

PRELIMINARY AND FINAL LAND DEVELOPMENT PLANS FOR SHELL OIL PRODUCTS US MYOMA NTI ADAMS TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

Instr: 202102170004550
Page 2 of 588-00
Michele Mustello
Butler County Recorder PA
2/17/2021 11:12 AM
T20210003321



US Architects LTD.
PROJECT
Shell Oil Products US
MYOMA NTI

Whitetail Meadows
Route 228 and Scharberry Lane Ext.,
Mars, Pa

CLIENT
Equilon Enterprises
LLC, d/b/a Shell Oil
Products US
150 N Dairy Ashford Rd
Houston, Tx 77079

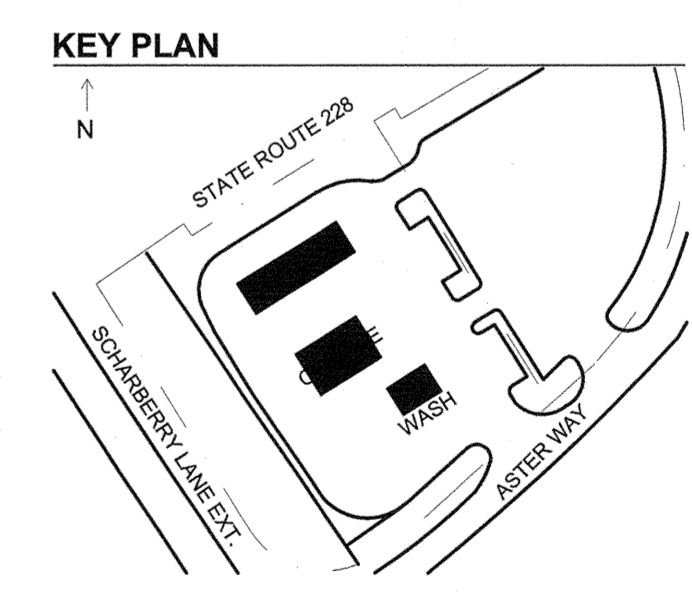
CONSULTANT
AECOM
3101 Wilson Blvd, Suite 900
Arlington, VA 22201
www.aecom.com

REGISTRATION

ISSUE/REVISION

IR	DATE	DESCRIPTION
A	07.24.2020	ISSUED FOR SPA

DRAWN BY
Author



GLOBAL PROJECT ID NUMBER
60612293.5002

SHEET TITLE
C-STORE
RECORDING CERTIFICATES

AECOM FILE NAME
G001A.1-COV-MYMA
SHEET NUMBER

G001A.1

CORPORATION ADOPTION

KNOW ALL MEN BY THESE PRESENTS:
THAT Equilon Enterprises LLC BY VIRTUE OF A RESOLUTION OF ITS BOARD OF DIRECTORS,
(NAME OF CORPORATION)
DOES HEREBY ADOPT THIS PLAN OF SUBDIVISION OF ITS LEASED PROPERTY, SITUATED IN ADAMS TOWNSHIP, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERSE ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, WHATEVER INTEREST IT HAS, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY ADAMS TOWNSHIP, OF COUNTY OF BUTLER, Equilon Enterprises LLC HEREBY COVENANTS
(NAME OF CORPORATION)
AND AGREES TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE ADAMS TOWNSHIP, OF THE COUNTY OF BUTLER, ITS SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON Equilon Enterprises LLC, ITS SUCCESSORS AND ASSIGNS.
(NAME OF CORPORATION)

IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE HAND OF ITS PRESIDENT AND SAME TO ATTESTED SECRETARY, THIS 26th DAY OF January, A.D. 20 21.
Equilon Enterprises LLC (SEAL)
(NAME OF CORPORATION)
ATTEST:
[Signature] (SEAL)
SECRETARY REAL ESTATE MANAGER
[Signature] (SEAL)
PRESIDENT

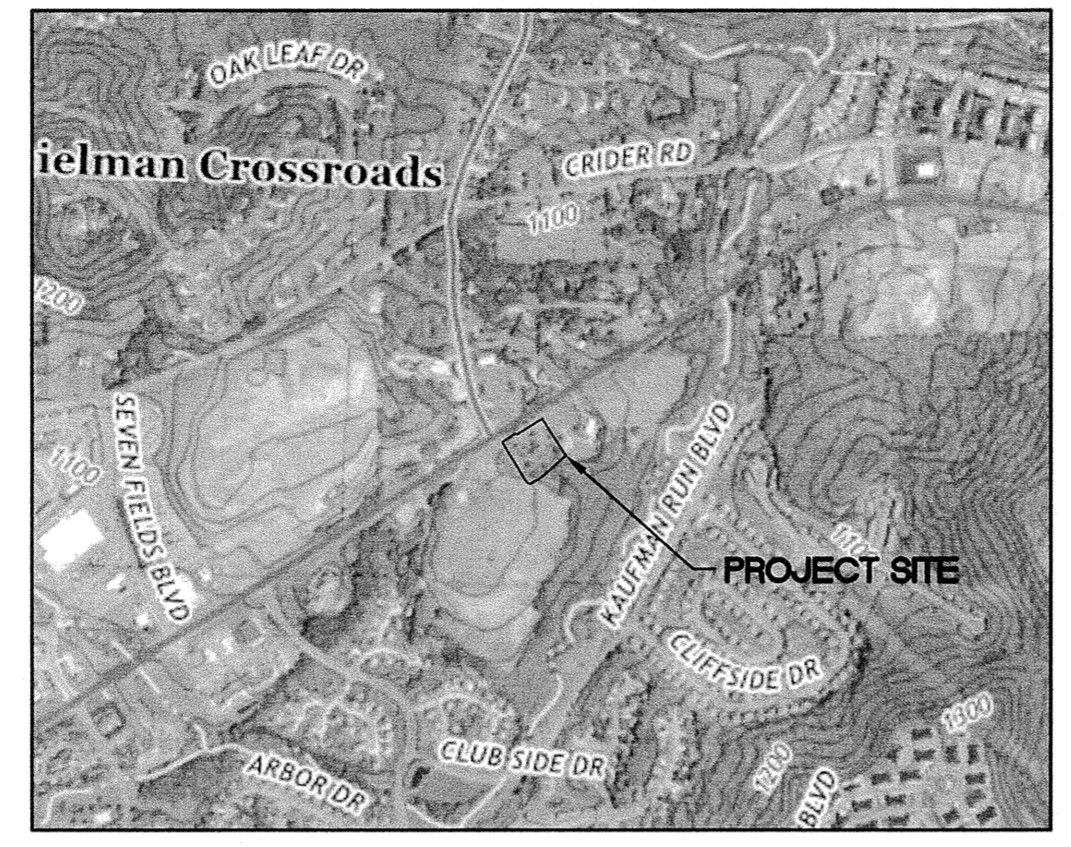
CORPORATION ACKNOWLEDGEMENT
California }
(STATE) } SS:
Orange }
(COUNTY)

ON THIS 26th DAY OF January, A.D. 20 21, BEFORE ME, A NOTARY PUBLIC FOR SAID COUNTY AND STATE, PERSONALLY APPEARED Lydell Lauro RE Manager OF Equilon Enterprises LLC WHO BEING DULY SWORN, DEPOSES (NAME AND TITLE OF OFFICER) (NAME OF CORPORATION)
AND SAYS THAT HE WAS PERSONALLY PRESENT AT THE EXECUTION OF THE ADOPTION, RELEASE AND DEDICATION AND SAW THE COMMON AND CORPORATE SEAL OF THE SAID CORPORATION DULY SIGN AND SEALED BY AND AS FOR THE ACT AND DEED OF THE SAID Equilon Enterprises LLC FOR THE USES AND PURPOSES THEREIN MENTIONED, AND THAT THE NAME OF THIS DEPONENT (NAME OF CORPORATION)
SUBSCRIBED TO THE SAID RELEASED AND DEDICATION Lydell Lauro RE Manager OF Equilon Enterprises LLC IN (NAME AND TITLE OF OFFICER) (NAME OF CORPORATION)
ATTESTATION OF THE DUE EXECUTION AND DELIVERY OF SAID RELEASE AND DEDICATION OF THIS DEPONENT'S OWN AND PROPER AND RESPECTIVE HANDWRITING.

BRIG PRASAD (SEAL)
(NAME OF OFFICER)
NOTARY PUBLIC (SEAL)
(TITLE OF OFFICER)

SWORN TO AND SUBSCRIBED BEFORE ME THE DAY AND DATE ABOVE WRITTEN.
WITNESS MY HAND AND NOTARIAL SEAL THIS 26 DAY OF Jan, 2021.
[Signature] SEAL
NOTARY PUBLIC
BRIJ PRASAD
COMM. 2161780
NOTARY PUBLIC-CALIFORNIA
ORANGE COUNTY
My Term Exp. August 28, 2020
NOTARY COMMISSION EXTENDED
Pursuant to EC ORDER #63-20
MY COMMISSION EXPIRES THE 28 DAY OF AUG, 2020.

TOWNSHIP PLANNING COMMISSION RECOMMENDATION FOR APPROVAL
THIS PLAT OF SUBDIVISION HAS BEEN RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWNSHIP OF ADAMS, BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA ON THIS 5th DAY OF February, A.D. 20 20.
ATTEST:
[Signature] SECRETARY
[Signature] CHAIRMAN



PROJECT LOCATION MAP
N.T.S.

SURVEYOR CERTIFICATION
I, BRAD L. GOODBALLET, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, BELIEF, AND FEELINGS THAT THIS PLAN REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS PLOTTED BY ME FOR THE OWNER(S) OR AGENTS(S).
[Signature]
BRAD L. GOODBALLET
REG. NO. SU056899

TOWNSHIP ENGINEER'S APPROVAL
I, Ronald Olsen, A REGISTERED PROFESSIONAL ENGINEER FOR THE TOWNSHIP OF ADAMS, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THIS SUBDIVISION PLAN OR LAND DEVELOPMENT MEETS ALL OF THE ENGINEERING REQUIREMENTS SET FORTH IN THE ADAMS TOWNSHIP ZONING ORDINANCE, SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, AND THE PUBLIC AND PRIVATE IMPROVEMENTS CODE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.
01/03/2021 26400-F
DATE REG. NO. SIGNATURE

PROOF OF RECORDING
COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER } SS:
RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, PLATS, ETC. IN SAID COUNTY, IN PLAN BOOK VOLUME 392 PAGE(S) 1-2.
GIVEN UNDER MY HAND AND SEAL THIS 17th DAY OF February, A.D. 20 21.
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024
[Signature]
RECORDER OF DEEDS

PROPERTY OWNER'S CERTIFICATION
ON THIS, THE 29th DAY OF JANUARY, 2021, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED Fred Haspenkeid WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THEY ARE THE OWNERS AND/OR EQUITABLE OWNERS OF THE PROPERTY SITUATED IN THE TOWNSHIP OF ADAMS, BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA, SHOWN ON THIS PLAN, AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN AND DESIRE THE SAME TO BE RECORDED AS SUCH ACCORDING TO THE LAW.
WITNESS MY HAND AND SEAL ON THE DAY AND DATE WRITTEN ABOVE:
[Signature] NOTARY PUBLIC
OWNER'S SIGNATURE Whitetail Myoma LP
OWNER'S SIGNATURE [Signature] GP

BUTLER COUNTY PLANNING COMMISSION ACKNOWLEDGEMENT
REVIEWED
APPROVED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 15th DAY OF JULY, 2020.
[Signature] SECRETARY
[Signature] CHAIRMAN

SEE COMMENTS ON FILE AT THE BUTLER COUNTY PLANNING COMMISSION PLAN NUMBER 20137
APPROVAL BY TOWNSHIP OF ADAMS

THE TOWNSHIP BOARD OF SUPERVISORS OF THE TOWNSHIP OF ADAMS, BUTLER COUNTY, PENNSYLVANIA, HEREBY GIVES PUBLIC NOTICE THAT IT IS APPROVING THIS PLAN OF SUBDIVISION FOR RECORDING PURPOSES ONLY. THE APPROVAL OF THIS SUBDIVISION PLAT BY THE TOWNSHIP OF ADAMS DOES NOT CONSTITUTE AN ACCEPTANCE OF THE ROADS, STREETS, ALLEYS, STORMWATER AND SANITARY SEWAGE DRAINAGE FACILITIES, EASEMENTS OR RIGHTS-OF-WAY, WATER MAINS OR ANY OTHER SERVICES OR IMPROVEMENTS SHOWN ON THIS PLAN NOR AN ASSUMPTION OF MAINTENANCE RESPONSIBILITY, NOR WILL THE SAME BE ACCEPTED OR MAINTAINED UNTIL CONSTRUCTED IN ACCORDANCE WITH ALL TOWNSHIP SPECIFICATIONS AND REQUIREMENTS AND OFFICIALLY ACCEPTED BY ACTION OF THE TOWNSHIP BOARD OF SUPERVISORS.

THIS PLAT OF SUBDIVISION APPROVED BY ACTION OF THE TOWNSHIP BOARD OF SUPERVISORS OF THE TOWNSHIP OF ADAMS, BUTLER COUNTY, PENNSYLVANIA ON THIS 25th DAY OF January, A.D. 20 21.

ATTEST:
[Signature] SECRETARY OF BOARD OF SUPERVISORS
[Signature] CHAIRMAN OF BOARD OF SUPERVISORS
[Signature]
[Signature]
[Signature]
[Signature]
REAPPROVAL BY TOWNSHIP OF ADAMS

THIS PLAT OF SUBDIVISION REAPPROVED BY ACTION OF THE TOWNSHIP BOARD OF SUPERVISORS OF THE TOWNSHIP OF ADAMS, BUTLER COUNTY, PENNSYLVANIA ON THIS 25th DAY OF January, 2020.

ATTEST:
[Signature] (SECRETARY OF BOARD OF SUPERVISORS)
[Signature] (CHAIRMAN OF BOARD OF SUPERVISORS)
[Signature]
[Signature]
[Signature]
OWNERS ACCEPTANCE OF RESPONSIBILITY FOR PROVIDED STORMWATER DRAINAGE FACILITIES AND CONTROL OF STORMWATER DRAINAGE

KNOW ALL MEN BY THESE PRESENTS, THAT (I, WE) Whitetail Myoma LP OF THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, AND FOR OUR GRANTEEES AND THEIR SUBSEQUENT PURCHASERS, DO HEREBY ACCEPT FULL AND COMPLETE RESPONSIBILITY, LIABILITY, EXPENSE AND PROVISION OF FACILITIES FOR THE CONTROL OF STORMWATER DRAINAGE OVER, ACROSS AND THROUGH THIS SUBDIVISION OF LAND UNTIL SUCH TIME AS (I OR WE), OUR HEIR EXECUTORS, ADMINISTRATORS AND ASSIGNS CONSTRUCT STORMWATER DRAINAGE FACILITIES IN ACCORDANCE WITH TOWNSHIP'S SPECIFICATIONS AND REQUIREMENTS AND THE SAME IS OFFICIALLY ACCEPTED BY ACTION OF THE TOWNSHIP BOARD OF SUPERVISORS, ADAMS TOWNSHIP, AND UNTIL SUCH FORMAL ACCEPTANCE (I OR WE) FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS, AND ASSIGNS DO HEREBY RELEASE THE TOWNSHIP OF ADAMS FROM ANY RESPONSIBILITY IN CONNECTION THEREWITH. THIS ACCEPTANCE OF RESPONSIBILITY SHALL BE BINDING UPON Whitetail Myoma LP OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, AND ALL PURCHASERS OF LOTS IN THIS PLAN OF SUBDIVISION.

IN WITNESS WHEREOF, WE HEREUNTO SET OUR HANDS AND SEALS THIS 29th DAY OF January, A.D. 20 21.

PLAN BOOK	PAGE
392	1

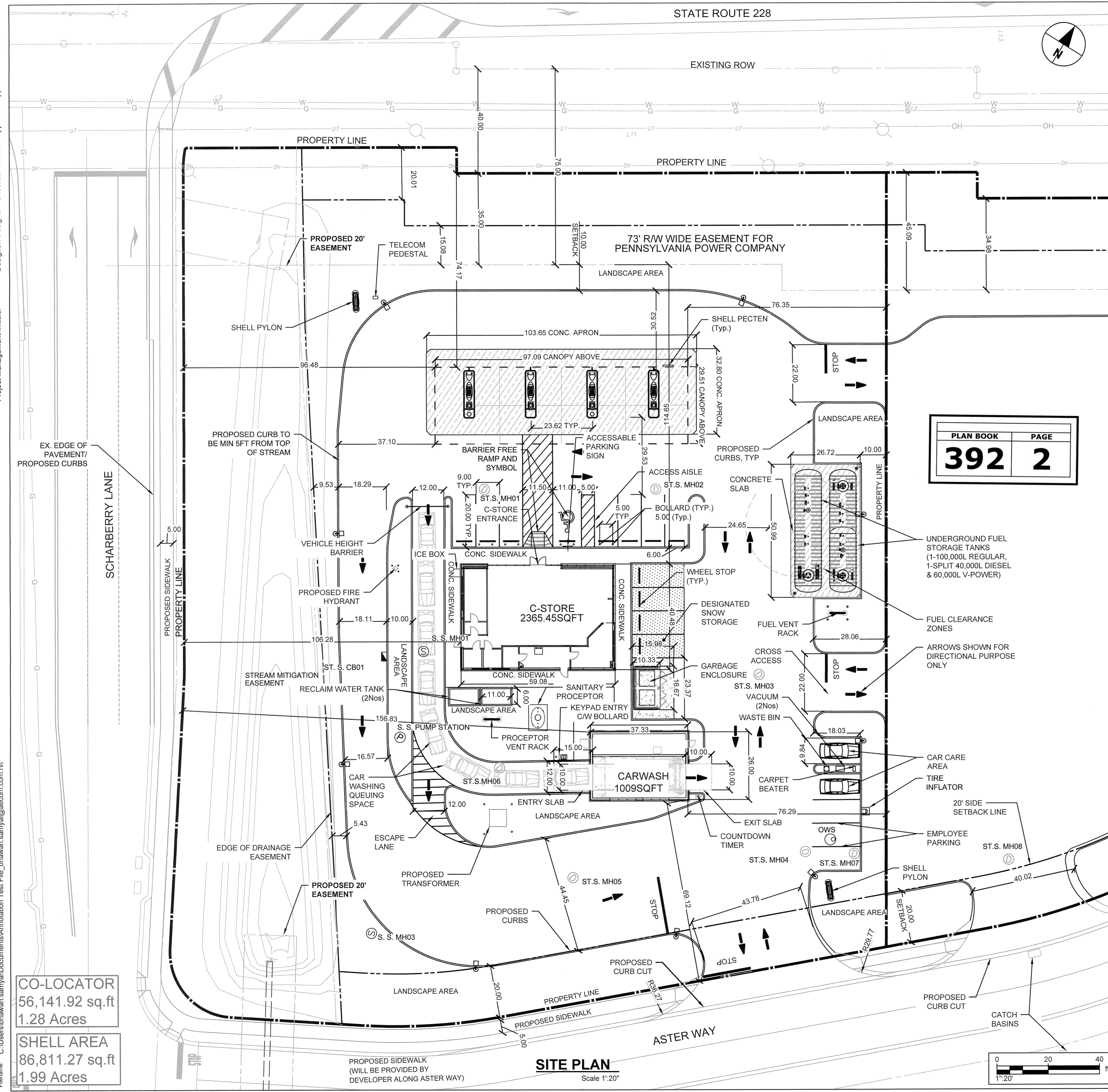
WITNESS MY HAND AND NOTARIAL SEAL THIS 29th DAY OF January, A.D., 2021.

MY COMMISSION EXPIRES THE 10th DAY OF June, A.D., 2023.

ANSI D 22x34" Designer: [Name] Checker: [Name] Approver: [Name] Project Management Initials: [Name] Last Plotted: 2/4/2020 11:17:25 File Name: B:\M\2020\Shell Oil\G001A.1-NTI\G001A.1-COV-MYOMA-NTI-CSTORE-2532SQFT.rvt User: [Name]

Project Management Initials: Designer: Designer Checked: Checker Approved: Approver ANS I D 22"x34"

Last Plotted: 4/13/2020 11:22:22 AM
 File Name: C:\Users\shahwan.samy\Documents\Automation Test File_bhawan.samy@aecom.com.rvt
 Printed on 100% Post-Consumer Recycled Content Paper

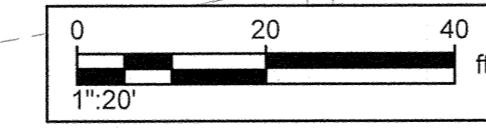


CO-LOCATOR
 56,141.92 sq.ft
 1.28 Acres

SHELL AREA
 86,811.27 sq.ft
 1.99 Acres

SITE PLAN
 Scale 1"=20'

PLAN BOOK 392
 PAGE 2



SITE STATISTICS			
DATA	REQUIRED	PROVIDED	
ZONING	Residential Agricultural, Moderate Density District (RAM)		
LOT AREA (MIN)	21 780R ²	86 812R ²	
LOT FRONTAGE (MIN)	100R	270.08R	
SETBACKS (MIN)	FRONT YARD (STATE ROUTE 228)	50ft	74.17ft
	SIDE YARDS	15ft	76.35ft
	REAR YARD	25ft	69.12ft
	CORNER SIDE YARD	N/A	N/A
SITE COVERAGE (MAX)	60%	49%	
FLOOR AREA RATIO (MAX)	N/A	0.04	
FLOOR SPACE INDEX (MAX)	N/A	-	
GROSS FLOOR AREA (RESIDENTIAL)	N/A	C-STORE 2365.45R ² CAR WASH 1045.82R ²	
GROSS FLOOR AREA (NON RESIDENTIAL)	N/A	C-STORE 2108.70R ² CAR WASH 754.54R ²	
BUILDING HEIGHT (MAX)	C-STORE	16ft 10inch	
	CAR WASH	19ft 8 1/4inch	
	CANOPY	14ft 9 21/128inch	
BUILDING FRONTAGE MATERIALS	N/A	N/A	
PARKING	REQUIRED	PROVIDED	
NO. OF REQ'D SPACES	C-STORE	10	12
	PRINCIPAL USE	17	N/A
	ACCESSORY USE	2	3
WIDTH (MIN)	9ft	9ft	
STALL AREA (MIN)	162R ²	180R ²	
VERTICAL CLEARANCE (MIN)	N/A	N/A	
aisle width (min)	22ft	22ft TWO WAY, 16.57ft ONE WAY	
NO. OF BICYCLE PARKING SPACES	N/A	N/A	
NO. OF QUEUING SPACES	N/A	8	
QUEUING SPACE SIZE	N/A	N/A	
NO. OF LOADING ZONES	N/A	0	
LOADING ZONE SIZE	10ft x 40ft	N/A	
DAYLIGHT TRIANGLE	LOCAL STREETS: 75FT COLLECTOR STREETS: 100FT ARTERIAL STREETS: 125FT	N/A	
ENTRANCE/ACCESS WIDTH	N/A	MAX: 43.78R	
ACCESS SETBACK FROM INTERSECTION (MIN)	LOCAL STREETS: 200FT COLLECTOR STREETS: 300FT ARTERIAL STREETS: 600FT	N/A	
Land Use Bylaw Summary:			
Lands to North: R1			
Lands to South: RAM			
Lands to East: RAM			
Lands to West: RAM			

- NOTES**
- FOR GENERAL NOTES SEE DRAWING C001.0
 - WORKS IN THE MUNICIPAL RIGHT-OF-WAY BEING PERFORMED BY THE CITY'S CONTRACTOR WILL REQUIRE 4 TO 6 WEEK NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION AFTER ALL DRAWINGS HAVE BEEN APPROVED AND SECURITIES HAVE BEEN RECEIVED.
 - REFER TO THE SITE GRADING PLAN PREPARED BY AECOM, DRAWING C104.0 FOR THE PURPOSES OF OBTAINING SITE GRADING INFORMATION.
 - RECLAIM TANKS AND RELATED EQUIPMENT SHOWN IN THIS DRAWINGS ARE INDICATIVE AND SHALL BE FOLLOWED AS PER THE THIRD PARTY/VENDOR DESIGN CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGING ALL COORDINATION, SUPPLY AND INSTALLATION RELATED ITEMS FOR THE SAME.

