180017579 & #2020002100002720 AREA: 121.30 ACRES
PROPOSED AREA: LOTS 1-3: 11.95 ACRES LOTS 101-125: 7.76 ACRES OPEN SPACE 1: 6.53 ACRES ROAD RIGHT-OF-WAY: 4.82 ACRES LOT 4(TO BE CONSOLIDATED): 6.92 ACRES RESIDUAL PARCEL: 83.32 ACRES TOTAL: 121.30 ACRES

PHASE LOT/ UNIT BREAKDOWN

Table with columns: SINGLE FAMILY, VILLA UNITS, TOTAL. Row: PHASE 1, 25, 36, 61

Drawing Scale:

Waterfront Corporate Park III, Suite 101 2000 Georgetown Drive Sewickley, PA 15143 P: 724-444-1100 F: 724-444-1104 www.pve-llc.com



Civil Engineering | Land Development | Structure Design Land Planning | Landscape Architecture | Environmental

Prepared For: Pikewood Land Partners, LLC 2543 Washington Road Pittsburgh, PA 15241

This plan has been prepared solely for the benefit of the person(s) named above and for the project noted on this drawing. The use of this plan by any third party, or for any other purpose other than specified, is prohibited without written consent from PVE Engineer, L.L.C.



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Table with columns: DATE ISSUED, DECEMBER 06, 2019; PLAN REVISIONS with rows for 01/08/2020, 03/04/2020, 03/10/2020

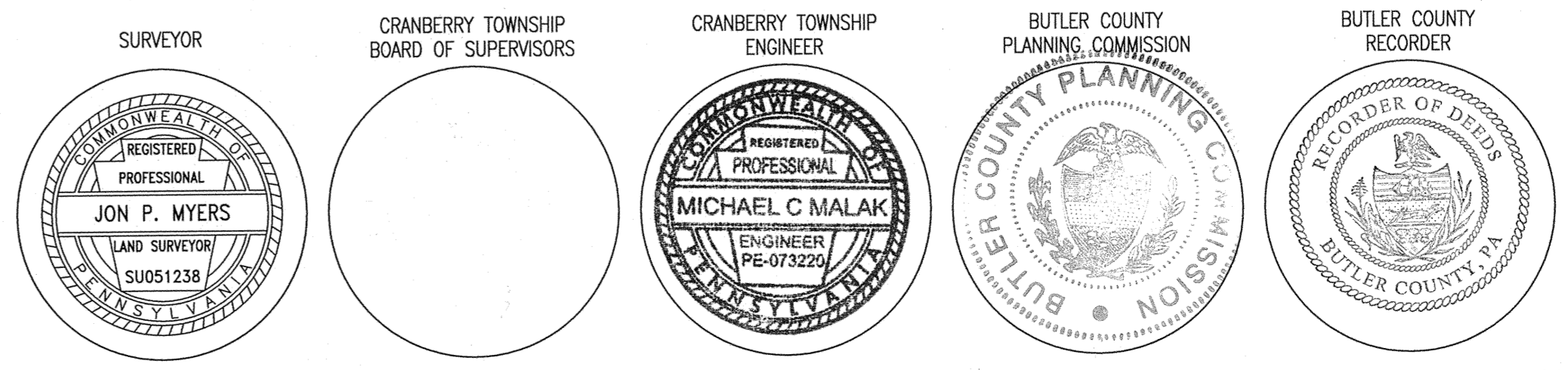
Situate In: Cranberry Township, Butler County, Pennsylvania

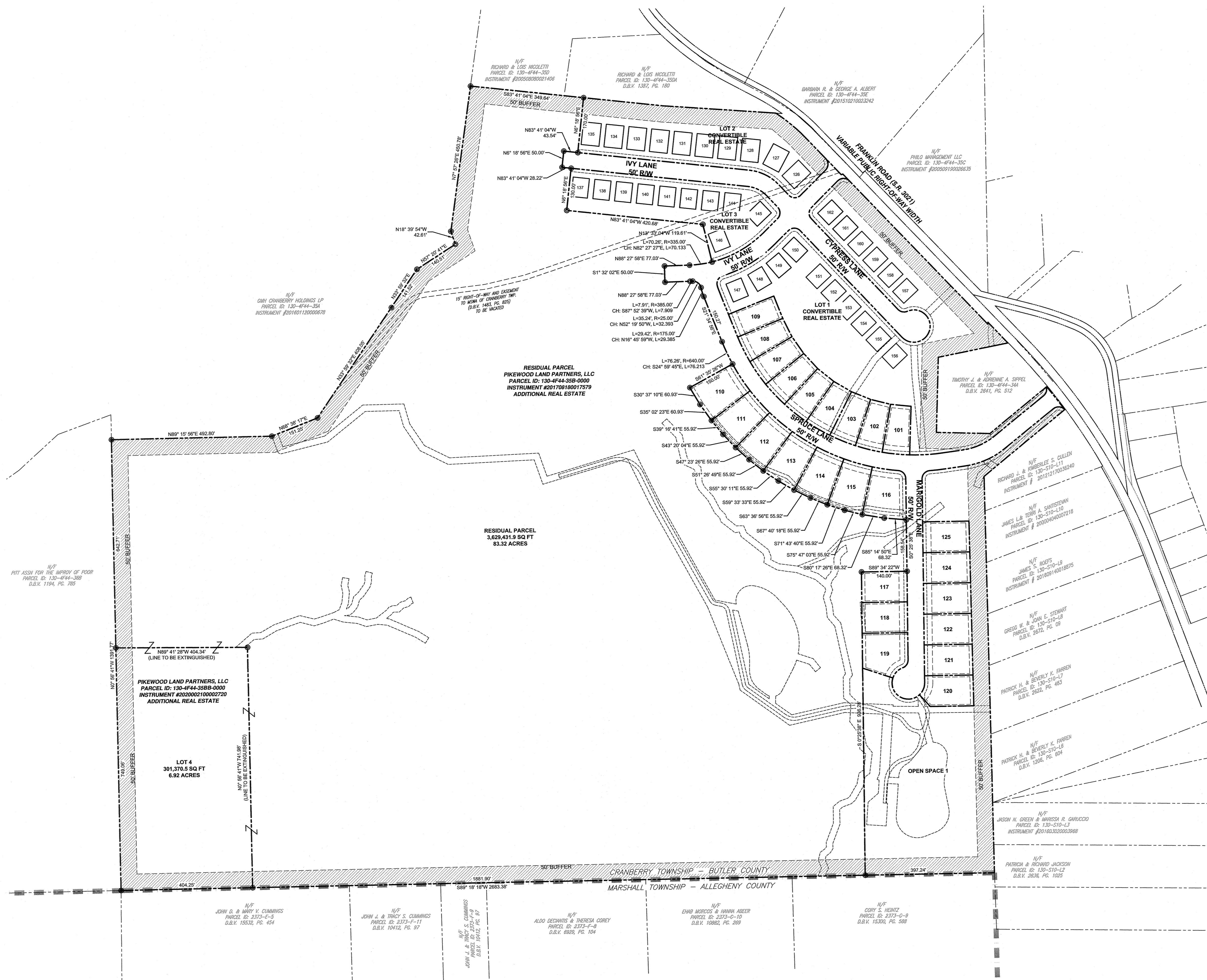
Project Name: LAUREL POINTE Phase 1 - As Per

Drawing Name: Plan of Recording Page 1 of 8

Project No: 161175 Drawing No: C-1000

PLAN BOOK 393 PAGE 1





GENERAL NOTES

- AS PER THE APPROVED STORM WATER MANAGEMENT PLAN, THE TOWNSHIP SHALL HAVE RIGHT OF ACCESS TO THE ON-SITE DETENTION FACILITY FOR THE RIGHT OF MAINTENANCE MONITORING, AND/OR SAMPLING. IN THE EVENT THE OWNER ASSIGNS OR HEIRS DO NOT ADEQUATELY MAINTAIN OR MONITOR THE FACILITY, THE OWNER, ASSIGNS OR HEIRS SHALL REIMBURSE THE TOWNSHIP FOR ALL COSTS ASSOCIATED WITH SAID MAINTENANCE. THE FOREMENTIONED RIGHTS GRANTED TO THE TOWNSHIP IN NO WAY DIMINISH THE RESPONSIBILITY OF THE OWNER, ASSIGNS OR HEIRS OF SAID MAINTENANCE AND MONITORING, AND NO LIABILITY WILL BE ASSUMED BY THE TOWNSHIP ASSOCIATED WITH REQUIRED ACCESS FOR MAINTENANCE OR MONITORING PURPOSES.
- PRIVATE STORM SEWERS AND SWALES SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

AREA TABULATION

EXISTING AREA:

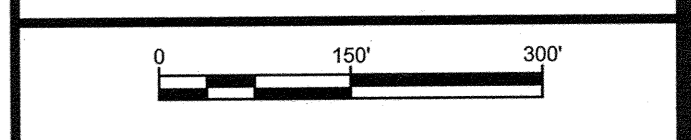
PARCEL ID: 130-4F44-35B-0000 & 130-4F44-35B-0000
 OWNER: PIKEWOOD LAND PARTNERS LLC.
 DEED INSTRUMENT #201708180017579 & #2020002100002720
 AREA: 121.30 ACRES

PROPOSED AREA:

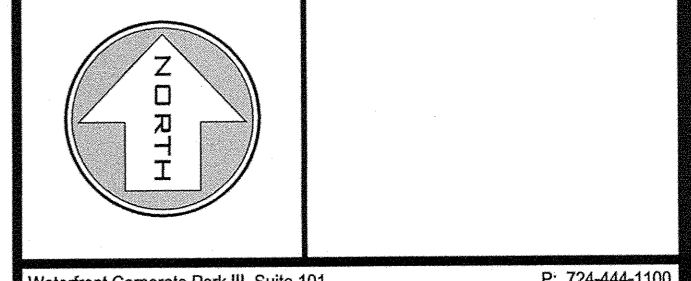
LOTS 1-3:	11.95 ACRES
LOTS 101-125:	7.76 ACRES
OPEN SPACE 1:	6.53 ACRES
ROAD RIGHT-OF-WAY:	4.82 ACRES
LOT 4 (TO BE CONSOLIDATED):	6.92 ACRES
RESIDUAL PARCEL:	83.32 ACRES
TOTAL:	121.30 ACRES

PHASE LOT/UNIT BREAKDOWN

	SINGLE FAMILY	VILLA UNITS	TOTAL
PHASE 1	25	36	61



Drawing Scale:
1" = 150'

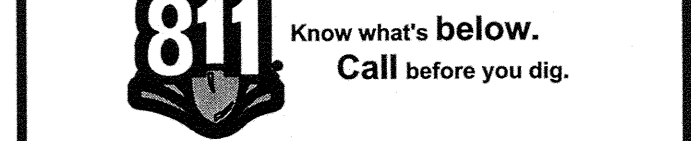


Waterfront Corporate Park III, Suite 101
 2000 Georgetowne Drive
 Sewickley, PA 15140
 P: 724-444-1100
 F: 724-444-1104
 www.pve-llc.com



Prepared For:
Pikewood Land Partners, LLC
 2543 Washington Road
 Pittsburgh, PA 15241

This plan has been prepared solely for the benefit of the person(s) named above and for the project noted on this drawing. The use of this plan for any other purpose, or for any other project other than specified, is prohibited without written consent from PVE Engineering, L.L.C.



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DATE ISSUED: DECEMBER 06, 2019

PLAN REVISIONS	
DATE	DESCRIPTION
1 01/08/2020	REMOVED DEDICATED RIGHT-OF-WAYS
2 03/04/2020	REQUESTED REVISIONS
3 03/10/2020	AS-PER APPROVAL ISSUED
4	
5	
6	
7	
8	
9	
10	
11	
12	

Situate In:
 Cranberry Township, Butler County, Pennsylvania

Project Name:
LAUREL POINTE
Phase 1 - As Per

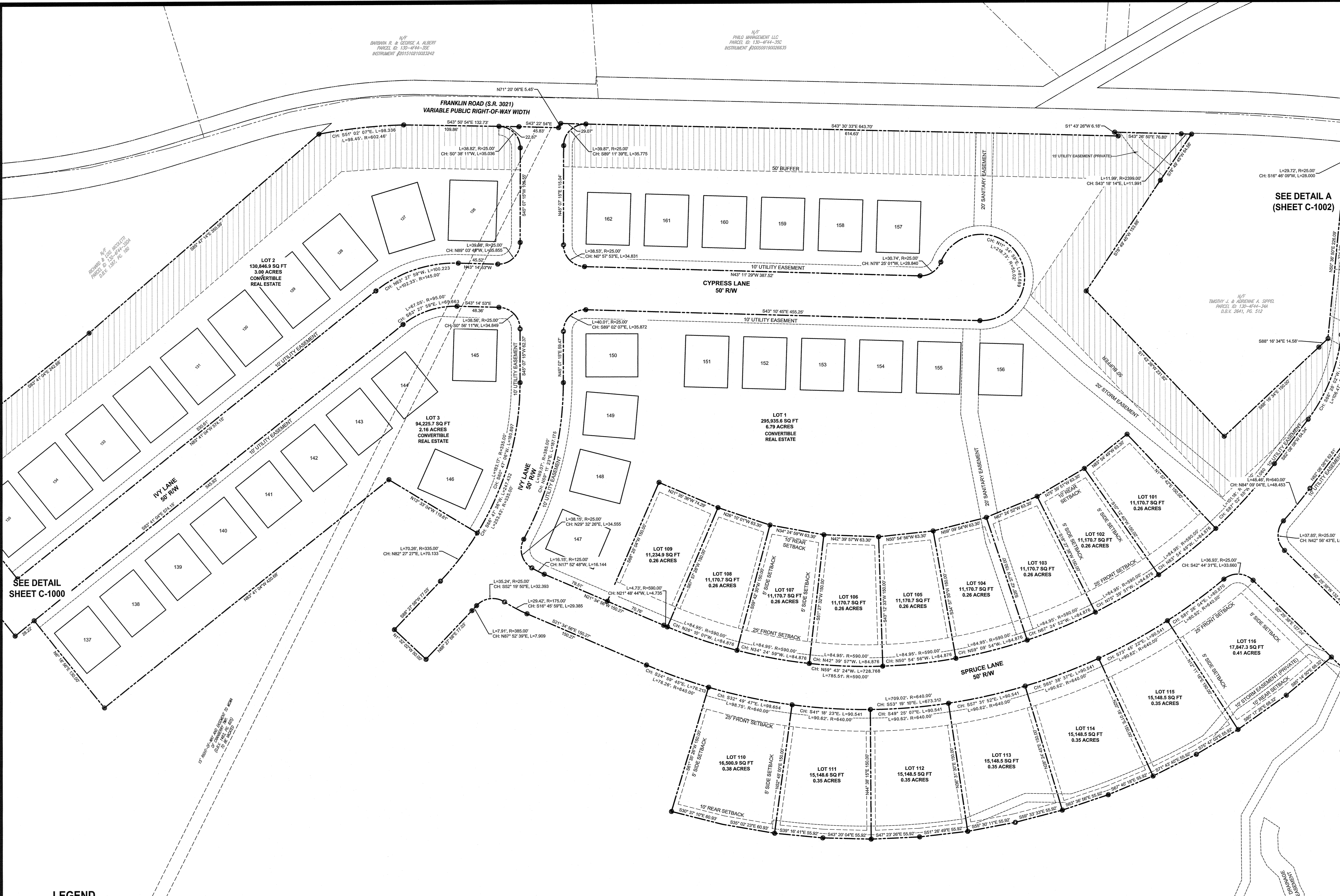
Drawing Name:
Plan of Recording
 Page 2 of 8

Project No: **161175** Drawing No: **C-1001**

PLAN BOOK 393 **PAGE** 2

LEGEND

	SUBJECT PROPERTY
	ADJOINER PROPERTY
	ROAD CENTERLINE
	ROAD RIGHT-OF-WAY
	EASEMENT
	PROPERTY SETBACK
	50' BUFFER



SEE DETAIL SHEET C-1000

SEE DETAIL A (SHEET C-1002)

SEE SHEET C-1003

LEGEND

	SUBJECT PROPERTY
	ADJOINER PROPERTY
	ROAD CENTERLINE
	ROAD RIGHT-OF-WAY
	EASEMENT
	PROPERTY SETBACK
	50' BUFFER

GENERAL NOTES

- AS PER THE APPROVED STORM WATER MANAGEMENT PLAN, THE TOWNSHIP SHALL HAVE RIGHT OF ACCESS TO THE ONSITE DETENTION FACILITY FOR THE RIGHT OF MAINTENANCE MONITORING, AND/OR SAMPLING. IN THE EVENT THE OWNER ASSIGNS OR HEIRS DO NOT ADEQUATELY MAINTAIN OR MONITOR THE FACILITY, THE OWNER, ASSIGNS OR HEIRS SHALL REIMBURSE THE TOWNSHIP FOR ALL COSTS ASSOCIATED WITH SAID MAINTENANCE. THE ABOVE-MENTIONED RIGHTS GRANTED TO THE TOWNSHIP IN NO WAY DIMINISH THE RESPONSIBILITY OF THE OWNER, ASSIGNS OR HEIRS OF SAID MAINTENANCE AND MONITORING, AND NO LIABILITY WILL BE ASSUMED BY THE TOWNSHIP ASSOCIATED WITH REQUIRED ACCESS FOR MAINTENANCE OR MONITORING PURPOSES.
- PRIVATE STORM SEWERS AND SWALES SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

AREA TABULATION

EXISTING AREA:

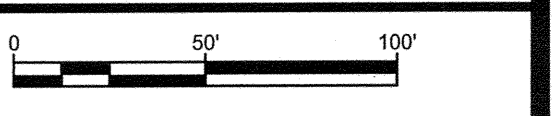
PARCEL ID: 130-4F44-35B-0000 & 130-4F44-35B-0000
 OWNER: PIKEWOOD LAND PARTNERS LLC.
 DEED INSTRUMENT #201708180017579 & #2020002100002720
 AREA: 121.30 ACRES

PROPOSED AREA:

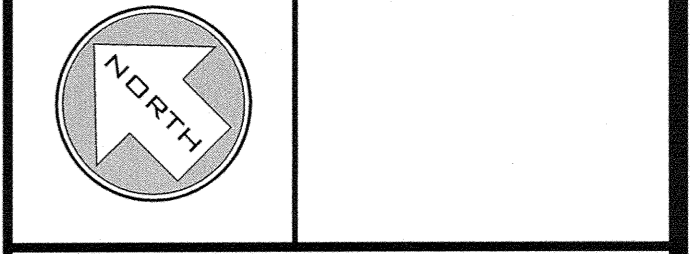
LOTS 1-3:	11.95 ACRES
LOTS 101-125:	7.76 ACRES
OPEN SPACE 1:	6.53 ACRES
ROAD RIGHT-OF-WAY:	6.82 ACRES
LOT 4 (TO BE CONSOLIDATED):	6.92 ACRES
RESIDUAL PARCEL:	83.32 ACRES
TOTAL:	121.30 ACRES

PHASE LOT/UNIT BREAKDOWN

	SINGLE FAMILY	VILLA UNITS	TOTAL
PHASE 1	25	36	61



Drawing Scale: 1" = 50'



Waterfront Corporate Park III, Suite 101
 2000 Georgetown Drive
 Sewickley, PA 15143



Civil Engineering | Land Development | Structure Design
 Land Planning | Landscape Architecture | Environmental

Prepared For:
Pikewood Land Partners, LLC
 2543 Washington Road
 Pittsburgh, PA 15241

This plan has been prepared solely for the benefit of the person(s) named above and for the project noted on this drawing. The use of this plan by any third party, or for any other purpose other than specified, is prohibited without written consent from PVE Design, LLC.

811 Know what's below. Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DATE ISSUED: DECEMBER 06, 2019

PLAN REVISIONS	
DATE	DESCRIPTION
01/08/2020	REMOVED DEDICATED RIGHT-OF-WAYS
03/04/2020	REQUESTED REVISIONS
03/10/2020	AS-PER APPROVAL ISSUED

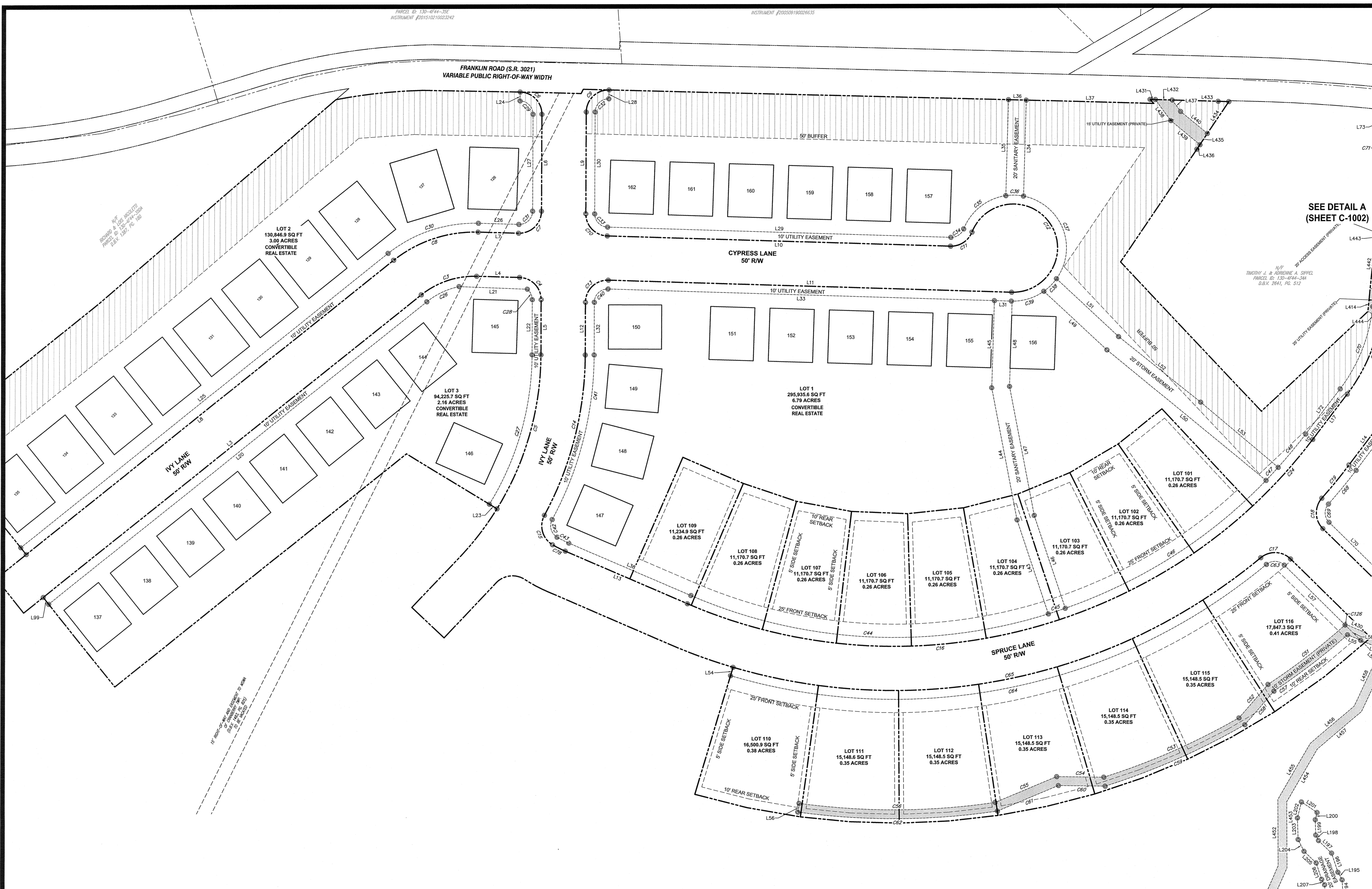
Situate In:
 Cranberry Township, Butler County, Pennsylvania

Project Name:
LAUREL POINTE
 Phase 1 - As Per

Drawing Name:
Plan of Recording
 Page 3 of 8

Project No: **161175** Drawing No: **C-1002**

PLAN BOOK	PAGE
393	3



GENERAL NOTES

- AS PER THE APPROVED STORM WATER MANAGEMENT PLAN, THE TOWNSHIP SHALL HAVE RIGHT OF ACCESS TO THE ON-SITE DETENTION FACILITY FOR THE RIGHT OF MAINTENANCE MONITORING AND/OR SAMPLING. IN THE EVENT THE OWNER ASSIGNS OR HEIRS DO NOT ADEQUATELY MAINTAIN OR MONITOR THE FACILITY, THE OWNER, ASSIGNS OR HEIRS SHALL REIMBURSE THE TOWNSHIP FOR ALL COSTS ASSOCIATED WITH SAID MAINTENANCE, MONITORING, AND NO LIABILITY WILL BE ASSUMED BY THE TOWNSHIP ASSOCIATED WITH REQUIRED ACCESS FOR MAINTENANCE OR MONITORING PURPOSES.
- PRIVATE STORM SEWERS AND SHALES SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

SEE DETAIL A
(SHEET C-1002)

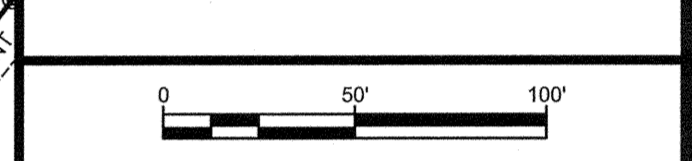
AREA TABULATION

EXISTING AREA:
 PARCEL ID: 130-4F44-35B-0000 & 130-4F44-35B-0001
 OWNER: PIKEWOOD LAND PARTNERS LLC.
 DEED: INSTRUMENT #201708180017579 & #2020002100002720
 AREA: 121.30 ACRES

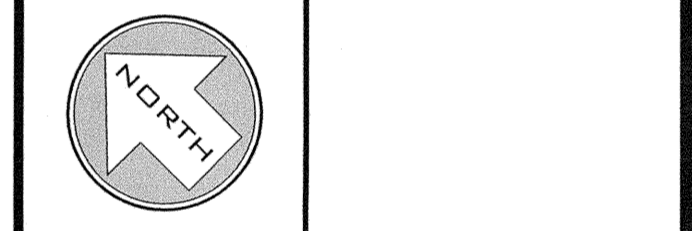
PROPOSED AREA:
 LOTS 1-3: 11.95 ACRES
 LOTS 101-125: 7.76 ACRES
 OPEN SPACE 1: 6.53 ACRES
 ROAD RIGHT-OF-WAY: 4.82 ACRES
 LOT 4(TO BE CONSOLIDATED): 6.92 ACRES
 RESIDUAL PARCEL: 83.32 ACRES
 TOTAL: 121.30 ACRES

PHASE LOT/ UNIT BREAKDOWN

PHASE	SINGLE FAMILY	VILLA UNITS	TOTAL
PHASE 1	25	36	61



Drawing Scale:
1" = 50'



Waterfront Corporate Park III, Suite 101
2000 Georgetown Drive
Sewickley, PA 15143



Civil Engineering | Land Development | Structure Design
Land Planning | Landscape Architecture | Environmental

Prepared For:
Pikewood Land Partners, LLC
2543 Washington Road
Pittsburgh, PA 15241

This plan has been prepared solely for the benefit of the person(s) named above and for the project noted on this drawing. The use of this plan by any third party or for any other purpose other than specified, is prohibited without written consent from PVE Services, L.L.C.



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DATE ISSUED: DECEMBER 06, 2019

PLAN REVISIONS	
DATE	DESCRIPTION
01/08/2020	REMOVED DEDICATED RIGHT-OF-WAYS
03/04/2020	REQUESTED REVISIONS
03/10/2020	AS-PER APPROVAL ISSUED

Situate In:
Cranberry Township, Butler County, Pennsylvania

Project Name:
**LAUREL POINTE
Phase 1 - As Per**

Drawing Name:
**Plan of Recording
Page 5 of 8**

Project No: **161175** Drawing No: **C-1004**

LEGEND

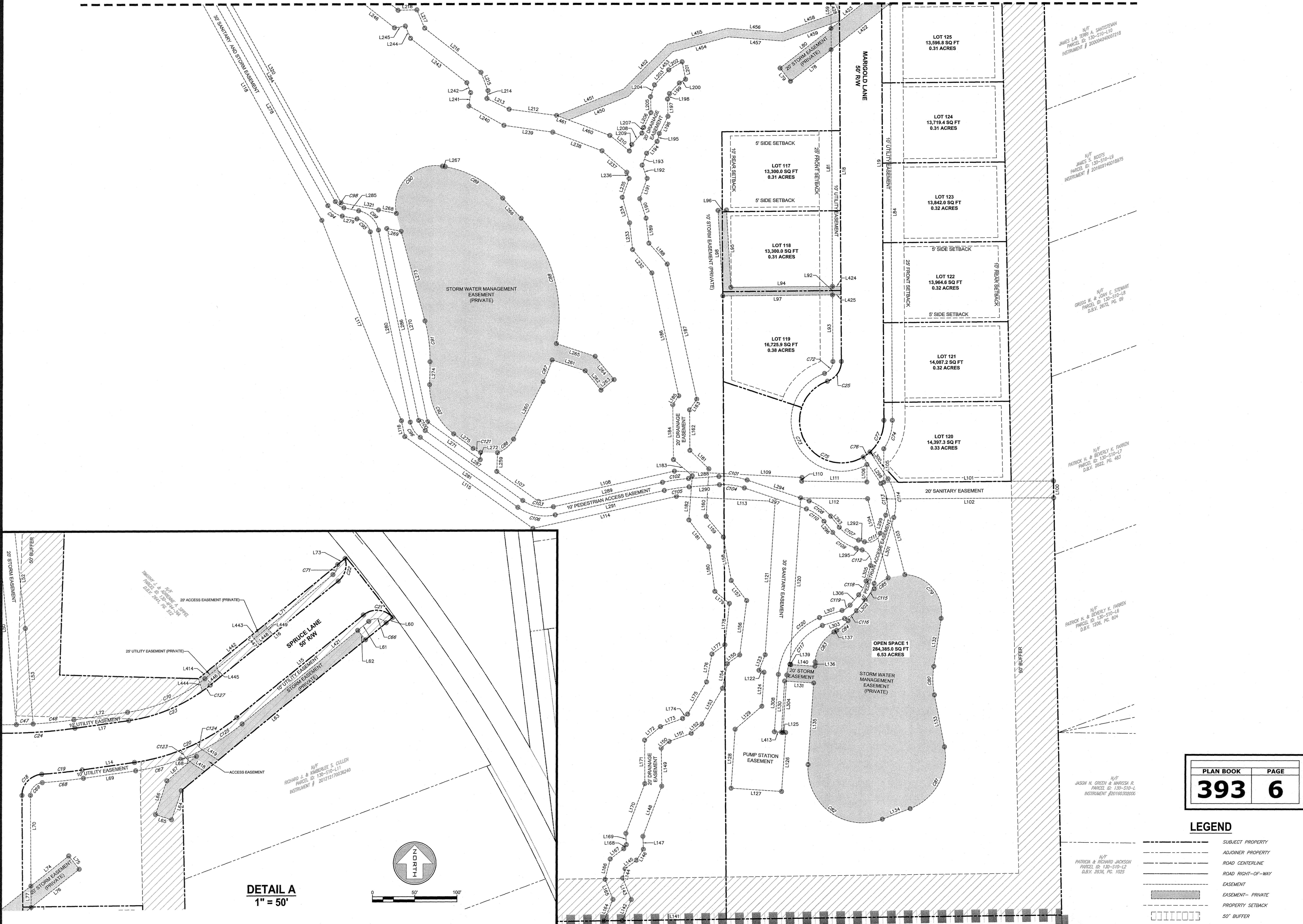
- SUBJECT PROPERTY
- ADJOINER PROPERTY
- ROAD CENTERLINE
- ROAD RIGHT-OF-WAY
- EASEMENT
- EASEMENT - PRIVATE
- PROPERTY SETBACK
- 50' BUFFER

SEE SHEET C-1005

PLAN BOOK	PAGE
393	5

SEE SHEET C-1006

SEE SHEET DETAIL A (THIS SHEET)



GENERAL NOTES

- AS PER THE APPROVED STORM WATER MANAGEMENT PLAN, THE TOWNSHIP SHALL HAVE RIGHT OF ACCESS TO THE ON-SITE DETENTION FACILITY FOR THE RIGHT OF MAINTENANCE MONITORING, AND/OR SAMPLING, IN THE EVENT THE OWNER ASSIGNS OR HEIRS DO NOT ADEQUATELY MAINTAIN OR MONITOR THE FACILITY. THE OWNER, ASSIGNS OR HEIRS SHALL REIMBURSE THE TOWNSHIP FOR ALL COSTS ASSOCIATED WITH SAID MAINTENANCE. THE APPOINTMENT RIGHTS GRANTED TO THE TOWNSHIP IN NO WAY DIMINISH THE RESPONSIBILITY OF THE OWNER, ASSIGNS OR HEIRS OF SAID MAINTENANCE AND MONITORING, AND NO LIABILITY WILL BE ASSUMED BY THE TOWNSHIP ASSOCIATED WITH REQUIRED ACCESS FOR MAINTENANCE OR MONITORING PURPOSES.
- PRIVATE STORM SEWERS AND SWALES SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

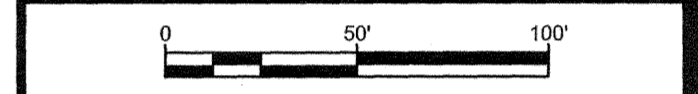
AREA TABULATION

EXISTING AREA:
 PARCEL ID: 130-4F44-35B-0000 & 130-4F44-35B-0000
 OWNER: PIKEWOOD LAND PARTNERS LLC.
 DEED: INSTRUMENT #201708180017579 & #2020002100002720
 AREA: 121.30 ACRES

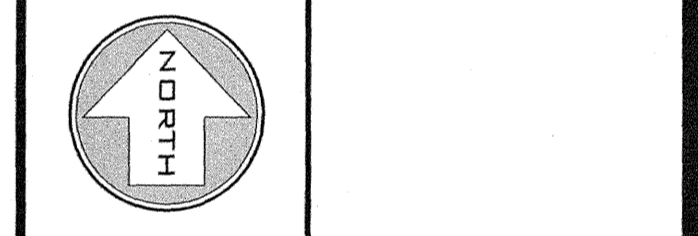
PROPOSED AREA:
 LOTS 1-3: 11.95 ACRES
 LOTS 101-125: 7.76 ACRES
 OPEN SPACE 1: 6.53 ACRES
 ROAD RIGHT-OF-WAY: 4.82 ACRES
 LOT 4 (TO BE CONSOLIDATED): 6.92 ACRES
 RESIDUAL PARCEL: 83.32 ACRES
 TOTAL: 121.30 ACRES

PHASE LOT/ UNIT BREAKDOWN

	SINGLE FAMILY	VILLA UNITS	TOTAL
PHASE 1	25	36	61



Drawing Scale: 1" = 50'



Waterford Corporate Park III, Suite 101
 2000 Georgetown Drive
 Swackley, PA 15143



Prepared For:
Pikewood Land Partners, LLC
 2543 Washington Road
 Pittsburgh, PA 15241

This plan has been prepared solely for the benefit of the person(s) named above and for the project stated on this drawing. The use of this plan by any third party, or for any other purpose other than specified, is prohibited without written consent from PVE Shaffer, L.L.C.



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DATE ISSUED: DECEMBER 06, 2019

PLAN REVISIONS	
DATE	DESCRIPTION
01/08/2020	REMOVED DEDICATED RIGHT-OF-WAYS
03/04/2020	REQUESTED REVISIONS
03/10/2020	AS-PER APPROVAL ISSUED

PLAN BOOK	PAGE
393	6

LEGEND

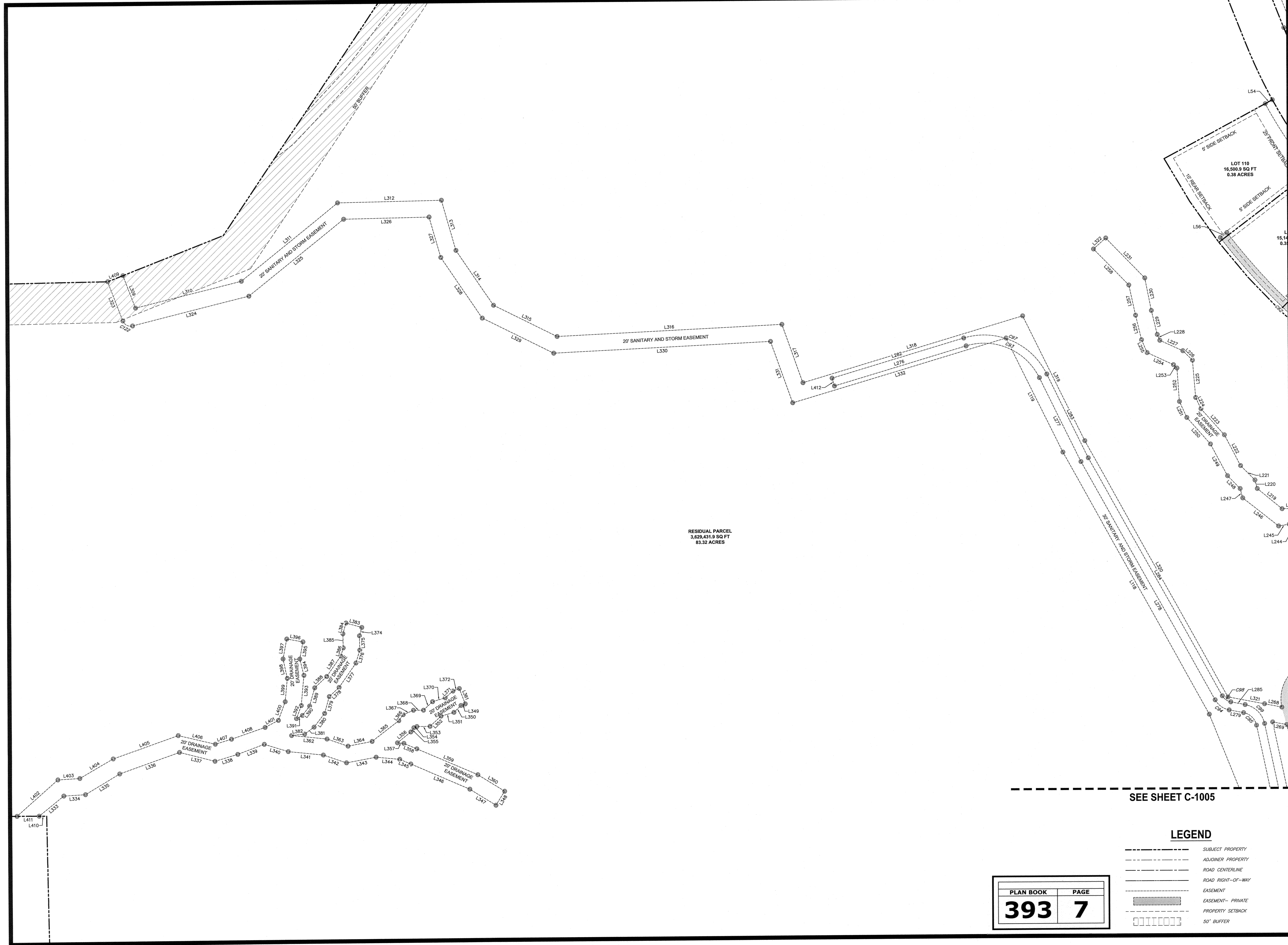
- SUBJECT PROPERTY
- ADJOINER PROPERTY
- ROAD CENTERLINE
- ROAD RIGHT-OF-WAY
- EASEMENT
- EASEMENT- PRIVATE
- PROPERTY SETBACK
- 50' BUFFER

Situate In: Cranberry Township, Butler County, Pennsylvania

Project Name:
LAUREL POINTE
 Phase 1 - As Per

Drawing Name:
Plan of Recording
 Page 6 of 8

Project No: **161175** Drawing No: **C-1005**



GENERAL NOTES

- AS PER THE APPROVED STORM WATER MANAGEMENT PLAN, THE TOWNSHIP SHALL HAVE RIGHT OF ACCESS TO THE ON-SITE DETENTION FACILITY FOR THE RIGHT OF MAINTENANCE MONITORING, AND/OR SAMPLING, IN THE EVENT THE OWNER ASSIGNS OR HEIRS DO NOT ADEQUATELY MAINTAIN OR MONITOR THE FACILITY. THE OWNER, ASSIGNS OR HEIRS SHALL REIMBURSE THE TOWNSHIP FOR ALL COSTS ASSOCIATED WITH SAID MAINTENANCE. THE AFORESAID RIGHTS GRANTED TO THE TOWNSHIP IN NO WAY DIMINISH THE RESPONSIBILITY OF THE OWNER, ASSIGNS OR HEIRS OF SAID MAINTENANCE AND MONITORING, AND NO LIABILITY WILL BE ASSUMED BY THE TOWNSHIP ASSOCIATED WITH REQUIRED ACCESS FOR MAINTENANCE OR MONITORING PURPOSES.
- PRIVATE STORM SEWERS AND SWALES SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

AREA TABULATION

EXISTING AREA:
 PARCEL ID: 130-4F44-355B-0000 & 130-4F44-355B-0000
 OWNER: PIKEWOOD LAND PARTNERS LLC.
 DEED: INSTRUMENT #201708180017579 & #2020002100002720
 AREA: 121.30 ACRES

PROPOSED AREA:
 LOTS 1-3: 11.95 ACRES
 LOTS 101-125: 7.76 ACRES
 OPEN SPACE 1: 6.53 ACRES
 ROAD RIGHT-OF-WAY: 4.82 ACRES
 LOT 4 (TO BE CONSOLIDATED): 6.92 ACRES
 RESIDUAL PARCEL: 83.32 ACRES
 TOTAL: 121.30 ACRES

PHASE LOT/ UNIT BREAKDOWN

	SINGLE FAMILY	VILLA UNITS	TOTAL
PHASE 1	25	36	61

0 50' 100'

Drawing Scale:
1" = 50'

PVE
 Civil Engineering | Land Development | Structure Design
 Land Planning | Landscape Architecture | Environmental

Prepared For:
Pikewood Land Partners, LLC
 2543 Washington Road
 Pittsburgh, PA 15241

811 Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DATE ISSUED: DECEMBER 06, 2019

PLAN REVISIONS	
DATE	DESCRIPTION
01/08/2020	REMOVED DEDICATED RIGHT-OF-WAYS
03/04/2020	REQUESTED REVISIONS
03/10/2020	AS-PER APPROVAL ISSUED
4	
5	
6	
7	
8	
9	
10	
11	
12	

Situate In:
Cranberry Township, Butler County, Pennsylvania

Project Name:
**LAUREL POINTE
Phase 1 - As Per**

Drawing Name:
**Plan of Recording
Page 7 of 8**

Project No: **161175** Drawing No: **C-1006**

RESIDUAL PARCEL
3,629,431.9 SQ FT
83.32 ACRES

SEE SHEET C-1005

PLAN BOOK	PAGE
393	7

LEGEND

---	SUBJECT PROPERTY
---	ADJOINER PROPERTY
---	ROAD CENTERLINE
---	ROAD RIGHT-OF-WAY
---	EASEMENT
---	EASEMENT - PRIVATE
---	PROPERTY SETBACK
---	50' BUFFER

LINE TABLE with columns: Line, Bearing, Length. Rows L3 to L22.

LINE TABLE with columns: Line, Bearing, Length. Rows L23 to L32.

LINE TABLE with columns: Line, Bearing, Length. Rows L33 to L42.

LINE TABLE with columns: Line, Bearing, Length. Rows L43 to L52.

LINE TABLE with columns: Line, Bearing, Length. Rows L53 to L62.

LINE TABLE with columns: Line, Bearing, Length. Rows L63 to L72.

LINE TABLE with columns: Line, Bearing, Length. Rows L73 to L82.

LINE TABLE with columns: Line, Bearing, Length. Rows L83 to L92.

LINE TABLE with columns: Line, Bearing, Length. Rows L93 to L102.

LINE TABLE with columns: Line, Bearing, Length. Rows L103 to L112.

LINE TABLE with columns: Line, Bearing, Length. Rows L217 to L226.

LINE TABLE with columns: Line, Bearing, Length. Rows L227 to L236.

LINE TABLE with columns: Line, Bearing, Length. Rows L237 to L246.

LINE TABLE with columns: Line, Bearing, Length. Rows L247 to L256.

LINE TABLE with columns: Line, Bearing, Length. Rows L257 to L266.

LINE TABLE with columns: Line, Bearing, Length. Rows L267 to L276.

LINE TABLE with columns: Line, Bearing, Length. Rows L277 to L286.

LINE TABLE with columns: Line, Bearing, Length. Rows L287 to L296.

LINE TABLE with columns: Line, Bearing, Length. Rows L297 to L306.

LINE TABLE with columns: Line, Bearing, Length. Rows L307 to L316.

LINE TABLE with columns: Line, Bearing, Length. Rows L317 to L326.

LINE TABLE with columns: Line, Bearing, Length. Rows L327 to L336.

CURVE TABLE with columns: Curve, Radius, Arc, Chord Bearing, Chord Length. Rows C3 to C22.

CURVE TABLE with columns: Curve, Radius, Arc, Chord Bearing, Chord Length. Rows C23 to C32.

CURVE TABLE with columns: Curve, Radius, Arc, Chord Bearing, Chord Length. Rows C33 to C42.

CURVE TABLE with columns: Curve, Radius, Arc, Chord Bearing, Chord Length. Rows C43 to C52.

CURVE TABLE with columns: Curve, Radius, Arc, Chord Bearing, Chord Length. Rows C65 to C94.

CURVE TABLE with columns: Curve, Radius, Arc, Chord Bearing, Chord Length. Rows C85 to C114.

CURVE TABLE with columns: Curve, Radius, Arc, Chord Bearing, Chord Length. Rows C105 to C134.

CURVE TABLE with columns: Curve, Radius, Arc, Chord Bearing, Chord Length. Rows C125 to C154.

GENERAL NOTES

AS PER THE APPROVED STORM WATER MANAGEMENT PLAN, THE TOWNSHIP SHALL HAVE RIGHT OF ACCESS TO THE ON-SITE DETENTION FACILITY FOR THE RIGHT OF MAINTENANCE MONITORING, AND/OR SAMPLING...

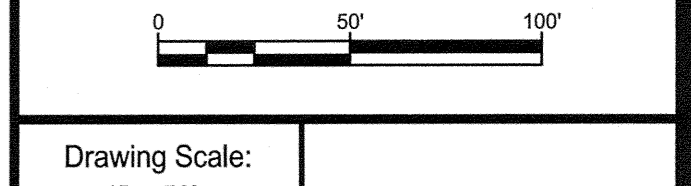
PRIVATE STORM SEWERS AND SWALES SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

AREA TABULATION

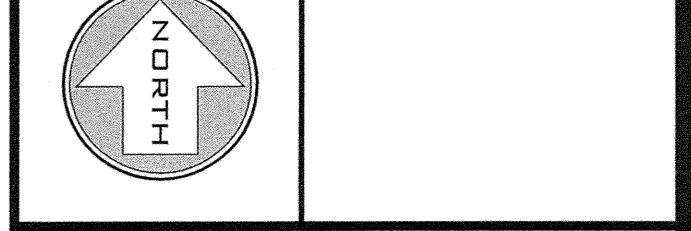
EXISTING AREA: PARCEL ID: 130-444-35B-0000 & 130-444-35B-0001. OWNER: PIKEWOOD LAND PARTNERS LLC.

PROPOSED AREA: LOTS 1-3: 11.95 ACRES. OPEN SPACE 1: 6.53 ACRES. ROAD RIGHT-OF-WAY: 4.82 ACRES.

PHASE LOT/UNIT BREAKDOWN table with columns: PHASE, SINGLE FAMILY, VILLA UNITS, TOTAL.



Drawing Scale: 1" = 50'



Waterfront Corporate Park II, Suite 101, 2000 Georgetown Drive, Sewickley, PA 15143. P: 724-444-1100, F: 724-444-1104, www.pve-llc.com

Civil Engineering | Land Development | Structure Design, Land Planning | Landscape Architecture | Environmental

Prepared For: Pikewood Land Partners, LLC, 2543 Washington Road, Pittsburgh, PA 15241

This plan has been prepared solely for the benefit of the person(s) named above and for the project noted on this drawing. The use of this plan by any third party, or for any other purpose other than specified, is prohibited without written consent from PVE/SHAFFER, L.L.C.

811 Know what's below. Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE...

DATE ISSUED: DECEMBER 06, 2019. PLAN REVISIONS table with columns: DATE, DESCRIPTION.

Situate In: Cranberry Township, Butler County, Pennsylvania

Project Name: LAUREL POINTE Phase 1 - As Per

Drawing Name: Plan of Recording Page 8 of 8

Project No: 161175, Drawing No: C-1007

PLAN BOOK 393, PAGE 8

I, John M. Neenan, hereby certify that the Stormwater Management Plan meets all design standards and criteria of the Cranberry Township Stormwater Management Ordinance.

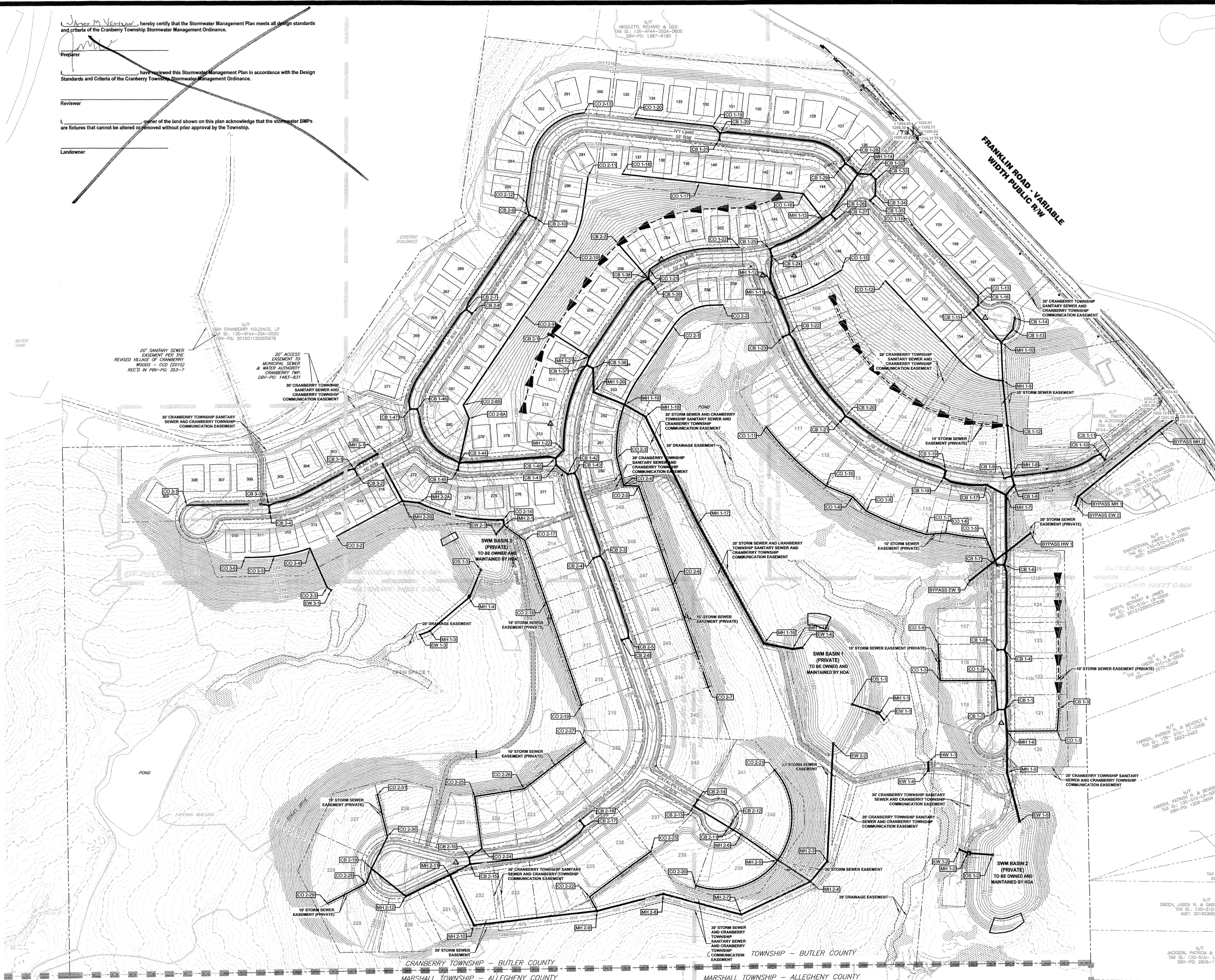
Preparer

I, _____ have reviewed this Stormwater Management Plan in accordance with the Design Standards and Criteria of the Cranberry Township Stormwater Management Ordinance.

Reviewer

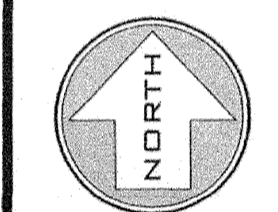
I, _____ owner of the land shown on this plan acknowledge that the stormwater BMPs are fixtures that cannot be altered or removed without prior approval by the Township.

Landowner



- General Notes:**
- It shall be unlawful to alter or remove any permanent stormwater BMP required by an approved SWM site plan or to allow the property to remain in a condition that does not conform to an approved SWM site plan, unless the Township grants an exception in writing.
 - The owner is responsible for operation and maintenance of the stormwater BMPs. If the owner fails to adhere to the operation and maintenance (O&M) agreement, the Township may perform the services required and charge the owner appropriate fees. Nonpayment of fees may result in a lien against the property. A note shall be placed on the recorded plan: "As per the approved stormwater management plan, the Township shall have right of access to the on-site detention facility for the right of maintenance, monitoring, and/or sampling, in the event the owner, assigns or heirs do not adequately maintain or monitor the facility. The owner, assigns or heirs shall reimburse the Township for all costs associated with said maintenance. The aforementioned rights granted to the Township in no way diminish the responsibility of the owner, assigns or heirs of said maintenance and monitoring, and no liability will be assumed by the Township associated with required access for maintenance or monitoring purposes."
 - No person shall modify, remove, fill, landscape, or alter any existing stormwater BMP, facilities, areas, or structures, unless it is part of an approved maintenance program, without the written approval of the Township.
 - Municipal Liability Disclaimer. Approval of a stormwater management plan by the Township shall not be construed as an indication that said plan complies with the requirements, laws, or standards of any agency of the commonwealth which may or may not govern said activity.
 - At the completion of the project and as a prerequisite for the release of the financial guarantee, the applicant shall provide a certification of completion from an engineer, architect, surveyor or other qualified person verifying that all permanent facilities have been constructed according to the SWM site plan and report and approved revisions thereto.
 - Private storm sewers and swales shall be maintained by the Home Owner Association.
 - The swales and associated private easement can be removed if the developer/builders erects runoff from the cut slope to the public storm system on each lot where the swales and easement are shown.

Drawing Scale:
1" = 120'



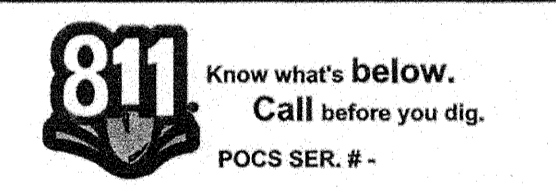
Midwest Corporate Park III, Suite 101
2000 Georgianna Drive
Sewickley, PA 15143
P: 724-444-1100
F: 724-444-1104
www.pve-b.com



Civil Engineering | Land Development | Structure Design
Land Planning | Landscape Architecture | Environmental

Prepared For:
Pikewood Land Partners, LLC
2543 Washington Road
Pittsburgh, PA 15241

This plan has been prepared solely for the benefit of the person(s) named above and for the project noted on this drawing. The user of this plan for any other party, or for any other purpose other than intended, is prohibited without written consent from PVE Studio, LLC.



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DATE ISSUED:	OCTOBER 3, 2017
PLAN REVISIONS	
DATE	DESCRIPTION
11 03-03-2020	ADDRESSED AS-PER RESOLUTION COMMENTS
12 03-10-2020	AS-PER APPROVAL ISSUED
13 04-24-2020	REVISED SAN MH 1-1
14 05-21-2020	RELOCATED LATERALS TO SIPPEL PROPERTY
15 06-19-2020	REVISED SAN MH 2-3 & FILL SLOPE
16 08-17-2020	REV. VME & FM ALIGNMENT ALONG IVEY LN
17 09-08-2020	ADDED PHASE 3 TO DEVELOPMENT
18 10-09-2020	ADDRESSED TWP REVIEW COMMENTS
19 01-11-2021	ADDRESSED AS-PER RESOLUTION COMMENTS

Situate In:
Cranberry Township, Butler County, Pennsylvania

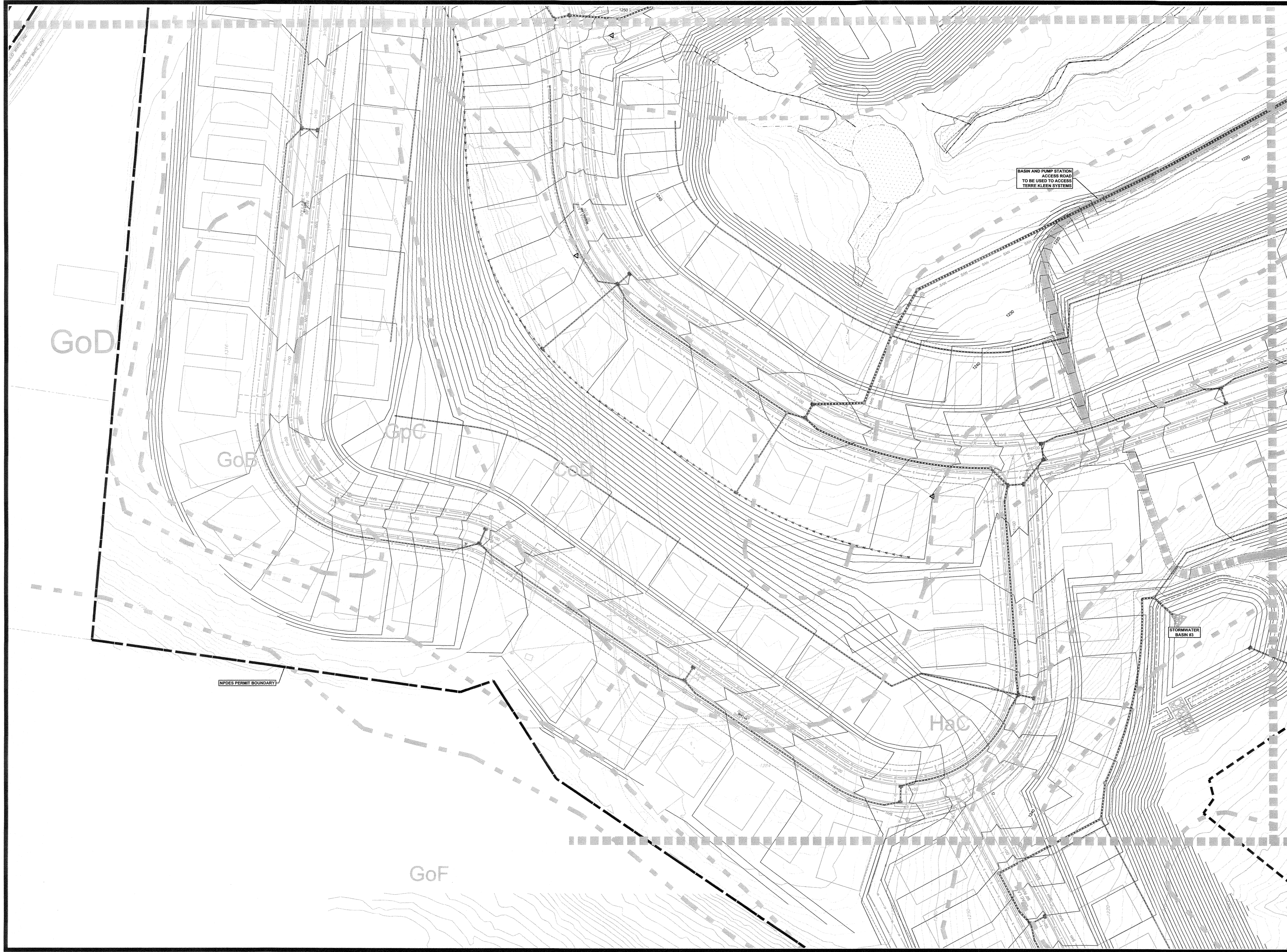
Project Name:
LAUREL POINTE

Drawing Name:
STORM SEWER PLAN

Project No:
161175

Drawing No:
C-500

PLAN BOOK	PAGE
393	9



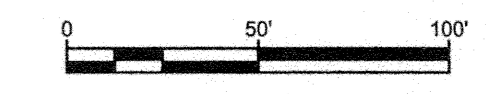
Site Location: USGS Quad: Mars

- Legend:
- LIMITS OF DISTURBANCE (94 AC.)
 - NPDES PERMIT BOUNDARY (117 AC.)
 - SOILS BOUNDARY

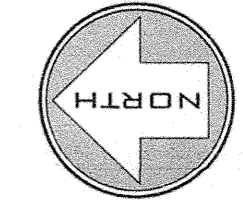
PLAN BOOK	PAGE
393	11

General Notes:

- Private storm sewers and swales shall be maintained by the Home Owner Association.



Drawing Scale:
1" = 50'



Waterfront Corporate Park III, Suite 101
2000 Georgetown Drive
Sewersley, PA 15115

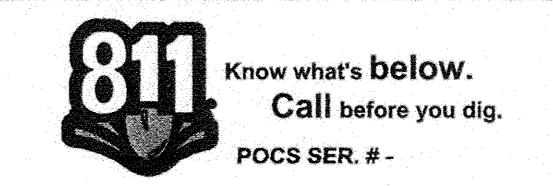
P: 724-444-1100
F: 724-441-1104
www.pve-fc.com



Civil Engineering | Land Development | Structure Design
Land Planning | Landscape Architecture | Environmental

Prepared For:
Pikewood Land Partners, LLC
2543 Washington Road
Pittsburgh, PA 15241

The plan has been prepared solely for the benefit of the person(s) named above and for the project noted on this drawing. The use of this plan for any other party, or for any other purpose other than specified, is prohibited without written consent from PVE Staff/LLC, L.L.C.



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

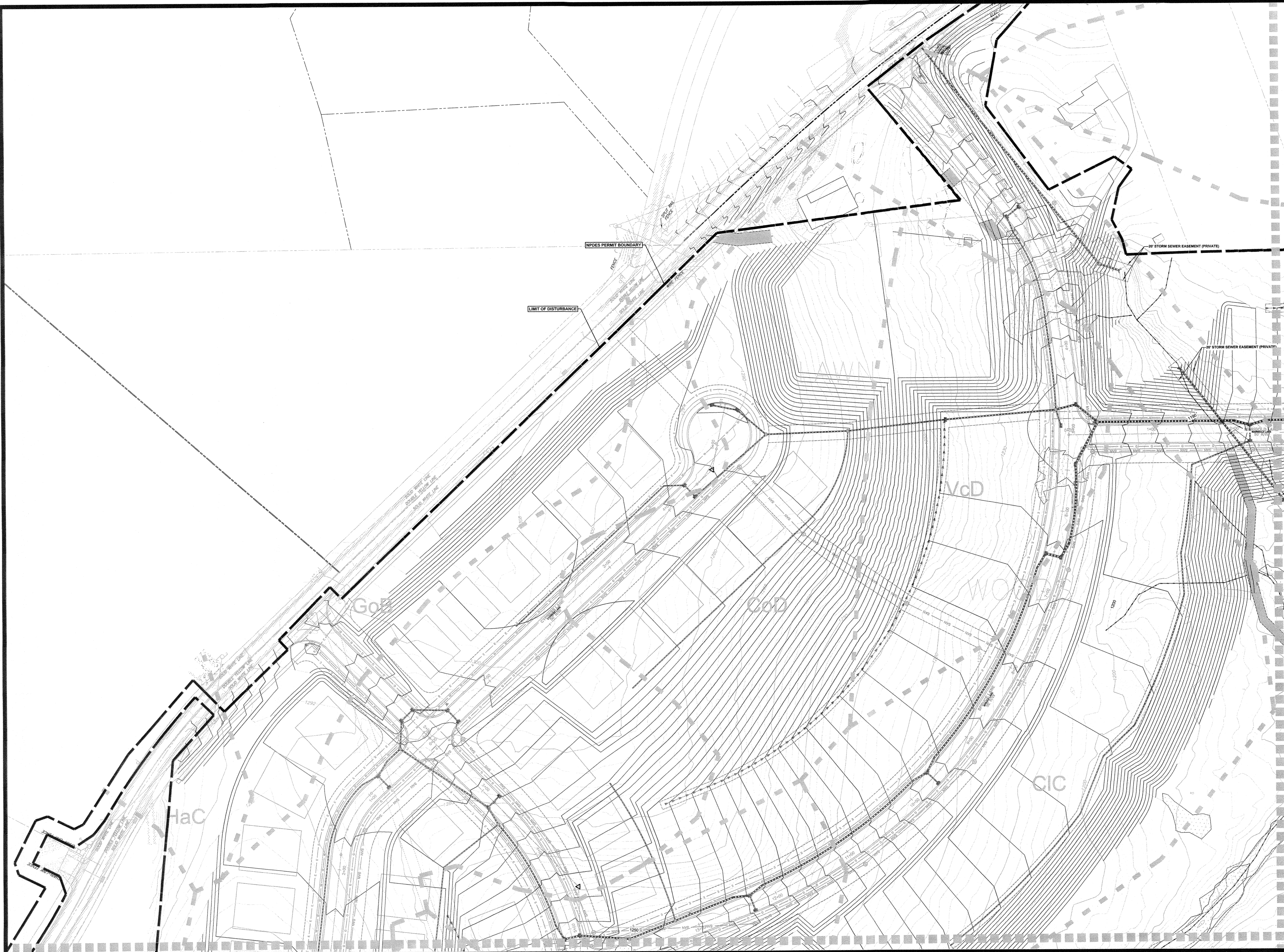
DATE ISSUED: OCTOBER 3, 2017	
PLAN REVISIONS	
DATE	DESCRIPTION
7 06-07-2019	ADDRESSED TOWNSHIP REVIEW COMMENTS
8 11-21-2019	ADDRESSED AS-PER RESOLUTION COMMENTS
9 12-04-2019	ADJUSTED SWM BASIN OUTFALL LOCATIONS
10 12-13-2019	REV ROAD PROFILE PVI LABELS
11 03-03-2020	ADDRESSED AS-PER RESOLUTION COMMENTS
12 03-10-2020	AS-PER APPROVAL ISSUED
13 04-24-2020	REVISED SAN MH 1-1
14 05-21-2020	RELOCATED LATERALS TO SIPPET PROPERTY
15 06-19-2020	REVISED SAN MH 2-3 & FILL SLOPE
16 08-17-2020	REV WL & FM ALIGNMENT ALONG IVY LN
17 09-08-2020	ADDED PHASE 3 TO DEVELOPMENT
18 10-09-2020	ADDRESSED TWP REVIEW COMMENTS

Situate In:
Cranberry Township, Butler County, Pennsylvania

Project Name:
LAUREL POINTE

Drawing Name:
POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

Project No: **161175** Drawing No: **C-1101**



Site Location: USGS Quad: Mars

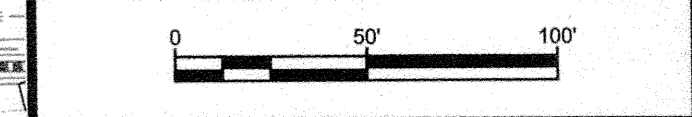
Legend:

--- (thick dashed line)	LIMITS OF DISTURBANCE (84 AC.)
— (solid line)	NPDES PERMIT BOUNDARY (117 AC.)
... (dotted line)	SOILS BOUNDARY

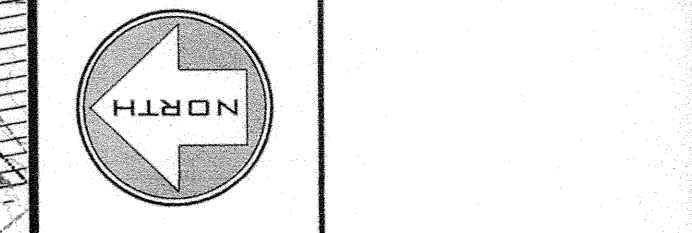
PLAN BOOK	PAGE
393	12

General Notes:

- Private storm sewers and swales shall be maintained by the Home Owner Association.



Drawing Scale: 1" = 50'

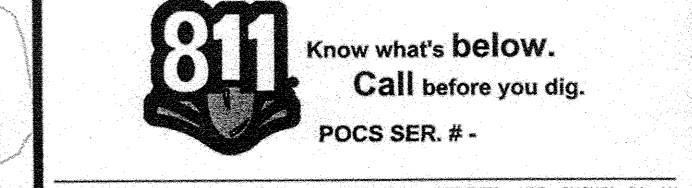


Waterford Corporate Park III, Suite 101
2000 Georgetowne Drive
Seawick, PA 15143
P: 724-444-1100
F: 724-444-1104
www.pve-llc.com



Prepared For:
Pikewood Land Partners, LLC
2543 Washington Road
Pittsburgh, PA 15241

This plan has been prepared solely for the benefit of the person(s) named above and for the project noted on this drawing. The use of this plan by any third party, or for any other purpose than specified, is prohibited without written consent from PVE Seawick, LLC.



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

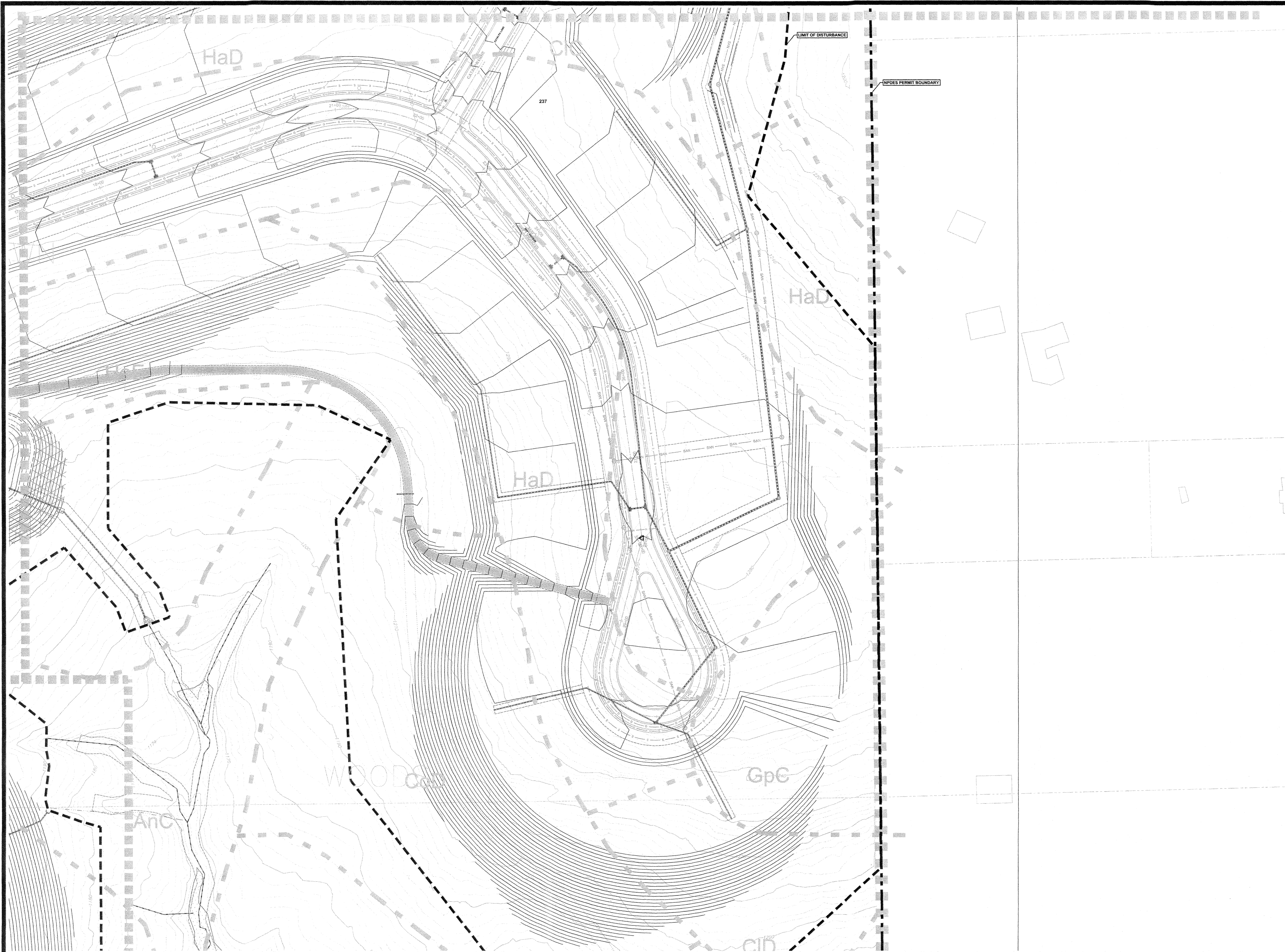
DATE ISSUED:	OCTOBER 3, 2017
PLAN REVISIONS	
DATE	DESCRIPTION
06-07-2019	ADDRESSED TOWNSHIP REVIEW COMMENTS
11-21-2019	ADDRESSED AS-PER RESOLUTION COMMENTS
12-04-2019	ADJUSTED SWIM BASIN OUTFALL LOCATIONS
12-13-2019	REV ROAD PROFILE PVI LABELS
03-03-2020	ADDRESSED AS-PER RESOLUTION COMMENTS
03-10-2020	AS-PER APPROVAL ISSUED
04-14-2020	REVISED SAN MH 1-1
05-21-2020	RELOCATED LATERALS TO SHIPPL PROPERTY
06-19-2020	REVISED SAN MH 2-3 & FILL SLOPE
08-17-2020	REV WL & FM ALIGNMENT ALONG IVY LN
09-08-2020	ADDED PHASE 3 TO DEVELOPMENT
10-09-2020	ADDRESSED TWP REVIEW COMMENTS

Situate In:
Cranberry Township, Butler County, Pennsylvania

Project Name:
LAUREL POINTE

Drawing Name:
**POST CONSTRUCTION STORMWATER
MANAGEMENT PLAN**

Project No: **161175** Drawing No: **C-1102**



Site Location: USGS Quad: Mars

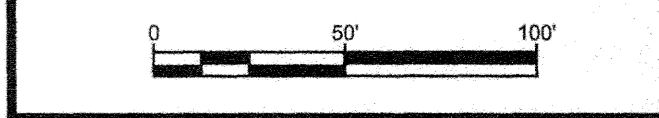
Legend:

	LIMITS OF DISTURBANCE (84 AC.)
	NPDES PERMIT BOUNDARY (117 AC.)
	SOILS BOUNDARY

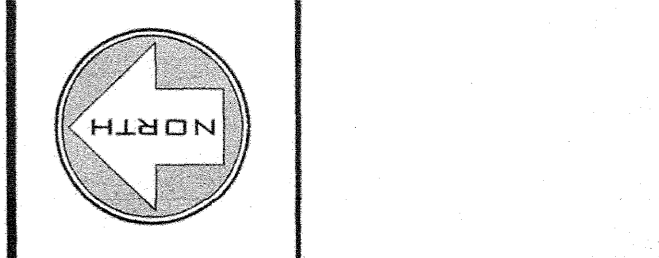
PLAN BOOK	PAGE
393	13

General Notes:

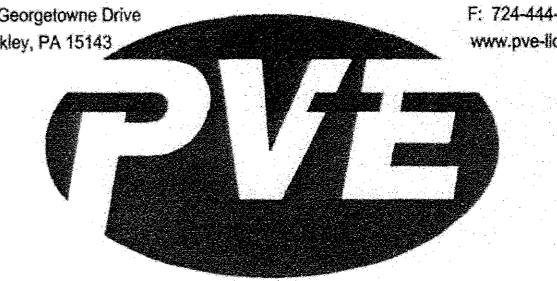
- Private storm sewers and swales shall be maintained by the Home Owner Association.



Drawing Scale:
1" = 50'



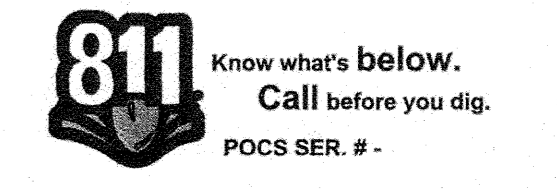
Waterfront Corporate Park III, Suite 101
2000 Georgetowne Drive
Sewickley, PA 15143
P: 724-444-1100
F: 724-444-1104
www.pve-llc.com



Civil Engineering | Land Development | Structure Design
Land Planning | Landscape Architecture | Environmental

Prepared For:
Pikewood Land Partners, LLC
2543 Washington Road
Pittsburgh, PA 15241

The plan has been prepared solely for the benefit of the person(s) named above and for the project noted on this drawing. The use of this plan by any third party, or for any other purpose other than specified, is prohibited without written consent from PVE Sewickley, LLC.



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DATE ISSUED: OCTOBER 3, 2017

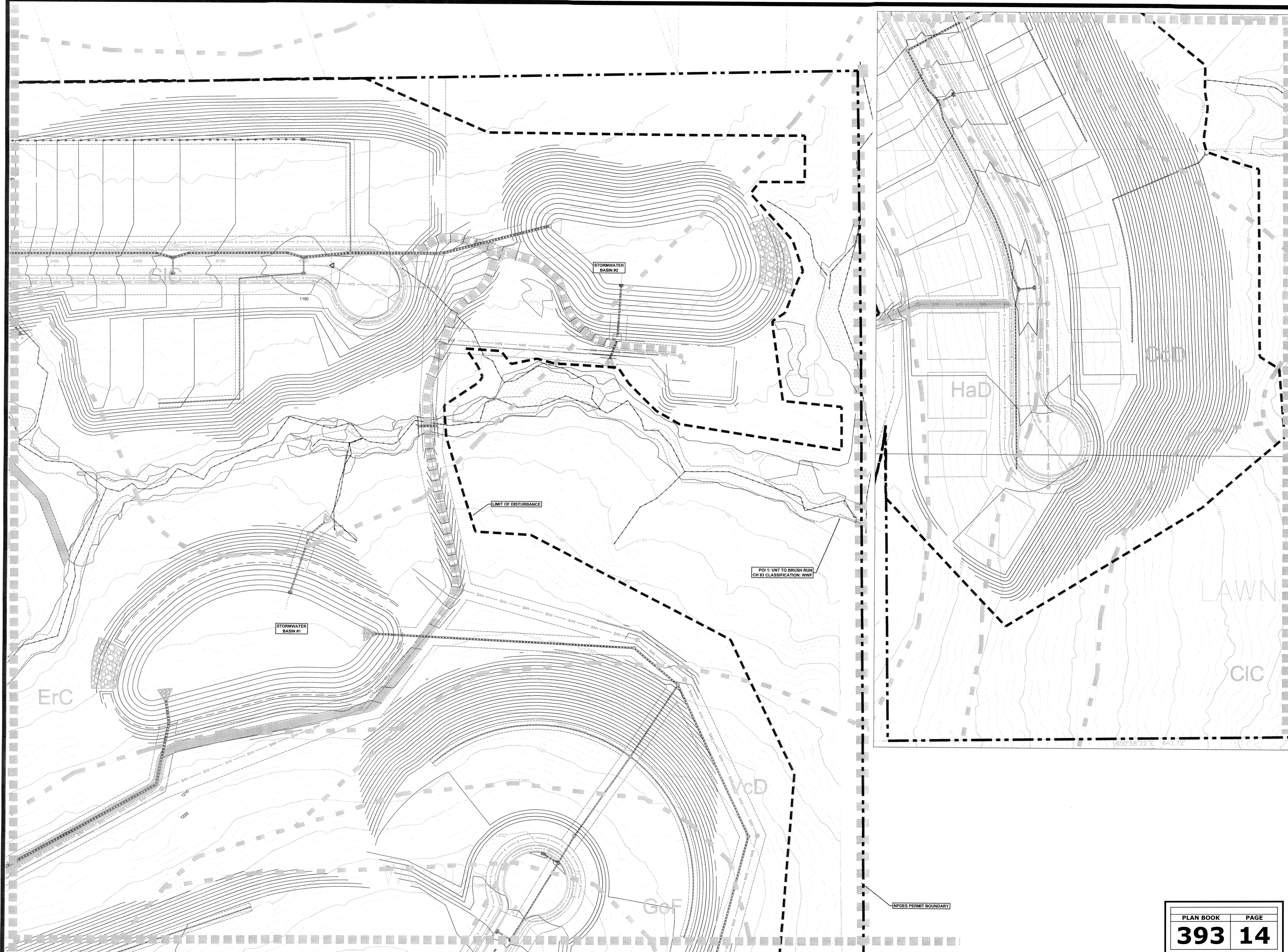
PLAN REVISIONS	
DATE	DESCRIPTION
06-07-2019	ADDRESSED TOWNSHIP REVIEW COMMENTS
11-21-2019	ADDRESSED AS-PER RESOLUTION COMMENTS
12-04-2019	ADJUSTED SWM BASIN OUTFALL LOCATIONS
12-13-2019	REV ROAD PROFILE PVI LABELS
03-03-2020	ADDRESSED AS-PER RESOLUTION COMMENTS
03-10-2020	AS-PER APPROVAL ISSUED
04-04-2020	REVISED SAN MH 1-3
05-21-2020	RELOCATED LATERALS TO SIPPET PROPERTY
06-19-2020	REVISED SAN MH 2-3 & FILL SLOPE
08-17-2020	REV WL & FM ALIGNMENT ALONG IVY LN
09-08-2020	ADDED PHASE 3 TO DEVELOPMENT
10-09-2020	ADDRESSED TWP REVIEW COMMENTS

Situate In:
Cranberry Township, Butler County, Pennsylvania

Project Name:
LAUREL POINTE

Drawing Name:
**POST CONSTRUCTION STORMWATER
MANAGEMENT PLAN**

Project No: **161175** Drawing No: **C-1103**

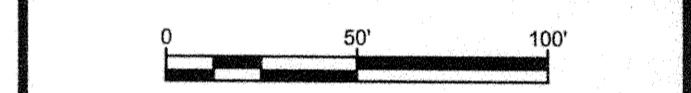


Site Location: USGS Quad: Mars

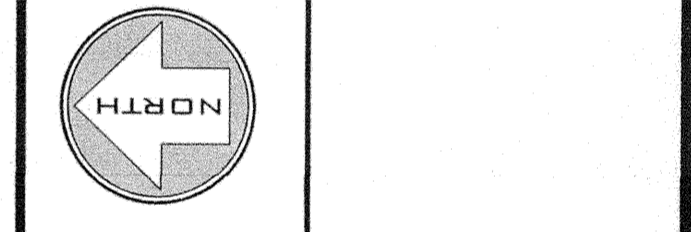
- Legend:**
- LIMITS OF DISTURBANCE (94 AC.)
 - NPDES PERMIT BOUNDARY (117 AC.)
 - SOILS BOUNDARY

General Notes:

- Private storm sewers and swales shall be maintained by the Home Owner Association.



Drawing Scale:
1" = 50'



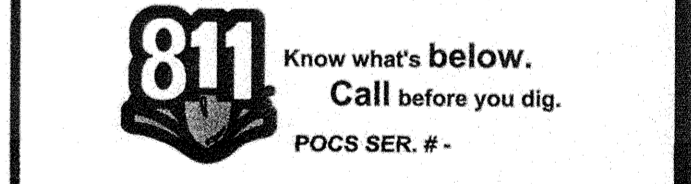
Waterfront Corporate Park III, Suite 101
2000 Georgetown Drive
Sewickley, PA 15141



Civil Engineering | Land Development | Structure Design
Land Planning | Landscape Architecture | Environmental

Prepared For:
Pikewood Land Partners, LLC
2543 Washington Road
Pittsburgh, PA 15241

The plan has been prepared solely for the benefit of the person(s) named above and for the project noted on this drawing. The use of this plan for any third party, or for any other purpose other than specified, is prohibited without written consent from PVE Staff, LLC.



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DATE ISSUED: OCTOBER 3, 2017

PLAN REVISIONS	
DATE	DESCRIPTION
06-07-2019	ADDRESSED TOWNSHIP REVIEW COMMENTS
11-21-2019	ADDRESSED AS-PER RESOLUTION COMMENTS
12-04-2019	ADJUSTED SWM BASIN OUTFALL LOCATIONS
12-13-2019	REV ROAD PROFILE PVI LABELS
03-03-2020	ADDRESSED AS-PER RESOLUTION COMMENTS
03-10-2020	AS-PER APPROVAL ISSUED
04-24-2020	REVISED SAN MH 1-1
05-21-2020	RELOCATED LATERALS TO SIPPET PROPERTY
06-19-2020	REVISED SAN MH 2-3 & FILL SLOPE
06-17-2020	REV W/L & FM ALIGNMENT ALONG PVI LN
09-08-2020	ADDED PHASE 3 TO DEVELOPMENT
10-09-2020	ADDRESSED TWP REVIEW COMMENTS

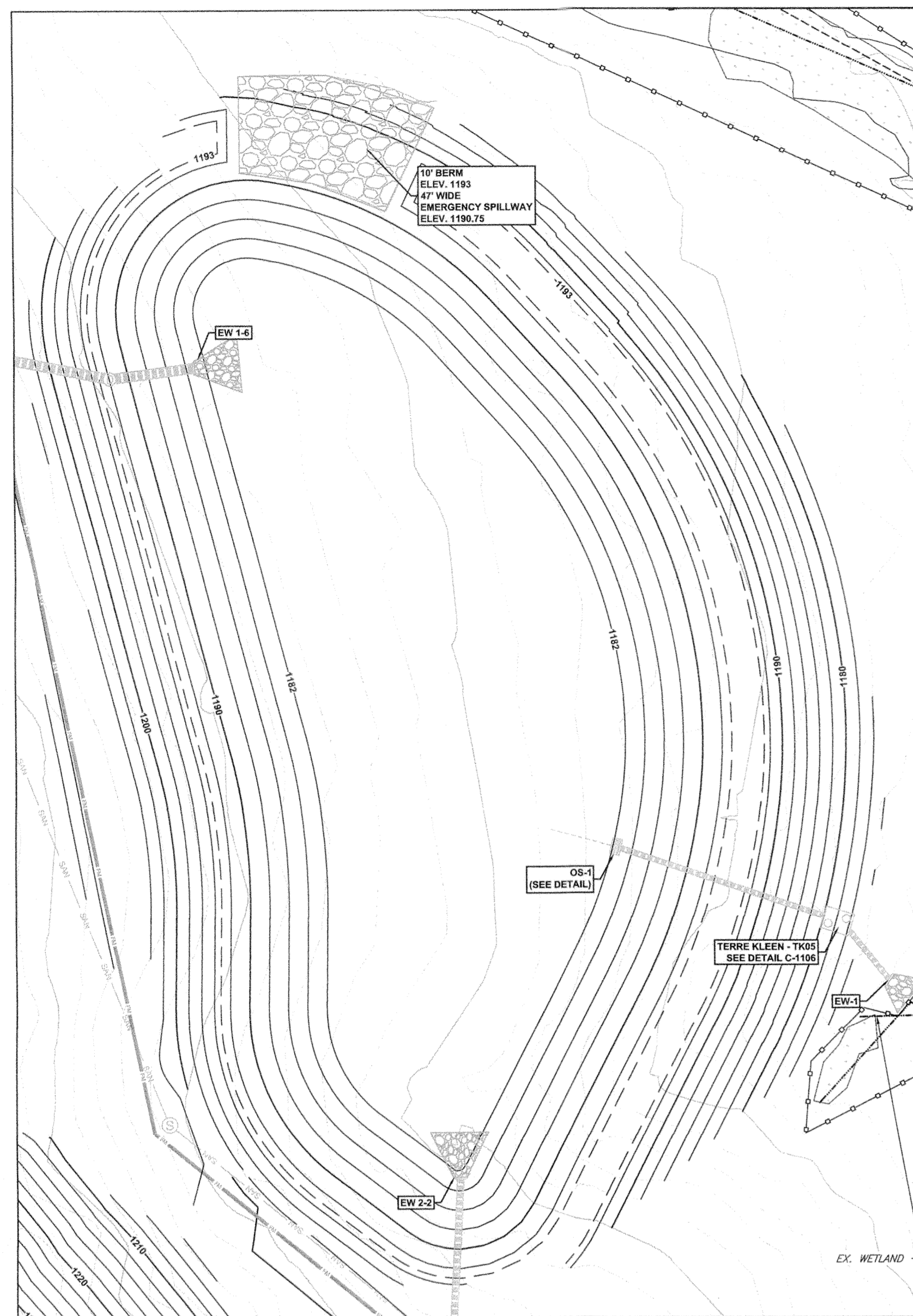
Situate In:
Cranberry Township, Butler County, Pennsylvania

Project Name:
LAUREL POINTE

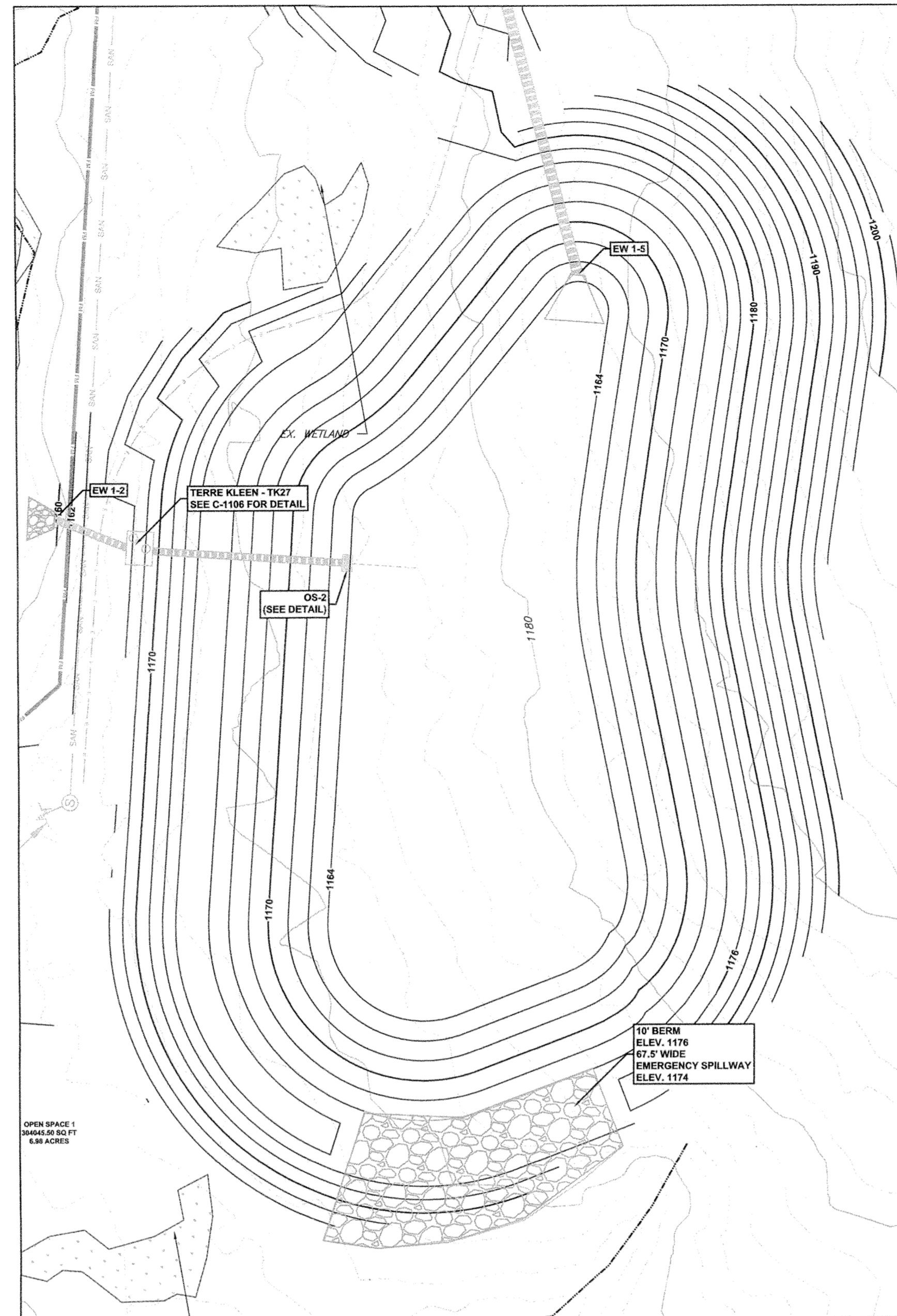
Drawing Name:
POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

Project No: **161175** Drawing No: **C-1104**

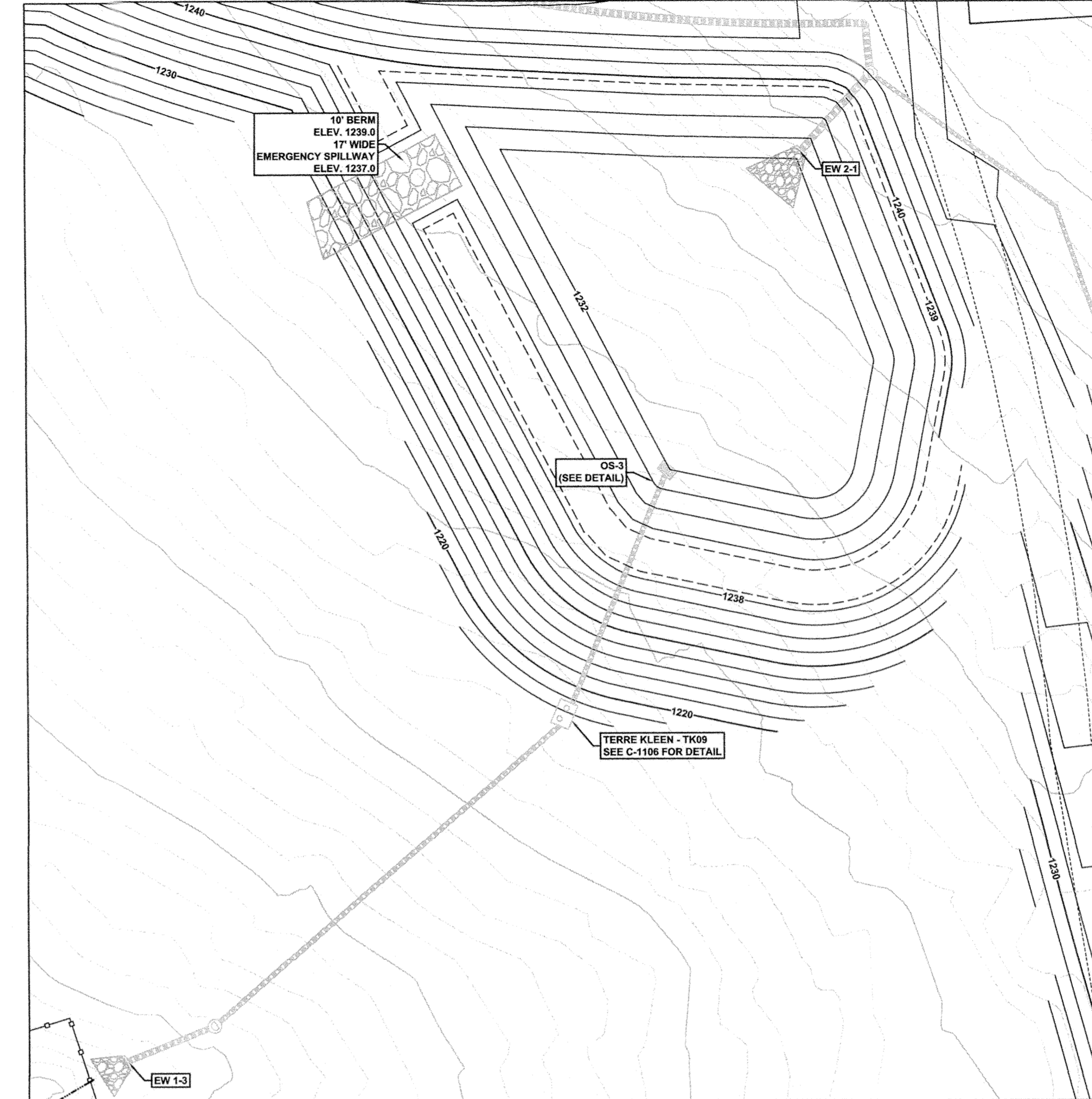
PLAN BOOK	PAGE
393	14



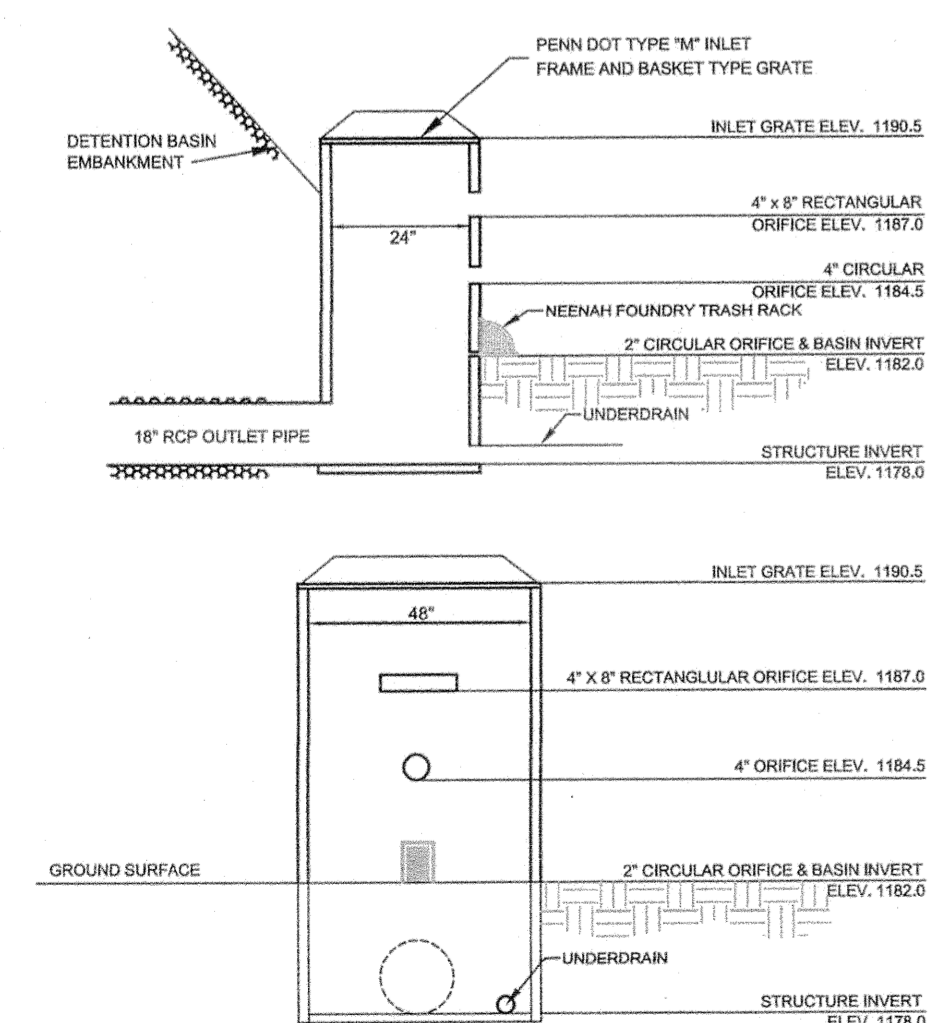
SWM FACILITY 1
SCALE: 1"=30'



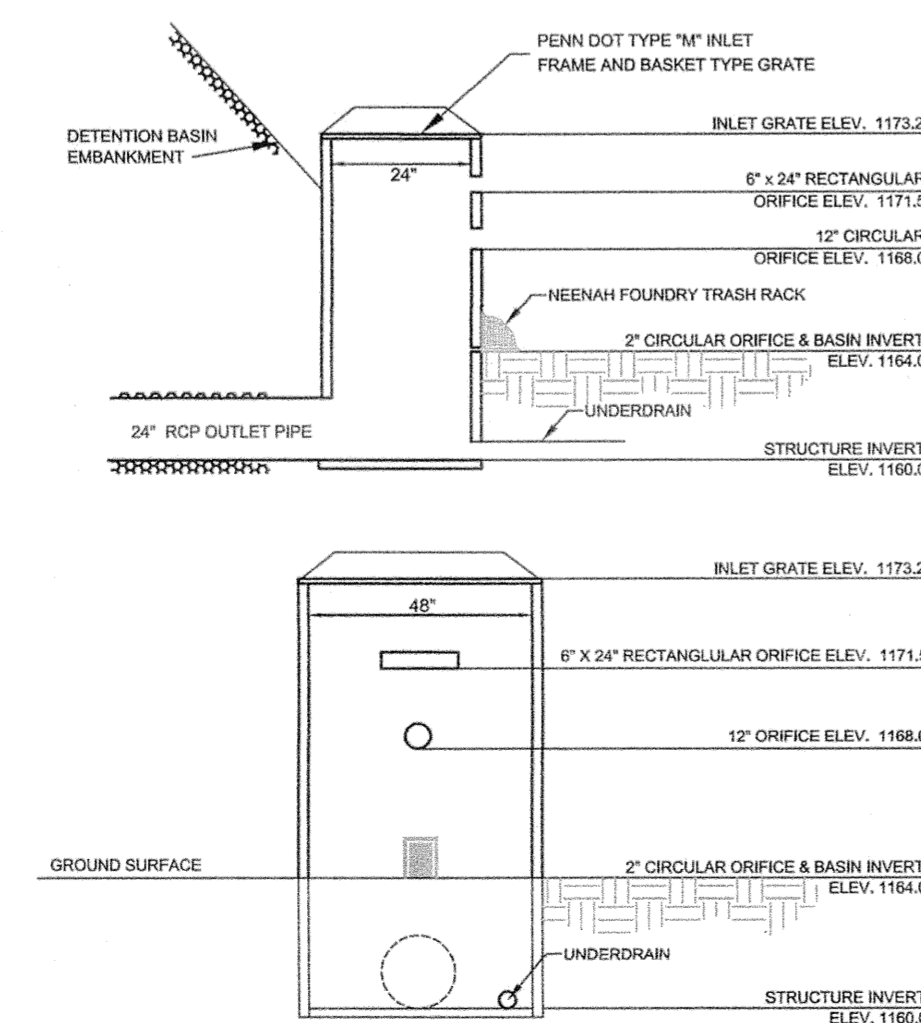
SWM FACILITY 2
SCALE: 1"=30'



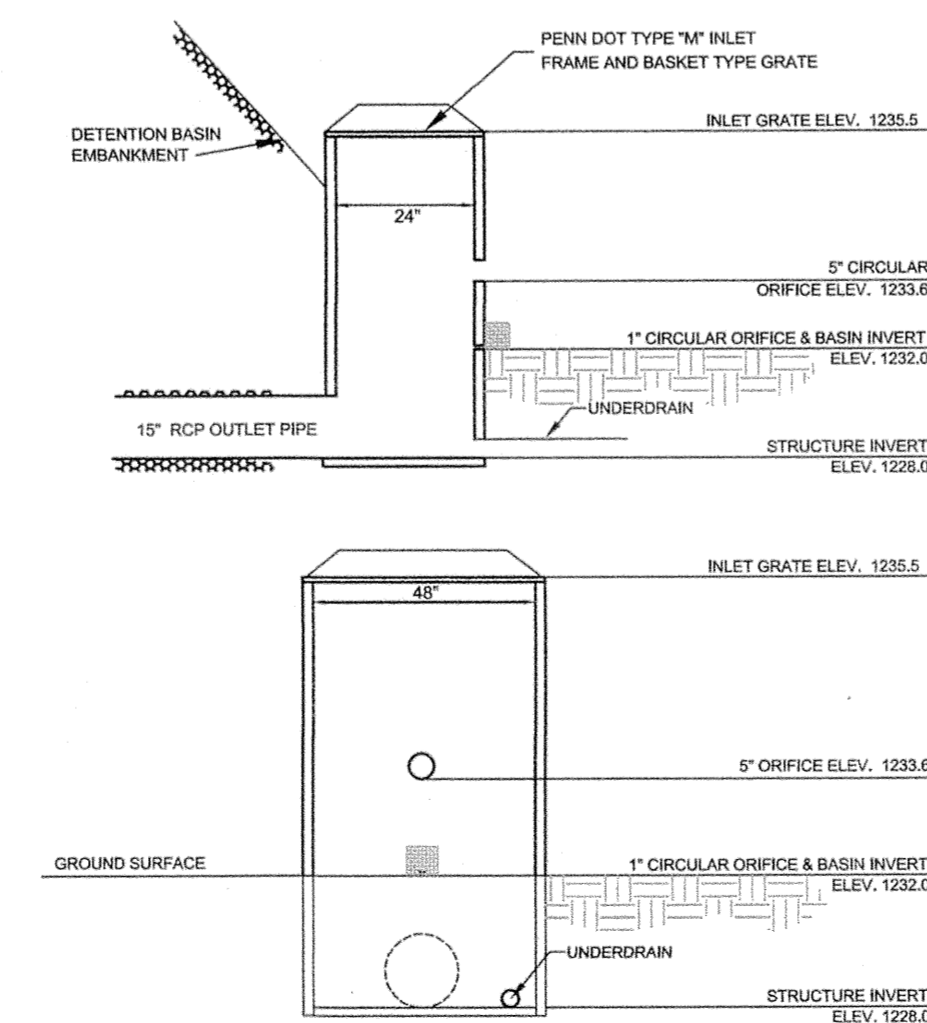
SWM FACILITY 3
SCALE: 1"=30'



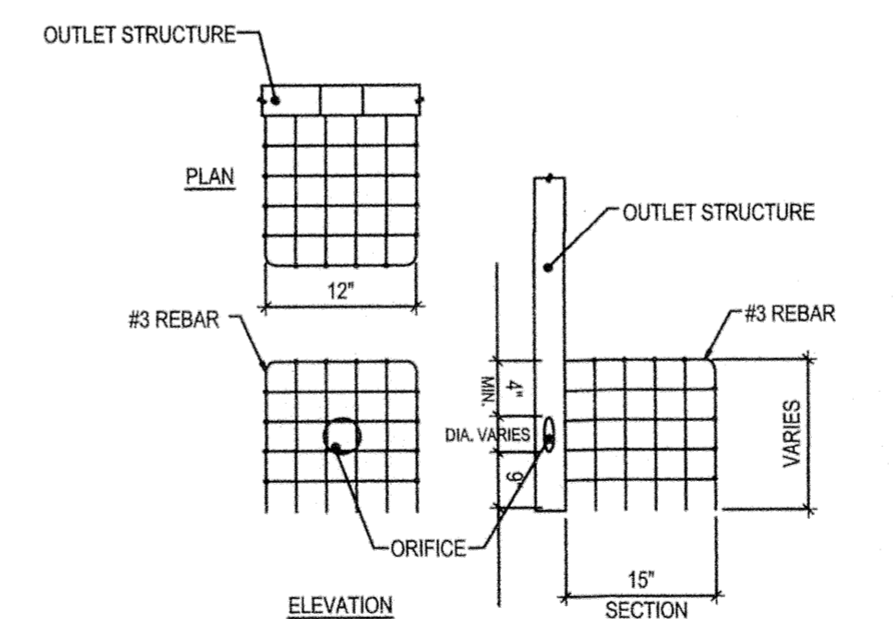
PROPOSED BASIN 1
DETENTION FACILITY OUTLET CONTROL STRUCTURE
Not to Scale



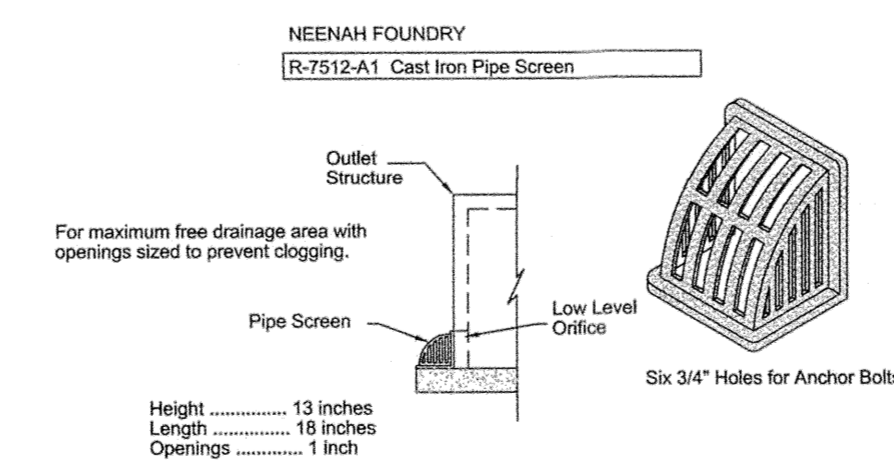
PROPOSED BASIN 2
DETENTION FACILITY OUTLET CONTROL STRUCTURE
Not to Scale



PROPOSED BASIN 3
DETENTION FACILITY OUTLET CONTROL STRUCTURE
Not to Scale



LOW FLOW ORIFICE TRASH RACK
NOT TO SCALE



TRASH RACK DETAIL
Not to Scale

SEQUENCE OF CONSTRUCTION FOR DRY EXTENDED DETENTION STORMWATER AREAS

1. Install all temporary erosion and sedimentation controls.
2. Basins are not to be converted until all upstream contributing areas are stabilized or controlled with on lot controls. Areas will not be considered stabilized until a uniform 70% perennial vegetative cover is established over all disturbed areas.
3. All steps of basin installation and conversion are critical stages. A professional engineer or representative is to be present for all stages of conversion.
4. Prepare site for excavation and/or embankment construction.
 - 4.1. All existing vegetation should remain if feasible and should only be removed if necessary for construction.
 - 4.2. Care should be taken to prevent compaction of the basin bottom.
 - 4.3. If excavation is require, clear the area to be excavated of all vegetation. Remove all tree roots, rocks, and boulders only in excavation area
 - 4.4. Excavate bottom of basin to desired elevation (if necessary).
5. Install surrounding embankments and inlet and outlet control structures, as well as all underdrains.
6. At the time of installation of the outlet pipe, the Terre Kleen structure is to be installed.
7. Install emergency spillway at location shown on plans.
8. Grade subsoil in bottom of basin, taking care to prevent compaction. Compact surrounding embankment areas and around inlet and outlet structure.
9. Apply and grade planting soil.
10. Apply geo-textile and other erosion-control measures.
11. Seed, plant and mulch according to Planting Plan.
12. Install any anti-grazing measure, if necessary.

TERRE KLEEN INSTALLATION SPECIFICATIONS

1. Installation of the Terre Kleen structure is a critical stage of construction. Professional engineer or representative is to be present during all stages of installation.
2. Terre Kleen inclined plate assembly shall arrive at the job site fully assembled inside precast concrete structure. Precast structure may arrive in sections due to weight and transportation issues. Each precast structure shall contain lifting points with Uni-lifts, manufacturer shall provide lifting equipment required between the uni-lift and the lifting straps / crane hook, which shall be the property of manufacturer. Contractor shall provide equipment with sufficient lifting capacity to unload and set the Terre Kleen.
3. Contractor shall excavate, dewater and shore in accordance with project specifications, as provided by Engineer and OSHA regulations.
4. Sub-grade shall be established as shown on the Drawings. Underlying soil and sub-grade material shall have design loadings of no less than 2000 PSF. Precast components shall be placed on the compacted base (95% Proctor Density), elevation confirmed, level and aligned to ensure that the entire unit will be properly positioned when fully installed.
5. Contractor shall place "CONSEAL" or equivalent water tight mastic material between each precast component.
6. Precast structure containing the Terre Kleen component shall be aligned horizontally and vertically plumb. Contractor must confirm that the entire Terre Kleen shall be level during and after completion of backfill of the structure.
7. Manhole frame/cover and inlets frame/grate, if required shall be installed as shown on the drawings and grade adjusted to match final grade elevations by Contractor.
8. Connect and seal storm drain inlet and outlet pipes to Terre Kleen unit using non-shrink grout-fill material in accordance with project specifications.
9. BACKFILL SPECIFICATIONS: It is recommended that the stone sub-base be extended a minimum of one foot (1 ft) beyond the exterior face of the precast and compacted to 95% Proctor Density to sub-grade. Upon completion of the precast installation the backfill material shall be placed and compacted achieving a minimum compaction of 90% Proctor Density, or as specified by the Engineer, when tested by ASTM A1557, if approved by the Engineer. In areas of vehicular use, the upper two feet (2 ft) of backfill shall be aggregate base, compacted to 95% Proctor Density (ASTM A1557).
10. Contractor shall remove all foreign material and debris, including all sediment, oils, grease and construction materials and debris from the inlet pipe, outlet pipe and Terre Kleen upon completion of installation.

*At the time and place of installation of any Terre Kleen the manufacturer, Terre Hill Concrete Products, will provide a Product Liaison on site to offer technical assistance to the installation contractor to assure proper installation of the Terre Kleen in accordance with the signed, approved plans.

I, _____, hereby certify that the Stormwater Management Plan meets all design standards and criteria of the Cranberry Township Stormwater Management Ordinance.

Preparer

I, _____, have reviewed this Stormwater Management Plan in accordance with the Design Standards and Criteria of the Cranberry Township Stormwater Management Ordinance.

Reviewer

I, _____, owner of the land shown on this plan acknowledge that the stormwater BMPs are fixtures that cannot be altered or removed without prior approval by the Township.

Landowner

General Notes:

- It shall be unlawful to alter or remove any permanent stormwater BMP required by an approved SWM site plan or to allow the property to remain in a condition that does not conform to an approved SWM site plan, unless the Township grants an exception in writing.
- The owner is responsible for operation and maintenance of the stormwater BMPs. If the owner fails to adhere to the operation and maintenance (O&M) agreement, the Township may perform the services required and charge the owner appropriate fees. Nonpayment of fees may result in a lien against the property. A note shall be placed on the recorded plan: "As per the approved stormwater management plan, the Township shall have right of access to the on-site detention facility for the right of maintenance, monitoring, and/or sampling, in the event the owner, assigns or heirs do not adequately maintain or monitor the facility. The owner, assigns or heirs shall reimburse the Township for all costs associated with said maintenance. The aforementioned rights granted to the Township in no way diminish the responsibility of the owner, assigns or heirs of said maintenance and monitoring, and no liability will be assumed by the Township associated with required access for maintenance or monitoring purposes."
- No person shall modify, remove, fill, landscape, or alter any existing stormwater BMP, facilities, areas, or structures, unless it is part of an approved maintenance program, without the written approval of the Township.
- Municipal Liability Disclaimer: Approval of a stormwater management plan by the Township shall not be construed as an indication that said plan complies with the requirements, laws, or standards of any agency of the commonwealth which may or may not govern said activity.
- At the completion of the project and as a prerequisite for the release of the financial guarantee, the applicant shall provide a certification of completion from an engineer, architect, surveyor or other qualified person verifying that all permanent facilities have been constructed according to the SWM site plan and report and approved revisions thereto.

PLAN BOOK	PAGE
393	15

General Notes:

- Private storm sewers and swales shall be maintained by the Home Owner Association.

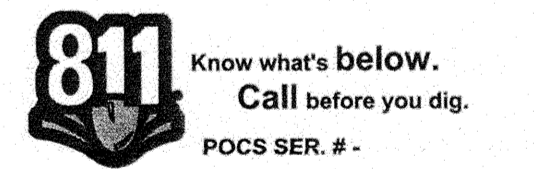
Waterford Corporate Park III, Suite 101 P: 724-444-1100
2000 Georgetown Drive F: 724-444-1104
Sewickley, PA 15143 www.pve-llc.com



Civil Engineering | Land Development | Structure Design
Land Planning | Landscape Architecture | Environmental

Prepared For:
Pikewood Land Partners, LLC
2543 Washington Road
Pittsburgh, PA 15241

This plan has been prepared solely for the benefit of the person(s) named above and for the project noted on the drawings. The use of this plan for any other party or for any other purpose other than specified is prohibited without written consent from PVE Shaffer, L.L.C.



Know what's below.
Call before you dig.
POCS SER. # -

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DATE ISSUED:	OCTOBER 3, 2017
PLAN REVISIONS	
DATE	DESCRIPTION
7 06-07-2019	ADDRESSED TOWNSHIP REVIEW COMMENTS
8 11-21-2019	ADDRESSED AS-PER RESOLUTION COMMENTS
9 12-04-2019	ADJUSTED SWM BASIN OUTFALL LOCATIONS
10 12-13-2019	REV. ROAD PROFILE EPI/LABELS
11 03-03-2020	ADDRESSED AS-PER RESOLUTION COMMENTS
12 03-10-2020	AS-PER APPROVAL ISSUED
13 04-24-2020	REVISED SAN MH 1-1
14 05-21-2020	RELOCATED LATERALS TO SIMPLY PROPERTY
15 06-19-2020	REVISED SAN MH 2-3 & FILL SLOPE
16 08-17-2020	REV. WL & FM ALIGNMENT ALONG IVY LN
17 09-08-2020	ADDED PHASE 3 TO DEVELOPMENT
18 10-09-2020	ADDRESSED TWP REVIEW COMMENTS

Situate In:
Cranberry Township, Butler County, Pennsylvania

Project Name:
LAUREL POINTE

Drawing Name:
POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS

Project No:
161175

Drawing No:
C-1105

Construction Sequence

- Phase I**
- Field mark limits of disturbance as shown on the plan.
 - Install orange construction fence around perimeter of the wetlands to be protected as shown on the plan.
 - Install Rock Construction Entrance #1 and Rock Construction Entrance #2 at location shown on the plan.
 - Install access/haul roads as necessary at locations shown on the plan to access site areas to BMP installation.
 - Clear and grub the necessary area to install the following items in order:
 - Compost Filter Sock #9
 - Bypass culvert (Bypass HW-1 - Bypass EW-3) utilizing coffer dams as necessary to redirect stream flow. See the Temporary Cofferd Dam & Stream Channel By-Pass Pump Installation Sequence.
 - Fill over bypass pipe to approximately elevation 1195 to ensure positive drainage to Sediment Basin #2 after the installation of IC-3.
 - Compost Filter Socks #1, 2, 10, 12, 13, 14, 15 (along existing berm)
 - 30" Silt Fence along Northern Perimeter
 - Sediment Basin #2 (per sequence provided below, including the installation of the downstream Terre Kleen hydrodynamic separator per the manufacturer's standards and specifications)
 - Utilize existing access road at Rock Construction Entrance #1 to access rear of site, near Sediment Basin #1.
 - Compost Filter Sock #3
 - Sediment Basin #1 (per sequence provided below, including the installation of the downstream Terre Kleen hydrodynamic separator per the manufacturer's standards and specifications)
 - Interceptor Channel 1 (IC-1)
 - All Rock Filters shown within Phase I Limits
 - Compost Filter Socks #4, 5
 - Sediment Basin #3 (per sequence provided below, including the installation of the downstream Terre Kleen hydrodynamic separator per the manufacturer's standards and specifications)
 - Interceptor Channel 4 (IC-4)
6. As necessary for site improvement, install the remaining culvert (DW 1-1 - EW 1-4) as grading commences utilizing coffer dams as necessary to redirect stream flow. See the Temporary Cofferd Dam and Stream Channel By-Pass Pump Installation Sequence. As soon as culvert install is complete, install CFS #12 along the access road to protect the stream from upstream sediment laden water. Install broad based dip and CS Trap #5 at the location shown on plans to direct any channelized flow from the proposed access road away from the stream.
- 7. Work may begin in Phase II before proceeding to next step.**
8. Clear and grub remaining areas as shown within the Phase I limits.
9. Strip topsoil and place at the topsoil stockpiles, ensuring Compost Filter Sock #11 (CFS-11) is placed at the location shown on the plan.
10. Begin grading operations as shown on the plans and details.
 - Any accumulated water shall be removed from the area by pumping through a waterbag.
 - Any areas where activity will cease for 4 days or longer shall be temporarily stabilized. Fill should be placed in a manner that will direct runoff away from the slopes of the proposed fill.
 - Fill should be adjusted at the end of each workday to direct runoff away from the slopes of the proposed fill. Fill should be adjusted at the end of each workday to direct runoff away from the face of the slopes and stabilized with seed and mulch and erosion control blankets on all slopes greater than 3H:1V.
 - As fill slopes are placed, top of slope berm and temporary slope pipes are to be used to direct all flows from construction toward the sediment basin. If channels are disturbed at any time during construction, they must be replaced to have positive drainage at the end of each work day.
 - Once the permanent storm system is installed, channels may no longer be necessary and can be removed.
11. All disturbed areas are to be stabilized immediately upon reaching final grade. No more than 15,000 L.F. of disturbed area should reach final grade before initiating seeding and mulching operations. If activity stops in any area for more than 4 days, it is to be temporarily stabilized. All fill slopes steeper than 3H:1V are to be seeded and mulched in 15-foot vertical increments.
12. As fill is constructed on southeastern cut-de-sac (Margold Lane), ensure positive drainage to Sediment Basin #2 through IC-3 as grading allows the channel to remain active during all fill operations south of the Bypass Culvert. During fill operations south of the Bypass Culvert, use the channel crossing shown on the plans to allow drainage to the basin at the end of each workday. As grading allows, north of the Bypass Culvert, top of slope berms may be used to direct all flows toward Sediment Basin #2. As storm lines are isolated, water may be directed into conveyance system, ensuring all site water is directed into Sediment Basin #2.
13. Construct the site improvements within Phase I as shown on the plan, including the construction of the roads, proposed homes, and site utilities.
14. As needed, install offsite waterline (northwest) and sanitary connections per specified sequence on Sheet C-913. For waterline connection to the northwest, install waterbars as shown, per details on Sheet C-915.
15. Stabilize all disturbed areas by seeding or mulching or by installing the subbase material in the public roads.

Phase II

- Install Rock Construction Entrance #3 and #4 at the locations shown on the plan.
- Clear and grub the necessary area and install the following items:
 - Compost Filter Sock #6
 - Compost Filter Sock Trap #1
 - Interceptor Channel 2 (IC-2)
 - Compost Filter Sock #7
 - Compost Filter Sock #8
 - Compost Filter Sock Traps #2, 3, 4, 6, 7, 8, 9, and 10
- Clear and grub the remaining area within the Phase II Limits
- Strip topsoil and place at the topsoil stockpiles, ensuring Compost Filter Sock #11 (CFS-11) is placed at the location shown on the plan.
- Begin grading operations as shown on the plans and details.
 - Any accumulated water shall be removed from the area by pumping through a waterbag.
 - Any areas where activity will cease for 4 days or longer shall be temporarily stabilized. Fill should be placed in a manner that will direct runoff away from the slopes of the proposed fill.
 - Fill should be adjusted at the end of each workday to direct runoff away from the slopes of the proposed fill. Fill should be adjusted at the end of each workday to direct runoff away from the face of the slopes and stabilized with seed and mulch and erosion control blankets on all slopes greater than 3H:1V.
 - As fill slopes are placed, top of slope berm and temporary slope pipes are to be used to direct all flows from construction toward the sediment basin. If channels are disturbed at any time during construction, they must be replaced to have positive drainage at the end of each work day.
 - Once the permanent storm system is installed, channels may no longer be necessary and can be removed.
- All disturbed areas are to be stabilized immediately upon reaching final grade. No more than 15,000 L.F. of disturbed area should reach final grade before initiating seeding and mulching operations. If activity stops in any area for more than 4 days, it is to be temporarily stabilized. All fill slopes steeper than 3H:1V are to be seeded and mulched in 15-foot vertical increments.
- Construct the site improvements within Phase II as shown on the plan, including the construction of the roads, proposed homes, and site utilities.
- As infrastructure is constructed, redirect water into catch basins.
- Stabilize all disturbed areas by seeding or mulching or by installing the subbase material in the public roads.
- As permitting and construction allows, install waterline along Franklin Road to northeast. Follow the specified sequence on Sheet C-913.
- After site is stabilized, on lot controls are to be installed on all lots currently under construction or for any areas disturbed in the future. See the individual Lot E&S Control Sequence and detail.
- Once the upstream contributing areas to Sediment Basins 1-3 are stabilized (uniform 70% perennial vegetative cover over all disturbed areas), the corresponding basin can be converted to permanent stormwater management facilities. Conversion will involve dewatering the facility, removal of any accumulated sediment using relatively light, tracked equipment to avoid compaction of the basin floor, establishing final basin floor, adjusting the riser and trashrack, and installation of riprap low-flow channel or underdrains, if required.
 - Any standing water in the basin shall be removed by pumping with the pump discharge placed in a sediment bag on stabilized ground.
 - Accumulated sediment and soft material shall be removed from the basin and mixed with topsoil.
 - The temporary riser pipe and/or skimmer shall be removed, if applicable.
 - The low-flow channel shall be installed, if applicable.
 - The orifices shall be opened and the trashrack shall be installed.
- Topsoil shall be placed in the basin areas to achieve final design grades if a specific soil mixture is not required. If a soil mixture is required, deeply till the basin floor (2-3' min) with rotary tillers or disc harrows to provide a well-aerated, highly porous surface texture.
 - Install per the sequence listed on the stormwater management plan.
 - All disturbed portions of the detention area shall be seeded and mulched.
- Remove any accumulated sediment/debris from the Terre Kleen system per the manufacturer's maintenance specifications.
- Remove any temporary E&S controls after final stabilization is complete. Areas will not be considered stabilized until a uniform 70% perennial vegetative cover is established over all disturbed areas.
 -

Sediment Basin Installation Sequence

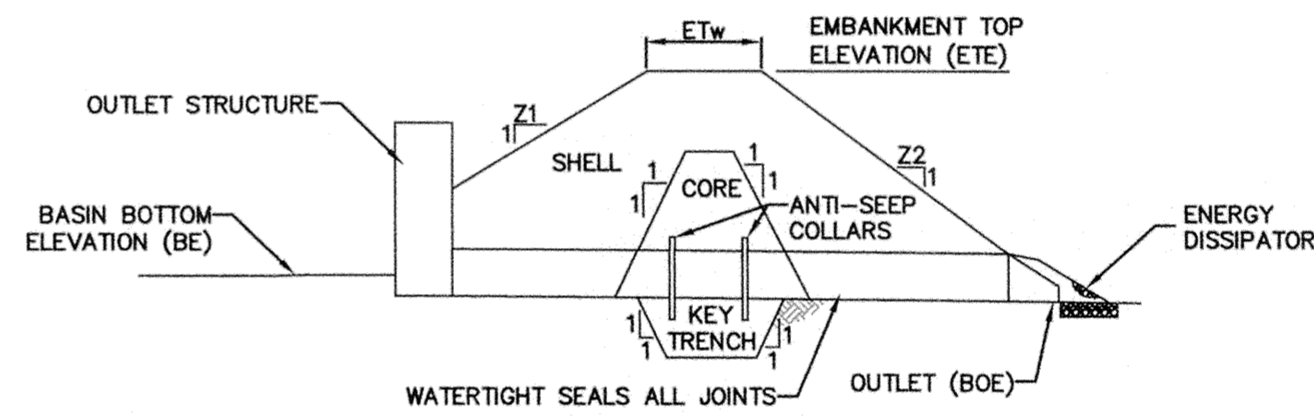
- Ensure all downstream sediment barriers are in place.
- Install overflow pipe including anti-seep collars, to surface water.
- Install principal spillway and energy dissipater, as grading allows.
- Conduct bulk earthwork to construct sediment basin.
- Install emergency spillway and lining, as specified.
- Stabilize all areas in and around the newly constructed basin, as well as any areas disturbed during the construction of the basin.