LEGEND

PROPOSED LEASE AND PROPERTY LINE	
VACUUM	
TIRE INFLATOR	
EXISTING CURBS	
PROPOSED CURBS	
PROPOSED STORMWATER MANHOLE	
PROPOSED SANITARY MANHOLE	
PROPOSED SANITARY PUMP STATION	
PROPOSED STORMWATER CATCH BASIN	
PROPOSED OWS	
PROPOSED FIRE HYDRANT	
GAS METER	
PROPOSED LIGHT STANDARD	
GARBAGE ENCLOSURE	
SANITARY PROCEPTOR	
CONCRETE AREA	

AECOM
 US Architects LTD.
 PROJECT

Shell Oil Products US MYOMA NTI

Whitetail Meadows
 Route 228 and Scharberry Lane,
 Mars, Pa

CLIENT

Equilon Enterprises LLC, d/b/a Shell Oil Products US
 150 N Dairy Ashford Rd
 Houston, Tx 77079

CONSULTANT

AECOM
 3101 Wilson Blvd, Suite 900
 Arlington, VA 22201

www.aecom.com

REGISTRATION

ISSUE/REVISION	DATE	DESCRIPTION
B	06.24.2020	RE-ISSUED FOR SPA
A	06.05.2020	ISSUED FOR SPA
1/R		

DRAWN BY

SG

KEY PLAN

GLOBAL PROJECT ID NUMBER

60612293.5002

SHEET TITLE

SITE PLAN

AECOM FILE NAME

C102.0-SIP-MYMA

SHEET NUMBER

C102.0

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OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT WE, MARYELLEN G. & JONATHAN D. BURNS, OF THE TOWNSHIP OF PENN, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF PENN, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF PENN, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS TO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF PENN, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 29 DAY OF JANUARY, 2021.

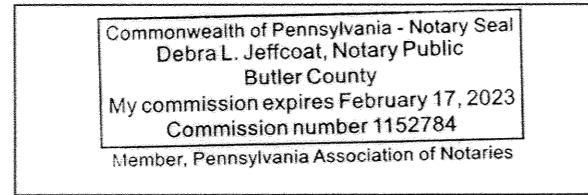
Maryellen G. Burns
 MARYELLEN G. BURNS
Jonathan D. Burns
 JONATHAN D. BURNS

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, MARYELLEN G. & JONATHAN D. BURNS, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 29 DAY OF JANUARY, 2021.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023

Alexandra J. Juffe
 NOTARY PUBLIC



SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

7 JAN 2021
 DATE
Stanley D. Graff
 STANLEY D. GRAFF
 REG. NO. SU-000101-E

MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF PENN, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF PENN ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF PENN THIS 4 DAY OF January, 2021.

Linda J. Zepress
 SECRETARY
Samuel M. Mait
 CHAIRPERSON
 BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF PENN THIS 20th DAY OF December, 2020

Chris Blau
 SECRETARY
Robert J. Goff
 CHAIRPERSON
 PLANNING COMMISSION

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 16th DAY OF DEC, 2020.

R. H. Gern
 SECRETARY
J. H. Gern
 CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION

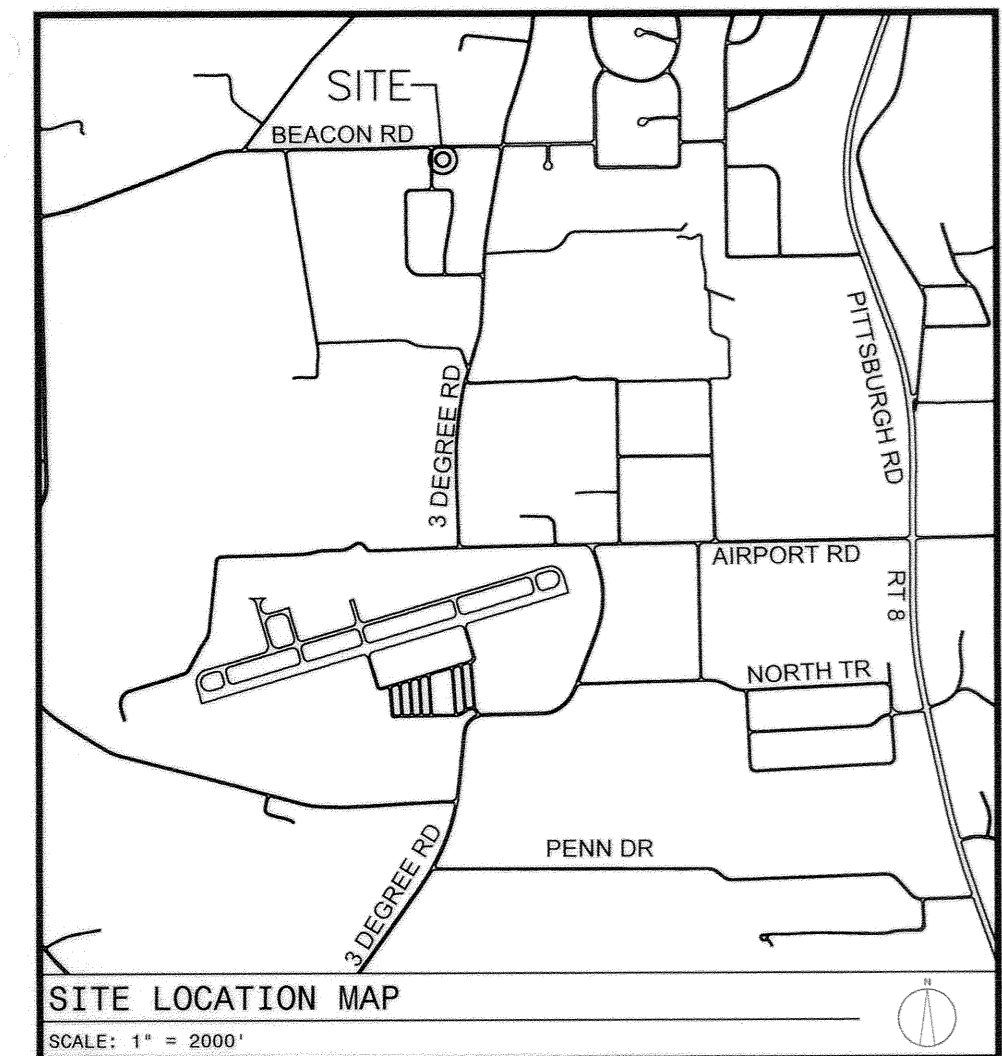
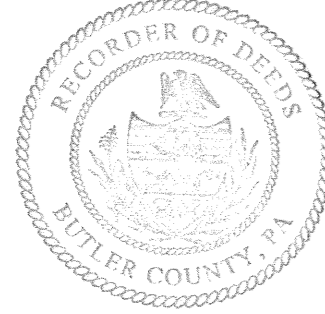
PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN

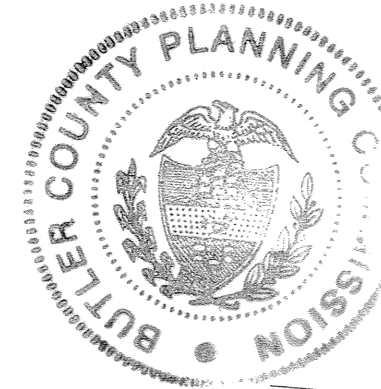
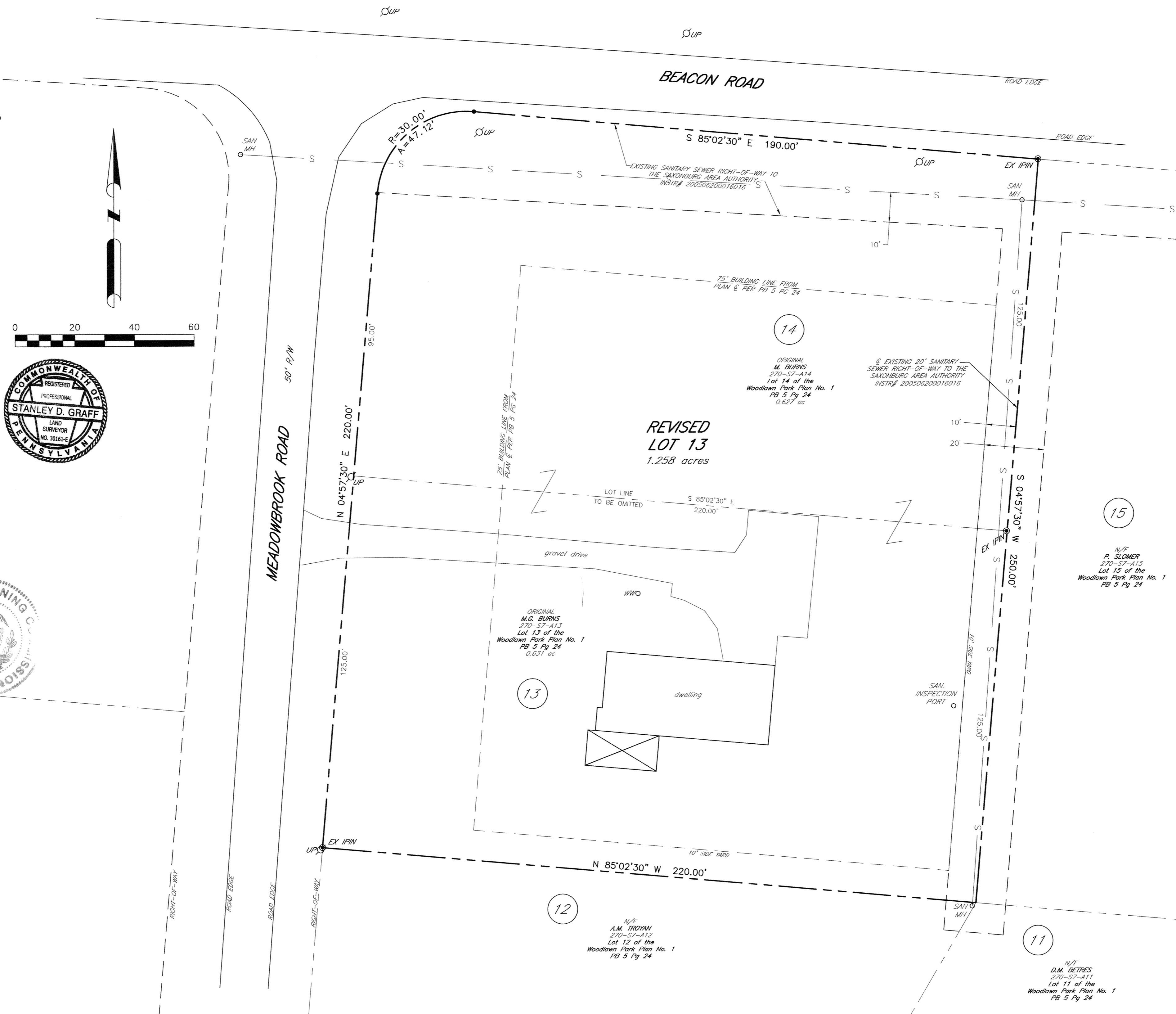
PLAN BOOK VOLUME 392, PAGE(S) 3

GIVEN UNDER MY HAND AND SEAL THIS 17th DAY OF February, 2021.

Michele M. Mustello
 RECORDER OF DEEDS
MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.



Instr: 202102170004653
 File: F:\44800
 Michele Mustello
 Butler County Recorder PA
 2/7/2021 3:10 PM
 12021000379

PROPERTY AREAS:

EXISTING TOTALS	
LOT 13 (270-S7-A13)	0.631 ACRES
+LOT 14 (270-S7-A14)	0.627 ACRES
EXISTING TOTAL	1.258 ACRES
REVISED TOTALS	
REVISED LOT 13	1.258 ACRES

- GENERAL NOTES:**
- OWNERS: MARYELLEN G. & JONATHAN D. BURNS
 - ZONING DISTRICT: R-1 LOW DENSITY SINGLE FAMILY RESIDENTIAL DISTRICT
 - SETBACKS: FRONT LINE - 40' FROM RAW REAR - 30' SIDE - 10'
 - REFERENCES
 - CURRENT DEEDS OF RECORD
 - PREVIOUSLY RECORDED PLANS
 - WOODLAWN PARK PLAN NO. 1 PLAN BOOK 5 PG 24

J. BURNS PLAN

Being a consolidation of Lots 13 and 14 of the Woodlawn Park Plan No. 1 and being Butler County Tax Parcels 270-S7-A14 (Lot 14) and 270-S7-A13 (Lot 13)

RECORDED	20
PLAN BOOK	PAGE
392	3
SHEET	of

REV	DESCRIPTION	BY	DATE
 GRAFF SURVEYING LLC PO BOX 521 SAXONBURG, PA 16056 P: 724-352-3811 F: 724-352-1059 INFO@GRAFFSURVEYING.COM WWW.GRAFFSURVEYING.COM			
PROJECT DESCRIPTION J. BURNS PLAN BEING A CONSOLIDATION FOR JONATHAN AND MARYELLEN BURNS			
SITUATE PENN TOWNSHIP BUTLER COUNTY, PENNSYLVANIA			
DATE	DRAWN	CHECKED	SCALE
11/27/2020	BAG	Sdg	1" = 20'
PROJECT NO.	TAX PARCEL NO.	REVISION	
20-228	270-S7-A13 & A14	-	

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT WE, AUGUSTUS W. McCAY III AND KIMBERLY E. McCAY, OF THE TOWNSHIP OF PENN. COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTY, SITUATE IN THE TOWNSHIP OF PENN. COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF PENN., WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF PENN., THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 3rd DAY OF February, 2021.

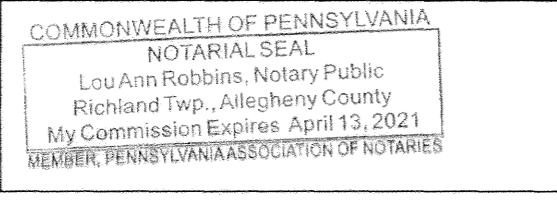
Augustus W. McCay III
 AUGUSTUS W. McCAY III
Kimberly E. McCay
 KIMBERLY E. McCAY

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, AUGUSTUS W. McCAY III AND KIMBERLY E. McCAY, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 3rd DAY OF February, 2021.

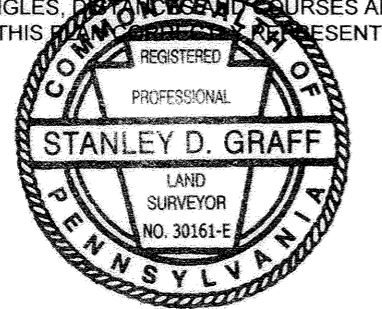
MY COMMISSION EXPIRES THE 13th DAY OF April 2021

Janet Robbins
 JANET ROBBINS
 NOTARY PUBLIC



SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND CURVES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN ACCURATELY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

3 FEB 2021
 DATE
Stanley D. Graff
 STANLEY D. GRAFF
 REG. NO. SU-031614



MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF PENN. HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF PENN. ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS
 APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF PENN. THIS 4 DAY OF January, 2021.

Samuel Wood
 SECRETARY
 CHAIRPERSON
 BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF PENN. THIS 22nd DAY OF December, 2020

Art Black
 SECRETARY
 CHAIRPERSON
 PLANNING COMMISSION

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 17th DAY OF Aug., 2020

R. H. G. R. M.
 SECRETARY
 CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION

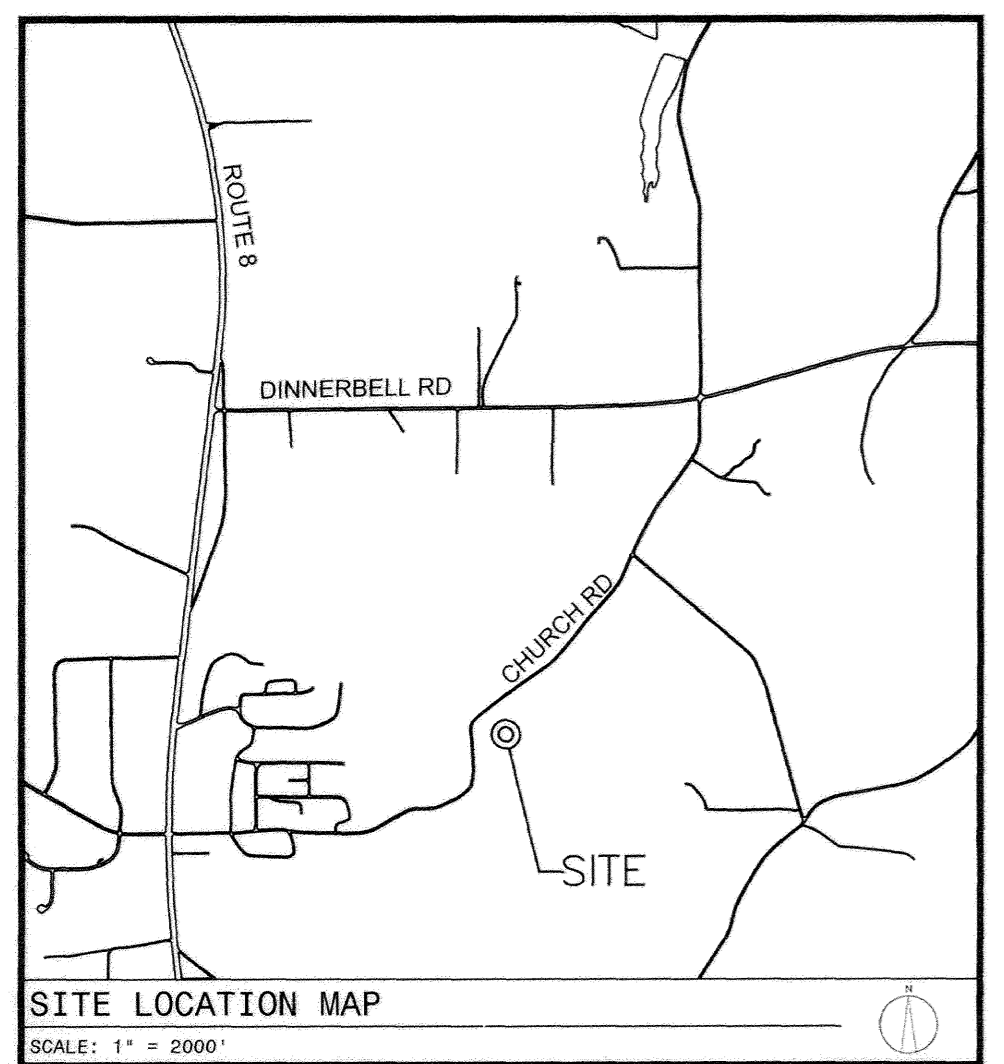
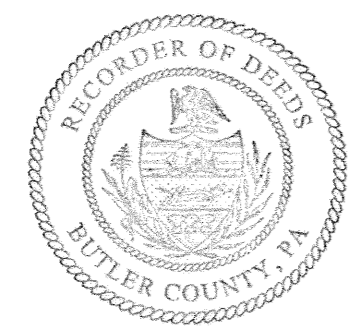


PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN

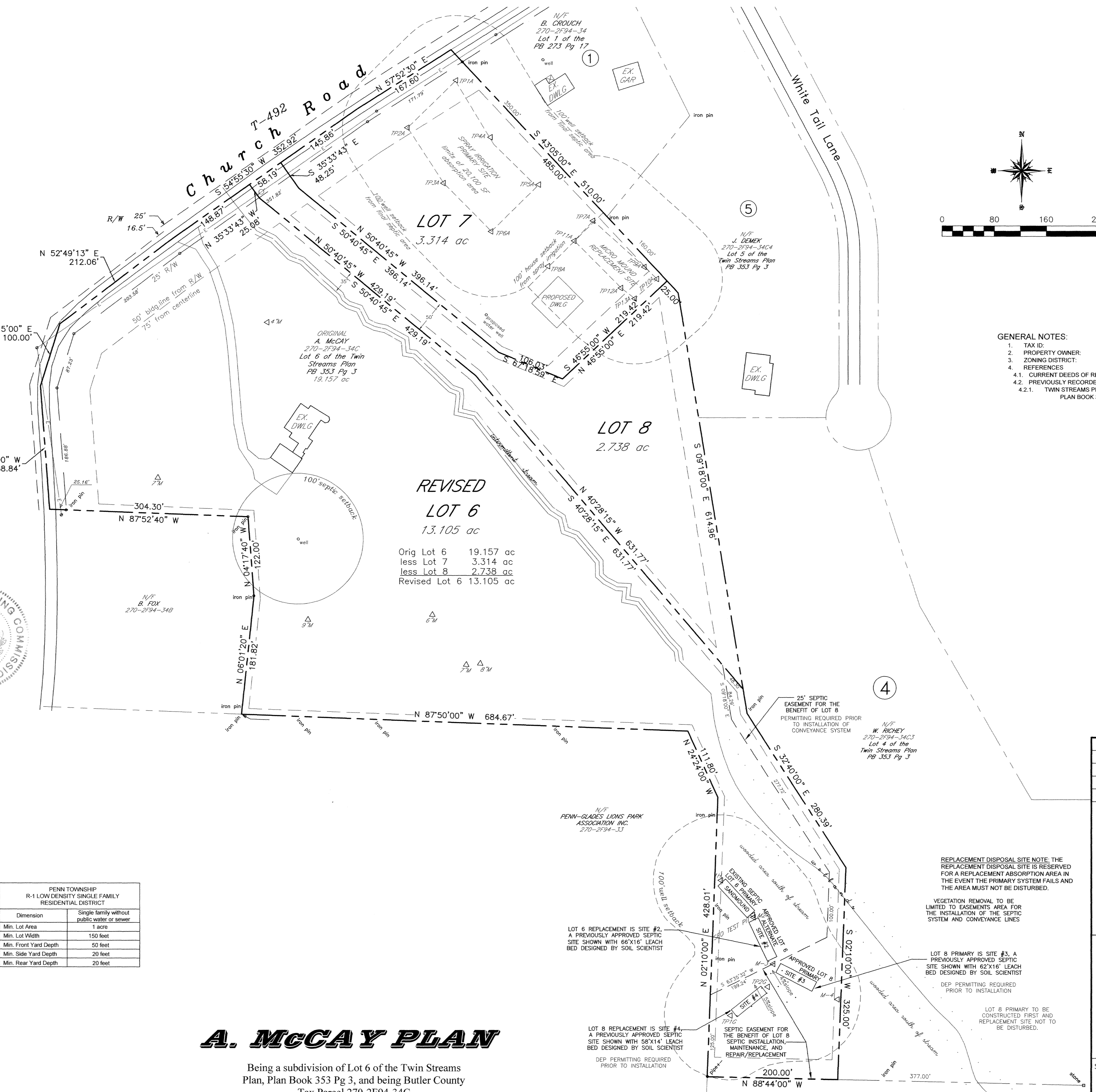
PLAN BOOK VOLUME 392 PAGE(S) 4
 GIVEN UNDER MY HAND AND SEAL THIS 17th DAY OF February, 2021.