Individual On-Lot Erosion and Sediment Control

- Install rock construction entrance at each lot at the location shown on the typical detail.
- Clear and grub the area necessary to install the silt fence.
- Install the silt fence at the locations shown on the typical detail.
- Install all silt sacks inlet protection in any storm sewer inlet adjacent to the work area.
- Perform the basement excavation (if applicable) and any minor grading necessary to complete the house construction on any given lot.
- Stabilize all disturbed areas by seeding or mulching.
- Remove all temporary E&S controls after final stabilization is complete. Areas will not be considered stabilized until a uniform 70% perennial vegetative cover is established over all disturbed areas.

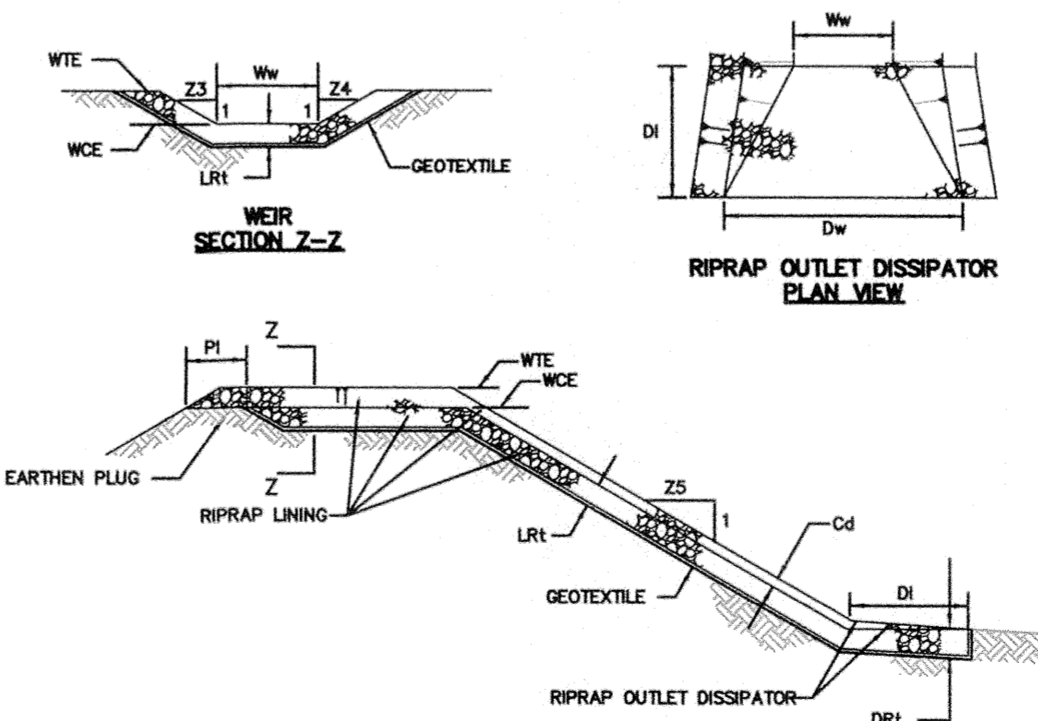
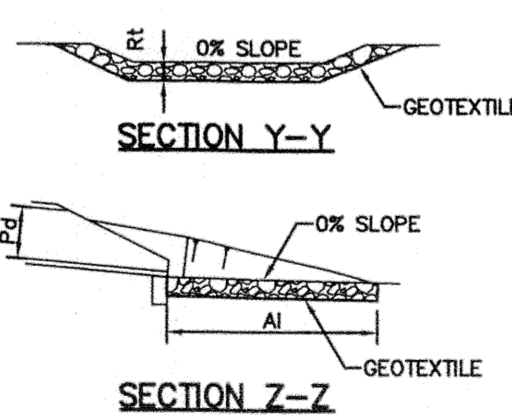
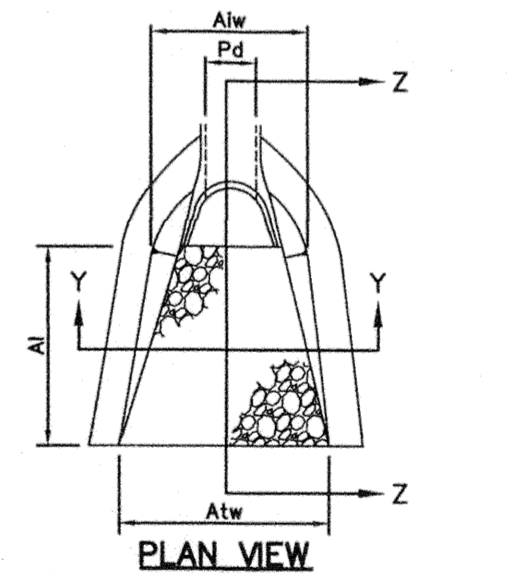
Temporary Cofferd Dam and Stream Channel By-Pass Pump Installation Sequence

- All baseload flow to be redirected through the Pump Bypass for the duration of the construction of the stream crossing.
 - Install sandbag dams above and below stream crossing.
 - Install pump system and energy dissipater (to convey base flow).
 - Install sediment barrier (b) for the excavation pool areas.
 - Install stream crossing including culvert, road, and utilities.
 - Stabilize construction areas completely.
 - Area will not be considered stabilized until a uniform 70% perennial vegetative cover, stone or pavement / zone is established over all disturbed areas.
 - Remove pump bypass including pump system, energy dissipater and sandbag dams.



BASIN NO.	Z1 (FT)	Z2 (FT)	OUTLET STRUCTURE			EMBANKMENT				BOTTOM ELEV BE (FT)
			SIZE	CREST ELEV (FT)	MAT'L	TOP ELEV ETE (FT)	TOP WIDTH ETW (FT)	KEY TRENCH DEPTH (FT)	KEY TRENCH WIDTH (FT)	
1	3	2	2'x4'	1190.5	CONCRETE	1193	10	2	4	1182
2	3	2	2'x4'	1173.2	CONCRETE	1176	10	2	4	1164
3	3	2	2'x4'	1235.5	CONCRETE	1239	10	2	4	1232

STORMWATER MANAGEMENT BASIN EMBANKMENT DETAIL
NOT TO SCALE



BASIN NO.	WEIR		TOP ELEV WTE (FT)	CREST ELEV WCE (FT)	WIDTH Ww (FT)	LINING		CHANNEL		DISSIPATOR		RIPRAP THICK. DR1 (IN)	
	Z3 (FT)	Z4 (FT)				RIPRAP THICK. DR (IN)	RIPRAP SIZE (R--)	DEPTH D1 (FT)	LENGTH D2 (FT)	WIDTH D3 (FT)	RIPRAP THICK. DR2 (IN)		
1	3	3	1193	1190.75	47	5	27	2	2	10	47	5	27
2	3	3	1176	1174	67.5	5	27	2	2	10	67.5	5	27
3	3	3	1239	1237	17	5	27	2	2	10	17	5	27

NOTES:

DIMENSION P1 SHALL BE 6" MINIMUM. DISPLACED RIPRAP WITHIN THE SPILLWAY AND/OR OUTLET CHANNEL SHALL BE REPLACED IMMEDIATELY.

STANDARD CONSTRUCTION DETAIL #7-12
SEDIMENT BASIN EMERGENCY SPILLWAY WITH RIPRAP LINING

NOT TO SCALE

NOTES:

ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS. ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

STANDARD CONSTRUCTION DETAIL #9-1
RIPRAP APRON AT PIPE OUTLET

WITH FLARED END SECTION OR ENDWALL

NOT TO SCALE

PLAN BOOK	PAGE
393	16

General Notes:

- Private storm sewers and swales shall be maintained by the Home Owner Association.

Waterfront Corporate Park III, Suite 101
2000 Georgetowne Drive
Sewickley, PA 15140

P: 724-444-1100
F: 724-444-1104
www.pve-llc.com



Civil Engineering | Land Development | Structure Design
Land Planning | Landscape Architecture | Environmental

Prepared For:

Pikewood Land Partners, LLC
2543 Washington Road
Pittsburgh, PA 15241

This plan has been prepared solely for the benefit of the person(s) named above and for the project noted on the drawing. The use of this plan by any third party, or for any other purpose other than specified, is prohibited without written consent from PVE, Inc., L.L.C.

811 Know what's below.
Call before you dig.
POCS SER. # -

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND ACCEPTS TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DATE ISSUED: OCTOBER 3, 2017

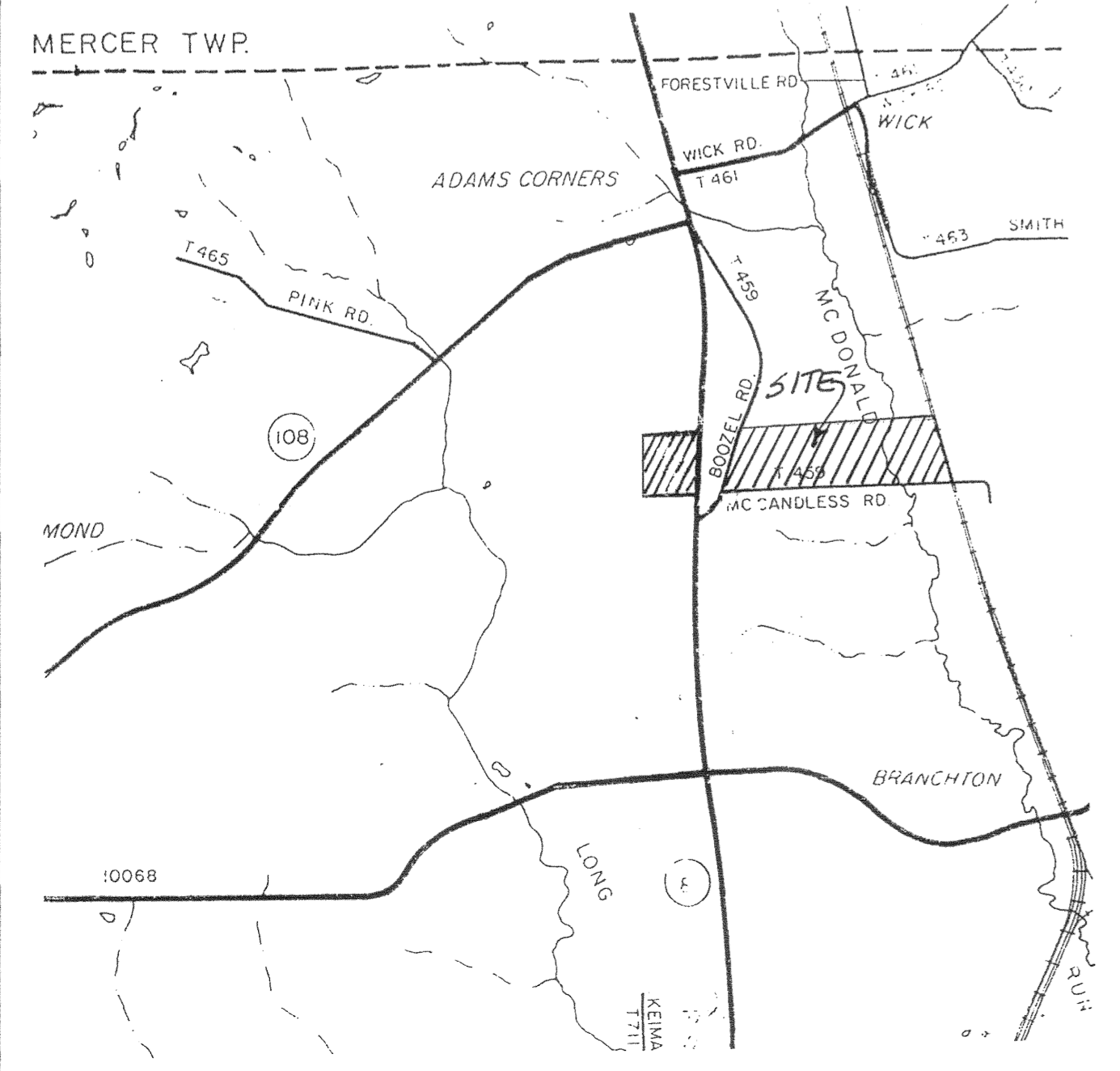
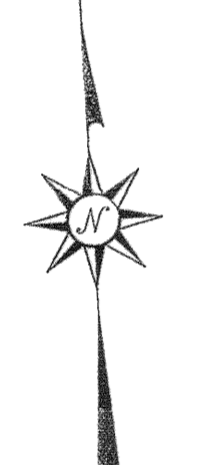
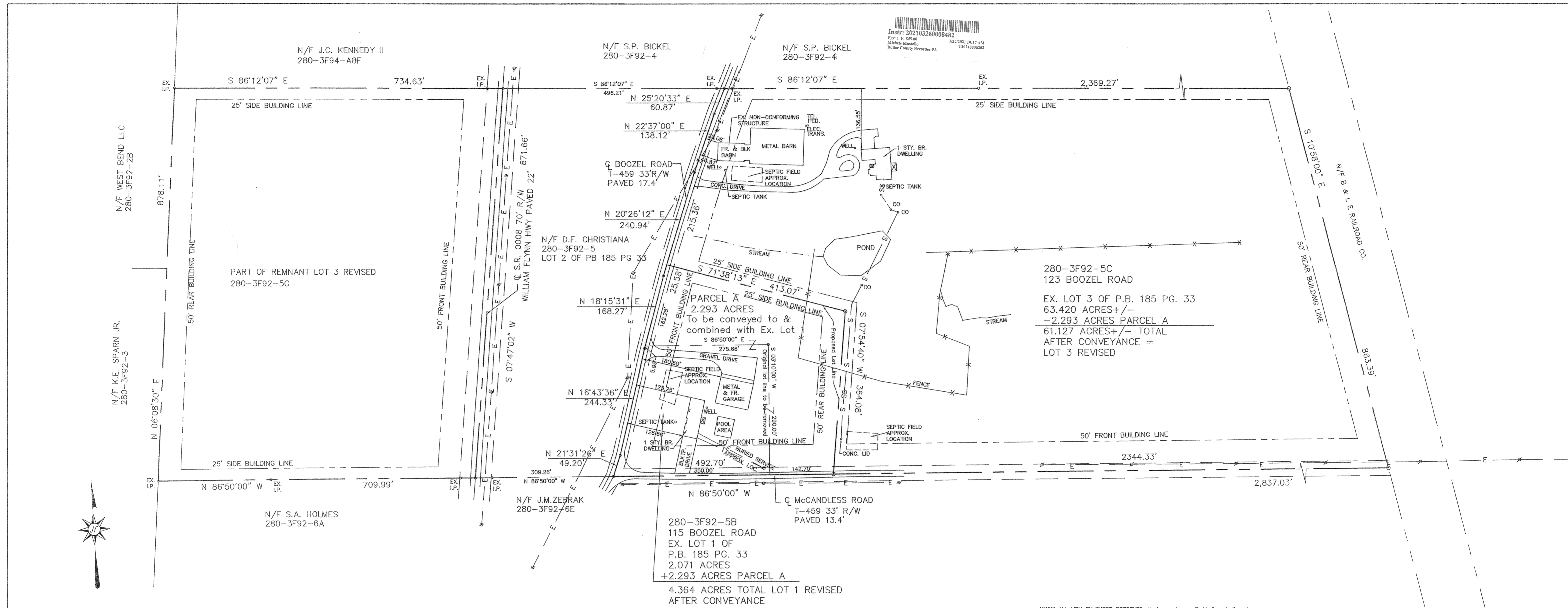
PLAN REVISIONS	
DATE	DESCRIPTION
06-07-2018	ADDRESSED TOWNSHIP REVIEW COMMENTS
11-21-2018	ADDRESSED AS-PER RESOLUTION COMMENTS
12-04-2019	ADJUSTED SWM BASIN OUTFALL LOCATIONS
12-13-2019	REV ROAD PROFILE PVI LABELS
03-03-2020	ADDRESSED AS-PER RESOLUTION COMMENTS
03-10-2020	AS-PER APPROVAL ISSUED
04-24-2020	REVISED SAN MH 1-1
05-21-2020	RELOCATED LATERALS TO SIPPTEL PROPERTY
06-19-2020	REVISED SAN MH 2-3 & FILL SLOPE
08-17-2020	REV WL & FM ALIGNMENT ALONG JUV LN
09-08-2020	ADDED PHASE 3 TO DEVELOPMENT
10-09-2020	ADDRESSED TWP REVIEW COMMENTS

Situate In:
Cranberry Township, Butler County, Pennsylvania

Project Name:
LAUREL POINTE

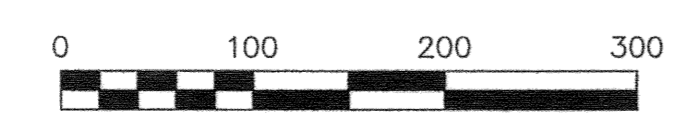
Drawing Name:
POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS

Project No: **161175** Drawing No: **C-1106**



NOTES:
 SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.
 REF. E. R. SMITH PLAN OF LOTS 1 BY HAZLET, PEPLING & ASSOC. RECORDED 11/21/94 PB 179 PG 12
 REF. E. R. SMITH PLAN OF LOTS 2 BY R. B. SHANNON & ASSOC., INC. RECORDED 8/02/95 PB 185 PG 33
PROPERTY OWNERS:
 JAMES TODD CAMPBELL
 REBECCA A. CAMPBELL
 115 BOOZEL ROAD
 SLIPPERY ROCK, PA 16057
ZONING INFORMATION:
 RC-1 RURAL CONSERVATION
 MIN. LOT AREA 1 ACRE
 MIN. LOT WIDTH 150'
 MIN. FRONT YARD 50'
 MIN. SIDE YARD 25'
 MIN. REAR YARD 50'

A HIGHWAY OCCUPANCY PERMIT IS REQUIRED FOR ACCESS ONTO A STATE HIGHWAY PURSUANT TO SECTION 420 OF PA STATE HIGHWAY LAW.
 ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THE AREA OF THIS PROPERTY BEING SUBDIVIDED LIES IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.20% ANNUAL CHANCE FLOODPLAIN.



The Board of Supervisors of the Township of Slippery Rock hereby gives public notice that in approving this plan for recording purposes only, the Township of Slippery Rock assumes no obligation, legal or otherwise, expressed or implied, either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such services ordinarily installed in Township streets or roads.

Approved by the Supervisors of the Township of Slippery Rock this 25th day of March, 2021
Aileen Amell SEAL *Paul A. Vich*
 SECRETARY CHAIRMAN/PRESIDENT

Approved by the Slippery Rock Township Planning Commission this 25th day of March, 2021
Vanessa Hogg SEAL *D. J. Pitt*
 SECRETARY CHAIRMAN/PRESIDENT

Reviewed by the Butler County Planning Commission this 17th day of MARCH, 2021
R. H. G. R. M. SEAL *J. H. G. R. M.*
 SECRETARY CHAIRMAN/PRESIDENT

COMMONWEALTH OF PENNSYLVANIA)SS:
 COUNTY OF BUTLER
 Recorded in the Recorder's Office for the recording of deeds, plans, etc. in said County in Plan Book Volume 393, page 17
 Given under my hand and seal this 21st day of March, 2021

SEAL *Michele M. Mustello*
 RECORDER
MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024

KNOW ALL MEN BY THESE PRESENTS, that we, James Todd Campbell and Rebecca A. Campbell, of the Township of Slippery Rock, of the County of Butler, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this plan as our Plan of Lots of our property, situate in Slippery Rock Township, Butler County, Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Township of Slippery Rock, we hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Slippery Rock, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedications and release shall be binding upon James Todd Campbell and Rebecca A. Campbell, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 23 day of March, 2021

ATTEST:
Subscribed and sworn to before me
 NOTARY PUBLIC OWNER OWNER

COMMONWEALTH OF PENNSYLVANIA)SS:
 COUNTY OF BUTLER
 Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named James Todd Campbell and Rebecca A. Campbell, and acknowledged the foregoing release and dedication and plan to be their act and deed and desired the same to be recorded as such.
 Sworn to and subscribed before me this day, 23 day of March, 2021
 WITNESS MY HAND AND NOTARIAL SEAL this 23 day of March, 2021
 My Commission expires the 8 day of Aug, 2024
 SEAL *Debra Painter*
 NOTARY PUBLIC
 Commonwealth of Pennsylvania - Notary Seal
 Debra Painter, Notary Public
 Butler County
 My commission expires August 16, 2024
 Commission number 1124684
 Member, Pennsylvania Association of Notaries

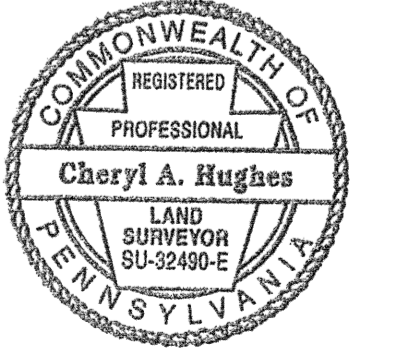
I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.
 DATE March 11, 2021 SEAL *Cheryl A. Hughes*
 REG. NO. SU-32480-E

PLAN BOOK	PAGE
393	17

REVISED 3/11/2021 PARCEL A
 REVISED 3/05/2021 PARCEL NO.

L S G
 Land Surveyors, Inc.
 523 North Main Street
 P.O. Box 1061
 Butler, PA 16003-1061
 (724) 287-6865
 Cheryl A. Hughes, PLS Owner

LOT LINE REVISION
 FOR: JAMES TODD CAMPBELL
 & REBECCA A. CAMPBELL
 SITUATE: SLIPPERY ROCK TWP., BUTLER CO., PA
 Date 2/22/21 Scale 1"=100' Dwn By BEC Ckd By CAH
 Parcel No. 280-3F92-5B, 5C INST.# 200008170019239 Service No. 201709140019001 20-005
 Address 115, 123 BOOZEL RD.



OWNERS ADOPTION (ADAMS TOWNSHIP)
 WE, B3V PARTNERS, LP, OWNER OF THE LAND SHOWN ON THE SUNRISE ACRES SUBDIVISION PLAN PHASE 1 HEREBY ADOPTS THIS PLAN AS ITS LAND DEVELOPMENT AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO ADAMS TOWNSHIP. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE PARTNERSHIP AND UPON ITS HEIRS, EXECUTORS, AND ASSIGNS.
 IN WITNESS OF WHICH, TO THIS I SET MY HAND AND SEAL THIS 15th DAY OF March 20 21

ATTEST:
 B3V PARTNERS, LP, A PENNSYLVANIA LIMITED PARTNERSHIP
 BY: B3V HOLDINGS, LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY ITS GENERAL PARTNER
 Robert A. Brennan
 MANAGER

NOTARY PUBLIC
 MY COMMISSION EXPIRES THE 2 DAY OF July A.D. 20 23

ACKNOWLEDGMENT OF PARTNERSHIP (ADAMS TOWNSHIP)
 COMMONWEALTH OF PENNSYLVANIA } SS:
 COUNTY OF BUTLER }
 BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED ROBERT A. BRENNAN, MANAGER, OF B3V HOLDINGS, LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY ITS GENERAL PARTNER, B3V PARTNERS, LP, A PENNSYLVANIA LIMITED PARTNERSHIP, AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE THE ACT OF THE PARTNERSHIP.
 WITNESS MY HAND AND NOTARIAL SEAL THIS 1st DAY OF March 20 21
 My Commission Expires The 2 DAY OF July 20 23
 My Commission Expires July 2, 2023
 Commission number 1353621
 Member, Pennsylvania Association of Notaries

CERTIFICATION OF TITLE AND CONCURRENCE OF MORTGAGE
 I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE SUNRISE ACRES SUBDIVISION PLAN PHASE I IS IN THE NAME OF B3V PARTNERS, LP, AND IS RECORDED IN INSTRUMENT NO. 20200304000415

WASHINGTON FINANCIAL BANK MORTGAGEE OF THE PROPERTY CONTAINED IN THE SUNRISE ACRES SUBDIVISION PLAN PHASE I CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

PROFESSIONAL LAND SURVEYORS CERTIFICATION
 I, GARY A. SHEFFLER, JR., A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES, AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS AS SHOWN ON THE PLAN HAVE BEEN, OR WILL BE SET, AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.
 DATE: 03/02/21
 GARY A. SHEFFLER, JR., P.L.S.

TOWNSHIP ENGINEERS CERTIFICATION
 I, Ronald Olsen, A REGISTERED PROFESSIONAL ENGINEER FOR THE TOWNSHIP OF ADAMS, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THIS SUBDIVISION PLAN OR LAND DEVELOPMENT MEETS ALL OF THE ENGINEERING REQUIREMENTS SET FORTH IN THE ADAMS TOWNSHIP ZONING ORDINANCE, SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND THE PUBLIC AND PRIVATE IMPROVEMENT CODE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.
 DATE: 03/02/21
 NAME: Ronald Olsen
 REGISTRATION NUMBER: 26400 E

TOWNSHIP PLANNING COMMISSION RECOMMENDATION FOR APPROVAL
 THIS PLAN OF SUBDIVISION HAS BEEN RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWNSHIP OF ADAMS, BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA, ON THIS 19th DAY OF March 20 19

APPROVAL BY TOWNSHIP OF ADAMS
 THE TOWNSHIP BOARD OF SUPERVISORS OF THE TOWNSHIP OF ADAMS, BUTLER COUNTY, PENNSYLVANIA, HEREBY GIVES PUBLIC NOTICE THAT IT IS APPROVING THIS PLAN OF SUBDIVISION FOR RECORDING PURPOSES ONLY. THE APPROVAL OF THIS SUBDIVISION PLAN BY THE TOWNSHIP OF ADAMS DOES NOT CONSTITUTE AN ACCEPTANCE OF THE ROADS, STREETS, ALLEYS, STORMWATER AND SANITARY SEWAGE DRAINAGE FACILITIES, EASEMENTS OR RIGHTS-OF-WAY, WATER MAINS OR ANY OTHER SERVICES OR IMPROVEMENTS SHOWN ON THIS PLAN NOR AN ASSUMPTION OF MAINTENANCE RESPONSIBILITY, NOR WILL THE SAME BE ACCEPTED OR MAINTAINED UNTIL CONSTRUCTED IN ACCORDANCE WITH ALL TOWNSHIP SPECIFICATIONS AND REQUIREMENTS AND OFFICIALLY ACCEPTED BY ACTION OF THE TOWNSHIP BOARD OF SUPERVISORS.

THIS PLAN OF SUBDIVISION APPROVED BY ACTION OF THE TOWNSHIP BOARD OF SUPERVISORS OF THE TOWNSHIP OF ADAMS, BUTLER COUNTY, PENNSYLVANIA, AND SIGNED ON THIS 25th DAY OF March 20 19

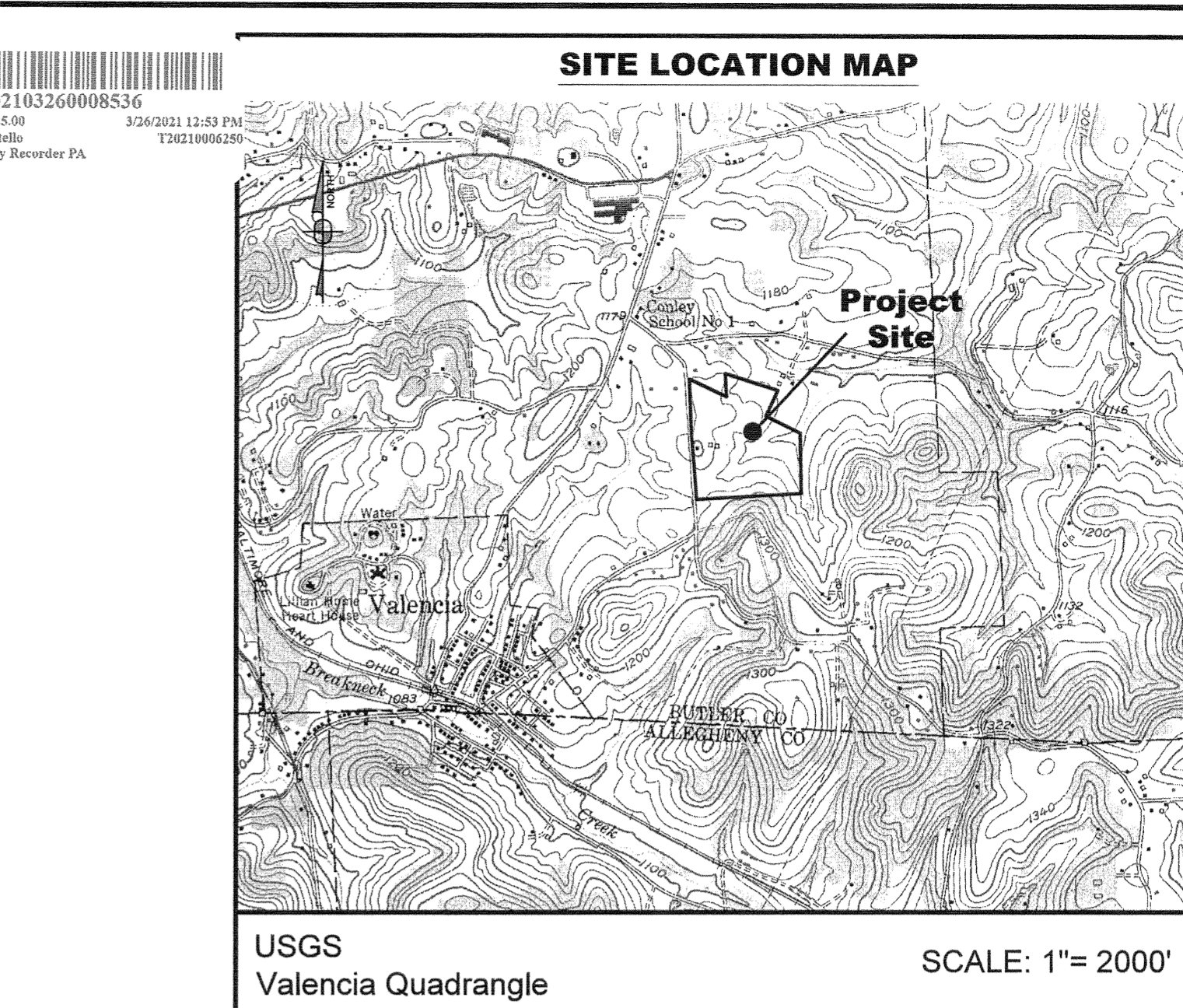
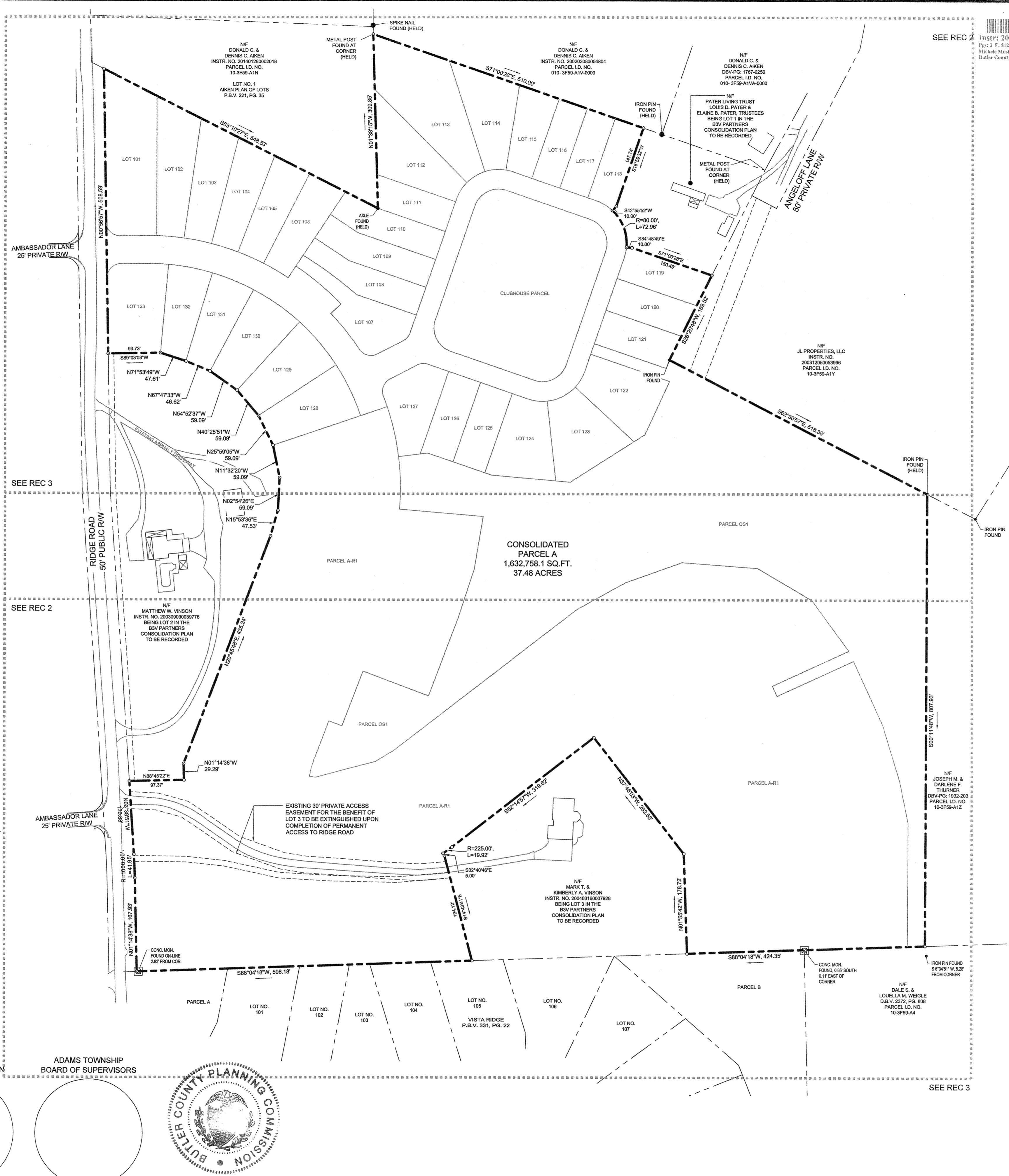
RE-APPROVAL BY TOWNSHIP OF ADAMS
 THE TOWNSHIP BOARD OF SUPERVISORS OF THE TOWNSHIP OF ADAMS, BUTLER COUNTY, PENNSYLVANIA, HEREBY GIVES PUBLIC NOTICE THAT IT IS APPROVING THIS PLAN OF SUBDIVISION FOR RECORDING PURPOSES ONLY. THE APPROVAL OF THIS SUBDIVISION PLAN BY THE TOWNSHIP OF ADAMS DOES NOT CONSTITUTE AN ACCEPTANCE OF THE ROADS, STREETS, ALLEYS, STORMWATER AND SANITARY SEWAGE DRAINAGE FACILITIES, EASEMENTS OR RIGHTS-OF-WAY, WATER MAINS OR ANY OTHER SERVICES OR IMPROVEMENTS SHOWN ON THIS PLAN NOR AN ASSUMPTION OF MAINTENANCE RESPONSIBILITY, NOR WILL THE SAME BE ACCEPTED OR MAINTAINED UNTIL CONSTRUCTED IN ACCORDANCE WITH ALL TOWNSHIP SPECIFICATIONS AND REQUIREMENTS AND OFFICIALLY ACCEPTED BY ACTION OF THE TOWNSHIP BOARD OF SUPERVISORS.

THIS PLAN OF SUBDIVISION RE-APPROVED BY ACTION OF THE TOWNSHIP BOARD OF SUPERVISORS OF THE TOWNSHIP OF ADAMS, BUTLER COUNTY, PENNSYLVANIA, AND SIGNED ON THIS 22nd DAY OF March 20 21

BUTLER COUNTY PLANNING COMMISSION REVIEW CERTIFICATE
 REVIEWED WITH OR WITHOUT COMMENTS BY THE BUTLER COUNTY PLANNING COMMISSION AT A MEETING HELD THIS 19 DAY OF March 19 A.D. 20 19

PROOF OF RECORDING
 COMMONWEALTH OF PENNSYLVANIA } SS:
 COUNTY OF BUTLER }
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS, PLATS, ETC. IN SAID COUNTY IN PLAN BOOK VOLUME 393 PAGE(S) 18-20
 GIVEN UNDER MY HAND AND SEAL THIS 26 DAY OF March 20 21
 MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024

REGISTERED SURVEYOR: GARY A. SHEFFLER, JR.
 REGISTERED ENGINEER: Ronald Olsen
 BUTLER COUNTY RECORDER OF DEEDS: MICHELE M. MUSTELLO
 ADAMS TOWNSHIP PLANNING COMMISSION
 ADAMS TOWNSHIP BOARD OF SUPERVISORS



Site Data Chart	
ZONING DISTRICT CLASSIFICATION	RAM - SMALL PROPERTY SUBDIVISION MODEL
GROSS PROPERTY AREA	1,632,748.2 SF. (37.48 AC.)
PROPOSED LAND USE	SINGLE-FAMILY / DUPLEX
PROPOSED DEVELOPMENT DENSITY	87 LOTS / 2.1 DU/AC.
PROPOSED MINIMUM LOT AREA	8,421.1 SF. (0.19 AC.)
PROPOSED MINIMUM LOT WIDTH	60.5 FT. @ FRONT SETBACK
PROPOSED FRONT YARD SETBACK	20 / 25 FT. MIN.
PROPOSED SIDE YARD SETBACK	10 FT. MIN. / 12.5 FT. TOTAL
PROPOSED REAR YARD SETBACK	30 FT. MIN.
PROPOSED BUILDING HEIGHT	35' MAX
PROPOSED IMPERVIOUS LOT COVERAGE	50% MAX.
PROPOSED PARKING SPACES PER LOT	2 GARAGE & 2 DRIVEWAY
PROPOSED AREA IN DEVELOPMENT LOTS	1,026,155 SF. (23.56 AC.)
PROPOSED PUBLIC STREET R/W AREA	209,137.08 SF. (4.80 AC.)
PROPOSED COMMON OPEN SPACE AREA	397,456.52 SF. (9.13 AC.)
PROPOSED OPEN SPACE AREA (%)	24.24% OF GROSS AREA
DEVELOPMENT/CONSTRUCTION PHASING	THREE (3) PHASES
PHASE I - DEVELOPMENT TOTAL	33 LOTS
PHASE II - DEVELOPMENT TOTAL	23 LOTS
PHASE III - DEVELOPMENT TOTAL	31 LOTS

PLAN BOOK 393
 PAGE 18

811 Know what's below. Call before you dig.

POCS SER. #: DESIGN - 20181233614 DIG - 20181233608

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Horizontal Scale
 11 inch = 500 ft.

Date:	Revision Description:	By:	Professional Seal	Prepared By:
11/30/18	TOWNSHIP SUBMISSION	GLF		
01/30/19	TOWNSHIP RESUBMISSION	GLF		
06/06/19	TOWNSHIP RESUBMISSION	JRD		
07/08/19	TOWNSHIP RESUBMISSION	GLF		
07/19/19	TOWNSHIP RESUBMISSION	GLF		
09/06/19	TOWNSHIP RESUBMISSION	ACH		
02/04/2020	DEVELOPER COMMENTS	MWS		
01/27/2021	REVISED SAN & UTILITY EASEMENTS	MWS		

Professional Seal: GARY A. SHEFFLER, JR., REGISTERED PROFESSIONAL SURVEYOR, PENNSYLVANIA

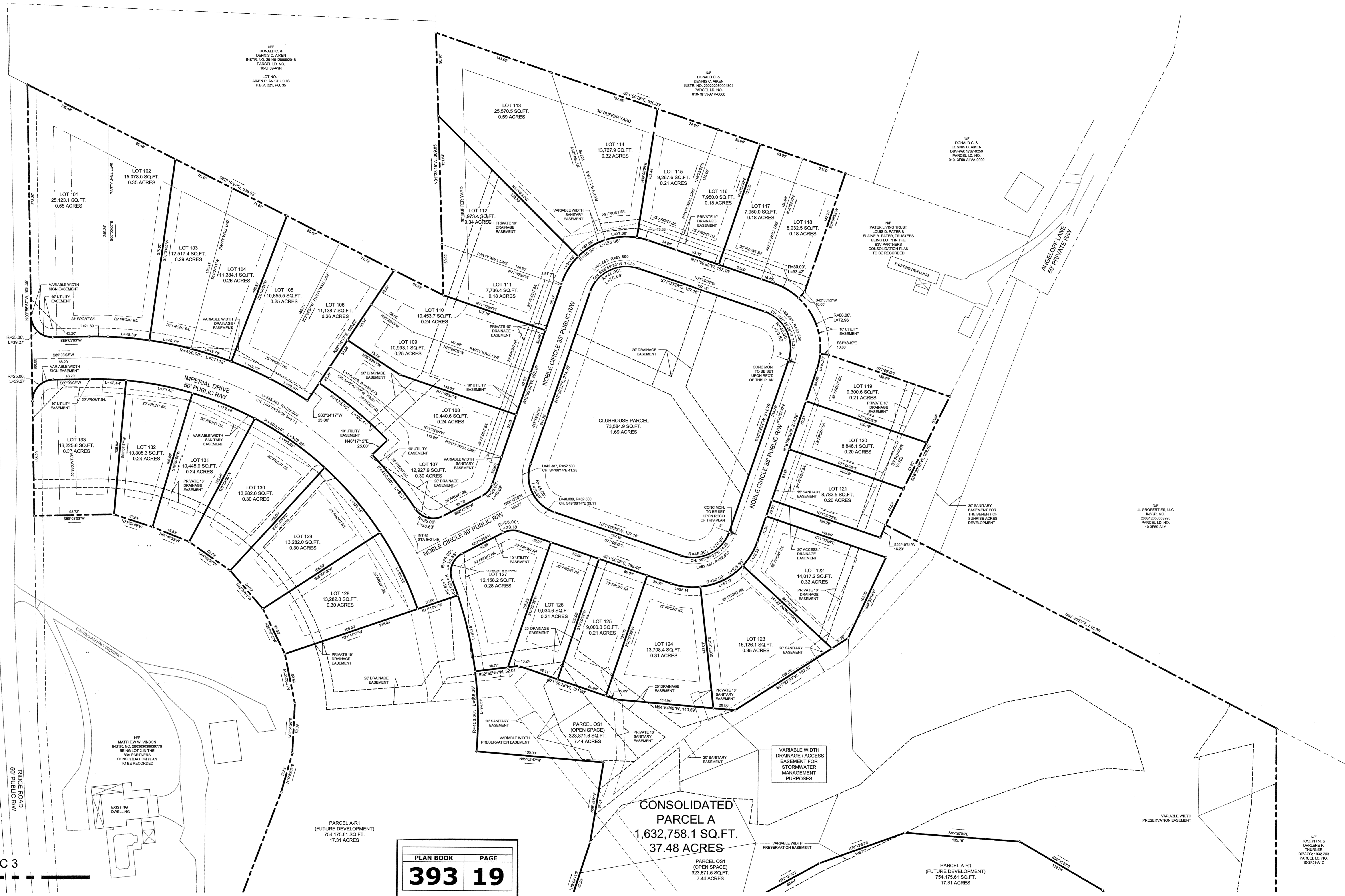
Prepared By: Sheffler & Company, Inc. ENGINEERING • SURVEYING
 1712 Mount Nebo Road Sewickley, PA 15143 Office Phone: 412-219-4509 Email: Info@ShefflerCo.com

SUNRISE ACRES
 Subdivision Plan Phase 1 - Rev 1
 Prepared For: B3V Partners, LP
 Situate In: Adams Township, Butler County, Pennsylvania

Being a re-recording of Sunrise Acres Subdivision Plan Phase 1 At Instrument Number: 20200304000415

DRAWING SCALE: 1" = 100' DESIGNED BY: AGM
 DATE ISSUED: 11/30/2018 REVIEWED BY: GAS
 PROJECT JOB#: 3761 FIELD BOOK #: ---
 CADD#:

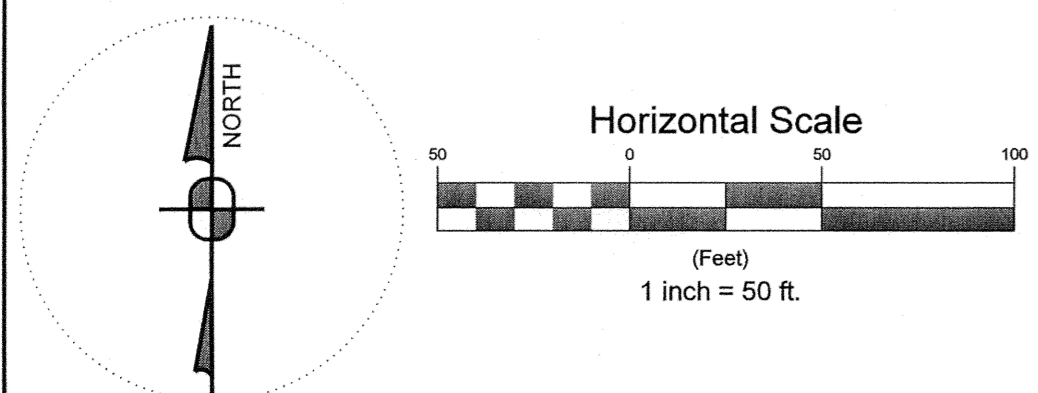
B3V Partners, LP
 Attn: Robert Brennan, Manager
 800 S. Washington Street
 Evans City, PA 16033
 Phone: 724-665-2929
 Sheet No. REC1



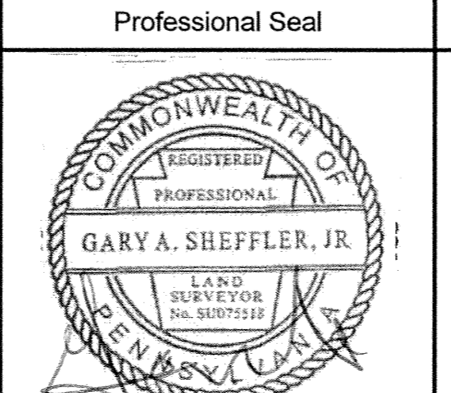
SEE SHEET REC 3

PLAN BOOK PAGE
393 19

**CONSOLIDATED
PARCEL A**
1,632,758.1 SQ.FT.
37.48 ACRES



Date:	Revision Description:	By:
11/30/18	TOWNSHIP SUBMISSION	GLF
01/30/19	TOWNSHIP RESUBMISSION	GLF
06/06/19	TOWNSHIP RESUBMISSION	JRD
07/09/19	TOWNSHIP RESUBMISSION	GLF
07/19/19	TOWNSHIP RESUBMISSION	GLF
09/06/19	TOWNSHIP RESUBMISSION	AGM
02/04/2020	DEVELOPER COMMENTS	MWS
01/27/2021	REVISED SAN & UTILITY EASEMENTS	MWS
02/25/2021	ADDED ADDITIONAL TWP APPROVAL CLAUSE AND NOTES	MWS



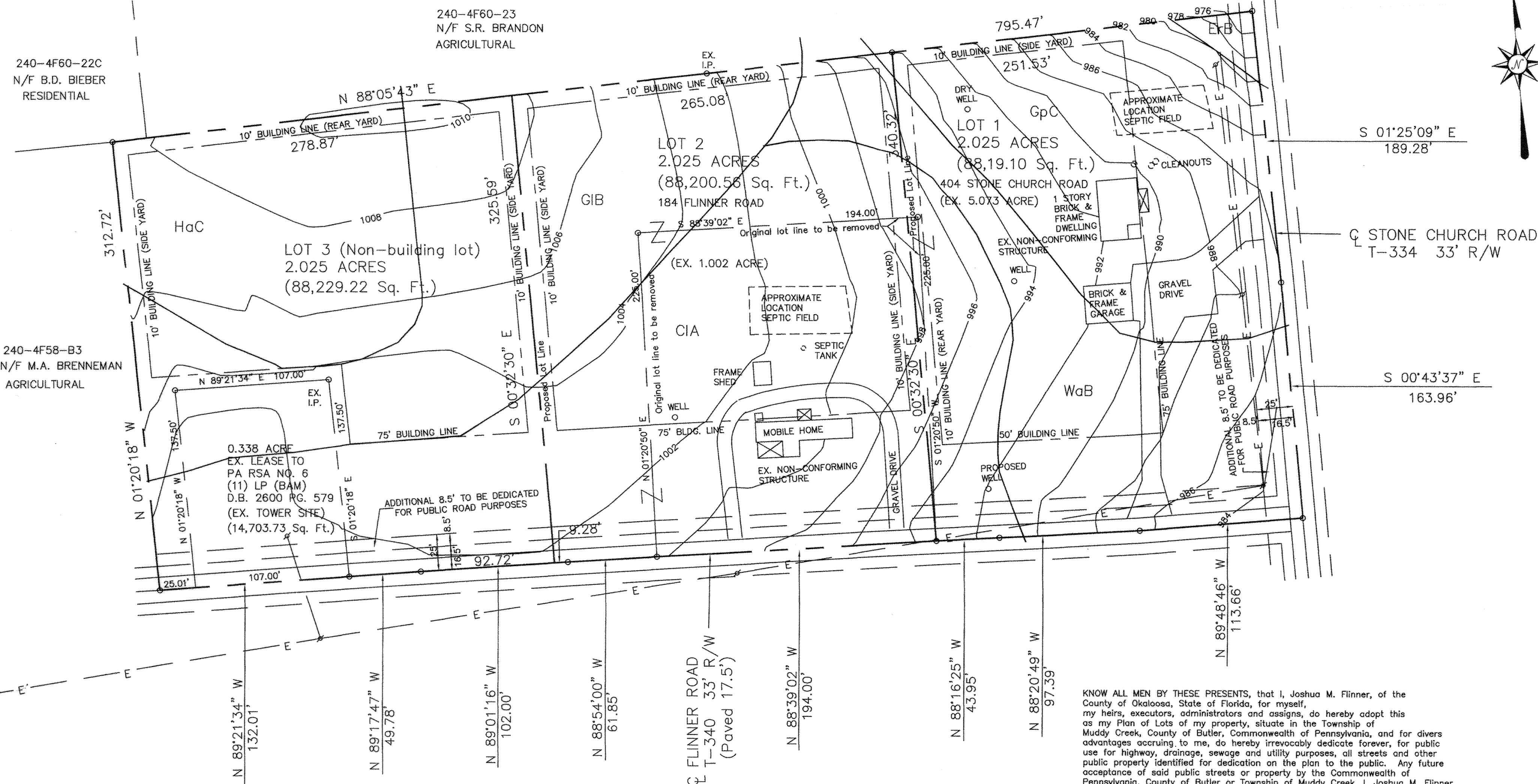
Sheffler & Company, Inc.
ENGINEERING • SURVEYING
1712 Mount Nebo Road
Sewickley, PA 15143
Office Phone: 412-219-4509
Email: Info@ShefflerCo.com

SUNRISE ACRES
Subdivision Plan Phase 1 - Rev 1
Prepared For:
B3V Partners, LP
Situate In:
Adams Township, Butler County, Pennsylvania

Being a re-recording of Sunrise Acres
Subdivision Plan Phase 1
At Instrument Number: 202003040004415
DRAWING SCALE: 1" = 50'
DESIGNED BY: AGM
DATE ISSUED: 11/30/2018
REVIEWED BY: GAS
PROJECT JOB#: 3761
FIELD BOOK #: ---
CADD#:

B3V Partners, LP
Att: Robert Brennan, Manager
800 S. Washington Street
Evans City, PA 16033
Phone: 724-865-2929
Sheet No.
REC2

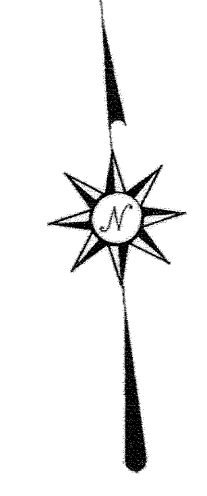
POCS SER. #: 2017
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



240-4F60-22C
N/F B.D. BIEBER
RESIDENTIAL

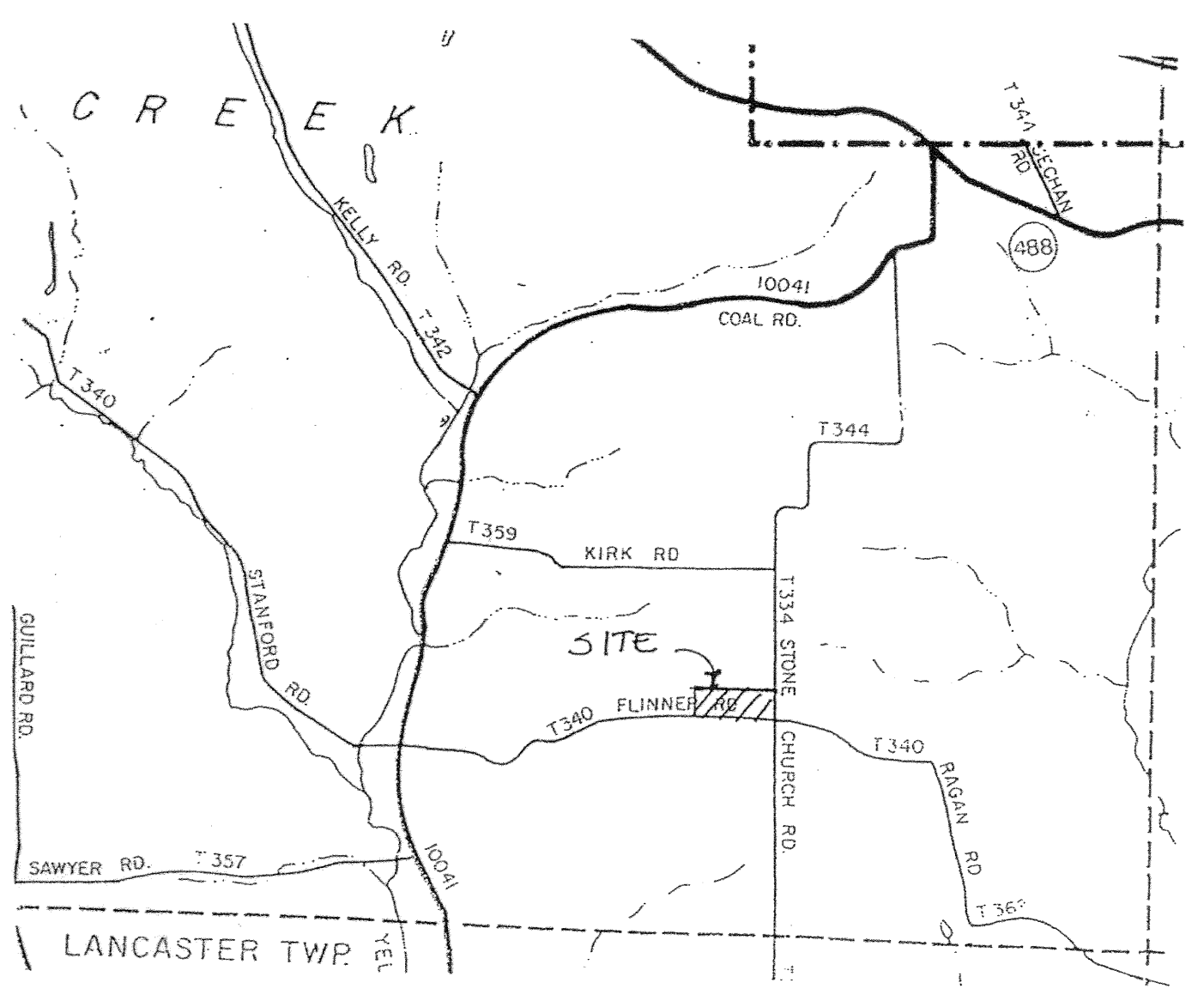
240-4F58-B3
N/F M.A. BRENNEMAN
AGRICULTURAL

240-4F60-23
N/F S.R. BRANDON
AGRICULTURAL



SOILS LEGEND
CIB CAVODE SILT LOAM, 0-3% SLOPES
ErB ERNEST SILT LOAM, 3-8% SLOPES
GIB GILPIN SILT LOAM, 3-8% SLOPES
GpC GILPIN-WHARTON SILT LOAM, 8-15% SLOPES
HaC HAZLETON CHANNERY LOAM, 8-15% SLOPES
WaB WHARTON SILT LOAM, 3-8% SLOPES

SOILS TAKEN FROM SHEET 16 OF 32 OF THE SOIL SURVEY OF BUTLER COUNTY, PENNSYLVANIA.



VICINITY MAP Scale: 1" = 2000'

AS OF THE DATE OF THIS DEED/PLOT PLAN/DEED NOTICE RECORDING, THE PROPERTY/SUBDIVISION DESCRIBED HEREON IS AND SHALL BE DEDICATED FOR THE EXPRESS PURPOSE OF UTILITY USE (TOWER SITE). THIS WAIVER APPLIES TO LOT 3 OF THE PLAN AS SHOWN HEREON. NO PORTION OF THIS PROPERTY/SUBDIVISION HAS BEEN APPROVED BY MUDDY CREEK TOWNSHIP OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES. NO SEWAGE PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE COLLECTION, CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM (EXCEPT FOR REPAIRS TO EXISTING SYSTEMS) UNLESS THE MUNICIPALITY AND THE DEP HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR THE PROPERTY/SUBDIVISION HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT (35 P.S. SECTIONS 750.1 ET SEQ.) AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR SUBDIVIDER OF ANY PORTION OF LOT 3 SHOULD CONTACT APPROPRIATE OFFICIALS OF MUDDY CREEK TOWNSHIP, WHICH IS CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO DETERMINE WHAT SEWAGE FACILITIES PLANNING IS REQUIRED AND THE PROCEDURE AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR APPROVALS.

NOTES:
SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.

ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREA OF MINIMAL FLOOD HAZARD DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD.

PROPERTY OWNERS:
AARON J. FLINNER
JOSHUA M. FLINNER
MATTHEW R. FLINNER
404 STONE CHURCH ROAD
PROSPECT, PA 16052

THE PURPOSE OF THIS PLAN IS TO REVISE TAX PARCELS 240-4F58-B4A & B4AA INTO THREE EQUAL TRACTS FOR CONVEYANCE TO EACH OWNER.

THERE IS NO RECORD OF SEPTIC PERMITS FOR 404 STONE CHURCH ROAD AND 184 FLINNER ROAD PER MUDDY CREEK TOWNSHIP.

KNOW ALL MEN BY THESE PRESENTS, that I, Joshua M. Flinner, of the County of Okaloosa, State of Florida, for myself, my heirs, executors, administrators and assigns, do hereby adopt this as my Plan of Lots of my property, situate in the Township of Muddy Creek, County of Butler, Commonwealth of Pennsylvania, and for divers advantages accruing to me, do hereby irrevocably dedicate forever, for public use for highway, drainage, sewage and utility purposes, all streets and other public property identified for dedication on the plan to the public. Any future acceptance of said public streets or property by the Commonwealth of Pennsylvania, County of Butler or Township of Muddy Creek, I, Joshua M. Flinner, hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler, and Township of Muddy Creek, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and other public uses, and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Joshua M. Flinner, my heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 23 day of March, 2021.

ATTEST:
Notary Public
My Commission Expires:
Christopher Barish
NOTARY PUBLIC
STATE OF FLORIDA
Comm# GG368622
Expires 8/25/2023

I, Joshua M. Flinner, fully understand and agree that the approval of the Board of Supervisors of the Township of Muddy Creek, if hereto attached, will become null and void unless this plan is recorded in the Recorder of Deeds Office of Butler County, County Court House, Butler, Pennsylvania within ninety (90) days of date of said approval.
Witness:
Owner:

STATE OF FLORIDA }
COUNTY OF OKALOOSA }
Before me, the subscriber, a Notary Public in and for said State and County, personally appeared Joshua M. Flinner, who being duly sworn according to law, deposes and says that he is the owner of the property shown on this plan, that the plan thereof was made at his direction, that he acknowledges the same to be his act and deed, and that she desires the same to be recorded as such.

WITNESS MY HAND AND NOTARIAL SEAL this 23 day of March, 2021.

ATTEST:
Notary Public
My Commission Expires:
SEAL

TITLE CLAUSE - (NO MORTGAGE)
I, Joshua M. Flinner, owner of the plan of subdivision in my name, do hereby certify that the title of this property is in the name of Joshua M. Flinner as recorded in Instrument #201810310022196 and that there is no mortgage, lien or encumbrance against this property.

WITNESS:
OWNER:

PLAN BOOK	PAGE
393	21

KNOW ALL MEN BY THESE PRESENTS, that I, Aaron J. Flinner, of the Township of Muddy Creek, of the County of Butler, Commonwealth of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this as my Plan of Lots of my property, situate in the Township of Muddy Creek, County of Butler, Commonwealth of Pennsylvania, and for divers advantages accruing to me, do hereby irrevocably dedicate forever, for public use for highway, drainage, sewage and utility purposes, all streets and other public property identified for dedication on the plan to the public. Any future acceptance of said public streets or property by the Commonwealth of Pennsylvania, County of Butler or Township of Muddy Creek, I, Aaron J. Flinner, hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler, and Township of Muddy Creek, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and other public uses, and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Aaron J. Flinner, my heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 20 day of March, 2021.

ATTEST:
Notary Public
My Commission Expires:
Robert S. Hinds
Notary Public
Butler County
My Commission Expires June 4, 2022

I, Aaron J. Flinner, fully understand and agree that the approval of the Board of Supervisors of the Township of Muddy Creek, if hereto attached, will become null and void unless this plan is recorded in the Recorder of Deeds Office of Butler County, County Court House, Butler, Pennsylvania within ninety (90) days of date of said approval.

WITNESS:
OWNER:

COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER }

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared Aaron J. Flinner, who being duly sworn according to law, deposes and says that he is the owner of the property shown on this plan, that the plan thereof was made at his direction, that he acknowledges the same to be his act and deed, and that he desires the same to be recorded as such.

WITNESS MY HAND AND NOTARIAL SEAL this 20 day of March, 2021.

ATTEST:
Notary Public
My Commission Expires:
SEAL

TITLE CLAUSE - (NO MORTGAGE)
I, Aaron J. Flinner, owner of the plan of subdivision in my name, do hereby certify that the title of this property is in the name of Aaron J. Flinner as recorded in Instrument #201810310022196 and that there is no mortgage, lien or encumbrance against this property.

WITNESS:
OWNER:

SEAL
DATE: March 18, 2021
Cheryl A. Hughes, P.L.S.
Registration No. SU-32490-E

I, Cheryl A. Hughes, a Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances, and courses are correctly shown, that the monuments and markers as shown on the plan have been set, and to the best of my knowledge, that this plan correctly represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.

SEAL
DATE: March 18, 2021
Cheryl A. Hughes, P.L.S.
Registration No. SU-32490-E

COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER }

This plan has been recommended for approval by the Planning Commission of the Township of Muddy Creek, Butler County, Commonwealth of Pennsylvania on this 3rd day of March, 2021.

ATTEST:
Recording Secretary: Marnie Chuba
Vice Chairman: Larry A. Coble

The Board of Supervisors of the Township of Muddy Creek hereby gives public notice that it is approving this plan for recording purposes only. The Board of Supervisors has not accepted dedication of any streets, lands or public facilities and has no obligation, legal or otherwise, to improve or maintain such streets, lands or public facilities.

This plan approved by action of the Board of Supervisors of the Township of Muddy Creek, Butler County, Pennsylvania on this 17 day of March, 2021.

ATTEST:
Secretary: Marnie Chuba
Chairman: David Kim
Board of Supervisors

Reviewed with or without comments by the Butler County Planning Commission this 17th day of FEB, 2021.