Michele M. Mustello
 RECORDER OF DEEDS

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.



PENN TOWNSHIP R-1 LOW DENSITY SINGLE FAMILY RESIDENTIAL DISTRICT	
Dimension	Single family without public water or sewer
Min. Lot Area	1 acre
Min. Lot Width	150 feet
Min. Front Yard Depth	50 feet
Min. Side Yard Depth	20 feet
Min. Rear Yard Depth	20 feet

A. McCAY PLAN

Being a subdivision of Lot 6 of the Twin Streams Plan, Plan Book 353 Pg 3, and being Butler County Tax Parcel 270-2F94-34C

RECORDED	20
PLAN BOOK	PAGE
392	4
SHEET	of

REV	DESCRIPTION	BY	DATE
B	REVISIONS PER DEP	SDG	11/18/21
A	REVISIONS TO SEPTIC EASEMENT	SDG	11/19/20

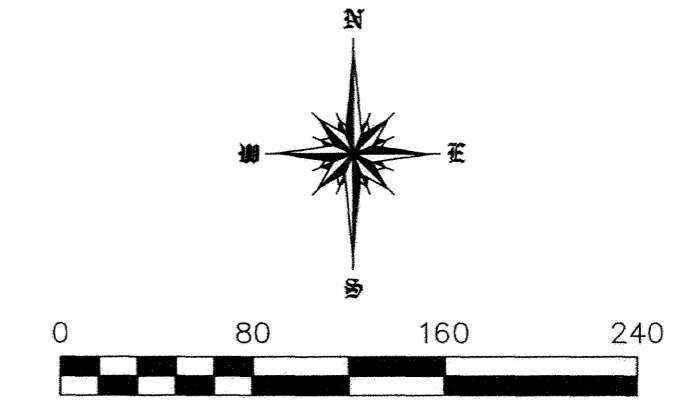


GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION
A. McCAY PLAN
 BEING A
 SUBDIVISION
 FOR
AUGUSTUS & KIMBERLY McCAY

SITUATE
 PENN TOWNSHIP
 BUTLER COUNTY, PENNSYLVANIA

DATE	DRAWN	CHECKED	SCALE
10/03/19	SDG	Sdg	1" = 80'
PROJECT NO.	TAX PARCEL NO.	REVISION	
19-223	270-2F94-34C	B	



Instr: 202102170004654
 Fig: 1 of 1
 2/17/2021 1:03 PM
 Shiloh Station
 Butler County Recorder PA
 1320100379

OWNERS ADICTION (BUTLER TOWNSHIP)
KNOW ALL MEN BY THESE PRESENTS, THAT WINNER PROPERTIES, LP, A PARTNERSHIP DULY REGISTERED UNDER THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA...
WITNESS MY HAND AND NOTARIAL SEAL THIS 16 DAY OF FEB 2021

OWNERS ADICTION (BUTLER TOWNSHIP)
KNOW ALL MEN BY THESE PRESENTS, THAT MERIDIAN CROSSING LLC, A CORPORATION DULY REGISTERED UNDER THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA...
WITNESS MY HAND AND NOTARIAL SEAL THIS 16 DAY OF FEB 2021

OWNERS ADICTION (BUTLER TOWNSHIP)
KNOW ALL MEN BY THESE PRESENTS, THAT ANNE M. CHRISTY, FOR MYSELF, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DOES HEREBY ADICTION THIS PLAN FOR ITS PROPERTY SITUATE IN BUTLER TOWNSHIP AND DOES HEREBY DEDICATE FOREVER FOR PUBLIC USE FOR HIGHWAY AND UTILITY PURPOSES...
WITNESS MY HAND AND NOTARIAL SEAL THIS 16 DAY OF FEB 2021

OWNERS ADICTION (BUTLER TOWNSHIP)
KNOW ALL MEN BY THESE PRESENTS, THAT ANNE M. CHRISTY, FOR MYSELF, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DOES HEREBY ADICTION THIS PLAN FOR ITS PROPERTY SITUATE IN BUTLER TOWNSHIP AND DOES HEREBY DEDICATE FOREVER FOR PUBLIC USE FOR HIGHWAY AND UTILITY PURPOSES...
WITNESS MY HAND AND NOTARIAL SEAL THIS 16 DAY OF FEB 2021

STATE HIGHWAY CLAUSE
A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 402 OF THE ACT OF JUN 1, 1963 (PL. 124) NO. 403. KNOWN AS THE "STATE HIGHWAY LAW" BEFORE DRIVEWAY ACCESS TO THE STATE HIGHWAY IS PERMITTED.

WINNER PROPERTIES, LP, A PENNSYLVANIA LIMITED PARTNERSHIP
BY: WINNER HOLDINGS, LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY
BY: BRENNAN FAMILY HOLDINGS, LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY
BY: ROBERT A. BRENNAN, MANAGER

Commonwealth of Pennsylvania - Notary Seal
James Zdzila, Notary Public
Butler County
My commission expires December 18, 2022
Commission number 1287439

Commonwealth of Pennsylvania - Notary Seal
James Zdzila, Notary Public
Butler County
My commission expires December 18, 2022
Commission number 1287439

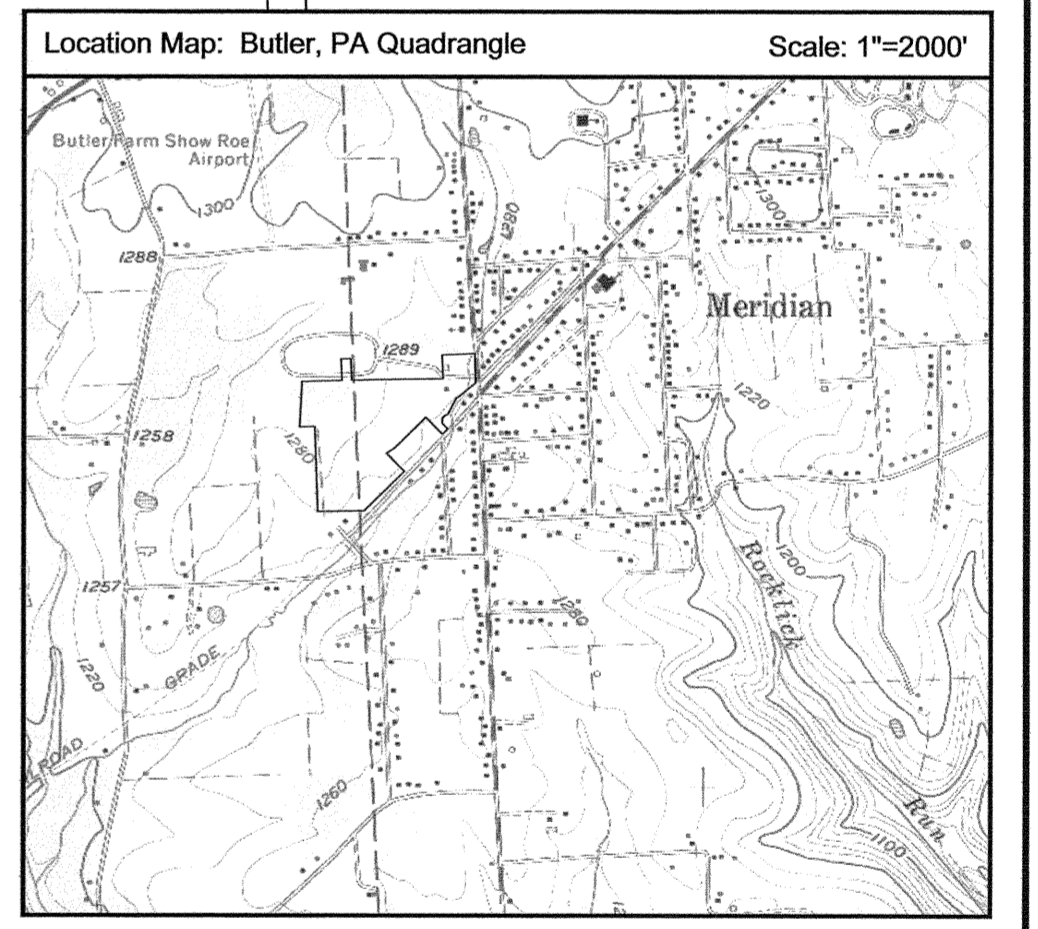
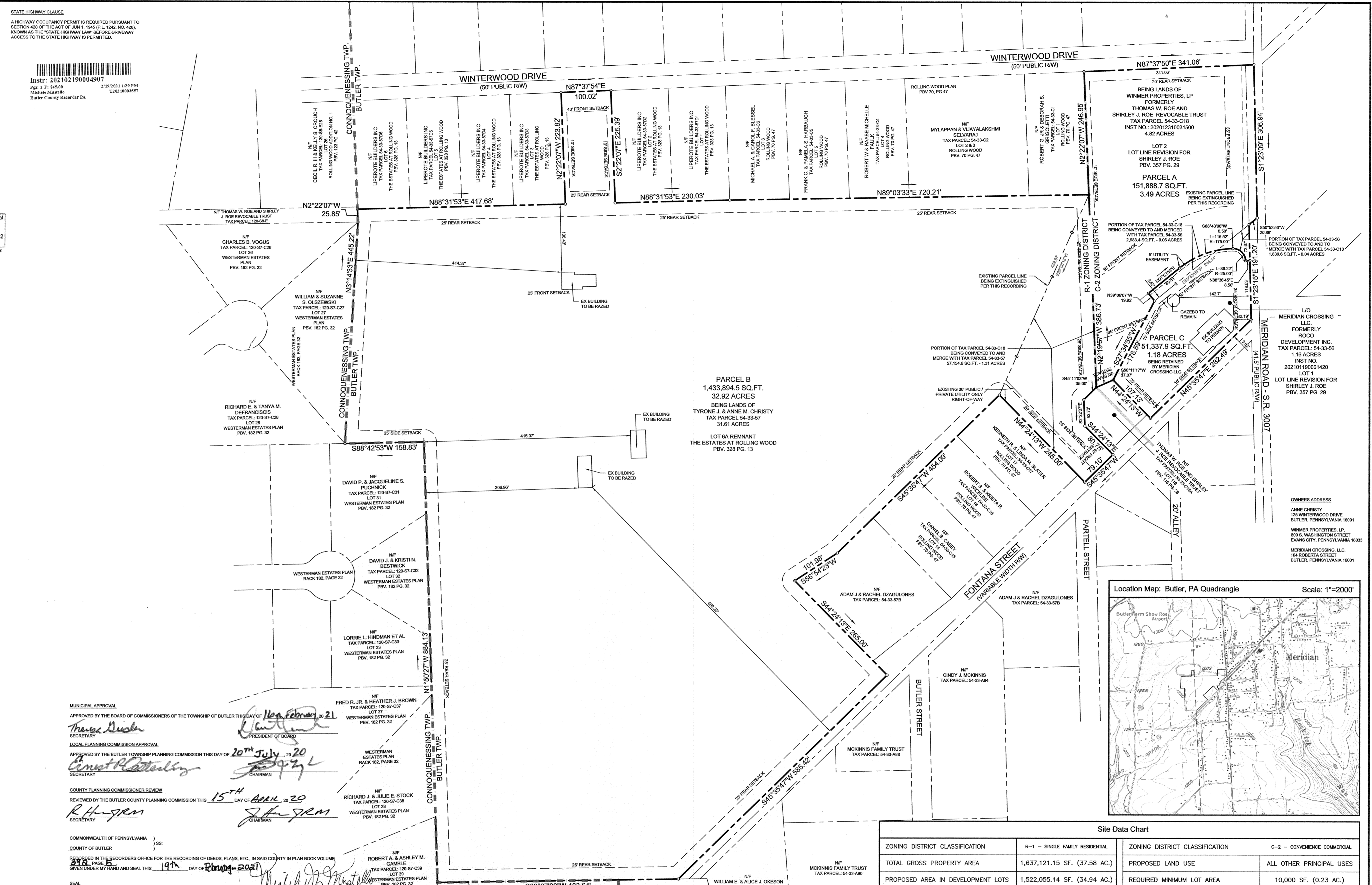
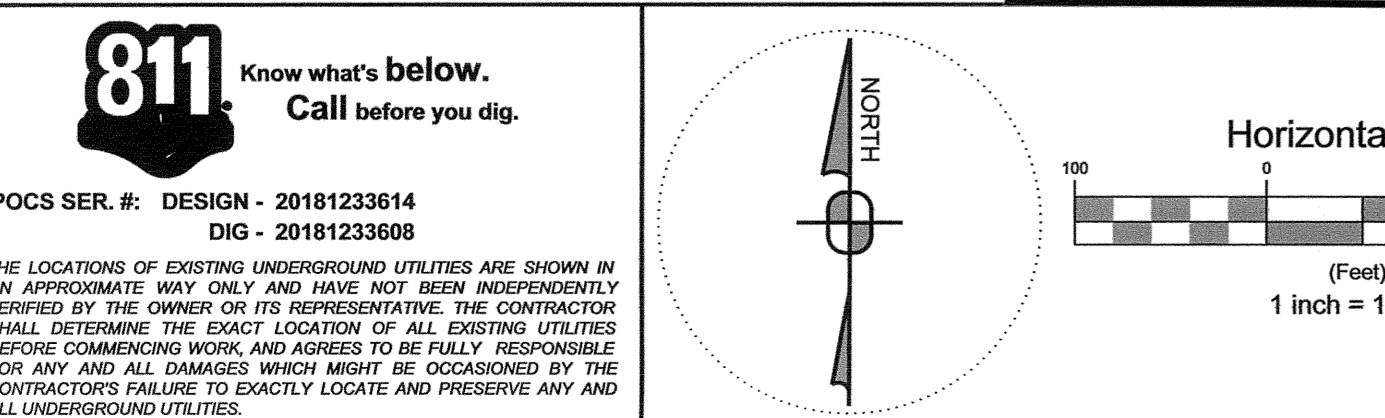
MUNICIPAL APPROVAL
APPROVED BY THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF BUTLER THIS DAY OF Feb 21, 2021
LOCAL PLANNING COMMISSION APPROVAL
APPROVED BY THE BUTLER TOWNSHIP PLANNING COMMISSION THIS DAY OF 20th July 2020
COUNTY PLANNING COMMISSION REVIEW
REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 15th DAY OF APRIL 2020

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

CERTIFICATION OF TITLE AND CONCURRENCE OF MORTGAGE
I, ANNE M. CHRISTY, OWNER OF A PARCEL IN AUTUMN WOODS PLAN OF CONSOLIDATION AND SUBDIVISION, DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN MY NAME AS RECORDED IN INSTRUMENT NO. 20210228005567, RECORDER OF DEEDS OFFICE. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR ENCUMBRANCE AGAINST THIS PROPERTY.

LOCAL AUTHORITY STIPULATION
THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF BUTLER HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE SURVEY, THE LOCATION OF THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LAND, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY THE OWNERS OR AGENTS.

PLAN BOOK 392 PAGE 5



Site Data Chart table with columns for Zoning District Classification, Total Gross Property Area, Proposed Area in Development Lots, etc.

GENERAL NOTES
1. ALL STORMWATER FACILITIES, INCLUDING BY NOT LIMITED TO PIPES, INLETS, YARD DRAINS, STORMWATER PONDS AND ACCESS TO THE PONDS OUTSIDE OF THE ROAD PUBLIC RIGHT-OF-WAY SHALL BE OWNED AND OPERATED BY THE HOMEOWNERS ASSOCIATION.

811 Know what's below. Call before you dig.
POCS SER. #: DESIGN - 20181233614 DIG - 20181233608

Revision table with columns for Date, Revision Description, By, and Professional Seal.

Prepared by: Autumn Woods Plan of Consolidation Winner Properties, LP. Drawing Scale: 1" = 100'. DATE ISSUED: 03/10/2020. PROJECT JOB#: 3761. CADD#: 3761 - Meridian - REC1 - Consolidation.dwg

REC1

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS: THAT SAXONY REDUX, LLC BY VIRTUE OF A RESOLUTION OF ITS BOARD OF DIRECTORS, DOES HEREBY ADOPT THIS PLAN OF SUBDIVISION OF ITS PROPERTY, SITUATE IN THE BOROUGH OF SAXONBURG, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVER ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE HIGHWAY, DRAINAGE, SEWERAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE BOROUGH OF SAXONBURG, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA.

SAXONY REDUX, LLC HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE BOROUGH OF SAXONBURG, COUNTY OF BUTLER, ITS SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON SAXONY REDUX, LLC ITS SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

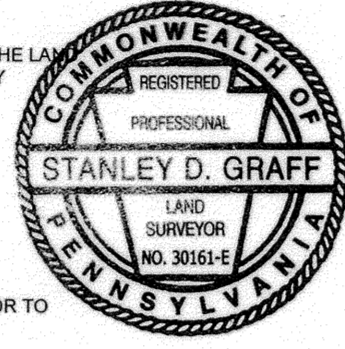
IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE HAND OF ITS PRESIDENT AND SAME TO BE ATTESTED BY ITS SECRETARY

THIS 18th DAY OF January, 2020.
 SAXONY REDUX, LLC
 NAME OF CORPORATION
 DATE
 SEAL
Dave Welch
 SECRETARY
Hal Waldman
 PRESIDENT

ACKNOWLEDGMENT OF NOTARY PUBLIC
 COMMONWEALTH OF PENNSYLVANIA
 COUNTY OF BUTLER
 ON THIS 17th DAY OF January, 2021, BEFORE ME, NOTARY PUBLIC AND FOR SAID COUNTY OF COMMONWEALTH, PERSONALLY APPEARED HAL WALDMAN
 PRESIDENT OF SAXONY REDUX, LLC, WHO BEING DULY SWORN, DEPOSES AND SAYS THAT HE WAS PERSONALLY PRESENT AT THE EXECUTION OF THE ADOPTION, RELEASE AND DEDICATION AND SAW THE COMMON AND CORPORATE SEAL OF THE SAID CORPORATION DULY SIGNED AND SEALED OF THE SAID SAXONY REDUX, LLC FOR THE USES AND PURPOSES THEREIN MENTIONED, AND THAT THE NAME OF THIS DEPONENT SUBSCRIBED TO THE SAID RELEASE AND DEDICATION AS PRESIDENT OF SAID CORPORATION, IN ATTESTATION OF THE DUE EXECUTION AND DELIVERY OF SAID RELEASE AND DEDICATION OF THIS DEPONENT'S OWN AND PROPER AND RESPECTIVE HANDWRITING.
 SWORN TO AND SUBSCRIBED BEFORE ME THIS 17th DAY OF January, 2021.
 MY COMMISSION EXPIRES THE 31st DAY OF August, 2024.
Margaret A. Elker
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
 Margaret A. Elker, Notary Public
 Allegheny County
 My commission expires August 31, 2024
 Commission number 1045379
 Member, Pennsylvania Association of Notaries

SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON THE ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES, AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS AS SHOWN ON THE PLAN HAVE BEEN, OR WILL BE SET, AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.
8 JAN 2021
 DATE
STANLEY D. GRAFF
 LAND SURVEYOR
 REG. NO. SU-030161-E



MUNICIPAL DECLARATIONS
 THE BOROUGH COUNCIL OF THE BOROUGH OF SAXONBURG, HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE BOROUGH OF SAXONBURG ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS BOROUGH STREETS OR ROADS OR TO GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN BOROUGH STREETS OR ROADS.
Jody A. ...
 SECRETARY
Shawn A. ...
 PRESIDENT
 BOROUGH COUNCIL

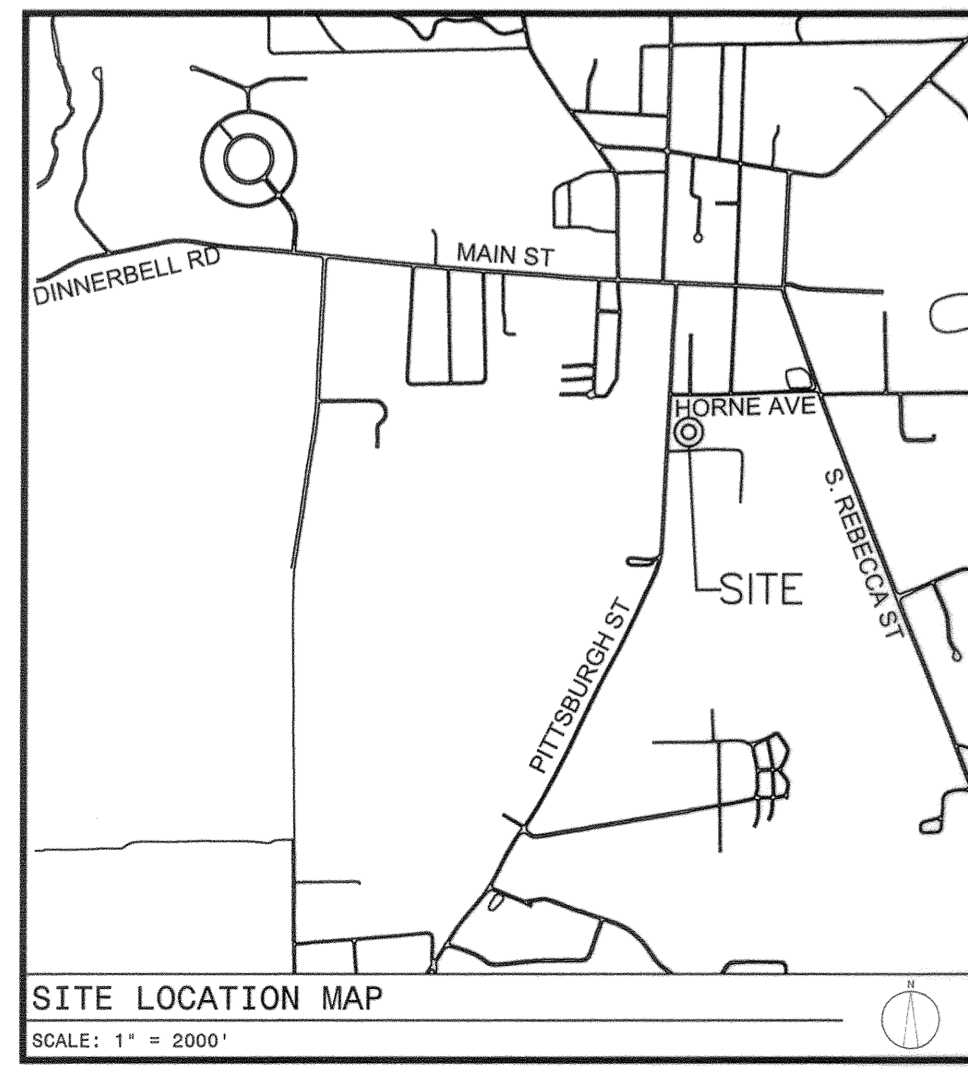
MUNICIPAL REVIEW AND APPROVAL STATEMENTS
 REVIEWED BY THE BOROUGH OF SAXONBURG PLANNING COMMISSION THIS 2 DAY OF DEC, 2020.
Jody A. ...
 SECRETARY
Carolyn ...
 CHAIRPERSON
 PLANNING COMMISSION

APPROVED BY THE BOARD OF SUPERVISORS OF THE BOROUGH OF SAXONBURG BY RESOLUTION NO. ... ON THIS 15th DAY OF Dec, 2020.
Jody A. ...
 SECRETARY
Shawn A. ...
 CHAIRPERSON
 BOARD OF SUPERVISORS

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 18th DAY OF Nov., 2020.
R. ...
 SECRETARY
A. ...
 CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION

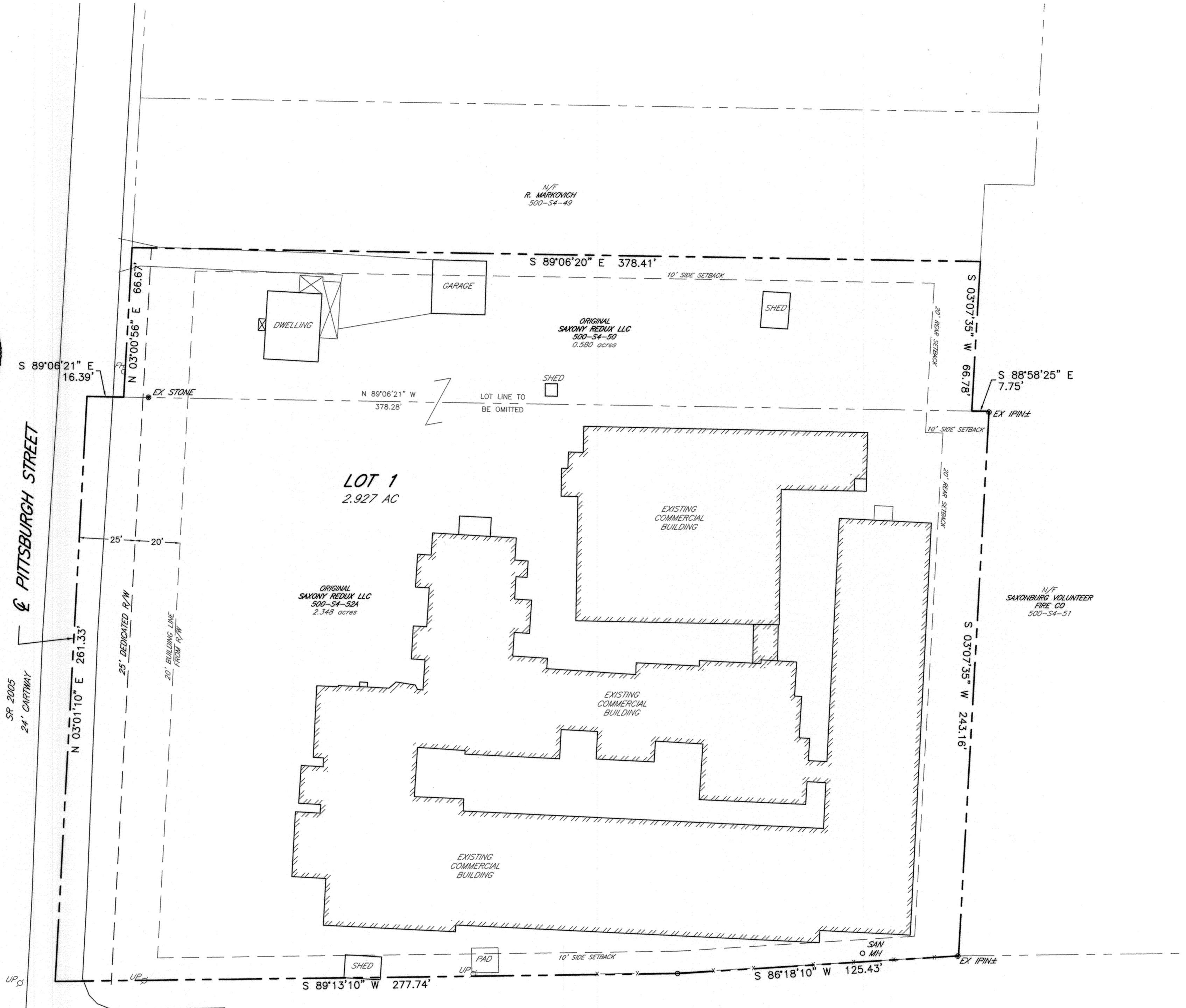
PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 392, PAGE 6
 GIVEN UNDER MY HAND AND SEAL THIS 25th DAY OF February, 2021.

RECORDER OF DEEDS
MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



PLAN ORIENTATION NOTE: THE BEARINGS SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (PA-S) / NAD 1983

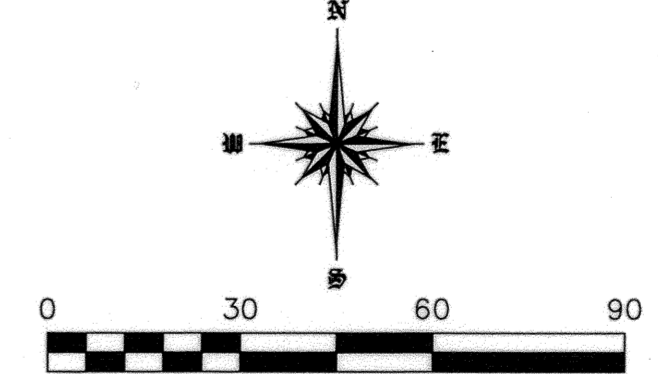
NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.



PROPERTY AREAS:

EXISTING TOTALS	
500-S4-50	0.579 AC
500-S4-52A	2.348 AC
EXISTING TOTAL	2.927 AC
REVISED TOTALS	
LOT 1	2.927 AC

- GENERAL NOTES:
- OWNERS: SAXONY REDUX, LLC
 - TAX IDS: 500-S4-50, 500-S4-52A
 - ZONING DISTRICT: R-2
 - SETBACKS: FRONT LINE - 20', SIDE LINE - 10', REAR - 20'
 - REFERENCES: 5.1. CURRENT DEEDS OF RECORD, 5.2. PREVIOUSLY RECORDED PLANS



SAXONY REDUX LLC PLAN

Being a consolidation of Butler County Tax Parcels
 500-S4-50 and 500-S4-52A

RECORDED	20
PLAN BOOK	PAGE
392	6
SHEET	of

REV	DESCRIPTION	BY	DATE

GRAFF SURVEYING

GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 | F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION
SAXONY REDUX LLC PLAN
 BEING A
 CONSOLIDATION
 FOR
 SAXONY REDUX LLC

SITUATE
 SAXONBURG BOROUGH
 BUTLER COUNTY, PENNSYLVANIA

DATE	DRAWN	CHECKED	SCALE
09/29/2020	SDG	Sdg	1" = 30'
PROJECT NO.	TAX PARCEL NO.	REVISION	
19-165	500-S4-50 & 52A	-	

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS: THAT LEICHER CONSTRUCTION LLC BY VIRTUE OF A RESOLUTION OF ITS BOARD OF DIRECTORS, DOES HEREBY ADOPT THIS PLAN OF SUBDIVISION OF ITS PROPERTY, SITUATE IN THE BOROUGH OF SAXONBURG, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVER ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE, HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY SAXONBURG BOROUGH, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA.

LEICHER CONSTRUCTION LLC HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE BOROUGH OF SAXONBURG, COUNTY OF BUTLER, ITS SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON CABOT RESOURCES CORPORATION ITS SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, THE SAID LIMITED LIABILITY CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE HAND OF ITS PRESIDENT AND SAME TO ATTESTED BY ITS SECRETARY

THIS 19 DAY OF FEBRUARY, 2021.

LEICHER CONSTRUCTION LLC
 NAME OF CORPORATION DATE 2-19-2021 SEAL
 x *[Signature]*
 SECRETARY PRESIDENT

ACKNOWLEDGMENT OF NOTARY PUBLIC
 COMMONWEALTH OF PENNSYLVANIA
 COUNTY OF BUTLER

ON THIS 19 DAY OF FEBRUARY, 2021 BEFORE ME, NOTARY PUBLIC AND FOR SAID COUNTY OF COMMONWEALTH, PERSONALLY APPEARED CARL LEICHER, PRESIDENT OF LEICHER CONSTRUCTION LLC, WHO BEING DULY SWORN, DEPOSES AND SAYS THAT HE WAS PERSONALLY PRESENT AT THE EXECUTION, RELEASE AND DEDICATION AND SAW THE COMMON AND CORPORATE SEAL OF THE SAID CORPORATION DULY SIGNED AND SEALED BY AND AS FOR THE ADOPTION, RELEASE AND DEDICATION AND PURPOSES THEREIN MENTIONED, AND THAT THE NAME OF THIS DEPONENT SUBSCRIBED TO THE SAID RELEASED AND DEDICATION AS PRESIDENT OF SAID LIMITED LIABILITY CORPORATION, IN ATTESTATION OF THE DUE EXECUTION AND DELIVERY OF SAID RELEASE AND DEDICATION OF THIS DEPONENT'S OWN AND PROPER AND RESPECTIVE HANDWRITING.

x *[Signature]*
 PRESIDENT
 SWORN TO AND SUBSCRIBED BEFORE ME THIS 19 DAY OF FEBRUARY, 2021

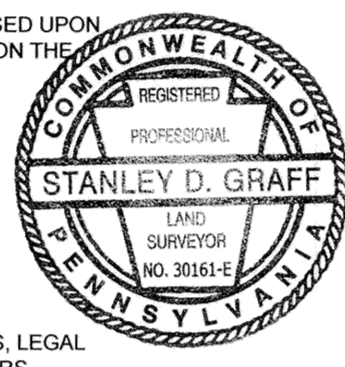
Commonwealth of Pennsylvania - Notary Seal
 Debra L. Jeffcoat, Notary Public
 Butler County
 My commission expires February 17, 2023
 Commission number 1152784
 Member, Pennsylvania Association of Notaries

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023

x *[Signature]*
 NOTARY PUBLIC

SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

19 FEB. 2021
 DATE x *[Signature]*
 STANLEY D. GRAFF
 REG. NO. SU-030161-E



MUNICIPAL DECLARATIONS
 THE BOROUGH COUNCIL OF SAXONBURG BOROUGH, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS BOROUGH STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN BOROUGH STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS
 REVIEWED BY THE BOROUGH OF SAXONBURG PLANNING COMMISSION THIS 3rd DAY OF February, 2021.

x *[Signature]* x *[Signature]*
 SECRETARY CHAIRPERSON
 PLANNING COMMISSION

APPROVED BY THE BOROUGH COUNCIL OF SAXONBURG BOROUGH THIS 16th DAY OF February, 2021.

x *[Signature]* x *[Signature]*
 SECRETARY CHAIRPERSON
 BOROUGH COUNCIL

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 17th DAY OF FEB, 2021.

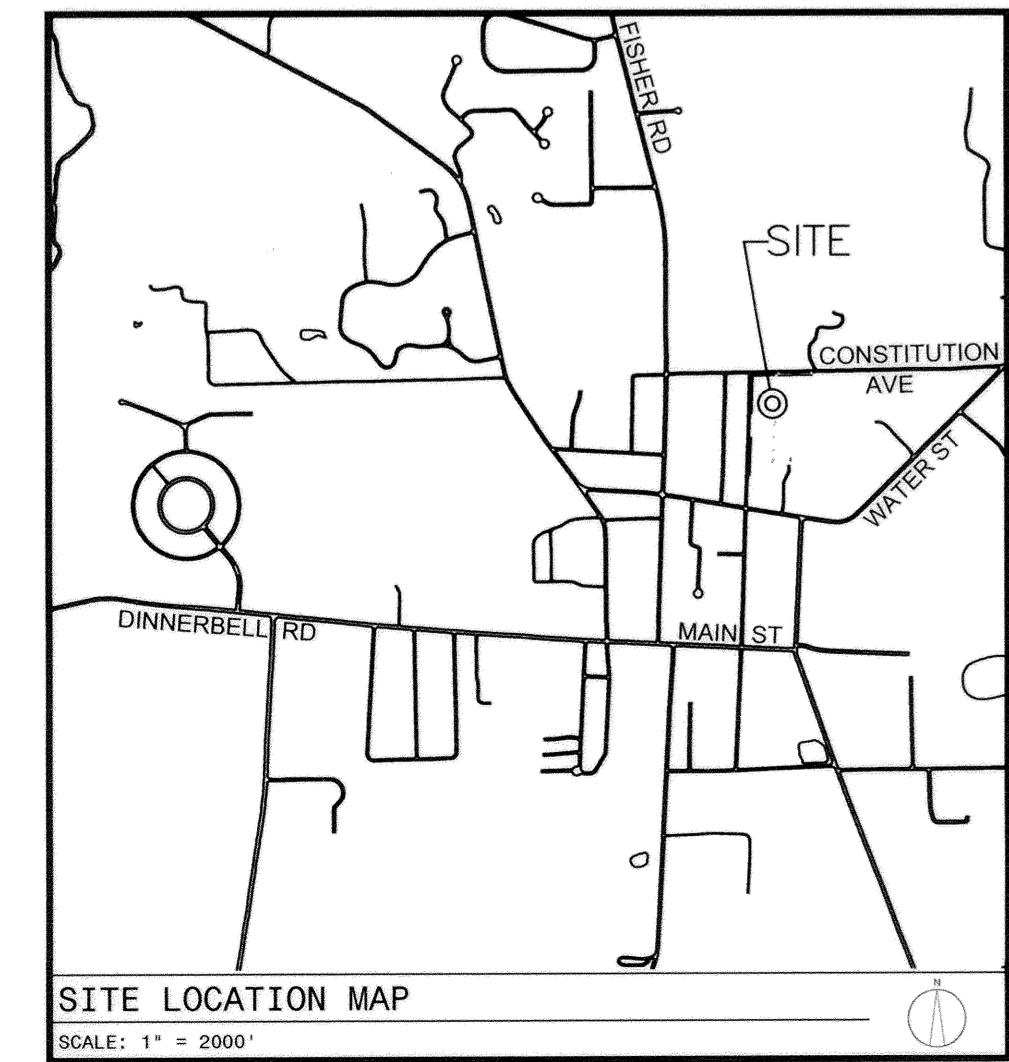
x *[Signature]* x *[Signature]*
 SECRETARY CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 392 PAGE(S) 7

GIVEN UNDER MY HAND AND SEAL THIS 25th DAY OF February, 2021.

x *[Signature]*
 RECORDER OF DEEDS

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

LEICHER CONSTRUCTION / ANTOSZYK PLAN

Being a line revision of of Butler County Tax
 Parcels 500-S2-13, 14A and 14E

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT WE, BRIAN P. AND KAREN L. ANTOSZYK, OF THE BOROUGH OF SAXONBURG, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE BOROUGH OF SAXONBURG, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND BOROUGH OF SAXONBURG, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND BOROUGH OF SAXONBURG, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 19 DAY OF FEBRUARY, 2021.

x *[Signature]* x *[Signature]*
 BRIAN P. ANTOSZYK KAREN L. ANTOSZYK

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, BRIAN P. AND KAREN L. ANTOSZYK, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

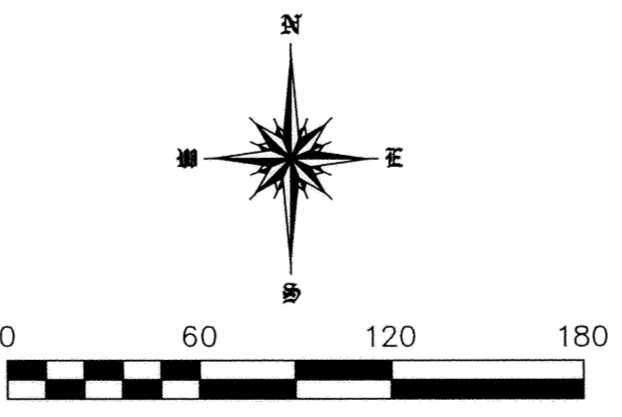
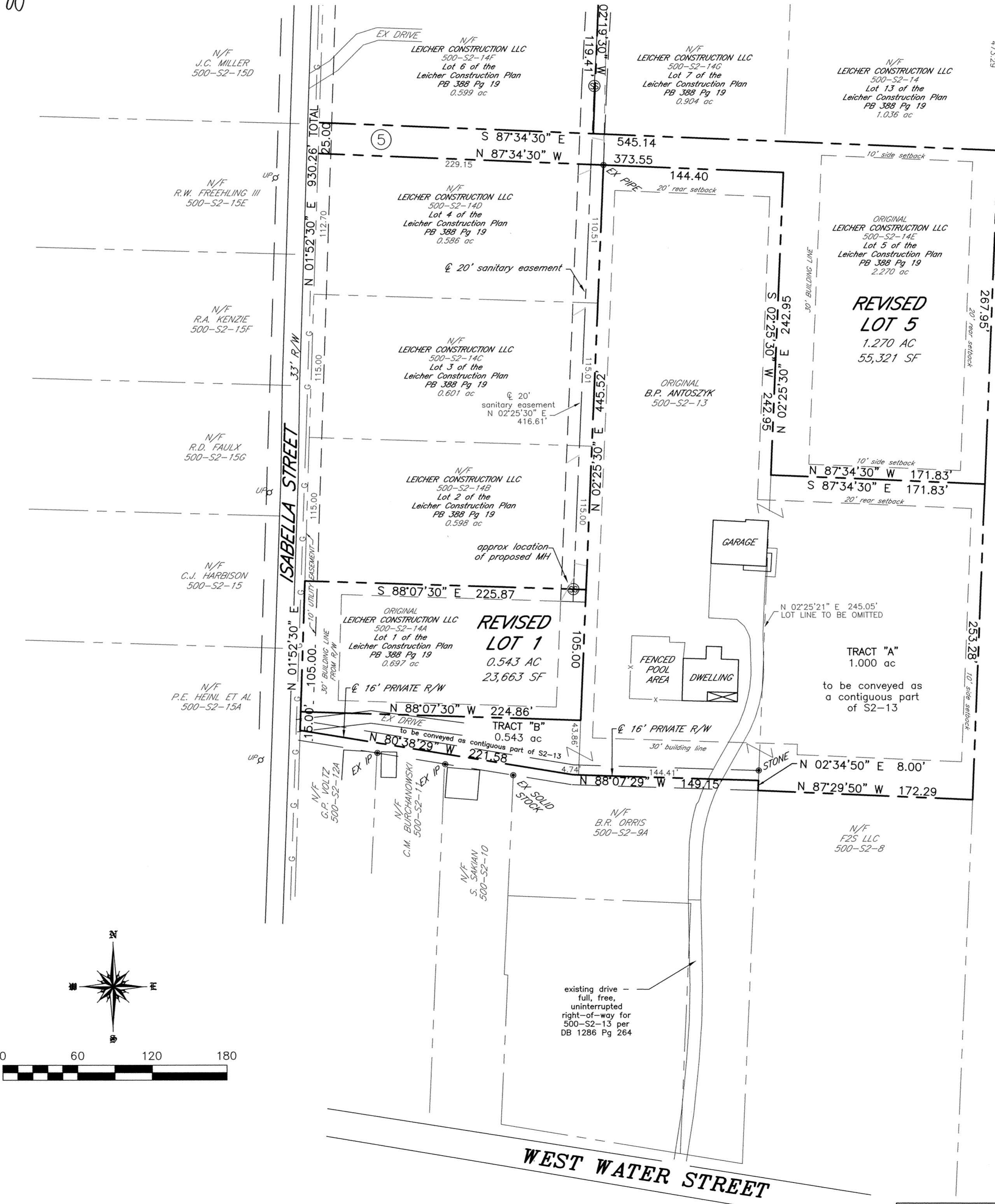
SWORN TO AND SUBSCRIBED BEFORE ME THIS 19 DAY OF FEBRUARY, 2021.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023

x *[Signature]*
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
 Debra L. Jeffcoat, Notary Public
 Butler County
 My commission expires February 17, 2023
 Commission number 1152784
 Member, Pennsylvania Association of Notaries

Instr: 20210225005394
 Pg. 1 of 4-00
 Michèle Mustello
 Butler County Recorder PA



PROPERTY AREA SUMMARY:

EXISTING TOTALS	
500-S2-13	1.593 AC
LOT 1	0.697 AC
LOT 5	2.270 AC
+ E OF 16' RW	0.026 AC
EXISTING TOTAL	4.586 AC
REVISED 500-S2-13	
500-S2-13	1.593 AC
+ TRACT A	1.000 AC
+ TRACT B	0.153 AC
+ E OF 16' RW	0.026 AC
REVISED 500-S2-13	2.773 AC
REVISED LOT 1	
ORIG. LOT 1	0.697 AC
- TRACT B	0.153 AC
REVISED LOT 1	0.543 AC
REVISED LOT 5	
ORIG. LOT 5	2.270 AC
- TRACT A	1.000 AC
REVISED LOT 5	1.270 AC
REVISED TOTALS	
REVISED 500-S2-13	2.773 AC
REVISED LOT 1	0.543 AC
+ REVISED LOT 5	1.270 AC
REVISED TOTAL	4.586 AC

SAXONBURG BOROUGH R-1 DISTRICT	
Dimension	All Permitted Uses
Min. Lot Area	15,000 sq ft
Min. Lot Width	100 feet
Min. Front Yard Depth	30 feet
Min. Side Yard Depth	10 feet
Min. Rear Yard Depth	20 feet

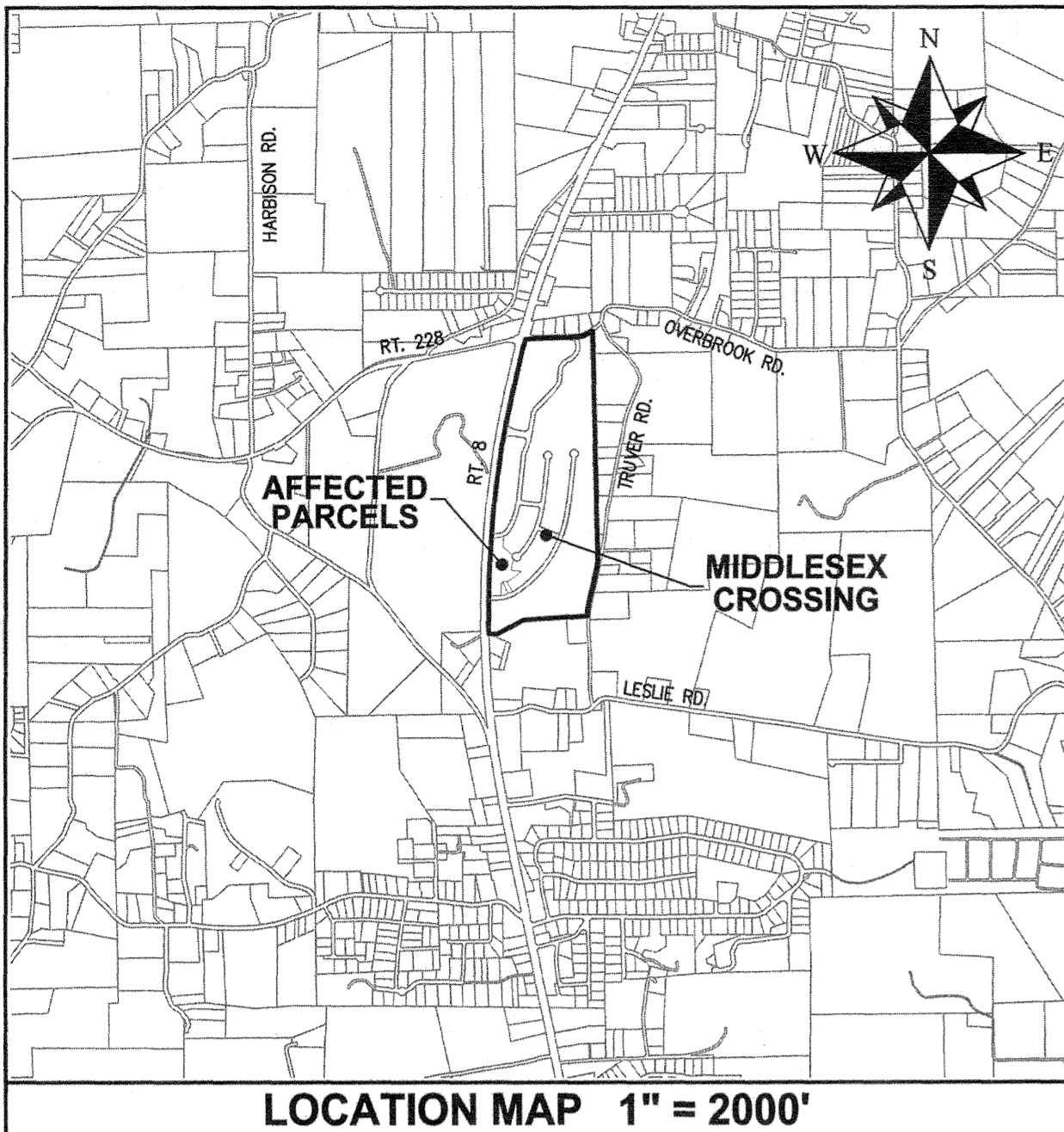
GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION
 LEICHER CONSTRUCTION PLAN
 BEING A
 SUBDIVISION
 FOR
 LEICHER CONSTRUCTION LLC
 BRIAN & KAREN ANTOSZYK

SITUATE
 BOROUGH OF SAXONBURG
 BUTLER COUNTY, PENNSYLVANIA

DATE	DRAWN	CHECKED	SCALE
10/11/16	SDG	Sdg	1" = 60'
PROJECT NO.	TAX PARCEL NO.	REVISION	
20-099	500-S2-8A & 14	-	

RECORDED	20
PLAN BOOK	PAGE
392	7
SHEET	of



A Highway Occupancy Permit is required pursuant to Section 420 of the Act of June 1, 1945 (P.L. 1242 No 428) known as the "State Highway Law" before access to a State Highway is Permitted.