SEAL
Secretary: R. H. JRM
Chairman: J. H. JRM

KNOW ALL MEN BY THESE PRESENTS, that I, Matthew R. Flinner, of the Township of Muddy Creek, of the County of Butler, Commonwealth of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this as my Plan of Lots of my property, situate in the Township of Muddy Creek, County of Butler, Commonwealth of Pennsylvania, and for divers advantages accruing to me, do hereby irrevocably dedicate forever, for public use for highway, drainage, sewage and utility purposes, all streets and other public property identified for dedication on the plan to the public. Any future acceptance of said public streets or property by the Commonwealth of Pennsylvania, County of Butler or Township of Muddy Creek, I, Matthew R. Flinner, hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler, and Township of Muddy Creek, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and other public uses, and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Matthew R. Flinner, my heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 20 day of March, 2021.

ATTEST:
Notary Public
My Commission Expires:
Robert S. Hinds
Notary Public
Butler County
My Commission Expires June 4, 2022

I, Matthew R. Flinner, fully understand and agree that the approval of the Board of Supervisors of the Township of Muddy Creek, if hereto attached, will become null and void unless this plan is recorded in the Recorder of Deeds Office of Butler County, County Court House, Butler, Pennsylvania within ninety (90) days of date of said approval.

WITNESS:
OWNER:

COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER }

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared Matthew R. Flinner, who being duly sworn according to law, deposes and says that he is the owner of the property shown on this plan, that the plan thereof was made at his direction, that he acknowledges the same to be his act and deed, and that he desires the same to be recorded as such.

WITNESS MY HAND AND NOTARIAL SEAL this 20 day of March, 2021.

ATTEST:
Notary Public
My Commission Expires:
SEAL

TITLE CLAUSE - (NO MORTGAGE)
I, Matthew R. Flinner, owner of the plan of subdivision in my name, do hereby certify that the title of this property is in the name of Matthew R. Flinner as recorded in Instrument #201810310022196 and that there is no mortgage, lien or encumbrance against this property.

WITNESS:
OWNER:

SEAL

I, Cheryl A. Hughes, a Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances, and courses are correctly shown, that the monuments and markers as shown on the plan have been set, and to the best of my knowledge, that this plan correctly represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.

SEAL
DATE: March 18, 2021
Cheryl A. Hughes, P.L.S.
Registration No. SU-32490-E

COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER }

Recorded in the office for the recording of deeds, plats, etc. in said County at Instrument Number 202103310008970 Plan Book 393 page 21. Given under my hand and seal this 31st day of March, 2021.

Recorder: Michele M. Mustello
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

Seal of Muddy Creek Township Board of Supervisors
Seal of Butler County PA
Seal of Recorder of Deeds Butler County PA

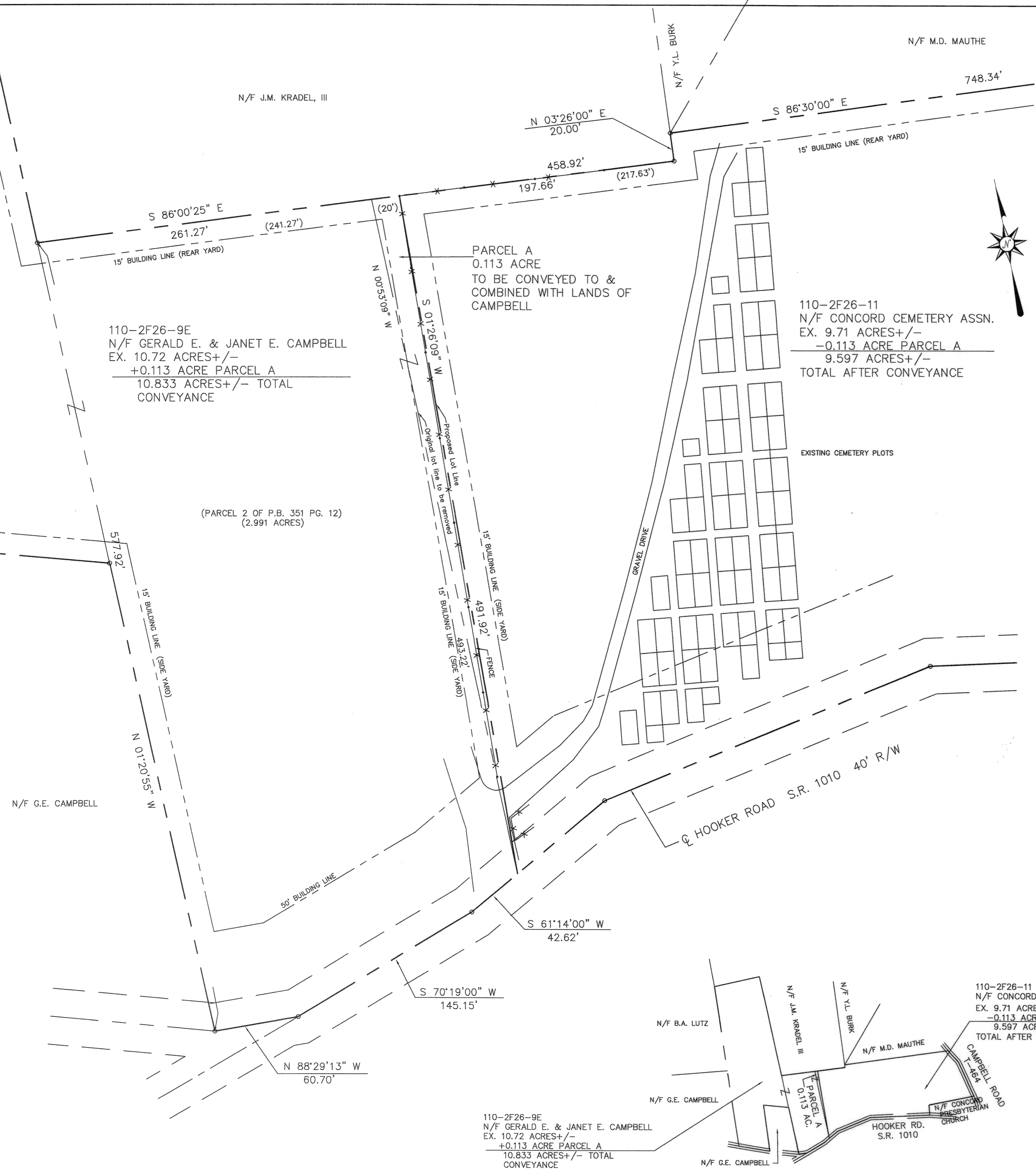
REVISED: 03/18/2021; REVISE DEDICATION
REVISED: 03/03/2021; NON-BUILDING LOT 3
REVISED: 02/18/2021; ENGINEER'S REVIEW COMMENTS

Land Surveyors, Inc.
523 North Main Street
P.O. Box 1061
Butler, PA 16003-1061
(724) 287-6865
Cheryl A. Hughes, PLS Owner

LOT LINE REVISION
FOR: AARON J. FLINNER, MATTHEW R. FLINNER & JOSHUA M. FLINNER

SITUATE: MUDDY CREEK TWP., BUTLER CO., PA
Date 01/22/2021 Scale 1" = 50' Dwn By BEC Ckd By CAH
Parcel No. 240-4F58-B4A, B4AA Inst # 201810310022196 Service No. 20-163
Address 404 STONE CHURCH ROAD & 184 FLINNER ROAD

Instr: 20210408009897
 Page 1 of 2
 Michele Mustello
 Butler County Recorder PA



KNOW ALL MEN BY THESE PRESENTS, that I, Lance D. Kauf, President of Concord Cemetery Association, of the Township of Concord, of the County of Butler, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this plan as our Plan of Lots of our property, situate in Concord Township, Butler County, Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Township of Concord, we hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Concord, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedications and release shall be binding upon the President of Concord Cemetery Association, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 31st day of March, 2021

ATTEST:
Judith A. Stoops Notary Public
Lance D. Kauf President
Lance D. Kauf Treasurer

COMMONWEALTH OF PENNSYLVANIA)SS:
 COUNTY OF BUTLER
 My Commission expires August 11, 2024
 Commission number 1243793

Before me, the subscriber, a Notary Public in and for said Commonwealth of Pennsylvania, County of Butler and Township of Concord, personally appeared the above named President of Concord Cemetery Association, and acknowledged the foregoing release and dedication and plan to be their act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day.
 WITNESS MY HAND AND NOTARIAL SEAL this 31st day of March, 2021

My Commission expires the 11th day of August, 2024

SEAL
Judith A. Stoops
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
 Judith A. Stoops, Notary Public
 Butler County
 My Commission expires August 11, 2024
 Commission number 1243793

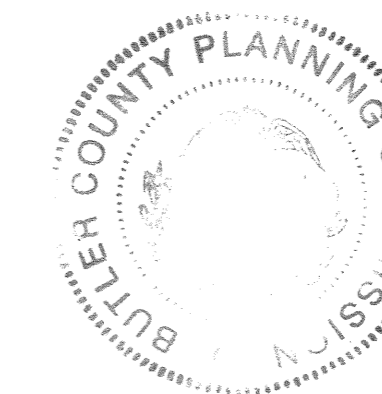
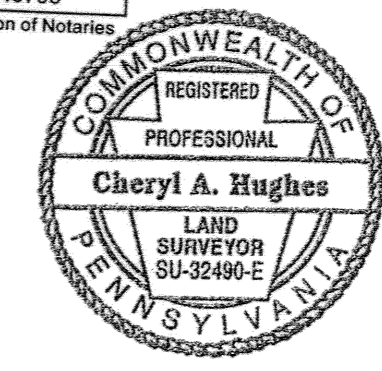
NOTES:
 SUBJECT TO ANY AND ALL EXISTING RIGHTS-WAY AND EASEMENTS OF RECORD.
 ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREA OF MINIMAL FLOOD HAZARD DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

PROPERTY OWNERS: CONCORD CEMETERY ASSOCIATION
 625 HOOKER ROAD
 WEST SUNBURY, PA 16061
 GERALD & JANET CAMPBELL
 647 HOOKER ROAD
 WEST SUNBURY, PA 16061

REF: PROPERTY SURVEY FOR CONCORD PRESBYTERIAN CHURCH CEMETERY ASSOCIATION BY LAND SURVEYORS, INC., 02/07/08, #07-024.

THE PURPOSE OF THIS PLAN IS A LOT LINE REVISION TO CLEAR A FENCE ENCROACHMENT.

REF: PROPERTY SUBDIVISION FOR CONCORD CEMETERY ASSOCIATION, RECORDED 09/25/15, P.B. 351 PG. 12.



KNOW ALL MEN BY THESE PRESENTS, that we, Gerald E. and Janet E. Campbell, of the Township of Concord, of the County of Butler, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this plan as our Plan of Lots of our property, situate in Concord Township, Butler County, Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Township of Concord, we hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Concord, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedications and release shall be binding upon Gerald E. and Janet E. Campbell, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 31st day of March, 2021

ATTEST:
Judith A. Stoops Notary Public
Gerald E. Campbell Owner
Janet E. Campbell Owner

COMMONWEALTH OF PENNSYLVANIA)SS:
 COUNTY OF BUTLER
 My Commission expires August 11, 2024
 Commission number 1243793

Before me, the subscriber, a Notary Public in and for said Commonwealth of Pennsylvania, County of Butler and Township of Concord, personally appeared the above named Gerald E. and Janet E. Campbell, and acknowledged the foregoing release and dedication and plan to be their act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day.
 WITNESS MY HAND AND NOTARIAL SEAL this 31st day of March, 2021

My Commission expires the 31st day of March, 2021

SEAL
Judith A. Stoops
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
 Judith A. Stoops, Notary Public
 Butler County
 My Commission expires August 11, 2024
 Commission number 1243793

I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.
March 8, 2021 SEAL Cheryl A. Hughes
 DATE REG. NO. SU-32486-E

The Board of Supervisors of the Township of Concord hereby gives public notice that in approving this plan for recording purposes only, the Township of Concord assumes no obligation, legal or otherwise, expressed or implied, either to accept said streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

Michele M. Mustello SEAL William E. Bajt
 SECRETARY CHAIRMAN/PRESIDENT
 Approved by the Supervisors of the Township of Concord this 5th day of April, 2021

Michele M. Mustello SEAL William E. Bajt
 SECRETARY CHAIRMAN/PRESIDENT
 Approved by the Butler County Planning Commission this 17th day of MARCH, 2021

R.H. JRM SEAL J.H. JRM
 SECRETARY CHAIRMAN/PRESIDENT

COMMONWEALTH OF PENNSYLVANIA)SS:
 COUNTY OF BUTLER
 Recorded in the Recorder's Office for the recording of deeds, plans, etc. in said County in Plan Book Volume 393, page 22
 Given under my hand and seal this 8th day of April, 2021

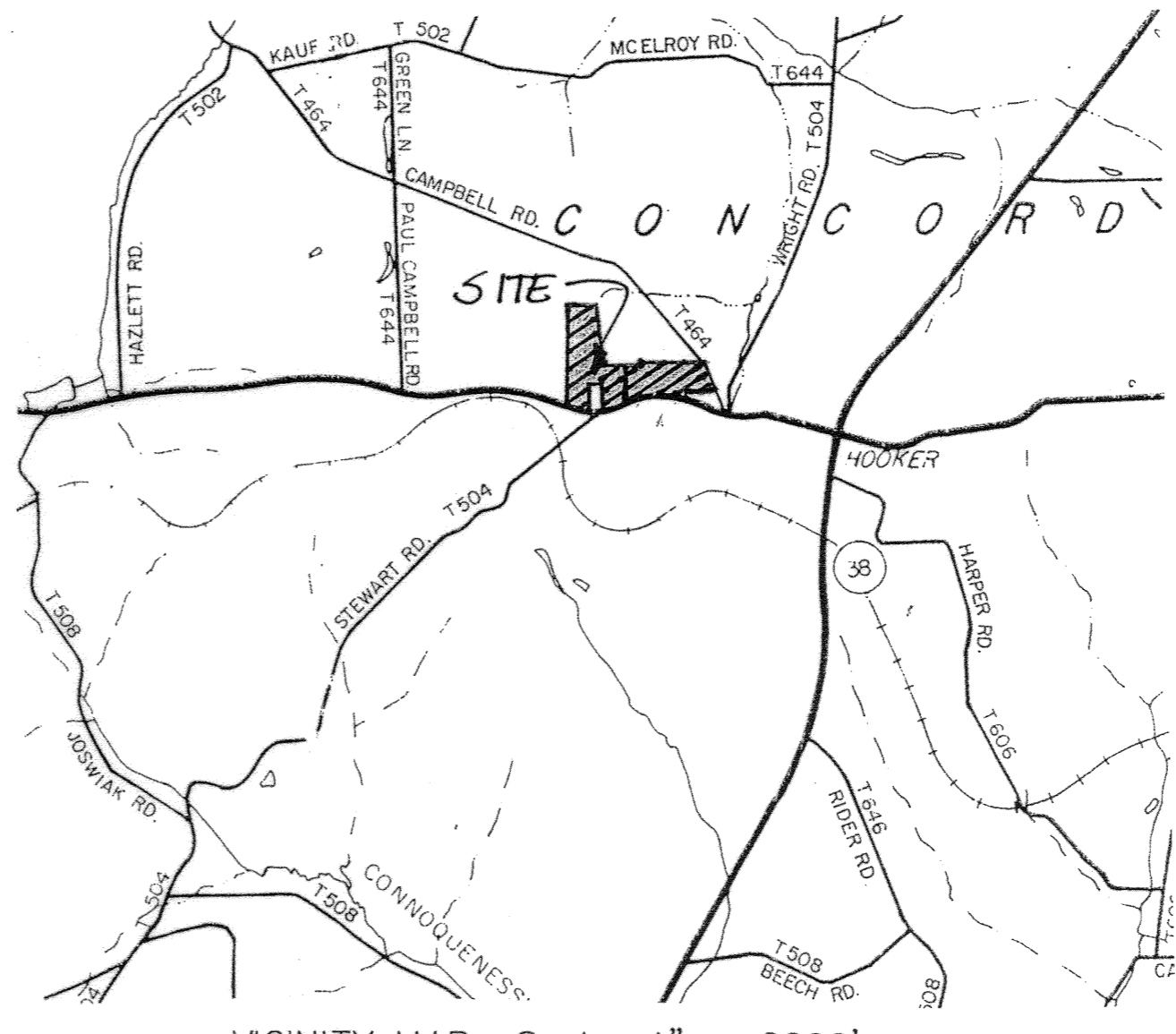
SEAL
Michele M. Mustello
 RECORDER

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



PLAN BOOK	PAGE
393	22

LOCATION MAP Scale: 1" = 400'



VICINITY MAP Scale: 1" = 2000'



L S J	Land Surveyors, Inc. 523 North Main Street P.O. Box 1061 Butler, PA 16003-1061 (724) 287-8865 Cheryl A. Hughes, PLS Owner
LOT LINE REVISION	
FOR: CONCORD CEMETERY ASSOCIATION and GERALD E. & JANET E. CAMPBELL	
SITUATE: CONCORD TWP., BUTLER CO., PA	
Date 03/08/2021	Scale 1" = 40'
Parcel No. 110-2F26-9E & 11	Dwn By BEC
Address 690 HOOKER ROAD	Ckd By CAH
	Service No. 20-155

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT WE, ERIC AND KATHY JOHNSON, OF THE TOWNSHIP OF WINFIELD, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF WINFIELD, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF WINFIELD, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF WINFIELD, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNER, HIS HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 15 DAY OF MARCH, 2021.

x Eric Johnson
 ERIC JOHNSON
 x Kathy Johnson
 KATHY JOHNSON

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, ERIC AND KATHY JOHNSON, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 15 DAY OF MARCH, 2021.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023

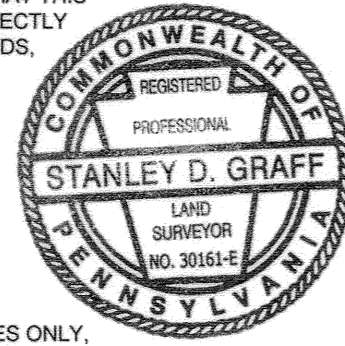
Commonwealth of Pennsylvania - Notary Seal
 Debra L. Jeffcoat, Notary Public
 Butler County
 My commission expires February 17, 2023
 Commission number 1152784
 Member, Pennsylvania Association of Notaries

x Debra L. Jeffcoat
 NOTARY PUBLIC

SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

12 MARCH 2021

x Stanley D. Graff
 STANLEY D. GRAFF
 REG. NO. SU-000191-E



MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WINFIELD, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF WINFIELD ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WINFIELD THIS 25th DAY OF March, 2021.

x Debra L. Jeffcoat
 SECRETARY
 x Stanley D. Graff
 CHAIRPERSON
 BOARD OF SUPERVISORS

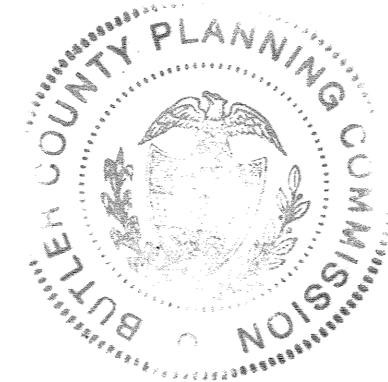
REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF WINFIELD THIS 3rd DAY OF MARCH, 2021.

x Marla K. Klambert
 SECRETARY
 x Ramona Storo
 CHAIRPERSON
 PLANNING COMMISSION

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 17th DAY OF MARCH, 2021.

x R. H. Gern
 SECRETARY
 x R. H. Gern
 CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION



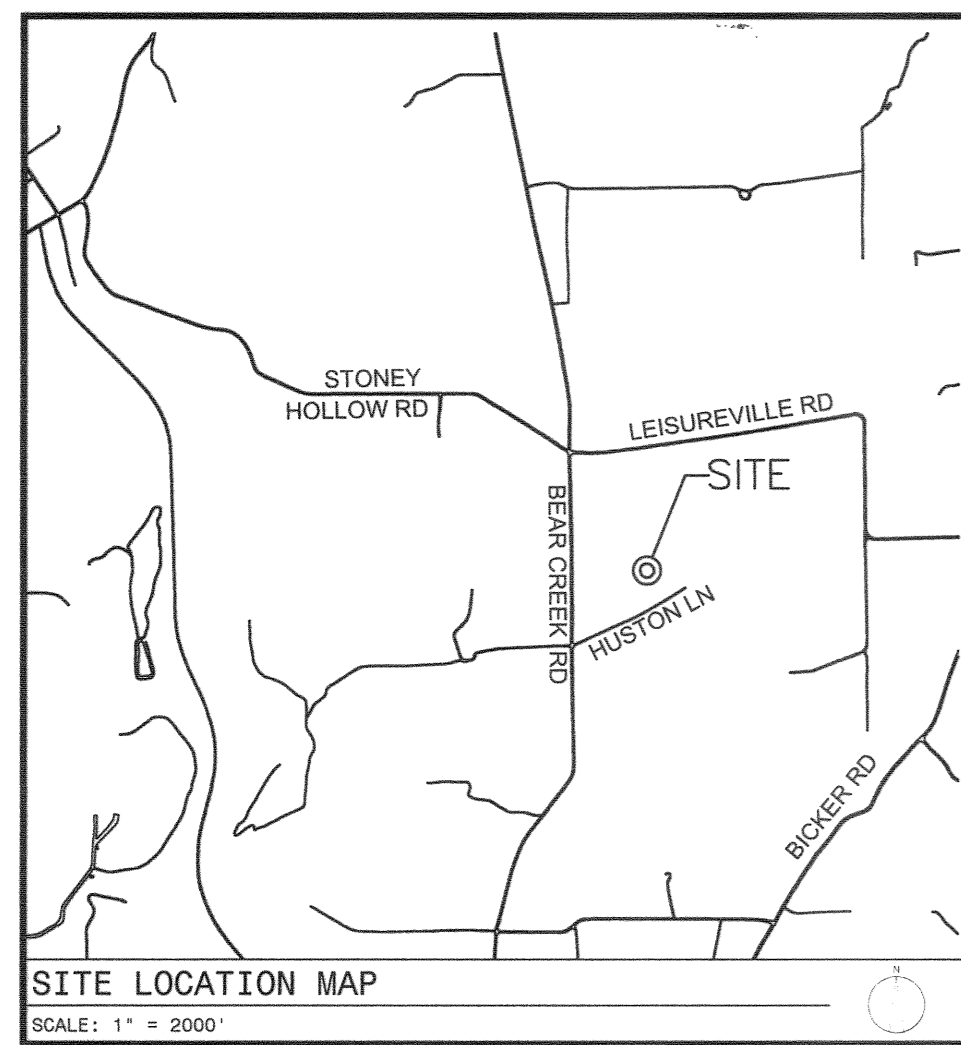
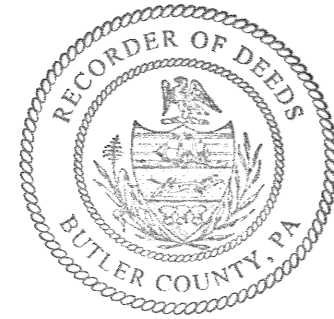
PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN

PLAN BOOK VOLUME 393, PAGE(S) 23

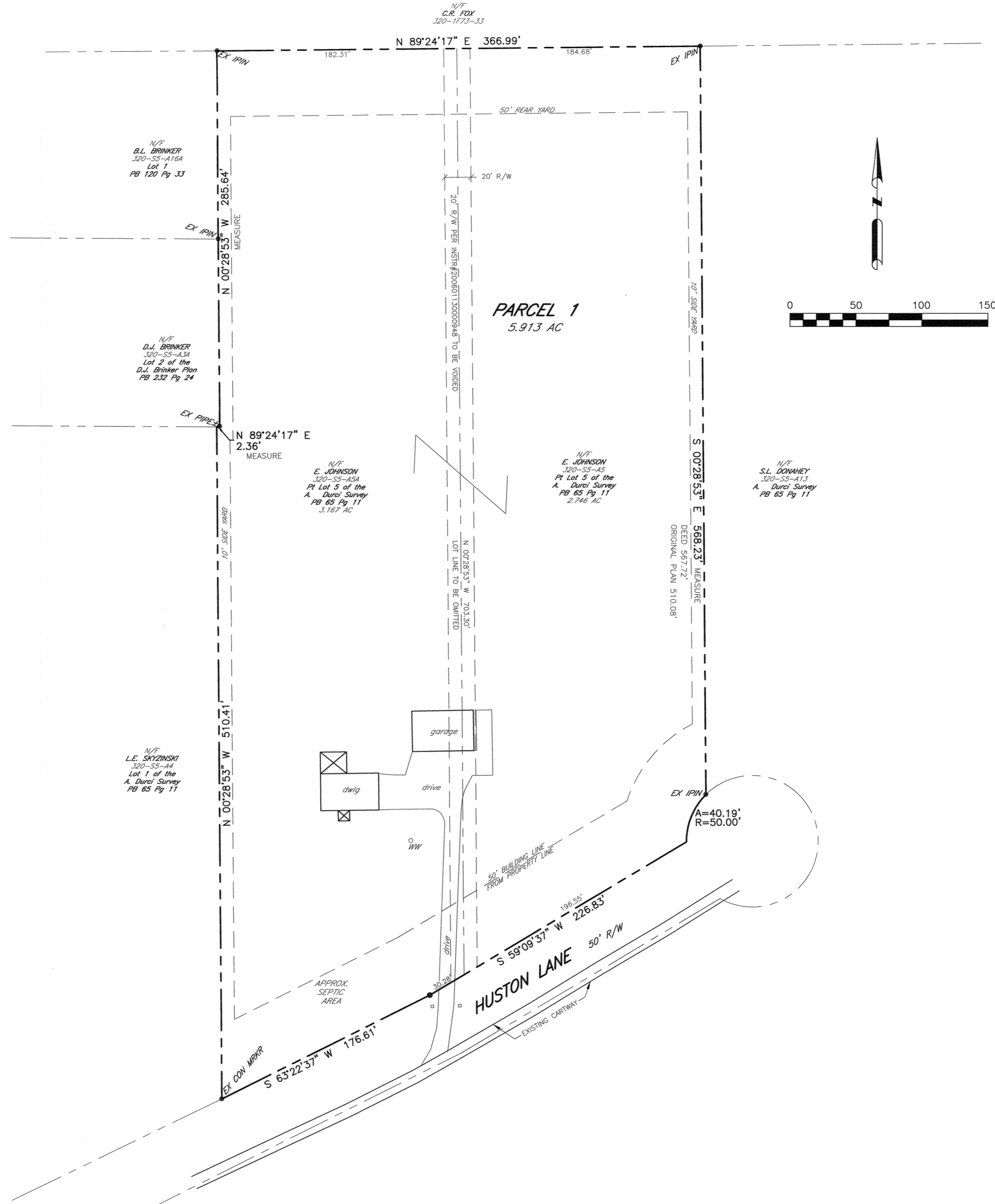
GIVEN UNDER MY HAND AND SEAL THIS 9th DAY OF April, 2021.

x Michele M. Mustello
 RECORDER OF DEEDS
 MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



PLAN ORIENTATION NOTE: THE BEARINGS SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (PA-S) / NAD 1983

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.



PROPERTY AREAS:

EXISTING TOTALS	
320-S5-ASA	3.167 ACRES
+320-S5-A5	2.746 ACRES
EXISTING TOTAL	5.913 ACRES
REVISED TOTALS	
PARCEL 1	5.913 ACRES

- GENERAL NOTES:**
- OWNERS: ERIC & KATHY JOHNSON
 - TAX IDS: 320-S5-A5 & ASA
 - ZONING DISTRICT: RESIDENTIAL AGRICULTURE
 - SETBACKS: FRONT LINE - 50' FROM PROPERTY LINE
 REAR - 50'
 SIDE - 10'
 - REFERENCES:
 - CURRENT DEEDS OF RECORD
 - PREVIOUSLY RECORDED PLANS
 - D.J. BRINKER PLAN
 PLAN BOOK 222 PG 24
 - ANDREW DURCI PLAN
 PLAN BOOK 65 PG 11
 - BRINKER SUBDIVISION
 PLAN BOOK 97 PG 34
 - BRINKER SUBDIVISION NO. 2
 PLAN BOOK 187 PG 40

REV	DESCRIPTION	BY	DATE

GRAFF
 SURVEYING
 GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION
E. JOHNSON PLAN
 BEING A
LOT CONSOLIDATION
 FOR
ERIC & KATHY JOHNSON

SITUATE
 WINFIELD TOWNSHIP
 BUTLER COUNTY, PENNSYLVANIA

DATE	DRAWN	CHECKED	SCALE
02/10/2021	BAG	Sdg	1" = 50'
PROJECT NO.	TAX PARCEL NO.	REVISION	
21-016	320-S5-A5, A5A	-	

RECORDED	20
PLAN BOOK	PAGE
393	23
SHEET	of

E. JOHNSON PLAN

Being a consolidation of Butler County Tax Parcels
 320-S5-A5A and 320-S5-A5

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT WE, DANIEL GALLAGHER AND JUSTIN L. VALENTINE, OF THE TOWNSHIP OF CLAY, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF CLAY, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CLAY, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CLAY, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 26 DAY OF MARCH 2020-2021

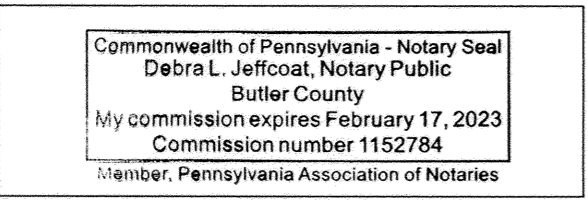
Daniel Gallagher
 DANIEL GALLAGHER
Justin L. Valentine
 JUSTIN L. VALENTINE

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED DANIEL GALLAGHER AND JUSTIN L. VALENTINE, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 26 DAY OF MARCH 2020-2021

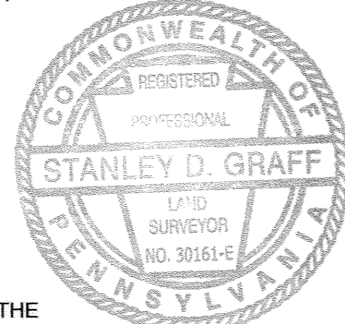
MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY 2023

Alison S. Juffcoat
 NOTARY PUBLIC



SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

DATE 5 Nov '20
Stanley D. Graff
 STANLEY D. GRAFF
 REG. NO. SU-030/614



MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLAY, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF CLAY ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS
 APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLAY THIS 3rd DAY OF December 2020.

John Blake SECRETARY
David K. Bendon CHAIRPERSON
 BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF CLAY THIS 1st DAY OF April 2021.

John Blake SECRETARY
Rita A. Jeger CHAIRPERSON
 PLANNING COMMISSION

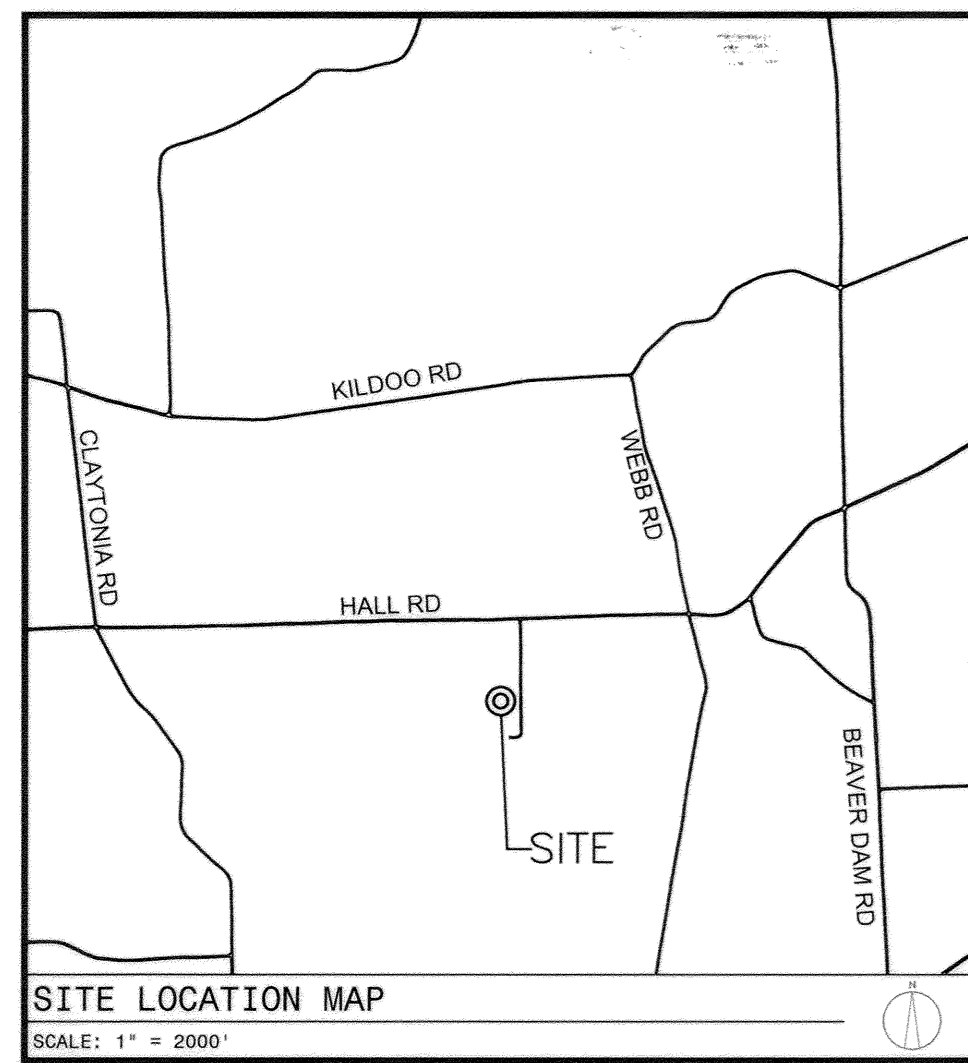
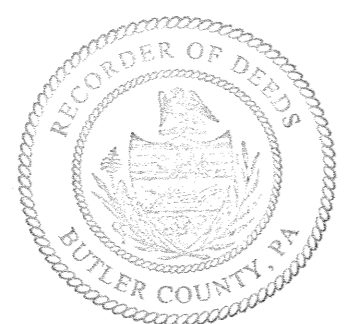
BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 18th DAY OF Nov. 2020.

R. H. JRM SECRETARY
S. H. JRM CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION

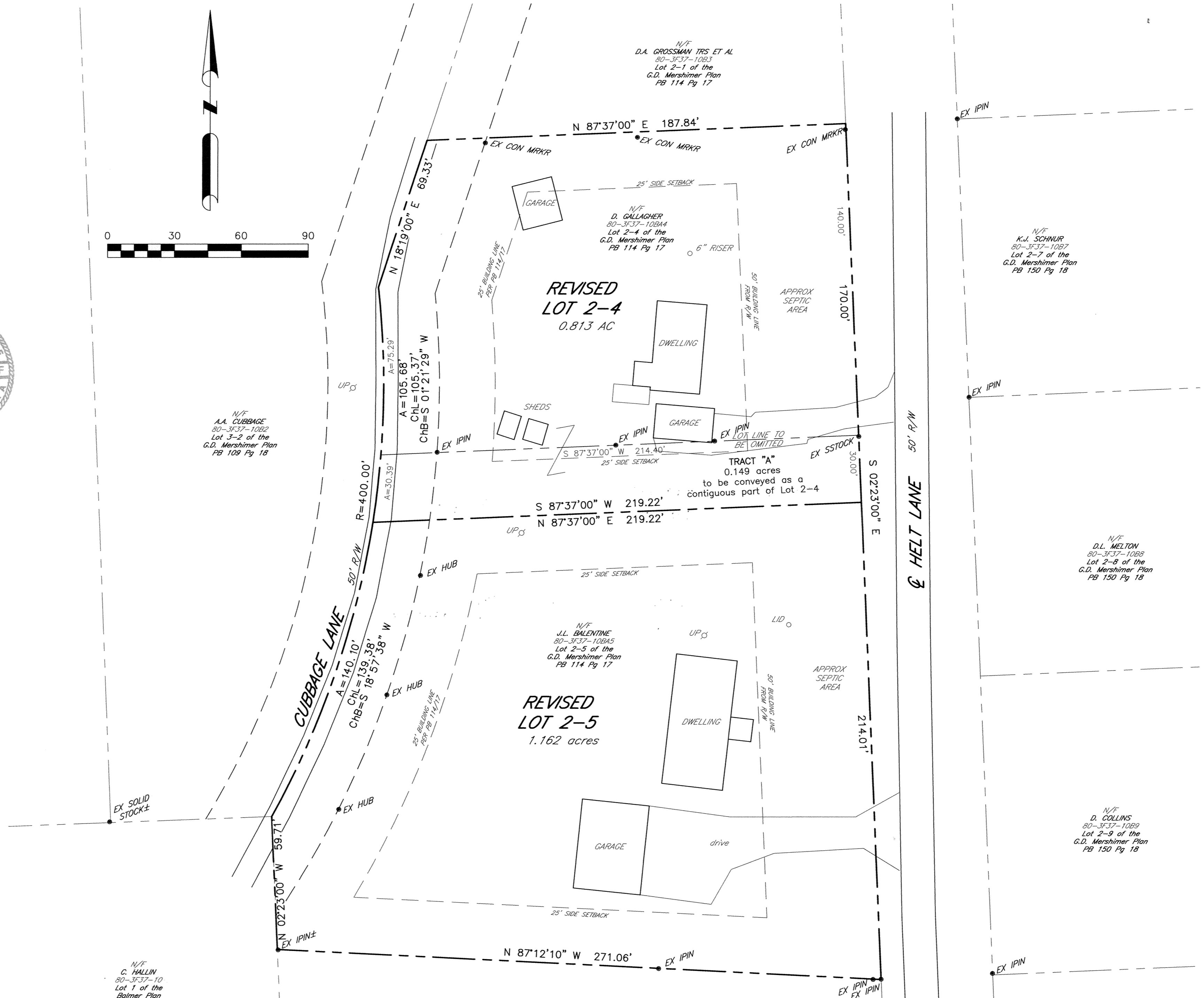
PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 393, PAGE(S) 24

GIVEN UNDER MY HAND AND SEAL THIS 9th DAY OF April 2021

Michele M. Mustello
 RECORDER OF DEEDS
MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.



PROPERTY AREAS:

EXISTING TOTALS	
LOT 2-4	0.664 ACRES
LOT 2-5	1.311 ACRES
EXISTING TOTAL	1.975 ACRES
REVISED LOT 2-4	0.664 ACRES
ORIGINAL LOT 2-4	0.149 ACRES
TRACT A	0.149 ACRES
REVISED LOT 2-4 TOTAL	0.813 ACRES
REVISED LOT 2-5	1.311 ACRES
ORIGINAL 10BAS	0.149 ACRES
TRACT A	0.149 ACRES
REVISED LOT 2-5 TOTAL	1.162 ACRES
REVISED TOTALS	
REVISED LOT 2-4	0.813 ACRES
REVISED LOT 2-5	1.162 ACRES
REVISED TOTAL	1.975 ACRES

- GENERAL NOTES:**
- OWNERS: 080-3F37-10BA4 - DANIEL GALLAGHER
 080-3F37-10BA5 - JUSTIN L. VALENTINE
 - SETBACKS: FRONT LINE - 50'
 BACK & SIDE - 25'
 - REFERENCES
 - CURRENT DEEDS OF RECORD
 - PREVIOUSLY RECORDED PLANS
 - BALMER PLAN
 PLAN BOOK 82 PG 13
 - G.D. MERSHIMER PLAN
 PLAN BOOK 109 PG 18
 - G.D. MERSHIMER PLAN
 PLAN BOOK 114 PG 17
 - G.D. MERSHIMER PLAN
 PLAN BOOK 150 PG 18
 - G.D. MERSHIMER PLAN
 PLAN BOOK 150 PG 19

GALLAGHER/BALENTINE PLAN

Being a lot line revision of Lots 2-4 and 2-5 of the G.D. Mershimer Plan, Plan Book 114 Pg 17, and being Butler County Tax Parcels 80-3F37-10BA4 (Lot 2-4) and 80-3F37-10BA5 (Lot 2-5)

RECORDED	20
PLAN BOOK	PAGE
393	24
SHEET	of

REV	DESCRIPTION	BY	DATE
 GRAFF SURVEYING LLC PO BOX 521 SAXONBURG, PA 16056 P: 724-352-3811 F: 724-352-1059 INFO@GRAFFSURVEYING.COM WWW.GRAFFSURVEYING.COM			
PROJECT DESCRIPTION GALLAGHER/BALENTINE PLAN BEING A LOT LINE REVISION FOR DANIEL GALLAGHER JUSTIN VALENTINE			
SITUATE CLAY TOWNSHIP BUTLER COUNTY, PENNSYLVANIA			
DATE	DRAWN	CHECKED	SCALE
10/28/2020	BAG	Sdg	1" = 30'
PROJECT NO.	TAX PARCEL NO.	REVISION	
20-194	80-3F37-10BA4 & 10BA5	-	

KNOW ALL MEN BY THESE PRESENTS; THAT Deborah J. Campbell, DOES HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN CONCORD TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIPS OF CONCORD, Deborah J. Campbell, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIPS OF CONCORD, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON Deborah J. Campbell, OUR SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 13th DAY OF April 2021.

ATTEST:
April Campbell WITNESS
Deborah J. Campbell OWNER

COMMONWEALTH/STATE OF Pennsylvania) SS:
 COUNTY OF BUTLER)
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, PERSONALLY APPEARED ABOVE NAMED DEBORAH J. CAMPBELL AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.
 WITNESS MY HAND AND SEAL THIS 13th DAY OF April 2021.
 MY COMMISSION EXPIRES THE 24th DAY OF June 2023.

Commonwealth of Pennsylvania - Notary Seal
 Caria D. Rugg, Notary Public
 Butler County
 My commission expires June 24, 2023
 Commission number 1022332
 Member, Pennsylvania Association of Notaries
Caria D. Rugg
 NOTARY PUBLIC

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CONCORD HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF CONCORD ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS, OR ROADS, OR GRADES, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

APPROVED/REVIEWED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CONCORD, THIS 13th DAY OF April, 2021.

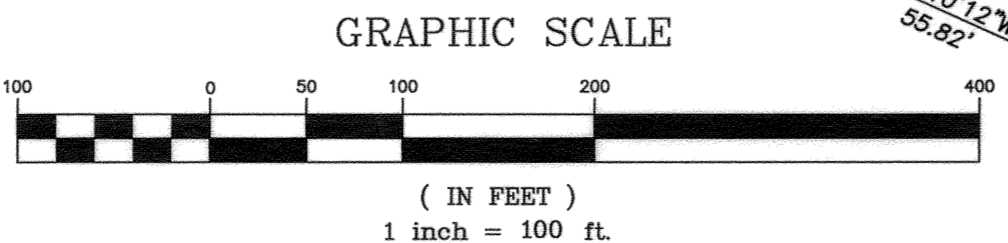
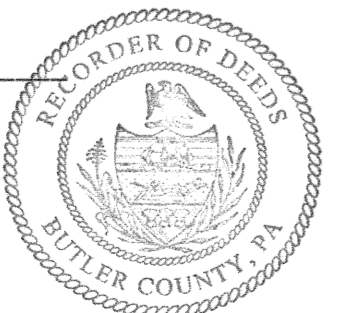
Michele J. Simpson SECRETARY
David L. Lacey CHAIRMAN, BOARD OF SUPERVISORS
W. David Hylton SUPERVISOR

I, JEFFREY A. SHUTY, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS AND OR AGENTS.
3/19/21 DATE
Jeffrey A. Shuty REG. NO. SU075509

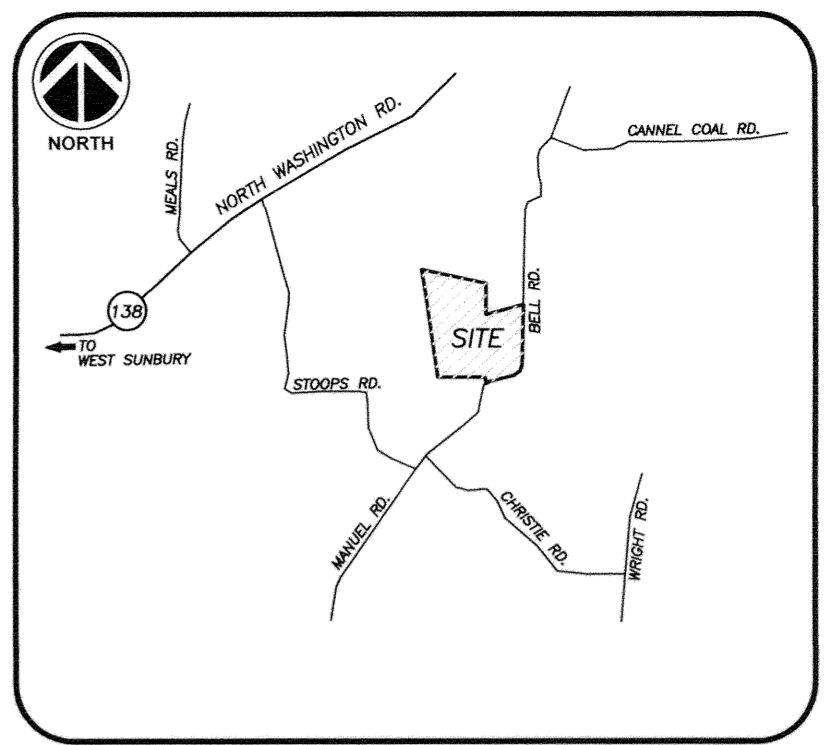
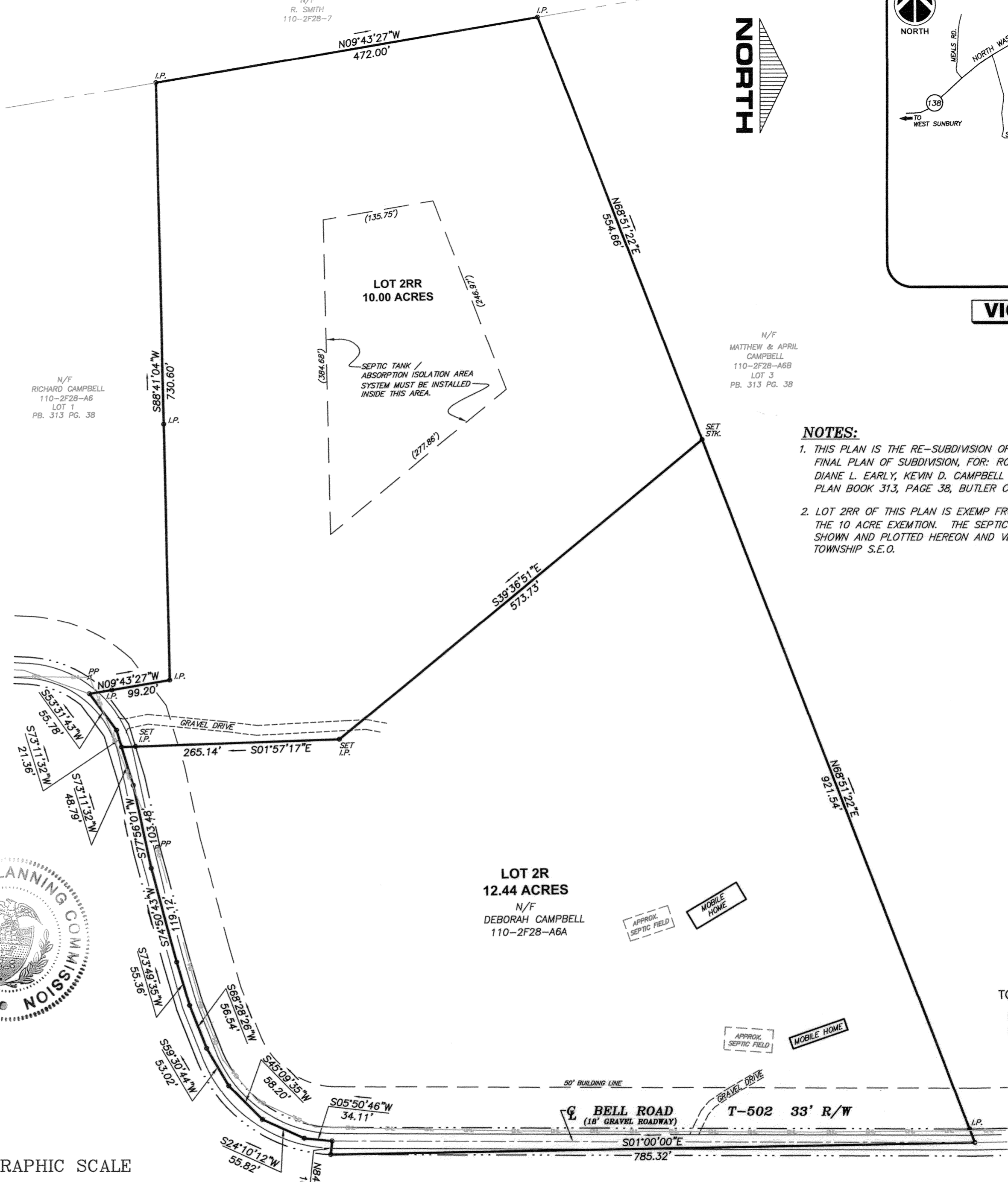
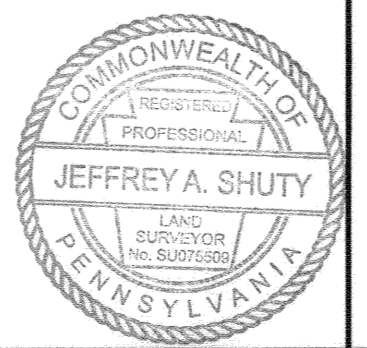
APPROVED/REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 17th DAY OF March 2021.
R. Ham SECRETARY
J. Ham CHAIRMAN
 Butler Co Plan # 21048

COMMONWEALTH OF PENNSYLVANIA) SS:
 COUNTY OF BUTLER)
 RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN SAID COUNTY IN PLAN BOOK VOLUME 393 PAGE 25.
 GIVEN UNDER MY HAND AND SEAL THIS 15th DAY OF April 2021.

Michele M. Mustello RECORDER
MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



PLAN BOOK	PAGE
393	25



VICINITY MAP

NOT TO SCALE

Instr: 202104150010678
 Pgs: 1 F: 545.00 4/15/2021 12:33 PM
 Michele Mustello
 Butler County Recorder PA

- NOTES:**
1. THIS PLAN IS THE RE-SUBDIVISION OF EXISTING LOT 2 OF THE FINAL PLAN OF SUBDIVISION, FOR: RONALD E. CAMPBELL, RICHARD L. CAMPBELL, DIANE L. EARLY, KEVIN D. CAMPBELL & PATTI A. SCHULTHEIS, AS RECORDED IN PLAN BOOK 313, PAGE 38, BUTLER COUNTY RECORDS.
 2. LOT 2RR OF THIS PLAN IS EXEMP FROM SEWAGE PLANNING DUE TO THE 10 ACRE EXEMPTION. THE SEPTIC AND ABSORPTION AREA HAS BEEN SHOWN AND PLOTTED HEREON AND VERIFIED AND CHECKED BY THE TOWNSHIP S.E.O.

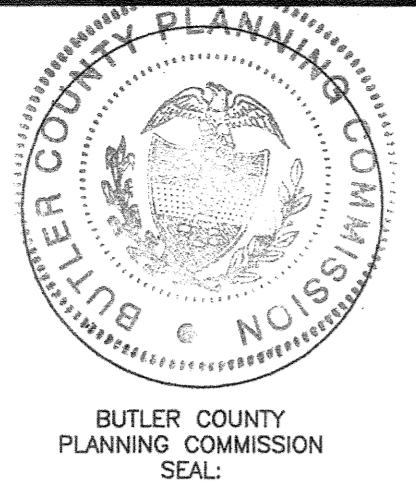
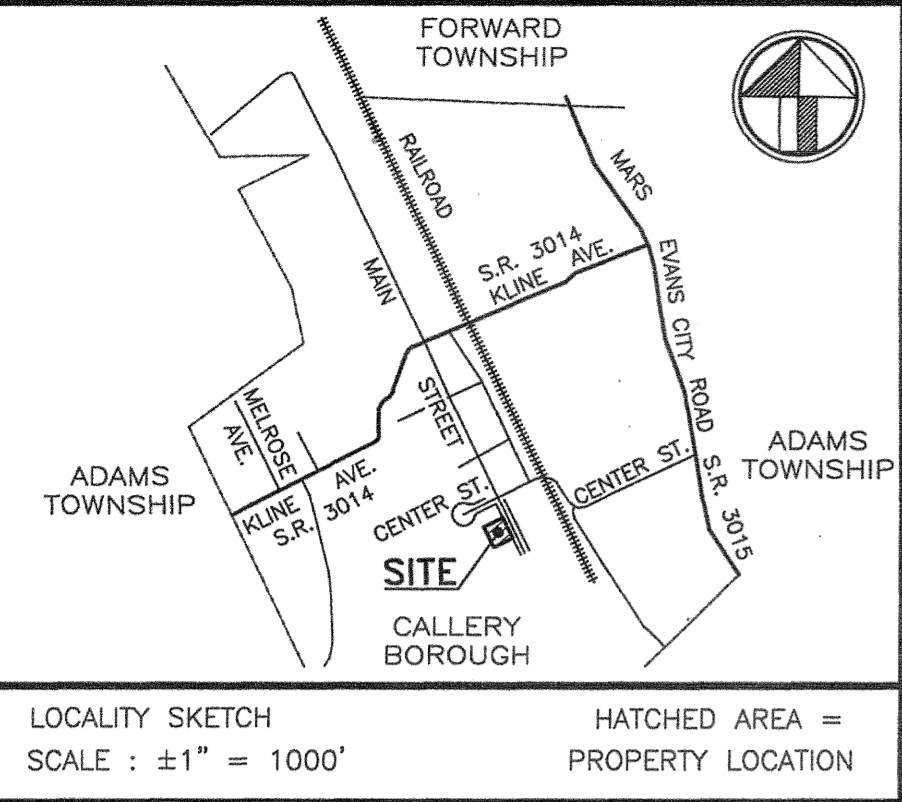
LOT 2R
12.44 ACRES
 N/F
 DEBORAH CAMPBELL
 110-2F28-A6A

TAX ID: 110-2F28-A6A
 INSTR: 200905290011685

TOTAL PLAN AREA 22.44 ACRES
 LOT 2RR 10.00 ACRES
 LOT 2R 12.44 ACRES

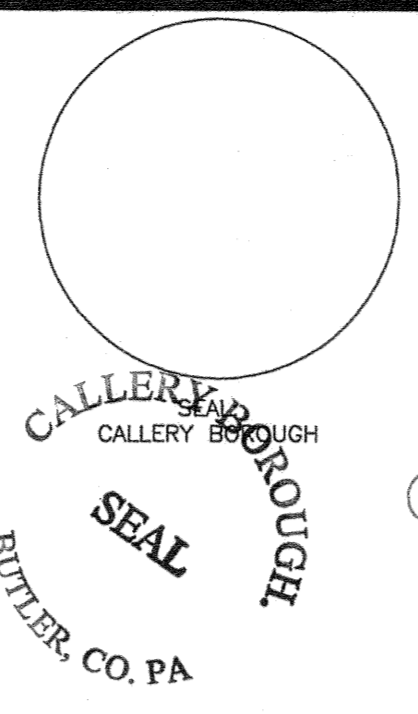
OWNER:
 DEBORAH CAMPBELL
 160 BELL RD.
 KARNS CITY, PA 16041
 724-894-2962

NORTHERN SURVEYORS AND ASSOCIATES 137 LINK LANE SLIPPERY ROCK, PA 16057 (724)530-6889	Scale 1" = 100'	CAMPBELL - SUBDIVISION PLAN Situate in Concord Township Butler County, Pa.
	Date FEB. 25, 2021	
Job No. 3371	Prepared For	MATTHEW & APRIL CAMPBELL Sheet No. 1 of 1



REVIEWED WITH OR WITHOUT COMMENTS BY THE BUTLER COUNTY PLANNING COMMISSION THIS 17th DAY OF MARCH, 2021.

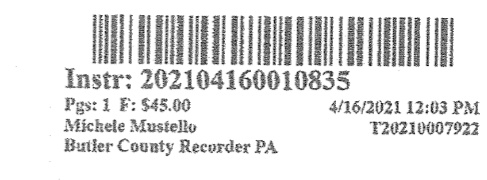
R. HUGER Secretary, J. HARMON Director/Chairman



BOROUGH COUNCIL OF THE BOROUGH OF CALLERY HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, BOROUGH COUNCIL HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LANDS OR PUBLIC FACILITIES AND HAS NO OBLIGATION, LEGAL OR OTHERWISE, TO IMPROVE OR MAINTAIN SUCH STREETS, LANDS OR PUBLIC FACILITIES.

THIS PLAN APPROVED BY THE BOROUGH COUNCIL OF THE BOROUGH OF CALLERY, THIS 6th DAY OF APRIL, 2021.

Signatures of Linda MacHenry (Secretary) and Edward A. Brumby (President) of Callery Borough Council.



KNOW ALL MEN BY THESE PRESENTS, THAT WE, THOMAS C. & CYNTHIA J. HARMON, OF THE BOROUGH OF CALLERY, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS PLAN AS OUR PLAN OF LOTS OF OUR PROPERTY SITUATE IN THE BOROUGH OF CALLERY, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY IRREVOCABLY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE, AND UTILITY PURPOSES, ALL STREETS AND OTHER PUBLIC PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. ANY FUTURE ACCEPTANCE OF THE STREETS OR PROPERTY BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER OR BOROUGH OF CALLERY, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND BOROUGH OF CALLERY, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND OTHER PUBLIC USES, AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THOMAS C. & CYNTHIA J. HARMON, OUR HEIRS, EXECUTORS, ADMINISTRATORS, AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE HERETO SET OUR HAND AND SEAL, THIS 31 DAY OF March, 2021.

Signatures of Christine A. Kaelin (Notary Public) and Thomas C. & Cynthia J. Harmon.

WE, THOMAS C. & CYNTHIA J. HARMON, FULLY UNDERSTANDING AND AGREE THAT THE APPROVAL OF THE BOROUGH OF CALLERY, IF HERETO ATTACHED, WILL BECOME NULL AND VOID UNLESS THIS PLAN IS RECORDED IN THE RECORDER OF DEEDS OFFICE OF BUTLER COUNTY, COUNTY COURTHOUSE, BUTLER PENNSYLVANIA, WITHIN NINETY (90) DAYS OF DATE OF SAID APPROVAL.

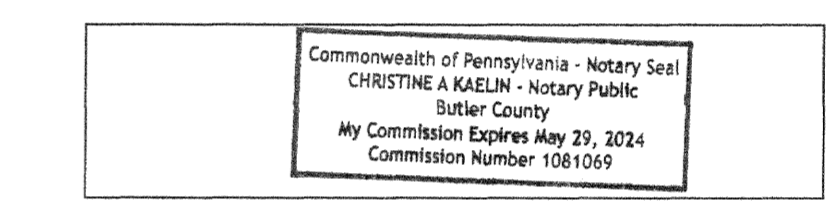
Signatures of Thomas C. & Cynthia J. Harmon.

COMMONWEALTH OF PENNSYLVANIA) COUNTY OF BUTLER)

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY PERSONALLY APPEARED THOMAS C. & CYNTHIA J. HARMON, WHO BEING DULY SWORN ACCORDING TO LAW, DISPOSES AND SAYS THAT HE/SHE ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT HIS/HER DIRECTION, THAT HE/SHE ACKNOWLEDGES THE SAME TO BE HIS/HER ACT AND DEED AND HE/SHE DESIRES THE SAME TO BE RECORDED AS SUCH.

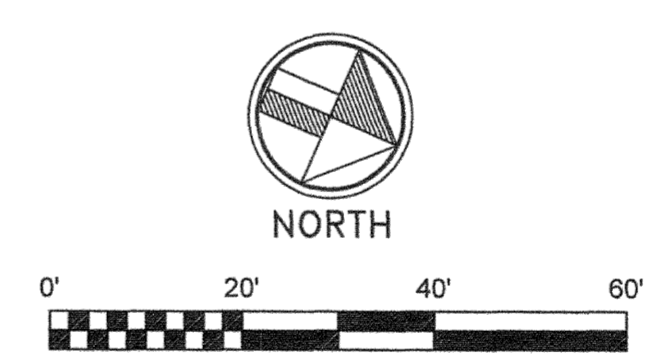
WITNESS MY HAND AND NOTARIAL SEAL THIS 31 DAY OF March, 2021. MY COMMISSION EXPIRES THE 29 DAY OF May, 2024.

Christine A. Kaelin, Notary Public

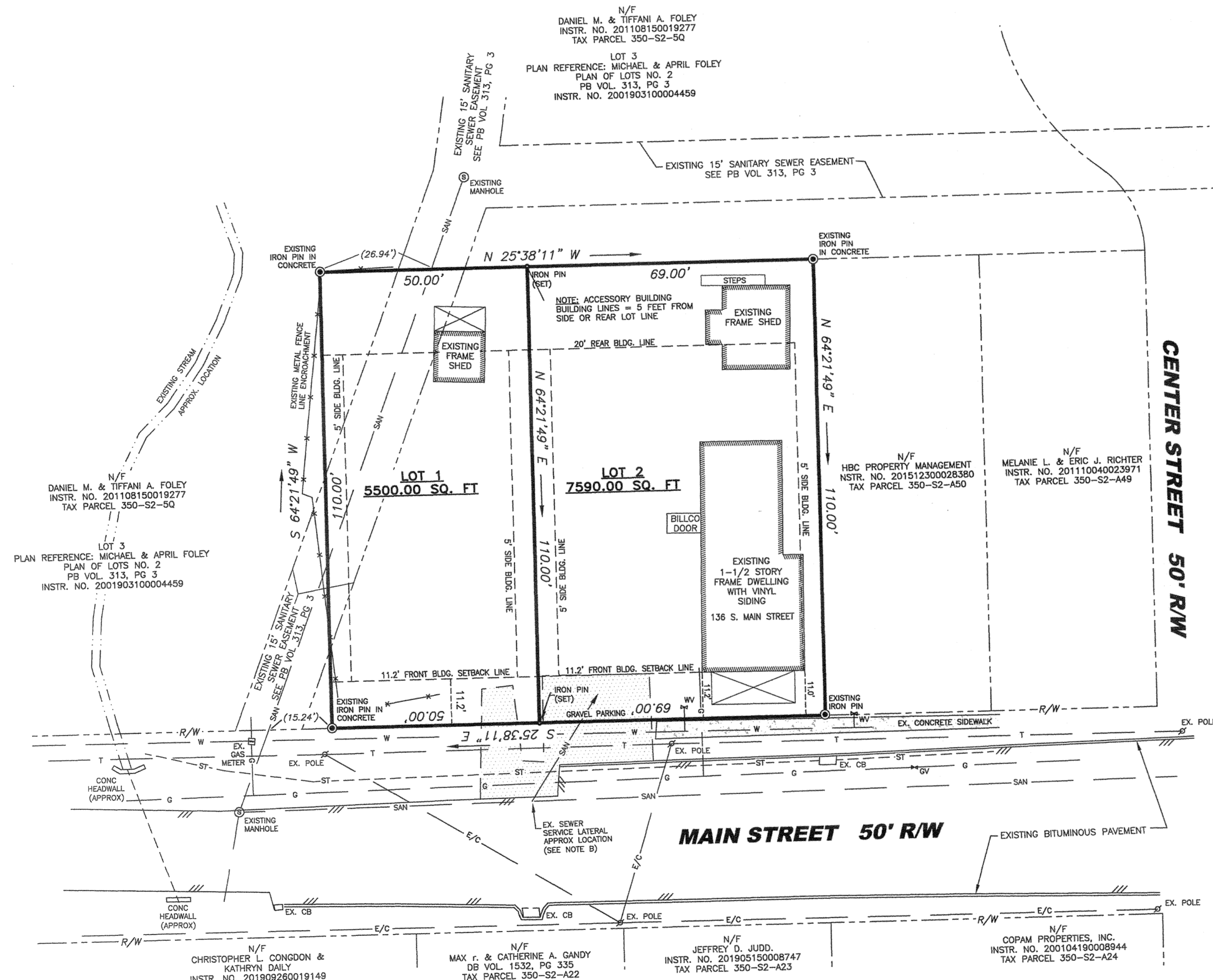


WE, THOMAS C. & CYNTHIA J. HARMON, DO HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY SHOWN HEREON IS IN THE NAME OF THOMAS C. & CYNTHIA J. HARMON AND IS RECORDED IN DEED BOOK VOLUME 2998, PAGE 835. WE FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

Signatures of Thomas C. & Cynthia J. Harmon as witnesses.



SCALE: 1" = 20'. THE BEARING DATUM FOR THIS PLAN IS ON THE PENNSYLVANIA STATE PLANE SYSTEM PA SOUTH NAD 1983



LOT 1 5500.00 SQ. FT. DANIEL M. & TIFFANI A. FOLEY INSTR. NO. 201108150019277 TAX PARCEL 350-52-50

LOT 2 7590.00 SQ. FT. PLAN REFERENCE: MICHAEL & APRIL FOLEY PLAN OF LOTS NO. 2 PB VOL. 313, PG 3 INSTR. NO. 2001903100004459

LOT 3 136 S. MAIN STREET EXISTING 1-1/2 STORY FRAME DWELLING WITH VINYL SIDING

CHRISTOPHER L. CONGOND & KATHRYN DAILY INSTR. NO. 201902060019149 TAX PARCEL 350-52-5D

MAX R. & CATHERINE A. GANDY DB VOL. 1532, PG 335 TAX PARCEL 350-52-422

JEFFREY D. JUDD INSTR. NO. 201903150008747 TAX PARCEL 350-52-423

COPAM PROPERTIES, INC. INSTR. NO. 200104190008844 TAX PARCEL 350-52-424

LEGEND table listing symbols for existing catch basin, water valve, gas valve, subsurface gas line, sanitary sewer line, storm pipe, water line, overhead electric/TV cable, and overhead telephone line.

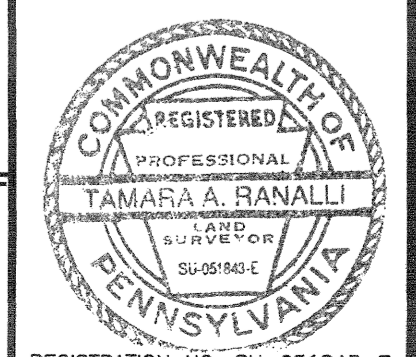
- NOTES: (A) THESE PROPERTIES ARE PRESENTLY SERVICED BY A PUBLIC WATER SYSTEM OF THE MUNICIPAL WATER AUTHORITY OF ADAMS TOWNSHIP AND A PUBLIC SANITARY SEWER SYSTEM OF THE EVANS CITY WATER & SEWER AUTHORITY. (B) THE APPROXIMATE SUBSURFACE LOCATION OF THE SEWER SERVICE LATERAL WAS TAKEN FROM THE BOROUGH OF CALLERY WASTEWATER COLLECTION SYSTEM PLAN AS PREPARED BY WIDMER ENGINEERING INC SHEET 32 OF 45, DATED APRIL 17, 1986. (C) UTILITIES AS SHOWN ON THIS PLAN ARE FROM FIELD LOCATIONS, PLANS/DEEDS OF RECORD. LOCATIONS OF ALL UTILITIES MAY NOT BE SHOWN ON THIS PLAN. ANY SUBSURFACE UTILITIES SHOWN, ARE SHOWN IN THEIR APPROXIMATE LOCATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT PA ONE CALL PRIOR TO CONSTRUCTION AND/OR EXCAVATION TO VERIFY THE LOCATION, SIZE AND DEPTHS. (D) THIS SURVEY AND PLAN IS SUBJECT TO ALL EASEMENTS, COVENANTS, RESTRICTIONS AND AGREEMENTS OF PRIOR RECORD.

13,090 SQ. FT. = 0.30 ACRE TOTAL ACREAGE. ZONING DISTRICT: VILLAGE CENTER ZONE DISTRICT (V). OWNER: THOMAS C. & CYNTHIA J. HARMON, 136 SOUTH MAIN STREET, P.O. BOX 78, CALLERY, PA 16024. DEED REFERENCE: DEED BOOK VOLUME 2998, PAGE 835. TAX PARCEL NO.: 350-52-A51

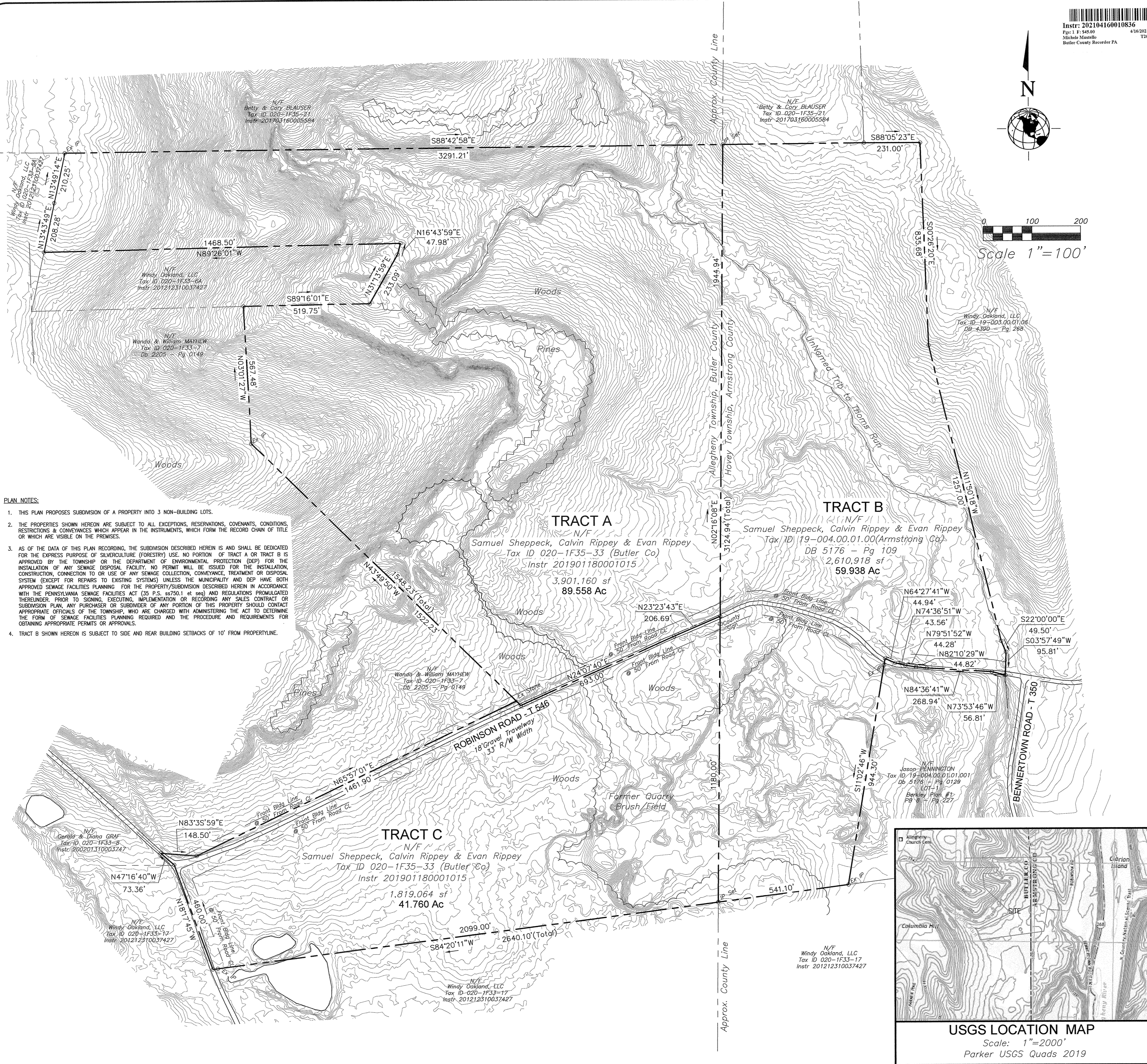
FINAL PLAN THOMAS C. HARMON SUBDIVISION PLAN

SITUATE: CALLERY BOROUGH, BUTLER COUNTY, PA. DATE: MARCH 9, 2021 SCALE: 1"=20'

Professional information for SURVEY TECH & ASSOCIATES, LLC, including address, phone, fax, and registration details for land surveyor Tamara A. Ranalli.



REVISIONS: [Signature] DWG. NO: 5587-2021-SUB (Subdivision) HARMON-STATE.CRD



- PLAN NOTES:**
1. THIS PLAN PROPOSES SUBDIVISION OF A PROPERTY INTO 3 NON-BUILDING LOTS.
 2. THE PROPERTIES SHOWN HEREON ARE SUBJECT TO ALL EXCEPTIONS, RESERVATIONS, COVENANTS, CONDITIONS, RESTRICTIONS & CONVEYANCES WHICH APPEAR IN THE INSTRUMENTS, WHICH FORM THE RECORD CHAIN OF TITLE OR WHICH ARE VISIBLE ON THE PREMISES.
 3. AS OF THE DATE OF THIS PLAN RECORDING, THE SUBDIVISION DESCRIBED HEREIN IS AND SHALL BE DEDICATED FOR THE EXPRESS PURPOSE OF SILVICULTURE (FORESTRY) USE. NO PORTION OF TRACT A OR TRACT B IS APPROVED BY THE TOWNSHIP OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) FOR THE INSTALLATION OF ANY SEWAGE DISPOSAL FACILITY. NO PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE COLLECTION, CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM (EXCEPT FOR REPAIRS TO EXISTING SYSTEMS) UNLESS THE MUNICIPALITY AND DEP HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR THE PROPERTY/SUBDIVISION DESCRIBED HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT (35 P.S. §§750.1 - 800) AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTATION OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR SUBDIVIDER OF ANY PORTION OF THIS PROPERTY SHOULD CONTACT APPROPRIATE OFFICIALS OF THE TOWNSHIP, WHO ARE CHARGED WITH ADMINISTERING THE ACT TO DETERMINE THE FORM OF SEWAGE FACILITIES PLANNING REQUIRED AND THE PROCEDURE AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR APPROVALS.
 4. TRACT B SHOWN HEREON IS SUBJECT TO SIDE AND REAR BUILDING SETBACKS OF 10' FROM PROPERTYLINE.

Instr: 202104160010836
 Page: 1 of 1
 4/16/2021 12:05 PM
 Michele Mustello
 Butler County Recorder PA



OWNERS ADOPTION
 KNOW ALL MEN BY THESE PRESENTS, THAT SAMUEL L. SHEPPECK, EVAN L. RIPPY, & CALVIN C. RIPPY, OF ALLEGHENY TOWNSHIP, BUTLER COUNTY, AND HOVEY TOWNSHIP, ARMSTRONG COUNTY, PENNSYLVANIA, DO HEREBY ADOPT THIS PLAN OF SUBDIVISION OF OUR PROPERTY SITUATED IN ALLEGHENY TOWNSHIP, BUTLER COUNTY, AND HOVEY TOWNSHIP, ARMSTRONG COUNTY, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECTS AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS RIGHTS-OF-WAY AND EASEMENTS BY ALLEGHENY TOWNSHIP, BUTLER COUNTY, AND HOVEY TOWNSHIP, ARMSTRONG COUNTY AND COMMONWEALTH OF PENNSYLVANIA.

WE HEREBY AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, ALLEGHENY TOWNSHIP, BUTLER COUNTY, AND HOVEY TOWNSHIP, ARMSTRONG COUNTY, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED.

THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE AFOREMENTIONED OWNERS, OUR SUCCESSORS, ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE HERETO SET OUR HANDS AND SEALS THIS 14th DAY OF FEBRUARY, 2021.

ATTEST:
 Notary Public Signatures: Shannon M. Moore, Samuel L. Sheppeck, Evan L. Rippey, Calvin C. Rippey.
 My Commission Expires: June 16, 2024.

INDIVIDUAL ACKNOWLEDGEMENT
 COMMONWEALTH OF PENNSYLVANIA) SS:
 COUNTY OF BUTLER)

BEFORE ME, THE SCRIBER, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, PERSONALLY APPEARED THE ABOVE NAMED SAMUEL L. SHEPPECK, EVAN L. RIPPY, & CALVIN C. RIPPY, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 14th DAY OF FEBRUARY, 2021.
 MY COMMISSION EXPIRES: 16th DAY OF JUNE, 2024.

WE, SAMUEL L. SHEPPECK, EVAN L. RIPPY, & CALVIN C. RIPPY, OWNERS OF THE PLAN SHOWN HEREON, DO CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF SAMUEL L. SHEPPECK, EVAN L. RIPPY, & CALVIN C. RIPPY, AS RECORDED AS INSTRUMENT 201901180001051 IN BUTLER COUNTY RECORDER OF DEEDS OFFICE.

Witness Signatures: Samuel L. Sheppeck, Evan L. Rippey, Calvin C. Rippey.

MUNICIPAL APPROVAL

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF ALLEGHENY, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF ALLEGHENY ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS, OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP.

REVIEWED AND APPROVED THIS 9 DAY OF MARCH, 2021.
 Secretary: Rita Parry, Chairman: Charles Starn

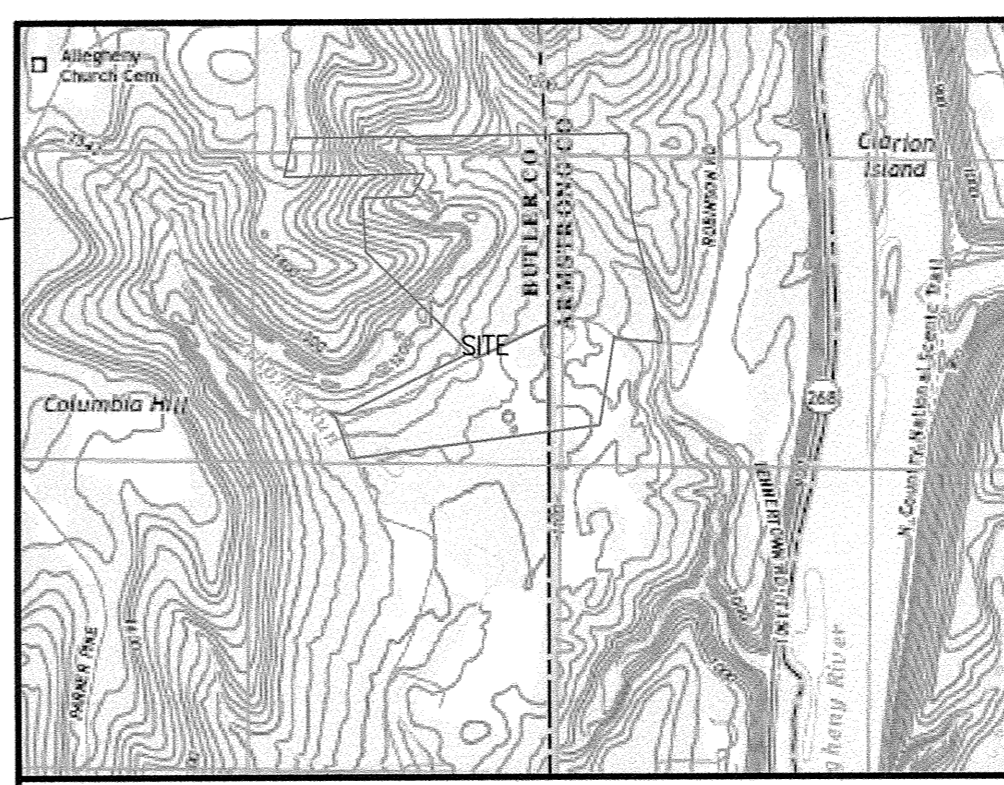
BUTLER COUNTY PLANNING COMMISSION APPROVAL
 REVIEWED/APPROVED BY THE BUTLER COUNTY PLANNING COMMISSION
 On 8th DAY OF APRIL, 2021.
 Secretary: Rita Parry, Chairman: John H. Hagan
 SEE COMMENTS ON FILE AT THE BUTLER COUNTY PLANNING COMMISSION
 PLAN NUMBER: 21001 (SEAL)

PROOF OF RECORDING
 COMMONWEALTH OF PENNSYLVANIA) SS:
 COUNTY OF BUTLER)

RECORDED IN THE RECORDER'S OFFICE FOR THE RECORDING OF DEEDS, AND PLANS IN SAID COUNTY IN PLAN BOOK VOLUME 393 PAGE 27
 GIVEN UNDER OUR HAND AND SEAL THIS 16 DAY OF APRIL, 2021.
 (SEAL) Recorder: Michele Mustello

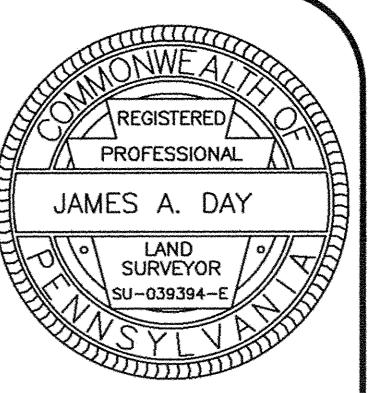
PROFESSIONAL LAND SURVEYOR CERTIFICATE
 I, JAMES A. DAY, A REGISTERED LAND SURVEYOR FOR THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.
 DATE: 02-14-2021
 REGISTRATION NO. SU-039394-E

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024
 SUBDIVISION OWNER CONTACT:
 SAMUEL L. SHEPPECK
 951 MAPLE FURNACE ROAD
 PARKER, PA 16049



USGS LOCATION MAP
 Scale: 1"=2000'
 Parker USGS Quads 2019

RECORDED
 PLAN BOOK **393** PAGE **27**



Situated at:
 ROBINSON ROAD
 ALLEGHENY TOWNSHIP, BUTLER COUNTY, PA
 And
 HOVEY TOWNSHIP, ARMSTRONG COUNTY, PA

SUBDIVISION PLAN
 LANDS OF
SHEPPECK & RIPPY

JAMES A. DAY, P.E., P.L.S.
 CONSULTING ENGINEERING SERVICES
 304 Breach Road
 Butler, PA 16001
 P/Fax: 724-263-2627
 email: jday@jdayms.com

DRAWING DATE: 01-08-2021
 SCALE: 1"= 200'

ACKNOWLEDGEMENT OF NOTARY PUBLIC

BEFORE ME, A NOTARY PUBLIC, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED DALE A. HILLIARD, AND ACKNOWLEDGED THE FOREGOING ADOPTION, DEDICATION AND PLAN TO BE HIS ACT AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 22nd DAY OF MARCH 2021.

MY COMMISSION EXPIRES THE 22nd DAY OF DECEMBER 2024.

Notary Public Vance Wagner, Notary Public Butler County, My commission expires December 22, 2024, Commission number 1211810.

OWNER'S ADOPTION

I, DALE A. HILLIARD, OWNER OF LAND SHOWN ON THE HILLIARD LOT LINE REVISION PLAN HEREBY ADOPT THIS PLAN AS MY PLAN OF LOTS AND IRREVOCABLY DEDICATED ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. I HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF BUFFALO, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC STREETS OR PROPERTY AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE CORPORATION AND UPON ITS SUCCESSORS AND ASSIGNS.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 22nd DAY OF MARCH 2021.

Dale A. Hilliard, DALE A. HILLIARD

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY OF OBSERVED EVIDENCE ONLY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

THE SUBDIVIDER AGREES TO INDEMNIFY AND SAVE HARMLESS THE TOWNSHIP OF BUFFALO, ITS AGENTS, SERVANTS AND/OR EMPLOYEES FROM ANY AND ALL LIABILITY BY REASON OF THE TOWNSHIP RELIANCE UPON THE PLANS, DRAWINGS, SPECIFICATIONS AND/OR OTHER STATEMENTS SUBMITTED BY OR THROUGH THE SUBDIVIDER RISING OUT OF OR BY REASON OF DAMAGE WHICH MAY BE FOUND TO EXIST TO PROPERTY OR PROPERTY OWNERS OR OCCUPIERS OTHER THAN THE SUBDIVIDER, AS A RESULT OF THE IMPLEMENTATION OF THE PROPOSED SUBDIVISION.

LEGEND OF SYMBOLS & ABBREVIATIONS

- POWER POLE (PP), FIRE HYDRANT (FH), WATER VALVE (WV), PROPOSED WATER WELL, GAS VALVE (GV), GAS METER (GMT), SANITARY SEWER MANHOLE, CLEAN OUT (CO), CHAIN LINK FENCE, BOARD FENCE, WATER LINE, GAS LINE, OVERHEAD ELECTRIC, OVERHEAD TELEPHONE/CABLE, UNDERGROUND ELECTRIC, UNDERGROUND TELEPHONE/CABLE

Bradley R. & Kristen B. Pavlina Instrument #201605180009658 Tax Parcel: 040-1F05-14EA & 040-1F05-14ET

Sherry R. & Thomas Watt Instrument #201701050000326 Tax Parcel: 040-1F05-14EP

Timothy P. Doyle and Andrea J. Hinds-Sherman Instrument #200810300024363 Tax Parcel: 040-1F05-14EC

Keith Harvey & Mark Harvey Instrument #202012170030096 Tax Parcel: 040-1F05-14C

FEMA FLOOD ZONE INFORMATION

BASED ON AN INSPECTION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S MAP NUMBERS 42019C05800 & 42019C05860 BOTH WITH AN EFFECTIVE DATE OF AUGUST 2, 2018 FOR TOWNSHIP OF BUFFALO, BUTLER COUNTY, PENNSYLVANIA, THE PROPERTY LIES PRIMARILY IN ZONE "X", WHICH IS DETERMINED AS AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

NOTICE TO PURCHASERS: THERE MAY BE EXISTING UTILITIES, DRAINAGEWAYS AND EASEMENTS CROSSING THIS SUBDIVISION WHICH WERE NOT APPARENT FROM A SURFACE INSPECTION OF THE PREMISES. UTILITY, DRAINAGEWAYS, AND ANY OTHER EASEMENTS SHALL REMAIN AS THEY APPEAR IN PRIOR INSTRUMENTS OF RECORD. OWNERS OF LOTS IN THIS SUBDIVISION TAKE TITLE SUBJECT TO THESE EASEMENTS.

OWNER INFORMATION

OWNER: DALE HILLIARD, ADDRESS: 142 DOYLE ROAD SARVER, PA 16055, TELEPHONE: (724) 584-4055, SOURCE OF TITLE: DBV. 1087, PAGE 79 & DBV. 1682, PAGE 27, PARCEL ID: 040-1F05-15A2 & 040-1F05-15A

PARCEL DATA

Table with 2 columns: Parcel ID, Acreage. Rows include 040-1F05-15A (32.76 ACRES), 040-1F05-15A2 (1.00 ACRES).

PURPOSE OF PLAN

THE PURPOSE OF THIS PLAN IS TO REVISE THE LOTS LINES OF PARCEL ID 040-1F05-15A2 OWNED BY DALE A. HILLIARD AND PARCEL ID 040-1F05-15A ALSO OWNED BY DALE A. HILLIARD. TRACT "A" WILL BE REMOVED FROM PARCEL ID 040-1F05-15A AND ADDED TO PARCEL ID 040-1F05-15A2.

NO NEW BUILDABLE LOTS ARE CREATED. ADDITIONAL ROAD R/W WILL BE DEDICATED TO THE TOWNSHIP TO ALLOW FOR A FULL 25' OF ROAD R/W SOUTH OF THE DOYLE ROAD CENTERLINE.

SURVEY NOTES

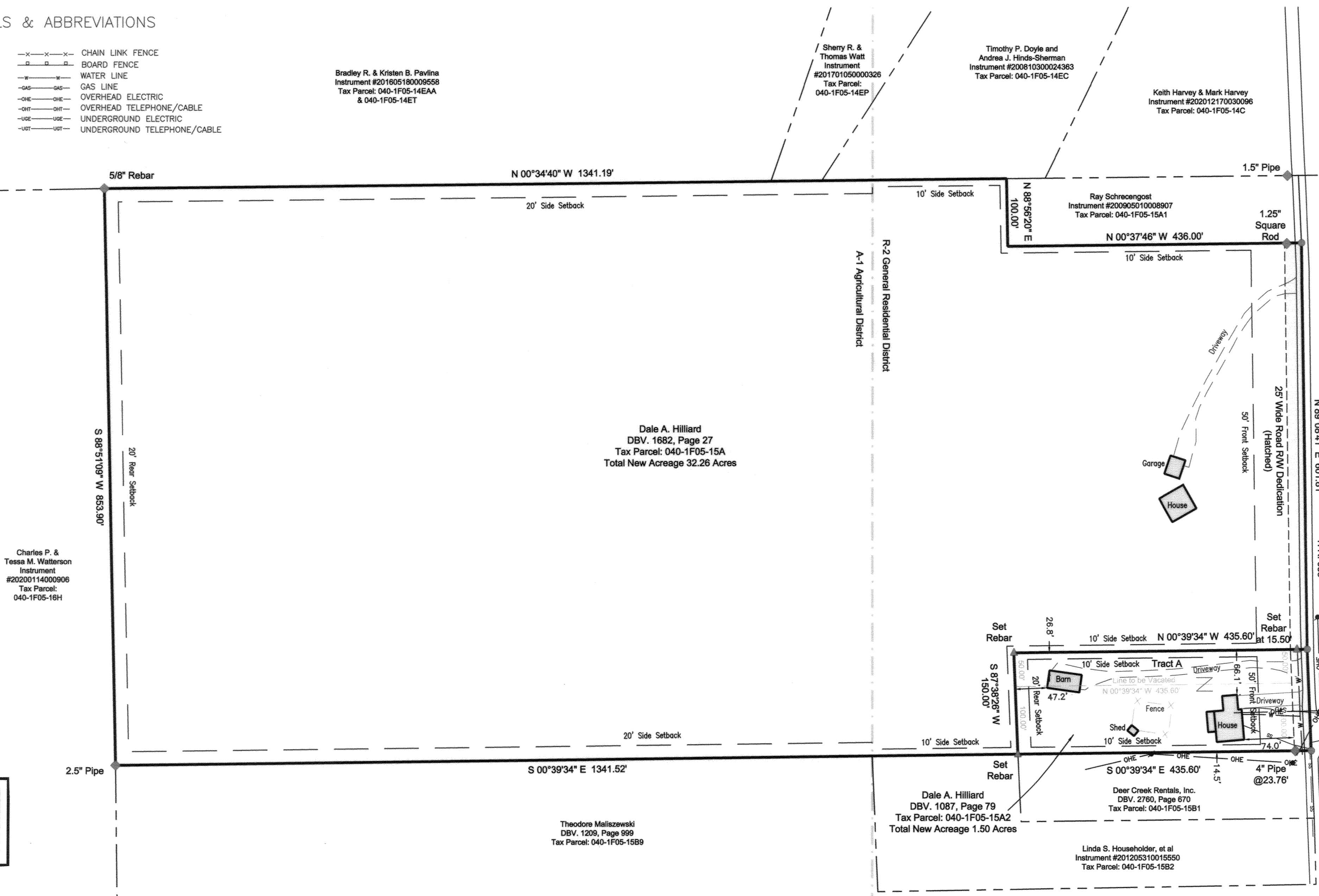
THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. THE PROPERTY IS SUBJECT TO EASEMENTS, SERVICES, RIGHT-OF-WAYS, LEASES, RESERVATIONS, EXCEPTIONS, RESTRICTIONS, ETC., IF ANY MAY APPEAR, EITHER RECORDED OR UNRECORDED.

SURVEYOR'S CERTIFICATION

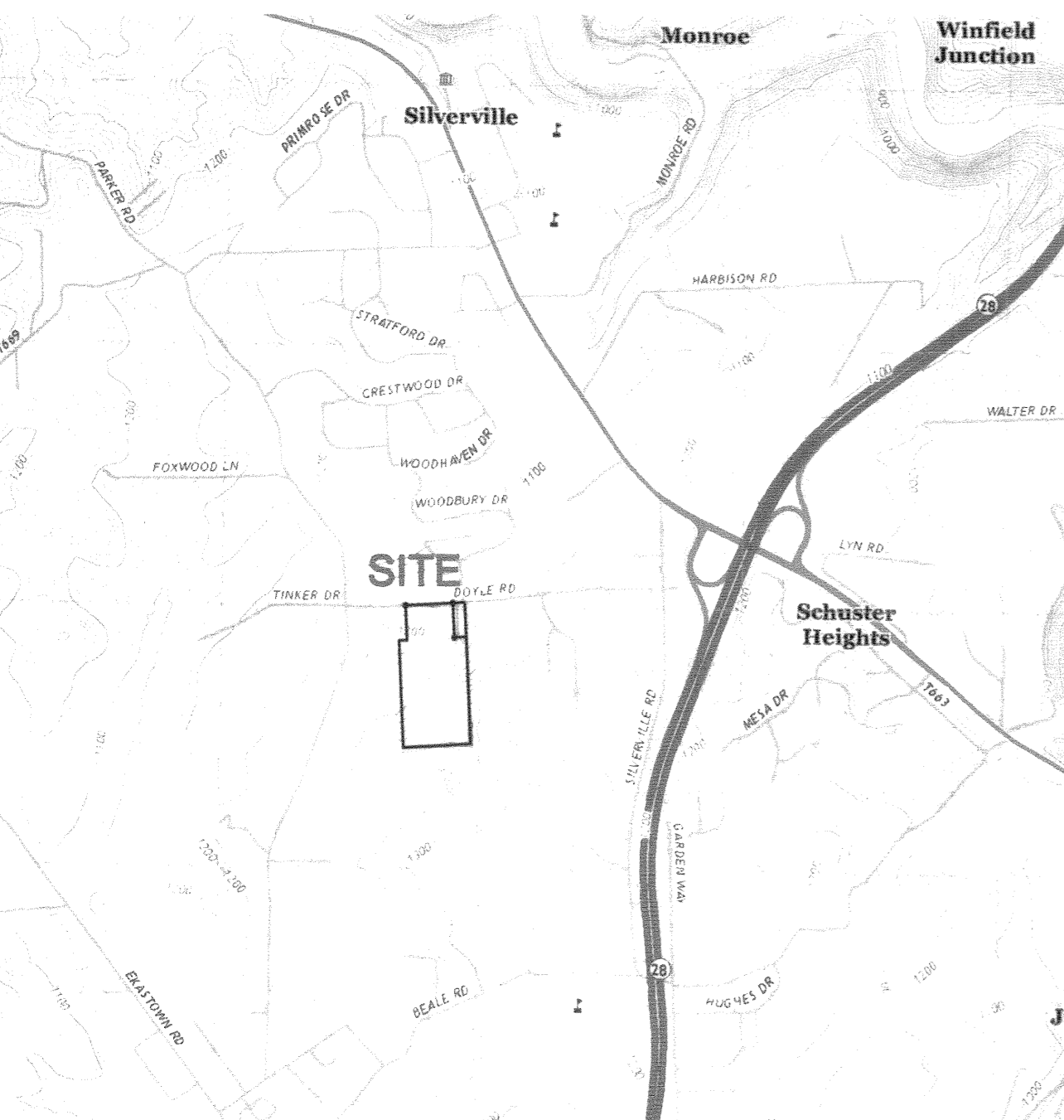
I, RYAN JONES, HEREBY CERTIFY THAT I AM A REGISTERED SURVEYOR IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, THAT THIS PLAN CORRECTLY REPRESENTS A PLOT COMPLETED BY ME ON MARCH 11, 2021; THAT THE MONUMENTS SHOWN THEREON EXIST; AND THAT THEIR LOCATION, SIZE AND TYPE OF MATERIAL ARE ACCURATELY SHOWN.

Signature of Ryan Jones, DATE 3/11/2021, REGISTRATION NO. SU075334

PLAN BOOK 393, PAGE 28



FREEPORT QUAD - SCALE 1" = 2000'



ZONING INFORMATION

- A-1 AGRICULTURAL DISTRICT: MINIMUM LOT AREA 80,000 SQ. FT., FRONT SETBACK 150 FEET, SIDE SETBACK 50 FEET, REAR SETBACK 20 FEET, MAXIMUM BUILDING HEIGHT 28 FEET, MAXIMUM IMPERVIOUS COVERAGE 20%. R-2 GENERAL RESIDENTIAL DISTRICT: MINIMUM LOT AREA 20,000 SQUARE FEET, FRONT SETBACK 100 FEET, SIDE SETBACK 10 FEET, REAR SETBACK 20 FEET, MAXIMUM BUILDING HEIGHT 28 FEET, MAXIMUM IMPERVIOUS COVERAGE 40%.

LEGEND OF SYMBOLS & ABBREVIATIONS

- POWER POLE (PP), FIRE HYDRANT (FH), WATER VALVE (WV), GAS VALVE (GV), GAS METER (GMT), SANITARY SEWER MANHOLE, CLEAN OUT (CO), CHAIN LINK FENCE, BOARD FENCE, WATER LINE, GAS LINE, OVERHEAD ELECTRIC, OVERHEAD TELEPHONE/CABLE, UNDERGROUND ELECTRIC, UNDERGROUND TELEPHONE/CABLE, MONUMENT FOUND AS NOTED, SET 30" LONG 5/8" DIAMETER REBAR WITH RED PLASTIC CAP, PROPERTY CORNER

BUTLER COUNTY PLANNING APPROVAL

APPROVED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 17th DAY OF FEB. 2021.

Signatures of R. H. and J. H. as Secretary and Chairman of Butler County Planning Commission.

BUFFALO TOWNSHIP PLANNING COMMISSION

APPROVED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF BUFFALO. THIS 3rd DAY OF MARCH 2021.

Signatures of Susan K. Gray and R. H. as Secretary and Chairman of Buffalo Township Planning Commission.

BUFFALO TOWNSHIP SUPERVISORS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF BUFFALO, THIS 10th DAY OF MARCH 2021.

Signatures of Janice L. Zubrin and Ronald Gray as Secretary and Chairman of Buffalo Township Board of Supervisors.

MICHELE M. MUSTELLO, RECORDER OF DEEDS, My Commission Expires First Monday in January 2024

PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 393, PAGE(S) 28.

GIVEN UNDER MY HAND AND SEAL THIS 16th DAY OF April 2021.

Signature of Michele M. Mustello, Recorder of Deeds.



Hilliard Lot Line Revision

142 Doyle Road Sarver, PA 16055, BUFFALO TOWNSHIP BUTLER COUNTY, PENNSYLVANIA, Drawn By: RJ, Date: 3/11/2021, Sheet: 1 of 1, File No.: JC2020-262, Scale: 1"=100'

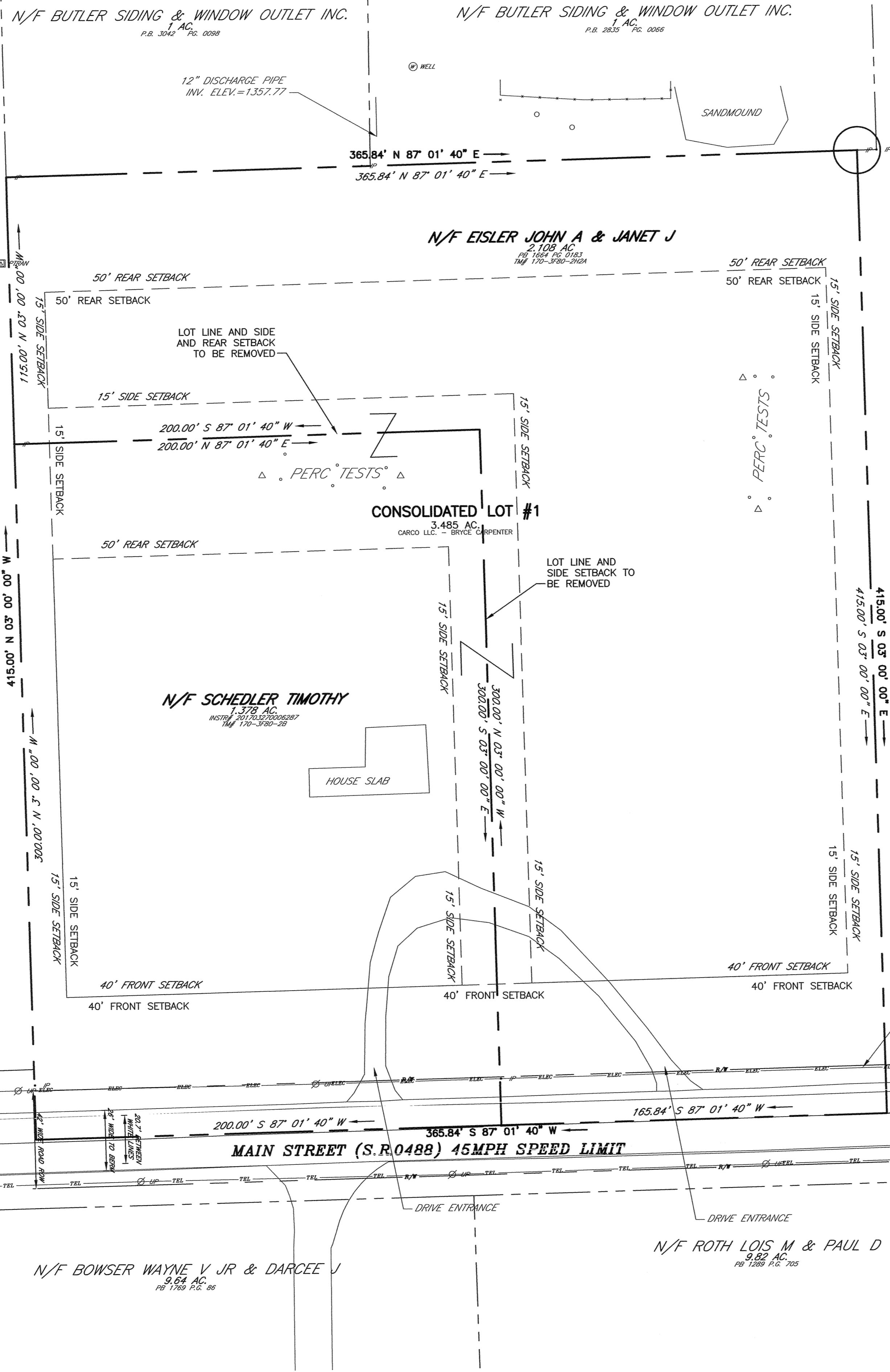
Notary and official seals for Butler County Recorder of Deeds, Buffalo Township Planning Commission, Buffalo Township Board of Supervisors, Butler County Planning Department, and Professional Land Surveyor Ryan Jones.

GENERAL NOTES:

- ZONING DISTRICT - C-1 GENERAL COMMERCIAL
 - MIN. LOT SIZE 43,560 SF REQUIRED - 151,824 SF PROVIDED
 - LOT WIDTH MIN. 100 FT REQUIRED - 366 FT PROVIDED
 - MAX. HEIGHT - 60 FT PERMITTED - 20 FT PROVIDED
 - FRONT SETBACK MIN. - 40 FT
 - SIDE SETBACK MIN. - 15 FT
 - REAR SETBACK MIN. - 50 FT
 - LOT COVERAGE MAX. - 50% PERMITTED - 7.11% PROVIDED
- LOT CONSOLIDATION PLAN

TM# 170-3F80-2B - 1.378 AC.
TM# 170-3F80-2H2A - 2.108 AC.

CONSOLIDATED LOT#1 3.485 AC.
- OIL AND GAS LEASE TO XTO ENERGY INC DATED MARCH 31, 2017 AND RECORDED IN INSTRUMENT NUMBER 201704240008522 FOR TAX PARCEL NUMBER 170-3F80-2H2A ONLY
- BLANKET EASEMENT TO CENTRAL ELECTRIC CO-OP RECORDED NOVEMBER 29, 1975 IN DEED BOOK 1001 PAGE 610
- ACCESS RIGHT-OF-WAY TO HARVEY RINKER RECORDED SEPTEMBER 18, 1967 IN DEED BOOK 881 PAGE 928 ALONG SOUTHERN PROPERTY LINE
- BLANKET STORMWATER EASEMENT FOR FRANKLIN TOWNSHIP OR THEIR DESIGNEES TO INSPECT ON-SITE STORMWATER FACILITIES



INSTR: 202104270011904
Pg: 1 of 545.00
Michele Mustello
Butler County Recorder PA
02/15/2021 2:34 PM
13031608791

LLC ADOPTION

APPROVED ON THE 15 DAY OF FEBRUARY, 2021. BRYCE CARPENTER OF THE CARCO LLC, A LIMITED LIABILITY COMPANY, INCORPORATED IN THE COMMONWEALTH OF PENNSYLVANIA, CARCO LLC OF THE LAND SHOWN ON THE CARCO LLC LOT CONSOLIDATION PLAN ADOPT THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATE ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. CARCO LLC, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF FRANKLIN, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC STREETS OR PROPERTY AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE CORPORATION AND UPON ITS SUCCESSORS AND ASSIGNS.

Commonwealth of PA
County of Butler
This record was acknowledged before me Shauna Holt Pearcy by BRYCE CARPENTER AS A MANAGING MEMBER WHO REPRESENTS THAT HE IS AUTHORIZED TO ACT ON BEHALF OF WHOM THE RECORD WAS EXECUTED.

WITNESS MY HAND AND NOTARIAL SEAL THIS 15th DAY OF February, 2021.

MY COMMISSION EXPIRES THE 22nd DAY OF November, 2024.

Shauna Holt Pearcy NOTARY PUBLIC
(SEAL)
Commonwealth of Pennsylvania - Notary Seal
Shauna Holt Pearcy, Notary Public
Butler County
My commission expires November 22, 2024
Commission number 1302124
Member, Pennsylvania Association of Notaries

BOARD OF SUPERVISORS

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF FRANKLIN HEREBY GIVE PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES, THE TOWNSHIP OF FRANKLIN ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, TO ACCEPT ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF FRANKLIN BY

RESOLUTION NO. _____ EFFECTIVE THIS 15th DAY OF February, 2021.

Heather W. Bauer CHAIRPERSON, BOARD OF SUPERVISORS
(SEAL)

TOWNSHIP PLANNING COMMISSION

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF FRANKLIN THIS 12th DAY OF January, 2021.

Robert J. Thompson CHAIRPERSON, PLANNING COMMISSION
(SEAL)

COUNTY PLANNING COMMISSION

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 20th DAY OF January, 2021.

John R. Hunsler CHAIRPERSON, BUTLER COUNTY PLANNING COMMISSION
(SEAL)

PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER COMMONWEALTH OF PENNSYLVANIA,

IN INSTRUMENT NUMBER 202104270011904 BK 393 Pg 29

GIVEN UNDER MY HAND AND SEAL THIS 27 DAY OF April, 2021.

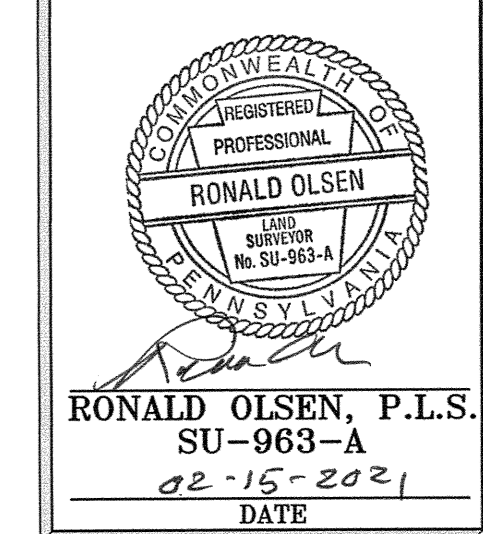
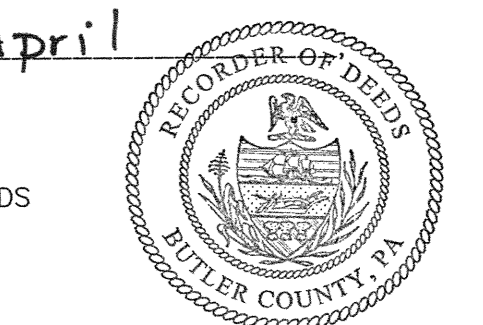
Michele M. Mustello RECORDER OF DEEDS
(SEAL)

SURVEYOR CERTIFICATION

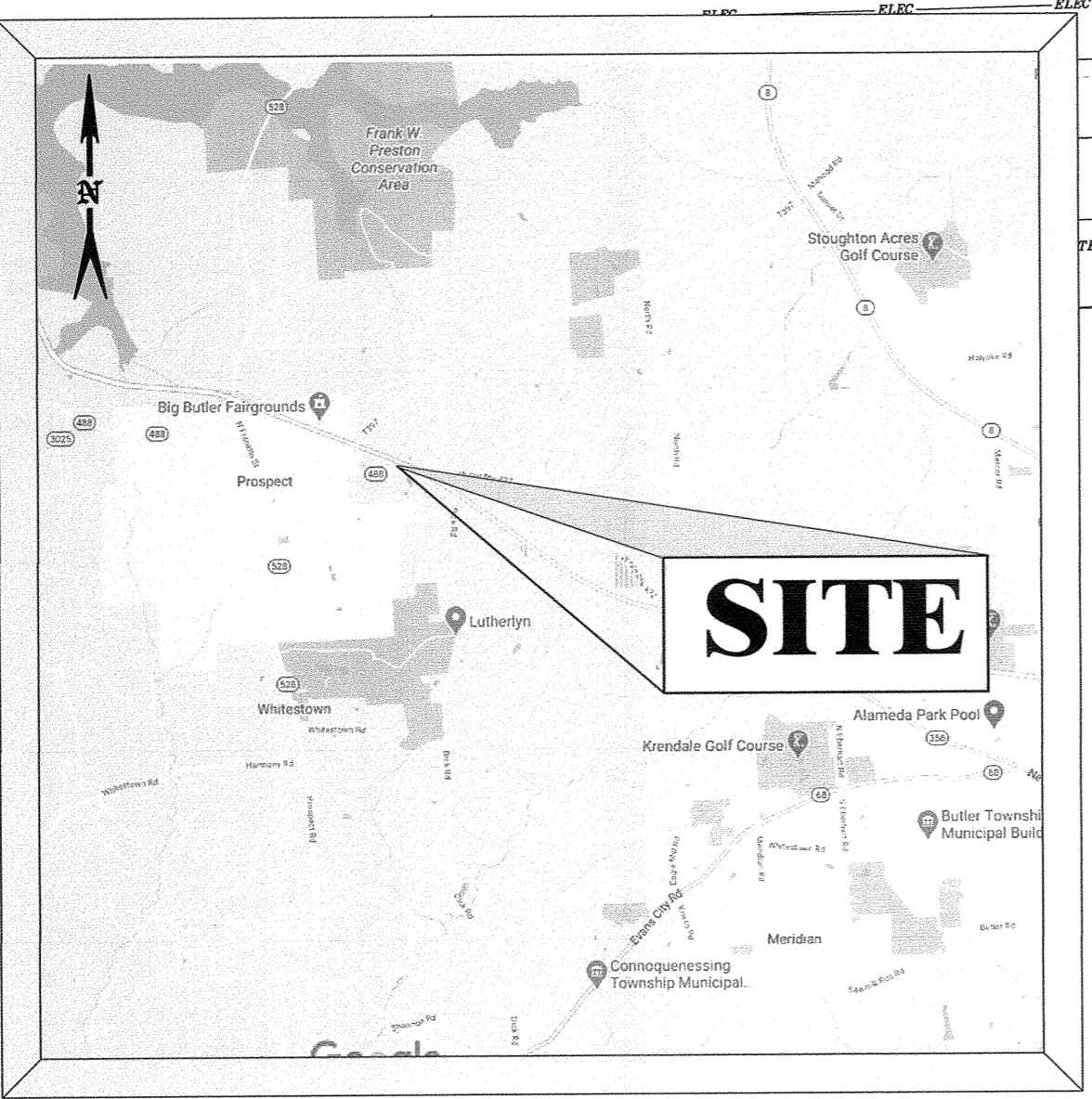
I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THAT THE SURVEY AND PLAN SHOWN HEREON CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME.

Ronald Olsen
RONALD OLSEN PLS # SU-963-A DATE 02-15-2021

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



RECORDED:	PLAN BOOK	PAGE
	393	29



GAS WELL CERTIFICATION

TO THE BEST OF MY KNOWLEDGE, BELIEF AND ABILITY AND BASED UPON A VISUAL INSPECTION OF THE SURFACE OF THE PREMISES AS SHOWN HEREON NO GAS WELL EXISTS.

WETLAND CERTIFICATION

WITH A WETLAND REPORT COMPLETED: TO THE BEST OF MY KNOWLEDGE, BELIEF, AND ABILITY AND BASED UPON A VISUAL INSPECTION OF THE SURFACE OF THE PROPERTY, NO WETLANDS EXIST ON THE PREMISES AS SHOWN HEREON. NOVEMBER 21, 2020 BY PHIL GRYSKIEWICZ OF OLSEN CRAFT ASSOCIATES LLC

HIGHWAY CERTIFICATION:

A HIGHWAY OCCUPANCY PERMIT (HOP) IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW" BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED.

Pennsylvania One Call System, Inc.

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-245-1776
SERIAL # 20203350366

The information contained in this set of documents is proprietary for the use by Olsen Craft Associates, LLC and its project client. Reuse for other projects or reuse by others is strictly prohibited without written authorization from Olsen Craft Associates, LLC. Those with authorization are cautioned that no warranty is made by Olsen Craft Associates, LLC regarding accuracy, precision, or completeness of these documents. Olsen Craft Associates, LLC assumes no liability for authorized or unauthorized reuse of these documents.

REV.	REVISION DESCRIPTION	REV BY	CHK BY	DATE
C	REVISED SIGNATURE BLOCK	RWC	RWC	1/26/2021
B	REVISED PER TOWNSHIP EGR COMMENTS	RWC	RO	1/04/2021
A	SUBMISSION TO FRANKLIN TOWNSHIP	RWC	RO	12/23/2020

OLSEN CRAFT ASSOCIATES, LLC
ENGINEERS-COMMUNITY PLANNERS-SURVEYORS-GRANTS WRITERS-PROJECT AND PERMIT ADMINISTRATORS
126 S. MAIN STREET BUTLER PENNSYLVANIA 16001 (724) 282-4786 FAX (724) 282-7619 www.OlsenAndAssociates.us

CARCO LLC - BRYCE CARPENTER
NEW FACILITY FOR CUSTOM APPAREL
SUBDIVISION PLAN
FRANKLIN TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

DATE: 12/09/2020
SHEET NO. **C050** REV. **C**
PROJECT NO. 202038A

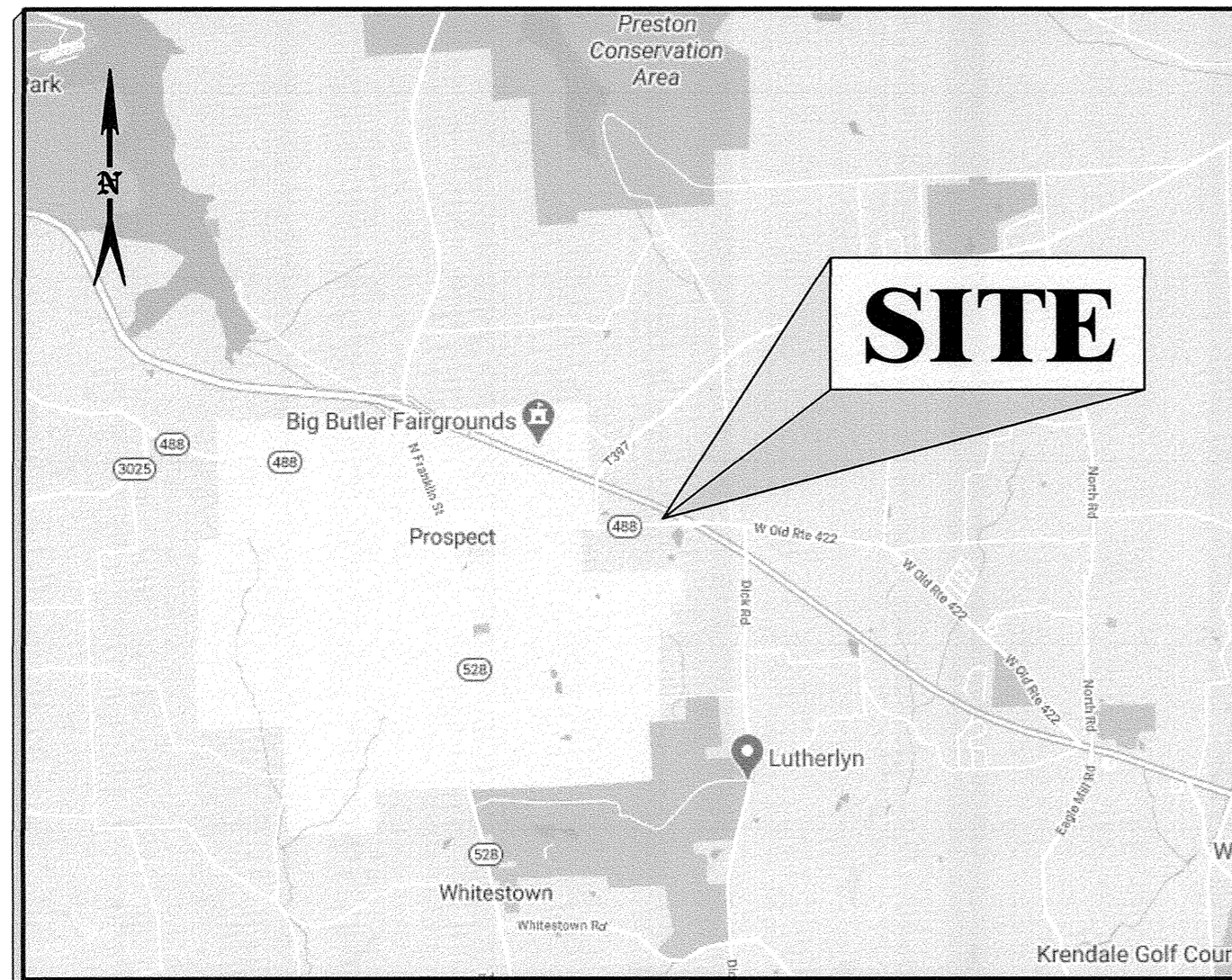
SCALE: 0 30' 60' CHKD. BY: RO DRAWN BY: RWC

CARCO LLC

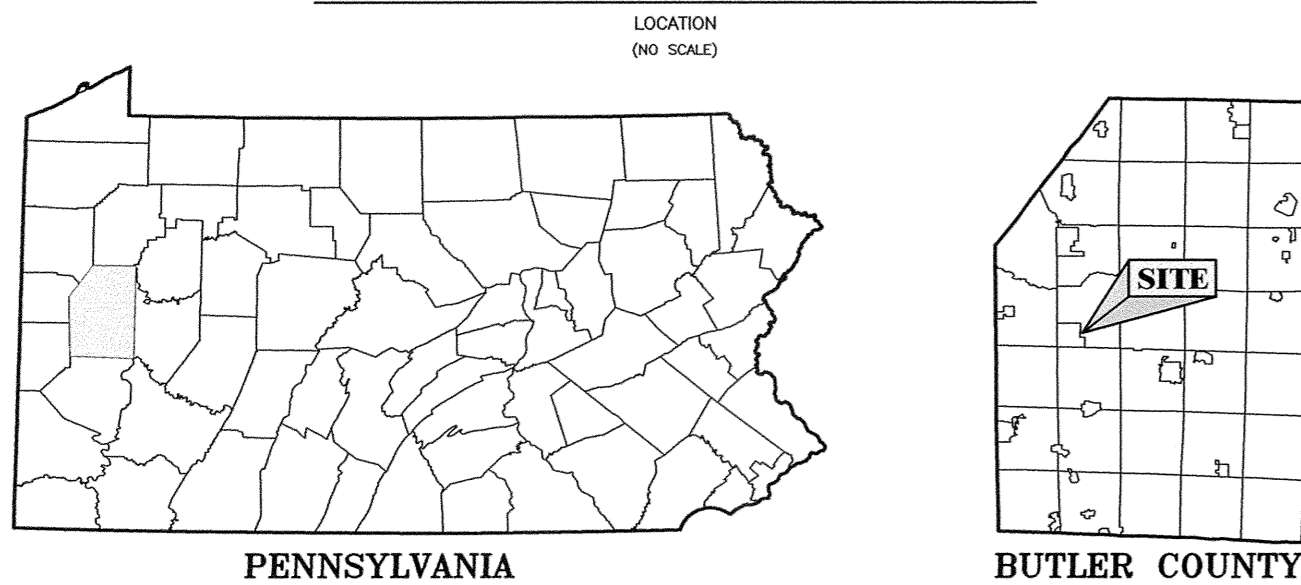
BRYCE CARPENTER

NEW FACILITY FOR CUSTOM APPAREL

Instrument: 202104270011905
 Page 2 of 2
 Michele Mustello
 Butler County Recorder PA



SITE LOCATION MAP



FRANKLIN TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

LLC ADOPTION

DRAWING INDEX

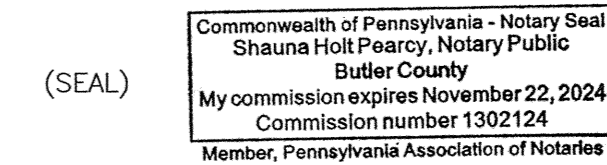
SHEET #	SHEET TITLE
C000	COVER SHEET
C005	LEGEND SHEET
C050	SUBDIVISION PLAN
C100	EXISTING SITE & DEMOLITION PLAN
C200	PROPOSED LAYOUT/SITE PLAN
C600	PROPOSED STORMWATER MANAGEMENT PLAN
C700	EROSION & SEDIMENTATION PLAN
C800	LIGHTING PLAN
C850	LANDSCAPE PLAN
C920	CONSTRUCTION DETAILS
C960	STORMWATER MANAGEMENT DETAILS
C970-C971	EROSION & SEDIMENT CONTROL DETAILS

APPROVED ON THE 15 DAY OF February, 2021 BRYCE CARPENTER OF THE CARCO LLC, A LIMITED LIABILITY COMPANY, INCORPORATED IN THE COMMONWEALTH OF PENNSYLVANIA, CARCO LLC OF THE LAND SHOWN ON THE CARCO LLC LOT CONSOLIDATION PLAN ADOPT THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATE ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. CARCO LLC, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF FRANKLIN, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC STREETS OR PROPERTY AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED, THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE CORPORATION AND UPON ITS SUCCESSORS AND ASSIGNS.

THIS RECORD WAS ACKNOWLEDGE BEFORE ME Shauna Holt Peary BY BRYCE CARPENTER AS A MANAGING MEMBER WHO REPRESENTS THAT HE IS AUTHORIZED TO ACT ON BEHALF OF WHOM THE RECORD WAS EXECUTED.

WITNESS MY HAND AND NOTARIAL SEAL THIS 15th DAY OF February, 2021 MY COMMISSION EXPIRES THE 22nd DAY OF November, 2024

Shauna Holt Peary NOTARY PUBLIC
 Commonwealth of Pennsylvania
 County of Butler



BOARD OF SUPERVISORS

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF FRANKLIN HEREBY GIVE PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES, THE TOWNSHIP OF FRANKLIN ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, TO ACCEPT ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF FRANKLIN BY

RESOLUTION NO. _____, EFFECTIVE THIS 15th DAY OF February, 2021. Anna M. Bauer CHAIRPERSON, BOARD OF SUPERVISORS (SEAL)

TOWNSHIP PLANNING COMMISSION

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF FRANKLIN THIS 12th DAY OF January, 2021. David J. Thompson CHAIRPERSON, PLANNING COMMISSION

COUNTY PLANNING COMMISSION

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 20th DAY OF JAN., 2021. R. H. JRM CHAIRPERSON, BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER COMMONWEALTH OF PENNSYLVANIA, IN INSTRUMENT NUMBER 202104270011905 BK 393 Pg 30-31

GIVEN UNDER MY HAND AND SEAL THIS 27 DAY OF April, 2021. Michele M. Mustello RECORDER OF DEEDS

SURVEYOR CERTIFICATION

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THAT THE SURVEY AND PLAN SHOWN HEREON CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME.

Ronald Olsen RONALD OLSEN PLS # SU-963-A MICHELE M. MUSTELLO RECORDER OF DEEDS DATE 02-15-2021
 My Commission Expires First Monday in January 2024

GAS WELL CERTIFICATION

TO THE BEST OF MY KNOWLEDGE, BELIEF AND ABILITY AND BASED UPON A VISUAL INSPECTION OF THE SURFACE OF THE PREMISES AS SHOWN HEREON NO GAS WELL EXISTS.

WETLAND CERTIFICATION

WITH A WETLAND REPORT COMPLETED: TO THE BEST OF MY KNOWLEDGE, BELIEF, AND ABILITY AND BASED UPON A VISUAL INSPECTION OF THE SURFACE OF THE PROPERTY, NO WETLANDS EXIST ON THE PREMISES AS SHOWN HEREON. NOVEMBER 21, 2020 BY PHIL GRYSKEWICZ

HIGHWAY CERTIFICATION:

A HIGHWAY OCCUPANCY PERMIT (HOP) IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW" BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED.

RECORDED:	PLAN BOOK	PAGE
	393	30

Pennsylvania One Call System, Inc.

 BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776
 SERIAL # 20203350366

ISSUED FOR APPROVAL
 DATE: 1-26-2020

OLSEN CRAFT ASSOCIATES, LLC
 ENGINEERS-COMMUNITY PLANNERS-SURVEYORS-GRANTS WRITERS-PROJECT AND PERMIT ADMINISTRATORS
 126 S. MAIN STREET BUTLER PENNSYLVANIA 16001 (724) 282-4786 FAX (724) 282-7619 www.OlsenAndAssociates.us

CARCO LLC - BRYCE CARPENTER
 NEW FACILITY FOR CUSTOM APPAREL

The information contained in this set of documents is proprietary for the use by Olsen Craft Associates, LLC and its project client. Reuse for other projects or reuse by others is strictly prohibited without written authorization from Olsen Craft Associates, LLC. Those with authorization are cautioned that no warranty is made by Olsen Craft Associates, LLC regarding accuracy, precision, or completeness of these documents. Olsen Craft Associates, LLC assumes no liability for authorized or unauthorized reuse of these documents.