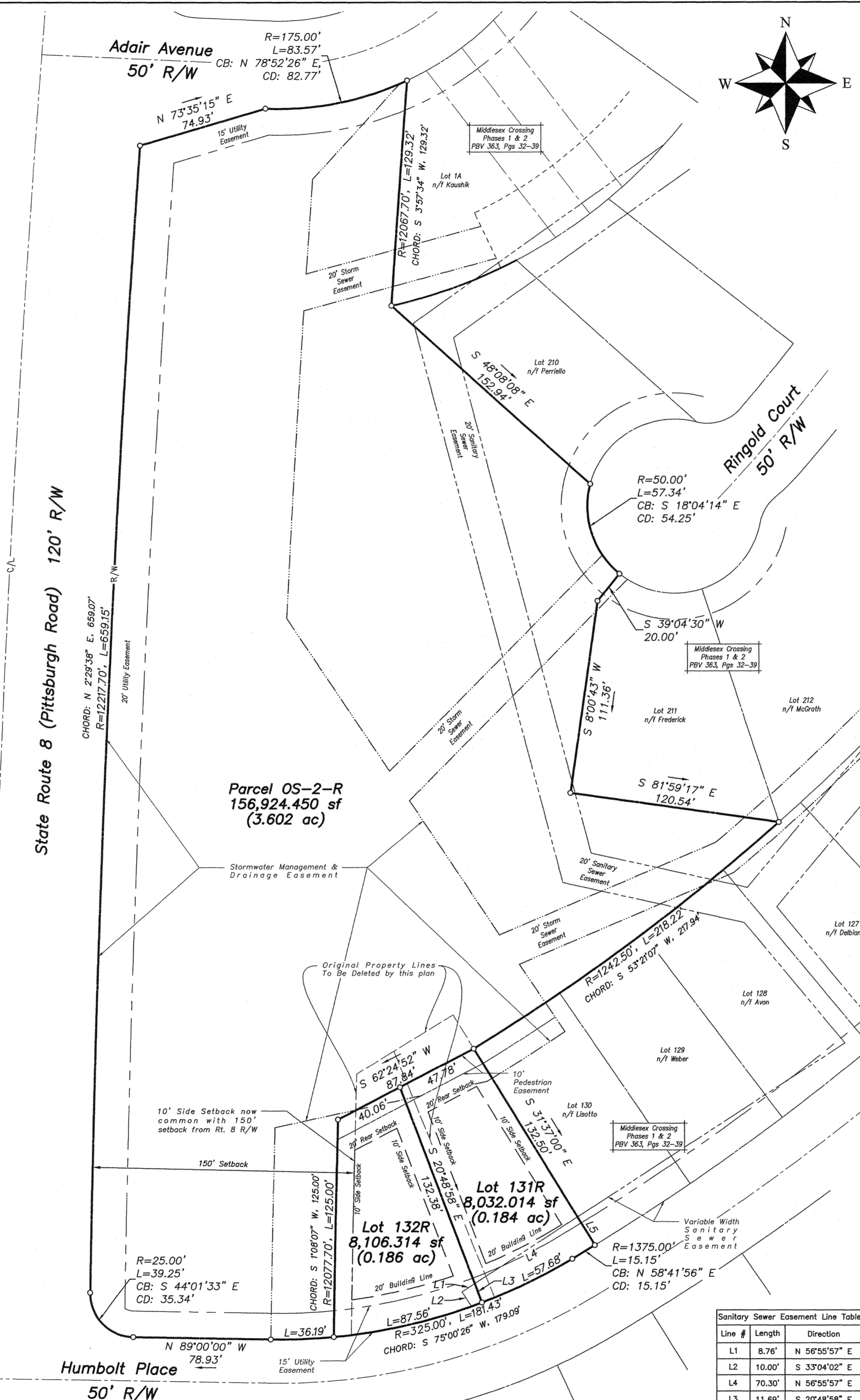
TOWN CENTER ZONING SUMMARY

DESCRIPTION	REQUIRED	SINGLE FAMILY	PROVIDED TOWNHOMES	COMMERCIAL
MINIMUM LOT SIZE (SQ.FT.)	8,000 SQ.FT.	8,000 SQ.FT.	2,400 SQ.FT.	8,000 SQ.FT.
MINIMUM LOT WIDTH	80.00 FEET	62.00 FEET	24.00 FEET	75'
MAXIMUM LOT COVERAGE	75%	75%	N/A	35.00 FEET
FRONT YARD SETBACK (ARTERIAL)	35.00 FEET	N/A	20.00 FEET	20.00 FEET
FRONT YARD SETBACK	20.00 FEET	20.00 FEET	0.00 FEET	0.00 FEET
SIDE YARD SETBACK*	10.00 FEET	10.00 FEET	20.00 FEET	20.00 FEET
BUILDING SEPARATION	N/A	20.00 FEET	20.00 FEET	20.00 FEET
REAR YARD SETBACK	20.00 FEET	20.00 FEET	20.00 FEET	20.00 FEET
MAXIMUM BUILDING HEIGHT (PRINCIPAL)	36.00 FEET	36.00 FEET	36.00 FEET	15.00 FEET
MAXIMUM BUILDING HEIGHT (ACCESSORY)	15.00 FEET	15.00 FEET	15.00 FEET	N/A
ARTERIAL BUFFER (FOR RESIDENTIAL)	150.00 FEET	150.00 FEET	150.00 FEET	5.00 FEET
PARKING LOT SETBACK**	5.00 FEET	N/A	N/A	5.00 FEET

*0.00 FOOT SETBACK ONLY APPLIES TO TOWNHOME PARTYWALLS
**50.00 FOOT WILL BE FOR PERIMETER BOUNDARY AND 0.00 FEET FOR SHARED PARKING

LIST OF ZONING MODIFICATIONS APPROVED MAY 18TH 2018

SECTION	DESCRIPTION	REQUIRED	PROPOSED	NOTES
175-211.A	MINIMUM LOT SIZE	8,000 SQ.FT.	2,000.00 SQ.FT.	FOR TOWNHOME UNITS
175-211.B	MINIMUM LOT WIDTH	80.00 FEET	62 FT / 20 FT	SINGLE FAMILY / TOWNHOME UNITS
175-211.D.2	MAXIMUM FRONT SETBACK	80.00 FEET	ONLY RESIDENTIAL	NO MAX LOTS C-1, C-2, C-2A, C-3 & C-3A
175-211.D.3	DOUBLE FRONTAGE	NOT PERMITTED	PERMITTED	FOR LOTS C-1, C-2, C-2A
175-211.F.2	MINIMUM SIDE SETBACK	10.00 FEET	0.00 FEET	FOR COMMERCIAL & TOWNHOME PARTY WALLS
175-156.A.8.b	PARKING SETBACK	10.00 FEET	5 FT / 0 FT	FOR LOTS C-1, C-2 & C-2A
175-219.A.K	SERVICE/LOADING	NO RESTRICTION	NO RESTRICTION	FOR LOTS C-1, C-2 & C-2A
175-219.H	SIDEWALK	5 FT / BOTH SIDES	4 FT/SINGLE SIDE	4 FT IN RESIDENTIAL SECTION & ONLY ONE SIDE OF ADAIR AVENUE PER APPROVED MASTER PLAN.
175-151.A.1	GRADING SETBACK	5.00 FEET	0.00 FEET	ONLY ALONG STREET RIGHT OF WAY LINES
175-154.B.2	ROUTE B SIDEWALK	REQUIRED	NOT REQUIRED	EAST SIDE OF ROUTE 8
150-34.B	% OF UNITS PER PHASE	MIN 25%	21.6%	PHASE 1 = 216 / PHASE 2 = 22.3%
150-35.B.4.4.2	CUL-DE-SAC LENGTH	500.00 FT MAX	1080.00 FT	FOR STREETS A & B
	# UNITS ON CUL-DE-SAC	16 MAX	33	



PROPERTY OWNER:
NWPA DEVELOPMENT, LP
1272 MARS EVANS CITY ROAD
EVANS CITY, PA 16033

PLAN REFERENCES:
BEING A REVISION TO LOTS 131, 132 & OPEN SPACE PARCEL OS-2 OF THE MIDDLESEX CROSSING PHASES 1 & 2 PLAN PLAN BOOK 363, PAGES 32-39

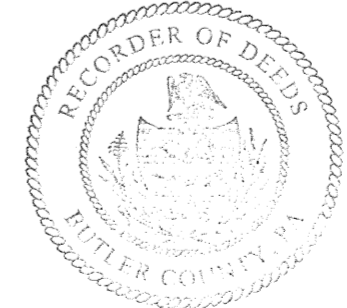
TAX PARCELS:
LOT 131: 230-S18-A131
LOT 132: 230-S18-A132
PARCEL C1: 230-S18-A13

DEED REFERENCE:
INSTRUMENT NO. 20130228006129

PLAN NOTES:

- THE BEARING SYSTEM SHOWN ON THIS PLAN IS REFERENCED TO THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, PENNSYLVANIA ZONE SOUTH (3702) AS DERIVED FROM GPS OBSERVATIONS MADE AT THE TIME OF THE SURVEY.
- THIS PLAN IS SUBJECT TO ANY AND ALL EASEMENTS, AGREEMENTS, RIGHTS OF WAY, LEASES AND COVENANTS RECORDED AND UN-RECORDED.
- CONCRETE MONUMENTS SHOWN SHALL BE SET UPON COMPLETION OF GRADING AND UTILITY INSTALLATION. MONUMENTS TO BE SET 5 FEET FROM R/W LINE.
- ALL STREETS SHOWN ON THIS PLAN SHALL BE CONSIDERED PUBLIC STREETS AND OFFERED FOR DEDICATION TO MIDDLESEX TOWNSHIP.
- THE ACCESS EASEMENTS SHOWN WITHIN THE MULTIFAMILY PORTION OF THE PLAN SHALL BE FOR THE INSTALLATION OF A PRIVATE ACCESS DRIVE AT THE REAR OF THE UNITS. ALL TOWNHOME UNITS SHALL HAVE REAR LOADED GARAGES AND VEHICULAR ACCESS TO ADAIR AVENUE FROM INDIVIDUAL UNITS IS PROHIBITED.
- ALL SANITARY SEWER EASEMENTS ARE FOR THE BENEFIT OF THE SAXONBURG AREA AUTHORITY.
- ALL OPEN SPACE PARCELS SHALL BE CONVEYED TO AND MAINTAINED BY THE MIDDLESEX CROSSING HOMEOWNERS ASSOCIATION.
- NO STRUCTURE SHALL BE PLACED WITHIN ANY EASEMENT. ALL OPEN DRAINAGE SWALES WITHIN EASEMENTS SHALL REMAIN UN-OBSSTRUCTED.
- FOR THE PURPOSES OF MAINTENANCE TO THE PROPOSED STORMWATER MANAGEMENT FACILITIES, RIGHTS OF ACCESS SHALL BE GRANTED ACROSS ALL OPEN SPACE PARCELS AND THROUGH ALL DRAINAGE EASEMENTS CREATED BY THIS AND ALL SUBSEQUENT PLANS AND OR REVISIONS.

PLAN BOOK	PAGE
392	8



MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

DRAWING NUMBER: 1012-2022314
DRAWING SCALE: 1"=40'
DATE: December 3, 2020
DRAWN BY:
REVISIONS:
12/22/2020...title revisions
01/28/2021...per review

Middlesex Crossing Phases 1 & 2 - Revision 1

Being a revision to Lot 131, Lot 132 and Open Space "OS-2" of the Middlesex Crossing Phases 1 & 2 Plan of Lots Recorded in Plan Book 363, Pages 32-39 Middlesex Township, Butler County, Pennsylvania

NWPA DEVELOPMENT, LP, BY NWPA DEVELOPMENT, LLC, ITS GENERAL PARTNER, OWNER OF THE LAND SHOWN ON THE MIDDLESEX CROSSING PHASE 1 - REVISION 1 HEREBY ADOPTS THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. ANY FUTURE ACCEPTANCE OF SAID PUBLIC STREETS OR PROPERTY BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF MIDDLESEX, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF MIDDLESEX, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC STREETS OR PROPERTY AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE PARTNERSHIP AND UPON ITS HEIRS, EXECUTORS, AND ASSIGNS.

Charles Turnblacer
NWPA DEVELOPMENT, LP
BY: NWPA DEVELOPMENT, LLC, ITS GENERAL PARTNER
CHARLES TURNBLACER, PRESIDENT

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED CHARLES TURNBLACER, PRESIDENT OF NWPA DEVELOPMENT, LLC, A GENERAL PARTNER IN THE FIRM OF NWPA DEVELOPMENT, LP, AND ACKNOWLEDGED THE FOREGOING ADOPTION, DEDICATION AND PLAN TO BE THE ACT OF THE PARTNERSHIP AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 11th DAY OF February 2021

MY COMMISSION EXPIRES THE 15th DAY OF August 2021

Paula K. Rouda
NOTARY PUBLIC
COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
Paula K. Rouda, Notary Public
Adams Twp., Butler County
My Commission Expires Aug. 15, 2021
MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES

I CHARLES TURNBLACER, PRESIDENT OF NWPA DEVELOPMENT LLC, GENERAL PARTNER OF NWPA DEVELOPMENT LP HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE MIDDLESEX CROSSING PHASE 1 - REVISION 1 PLAN IS IN THE NAME OF NWPA DEVELOPMENT LLC AS RECORDED AT INSTRUMENT NO. 20130228006129

Charles Turnblacer
OWNER
Charles Turnblacer
WITNESS

NVR, INC., MORTGAGEE OF THE PROPERTY CONTAINED IN THE MIDDLESEX CROSSING PHASE 1 - REVISION 1 PLAN CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

James A. Sperdute
WITNESS
James A. Sperdute
NAME & TITLE OF OFFICER

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, THAT THE SURVEY AND PLAN SHOWN HEREON CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME.

James A. Sperdute
JAMES A. SPERDUTE, RS # 24457-E
DATE 1/28/21

Jeffrey A. Mikesic
REGISTERED PROFESSIONAL ENGINEER FOR THE TOWNSHIP OF MIDDLESEX, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL OF THE ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE EXCEPT AS DEPARTURES THAT HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

2/17/2021 PE083712
DATE REG # SIGNATURE

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 20th DAY OF JAN 20 21

R. H. Gern
SECRETARY
R. H. Gern
CHAIRPERSON

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF MIDDLESEX HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

James A. Sperdute
SECRETARY
James A. Sperdute
CHAIRPERSON

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX BY RESOLUTION NO. 126 2021 EFFECTIVE THIS 3rd DAY OF February 2021

James A. Sperdute
SECRETARY
James A. Sperdute
CHAIRPERSON

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF MIDDLESEX, THIS 2nd DAY OF January 2021

James A. Sperdute
SECRETARY
James A. Sperdute
CHAIRPERSON

RECORDED IN THE RECORDER OF DEEDS OFFICE OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA IN PLAN BOOK 392 PAGE 8

GIVEN UNDER MY HAND AND SEAL THIS 21st DAY OF February, 2021
Michele M. Mustello
RECORDER OF DEEDS

Sperdute Land Surveying
A Division of Sheffler & Company
108 Deer Lane Harmony, PA 16037
1712 Mount Nebo Road Sewickley, PA 15143
Office Phone: 724-452-4362
Email: Info@SperduteSurveying.com
James A. Sperdute, RS # 24457-E

WE, BONNIE H. & RICHARD C. GRAHAM, OWNERS OF THE LAND SHOWN ON THE ELLUINGER-GRAHAM LOT LINE REVISION PLAN DO HEREBY ADOPT THIS PLAN AS OUR PLAN AND IRREVOCABLY DEDICATE ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO JACKSON TOWNSHIP. THIS ADOPTION AND DEDICATION SHALL BE BINDING ON OUR HEIRS, EXECUTORS, AND ASSIGNS.

IN WITNESS OF WHICH, TO THIS WE SET OUR HAND AND SEAL THIS 3rd DAY OF February, 20 21

ATTEST: *Jennifer L. Jacobs* NOTARY PUBLIC, *Bonnie H. Graham* BONNIE H. GRAHAM, *Richard C. Graham* RICHARD C. GRAHAM

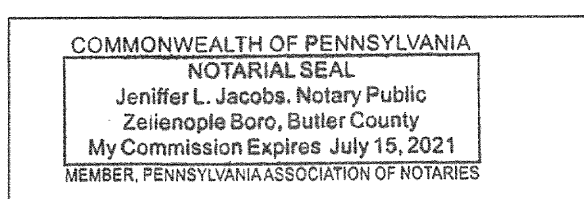
COMMONWEALTH OF PENNSYLVANIA) SS
COUNTY OF BUTLER)

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE-NAMED BONNIE H. & RICHARD C. GRAHAM, AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE THEIR ACT.

WITNESS MY HAND AND NOTARIAL SEAL THIS 3rd DAY OF February, 20 21

MY COMMISSION EXPIRES THE 15th DAY OF July, 20 21

(NOTARY SEAL) *Jennifer L. Jacobs* NOTARY PUBLIC



WE, BONNIE H. & RICHARD C. GRAHAM, OF THE TOWNSHIP OF JACKSON, BUTLER COUNTY, PENNSYLVANIA, THE OWNERS OF THE LAND ADJACENT TO THIS LOT LINE REVISION PLAN, AS RECORDED IN DEED BOOK VOLUME 773, PAGE 596 AND QUIT CLAIM DEED INSTR #202011130026334, BEING TAX PARCEL NO. 180-S1-F99 AND FOR OURSELVES, OUR HEIRS, SUCCESSORS AND ASSIGNS, DO HEREBY AGREE TO THE RECORDING OF SAID PLAN INsofar AS IT AFFECTS OUR PROPERTY.

WE FURTHER AGREE TO THE NOTES, DEDICATIONS, ACKNOWLEDGEMENTS AND COVENANTS APPEARING HEREON. IN WITNESS OF WHICH, TO THIS WE SET OUR HAND AND SEAL THIS 3rd DAY OF February, 20 21

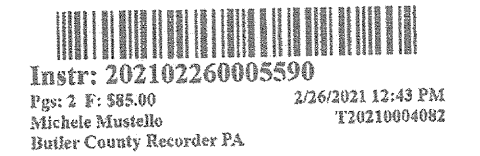
ATTEST: *Jennifer L. Jacobs* NOTARY PUBLIC, *Bonnie H. Graham* BONNIE H. GRAHAM, *Richard C. Graham* RICHARD C. GRAHAM

WE HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE ELLUINGER-GRAHAM LOT LINE REVISION PLAN IS IN THE NAME OF BONNIE H. & RICHARD C. GRAHAM AND IS RECORDED IN THE DEED BOOK VOLUME 773, PAGE 596 AND QUIT CLAIM DEED SEE INSTR#202011130026334

WITNESS *Bonnie H. Graham* BONNIE H. GRAHAM, *Richard C. Graham* RICHARD C. GRAHAM

REVIEWED WITH COMMENTS BY THE BUTLER COUNTY PLANNING COMMISSION. LETTER TO JACKSON TOWNSHIP BOARD OF SUPERVISORS DATED December 16, 20 22

SECRETARY *R. H. ...* CHAIRMAN *J. H. ...*
Butler County Plan # 20270



APPROVED BY THE PLANNING DIRECTOR OF THE TOWNSHIP OF JACKSON ON THIS 15th DAY OF December 20 20. PURSUANT TO CHAPTER 22 OF THE JACKSON TOWNSHIP CODE OF ORDINANCES, SUBDIVISION AND LAND DEVELOPMENT AS AMENDED. THE PLANNING DIRECTOR OF THE TOWNSHIP OF JACKSON GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF JACKSON ASSUMES NO OBLIGATION TO ACCEPT THE DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

SIGNED AND NOTED AS APPROVED THIS 10th DAY OF February, 20 21
Nikki Colton TOWNSHIP SECRETARY, *Nikki Colton* PLANNING DIRECTOR

APPROVED BY THE BOARD OF SUPERVISORS OF JACKSON TOWNSHIP ON THE 15th DAY OF December 20 20. THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF JACKSON GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF JACKSON ASSUMES NO OBLIGATION TO ACCEPT THE DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LANDS OR FACILITIES. SIGNED AND NOTED AS APPROVED THIS 10th DAY OF February 20 21

David J. Ellinger TOWNSHIP SECRETARY, *Michelle H. Ellinger* CHAIRPERSON

WE, DAVID J. & MICHELLE H. ELLUINGER, OWNERS OF THE LAND SHOWN ON THE ELLUINGER-GRAHAM LOT LINE REVISION PLAN HEREBY ADOPT THIS PLAN AS OUR PLAN OF LOTS AND IRREVOCABLY DEDICATE ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO JACKSON TOWNSHIP. THIS ADOPTION AND DEDICATION SHALL BE BINDING ON OUR HEIRS, EXECUTORS, AND ASSIGNS.