DATE: 12-09-2020
 PROJECT NO. 202038A
 C000 B

GENERAL CONSTRUCTION NOTES

- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL IN NATURE AND DO NOT INCLUDE ALL ITEMS. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING THE SITE PRIOR TO BIDDING. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF EXISTING CONDITIONS ARE SIGNIFICANTLY DIFFERENT THAN SHOWN ON THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR ASSURING ANY LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK HAVE BEEN OBTAINED.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FROM ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED.
- UNLESS OTHERWISE NOTED, ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
- ANY SALVAGEABLE ITEMS MUST BE STORED BY THE CONTRACTOR AND PROTECTED FROM DAMAGE/THEFT OR DELIVERED TO AN AREA APPROVED BY THE OWNER.
- CONTRACTOR SHALL AT ALL TIMES PROTECT ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING CONSTRUCTION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE THOSE ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL SAW CUT ALL PAVEMENT PRIOR TO EXCAVATION. SAW CUT TO THE NEAREST EXISTING JOINT.
- THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
- ALL DISTURBANCES WITHIN PUBLIC RIGHTS OF WAY SHALL BE RESTORED TO PRE-EXISTING CONDITIONS. ALL STREET AND SIDEWALK DISTURBANCES MUST BE RESTORED PER CURRENT MUNICIPAL SPECIFICATIONS AND REGULATIONS.
- CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN.
- ALL WORK SHALL BE DONE ON PROPERTY OF THE OWNER OR WITHIN EXISTING PUBLIC OR PRIVATE RIGHTS OF WAY.
- CONTRACTOR SHALL HAVE A SUBSURFACE UTILITY INVESTIGATION PERFORMED IN ADVANCE OF ANY EXCAVATIONS IN AREAS OF WORK.
- SOME UTILITIES MAY NOT BE PUBLICLY OWNED AND MAINTAINED THEREFORE IT WILL BE NECESSARY FOR THE CONTRACTOR TO LOCATE PRIVATE UTILITIES IN ADVANCE OF ANY EXCAVATIONS.
- ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

PROJECT CONTACTS

PROPERTY OWNER: CARCO LLC - BRYCE CARPENTER
 122 RAGAN ROAD
 PROSPECT, PA 16052

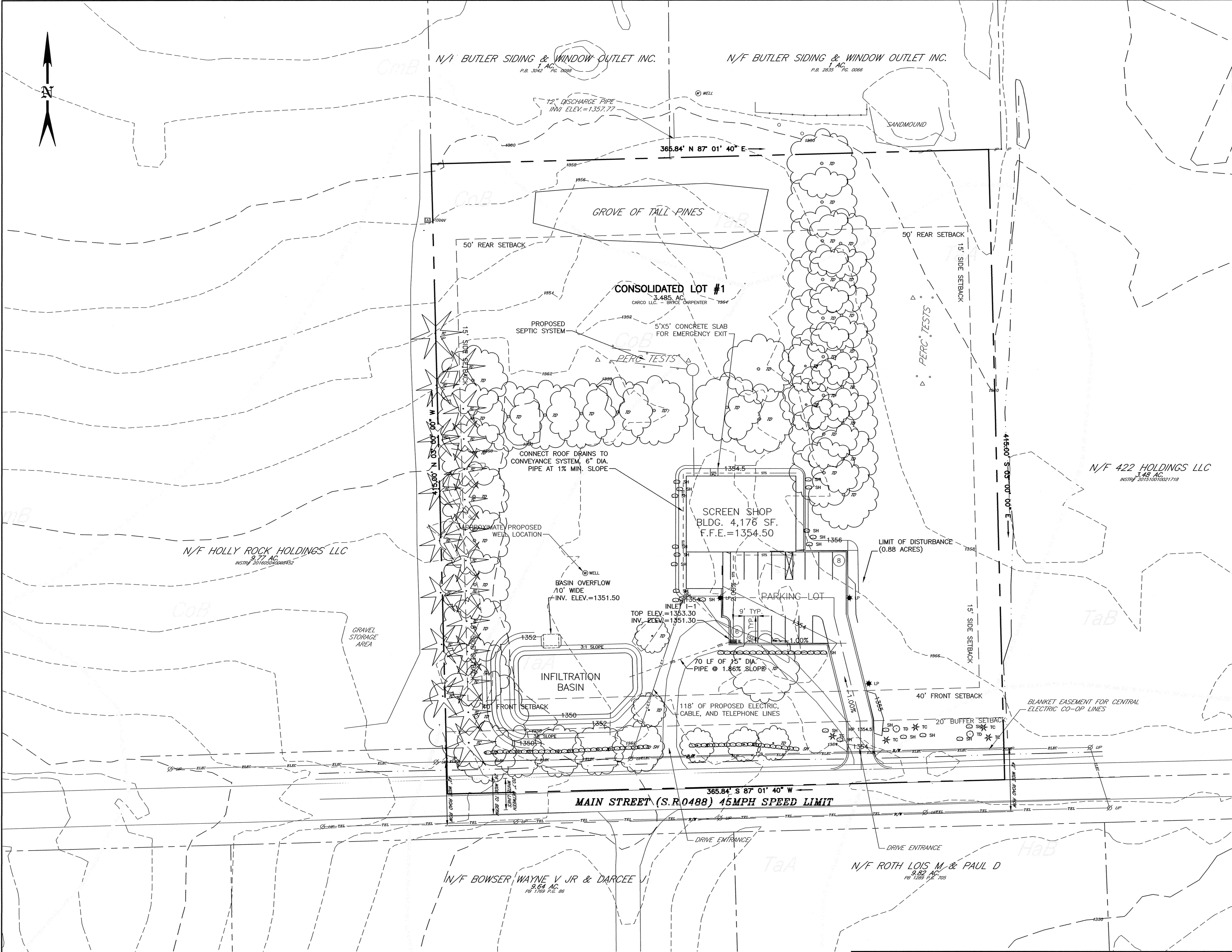
CONTACT: BRYCE CARPENTER
 PHONE: 724-865-9885

DEVELOPER: CARCO LLC - BRYCE CARPENTER
 122 RAGAN ROAD
 PROSPECT, PA 16052

UTILITY COMPANIES: ARMSTRONG CABLE
 ADDRESS
 CITY, STATE ZIP CODE
 CONTACT PERSON
 PHONE:
 WEST PENN POWER
 ADDRESS
 CITY, STATE ZIP CODE
 CONTACT PERSON
 PHONE:
 CENTURY LINK
 ADDRESS
 CITY, STATE ZIP CODE
 CONTACT PERSON
 PHONE:

TOWNSHIP/MUNICIPALITY: FRANKLIN TOWNSHIP
 191 ELECTION HOUSE ROAD
 PROSPECT, PA 16052
 SHAUNA
 PHONE: 724-865-2412

ENGINEER: OLSEN CRAFT ASSOCIATES, LLC
 126 SOUTH MAIN STREET
 BUTLER, PA 16001
 RICHARD W. CRAFT, P.E. rcraft@olsencraft.com
 PHONE: 724-282-4786
 FAX: 724-282-7619



- GENERAL NOTES:**
- ZONING DISTRICT - C-1 GENERAL COMMERCIAL
 - MIN. LOT SIZE 43,560 SF REQUIRED - 151,824 SF PROVIDED
 - LOT WIDTH MIN. 100 FT REQUIRED - 366 FT PROVIDED
 - MAX. HEIGHT - 60 FT PERMITTED - 20 FT PROVIDED
 - FRONT SETBACK MIN. - 40 FT REQUIRED - 110 FT PROVIDED
 - SIDE SETBACK MIN. - 15 FT REQUIRED - 132 FT PROVIDED
 - REAR SETBACK MIN. - 50 FT REQUIRED - 210 FT PROVIDED
 - LOT COVERAGE MAX. - 50% PERMITTED - 7.11% PROVIDED
 - CONSOLIDATED LOT#1 3.485 AC.
 - OIL AND GAS LEASE TO XTO ENERGY INC DATED MARCH 31, 2017 AND RECORDED IN INSTRUMENT NUMBER 201704240008522 FOR TAX PARCEL NUMBER 170-3F80-2H2A ONLY
 - BLANKET EASEMENT TO CENTRAL ELECTRIC CO-OP RECORDED NOVEMBER 29, 1975 IN DEED BOOK 1001 PAGE 610
 - ACCESS RIGHT-OF-WAY TO HARVEY RINKER RECORDED SEPTEMBER 18, 1967 IN DEED BOOK 881 PAGE 928 ALONG SOUTHERN PROPERTY LINE
 - PROPOSED USE: CUSTOM PRINTING - PERMITTED USE
 - PROPOSED BUILDING 4,176 SF TOTAL (3,600 SF SHOP & 576 SF OFFICE)
 - PARKING REQUIREMENT: 1 PER 300 SF GROSS FLOOR AREA. (4,176 / 300 = 14 SPACES REQUIRED) - 14 PARKING SPACES PROVIDED
 - PROPOSED PRIVATE WATER WELL AND SEPTIC SYSTEM FOR WATER AND SEWAGE
 - THE PREVIOUSLY RECORDED PLANS WERE:
 - PLAN BOOK 1664 PAGE 183 FOR TAX PARCEL # 170-3F80-2H2A NOW OR FORMERLY OWNED BY JOHN A. & JANET J. EISLER
 - INSTRUMENT # 201703270006287 FOR TAX PARCEL 170-3F80-2B NOW OR FORMERLY OWNED BY TIMOTHY SCHEDLER

PLAN BOOK	PAGE
393	31

Pennsylvania One Call System, Inc.

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776
SERIAL # 20203350366

The information contained in this set of documents is proprietary for the use by Olsen Craft Associates, LLC and its project client. Reuse for other projects or reuse by others is strictly prohibited without written authorization from Olsen Craft Associates, LLC. Those with authorization are cautioned that no guaranty is made by Olsen Craft Associates, LLC regarding accuracy, precision, or completeness of these documents. Olsen Craft Associates, LLC assumes no liability for authorized or unauthorized reuse of these documents.

REV.	REVISION DESCRIPTION	REV BY	CHK BY	DATE
C	ADDED WELL LOCATION TO PLAN	RWC	RWC	1/12/2021
B	REVISED PER TOWNSHIP EGR COMMENTS	RWC	RO	1/04/2021
A	SUBMISSION TO FRANKLIN TOWNSHIP	RWC	RO	12/23/2020

OLSEN CRAFT ASSOCIATES, LLC
 ENGINEERS-COMMUNITY PLANNERS-SURVEYORS-GRANTS WRITERS-PROJECT AND PERMIT ADMINISTRATORS
 126 S. MAIN STREET BUTLER PENNSYLVANIA 16001 (724) 282-4786 FAX (724) 282-7619 www.OlsenAndAssociates.us

CARCO LLC - BRYCE CARPENTER
NEW FACILITY FOR CUSTOM APPAREL
 PROPOSED SITE PLAN
 FRANKLIN TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

DATE: 12/09/2020
 SHEET NO. REV.
C200 C

SCALE 0 30 60
 CHKD. BY: RO
 DRAWN BY: RWC
 PROJECT NO. 202038A

We SPC Realty, a Pennsylvania Corporation, owner of the land shown on the 704 South Pike Road Consolidation, hereby adopts this plan as its plan of lots and irrevocably dedicates all streets and other property indicated for dedication on the plan to the Township of Buffalo. This adoption and dedication shall be binding upon the Corporation and upon its heirs, executors and assigns.

ATTEST:
Carol A. Frohner
 Notary Public
 SPC Realty
Milo C. Ritton
 Milo C. Ritton, President

COMMONWEALTH OF PENNSYLVANIA)SS:
 COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth of Pennsylvania and County of Butler, personally appeared the above named Milo C. Ritton, President of SPC Realty, and acknowledged the foregoing adoption and dedication to be the act of the corporation.

Witness my hand and notarial seal this 12th day of March, 2021
 My Commission expires the 16th day of April, 2025

Carol A. Frohner
 Notary Public

COMMONWEALTH OF PENNSYLVANIA
 NOTARIAL SEAL
 Carol A. Frohner, Notary Public
 1118 Huntington Twp., Westmoreland County
 My Commission Expires April 16, 2021
 MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES

NOTARY PUBLIC OFFICIAL SEAL
 Commonwealth of Pennsylvania - Notary Seal
 Carol A. Frohner, Notary Public
 Westmoreland County
 My Commission Expires April 16, 2025
 Commission Number 1274091
 Member, Pennsylvania Association of Notaries

I hereby certify that the title to this property contained in the 704 South Pike Road Consolidation is in the name of SPC Realty, A Pennsylvania Corporation and is recorded in Instrument Number 200508220022881.

Carol A. Frohner
 Notary Public
 SPC Realty
Milo C. Ritton
 Milo C. Ritton, President

~~Notary~~ Bank, mortgagee of the property contained in the 704 South Pike Road Consolidation consents to the recording of said plan on to the dedications and all other matters appearing on said plan.

Justin Witt
 Witness
 S&T Bank Northwest Bank
[Signature]
 Authorized Officer

I hereby certify that to the best of my knowledge, the plan shown and described hereon is true and correct to the accuracy required by the Buffalo Township Subdivision and Land Development Ordinance #136.

MARCH 3, 2021
 Date
Steve A. Liadis
 Steve A. Liadis, P.L.S.
 Registration Number SU-511-A

At a meeting held on MARCH 3, 2021, the Buffalo Township Planning Commission reviewed this plan and a copy of the review comments is on file in the Township office.

Jason K. Grogan
 Secretary
[Signature]
 Chairman

At a meeting held on MARCH 10, 2021, the Buffalo Township Board of Supervisors granted Final Plan Approval of this project, including the complete set of plans marked 704 South Pike Road Consolidation, which are dated FEB 16, 2021. The Board of Supervisors hereby give public notice that in approving this plan for recording, the Township has not accepted dedication of any streets, lands, or public facilities and has no obligation to improve or maintain such streets, land or facilities.

Janice L. Zubrin
 Secretary
Ronald G. Grogan
 Chairman

The Butler County Planning Commission, as required by the Pennsylvania Municipalities Planning Code, Act of 1968, P.L. 805, No. 247, as reenacted and amended. Reviewed this plan on Nov. 18TH, 2020, and a copy of the review is on file at the office of the Planning

Commission in BCPC File No. 20261. This certificate does not indicate approval or disapproval of the plan by the Butler County Planning Commission, and the Commissions does not represent nor guarantee that this plan complies with the various ordinances, rules, regulations, or laws of the local municipality, the Commonwealth or the Federal Government.

R. H. Grogan
 Secretary
J. H. Grogan
 Chairman

COMMONWEALTH OF PENNSYLVANIA)SS:
 COUNTY OF BUTLER

Recorded in the Recorders Office for the recording of deeds, plans, etc., in said County in

Plan Book Volume 393, page(s) 32

Given under by hand and seal this 27th day of April, 2021

Michele M. Mustello
 Recorder

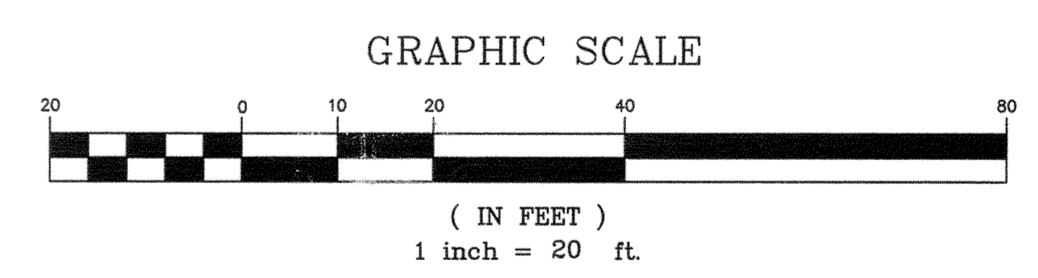
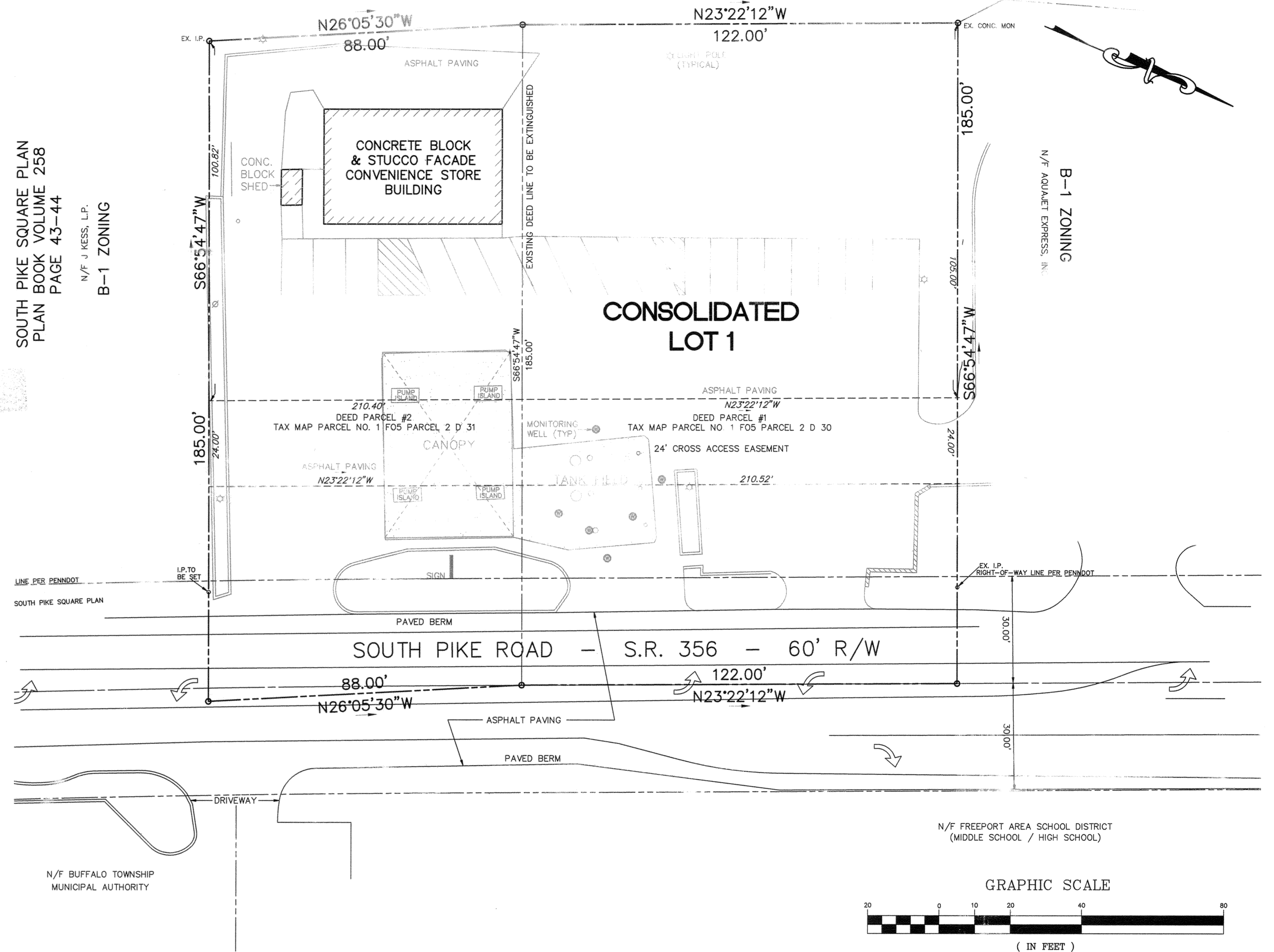
MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024

PLAN BOOK 393 PAGE 32

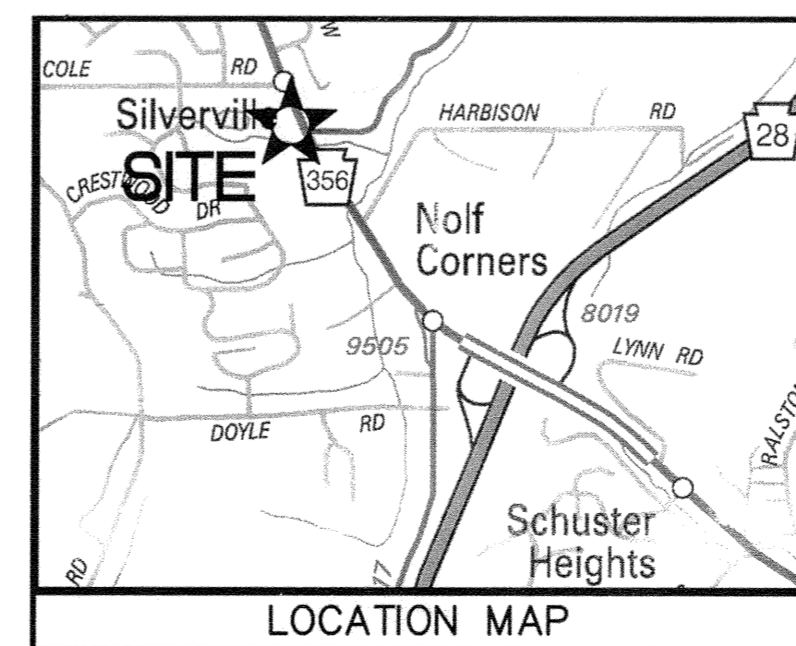
Instr: 202104270011937
 4/27/2021 4:13 PM
 Page 1 of 545.00
 Michele Mustello
 Butler County Recorder PA
 1730310059712

B-1 ZONING
 N/F J KESS, L.P.
 SOUTH PIKE SQUARE PLAN
 PLAN BOOK VOLUME 258
 PAGE 43-44

N/F W. KUPAS
 R-2 ZONING



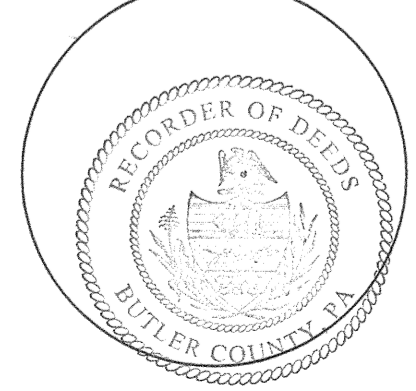
NOTE: BEARINGS SHOWN ON THIS PLAN ARE BASED ON THE SOUTH PIKE SQUARE PLAN REF: PLAN BOOK VOLUME 258, PAGE 43-44

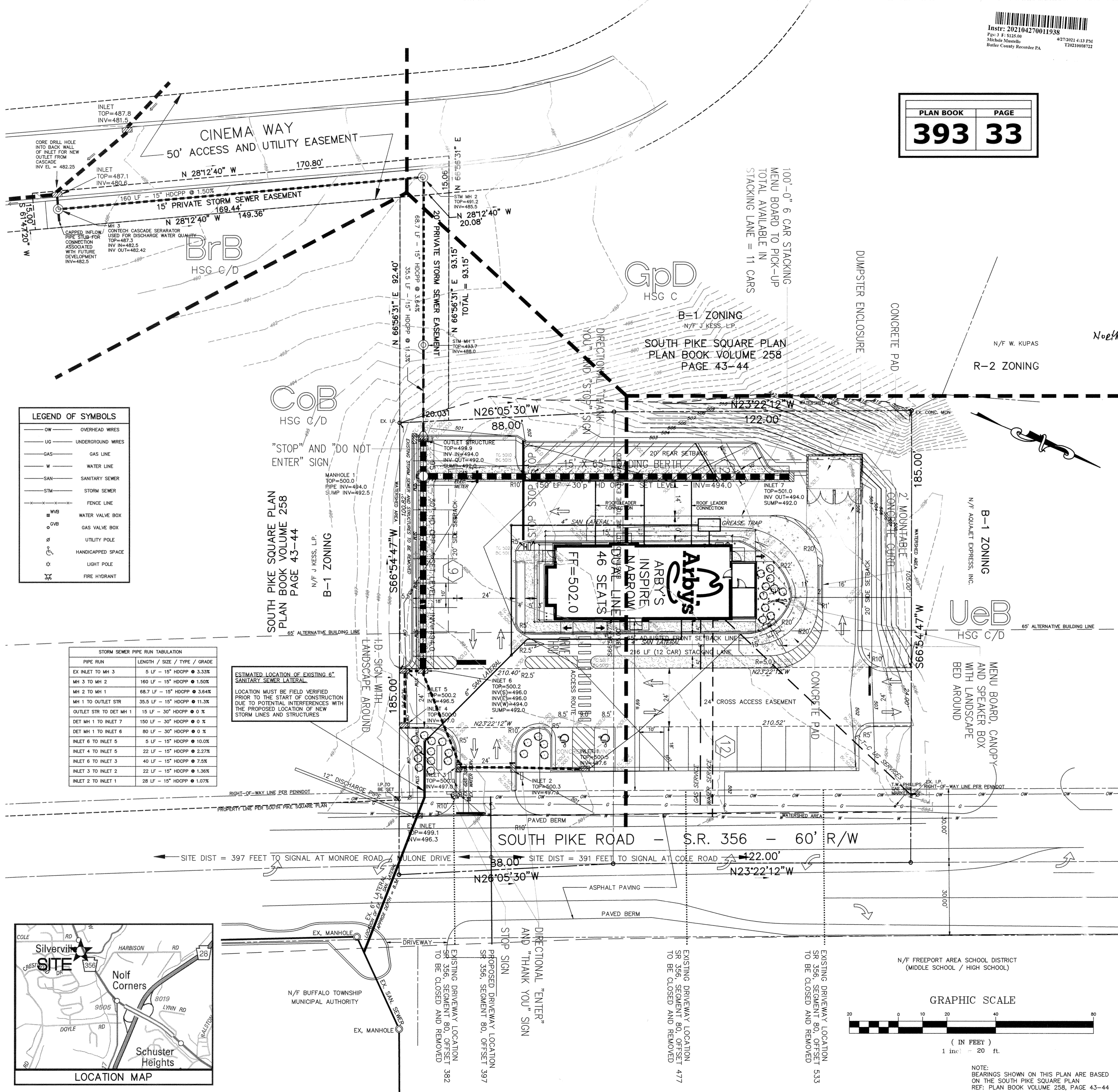


BEING A CONSOLIDATION OF
 TAX MAP PARCEL NO. 1 FOS PARCEL 2 D 30
 TAX MAP PARCEL NO. 1 FOS PARCEL 2 D 31
 TOTAL PROPERTY AREA = 38,828 SQUARE FEET OR 0.891 ACRE
704 SOUTH PIKE ROAD CONSOLIDATION

REVISIONS:	PLAN MADE FOR	SPC REALTY	
	SITUATE IN	BUFFALO TOWNSHIP BUTLER COUNTY, PA	
	LIADIS ENGINEERING & SURVEYING, INC. 3100 BANKSVILLE ROAD - PITTSBURGH, PA 15216		
ENGINEERS REVIEW 02/16/21	SCALE: 1" = 20'	NOVEMBER 6, 2020	DRAWING No. 21429-D
ENGINEERS REVIEW 01/21/21			

SPC REALTY
 NOTARY PUBLIC
 MORTGAGEE
 SURVEYOR
 BUFFALO TOWNSHIP
 BUTLER CO. PLAN. COMM.
 RECORDER OF DEEDS





Instr: 202104270011538
 Fig. 3 F: 5125.00
 Michele Mustello
 Butler County Recorder PA
 4/27/2021 4:13 PM
 120210008732

PLAN BOOK PAGE
393 33

We SPC Realty, a Pennsylvania Corporation, owner of the land shown on the 704 South Pike Road Land Development Plan, hereby adopts this plan as its plan of lots and irrevocably dedicates all streets and other property indicated for dedication on the plan to the Township of Buffalo. This adoption and dedication shall be binding upon the Corporation and upon its heirs, executors and assigns.

ATTEST:
Carol A. Frohner
 Notary Public
Milo C. Rittion
 SPC Realty
 Milo C. Rittion, President

COMMONWEALTH OF PENNSYLVANIA)
 COUNTY OF BUTLER)

Before me, the subscriber, a Notary Public in and for said Commonwealth of Pennsylvania and County of Butler, personally appeared the above named Milo C. Rittion, President of SPC Realty, and acknowledged the foregoing adoption and dedication to be the act of the corporation.

Witness my hand and notarial seal this 12th day of March, 2021

My Commission expires the 16th day of April, 2025
Carol A. Frohner
 Notary Public
 COMMONWEALTH OF PENNSYLVANIA
 NOTARIAL SEAL
 Carol A. Frohner, Notary Public
 South Huntingdon Twp., Westmoreland County
 My Commission Expires April 16, 2021
 MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES

I hereby certify that the title to this property contained in the 704 South Pike Road Land Development Plan is in the name of SPC Realty, A Pennsylvania Corporation and is recorded in Instrument Number 200508220022881.

Carol A. Frohner
 Notary Public
Milo C. Rittion
 SPC Realty
 Milo C. Rittion, President

Noel West
 Witness
 Northwest Bank, mortgagee of the property contained in the 704 South Pike Road Land Development Plan consents to the recording of said plan on to the dedications and all other matters appearing on said plan.

John West
 Witness
 Northwest Bank
 Authorized Officer

I hereby certify that to the best of my knowledge, the plan shown and described hereon is true and correct to the accuracy required by the Buffalo Township Subdivision and Land Development Ordinance #136.

MARCH 3, 2021
 Date
Steve A. Liadis
 Steve A. Liadis, P.L.S.
 Registration Number SU-511-A

At a meeting held on MARCH 3, 2021 the Buffalo Township Planning Commission reviewed this plan and a copy of the review comments is on file in the Township office.

Yusuf K. Gungor
 Secretary
Paul M. ...
 Chairman

At a meeting held on MARCH 10, 2021 the Buffalo Township Board of Supervisors granted Final Plan Approval of this project, including the complete set of plans marked 704 S. PIKE RD LAND DEVELOPMENT PLAN which are dated FEB 25, 2021. The Board of Supervisors hereby give public notice that in approving this plan for recording, the Township has not accepted dedication of any streets, lands, or public facilities and has no obligation to improve or maintain such streets, land or facilities.

Janice L. Zubrin
 Secretary
Ronald ...
 Chairman

The Butler County Planning Commission, as required by the Pennsylvania Municipalities Planning Code, Act of 1968, P.L. 805, No. 247, as reenacted and amended. Reviewed this plan on Nov. 18th, 2020, and a copy of the review is on file at the office of the Planning

Commission in BCPC File No. 20261. This certificate does not indicate approval or disapproval of the plan by the Butler County Planning Commission, and the Commission does not represent nor guarantee that this plan complies with the various ordinances, rules, regulations, or laws of the local municipality, the Commonwealth or the Federal Government.

R. H. ...
 Secretary
J. P. ...
 Chairman

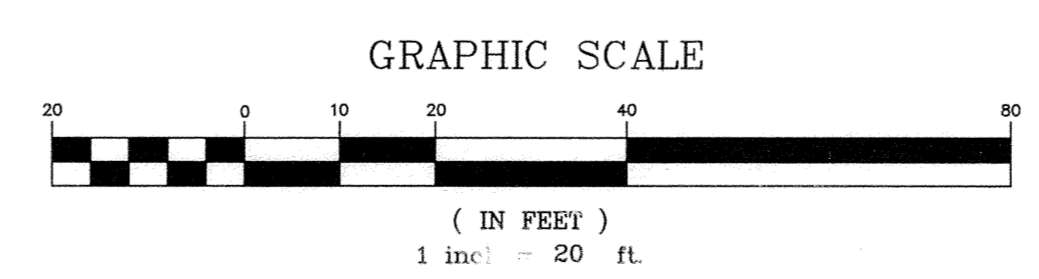
COMMONWEALTH OF PENNSYLVANIA)
 COUNTY OF BUTLER)

Recorded in the Recorders Office for the recording of deeds, plans, etc., in said County in Plan Book Volume 393 page(s) 33-35
 Given under by hand and seal this 27th day of April, 2021

Michele M. Mustello
 Recorder
MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024

**704 SOUTH PIKE ROAD
 LAND DEVELOPMENT PLAN (SHEET 1 OF 3)**

REVISIONS:	PLAN MADE FOR	SPC REALTY
	SITUATE IN	BUFFALO TOWNSHIP BUTLER COUNTY, PA
ENGINEERS REVIEW 02/25/21		
ENGINEERS REVIEW 02/22/21		
ENGINEERS REVIEW 02/16/21		
SEWER TAP INFO 02/10/21		
ENGINEERS REVIEW 01/21/21		
	LIADIS ENGINEERING & SURVEYING, INC.	
	3100 BANKSVILLE ROAD - PITTSBURGH, PA 15216	
	SCALE: 1" = 20'	NOVEMBER 6, 2020
		SHEET <u>2</u> of <u>13</u>
		DRAWING No. 21429-D



NOTE: BEARINGS SHOWN ON THIS PLAN ARE BASED ON THE SOUTH PIKE SQUARE PLAN REF: PLAN BOOK VOLUME 258, PAGE 43-44

SPC REALTY

NOTARY PUBLIC OFFICIAL SEAL

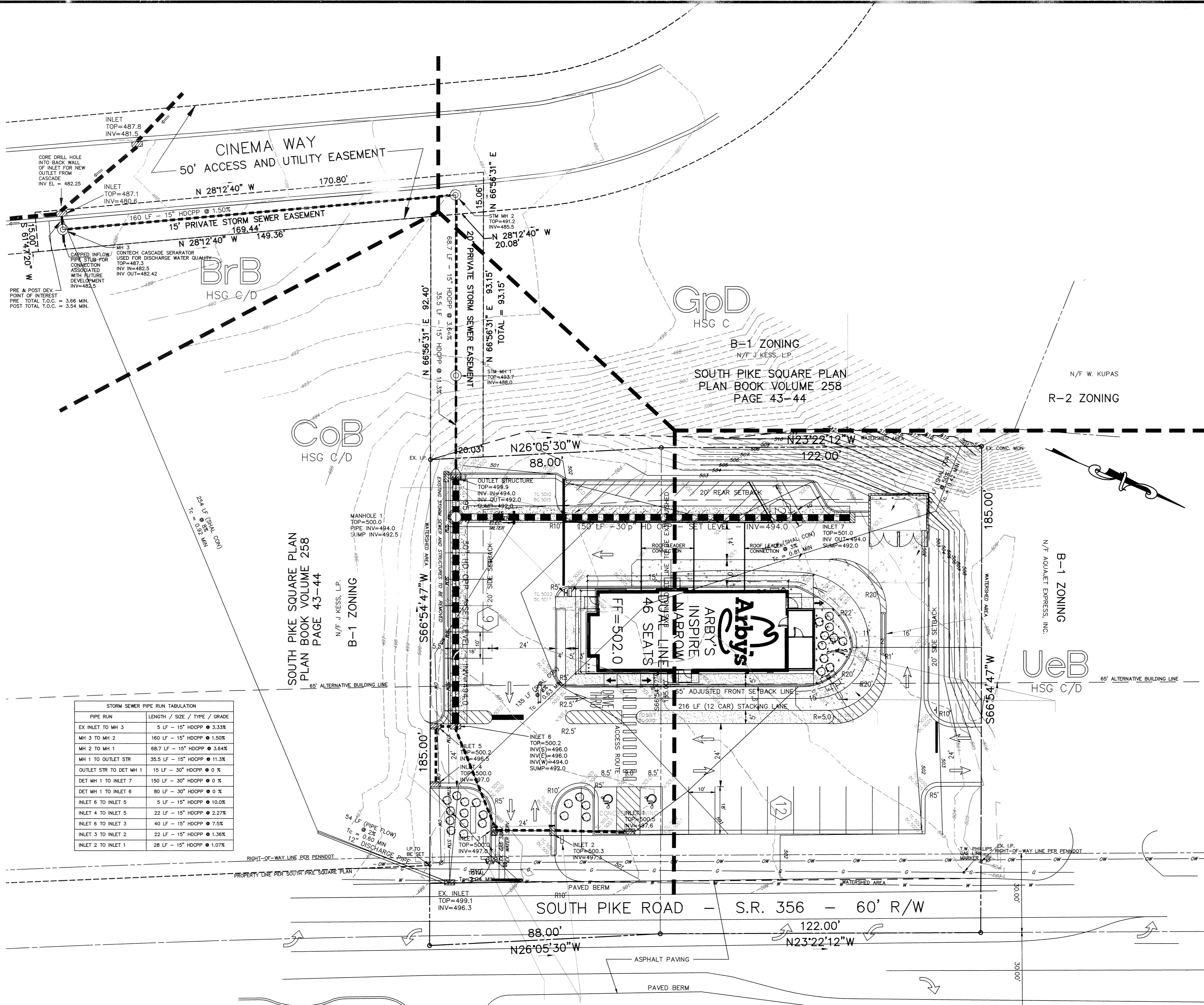
MORTGAGEE

SURVEYOR

BUFFALO TOWNSHIP

BUTLER CO. PLAN. COMM.

RECORDER OF DEEDS



CALCULATION OF PIPE CAPACITY AND FLOW VELOCITY

CALCULATION OF PIPE CAPACITY AND FLOW VELOCITY									
1.25 PIPE DIAMETER IN FEET									
0.012 PIPE SLOPE IN FT/FT									
0.012 MANNING "n" VALUE - SMOOTH INTERIOR POLYETHYLENE PIPE									
0.10 INCREMENT FOR DEPTH CALCULATIONS									
0.15 BEGINNING DEPTH FOR CALCULATIONS									
"V"	"Q"	Diam.	slope	"n"	depth	WP	Area	Hyd Rad	
3.14	0.26	1.25	0.015	0.012	0.15	0.88	0.083	0.09	
4.30	0.75	1.25	0.015	0.012	0.25	1.16	0.175	0.15	
5.22	1.47	1.25	0.015	0.012	0.35	1.39	0.281	0.20	
5.97	2.38	1.25	0.015	0.012	0.45	1.61	0.398	0.25	
6.60	3.43	1.25	0.015	0.012	0.55	1.81	0.520	0.29	
7.10	4.58	1.25	0.015	0.012	0.65	2.01	0.645	0.32	
7.49	5.76	1.25	0.015	0.012	0.75	2.22	0.769	0.35	
7.77	6.90	1.25	0.015	0.012	0.85	2.42	0.889	0.37	
7.93	7.94	1.25	0.015	0.012	0.95	2.65	1.001	0.38	
7.95	8.75	1.25	0.015	0.012	1.05	2.90	1.100	0.38	
7.79	9.20	1.25	0.015	0.012	1.15	3.21	1.181	0.37	
6.98	8.57	1.25	0.015	0.012	1.25	3.93	1.227	0.31	

ALL STORM SEWER PIPING SHALL BE 15" HDPPP WITH THE EXCEPTION OF THE DETENTION FACILITY WHICH USES 30" HDPPP.

VOLUME CONTROL IS CALCULATED IN ACCORDANCE WITH THE CG-1 METHOD. STORMWATER FACILITIES ARE SIZED TO CAPTURE THE RUNOFF FROM THE 2 YEAR, 24 HOUR STORM EVENT FOR THE ENTIRE WATERSHED.

WATERSHED EXISTING CONDITIONS TOTAL RUNOFF FROM ALL SURFACES INCLUDING IMPERVIOUS AND PEROVIOUS SURFACES = 4,082 C.F. (EXISTING RUNOFF VOLUME)

DEVELOPED CONDITION TOTAL RUNOFF FROM ALL SURFACES INCLUDING IMPERVIOUS AND PEROVIOUS SURFACES = 4,258 C.F. (DEVELOPED RUNOFF VOLUME)

ADDITIONAL RUNOFF VOLUME GENERATED BY THE PROPOSED DEVELOPMENT STORM REQUIRE 176 C.F. OF INFILTRATION STORAGE @ 40% VOID AREA OR 440 C.F. STONE VOLUME

INFILTRATION AREA = 0.4" X 4.5" X 245' REQUIRES A STONE VOLUME = 441 C.F. 40% VOID AREA IN STONE PROVIDES A TOTAL INFILTRATION VOLUME OF 176 C.F.

DISCHARGE WATER QUALITY IS CONTROLLED BY PLACEMENT OF TWO DEVICES IN SERIES.

IN ACCORDANCE WITH THE DEP BMP MANUAL, THE INFILTRATION BED WITHIN THE PRIMARY DETENTION FACILITY PROVIDES AN 85% REDUCTION IN TSS. ONCE EXITING THE PRIMARY FACILITY THE DOWNSTREAM STORM SEWER SYSTEM CONVEYS THIS WATER THROUGH A SECONDARY WATER QUALITY DEVICE.

THE IN LINE CASCADE MANHOLE, WHICH IS RATED TO REMOVE 80% OF THE REMAINING 15% OF THE TSS, PRODUCES AN ADDITIONAL 12% REDUCTION OF TSS.

THE TWO DEVICES IN SERIES RESULTS IN A TOTAL REDUCTION OF 97% OF TSS, WHICH EXCEEDS THE REQUIRED 95% TOTAL REDUCTION BY ORDINANCE.

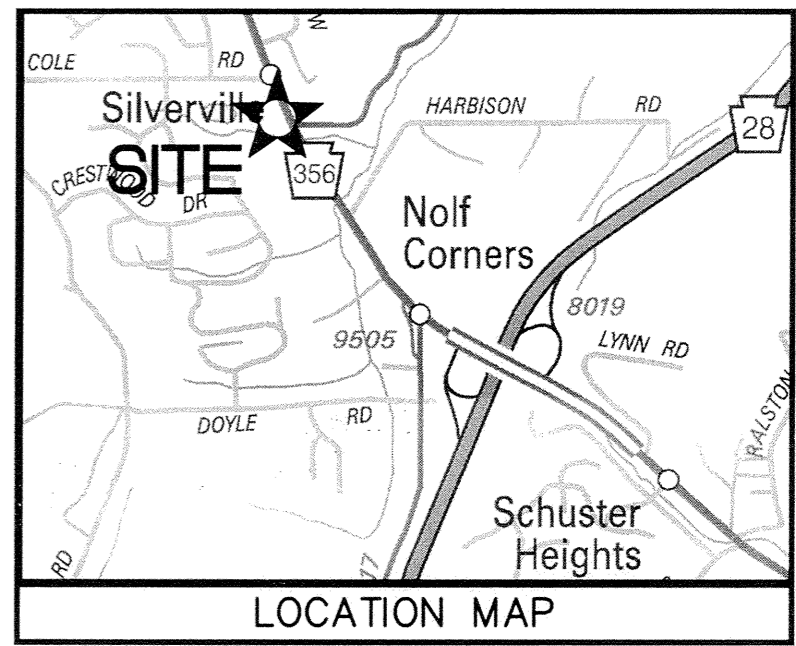
DESIGN ENGINEER
 HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF BUFFALO TOWNSHIP'S STORMWATER MANAGEMENT ORDINANCE.
 STEVE A. LIADIS
 REGISTERED PROFESSIONAL ENGINEER
 21741-E
 PENNSYLVANIA

BANKSON ENGINEERS
 HAVE REVIEWED THIS STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF BUFFALO TOWNSHIP'S STORMWATER MANAGEMENT ORDINANCE.
 MARGARET

(LANDOWNER) UNDERSTAND THAT THE STORMWATER BMP'S ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY BUFFALO TOWNSHIP.
 Milo C. Ritton

LEGEND OF SYMBOLS

- OW OVERHEAD WIRES
- UG UNDERGROUND WIRES
- GAS GAS LINE
- W WATER LINE
- SAN SANITARY SEWER
- STM STORM SEWER
- FENCE LINE
- WB WATER VALVE BOX
- GB GAS VALVE BOX
- U UTILITY POLE
- HC HANDICAPPED SPACE
- L LIGHT POLE
- FH FIRE HYDRANT



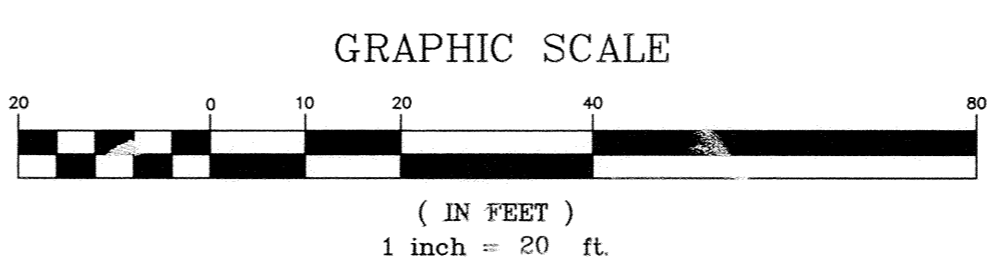
STORM SEWER PIPE RUN TABULATION

PIPE RUN	LENGTH / SIZE / TYPE / GRADE
EX INLET TO MH 3	5 LF - 15" HDPPP @ 3.33%
MH 3 TO MH 2	160 LF - 15" HDPPP @ 1.50%
MH 2 TO MH 1	68.7 LF - 15" HDPPP @ 3.64%
MH 1 TO OUTLET STR	35.5 LF - 15" HDPPP @ 11.3%
OUTLET STR TO DET MH 1	15 LF - 30" HDPPP @ 0%
DET MH 1 TO INLET 7	190 LF - 30" HDPPP @ 0%
DET MH 1 TO INLET 6	80 LF - 30" HDPPP @ 0%
INLET 6 TO INLET 5	5 LF - 15" HDPPP @ 10.0%
INLET 4 TO INLET 5	22 LF - 15" HDPPP @ 2.27%
INLET 6 TO INLET 3	40 LF - 15" HDPPP @ 7.5%
INLET 3 TO INLET 2	22 LF - 15" HDPPP @ 1.36%
INLET 2 TO INLET 1	28 LF - 15" HDPPP @ 1.07%

**704 SOUTH PIKE ROAD
 LAND DEVELOPMENT PLAN (SHEET 2 OF 3)**

REVISIONS:	PLAN MADE FOR	SPC REALTY
	SITUATE IN	BUFFALO TOWNSHIP BUTLER COUNTY, PA
ENGINEERS REVIEW 02/25/21	LIADIS ENGINEERING & SURVEYING, INC.	
ENGINEERS REVIEW 02/16/21	3100 BANKSVILLE ROAD - PITTSBURGH, PA 15216	
ENGINEERS REVIEW 01/21/21	SCALE: 1" = 20'	NOVEMBER 6, 2020
		SHEET 3 OF 13
		DRAWING No. 21429-D

PLAN BOOK PAGE
393 34



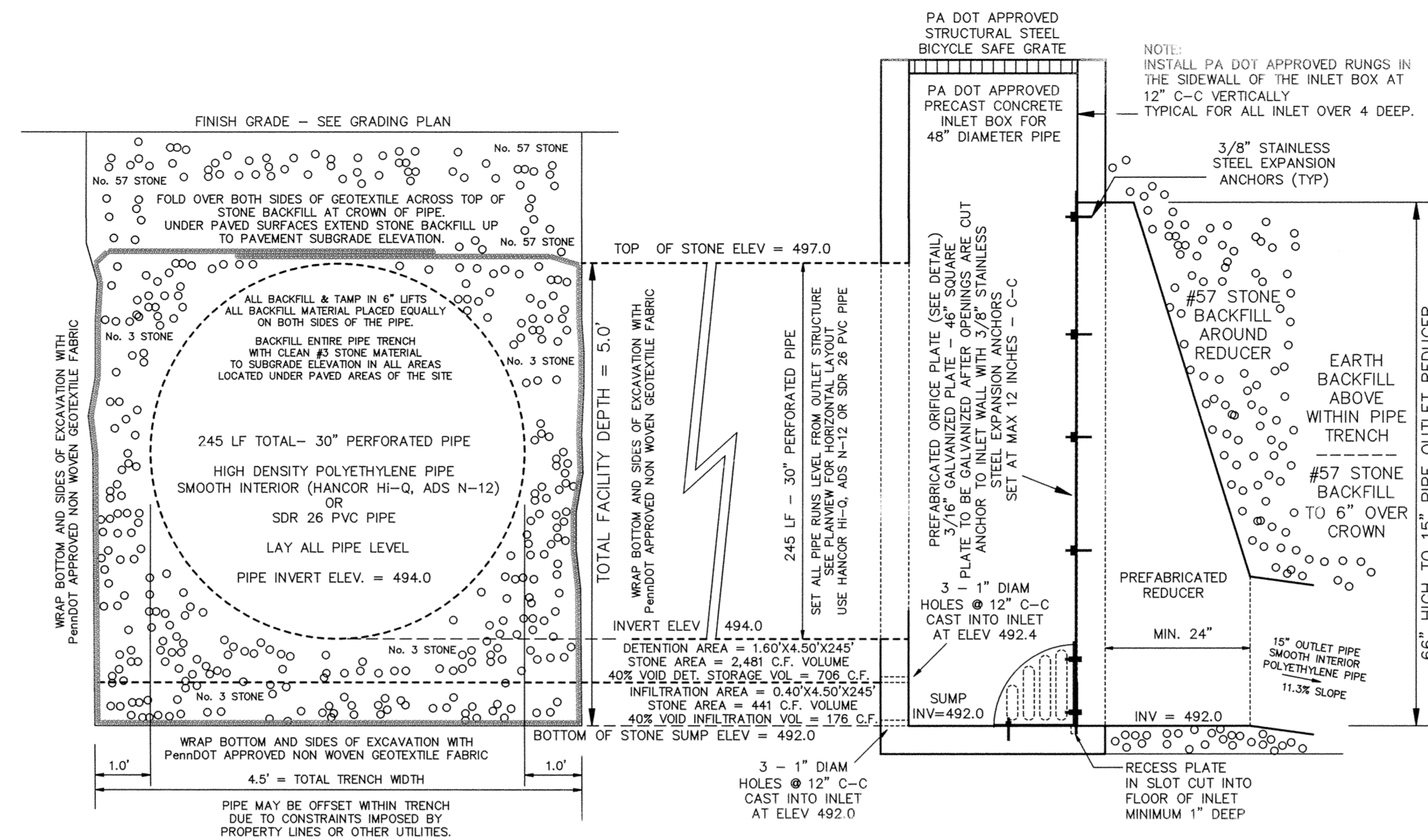
NOTE: BEARINGS SHOWN ON THIS PLAN ARE BASED ON THE SOUTH PIKE SQUARE PLAN REF: PLAN BOOK VOLUME 258, PAGE 43-44

Worksheet 3: Time of Concentration (T_c) or travel time (T_t)

Project	By	Date	
Location	Checked	Date	
Check one: <input checked="" type="checkbox"/> Present <input type="checkbox"/> Developed Check one: <input checked="" type="checkbox"/> T _c <input type="checkbox"/> T _t through subarea Notes: Space for as many as two segments per flow type can be used for each worksheet. Include a map, schematic, or description of flow segments.			
Sheet flow (Applicable to all flows)			
Segment ID	SLOPE		
1. Surface description (table 3-1)	BARE		
2. Manning's roughness coefficient, n (table 3-1)	0.05		
3. Flow length, L (total L ± 300 ft)	27		
4. Two-year 24-hour rainfall, P ₂	2.41		
5. Land slope, s	0.50		
6. $T_t = \frac{0.007 (nL)^{0.8}}{P_2^{0.5} s^{0.4}}$ Compute T _t	0.007	= 0.007	
Shallow concentrated flow			
Segment ID	LAWN	PAV	PIPE DISC
7. Surface description (paved or unpaved)	U	P	U
8. Flow length, L	116	135	254
9. Watercourse slope, s	0.03	0.03	0.08
10. Average velocity, V (figure 3-1)	2.9	3.6	4.6
11. $T_t = \frac{L}{3600 V}$ Compute T _t	0.011	0.014	0.015
Channel flow			
Segment ID	EX PIPE		
12. Cross sectional flow area, a	0.707		
13. Wetted perimeter, p _w	2.11		
14. Hydraulic radius, r _e = $\frac{a}{p_w}$ Compute r	0.33		
15. Channel slope, s	0.02		
16. Manning's roughness coefficient, n	0.12		
17. $V = 1.49 r^{2/3} s^{1/2}$ Compute V	8.44		
18. Flow length, L	54		
19. $T_t = \frac{L}{3600 V}$ Compute T _t	0.018	= 0.018	
20. Watershed or subarea T _c or T _t (add T _t in steps 6, 11, and 19)	0.061		

(118-11) TR-55, Second Ed., June 1996

3.66 MIN



THE INFILTRATION AREA = 0.40' DEEP X4.50' WIDE X245' LONG AT AN INFILTRATION RATE OF 0.1 INCHES PER HOUR AND DEPTH OF 4.8 INCHES. THE DEWATERING TIME FOR THE INFILTRATION SUMP IS (4.8 INCHES) / (0.10 INCHES/HOUR) = 48 HOURS OR 2 DAYS.

STORMWATER DETENTION FACILITY TANK & OUTLET STRUCTURE DETAIL (NTS)

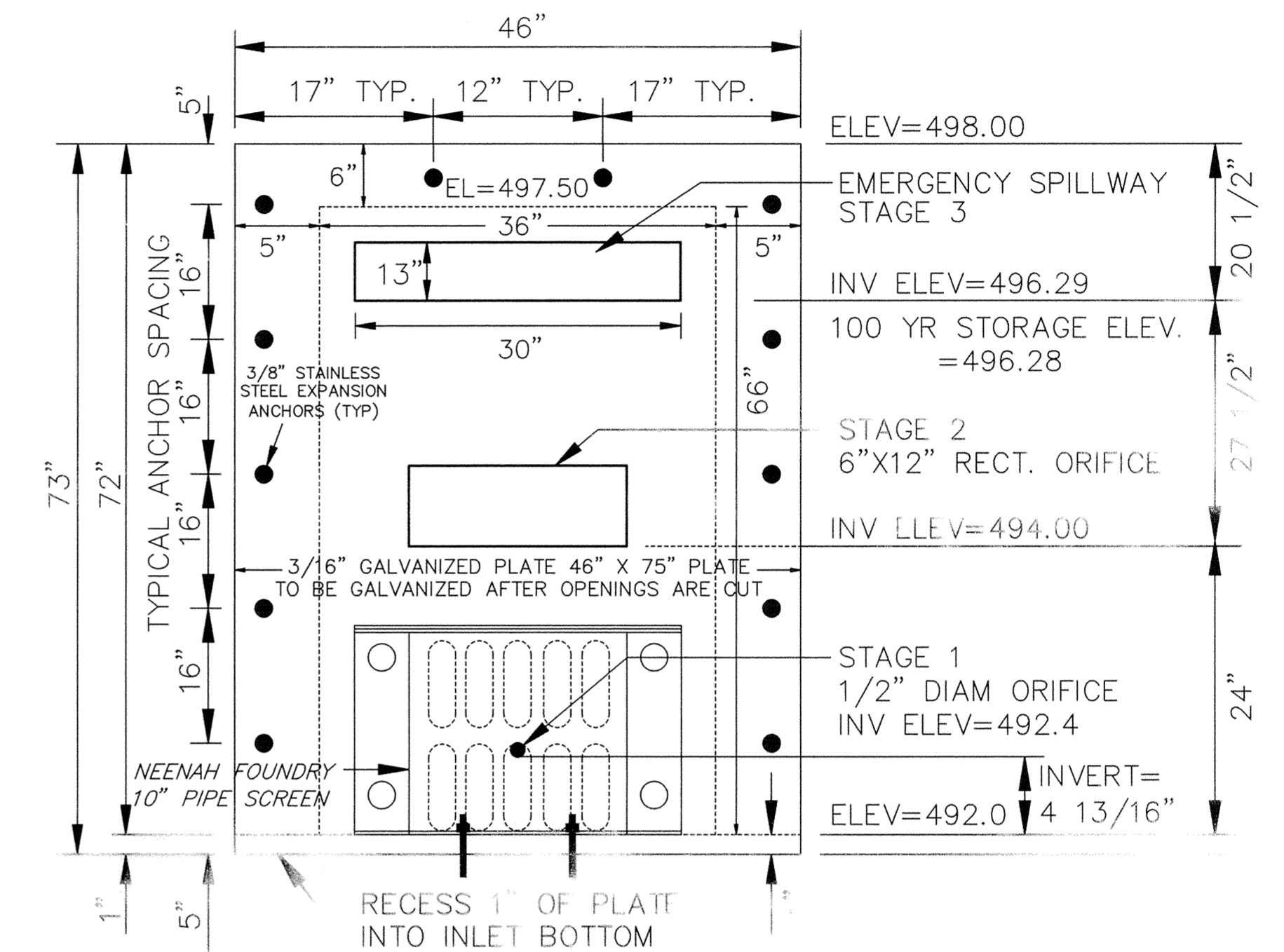
MAINTENANCE OF THE DETENTION FACILITY

The storm water management facilities shall remain privately owned operated and maintained. The property owner shall provide perpetual monitoring and maintenance of the storm water facilities and shall be responsible for any repairs which may be required in the future. Generally this will involve the maintenance required to prevent any trash, debris, and/or sediment from clogging pipes or the outlet control devices and the inspection and upkeep of erosion-resistant land covers above the tank to prevent silt from accumulating in the tank.

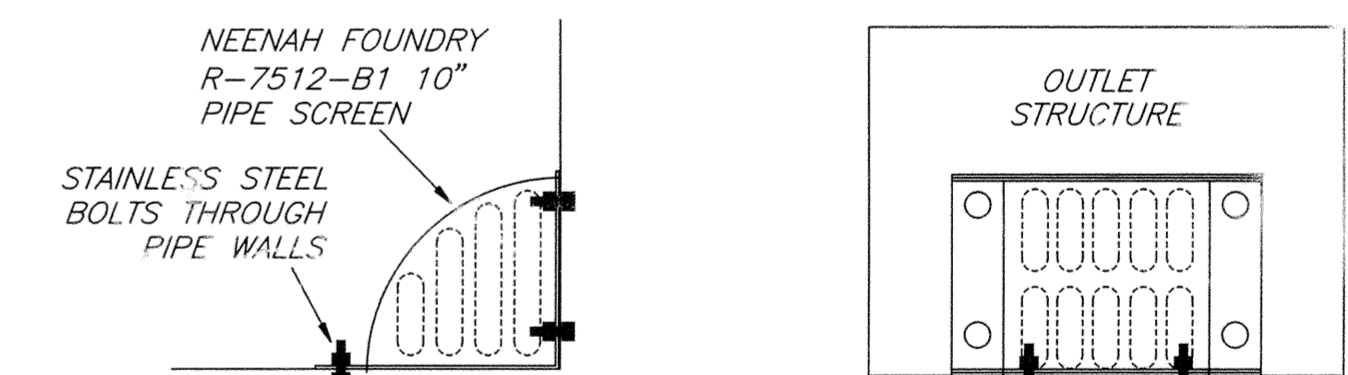
As a minimum, a program of two times a year inspections (March and mid November), is to be established, as a minimum requirement. Additional inspections shall be made after any rainfall event during which two (2) or more inches of rainfall are recorded in a 24 hour period. These inspections are to guard against potential damage or interference with the operation of the outlet riser controls and discharge pipe.

It is imperative, that any debris within the sump at the base of the outlet riser must be removed before it achieves a depth in excess of 3 inches within the sump area.

Any maintenance items uncovered during any inspection shall be completed as soon as possible.



ORIFICE PLATE DETAIL (NTS)



NEENAH FOUNDRY 10" PIPE SCREEN TRASH RACK FOR STAGE 1 DETENTION OUTLET (NTS)

STORMWATER DETAILS

SITE AND STORMWATER PLAN SET (SHEET 3 OF 3)

REVISIONS:	PLAN MADE FOR	SPC REALTY	
	SITUATE IN	BUFFALO TOWNSHIP BUTLER COUNTY, PA	
ENGINEERS REVIEW 03/03/21	LIADIS ENGINEERING & SURVEYING, INC.		SHEET 4 OF 13
ENGINEERS REVIEW 02/25/21	3100 BANKSVILLE ROAD - PITTSBURGH, PA 15216		
ENGINEERS REVIEW 02/16/21	SCALE: 1" = 20'		
ENGINEERS REVIEW 01/21/21	NOVEMBER 6, 2020		DRAWING No. 21429-D

PLAN BOOK	PAGE
393	35

CORPORATION ADOPTION, DEDICATION, AND RELEASE

COMPANY ADOPTION, DEDICATION, AND RELEASE

KNOW ALL MEN BY THESE PRESENTS: THAT JEREMIAH VILLAGE HOUSING 1 LLC A LIMITED LIABILITY COMPANY ORGANIZED UNDER THE LAWS OF THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN THE BOROUGH OF ZELIENOPLE, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY IRREVOCABLY DEDICATE ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. UPON ANY FUTURE ACCEPTANCE OF SAID PUBLIC STREETS OR PROPERTY BY THE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND THE BOROUGH OF ZELIENOPLE, JEREMIAH VILLAGE HOUSING 1 LLC HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND THE BOROUGH OF ZELIENOPLE, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON JEREMIAH VILLAGE LLC AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, THE SAID LIMITED LIABILITY COMPANY HAS EXECUTED THIS BY THE HAND OF THE PRESIDENT OF ITS MEMBER AND SAME TO BE ATTESTED BY ITS EXECUTIVE VICE PRESIDENT, THIS 19th DAY OF FEB., 2021.

ATTEST: JEREMIAH VILLAGE HOUSING 1 LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY
BY: TREK DEVELOPMENT GROUP, INC., MANAGING MEMBER

John M. Ginochi
JOHN GINOCCHI, EXECUTIVE VICE PRESIDENT

William J. Gatti
WILLIAM J. GATTI, PRESIDENT

CORPORATION ACKNOWLEDGMENT

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUTLER

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY PERSONALLY APPEARED WILLIAM J. GATTI, PRESIDENT OF TREK DEVELOPMENT GROUP, INC., MANAGING MEMBER OF JEREMIAH VILLAGE HOUSING 1 LLC, WHO BEING DULY SWORN, DEPOSETH AND SAITH THAT HE WAS PERSONALLY PRESENT AT THE EXECUTION OF THE ADOPTION, RELEASE AND DEDICATION AND SAW THE COMMON AND THAT THE ABOVE RELEASE AND DEDICATION WAS DULY SIGNED BY AND AS FOR THE ACT AND DEED OF THE SAID JEREMIAH VILLAGE HOUSING 1 LLC, FOR THE USES AND PURPOSES THEREIN MENTIONED AND THAT THE NAME OF THE DEPONENT SUBSCRIBED TO THE SAID RELEASE AND DEDICATION AS PRESIDENT OF SAID COMPANY, IN ATTESTATION OF THE DUE EXECUTION AND DELIVERY OF SAID RELEASE AND DEDICATION IS THIS DEPONENT'S OWN AND PROPER AND RESPECTIVE HANDWRITING.

William J. Gatti
PRESIDENT

SWORN AND SUBSCRIBED BEFORE ME THIS DAY, FEB. 19th, 2021. MY COMMISSION EXPIRES THE 10th DAY OF June, 2022.
(SEAL)

Melissa B. Keiser
NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
MELISSA B. KEISER - Notary Public
Allegheny County
My Commission Expires Jun 10, 2022
Commission Number 1333936

PROPERTY OWNERS CONSENT

WE, GLADE RUN LUTHERAN SERVICES, THE FOLLOWING OWNERS OF LAND ADJACENT TO THIS PLAN OF LOTS, DO HEREBY AGREE TO THE RECORDING OF THIS PLAN INsofar AS IT AFFECTS OUR PROPERTIES. WE FURTHER AGREE TO THE DEDICATIONS, ACKNOWLEDGMENTS AND COVENANTS APPEARING HEREON.

Anty Kulis
WITNESS

Steven T. Green
STEVEN T. GREEN, PRESIDENT/CEO
GLADE RUN LUTHERAN SERVICES

CERTIFICATE OF TITLE - MORTGAGE CLAUSE

JEREMIAH VILLAGE HOUSING 1 LLC DOES HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY SHOWN HEREON IS IN THE NAME OF JEREMIAH VILLAGE HOUSING 1 LLC AND IS RECORDED IN INSTRUMENT NO. INSTRUMENT # 202010050021912, AND THERE IS A MORTGAGE ON THE PROPERTY HELD BY GLADE RUN LUTHERAN SERVICES.