IN WITNESS OF WHICH, TO THIS WE SET OUR HAND AND SEAL THIS 3rd DAY OF February, 20 21

ATTEST: *Jennifer L. Jacobs* NOTARY PUBLIC, *David J. Ellinger* DAVID J. ELLUINGER, *Michelle H. Ellinger* MICHELLE H. ELLUINGER

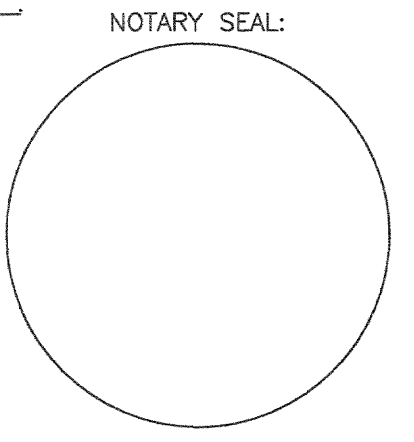
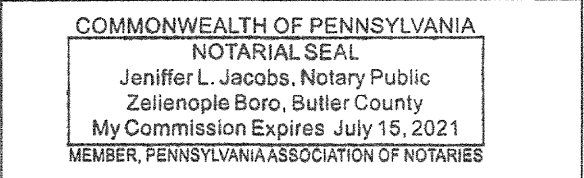
COMMONWEALTH OF PENNSYLVANIA) SS
COUNTY OF BUTLER)

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE-NAMED DAVID J. & MICHELLE H. ELLUINGER, AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE THEIR ACT.

WITNESS MY HAND AND NOTARIAL SEAL THIS 3rd DAY OF February, 20 21

MY COMMISSION EXPIRES THE 15th DAY OF July, 20 21

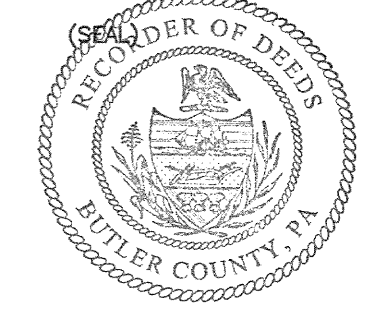
(SEAL) *Jennifer L. Jacobs* NOTARY PUBLIC



WE HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE ELLUINGER-GRAHAM LOT LINE REVISION PLAN IS IN THE NAME OF DAVID J. & MICHELLE H. ELLUINGER AND IS RECORDED IN THE INSTR. NO. 201209180026846, INSTR. NO. 202011130026336 AND QUIT CLAIM DEED INSTR #202011130026334. WE FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN, OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

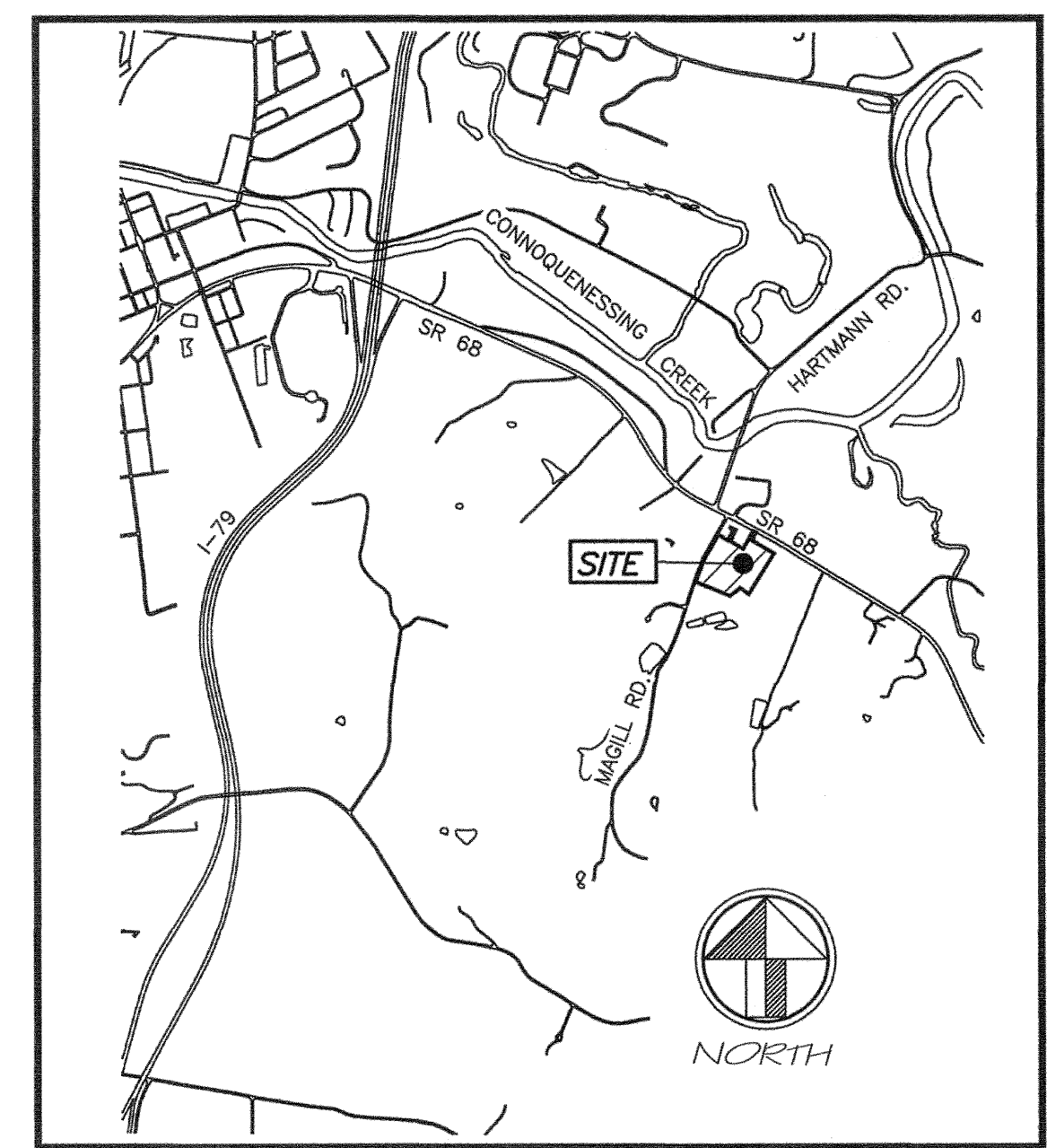
WITNESS *David J. Ellinger* DAVID J. ELLUINGER, *Michelle H. Ellinger* MICHELLE H. ELLUINGER

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 392, PAGE(S) 9-10, GIVEN UNDER MY HAND AND SEAL THIS 26th DAY OF February, 20 21



Michele M. Mustello RECORDER OF DEEDS

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



VICINITY MAP
SCALE: 1" = 2000'

8.382 ACRES = TOTAL ACREAGE

ZONING DISTRICT: CC - COMMERCIAL CORRIDOR DISTRICT

OWNER: DAVID J. & MICHELLE H. ELLUINGER
139 MAGILL ROAD
ZELIENOPLE, PA 16063

DEED REFERENCE: INSTR. NO. 201209180026846
TAX PARCEL NO.: 180-4F102-9C
180-S1-F
180-S1-F75

RECORD REFERENCE: ORDER OF COURT
INSTR. NO. 202011130026336
COURT ORDER-FINAL ENTRY OF JUDGEMENT (J. WILSON)
CP-20605 - A.D. 19-11011

TAX PARCEL NO.: 180-S1-F66

OWNER: BONNIE H. & RICHARD C. GRAHAM
127 MAGILL ROAD EXT.
ZELIENOPLE, PA 16063

DEED REFERENCE: D.B.V. 773, PG. 596
TAX PARCEL NO.: 180-S1-F99

OWNER: BRENDA L. MARTIN
2395 EVANS CITY ROAD
ZELIENOPLE, PA 16063

DEED REFERENCE: INSTR. NO. 201303050006510
TAX PARCEL NO.: 180-S1-F35
180-S1-F42

PLAN REFERENCE: HARMONY JUNCTION PLAN OF LOTS PBV 4, PG 12
QUIT CLAIM DEED SEE INSTR#202011130026334 FOR THE ROADS AND ALLEYS WITHIN THE HARMONY JUNCTION PLAN OF LOTS

PLAN BOOK	PAGE
392	9

I, BRENDA L. MARTIN, OF THE TOWNSHIP OF JACKSON, BUTLER COUNTY, PENNSYLVANIA, THE OWNER OF THE LAND ADJACENT TO THIS LOT LINE REVISION PLAN, AS RECORDED IN INSTR. NO. 201303050006510 AND QUIT CLAIM DEED INSTR #202011130026334, BEING TAX PARCEL NO. 180-S1-F35 AND TAX PARCEL NO. 180-S1-F42 AND FOR OURSELVES, OUR HEIRS, SUCCESSORS AND ASSIGNS, DO HEREBY AGREE TO THE RECORDING OF SAID PLAN INsofar AS IT AFFECTS OUR PROPERTY.

WE FURTHER AGREE TO THE NOTES, DEDICATIONS, ACKNOWLEDGEMENTS AND COVENANTS APPEARING HEREON. IN WITNESS OF WHICH, TO THIS WE SET OUR HAND AND SEAL THIS 3rd DAY OF February, 20 21

ATTEST: *Jennifer L. Jacobs* NOTARY PUBLIC, *Brenda L. Martin* BRENDA L. MARTIN

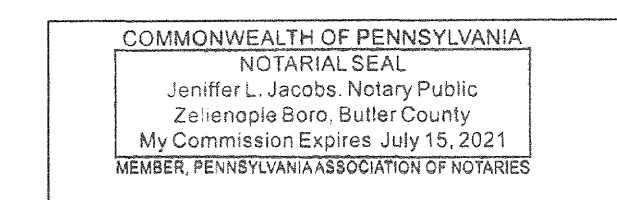
COMMONWEALTH OF PENNSYLVANIA) SS
COUNTY OF BUTLER)

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE-NAMED BRENDA L. MARTIN, AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE HER ACT.

WITNESS MY HAND AND NOTARIAL SEAL THIS 3rd DAY OF February, 20 21

MY COMMISSION EXPIRES THE 15th DAY OF July, 20 21

(SEAL) *Jennifer L. Jacobs* NOTARY PUBLIC



ELLUINGER-GRAHAM LOT LINE REVISION PLAN

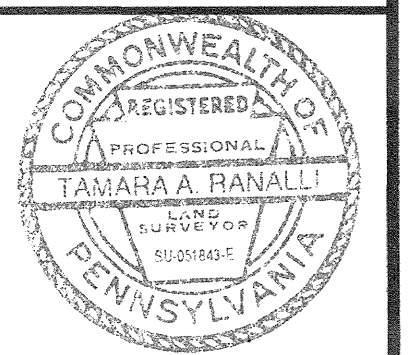
SITUATE: JACKSON TOWNSHIP, BUTLER COUNTY, PA.

DATE: NOVEMBER 20, 2020

SURVEY TECH & ASSOCIATES, LLC
ENGINEERING LAND SURVEYS
308 SENECA LANE - EVANS CITY, PA. 16033
PHONE (724) 432-3007 FAX: (724) 432-3012

I, TAMARA A. RANALLI, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LAND, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS

REVISIONS: FEB. 1, 2021 REMOVE ELLUINGER MORTGAGE CLAUSE REV MARTIN ADDRESS
DRAWN BY: *Tamara A. Ranalli* T.A.R. CHECKED BY: T.R.



REGISTRATION NO. SU-051843-E
DWG. NO: 5515-2020-SUB SHEET: 1 OF 2

**PRESENT ZONING REQUIREMENTS
JACKSON TOWNSHIP ZONING ORDINANCE**
CHAPTER 27 OF THE JACKSON TOWNSHIP CODE OF ORDINANCES, ZONING, AS AMENDED, ORDAINED AND ENACTED DECEMBER 20, 2018

PRESENT ZONING DISTRICT:	REQUIRED	LOT 1 PROPOSED	LOT 2 PROPOSED	LOT 3 PROPOSED	LOT 4 PROPOSED
CC COMMERCIAL CORRIDOR DISTRICT					
REQUIRED MINIMUM LOT SIZE:	21,780 SQUARE FEET (1/2 ACRE)	136,430 SQ.FT	172,585 SQ.FT.	30,187 SQ.FT	25,918 SQ.FT.
REQUIRED MINIMUM LOT WIDTH:	100 FEET AT STREET R/W LINE	360.59 FEET	665' FEET	115 FEET	140 FEET
REQUIRED MINIMUM LOT DEPTH:	100 FEET AT FRONT BLDG SETBACK LINE	±353 FEET	±585 FEET	115 FEET	140 FEET
REQUIRED MINIMUM FRONT YARD:	40 FEET FROM R/W	40 FEET	40 FEET	40 FEET	40 FEET
REQUIRED MINIMUM REAR YARD:	30 FEET, ACCESSORY 10 FEET	30 FEET	30 FEET	30 FEET	30 FEET
REQUIRED MINIMUM SIDE YARD:	15 FEET, ACCESSORY 10 FEET	15 FEET	15 FEET	15 FEET	15 FEET
SIDE YARD ABUTTING RESIDENTIAL DISTRICT BOUNDARY	30 FEET		30 FEET		

WHERE GREATER DIMENSIONAL STANDARDS ARE SPECIFIED BASED ON THE PRINCIPAL USE OF THE LOT OR BUFFERING WITHIN PARTS 13, 14, 15 AND 19 OF THIS CHAPTER, SAID DIMENSIONAL STANDARDS APPLY.

REVISED LOT CALCULATIONS				
	LOT 1 TAX PARCEL NO. 180-4F-102-9G	LOT 2 TAX PARCEL NO. 180-S1-F75 REVISED (FORMERLY PURPART 180-S1-F & 180-S1-F75)	LOT 3 TAX PARCEL NO. 180-S1-F75 REVISED (FORMERLY PURPART 180-S1-F & 180-S1-F75)	LOT 4 TAX PARCEL NO. 180-S1-F99
EXISTING AREA	2.266 ACRES	5.581 ACRES	5.581 ACRES	0.386 ACRE
PARCEL A	+0.866 ACRE	-0.866 ACRE	-0.866 ACRE	
PARCEL B RESIDUAL			+3.813 ACRES	
PARCEL C		+0.149 ACRE (FORMERLY 180-S1-F66)		
PARCEL D		-0.209 ACRE	-0.209 ACRE	+0.209 ACRE
LOT 3		-0.693 ACRE		
TOTAL REVISED LOT AREAS	3.132 ACRES (136,430 SQ FT)	3.962 ACRES (172,585 SQ FT)	0.693 ACRE (30,187 SQ FT)	0.595 ACRE (25,918 SQ FT)

- NOTES:**
- PARCEL A, LANDS OF DAVID J. & MICHELLE H. ELLUINGER IS TO BE CONVEYED AND IS TO BECOME AN INTEGRAL PART OF TAX PARCEL NO. 180-4F102-9G, THE ADJOINING LANDS AS PRESENTLY OWNED BY DAVID J. & MICHELLE H. ELLUINGER AS RECORDED IN BUTLER COUNTY RECORDER OF DEEDS IN INSTR. NO. 201209180026846. PARCEL A IS TO BECOME AN INTEGRAL PART OF TAX PARCEL NO. 180-4F102-9G AND BECOME ONE LOT KNOWN AS LOT 1, CONSISTING OF 3.132 ACRES. SAID PARCEL A IS NOT TO BE CONSIDERED AS A SEPARATE BUILDABLE LOT.
 - PARCEL C, BEING TAX PARCEL NO. 180-S1-F66 AND LANDS OF DAVID J. & MICHELLE H. ELLUINGER AS RECORDED IN INSTRUMENT NO. 202011130026336 IS TO BE CONVEYED AND IS TO BECOME AN INTEGRAL PART OF TAX PARCEL NO. 180-S1-F, BEING PARCEL B-RESIDUAL, THE ADJOINING LANDS AS PRESENTLY OWNED BY DAVID J. & MICHELLE H. ELLUINGER AS RECORDED IN BUTLER COUNTY RECORDER OF DEEDS IN INSTR. NO. 201209180026846 AND QUIT CLAIM DEED IN INSTR. NO. 202011130026334. PARCEL B-RESIDUAL AND PARCEL C ARE TO BECOME AN INTEGRAL PART OF TAX PARCEL NO. 180-S1-F AND BECOME ONE LOT KNOWN AS LOT 2, CONSISTING OF 3.962 ACRES. SAID PARCEL B-RESIDUAL AND PARCEL C ARE NOT TO BE CONSIDERED AS A SEPARATE BUILDABLE LOTS.
 - PARCEL D, LANDS OF DAVID J. & MICHELLE H. ELLUINGER IS TO BE CONVEYED TO BONNIE H. & RICHARD C. GRAHAM AND IS TO BECOME AN INTEGRAL PART OF TAX PARCEL NO. 180-S1-F99, THE ADJOINING LANDS AS PRESENTLY OWNED BY BONNIE H. & RICHARD C. GRAHAM AS RECORDED IN BUTLER COUNTY RECORDER OF DEEDS IN D.B.V. 773, PG. 596 AND QUIT CLAIM DEED IN INSTR. NO. 202011130026334. PARCEL D IS TO BECOME AN INTEGRAL PART OF TAX PARCEL NO. 180-S1-F99 AND BECOME ONE LOT KNOWN AS LOT 4, CONSISTING OF 0.595 ACRE. SAID PARCEL D IS NOT TO BE CONSIDERED AS A SEPARATE BUILDABLE LOT.
 - ALL LOCATIONS OF SUBSURFACE UTILITIES AND/OR OTHER UTILITIES MAY OR MAY NOT BE DETERMINED BY THIS SURVEY. ANY SUBSURFACE UTILITIES SHOWN ARE SHOWN IN THEIR APPROXIMATE LOCATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT PA ONE CALL PRIOR TO ANY CONSTRUCTION AND/OR EXCAVATION TO VERIFY THE LOCATIONS, SIZE AND DEPTH. CALL 1-800-242-1776.
 - THIS SURVEY AND PLAN IS SUBJECT TO ALL EASEMENTS, COVENANTS, RESTRICTIONS, LEASES AND AGREEMENTS OF PRIOR RECORD.

PRIVATE GRAHAM LANE NOTICE:

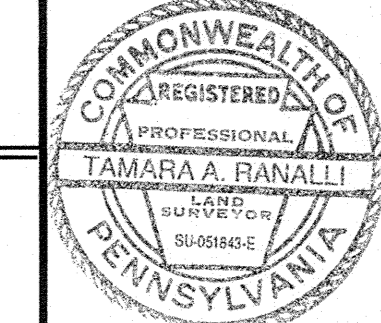
- A PRIVATE LANE, TO BE KNOWN AS GRAHAM LANE, THE 40' PRIVATE R/W & UTILITY EASEMENT IS HEREBY ESTABLISHED AS SHOWN ON THIS PLAN. THE PRIVATE LANE IS NOT INTENDED AS A PUBLIC DRIVE/ROAD/STREET, HAS NOT BEEN DEDICATED FOR PUBLIC USE AND HAS NOT BEEN ACCEPTED AS A PUBLIC DRIVE/ROAD/STREET BY JACKSON TOWNSHIP.
- THE PRIVATE LANE, GRAHAM LANE, THE 40' PRIVATE R/W & UTILITY EASEMENT, AS SHOWN ON THIS PLAN SHALL BE A MEANS OF VEHICULAR AND/OR PEDESTRIAN ENTRY, UTILITIES, INGRESS, EGRESS AND REGRESS TO/FROM LOTS 2, 3 & 4 OF THIS PLAN AND TAX PARCELS 180-S1-F42 & 180-S1-F35 OWNED BY N/F BRENDA L. MARTIN.
- THE COSTS AND/OR EXPENSES ASSOCIATED WITH THE CONSTRUCTION AND/OR PERPETUAL RECONSTRUCTION, MAINTENANCE, REPAIR AND/OR GRADING OF THE PRIVATE DRIVE/ROAD/STREET SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER(S) OF LOTS 2, 3 & 4 OF THIS PLAN AND TAX PARCELS 180-S1-F42 & 180-S1-F35 OWNED BY N/F BRENDA L. MARTIN AS RECORDED IN A PRIVATE DRIVE CONSTRUCTION, USE, MAINTENANCE, AND REPAIR AGREEMENT.
- AS A CONDITION TO APPROVING THIS PLAN, THE TOWNSHIP REQUIRES THAT A WRITTEN PRIVATE DRIVE CONSTRUCTION, USE, MAINTENANCE, AND REPAIR AGREEMENT, SHALL BE APPROVED IN ADVANCE BY THE TOWNSHIP AND SHALL BE REFERENCED IN EACH DEED OF CONVEYANCE FOR LOTS 2, 3 & 4 OF THIS PLAN AND TAX PARCELS 180-S1-F42 & 180-S1-F35 OWNED BY N/F BRENDA L. MARTIN. THE ORIGINAL SHALL BE RECORDED IN THE PUBLIC RECORDS AT THE OFFICE OF THE RECORDER OF DEEDS, BUTLER COUNTY, PENNSYLVANIA.
- AS A CONDITION TO APPROVING THIS PLAN, IF LOTS 2, 3 & 4 AS SHOWN ON THIS PLAN AND TAX PARCELS 180-S1-F42 & 180-S1-F35 OWNED BY N/F BRENDA L. MARTIN WERE FURTHER SUBDIVIDED, THE ACCESS FROM THE NEW LOT(S) CANNOT BE ACCESSED FROM THIS PROPOSED PRIVATE LANE, GRAHAM LANE, THE 40' PRIVATE ACCESS R/W AS SHOWN ON THIS PLAN.
- FINAL APPROVAL OF THIS PLAN DOES NOT OBLIGATE OR REQUIRE THE TOWNSHIP TO CONSTRUCT, RECONSTRUCT, MAINTAIN, REPAIR, AND/OR GRADE THE PRIVATE LANE HEREBY ESTABLISHED.

ELLUINGER-GRAHAM LOT LINE REVISION PLAN

[LOT LINE REVISIONS AND CONSOLIDATION OF LOTS 51 THRU 102, INCLUDING ROADS AND ALLEYS OF THE HARMONY JUNCTION PLAN OF LOTS AS RECORDED IN PLAN BOOK VOL. 4, PAGE 12]

SITUATE: JACKSON TOWNSHIP, BUTLER COUNTY, PA.

DATE: NOVEMBER 20, 2020 **SCALE:** 1" = 40'

SURVEY TECH & ASSOCIATES, LLC ENGINEERING LAND SURVEYS 308 SENECA LANE - EVANS CITY, PA. 16033 PHONE (724) 432-3007 FAX: (724) 432-3012		
I, TAMARA A. RANALLI, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LAND, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS. Revisions: FEB. 11, 2021 REVISIONS: REV. MARTIN ADDRESS DRAWN BY: [Signature] CHECKED BY: [Signature]		

8.382 ACRES = TOTAL ACREAGE

ZONING DISTRICT: CC - COMMERCIAL CORRIDOR DISTRICT

OWNER: DAVID J. & MICHELLE H. ELLUINGER
139 MAGILL ROAD
ZELIENOPLE, PA 16063

DEED REFERENCE: INSTR. NO. 201209180026846
TAX PARCEL NO.: 180-4F102-9G
180-S1-F
180-S1-F75

RECORD REFERENCE: ORDER OF COURT
INSTR. NO. 202011130026336
COURT ORDER-FINAL ENTRY OF JUDGEMENT (J. WILSON)
CP-20605 - A.D. 19-11011

TAX PARCEL NO.: 180-S1-F66

OWNER: BONNIE H. & RICHARD C. GRAHAM
127 MAGILL ROAD EXT.
ZELIENOPLE, PA 16063

DEED REFERENCE: D.B.V. 773, PG. 596
TAX PARCEL NO.: 180-S1-F99

OWNER: BRENDA L. MARTIN
2395 EVANS CITY ROAD
ZELIENOPLE, PA 16063

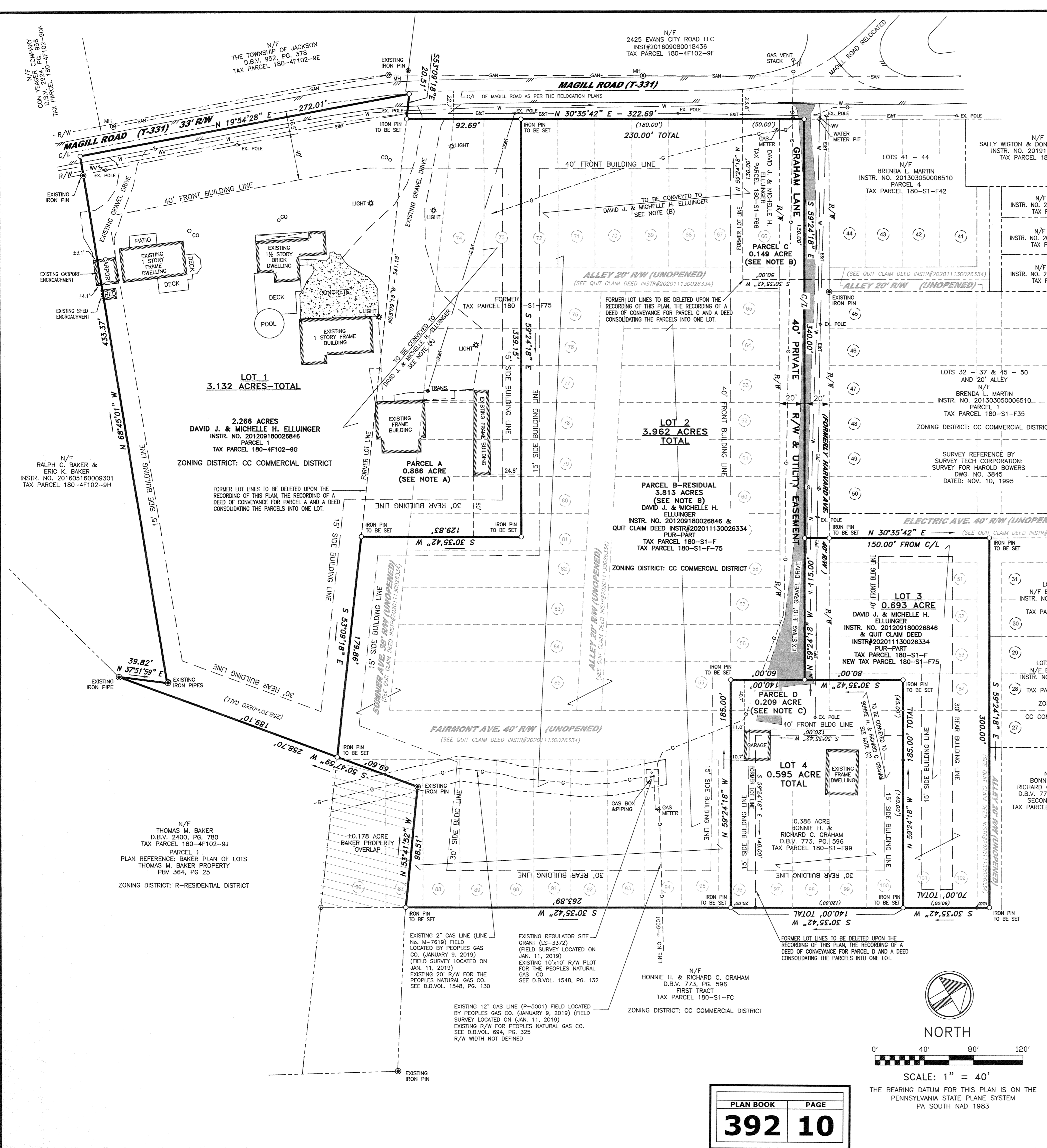
DEED REFERENCE: INSTR. NO. 201303050006510
TAX PARCEL NO.: 180-S1-F35

PLAN REFERENCE: HARMONY JUNCTION PLAN OF LOTS PBV 4, PG. 12

QUIT CLAIM DEED SEE INSTR#202011130026334 FOR THE ROADS AND ALLEYS WITHIN THE HARMONY JUNCTION PLAN OF LOTS

PLAN BOOK	PAGE
392	10

THE BEARING DATUM FOR THIS PLAN IS ON THE PENNSYLVANIA STATE PLANE SYSTEM PA SOUTH NAD 1983



KNOW ALL MEN BY THESE PRESENTS; THAT BENJAMIN C. MCCOMMONS, DOES HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN BRADY TOWNSHIP BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF BRADY, BENJAMIN C. MCCOMMONS HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF BRADY, MY SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON BENJAMIN C. MCCOMMONS MY SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 14TH DAY OF November 2020.

ATTEST:
Benjamin C. McCommons
 OWNER

COMMONWEALTH OF PENNSYLVANIA) SS:
 COUNTY OF Butler)
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED BENJAMIN C. MCCOMMONS AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.

WITNESS MY HAND AND SEAL THIS 14TH DAY OF November 2020.
 MY COMMISSION EXPIRES THE 27TH DAY OF July 2022.

Scott J. Kundrick
 NOTARY PUBLIC
 Commonwealth of Pennsylvania - Notary Seal
 Scott J. Kundrick, Notary Public
 Allegheny County
 My commission expires July 17, 2022
 Commission number 11913176
 Member, Pennsylvania Association of Notaries

KNOW ALL MEN BY THESE PRESENTS; THAT DAWN E. CAMPBELL, DOES HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN BRADY TOWNSHIP BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF BRADY, DAWN E. CAMPBELL HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF BRADY, MY SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON DAWN E. CAMPBELL MY SUCCESSORS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 14TH DAY OF November 2020.

ATTEST:
Dawn E. Campbell
 OWNER

COMMONWEALTH OF PENNSYLVANIA) SS:
 COUNTY OF Butler)
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED DAWN E. CAMPBELL AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.

WITNESS MY HAND AND SEAL THIS 14TH DAY OF November 2020.
 MY COMMISSION EXPIRES THE 17TH DAY OF July 2022.

Scott J. Kundrick
 NOTARY PUBLIC
 Commonwealth of Pennsylvania - Notary Seal
 Scott J. Kundrick, Notary Public
 Allegheny County
 My commission expires July 17, 2022
 Commission number 11913176
 Member, Pennsylvania Association of Notaries

APPROVED BY THE BRADY TOWNSHIP PLANNING COMMISSION THIS 16th DAY OF December, 2020.

Ann E. Chabert SECRETARY
Phil G. Galt CHAIRMAN

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF BRADY HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF BRADY ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS, OR ROADS, OR GRADES, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF BRADY, THIS 16th DAY OF December, 2020.

Ann E. Chabert SECRETARY
Robert P. McCombs CHAIRMAN, BOARD OF SUPERVISORS
 SUPERVISOR

I, JEFFREY A. SHUTY, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS AND OR AGENTS.

11/12/2020 DATE
REG. NO. SU075509

KNOW ALL MEN BY THESE PRESENTS; THAT CLARK V. MCCOMMONS & CAROL L. SOOSE, DO HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN BRADY TOWNSHIP BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF BRADY, CLARK V. MCCOMMONS & CAROL L. SOOSE HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF BRADY, MY SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON CLARK V. MCCOMMONS & CAROL L. SOOSE OUR SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 14TH DAY OF November 2020.

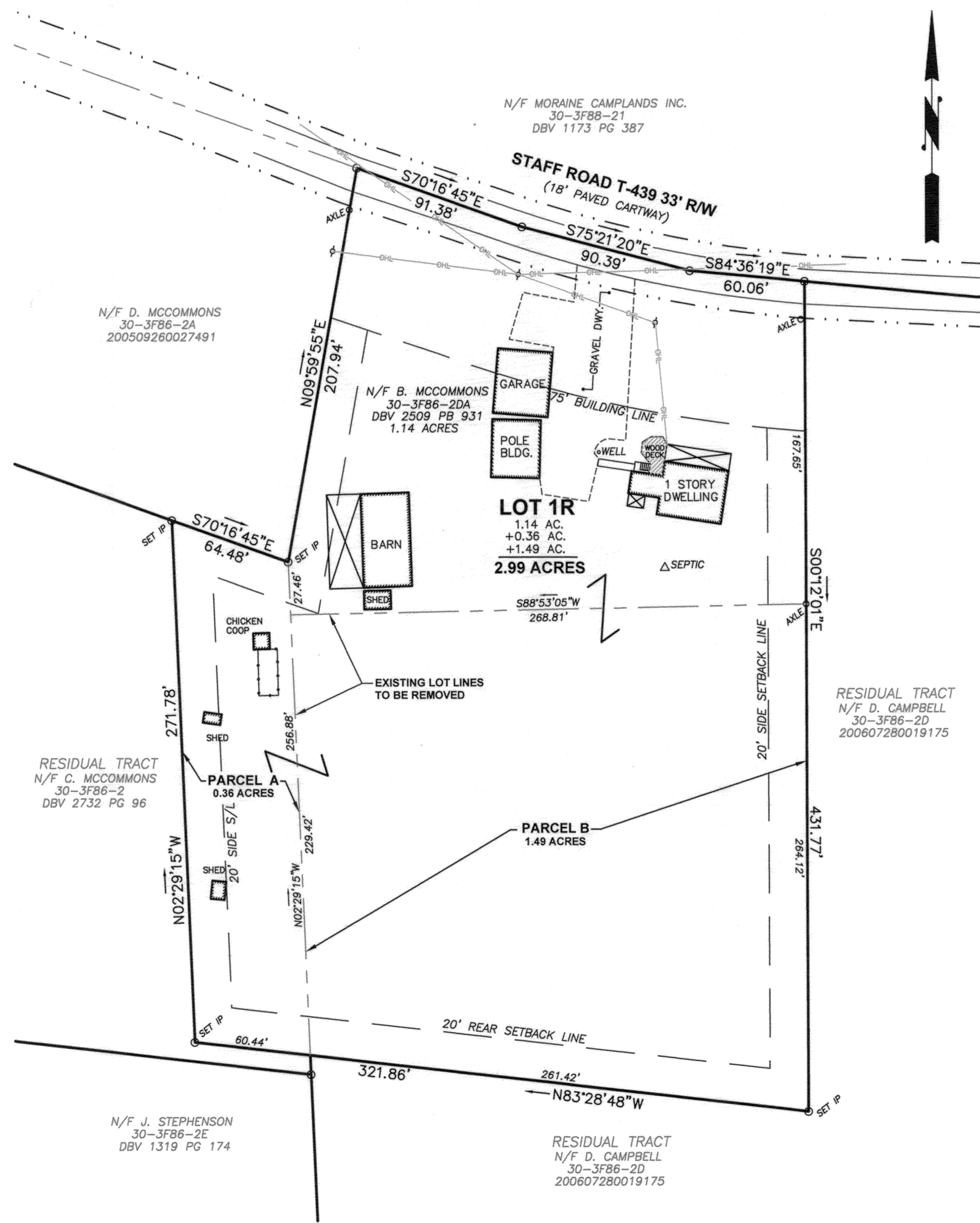
ATTEST:
Clark V. McCommons
 OWNER
Carol L. Soose
 OWNER

COMMONWEALTH OF PENNSYLVANIA) SS:
 COUNTY OF Butler)
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED CLARK V. MCCOMMONS & CAROL L. SOOSE AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.

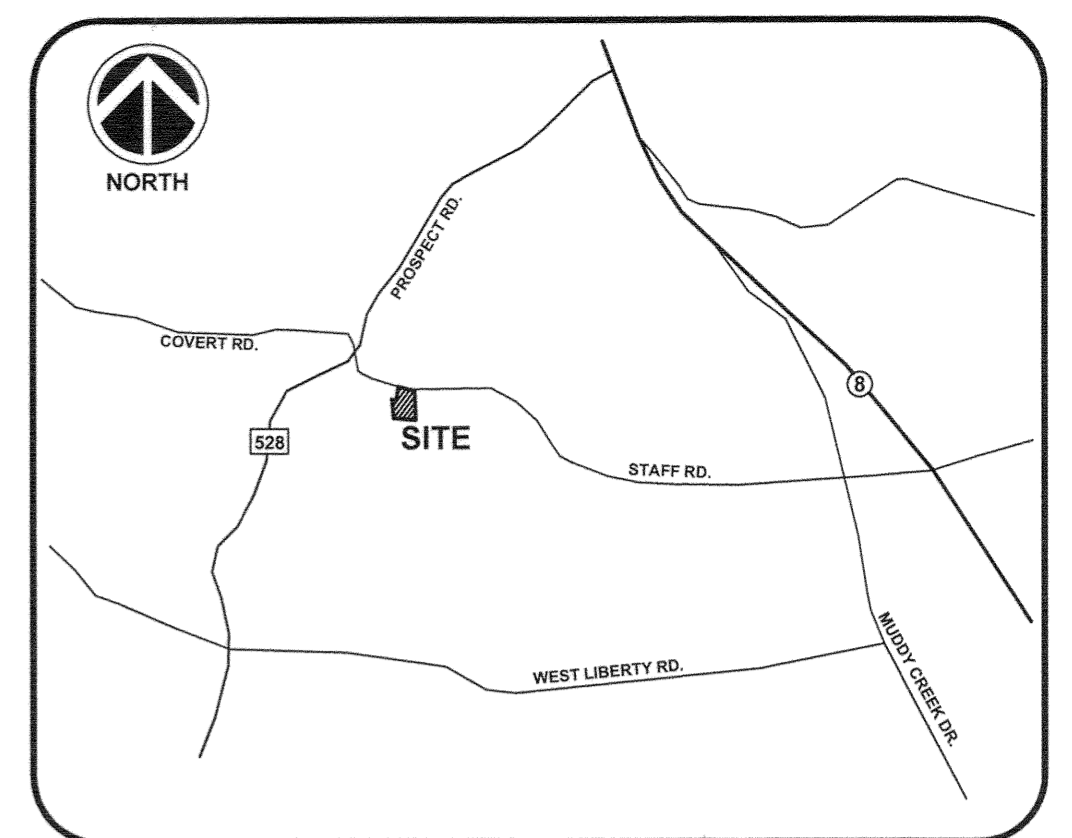
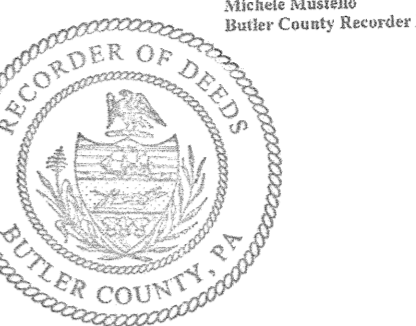
WITNESS MY HAND AND SEAL THIS 14TH DAY OF November 2020.
 MY COMMISSION EXPIRES THE 17TH DAY OF July 2022.

Scott J. Kundrick
 NOTARY PUBLIC
 Commonwealth of Pennsylvania - Notary Seal
 Scott J. Kundrick, Notary Public
 Allegheny County
 My commission expires July 17, 2022
 Commission number 11913176
 Member, Pennsylvania Association of Notaries

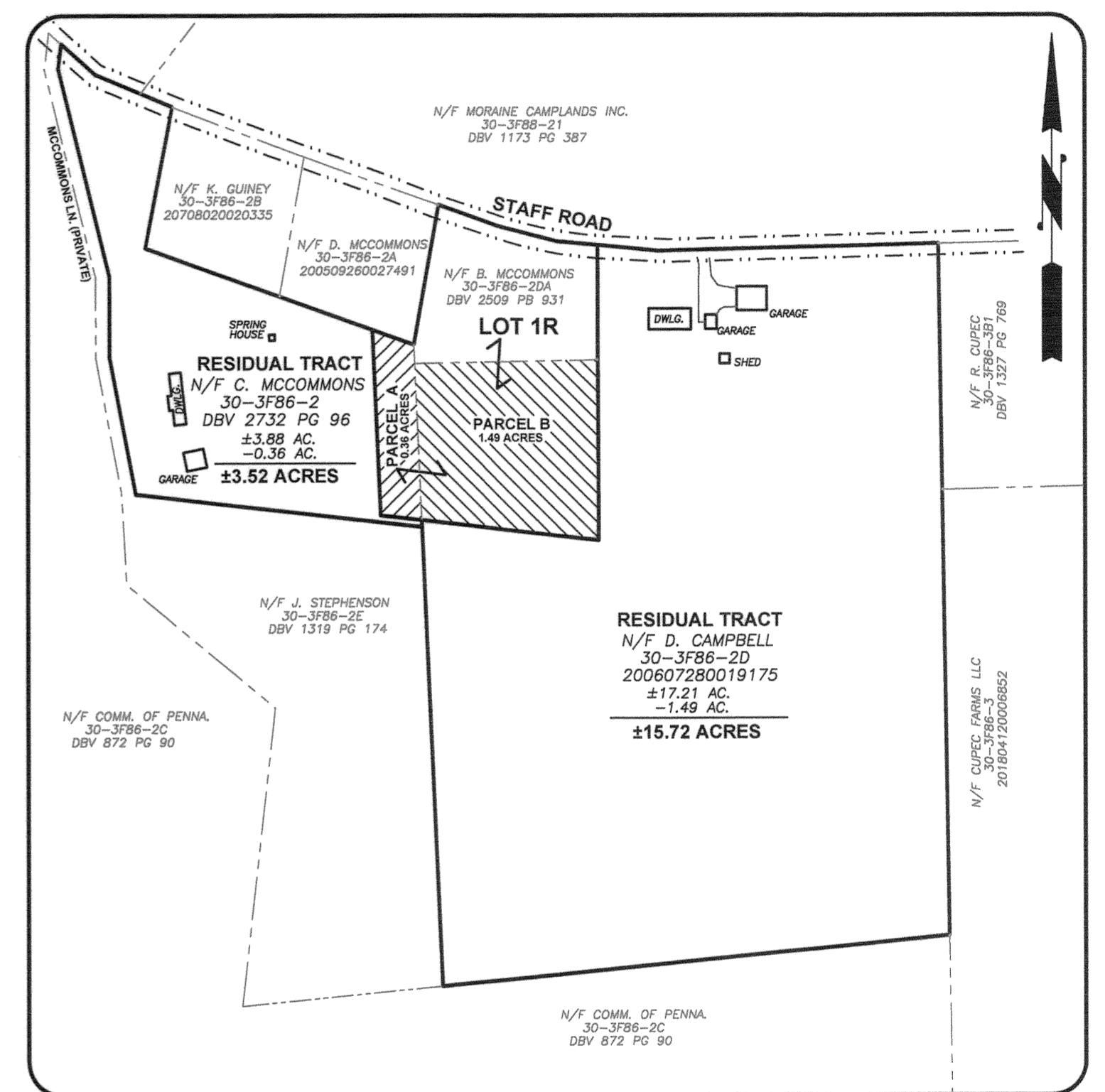


REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 21ST DAY OF OCT. 2020.
R. H. G. R. M. SECRETARY
St. G. R. M. CHAIRMAN
 COMMONWEALTH OF PENNSYLVANIA) SS:
 COUNTY OF BUTLER)
 RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN SAID COUNTY IN PLAN BOOK VOLUME 392 PAGE 11
 GIVEN UNDER MY HAND AND SEAL THIS 1ST DAY OF March 2021.

Michele M. Mustello
 RECORDER
MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



VICINITY MAP
 NOT TO SCALE



RESIDUAL MAP
 1" = 200'

- NOTES:
- PARCEL "A" IS NOT A SEPARATE BUILDING LOT AND IS TO BE CONVEYED FROM PARCEL 30-3F86-2 (MCCOMMONS) AND BECOME PART OF ADJOINING PARCEL 30-3F86-2DA (MCCOMMONS) TO CREATE PART OF LOT 1R.
 - PARCEL "B" IS NOT A SEPARATE BUILDING LOT AND IS TO BE CONVEYED FROM PARCEL 30-3F86-2D (CAMPBELL) AND BECOME PART OF ADJOINING PARCEL 30-3F86-2DA (MCCOMMONS) TO CREATE PART OF LOT 1R.
 - EXISTING WELLS/SPRINGS AND SEPTIC SYSTEMS LOCATED ON RESIDUAL TRACTS 30-3F86-2 AND 30-3F86-2D.

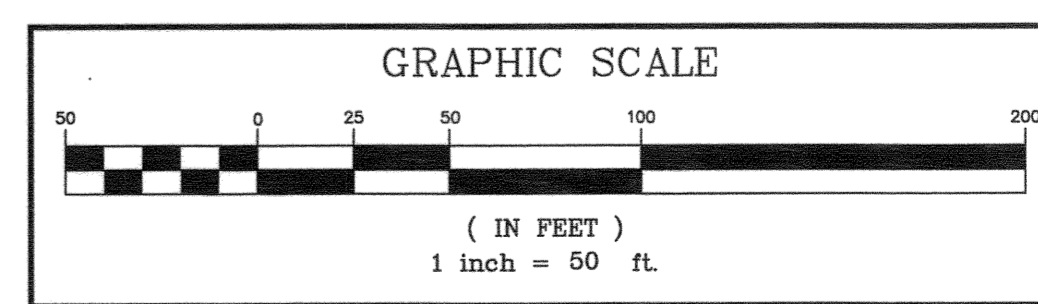
TOTAL PLAN AREA	±22.23 ACRES
LOT 1R	2.99 ACRES
RES. TRACT(30-3F86-2)	±3.52 ACRES
RES. TRACT(30-3F86-2D)	±15.72 ACRES

OWNER:
CLARK V. MCCOMMONS & CAROL L. SOOSE
 115 MCCOMMONS LN.
 SLIPPERY ROCK, PA 16057

PARCEL ID: 30-3F86-2
 DEED REF: DBV 2732 PG 96

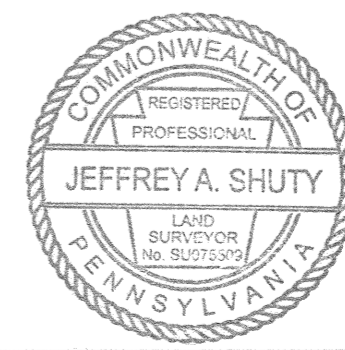
OWNER:
DAWN E. CAMPBELL
 288 STAFF ROAD
 SLIPPERY ROCK, PA 16057

PARCEL ID: 30-3F86-2D
 DEED REF: 200607280019175
 PBV 181 PG 24



OWNER:
BENJAMIN C. MCCOMMONS
 274 STAFF ROAD
 SLIPPERY ROCK, PA 16057
 724-525-0035
PARCEL ID: 30-3F86-2DA
DEED REF: DBV 2509 PG 931
 PBV 181 PG 24

ZONING: A-AGRICULTURE
 MIN. LOT AREA 2 ACRES
 MIN. LOT WIDTH 160'
 BLDG. SETBACKS:
 FRONT 75'(FROM CL.)
 SIDE 20'
 REAR 20'
 MAX. BLDG. HT. 35'
 MAX. LOT COVERAGE 10%



NORTHERN
 SURVEYORS AND ASSOCIATES
 137 LINK LANE
 SLIPPERY ROCK, PA 16057
 (724)530-6889
 northernsurveyor@gmail.com

Scale 1" = 50'	McCommons/Campbell Lot Line Revision
Date Sept. 23, 2020	Situate in Brady Township Butler County, Pa.
Job No. 3328	Prepared For Benjamin McCommons
	Sheet No. 1 of 1

KNOW ALL MEN BY THESE PRESENTS; THAT RANDY LONG, DOES HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN WEST LIBERTY BOROUGH, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND WEST LIBERTY BOROUGH, RANDY LONG, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND WEST LIBERTY BOROUGH, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON RANDY LONG MY SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 6th DAY OF November 2020.