WITNESS: JEREMIAH VILLAGE HOUSING 1 LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY
BY: TREK DEVELOPMENT GROUP, INC., MANAGING MEMBER

John M. Ginochi
WITNESS

William J. Gatti
WILLIAM J. GATTI, PRESIDENT

GLADE RUN LUTHERAN SERVICES, MORTGAGEE OF THE PROPERTY CONTAINED IN THE FINAL SITE PLAN FOR RECORDING CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

Anty Kulis
WITNESS

Steven T. Green
STEVEN T. GREEN, PRESIDENT/CEO
GLADE RUN LUTHERAN SERVICES

PROFESSIONAL ENGINEER/LAND SURVEYOR CERTIFICATE

I, Donald R. Housley, A REGISTERED PROFESSIONAL ~~ENGINEER~~ (OR REGISTERED SURVEYOR) OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES, AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS ARE SHOWN ON THE PLAT HAVE BEEN SET, AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

FEBRUARY 3, 2021
DATE

Donald R. Housley
ENGINEER PROFESSIONAL LAND SURVEYOR
REGISTRATION NUMBER: SU 035559 E

PRIVATE ROAD/STREET NOTICE

1. PRIVATE ROADS/STREETS TO BE KNOWN AS JEREMIAH DRIVE AND ALMOND COURT, ARE HEREBY ESTABLISHED AS SHOWN ON THIS PLAN. THE PRIVATE ROADS/STREETS ARE NOT INTENDED AS PUBLIC ROADS/STREETS, HAVE NOT BEEN DEDICATED FOR PUBLIC USE AND HAVE NOT BEEN ACCEPTED AS PUBLIC ROADS/STREETS BY THE BOROUGH OF ZELIENOPLE.
2. THE PRIVATE ROADS/STREETS AS SHOWN ON THIS PLAN SHALL BE THE EXCLUSIVE MEANS OF VEHICULAR AND/OR PEDESTRIAN ENTRY, EGRESS AND REGRESS TO/FROM PHASE 1 - LOT 1A.
3. THE COST AND/OR EXPENSES ASSOCIATED WITH THE CONSTRUCTION AND/OR PERPETUAL RECONSTRUCTION, MAINTENANCE, REPAIR AND/OR GRADING OF THE PRIVATE ROADS/STREETS SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER OF PHASE 1 - LOT 1A.
4. AS A CONDITION TO APPROVING THIS PLAN, THE BOROUGH REQUIRES THAT A WRITTEN PRIVATE ROAD/STREET CONSTRUCTION, USE, MAINTENANCE, AND REPAIR AGREEMENT, SHALL BE APPROVED IN ADVANCE BY THE BOROUGH AND SHALL BE REFERENCED IN EACH DEED OF CONVEYANCE FOR PHASE 1 - LOT 1A. THE ORIGINAL SHALL BE RECORDED IN THE PUBLIC RECORDS AT THE OFFICE OF THE RECORDER OF DEEDS, BUTLER COUNTY, PENNSYLVANIA.
5. AS A CONDITION TO APPROVING THIS PLAN, NO FURTHER SUBDIVISION OR DEVELOPMENT OF PHASE 1 - LOT 1A, OR EXTENSION OF THE PRIVATE ROADS/STREETS AS SHOWN ON THIS PLAN SHALL BE PERMITTED OR APPROVED UNLESS THE PRIVATE ROADS/STREETS ARE PAVED FOR ITS FULL LENGTH AND WIDTH, BROUGHT INTO COMPLIANCE WITH ALL THE REQUIREMENT OF THE BOROUGH OF ZELIENOPLE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, AS AMENDED, AND DEDICATED FOR PUBLIC USE.
6. FINAL APPROVAL OF THE PLAN DOES NOT OBLIGATE OR REQUIRE THE BOROUGH TO CONSTRUCT, RECONSTRUCT, MAINTAIN, REPAIR AND/OR GRADE THE PRIVATE ROADS/STREETS HEREBY ESTABLISHED.

HIGHWAY ACCESS NOTE:

A Highway Occupancy Permit is required pursuant to Section 420 of the Act of June 1, 1945 (P.L. 1242, No. 428) known as the "State Highway Law" before driveway access to a State Road is permitted.

BOROUGH PLANNING COMMISSION RECOMMENDATION FOR APPROVAL

Reviewed by the Borough of Zelienople Planning Commission this 26th day of APRIL, 2021

Mark J. Matlock
SECRETARY

Douglas J. Fiedler
CHAIRMAN

BOROUGH COUNCIL FINAL APPROVAL CERTIFICATE

The Borough Council of the Borough of Zelienople hereby gives public notice that in approving this plan for recording purposes only, the Borough of Zelienople assumes no obligations, legal or otherwise, expressed or implied either to accept said streets as Borough streets or roads or grade, pave and curb the streets in said plan, or to construct sewers or waterlines therein or to install any other such service ordinarily installed in Borough streets or roads.

Donald J. ...
SECRETARY

Allen E. Boyer
COUNCIL PRESIDENT

4-2-21
DATE

BUTLER COUNTY PLANNING COMMISSION CERTIFICATE

Reviewed by the Butler County Planning Commission this 18th day of MARCH, 2021

J. H. GRM
Director - CHAIR.

R. H. GRM
SEC

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA
SS:
COUNTY OF BUTLER

Recorded in the Records Office for the recording of deeds, plans, etc., in said County in Plan Book Volume 393 page 36-37

Given under my hand and seal this 28th day of April, 2021

Michele M. Mustello
Recorder

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024
BUTLER PA 16003-1208

Instr: 202104280012017
Page 2 of 58500
Michele Mustello
Butler County Recorder PA

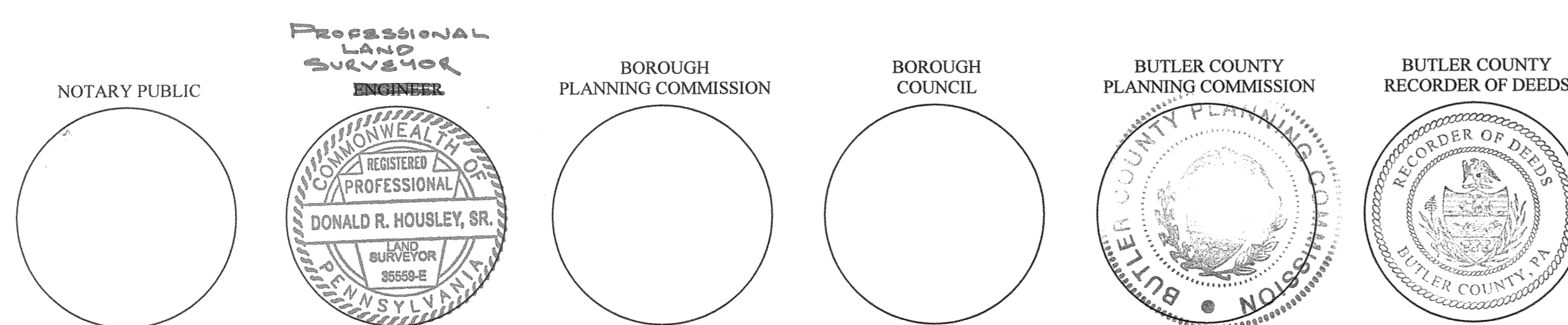
FAHRINGER,
MCCARTY,
GREY, INC.
LANDSCAPE ARCHITECTS AND CIVIL ENGINEERS
1610 GOLDEN MILE HIGHWAY, MONROEVILLE, PA
WWW.PHGINC.US | (724) 327-0579

NO.	DATE	BY	DESCRIPTION
1.	10/09/2020	BJA	UPDATED DEDICATION SIGNATURE BLOCKS

GLADE RUN - JEREMIAH VILLAGE
BOROUGH OF ZELIENOPLE | BUTLER COUNTY
WEST BEAVER STREET | ZELIENOPLE, PENNSYLVANIA 16063
PREPARED FOR
TREK DEVELOPMENT GROUP
130 7TH STREET, SUITE 300 | PITTSBURGH, PENNSYLVANIA 15222

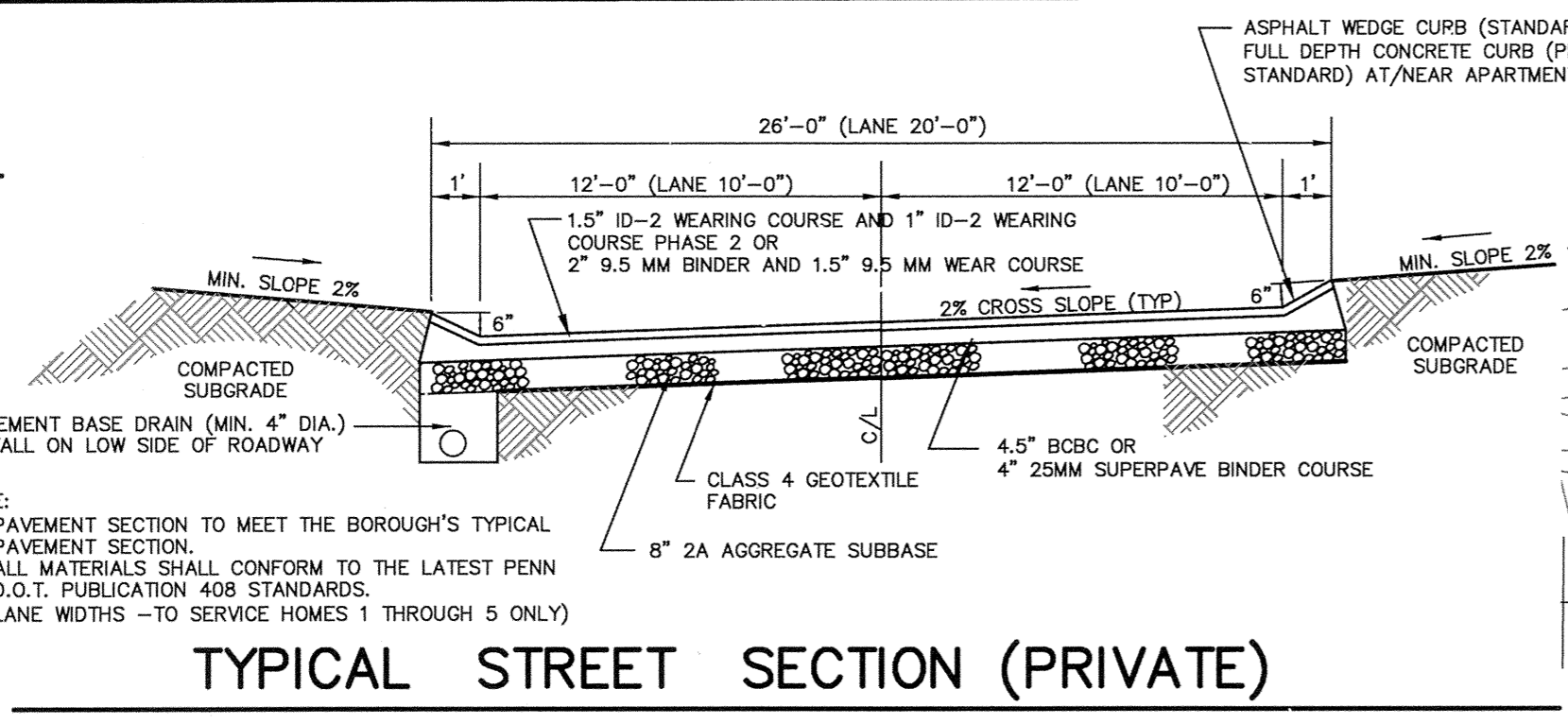
FINAL SITE PLAN for RECORDING

FOR NO: 5069 DRAWN: BJA/KMZ DATE: 07/20/2020
SCALE: NONE
SHEET NUMBER: **LDRP-1.0 (LOT 1-A)**



PLAN BOOK **393** PAGE **36**

- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING TREE LINE
 - EXISTING WATER LINE
 - EXISTING HYDRANT
 - EXISTING WATER VALVE
 - EXISTING SANITARY LINE
 - EXISTING SANITARY MANHOLE
 - EXISTING UTILITY POLE
 - EXISTING STORM LINE
 - EXISTING STORM INLET
 - EXISTING STORM MANHOLE
 - EXISTING LIGHT POLE
 - EXISTING FENCE LINE
 - PHASING BOUNDARY
 - PROPOSED SANITARY MANHOLE
 - PROPOSED STORM MANHOLE
 - PROPOSED STORM YARD DRAIN
 - PROPOSED STORM INLET
 - PROPOSED HEAVY DUTY CONCRETE

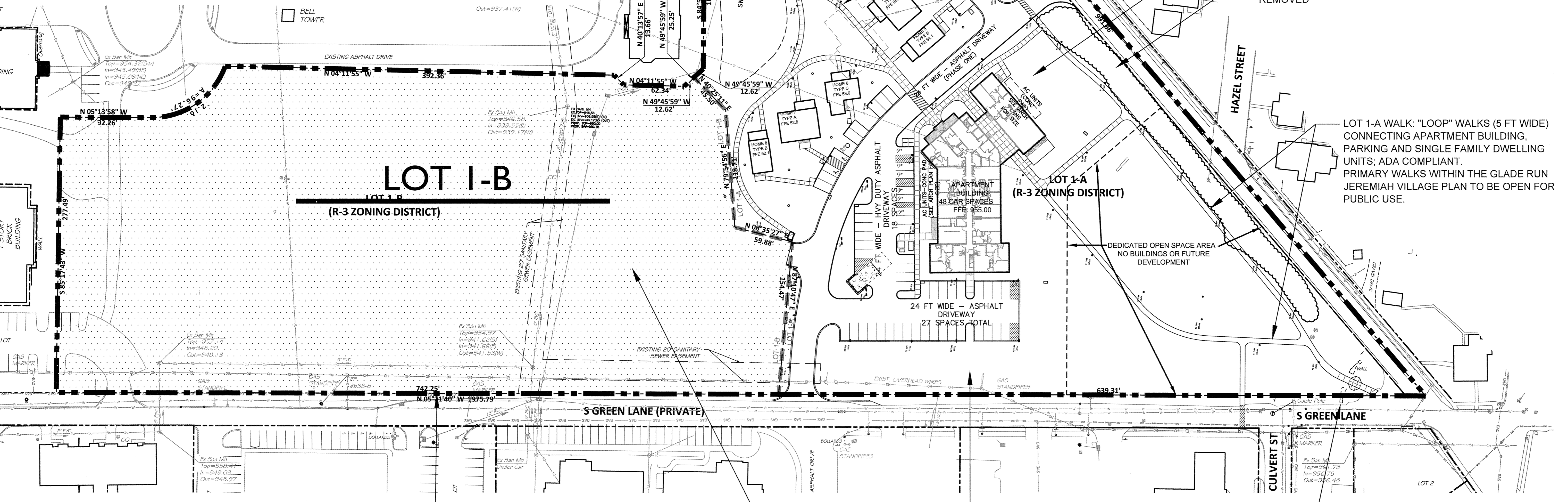


NO SCALE



Call BEFORE YOU DIG IN PENNSYLVANIA
1-800-242-1776
PENNSYLVANIA ONE CALL SYSTEM, INC.
PA STATE LAW REQUIRES 3 WORKING DAYS NOTICE

TURNAROUND DESIGNED IN ACCORDANCE WITH A LETTER REPORT PREPARED BY DAVID E. WOOSTER AND ASSOCIATES INC. TO THE OWNER DATED AUGUST 4, 2020



GENERAL NOTES:
 -BUILDING FOOTPRINTS, PAVEMENT LIMITS, AND EXISTING UTILITIES PROVIDED BY: R.F. MITALL AND ASSOCIATES, INC. 117 SAGAMORE HILL ROAD PITTSBURGH, PA 15239
 -BASE INFORMATION COMPILED FROM AERIAL IMAGERY PROVIDED BY: R.F. MITALL AND ASSOCIATES, INC. 117 SAGAMORE HILL ROAD PITTSBURGH, PA 15239
 -TOPOGRAPHY FOR LOT 1 PROVIDED BY: DIGIOIA GRAY CONSULTING ENGINEERS AND SCIENTISTS 570 BETTY ROAD MONROEVILLE, PA 15146
 -TOPOGRAPHY FOR LOT 2 PROVIDED BY: R.F. MITALL AND ASSOCIATES, INC. 117 SAGAMORE HILL ROAD PITTSBURGH, PA 15239
 -SQUARE FOOTAGES SHOWN ARE ROOF AREAS, NOT INTERNAL SQUARE FOOTAGE.
 -THE LOCATION OF ALL EXISTING AND PROPOSED SITE UTILITIES, IMPROVEMENTS, & PLANTINGS ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.

FLOODPLAIN NOTE:
 PER FEMA MAP NUMBER 42019C0367D, EFFECTIVE DATE: AUGUST 2, 2018, THE SITE IS IN ZONE X "AREA OF MINIMAL FLOOD HAZARD (NO SHADING)", AND IS NOT WITHIN A FLOODPLAIN.

BUILDING GROSS SQUARE FOOTAGES PER ARCHITECTURAL PLANS:

LOT 1-A:	
APARTMENT BUILDING	39,300 GSF
SINGLE FAMILY HOME "A"	1,187 GSF
SINGLE FAMILY HOME "B"	1,354 GSF
SINGLE FAMILY HOME "C"	1,714 GSF

TOTAL LOT 1-A AND 1-B AREA:
11.51 ACRES

PLAN BOOK	PAGE
393	37

WEST BEAVER STREET
33 FT RIGHT OF WAY LINE (SR-68 - PENN DOT)

SITE DATA:

ZONING DESIGNATION	R3 (URBAN RESIDENTIAL)
LOT 1-A:	
TOTAL AREA:	6.43 ACRES
SETBACKS:	12 FT.
BUILDING SPACING PROVIDED	45 FT. OR 3 STORIES
MAX. BUILDING HEIGHT	8 - SINGLE FAMILY UNITS
DWELLING UNIT TYPES	36 - MULTI-FAMILY (APARTMENTS) UNITS
IMPERVIOUS COVERAGE REQ.	6.84 UNITS PER ACRE
DWELLING UNIT DENSITY	50% MAXIMUM
TOTAL IMPERVIOUS AREA:	92,921 SF (2.13 AC) = 33.18%
TOTAL PERVIOUS AREA:	187,161 SF (4.29 AC) = 66.82%
OPEN SPACE AREA (ACRES)	40% MINIMUM
TOTAL OPEN SPACE:	137,700 SF (3.16 AC) = 49.16%
PARKING SPACES PROVIDED:	16 SPACES (2 PER UNIT)
TOTAL SINGLE FAMILY SPACES :	48 SPACES
TOTAL APARTMENT SPACES:	
LOT/BUILDING COVERAGE (ROOF AREA VERSUS SITE AREA)	
LOT 1-A:	22,300 SQ FT ROOF / 280,090 SQ FT OR 8.0%

FAHRINGER, MCCARTY, GREY, INC.
 LANDSCAPE ARCHITECTS AND CIVIL ENGINEERS
 1610 GOLDEN MILE HIGHWAY, MONROEVILLE, PA
 WWW.FMGINC.US | (724) 327-0599

REVISIONS

NO.	DATE	DESCRIPTION
1	02/24/2020	ISSUED FOR PERMIT
2	03/24/2020	UPDATED TO ADDRESS TOWNSHIP ENGINEERS COMMENT LETTER DATED FEB 20, 2020
3	04/24/2020	UPDATED TO ADDRESS TOWNSHIP ENGINEERS COMMENT LETTER DATED APR 15, 2020
4	05/24/2020	UPDATED TO ADDRESS TOWNSHIP ENGINEERS COMMENT LETTER DATED MAY 15, 2020
5	06/24/2020	UPDATED TO ADDRESS TOWNSHIP ENGINEERS COMMENT LETTER DATED JUN 15, 2020
6	07/24/2020	UPDATED TO ADDRESS TOWNSHIP ENGINEERS COMMENT LETTER DATED JUL 15, 2020

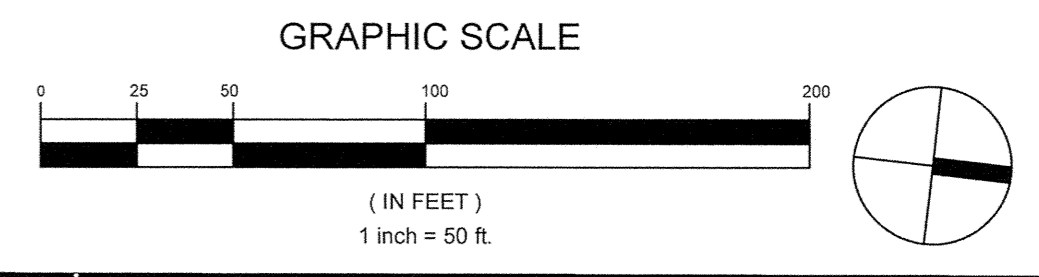
REVISIONS

NO.	DATE	DESCRIPTION
1	02/24/2020	ISSUED FOR PERMIT
2	03/24/2020	UPDATED TO ADDRESS TOWNSHIP ENGINEERS COMMENT LETTER DATED FEB 20, 2020
3	04/24/2020	UPDATED TO ADDRESS TOWNSHIP ENGINEERS COMMENT LETTER DATED APR 15, 2020
4	05/24/2020	UPDATED TO ADDRESS TOWNSHIP ENGINEERS COMMENT LETTER DATED MAY 15, 2020
5	06/24/2020	UPDATED TO ADDRESS TOWNSHIP ENGINEERS COMMENT LETTER DATED JUN 15, 2020
6	07/24/2020	UPDATED TO ADDRESS TOWNSHIP ENGINEERS COMMENT LETTER DATED JUL 15, 2020

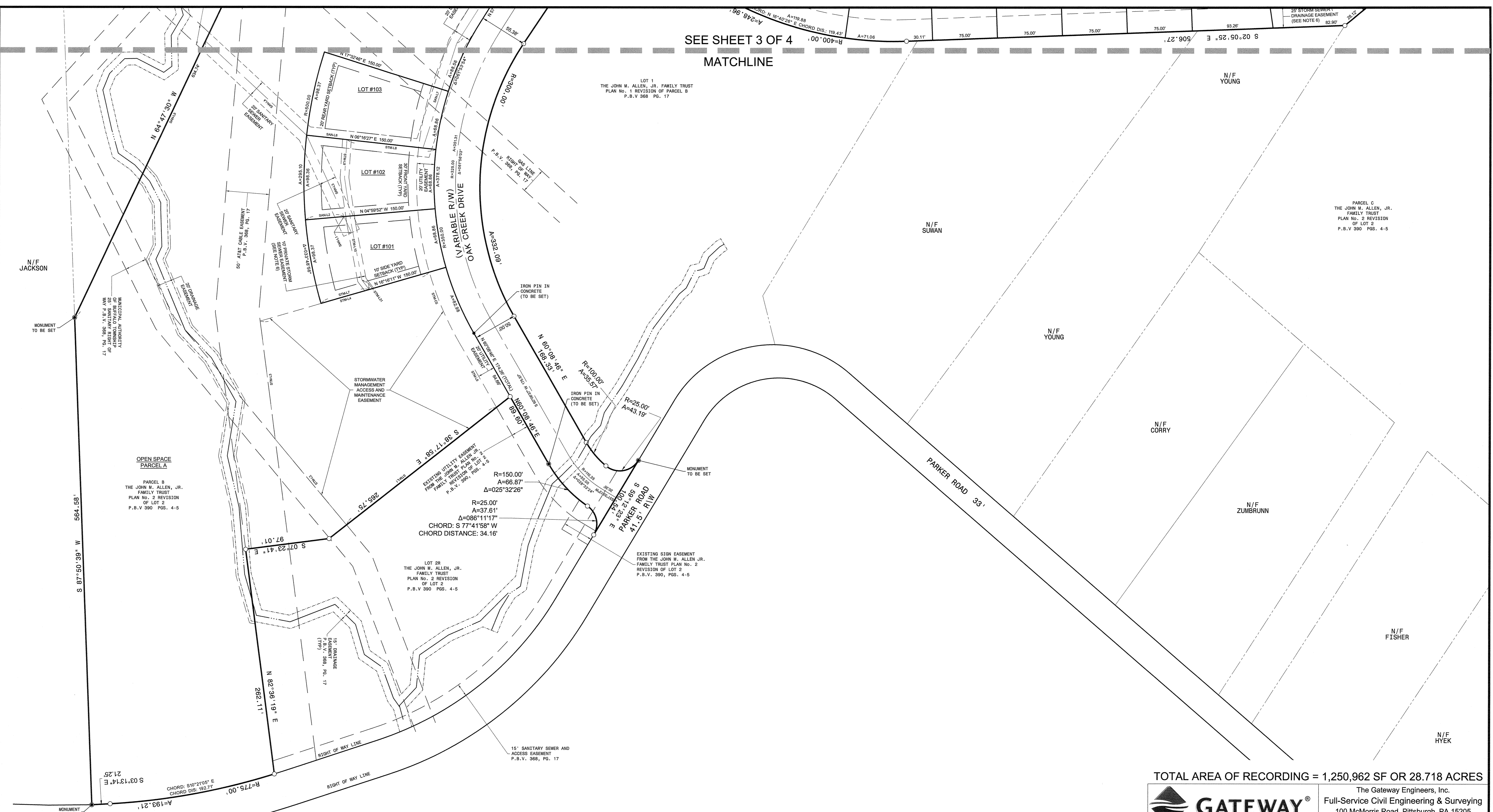
GLADE RUN - JEREMIAH VILLAGE
 BOROUGH OF ZELLENOPLE | BUTLER COUNTY
 WEST BEAVER STREET | ZELLENOPLE, PENNSYLVANIA | 6063
 PREPARED FOR
TREK DEVELOPMENT GROUP
 130 7TH STREET, SUITE 300 | PITTSBURGH, PENNSYLVANIA 15222

FINAL SITE PLAN for RECORDING

JOB NO: 5069 DRAWN: BJA/KMZ DATE: 01/13/2020
 SCALE: 1" = 50'
 SHEET NUMBER: **LDRP-2.0 (LOT 1-A)**

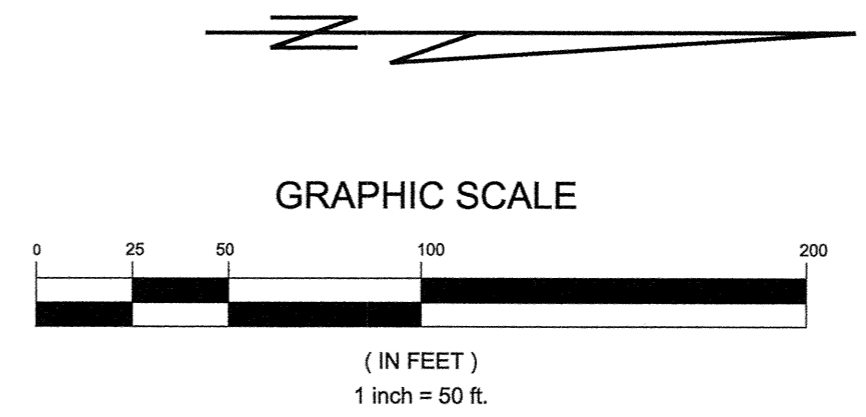


SEE SHEET 3 OF 4
MATCHLINE



NOTES:

- THE PURPOSE OF THIS PLAN IS TO FURTHER SUBDIVIDE PARCEL B OF THE JOHN M. ALLEN, JR. FAMILY TRUST PLAN No. 2 REVISION OF LOT 2.
- SEE SHEET 4 OF 4 FOR PLAN CERTIFICATIONS.
- SEE SHEET 4 OF 4 FOR LOT AREA TABULATION.
- PRD LOT SETBACKS ARE AS FOLLOWS:
 - FRONT YARD SETBACK = 30'
 - SIDE YARD SETBACK = 10'
 - REAR YARD SETBACK = 20'
 - PRD PERIMETER SETBACK = 50'
- SEE SHEET 4 OF 4 FOR EASEMENT DESCRIPTION LINE AND CURVE TABLES.
- STORM SEWER EASEMENT CONTAINS STORM SEWER 1 DRAINAGE FACILITIES FOR MULTIPLE LOTS IN THE DEVELOPMENT. THIS EASEMENT SHALL REMAIN FREE OF DEBRIS AND IS THE HOMEOWNERS RESPONSIBILITY TO THE AREA WITHIN THE EASEMENT MAINTAINED FOR THE LOT THEY OWN.



PLAN BOOK	PAGE
393	39

TOTAL AREA OF RECORDING = 1,250,962 SF OR 28.718 ACRES

GATEWAY[®]
The Gateway Engineers, Inc.
Full-Service Civil Engineering & Surveying
100 McMorris Road, Pittsburgh, PA 15205
gatewayengineers.com 855-634-9284

**OAK CREEK FARMS
PLAN No. 1**

BEING A FURTHER SUBDIVISION OF PARCEL B OF THE JOHN M. ALLEN, JR. FAMILY TRUST PLAN No. 2 REVISION OF LOT 2 AS RECORDED IN P.B.V. 390 PGS 4-5

SITUATE IN
**BUFFALO TOWNSHIP
BUTLER COUNTY**

MADE FOR
**F AND H PROPERTY
DEVELOPMENT, LLC**

PM: MAO DB: LPW CB: MAO SCALE: 1" = 50'
Date: 2020-06-16
Job Number: C-19213-0006
DWG No: 2 OF 4

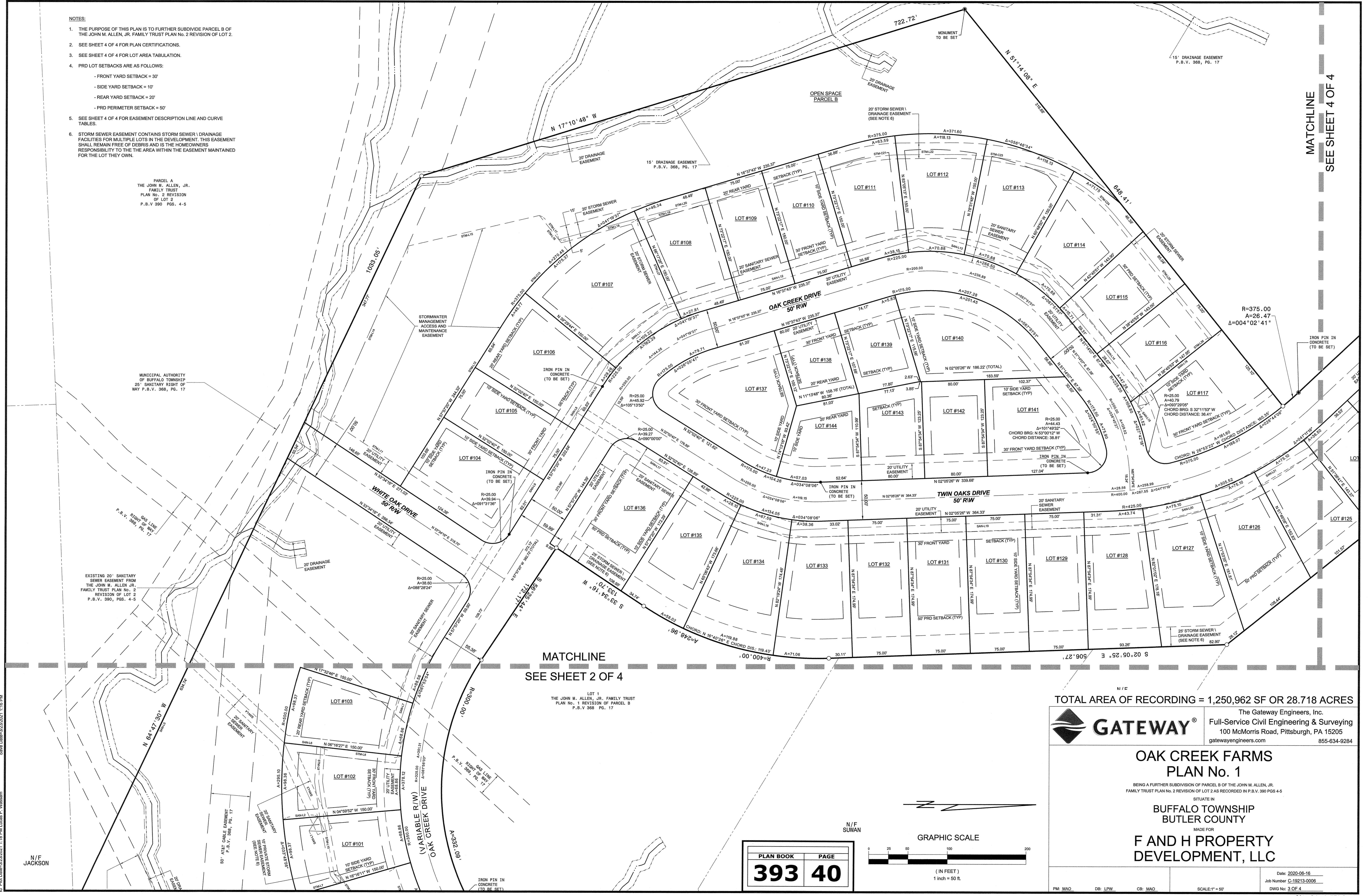
I:\Projects\2020\19213-0006 Oak Creek Farms\19213-0006 Oak Creek Farms.dwg
 User: MAO
 Date: 2020-06-16 11:10 PM
 Plot Date: 2020-06-16 11:17 PM
 Plot Size: 11.7 x 11.7
 Plot Scale: 1" = 50'
 Plot Orientation: Horizontal
 Plot Title: 19213-0006 Oak Creek Farms.dwg
 Plot Path: I:\Projects\2020\19213-0006 Oak Creek Farms\19213-0006 Oak Creek Farms.dwg
 Plot Size: 11.7 x 11.7
 Plot Scale: 1" = 50'
 Plot Orientation: Horizontal
 Plot Title: 19213-0006 Oak Creek Farms.dwg
 Plot Path: I:\Projects\2020\19213-0006 Oak Creek Farms\19213-0006 Oak Creek Farms.dwg

- NOTES:
1. THE PURPOSE OF THIS PLAN IS TO FURTHER SUBDIVIDE PARCEL B OF THE JOHN M. ALLEN, JR. FAMILY TRUST PLAN No. 2 REVISION OF LOT 2.
 2. SEE SHEET 4 OF 4 FOR PLAN CERTIFICATIONS.
 3. SEE SHEET 4 OF 4 FOR LOT AREA TABULATION.
 4. PRD LOT SETBACKS ARE AS FOLLOWS:
 - FRONT YARD SETBACK = 30'
 - SIDE YARD SETBACK = 10'
 - REAR YARD SETBACK = 20'
 - PRD PERIMETER SETBACK = 50'
 5. SEE SHEET 4 OF 4 FOR EASEMENT DESCRIPTION LINE AND CURVE TABLES.
 6. STORM SEWER EASEMENT CONTAINS STORM SEWER 1 DRAINAGE FACILITIES FOR MULTIPLE LOTS IN THE DEVELOPMENT. THIS EASEMENT SHALL REMAIN FREE OF DEBRIS AND IS THE HOMEOWNERS RESPONSIBILITY TO THE AREA WITHIN THE EASEMENT MAINTAINED FOR THE LOT THEY OWN.

PARCEL A
THE JOHN M. ALLEN, JR.
FAMILY TRUST
PLAN No. 2 REVISION
OF LOT 2
P.B.V. 380 PGS. 4-5

MUNICIPAL AUTHORITY
OF BUFFALO TOWNSHIP
25' SANITARY RIGHT OF
WAY P.B.V. 388, PG. 17

EXISTING 20' SANITARY
SEWER EASEMENT FROM
THE JOHN M. ALLEN, JR.
FAMILY TRUST PLAN No. 2
REVISION OF LOT 2
P.B.V. 390, PGS. 4-5



MATCHLINE
SEE SHEET 2 OF 4

LOT 1
THE JOHN M. ALLEN, JR. FAMILY TRUST
PLAN No. 1 REVISION OF PARCEL B
P.B.V. 388 PG. 17

TOTAL AREA OF RECORDING = 1,250,962 SF OR 28.718 ACRES

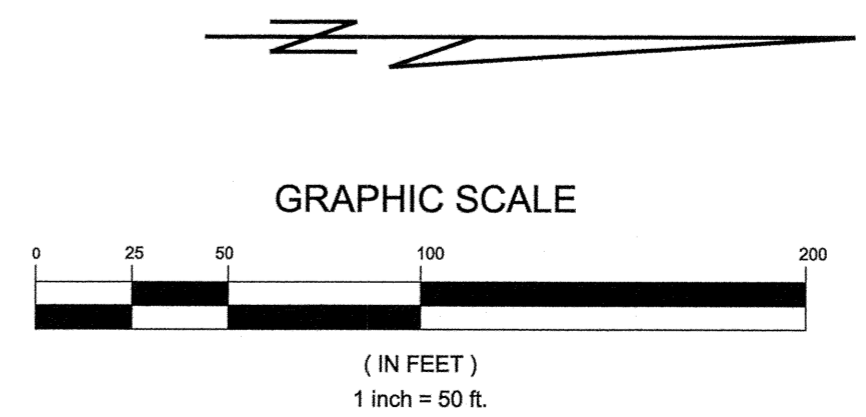
GATEWAY
The Gateway Engineers, Inc.
Full-Service Civil Engineering & Surveying
100 McMorris Road, Pittsburgh, PA 15205
gatewayengineers.com 855-634-9284

**OAK CREEK FARMS
PLAN No. 1**

BEING A FURTHER SUBDIVISION OF PARCEL B OF THE JOHN M. ALLEN, JR.
FAMILY TRUST PLAN No. 2 REVISION OF LOT 2 AS RECORDED IN P.B.V. 390 PGS 4-5

SITUATE IN
**BUFFALO TOWNSHIP
BUTLER COUNTY**

MADE FOR
**F AND H PROPERTY
DEVELOPMENT, LLC**



PLAN BOOK	PAGE
393	40

MATCHLINE
SEE SHEET 4 OF 4

Path: C:\Users\p\Documents\Projects\060001\060015\Twin Oaks\06-0106 Oak Creek Farms\060015.dwg
 User: p
 Date: 2020-06-16 11:18 PM
 Plot Date: 2020-06-16 11:18 PM

NOTE: ALL SIGNATURES MUST BE MADE WITH A NAVY BLUE INK FELT TIP PEN.

CORPORATION ADOPTION
KNOW ALL MEN BY THESE PRESENTS: THAT F AND H PROPERTY DEVELOPMENT, LLC BY VIRTUE OF A RESOLUTION OF ITS BOARD OF DIRECTORS, DOES HEREBY ADOPT THIS PLAN OF SUBDIVISION OF ITS PROPERTY, SITUATED IN THE TOWNSHIP OF BUFFALO, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVER ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE TOWNSHIP OF BUFFALO, BUTLER COUNTY, F AND H PROPERTY DEVELOPMENT, LLC HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF BUFFALO OF BUTLER COUNTY, ITS SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON F AND H PROPERTY DEVELOPMENT, LLC ITS SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE HAND OF ITS PRESIDENT AND SAME TO ATTESTED SECRETARY, THIS 29 DAY OF March, 2024.

[Signature]
SECRETARY
[Signature]
PRESIDENT/Managing Partner

CORPORATION ACKNOWLEDGEMENT:
COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER/Allegheny } SS:

ON THIS 29 DAY OF March, A.D. 2024 BEFORE ME, A NOTARY PUBLIC AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED Gary Herbert OF F AND H PROPERTY DEVELOPMENT, LLC WHO BEING DULY SWORN, DEPOSES AND SAYS THAT HE WAS PERSONALLY PRESENT AT THE EXECUTION OF THE ADOPTION, RELEASE AND DEDICATION AND SAW THE COMMON AND CORPORATE SEAL OF THE SAID CORPORATION DULY SIGN AND SEALED BY AND AS FOR THE ACT AND DEED OF THE SAID F AND H PROPERTY DEVELOPMENT, LLC FOR THE USES AND PURPOSES THEREIN MENTIONED, AND THAT THE NAME OF THIS DEPONENT SUBSCRIBED TO THE SAID RELEASE AND DEDICATION OF F AND H PROPERTY DEVELOPMENT, LLC IN ATTESTATION OF THE DUE EXECUTION AND DELIVERY OF SAID RELEASE AND DEDICATION OF THIS DEPONENT'S OWN AND PROPER AND RESPECTIVE HANDWRITING.

Gary Herbert, managing partner
NAME AND TITLE OF OFFICER

SWORN TO AND SUBSCRIBED BEFORE ME THE DAY AND DATE ABOVE WRITTEN. WITNESS MY HAND AND NOTARIAL SEAL THIS DAY 29 OF March, 2024.

[Signature]
Kara Leigh Herbert
NOTARY PUBLIC
My commission expires July 19, 2024
Commission number 1299616
Member, Pennsylvania Association of Notaries

CERTIFICATION OF TITLE: *[Signature]*
I, Gary Herbert, of F and H Property Development, LLC, OWNERS OF THE PLAN, DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF F and H Property Development, LLC AS RECORDED IN INSTRUMENT NO. 2024-07000-116 AT THE BUTLER COUNTY RECORDER OF DEEDS OFFICE. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN, OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

[Signature]
WITNESS
[Signature]
OWNER

PROFESSIONAL LAND SURVEYOR CERTIFICATE:
I, MICHAEL ALLEN OGIN, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES, AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS AS SHOWN ON THE PLAT HAVE BEEN, OR WILL BE SET, AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

[Signature]
MICHAEL ALLEN OGIN-PLS
REG. NO. SU-075288
DATE 3-22-24

BUTLER COUNTY PLANNING COMMISSION APPROVAL:
Reviewed by *[Signature]* APPROVED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 16 DAY OF Dec, 2020.

[Signature] SECRETARY
[Signature] CHAIRMAN
SEE COMMENTS ON FILE AT THE BUTLER COUNTY PLANNING COMMISSION
PLAN NUMBER: 20267

BUFFALO TOWNSHIP PLANNING COMMISSION APPROVAL:
APPROVED BY THE BUFFALO TOWNSHIP PLANNING COMMISSION THIS 6TH DAY OF JAN, 2024.

[Signature] SECRETARY
[Signature] CHAIRMAN

MUNICIPAL APPROVAL:
REVIEWED AND APPROVED (OR REVIEWED WITH COMMENTS) BY THE BUFFALO TOWNSHIP BOARD OF SUPERVISORS THIS 10TH DAY OF FEB, 2024.

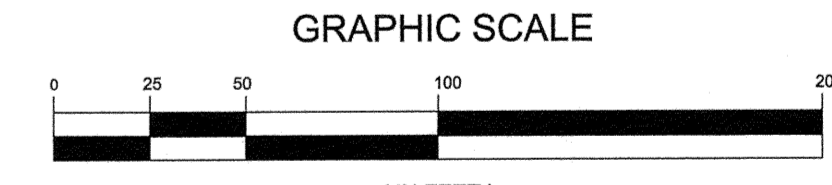
[Signature] SECRETARY
[Signature] CHAIRMAN

PROOF OF RECORDING:
COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER }

(RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, PLATS AND PLANS IN SAID COUNTY, IN PLAN BOOK VOLUME 243 PAGE(S) 38-43
GIVEN UNDER MY HAND AND SEAL THIS 29th DAY OF, 2024 April

[Signature]
RECORDER OF DEEDS

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



TOTAL AREA OF RECORDING = 1,250,962 SF OR 28.718 ACRES

GATEWAY
The Gateway Engineers, Inc.
Full-Service Civil Engineering & Surveying
100 McMorris Road, Pittsburgh, PA 15205
gatewayengineers.com 855-634-9284

**OAK CREEK FARMS
PLAN No. 1**
BEING A FURTHER SUBDIVISION OF PARCEL B OF THE JOHN M. ALLEN, JR. FAMILY TRUST PLAN No. 2 REVISION OF LOT 2 AS RECORDED IN B.V. 390 PGS 4-5
SITUATE IN
**BUFFALO TOWNSHIP
BUTLER COUNTY**
MADE FOR
**F AND H PROPERTY
DEVELOPMENT, LLC**

Date: 2020-06-16
Job Number: C-19213-0006
DWG No: 4 OF 4
SCALE: 1" = 50'

PLAN AREAS:

Lot #	Plan Acre	Plan SF
101	0.288	12,542
102	0.288	12,542
103	0.288	12,542
104	0.361	15,710
105	0.258	11,250
106	0.360	15,697
107	0.483	21,044
108	0.295	12,835
109	0.258	11,250
110	0.258	11,250
111	0.302	13,162
112	0.325	14,176
113	0.325	14,176
114	0.322	14,013
115	0.263	11,449
116	0.248	10,802
117	0.422	18,370
118	0.236	10,265
119	0.265	11,554
120	0.548	23,884
121	0.407	17,736
122	0.271	11,819
123	0.261	11,360
124	0.271	11,802
125	0.296	12,906
126	0.341	14,859
127	0.388	16,903
128	0.339	14,772
129	0.301	13,124
130	0.301	13,124
131	0.301	13,124
132	0.301	13,124
133	0.346	15,083
134	0.375	16,315
135	0.326	14,184
136	0.424	18,472
137	0.473	20,620
138	0.191	8,312
139	0.205	8,917
140	0.387	16,861
141	0.384	16,720
142	0.226	9,860
143	0.216	9,393
144	0.223	9,733
Open Space A	6.825	297,287
Open Space B	3.561	155,097
Oak Creek Drive	2.146	93,436
Twin Oaks Drive	1.693	73,707
White Oak Drive	0.343	14,955
Forest Oak Drive	0.203	8,844

SANITARY SEWER EASEMENT LINE TABLE

LINE #	DIRECTION	LENGTH	DESCRIPTION
SAN-L1	S 85° 17' 27" W	20.62	E'SMT TIE
SAN-L2	N 04° 59' 52" W	44.66	E'SMT TIE
SAN-L3	S 85° 17' 27" W	124.44	E'SMT CL
SAN-L4	S 42° 50' 20" W	159.63	E'SMT CL
SAN-L5	N 64° 47' 31" W	353.27	E'SMT TIE
SAN-L6	N 06° 16' 27" E	135.00	E'SMT CL
SAN-L7	N 72° 15' 47" W	127.19	E'SMT CL
SAN-L8	N 57° 57' 20" W	448.89	E'SMT CL
SAN-L9	N 57° 57' 20" W	372.56	E'SMT TIE
SAN-L10	N 57° 57' 20" W	76.33	E'SMT TIE
SAN-L11	N 39° 41' 24" W	97.60	E'SMT CL
SAN-L12	N 16° 31' 43" W	332.77	E'SMT CL
SAN-L13	N 16° 31' 18" E	164.18	E'SMT CL
SAN-L14	N 50° 42' 06" E	211.44	E'SMT CL
SAN-L15	N 60° 42' 06" E	15.00	E'SMT TIE
SAN-L16	N 38° 45' 53" W	133.00	E'SMT TIE
SAN-L17	N 32° 02' 40" E	241.40	E'SMT CL
SAN-L18	N 17° 33' 57" E	71.13	E'SMT CL
SAN-L19	N 02° 06' 34" W	449.71	E'SMT CL
SAN-L20	N 15° 11' 21" W	112.96	E'SMT CL
SAN-L21	N 31° 03' 31" W	118.04	E'SMT CL
SAN-L22	N 43° 16' 45" W	587.65	E'SMT CL
SAN-L23	N 51° 52' 24" W	67.61	E'SMT TIE

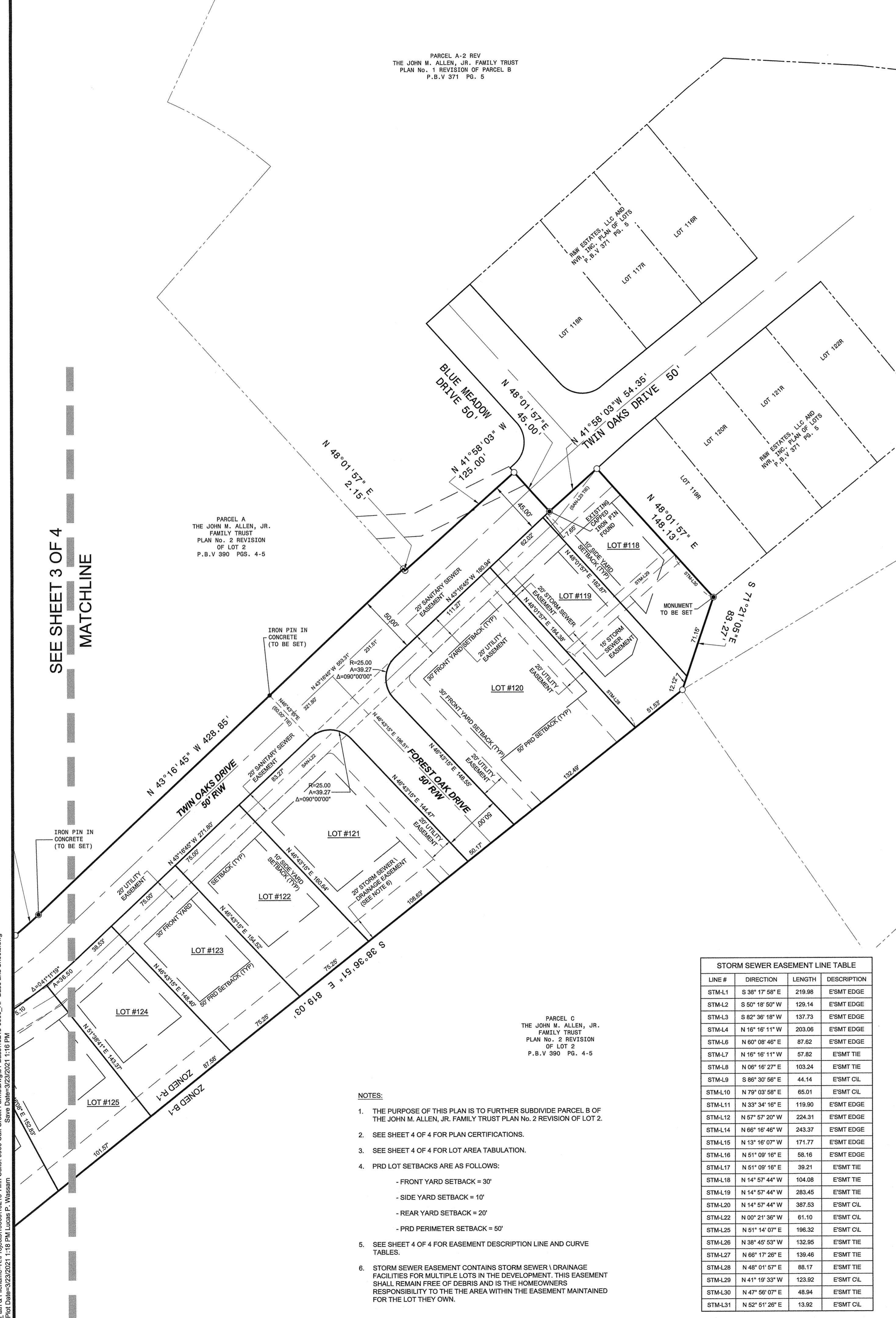
STORM SEWER EASEMENT CURVE TABLE

CURVE #	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE	DESCRIPTION
STM-C5	370.00	67.72	014	N 66° 56' 17" E	67.52	E'SMT EDGE
STM-C13	375.00	125.08	019	N 48° 24' 02" W	124.50	E'SMT EDGE
STM-C21	255.00	64.99	015	N 07° 39' 40" W	64.81	E'SMT CL
STM-C23	405.00	114.39	016	N 07° 43' 54" E	114.01	E'SMT CL
STM-C24	190.00	117.43	095	N 33° 31' 46" E	115.57	E'SMT CL

STORM SEWER EASEMENT LINE TABLE

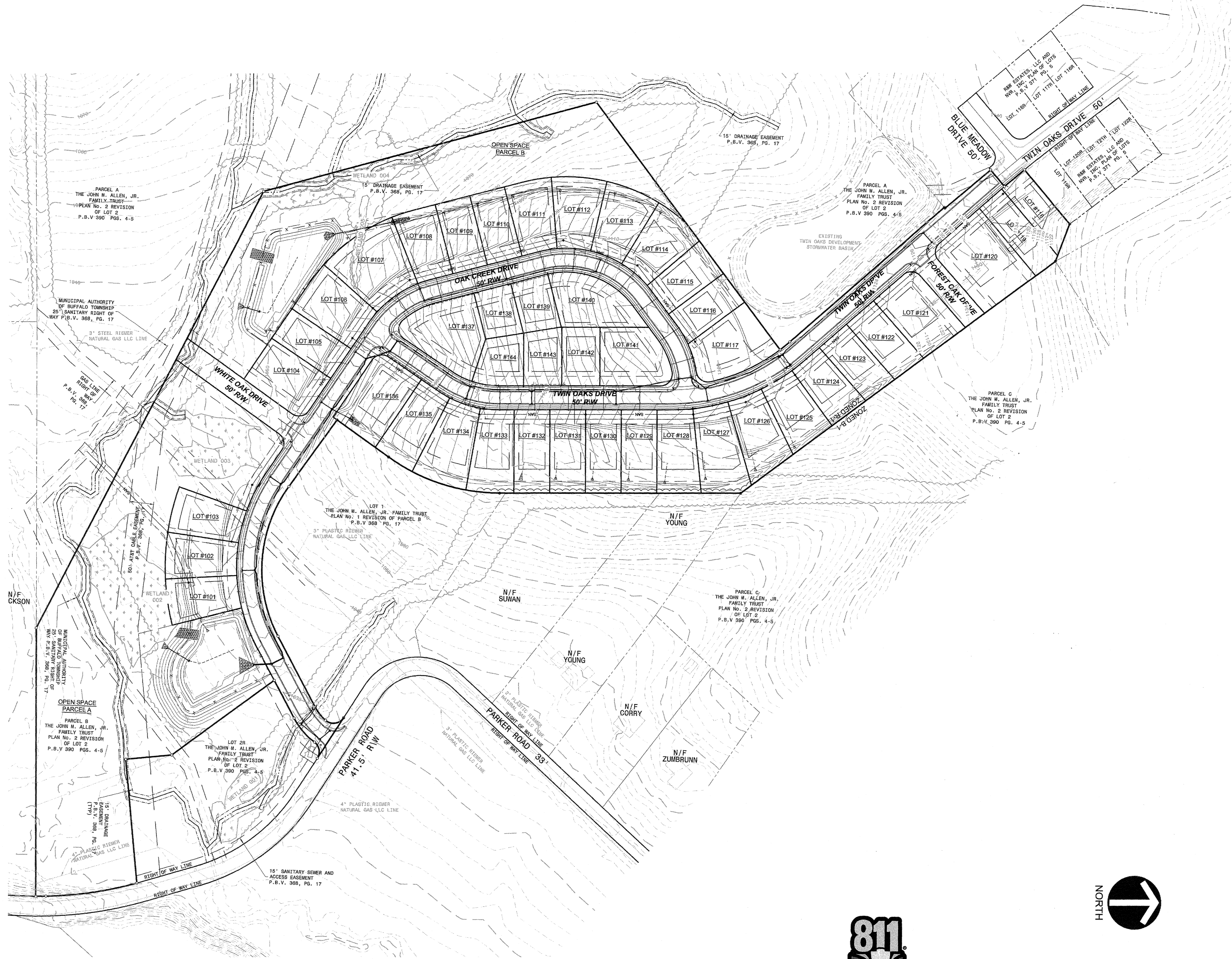
LINE #	DIRECTION	LENGTH	DESCRIPTION
STM-L1	S 38° 17' 58" E	219.98	E'SMT EDGE
STM-L2	S 50° 18' 50" W	129.14	E'SMT EDGE
STM-L3	S 62° 36' 18" W	137.73	E'SMT EDGE
STM-L4	N 16° 18' 11" W	203.06	E'SMT EDGE
STM-L6	N 60° 08' 46" E	87.62	E'SMT EDGE
STM-L7	N 16° 16' 11" W	57.82	E'SMT TIE
STM-L8	N 06° 16' 27" E	103.24	E'SMT TIE
STM-L9	S 86° 30' 56" E	44.14	E'SMT CL
STM-L10	N 79° 03' 58" E	65.01	E'SMT CL
STM-L11	N 33° 34' 16" E	119.90	E'SMT EDGE
STM-L12	N 57° 57' 20" W	224.31	E'SMT EDGE
STM-L14	N 66° 16' 46" W	243.37	E'SMT EDGE
STM-L15	N 13° 16' 07" W	171.77	E'SMT EDGE
STM-L16	N 51° 09' 16" E	58.18	E'SMT EDGE
STM-L17	N 51° 09' 16" E	39.21	E'SMT TIE
STM-L18	N 14° 57' 44" W	104.08	E'SMT TIE
STM-L19	N 14° 57' 44" W	283.45	E'SMT TIE
STM-L20	N 14° 57' 44" W	367.53	E'SMT CL
STM-L22	N 00° 21' 36" W	61.10	E'SMT CL
STM-L25	N 51° 14' 07" E	196.32	E'SMT CL
STM-L26	N 38° 45' 53" W	132.95	E'SMT TIE
STM-L27	N 66° 17' 26" E	139.46	E'SMT TIE
STM-L28	N 48° 01' 57" E	88.17	E'SMT TIE
STM-L29	N 41° 19' 33" W	123.92	E'SMT CL
STM-L30	N 47° 56' 07" E	48.94	E'SMT TIE
STM-L31	N 52° 51' 26" E	13.92	E'SMT CL

NOTARY: *[Signature]*
SURVEYOR: *[Signature]* MICHAEL ALLEN OGIN
TOWNSHIP SUPERVISORS: *[Signature]*
COUNTY PLANNING: *[Signature]*
RECORDER OF DEEDS: *[Signature]*



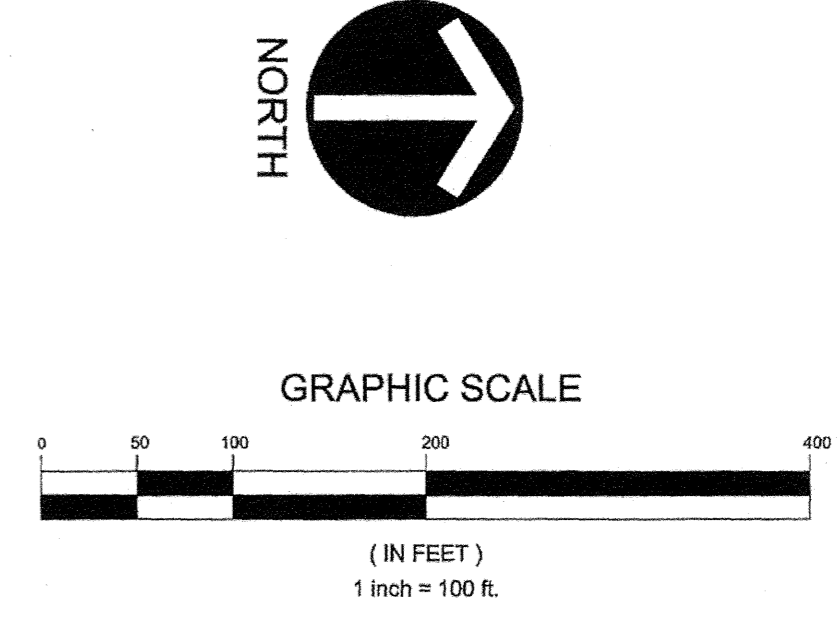
Path & Filename: R:\Projects\190001\19213\Twin Oaks\0006 Oak Creek Farms\Draw\01-Basis\19213-0006 RP Base and Sheets.dwg
Print Date: 3/23/2024 11:16 PM
User: P. Wessam

I:\Projects\19213-0006\19213-0006_C100_Site_Utl_Grade.chg
 15:18:18 11/19/2021 11:44 AM Lucas P. Wastan
 Show Dates: 11/19/2021 11:44 AM



PLAN BOOK	PAGE
393	42

811
 Know what's below.
 Call before you dig.
 Phone No. 1-800-242-1776
 Serial No. 20201123064,20203161096



GATEWAY
 The Gateway Engineers, Inc.
 Full-Service Civil Engineering & Surveying
 Pittsburgh, PA
 gatewayengineers.com
 855-634-9284

COMMONWEALTH OF PENNSYLVANIA

REGISTERED PROFESSIONAL

MICHAEL ALLEN OGIN

LAND SURVEYOR
NO. 125338
EXPIRES 12/31/2025

REVISION RECORD	
No	Date
01	2020-07-24
02	2020-11-16
03	2021-01-29
04	2021-02-02
05	2021-02-03
06	
07	
08	

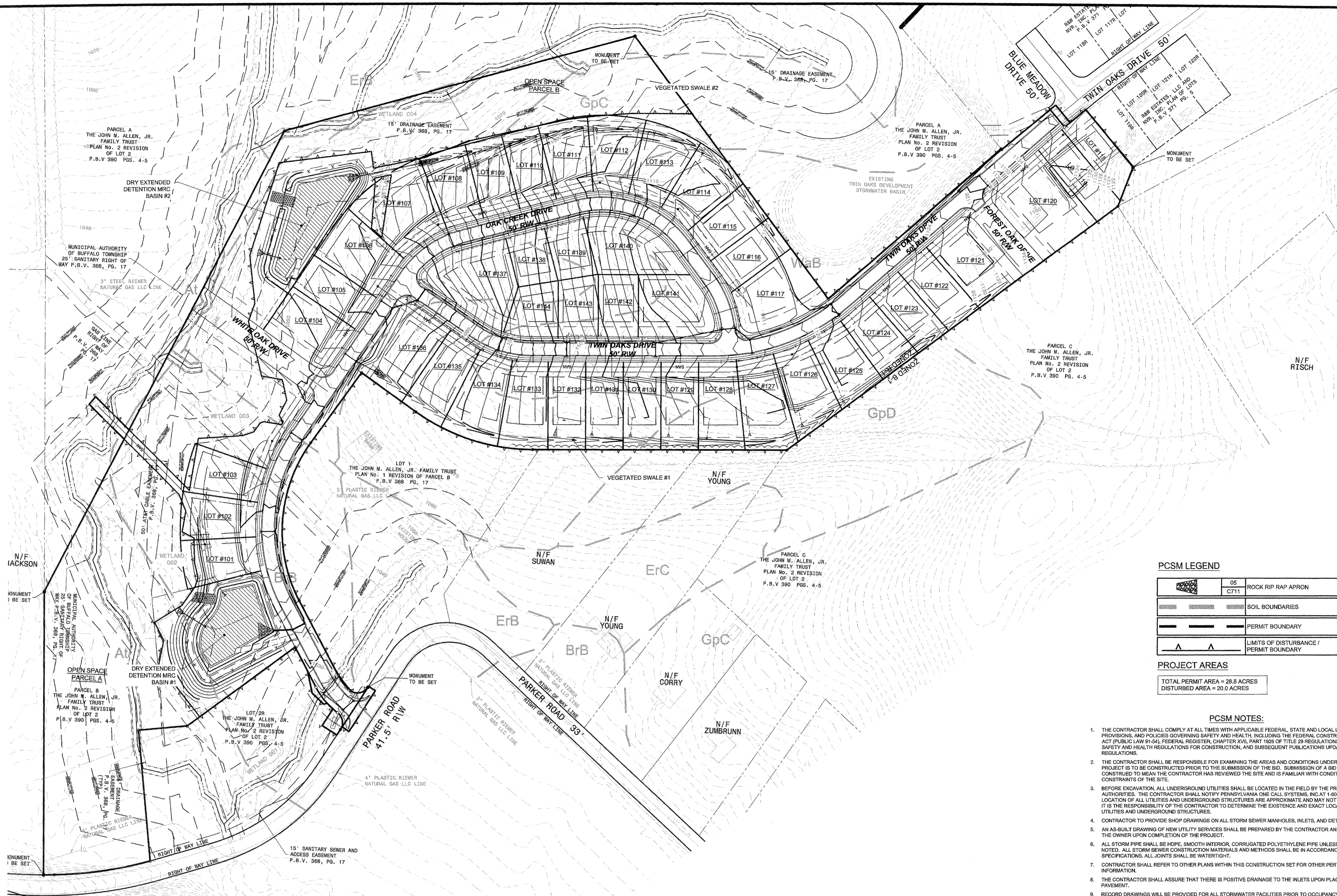
OAK CREEK FARMS
 PARKER ROAD
 BUFFALO TOWNSHIP, BUTLER COUNTY, PA
 PREPARED FOR:
F AND H PROPERTY DEVELOPMENT, LLC
 P.O. BOX 297
 WEXFORD, PA 15090

OVERALL LAND DEVELOPMENT (FOR RECORDING)
 Project Number: 19213-0006
 Drawing Scale: 1"=100'
 Date Issued: 2020-05-13
 Index Number: ---
 Drawn By: VARIES
 Checked By: MAO
 Project Manager: MAO

C100

Path & Filename: R:\Projects\19000119213 Twin Oaks-0006 Oak Creek Farms\DWG\19213-0006_C400 EAS PCSM.dwg
 P: 04/20/21 11:54 AM User: P. Wasson
 18.02

THIS PLAN IS FOR POST-CONSTRUCTION STORMWATER MANAGEMENT PURPOSES ONLY



PCSM LEGEND

	05 C711	ROCK RIP RAP APRON
		SOIL BOUNDARIES
		PERMIT BOUNDARY
		LIMITS OF DISTURBANCE / PERMIT BOUNDARY

PROJECT AREAS

TOTAL PERMIT AREA = 28.8 ACRES
 DISTURBED AREA = 20.0 ACRES

- PCSM NOTES:**
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1928 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF THE BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
 - BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PENNSYLVANIA ONE CALL SYSTEMS, INC. AT 1-800-942-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER MANHOLES, INLETS, AND DETENTION SYSTEMS.
 - AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
 - ALL STORM PIPE SHALL BE HDPE, SMOOTH INTERIOR, CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED. ALL STORM SEWER CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS. ALL JOINTS SHALL BE WATERTIGHT.
 - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
 - THE CONTRACTOR SHALL ASSURE THAT THERE IS POSITIVE DRAINAGE TO THE INLETS UPON PLACEMENT OF NEW PAVEMENT.
 - RECORD DRAWINGS WILL BE PROVIDED FOR ALL STORMWATER FACILITIES PRIOR TO OCCUPANCY, OR THE RELEASE OF THE SURETY BOND.
 - AN OPERATION AND MAINTENANCE AGREEMENT HAS BEEN PREPARED AND IS PART OF THE STORMWATER MANAGEMENT SITE PLAN.

STORMWATER MANAGEMENT DECLARATIONS

I, Michael A. Oglin, hereby certify that the Stormwater Management Plan meets all Design Standards and Criteria of the Buffalo Township Stormwater Management Ordinances.

Michael A. Oglin Date: 4-20-21
 Michael A. Oglin, P.L.S.



I, Gary Herbert, of F and H Property Development, LLC, Owner of the land shown on the Site Plan for Recording hereby acknowledge that stormwater management BMP's are features that cannot be altered or removed without prior approval by Buffalo Township.

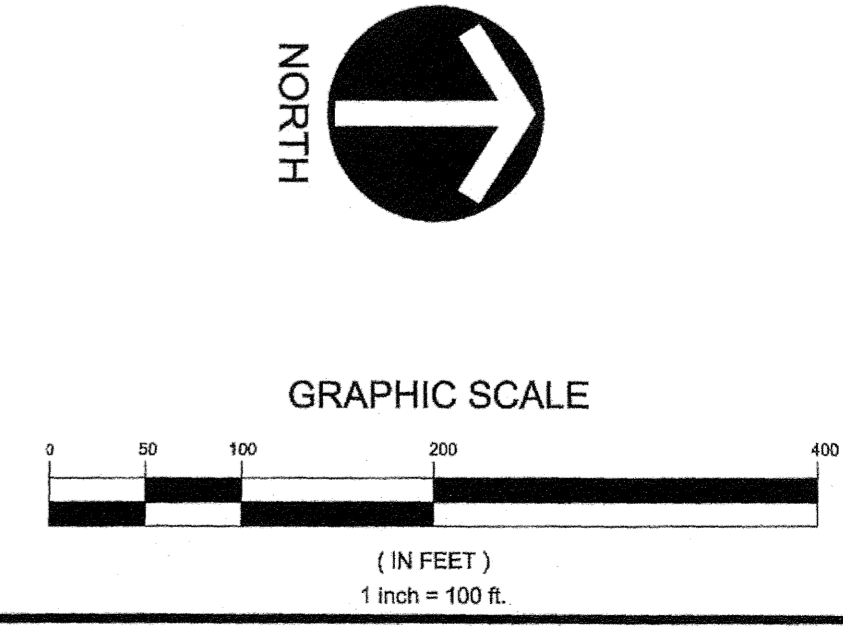
Gary Herbert Date: 4-20-21
 Signature of Authorized Officer

I, Bankson Engineers, Inc., have reviewed this Stormwater Management Plan in accordance with the Design Standards and Criteria of the Buffalo Township Stormwater Management Ordinance.

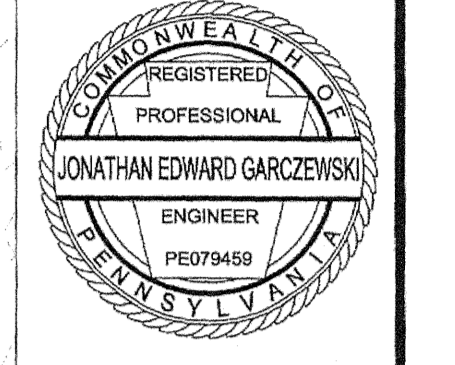
Bankson Engineers, Inc. Date: 4-22-21
 Bankson Engineers, Inc., Township Engineer
 Reg. No. 3428332E

PLAN BOOK	PAGE
393	43

811
 Know what's below.
 Call before you dig.
 Phone No. 1-800-242-1776
 Serial No. 20201123064,20203161096



GATEWAY
 The Gateway Engineers, Inc.
 Full-Service Civil Engineering & Surveying
 Pittsburgh, PA
 gatewayengineers.com
 855-634-9284



REVISION RECORD

Date	No	Description
2020-07-24	01	REVISED PER TOWNSHIP REVIEW LETTER
2020-11-16	02	FINAL PLAN SUBMISSION TO TOWNSHIP
2021-01-29	03	REVISED PER TOWNSHIP REVIEW LETTER
2021-02-02	04	UPDATED WATERLINE DESIGN
2021-02-08	05	UPDATED PLANS PER TOWNSHIP COMMENTS
	06	
	07	
	08	

OAK CREEK FARMS
 PARKER ROAD
 BUFFALO TOWNSHIP, BUTLER COUNTY, PA

PREPARED FOR:
F AND H PROPERTY DEVELOPMENT, LLC
 P.O. BOX 297
 WEXFORD, PA 15090

OVERALL PCSM PLAN
 (FOR RECORDING)

Project Number: 19213-0006
 Drawing Scale: 1"=100'
 Date Issued: 2020-05-13
 Index Number: ---
 Drawn By: VARIAS
 Checked By: MAO
 Project Manager: MAO

C700

CORPORATE ADOPTION

KNOW ALL MEN BY THESE PRESENTS: THAT FORSYTHE FIELDS, LLC, BY VIRTUE OF A RESOLUTION OF ITS BOARD OF DIRECTORS, DOES HEREBY ADOPT THIS AS ITS DEVELOPMENT PLAN OF ITS PROPERTY SITUATED IN THE TOWNSHIP OF MIDDLESEX, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, STREETS, LANDS, RIGHT-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PRECEDING, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHT-OF-WAYS AND EASEMENTS BY THE TOWNSHIP OF MIDDLESEX, FORSYTHE FIELDS, LLC, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF MIDDLESEX, ITS SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON FORSYTHE FIELDS, LLC, ITS SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN. IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED SEAL TO BE AFFIXED BY THE HAND OF ITS PRESIDENT AND SAME TO BE ATTESTED BY ITS SECRETARY, THIS 1 DAY OF MARCH A.D., 2021.

FORSYTHE FIELDS, LLC

ATTEST:

Signatures of Secretary and President of Forsythe Fields, LLC.

THE FOREGOING ADOPTION AND DEDICATION IS MADE BY FORSYTHE FIELDS, LLC, WITH FULL UNDERSTANDING AND AGREEMENT THAT THE APPROVAL OF THE TOWNSHIP BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX, IF HERETO ATTACHED, WILL BECOME NULL AND VOID UNLESS THIS PLAN IS RECORDED IN THE RECORDERS OF DEEDS OFFICE OF BUTLER COUNTY, COURT HOUSE, BUTLER, PENNSYLVANIA, WITHIN NINETY (90) DAYS OF DATE OF SAID APPROVAL.

FORSYTHE FIELDS, LLC

Signature of President of Forsythe Fields, LLC.

CORPORATION ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA SS: COUNTY OF BUTLER

ON THIS 1 DAY OF MARCH A.D., 2021 BEFORE ME, A NOTARY IN AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED MARK T. HEWALER, PRESIDENT OF FORSYTHE FIELDS, LLC WHO BEING DULY SWORN, DEPOSES AND SAYS THAT HE WAS PERSONALLY PRESENT AT THE EXECUTION OF THE ADOPTION, RELEASE AND DEDICATION AND SAW THE COMMON AND CORPORATE SEAL OF THE SAID CORPORATION DULY SIGNED AND SEALED BY AND AS FOR THE ACT AND DEED OF THIS SAID FORSYTHE FIELDS, LLC. FOR THE USES AND PURPOSES THEREIN MENTIONED, AND THAT THE NAME OF THIS DEPONENT SUBSCRIBED TO THE SAID RELEASE AND DEDICATION AS PRESIDENT OF FORSYTHE FIELDS, LLC. IN ATTESTATION OF THE DUE EXECUTION AND DELIVERY OF SAID RELEASE AND DEDICATION OF THIS DEPONENT'S OWN AND PROPER AND RESPECTIVE HANDWRITING.

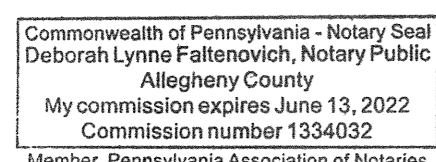
Signature of Notary Public.

SWORN TO AND SUBSCRIBED BEFORE ME THE DAY AND DATE ABOVE WRITTEN.

WITNESS MY HAND AND NOTARIAL SEAL THE 1 DAY OF March A.D., 2021.

Signature of Notary Public.

MY COMMISSION EXPIRES THE 13 DAY OF June A.D., 2022.



TITLE CLAUSE

FORSYTHE FIELDS, LLC, BY MARK T. HEWALER, ITS PRESIDENT, OWNERS OF THE FIELDSTONE RIDGE PLAN OF LOTS DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF FORSYTHE FIELDS, LLC AS RECORDED IN INSTRUMENT NUMBER [redacted] IN THE BUTLER COUNTY RECORDER OF DEEDS OFFICE.

Signature of Mark T. Hewaler, President.

MORTGAGE CLAUSE

WE, Washington Finance Bank, MORTGAGEE OF THE PROPERTY EMBRACED IN FIELDSTONE RIDGE PLAN OF LOTS DO HEREBY CONSENT TO THE RECORDING OF SAID PLAN IN THE RECORDER OF DEEDS OFFICE OF BUTLER COUNTY, PENNSYLVANIA, AND TO THE DEDICATIONS AND COVENANTS APPEARING HEREON.

Signatures of Mortgagee and Witness.

MIDDLESEX TOWNSHIP PLANNING COMMISSION

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF MIDDLESEX THIS 26 DAY OF May, 2021.

Signatures of Secretary and Chairman of Middlesex Township Planning Commission.



MIDDLESEX TOWNSHIP SUPERVISORS

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF MIDDLESEX ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX THIS 17 DAY OF June, 2021.

Signatures of Secretary and Chairman of Middlesex Township Supervisors.



Signatures of Supervisors.

MIDDLESEX TOWNSHIP MUNICIPAL ENGINEER

I, Jeffrey Mikesic, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER OF THE TOWNSHIP OF MIDDLESEX, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVING AUTHORITY.

Signature and registration information of Jeffrey Mikesic.

MIDDLESEX TOWNSHIP SUPERVISORS - RE-APPROVAL

THIS PLAT OF SUBDIVISION WAS REAPPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX, BUTLER COUNTY, PENNSYLVANIA ON THIS 21 DAY OF April, 2021.

Signatures of Secretary and Chairman of Middlesex Township Supervisors.



SURVEYOR

I, MARK B. SCHMIDT, A REGISTERED PROFESSIONAL SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

Signature of Mark B. Schmidt, Surveyor, dated 2-22-2021, SU 36950-E, REGISTRATION NO.

BUTLER COUNTY PLANNING

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 17 TH DAY OF June, 2021.

Signatures of Secretary and Chairman of Butler County Planning Commission.

BUTLER COUNTY RECORDER

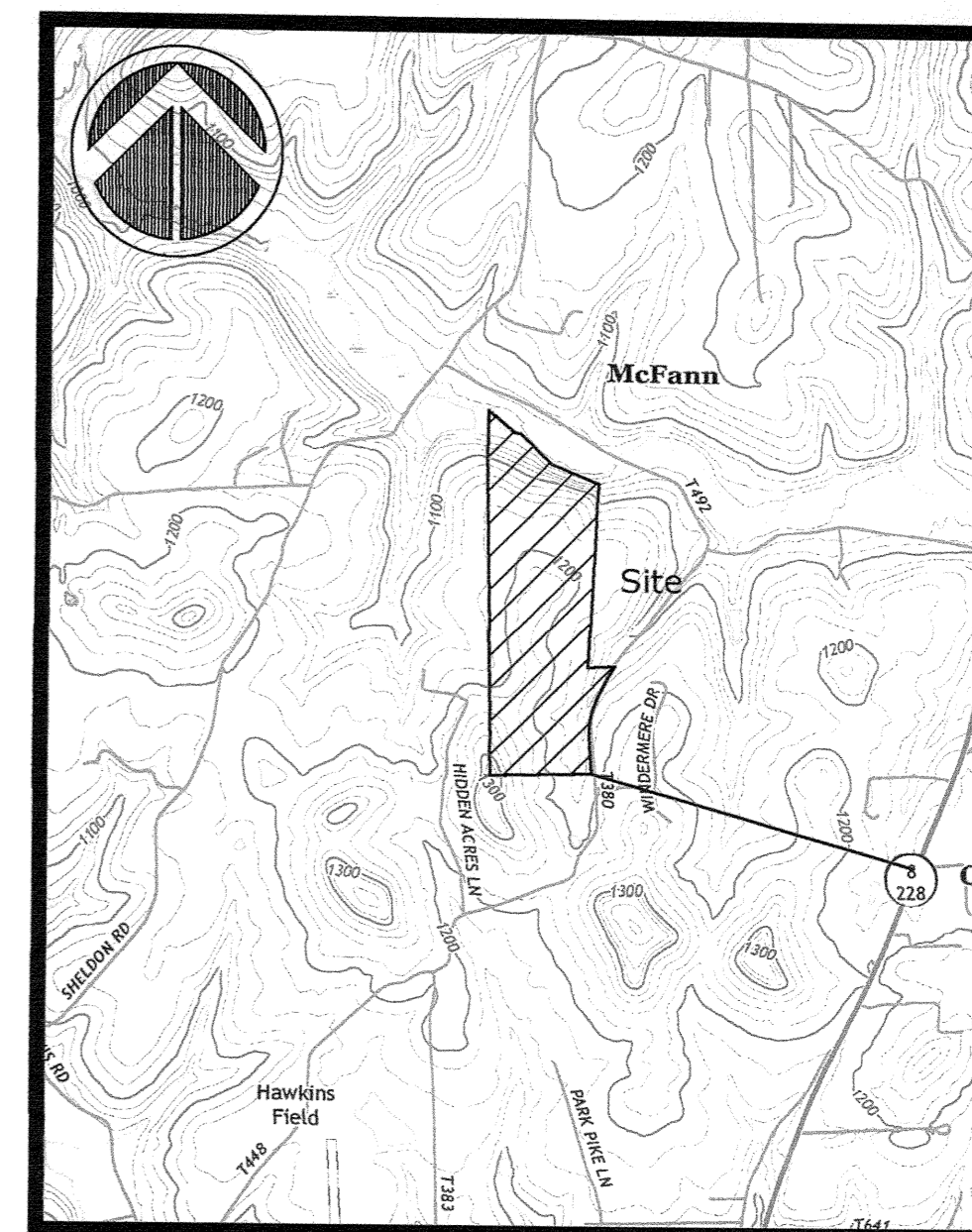
COMMONWEALTH OF PENNSYLVANIA] SS: COUNTY OF BUTLER]

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 393, PAGE(S) 44-50

GIVEN UNDER MY HAND AND SEAL THIS 30 TH DAY OF April, 2021.

Signature of Michele M. Mustello, Recorder of Deeds.

My Commission Expires First Monday in January 2024.



USGS Location Map (Valencia, Pa. Quad.) Scale 1" = 2000'



Zoning Information

Current Zoning - AG-A Rural Residential District

Proposed Use - Single-Family Residential

Total Number of Lots - 62 Lots

SF Lot Density - 0.71 / Acres

2 Open Space Parcels - 491,136 sq.ft. (11.2749 Acres)

Minimum Lot Size - 33,317 sq.ft. (0.7648 Acres)

Maximum Lot Size - 124,594 sq.ft. (2.8603 Acres)

Average Lot Size - 47,926 sq.ft. (1.1002 Acres)

Area of Lots and Parcels = 79.5916 Acres
Area of Proposed Road R.O.W. = 7.1148 Acres
Total Property Area = 86.7064 Acres

Owner/Developer
Forsythe Fields, LLC
514 Ridge Court
Wexford, Pa. 15090
(412) 913-7080

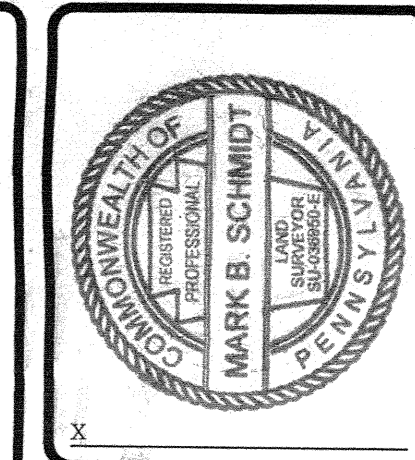
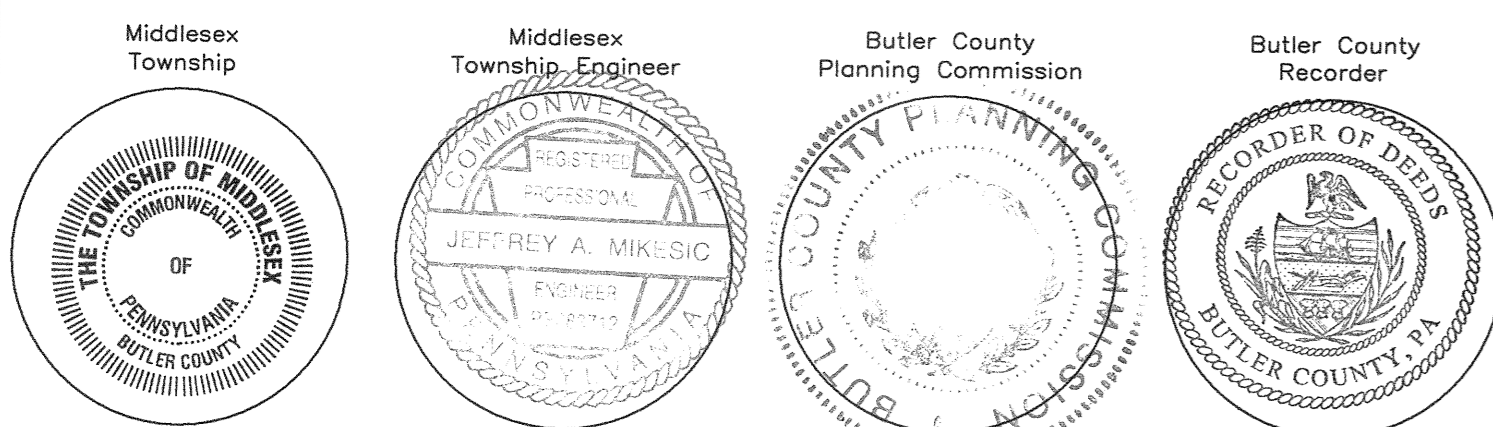
Middlesex Township - Zoning Information

AG-A Rural Residential District
Single Family Dwelling

with Public Water and Sewerage without Public Water or Sewerage

Table with 3 columns: Requirement, with Public Water and Sewerage, without Public Water or Sewerage. Rows include Min. Lot Area, Min. Lot Width @ Building Line, Min. Front Yard Setback, Min. Side Yard Setback, Min. Rear Yard Setback.

PLAN BOOK 393 PAGE 44



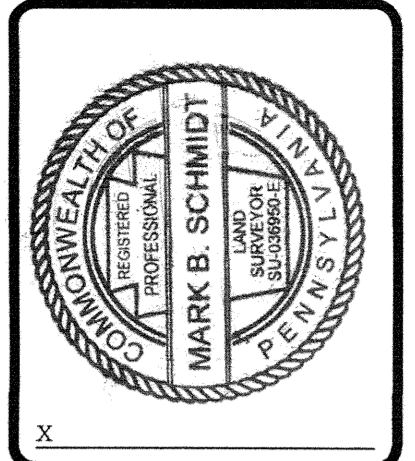
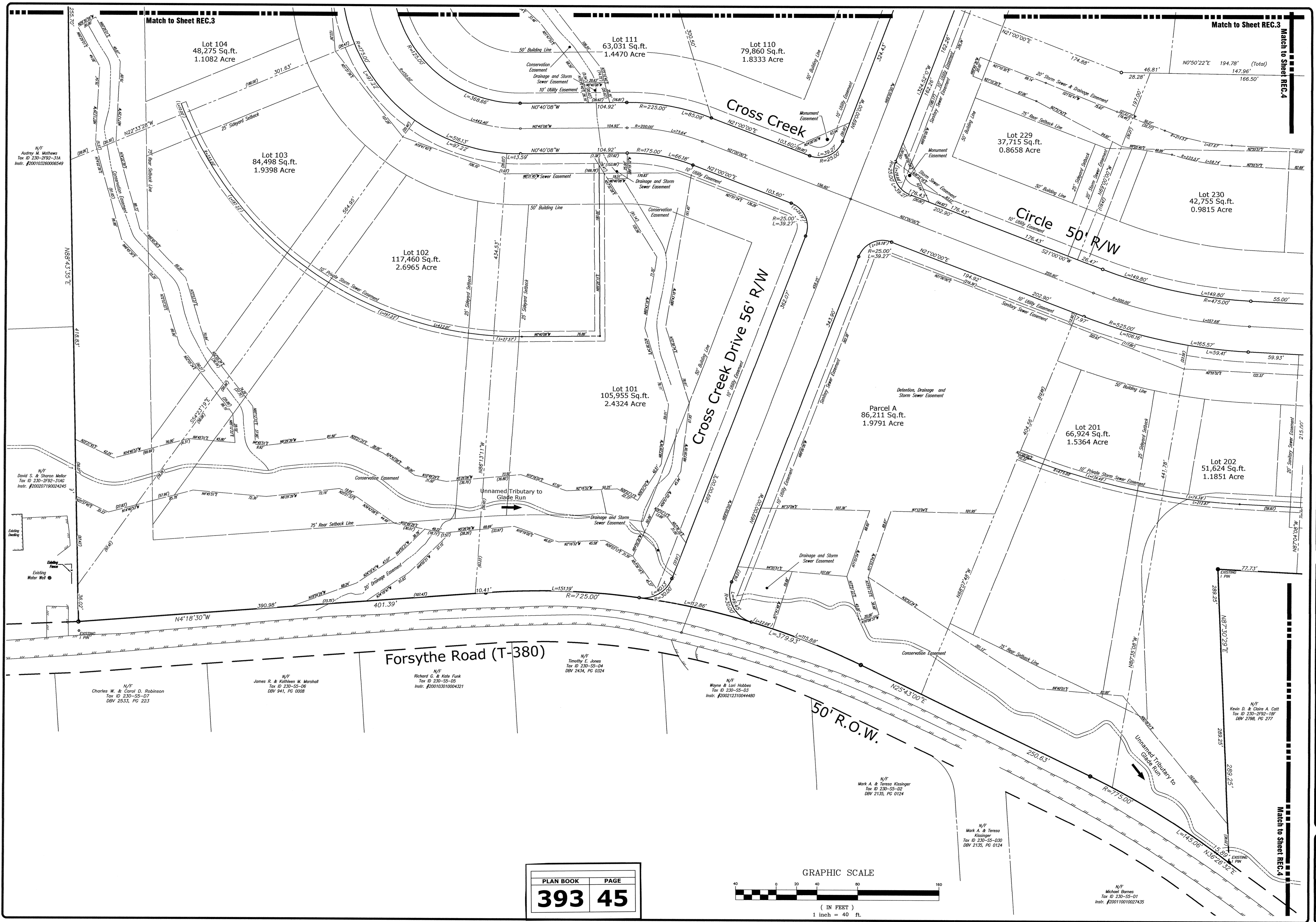
Hampton Technical Associates logo and contact information for Engineering Land Surveyors.

Table with columns: DATE, REVISIONS, DISCREPANCY, ADDRESS, COMMENTS.

DRAWING ORIENTATION

Fieldstone Ridge Plan for Recording information including project title, location, and address.

REC-1 stamp with drawing details, sheet number, and project number 12333-1.

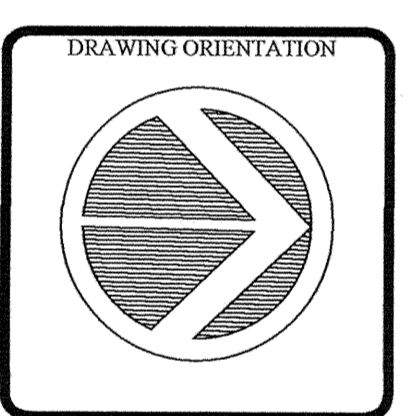


HAMPTON TECHNICAL ASSOCIATES
 ENGINEERING LAND SURVEYORS
 ESTABLISHED 1960
 www.hampton-technical.com

Corporate Office
 Etna Technical Center
 35 Wilson Street, Suite 201
 Pittsburgh, PA 15223
 PHONE: (412) 781-9660
 FAX: (412) 781-5904

Mars Office
 123 Ridge Road, Suite B
 Valencia, PA 16059
 PHONE: (724) 625-4544
 FAX: (724) 625-4549

DATE ISSUED:		PROJECT STATUS:	
August 25, 2020	FINAL PLAN SUBMISSION		
REVISIONS:		DATE:	
NO.	DESCRIPTION	1	Nov. 4, 2020
1	Address SSA Comments	2	Dec. 29, 2020
2	Address SSA Comments	3	Jan. 8, 2021
3	Address SSA Comments		



PROJECT TITLE:
Fieldstone Ridge
 Plan for Recording

CLIENT ADDRESS:
 Forsythe Fields, LLC
 514 Ridge Court
 Wexford, Pa. 15080

DRAWN BY: Mal
 CHECKED BY: Mal

CAD FILE: 12333-1 Const.dwg

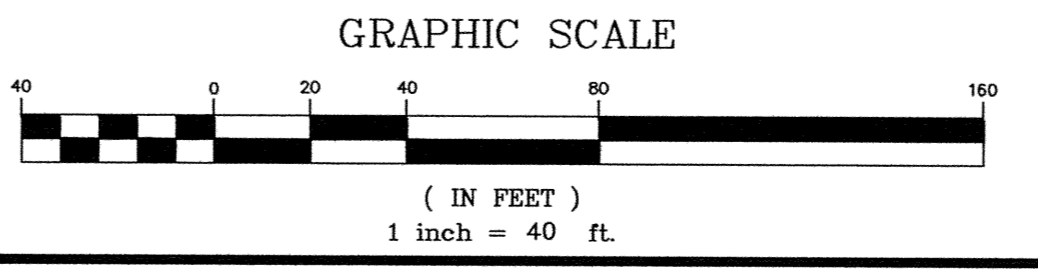
HORIZ. SCALE: 1" = 40'
 VERT. SCALE: 1" = 40'

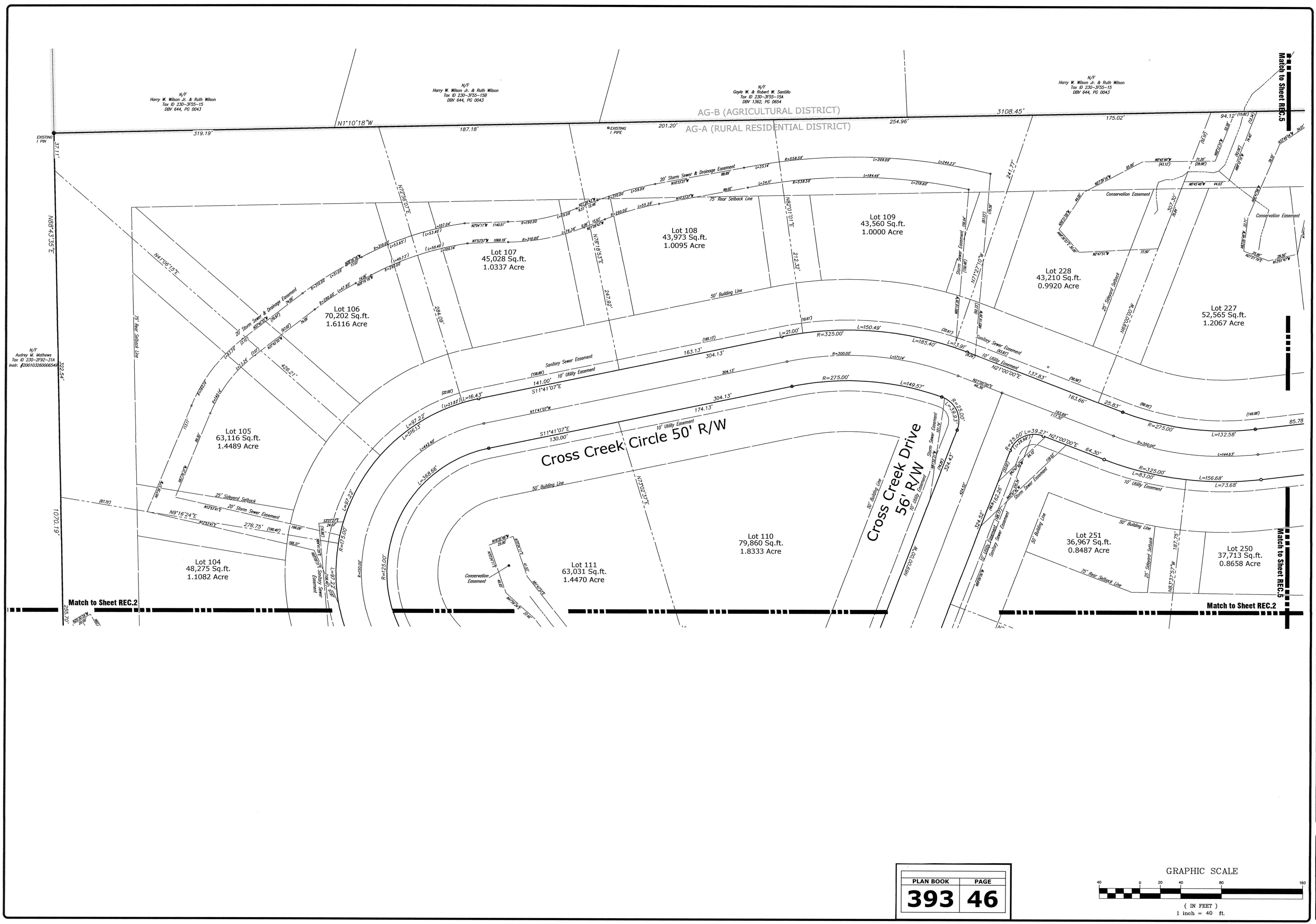
SHEET: OF

REC.2

PROJECT #: 12333-1

PLAN BOOK	PAGE
393	45



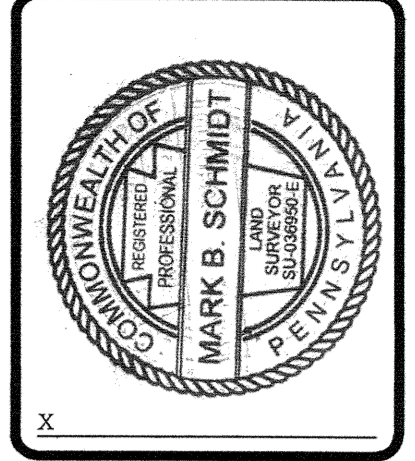


N/F
Harry W. Wilson Jr. & Ruth Wilson
Tax ID 230-3755-15
DEV 644, PG 0043

N/F
Harry W. Wilson Jr. & Ruth Wilson
Tax ID 230-3755-15
DEV 644, PG 0043

N/F
Gayle W. & Robert W. Santillo
Tax ID 230-3755-15
DEV 1362, PG 0654

N/F
Harry W. Wilson Jr. & Ruth Wilson
Tax ID 230-3755-15
DEV 644, PG 0043



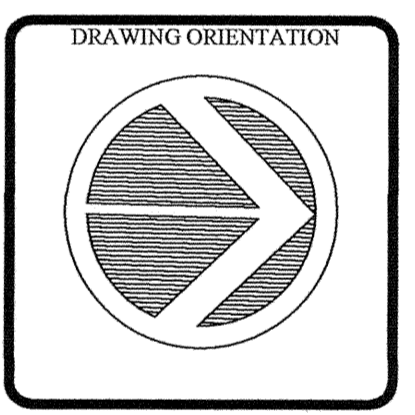
ENGINEERING LAND SURVEYORS
ESTABLISHED 1960
www.hampton-technical.com

Corporate Office
Etna Technical Center
35 Wilson Street, Suite 201
Pittsburgh, PA 15223
PHONE: (412) 781-9660
FAX: (412) 781-5904

Mars Office
123 Ridge Road, Suite B
Valencia, PA 16059
PHONE: (724) 625-4544
FAX: (724) 625-4549

NO.	DESCRIPTION	DATE
1	Address SSA Comments	Nov. 4, 2020
2	Address SSA Comments	Dec. 23, 2020
3	Address SSA Comments	Jan. 6, 2021

PROJECT STATUS: FINAL PLAN SUBMISSION



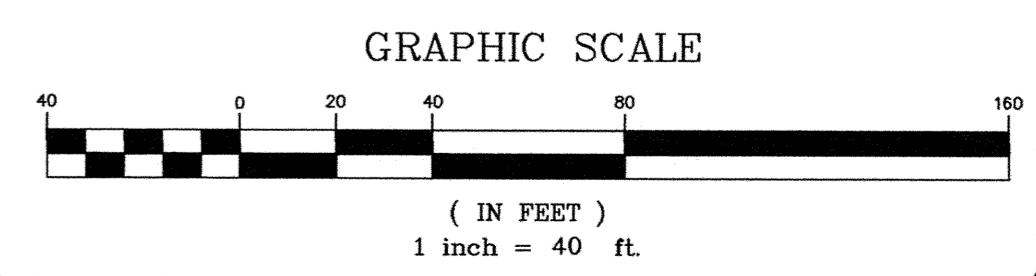
PROJECT TITLE: **Fieldstone Ridge**
Plan for Recording

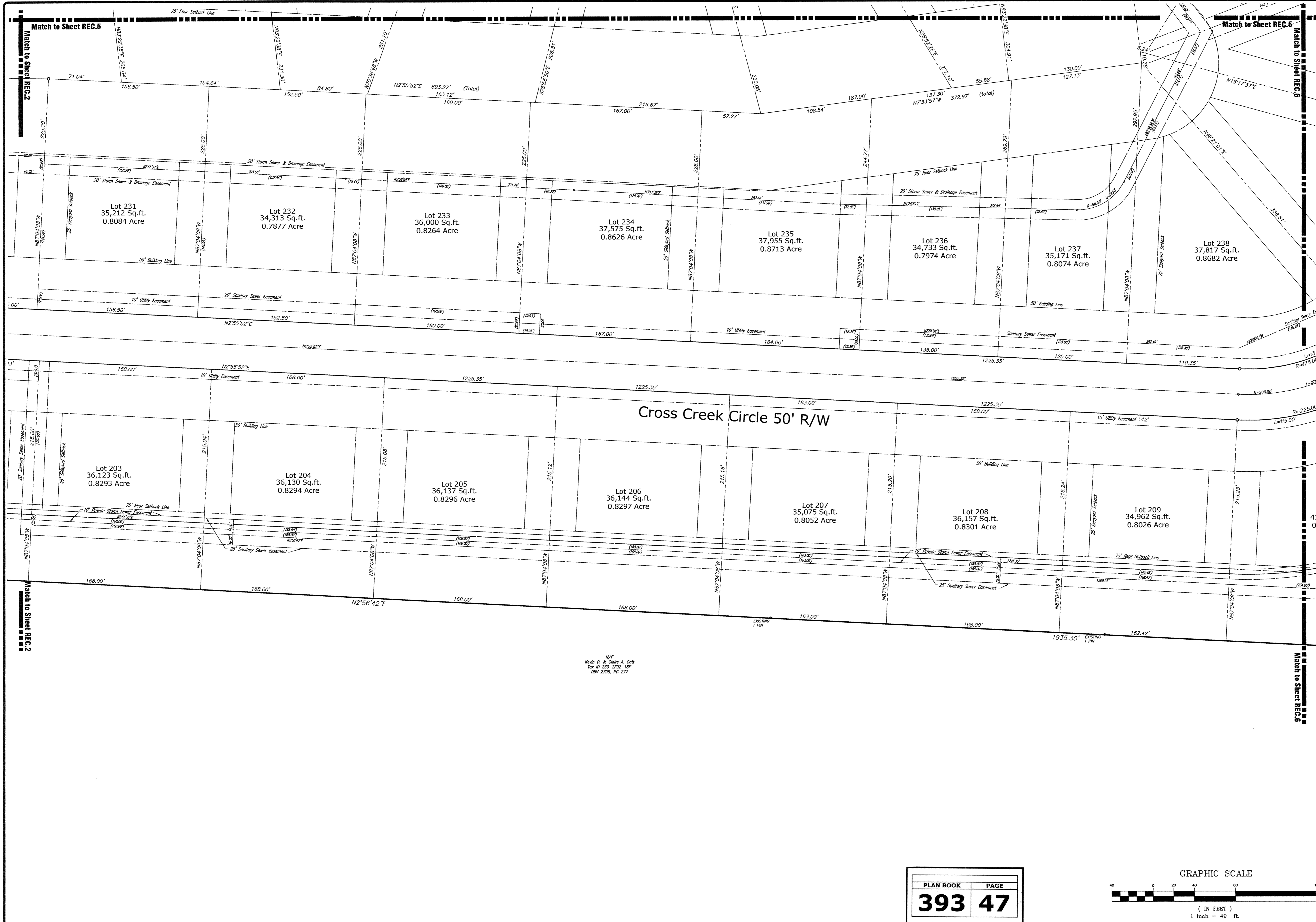
CLIENT ADDRESS:
Forsythe Fields, LLC
514 Ridge Court
Weirdord, Pa. 15090

PROJECT LOCATION:
Middlesex Township
Butler County, Pennsylvania

DRAWN BY: Mal	CHECKED BY: ---
CAD FILE: 12333-1 Const.dwg	
HORIZ. SCALE: 1" = 40'	VERT. SCALE: ---
SHEET: REC.3	OF ---
PROJECT #: 12333-1	

PLAN BOOK	PAGE
393	46

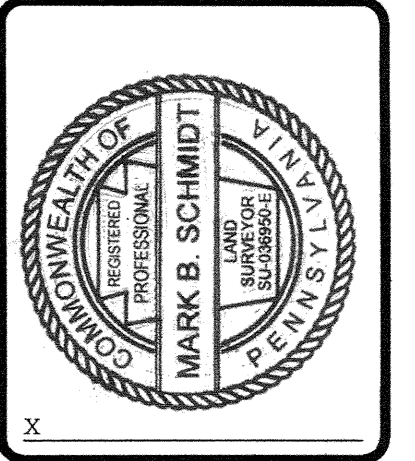
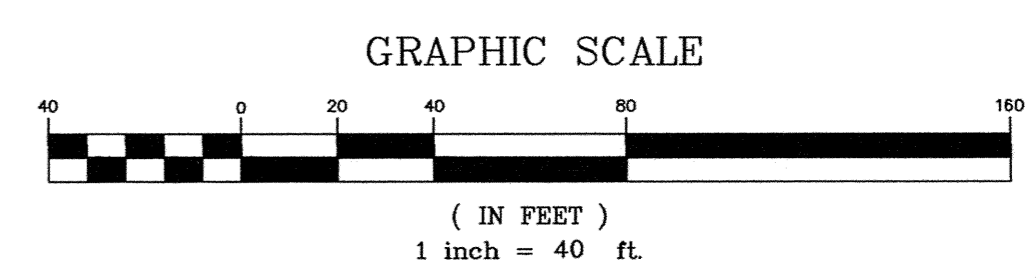




N/E
 Kevin D. & Claire A. Cott
 Tax ID 230-292-187
 DBV 2798, PG 277

Cross Creek Circle 50' R/W

PLAN BOOK	PAGE
393	47

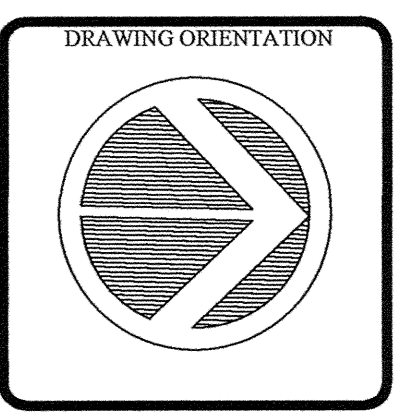


ENGINEERING LAND SURVEYORS
 ESTABLISHED 1960
 www.hampton-technical.com

Corporate Office
 Etna Technical Center
 35 Wilson Street, Suite 201
 Pittsburgh, PA 15223
 PHONE: (412) 781-9660
 FAX: (412) 781-5904
 Mars Office
 123 Ridge Road, Suite B
 Valencia, PA 16059
 PHONE: (724) 625-4544
 FAX: (724) 625-4549

NO.	DESCRIPTION	DATE
1	Address SSA Comments	Nov. 4, 2020
2	Address SSA Comments	Jan. 20, 2021
3	Address SSA Comments	Jan. 6, 2021

DATE ISSUED: August 25, 2020
 PROJECT STATUS: FINAL PLAN SUBMISSION



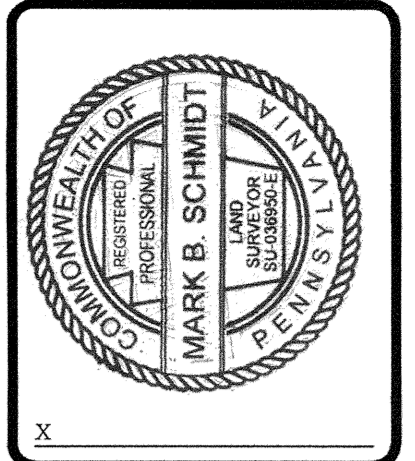
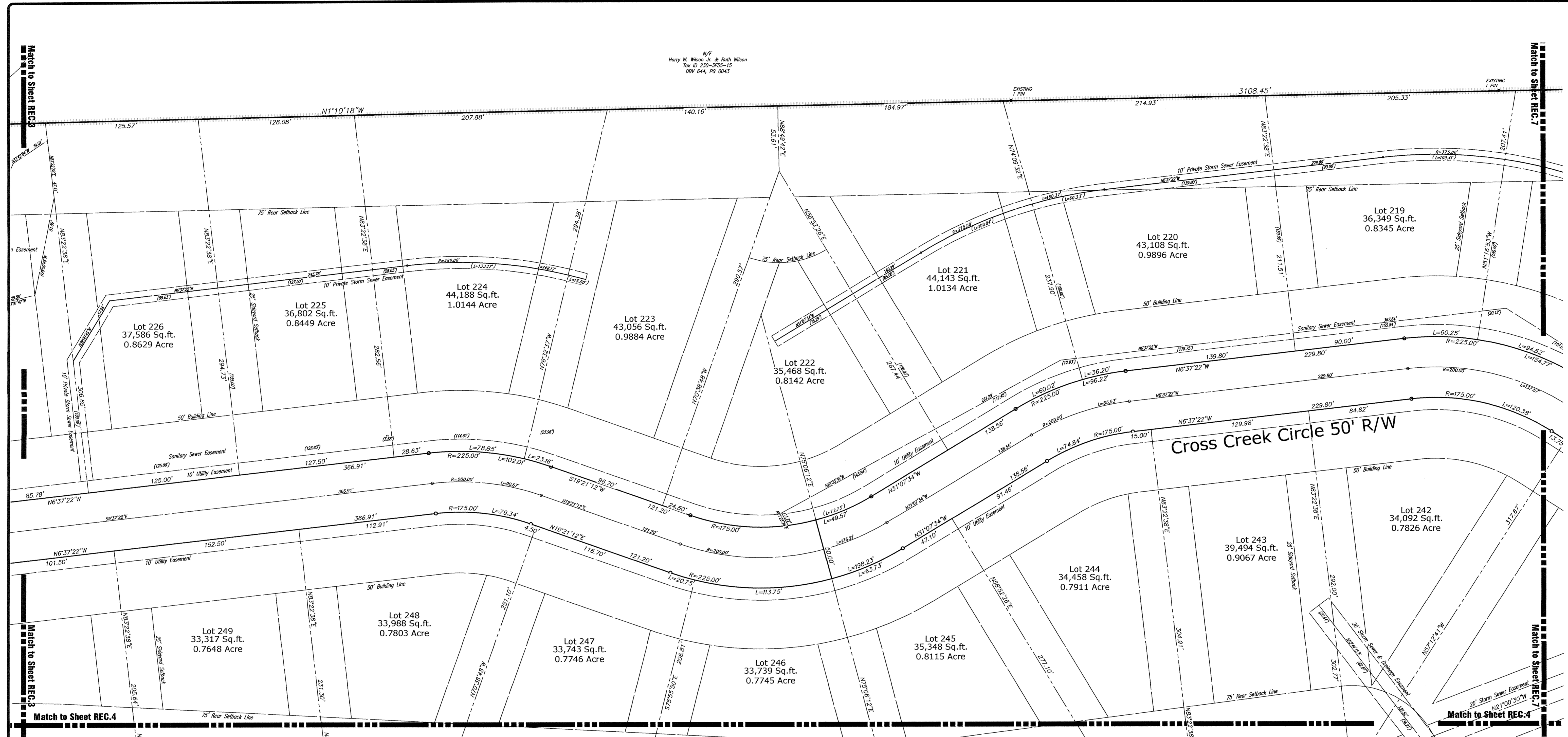
PROJECT TITLE:
Fieldstone Ridge
 Plan for Recording

CLIENT ADDRESS:
 Forsythe Fields, LLC
 514 Ridge Court
 Wexford, Pa. 15080

PROJECT LOCATION:
 Middlesex Township
 Butler County, Pennsylvania

DRAWN BY: Mal	CHECKED BY:
CAD FILE: 12333-1 Const.dwg	
HORIZ. SCALE: 1" = 40'	VERT. SCALE:
SHEET: REC.4	OF
PROJECT #: 12333-1	

N/T
Harry W. Wilson, Jr. & Ruth Wilson
Tax ID 230-935-15
DBY 644, PG 0043



HAMPTON TECHNICAL ASSOCIATES
ENGINEERING LAND SURVEYORS
ESTABLISHED 1960
www.hampton-technical.com

Corporate Office
Elias Technical Center
35 Wilson Street, Suite 201
Pittsburgh, PA 15223
PHONE: (412) 781-6660
FAX: (412) 781-5904

Mars Office
123 Ridge Road, Suite B
Valencia, PA 16059
PHONE: (724) 625-4544
FAX: (724) 625-4549

PROJECT STATUS:	
DATE ISSUED:	August 25, 2020
REVISIONS:	
NO.	DESCRIPTION
1	Nov. 4, 2020
2	Dec. 25, 2020
3	Jan. 8, 2021

FINAL PLAN SUBMISSION



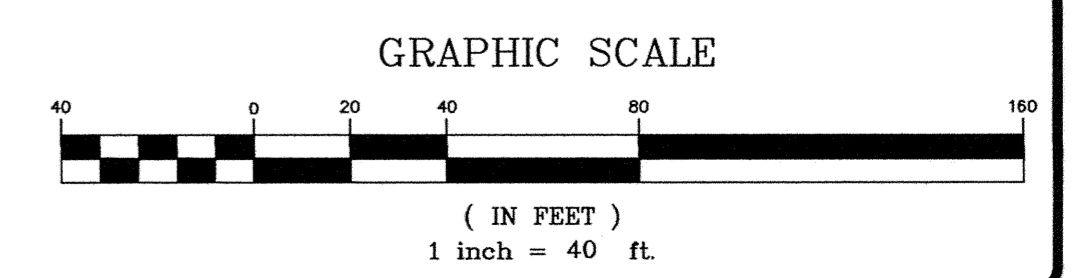
PROJECT TITLE:
Fieldstone Ridge

Plan for Recording

CLIENT ADDRESS:
Forsythe Fields, LLC
514 Ridge Court
Butler County, Pennsylvania

Wexford, Pa. 15090

PLAN BOOK	PAGE
393	48



DRAWN BY:	CHECKED BY:
Mal	

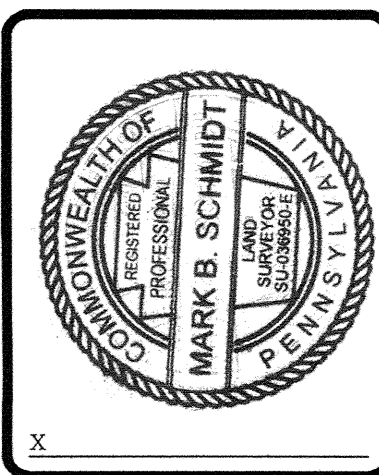
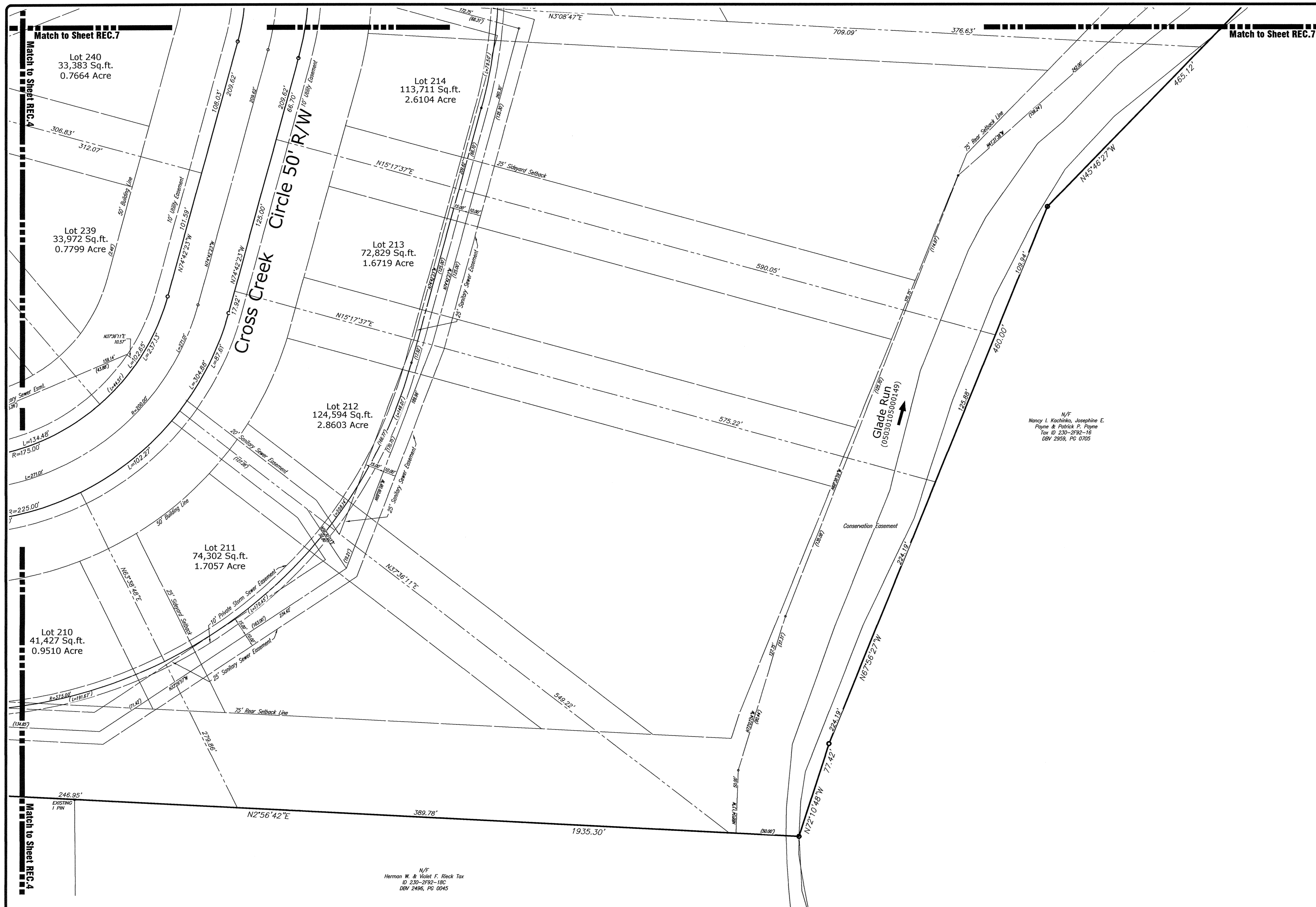
CAD FILE: 12333-1 Const.dwg

HORIZ. SCALE: 1" = 40'

VERT. SCALE:

SHEET: REC.5 OF

PROJECT #: 12333-1



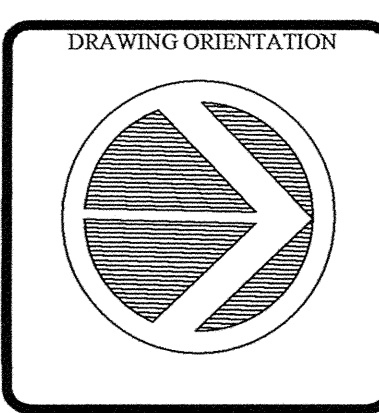
HAMPTON TECHNICAL ASSOCIATES

ENGINEERING LAND SURVEYORS
ESTABLISHED 1960
www.hampton-technical.com

Corporate Office
Ems Technical Center
35 Wilson Street, Suite 201
Pittsburgh, PA 15223
PHONE: (412) 781-9660
FAX: (412) 781-5904

Mars Office
123 Ridge Road, Suite B
Valencia, PA 16099
PHONE: (724) 625-4544
FAX: (724) 625-4549

PROJECT STATUS:		
DATE ISSUED:	August 25, 2020	
DESCRIPTION:	FINAL PLAN SUBMISSION	
REVISIONS:		
NO.	DESCRIPTION	DATE
1	Address SSA Comments	Nov. 4, 2020
2	Address SSA Comments	Dec. 23, 2020
3	Address SSA Comments	Jan. 6, 2021



Fieldstone Ridge

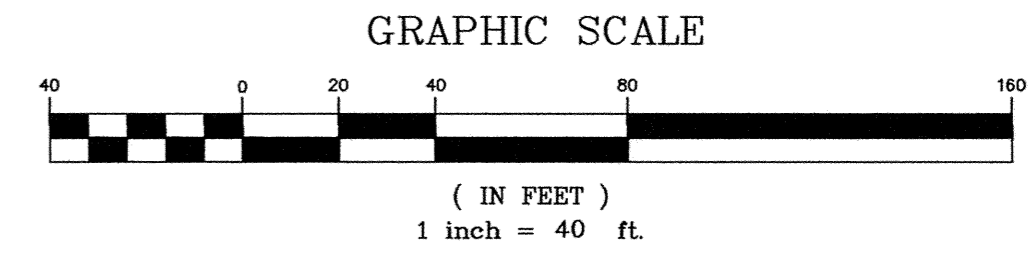
Plan for Recording

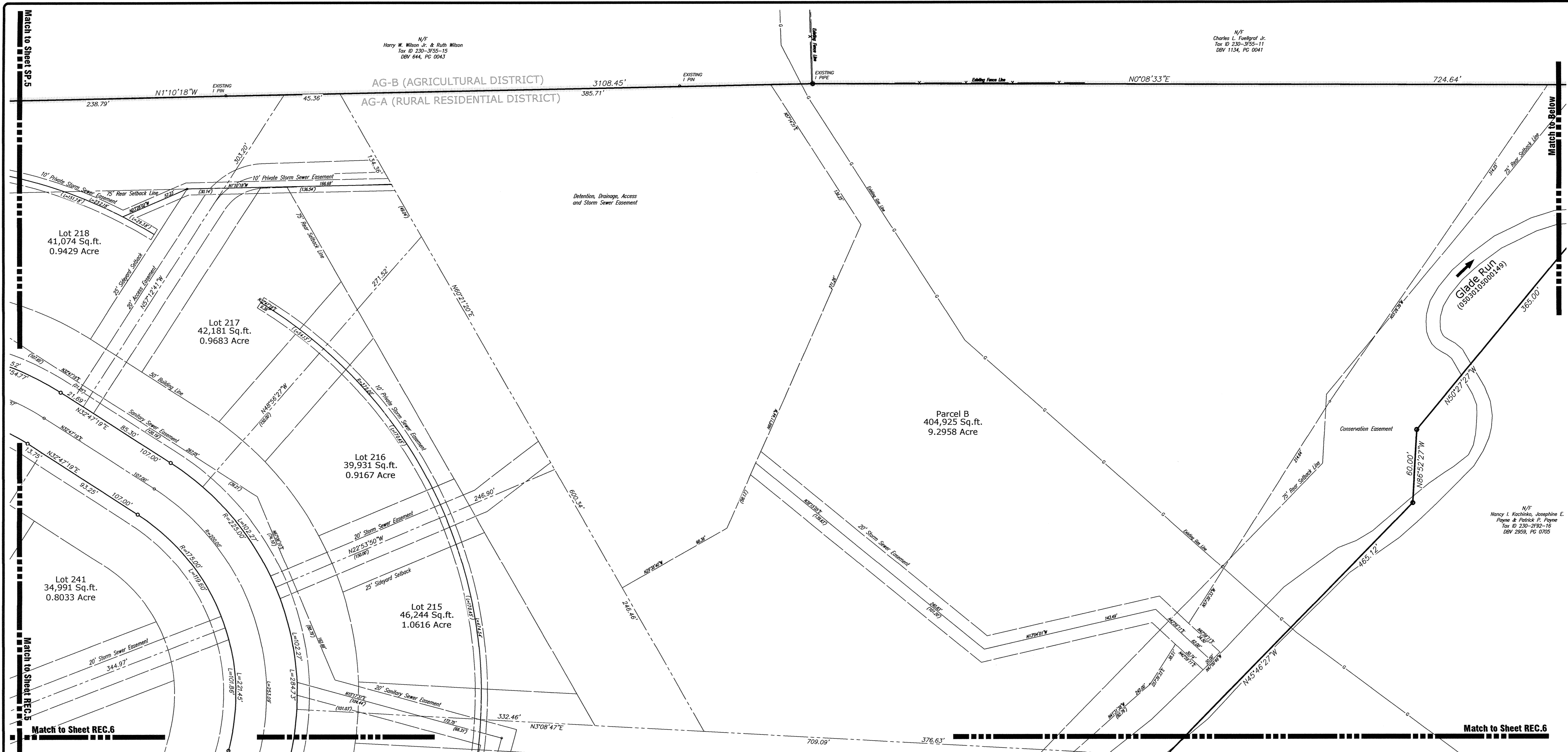
CLIENT ADDRESS:
Forsythe Fields, LLC
514 Ridge Court
Wexford, Pa. 15090

PROJECT LOCATION:
Middlesex Township
Butler County, Pennsylvania

DRAWN BY:	CHECKED BY:
Mal	---
CAD FILE:	12333-1 Const.dwg
HORIZ. SCALE:	VERT. SCALE:
1" = 40'	
SHEET:	OF
REC.6	
PROJECT #:	12333-1

PLAN BOOK	PAGE
393	49





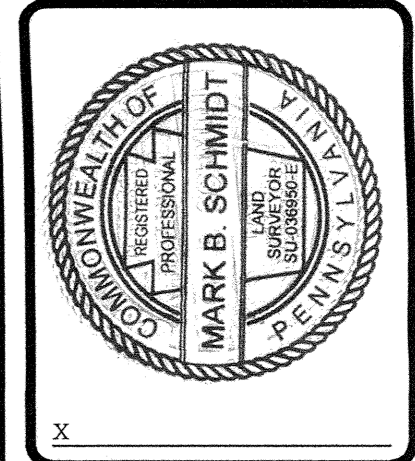
N/F
 Harry W. Wilson Jr. & Ruth Wilson
 Tax ID 230-355-15
 DBV 644, PG 0043

N/F
 Charles L. Fullgraf Jr.
 Tax ID 230-355-11
 DBV 1134, PG 0041

N/F
 Nancy I. Kochinika, Josephine E. Payne & Patrick P. Payne
 Tax ID 230-292-16
 DBV 2929, PG 0702

N/F
 Charles L. Fullgraf Jr.
 Tax ID 230-355-11
 DBV 1134, PG 0041

N/F
 Nancy I. Kochinika, Josephine E. Payne & Patrick P. Payne
 Tax ID 230-292-16
 DBV 2929, PG 0702

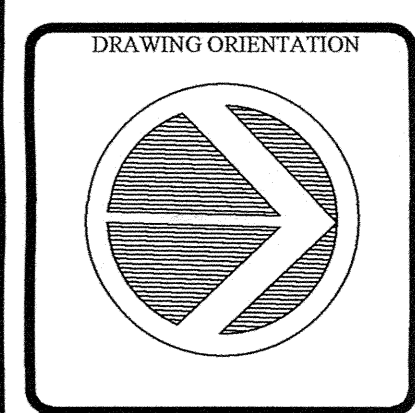


ENGINEERING LAND SURVEYORS
 ESTABLISHED 1960
 www.hampton-technical.com

Corporate Office
 Elma Technical Center
 35 Wilson Street, Suite 201
 Pittsburgh, PA 15223
 PHONE: (412) 781-9600
 FAX: (412) 781-5904

Mars Office
 123 Ridge Road, Suite B
 Valencia, PA 16059
 PHONE: (724) 625-4544
 FAX: (724) 625-4549

DATE ISSUED:	August 25, 2020	
PROJECT STATUS:	FINAL PLAN SUBMISSION	
REVISIONS:		
NO.	DATE	DESCRIPTION
1	Dec. 23, 2020	Address SSA Comments
2	Dec. 23, 2020	Address SSA Comments
3	Jan. 8, 2021	Address SSA Comments

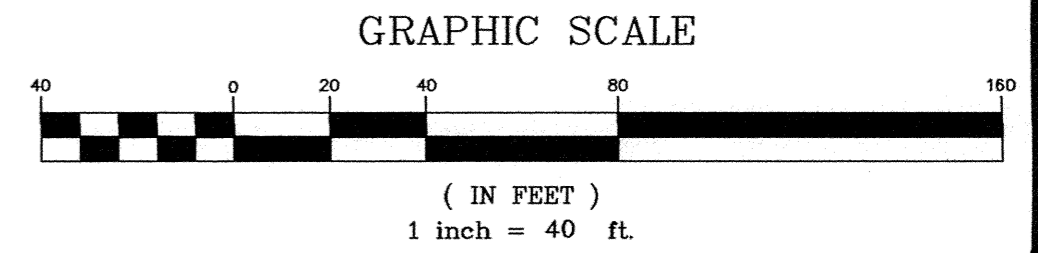


PROJECT TITLE:
Fieldstone Ridge

Plan for Recording

CLIENT ADDRESS:
 Forsythie Fields, LLC
 514 Ridge Court
 Wexford, Pa. 15090

PLAN BOOK	PAGE
393	50



PROJECT TITLE:
Fieldstone Ridge

Plan for Recording

CLIENT ADDRESS:
 Forsythie Fields, LLC
 514 Ridge Court
 Wexford, Pa. 15090

DRAWN BY: Mal
 CHECKED BY: ---

CAD FILE:
 12333-1 Const.dwg

HORIZ. SCALE: 1" = 40'
 VERT. SCALE: OF

SHEET: **REC.7** OF

PROJECT #: 12333-1