ATTEST:
Julia Bahley WITNESS
Randy Long OWNER

 OWNER

COMMONWEALTH OF PENNSYLVANIA) SS:
 COUNTY OF BUTLER)
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED RANDY LONG AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.
 WITNESS MY HAND AND SEAL THIS 6th DAY OF November 2020.
 MY COMMISSION EXPIRES THE 3rd DAY OF November 2022.

Julia Bahley
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
 Julie Barkley, Notary Public
 Butler County
 My commission expires November 3, 2022
 Commission number 1286594
 Member, Pennsylvania Association of Notaries

WEST LIBERTY BOROUGH:

THE COUNCIL OF THE WEST LIBERTY BOROUGH HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE BOROUGH OF WEST LIBERTY ASSUMES NO OBLIGATION, LEGAL OR OTHERWISE EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS BOROUGH STREETS OR ROADS, OR TO GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN, OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN BOROUGH STREETS OR ROADS.

APPROVED BY THE WEST LIBERTY BOROUGH COUNCIL THIS 7 DAY OF December 2020

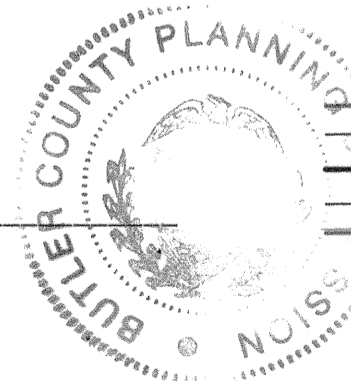
Victoria R. Wheeler SECRETARY
William Buckner RESIDENT OF COUNCIL

I, JEFFREY A. SHUTY, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS AND OR AGENTS.

8/28/2020 DATE
[Signature] REG. NO. SU075509

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 19th DAY OF AUG 2020

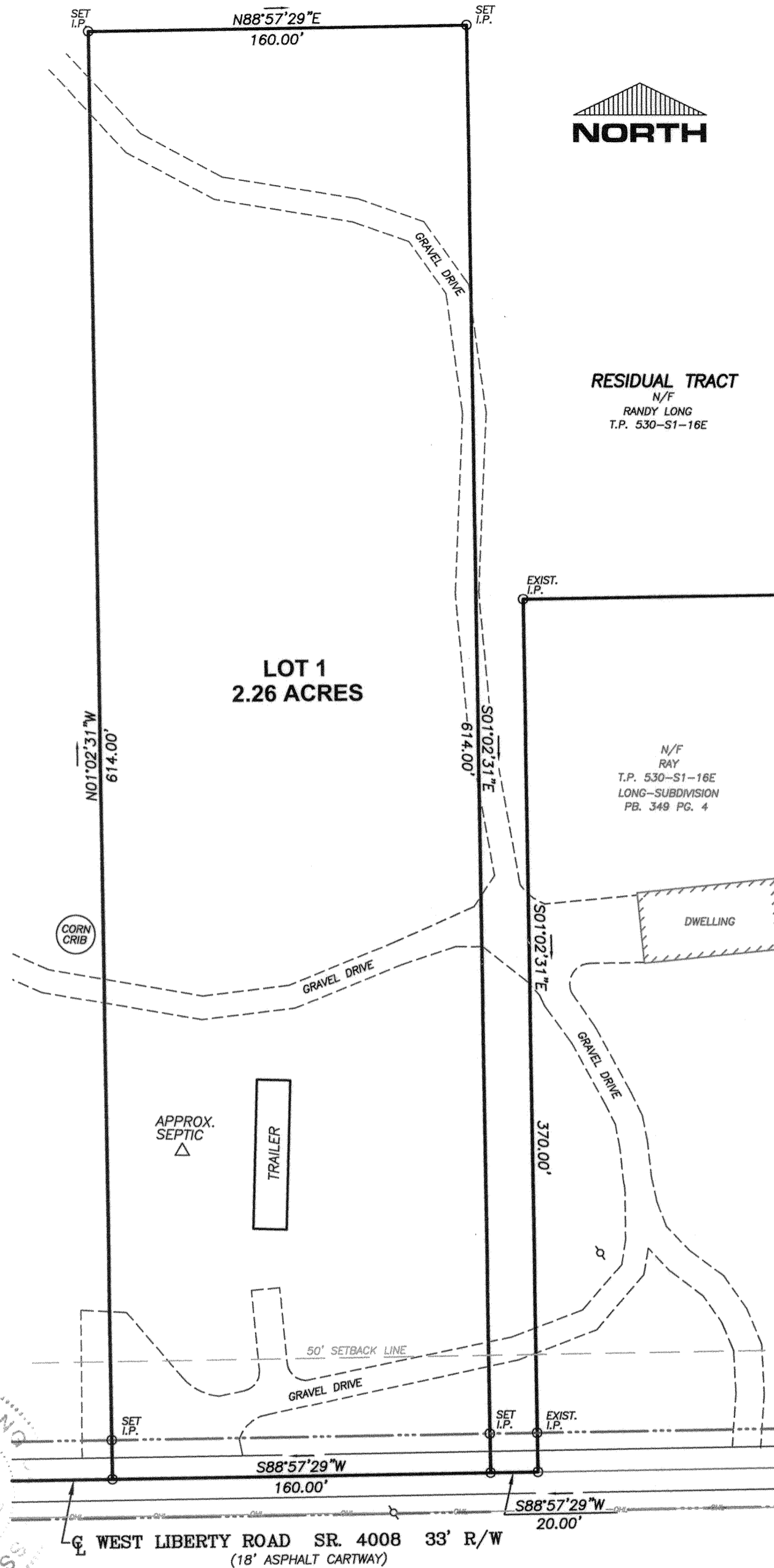
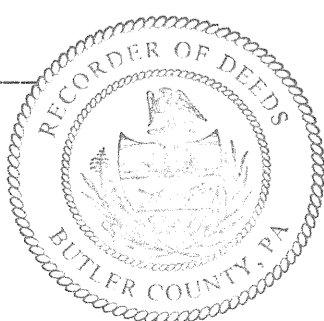
[Signature] SECRETARY
[Signature] CHAIRMAN



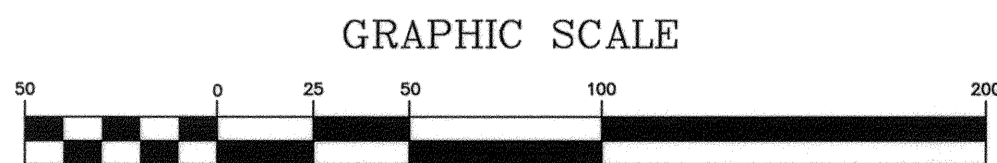
COMMONWEALTH OF PENNSYLVANIA) SS:
 COUNTY OF BUTLER)
 RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN SAID COUNTY IN PLAN BOOK VOLUME 392 PAGE 12

GIVEN UNDER MY HAND AND SEAL THIS 1st DAY OF March 2021.

[Signature] RECORDER
MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024

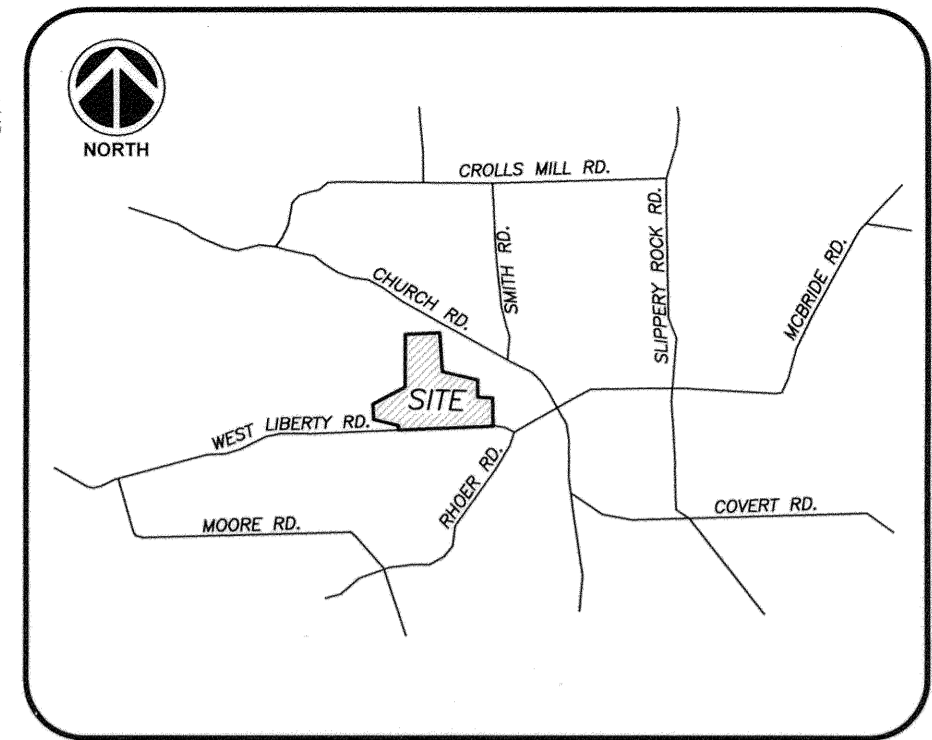


RESIDUAL TRACT
 N/F
 RANDY LONG
 T.P. 530-S1-16E

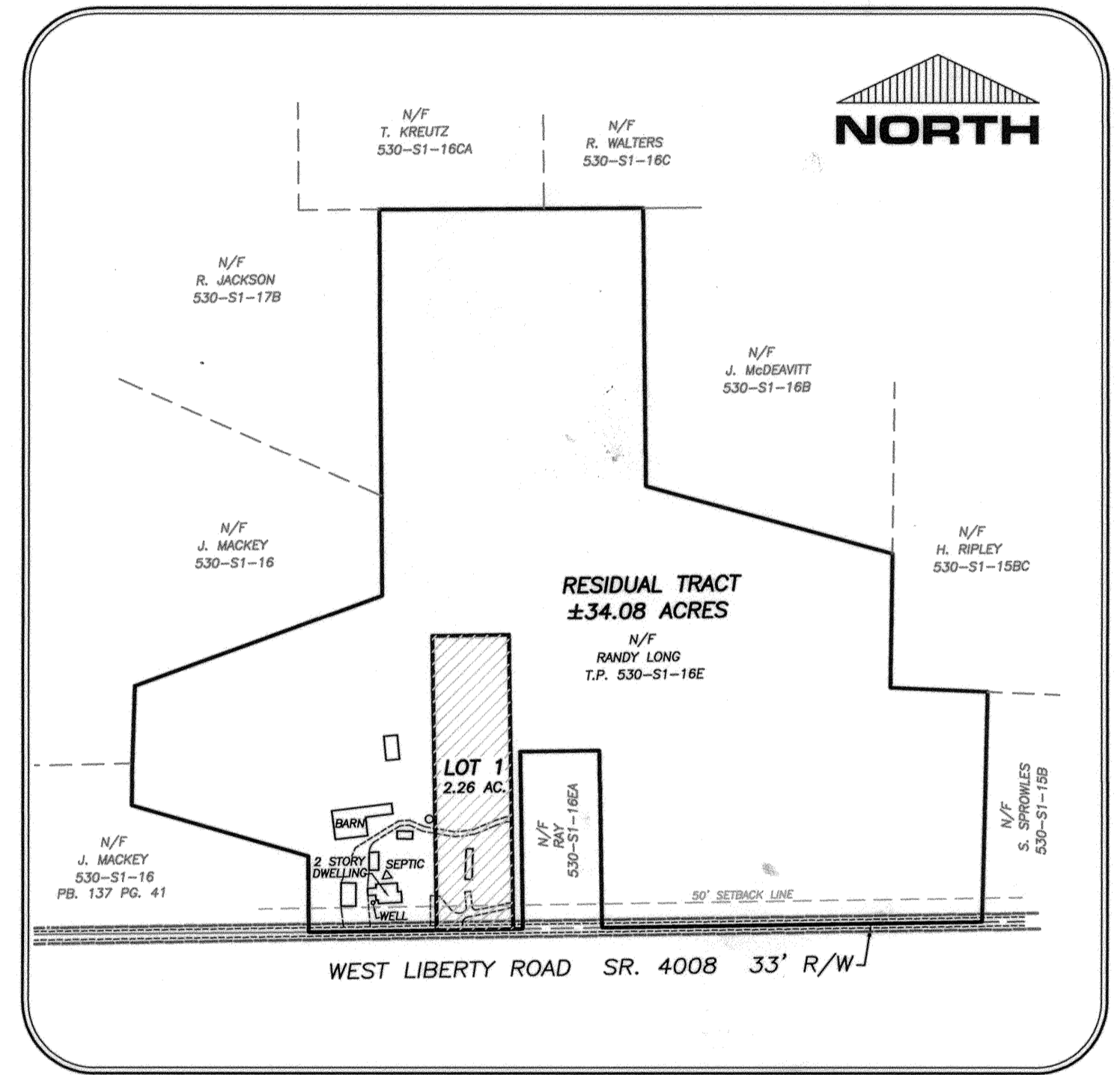


PLAN BOOK	PAGE
392	12

Instr: 202103010005696
 Fgs: 1 F: 545.00
 Michele Mustello
 Butler County Recorder PA
 3/1/2021 10:01 AM
 T20210004166



VICINITY MAP
 NOT TO SCALE



RESIDUAL MAP SCALE: 1"=300'

DEED / TAX REFERENCES
 TAX ID's.: 530-S1-16E
 INSTR.No: 20181160023368
 PLANS: PB. 349 PG. 4

TOTAL PLAN AREA ±36.34 ACRES
 RESIDUAL TRACT ±34.08 ACRES
 LOT 1 2.26 ACRES

RANDY LONG
 755 WEST LIBERTY RD.
 SLIPPERY ROCK, PA 16057
 (724)738-0816

NORTHERN
 SURVEYORS AND ASSOCIATES
 137 LINK LANE
 SLIPPERY ROCK, PA 16057
 (724)530-6889

Scale 1" = 50'
 Date AUG. 12, 2020
 Job No. 3280

R. LONG SUBDIVISION - No. 2
 Situate in WEST LIBERTY BOROUGH
 BUTLER COUNTY, PA
 Prepared For **RANDY LONG**
 Sheet No. 1 of 1

KNOW ALL MEN BY THESE PRESENTS; THAT THOMAS D. LONG, DOES HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN WEST LIBERTY BOROUGH, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND WEST LIBERTY BOROUGH, THOMAS D. LONG, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND WEST LIBERTY BOROUGH, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THOMAS D. LONG MY SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 1st DAY OF November 2020.

ATTEST:
Julie Barkley WITNESS
Thomas D. Long OWNER

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER)

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED THOMAS D. LONG AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.

WITNESS MY HAND AND SEAL THIS 1st DAY OF November 2020.
MY COMMISSION EXPIRES THE 3rd DAY OF November 2022.

Julie Barkley NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Julie Barkley, Notary Public
Butler County
My commission expires November 3, 2022
Commission number 1286594
Member, Pennsylvania Association of Notaries

KNOW ALL MEN BY THESE PRESENTS; THAT WILLIAM D. LONG, DOES HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN WEST LIBERTY BOROUGH, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND WEST LIBERTY BOROUGH, WILLIAM D. LONG, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND WEST LIBERTY BOROUGH, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON WILLIAM D. LONG MY SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 1st DAY OF November 2020.

ATTEST:
Julie Barkley WITNESS
William D. Long OWNER

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER)

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED WILLIAM D. LONG AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.

WITNESS MY HAND AND SEAL THIS 1st DAY OF November 2020.
MY COMMISSION EXPIRES THE 3rd DAY OF November 2022.

Julie Barkley NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Julie Barkley, Notary Public
Butler County
My commission expires November 3, 2022
Commission number 1286594
Member, Pennsylvania Association of Notaries

WEST LIBERTY BOROUGH:

THE COUNCIL OF THE WEST LIBERTY BOROUGH HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE BOROUGH OF WEST LIBERTY ASSUMES NO OBLIGATION, LEGAL OR OTHERWISE EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS BOROUGH STREETS OR ROADS, OR TO GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN, OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN BOROUGH STREETS OR ROADS.

APPROVED BY THE WEST LIBERTY BOROUGH COUNCIL THIS 7 DAY OF December 2020

Victoria R. Wheeler SECRETARY
William Bachman PRESIDENT OF COUNCIL

I, JEFFREY A. SHUTY, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS AND OR AGENTS.

8/28/2020
DATE

[Signature]
REG. NO. SU075509

REVIEWED/APPROVED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 19th DAY OF Aug 2020

R. H. JRM SECRETARY

[Signature] CHAIRMAN

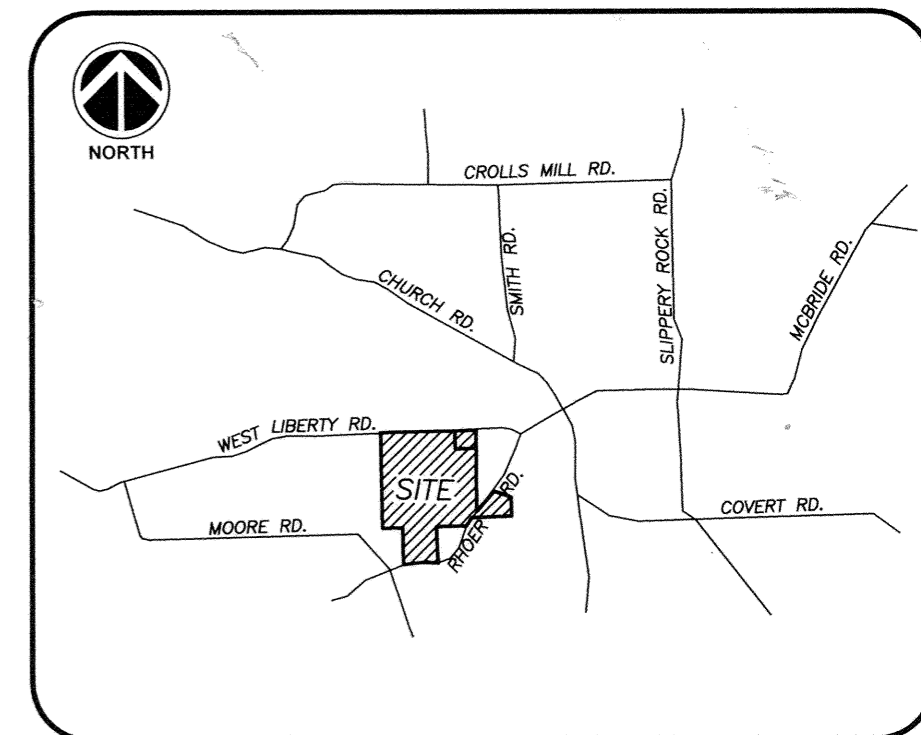
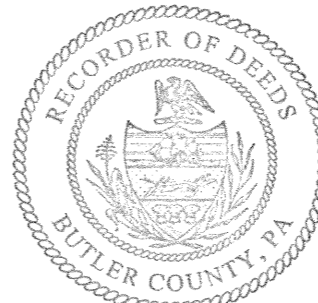
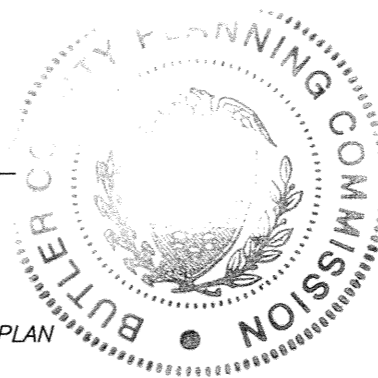
COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER)

RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN SAID COUNTY IN PLAN BOOK VOLUME 392 PAGE 13
GIVEN UNDER MY HAND AND SEAL THIS 1st DAY OF March 2021.

[Signature] RECORDER

MICHELE M. MUSTELLO
RECORDER OF DEEDS

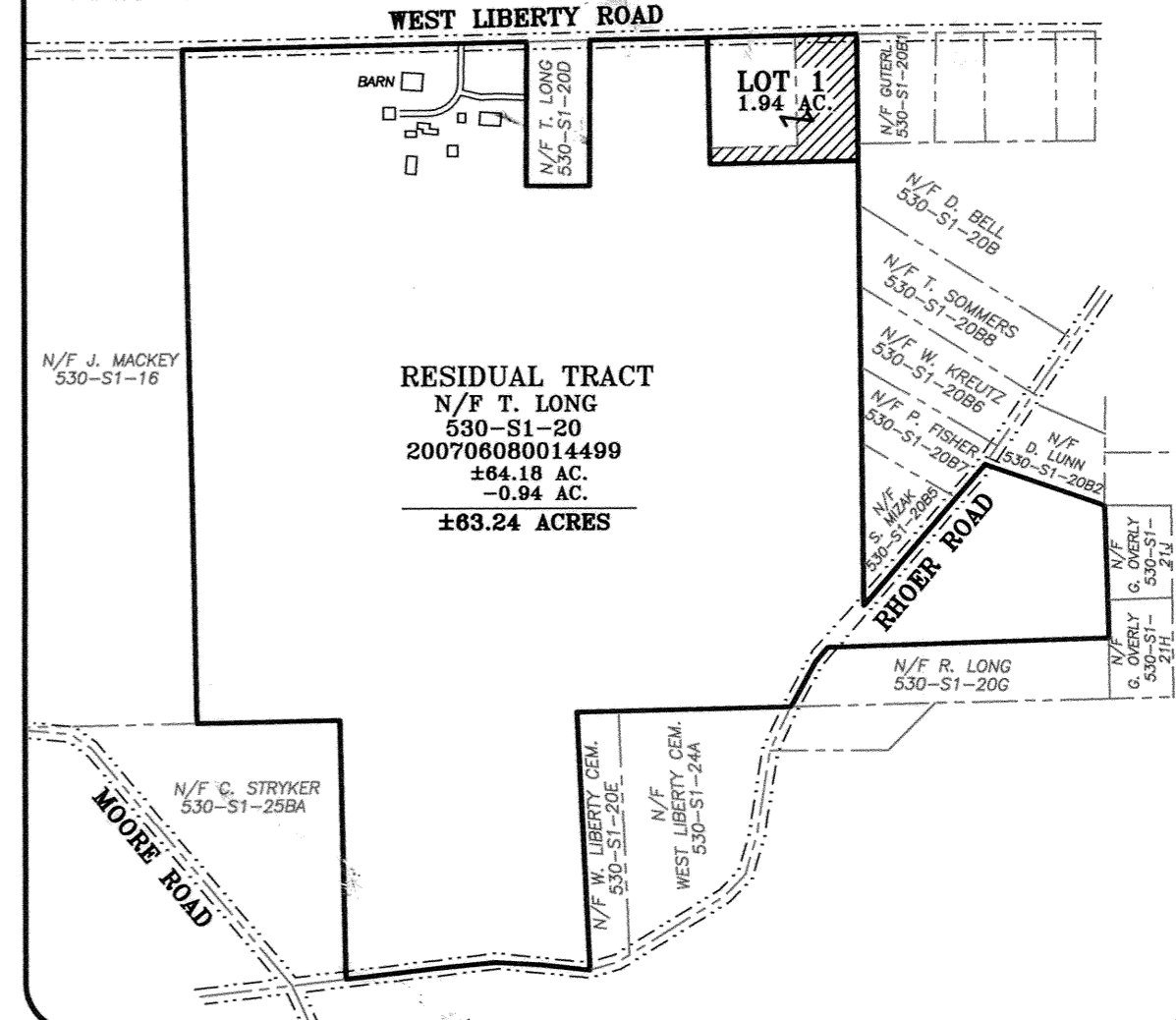
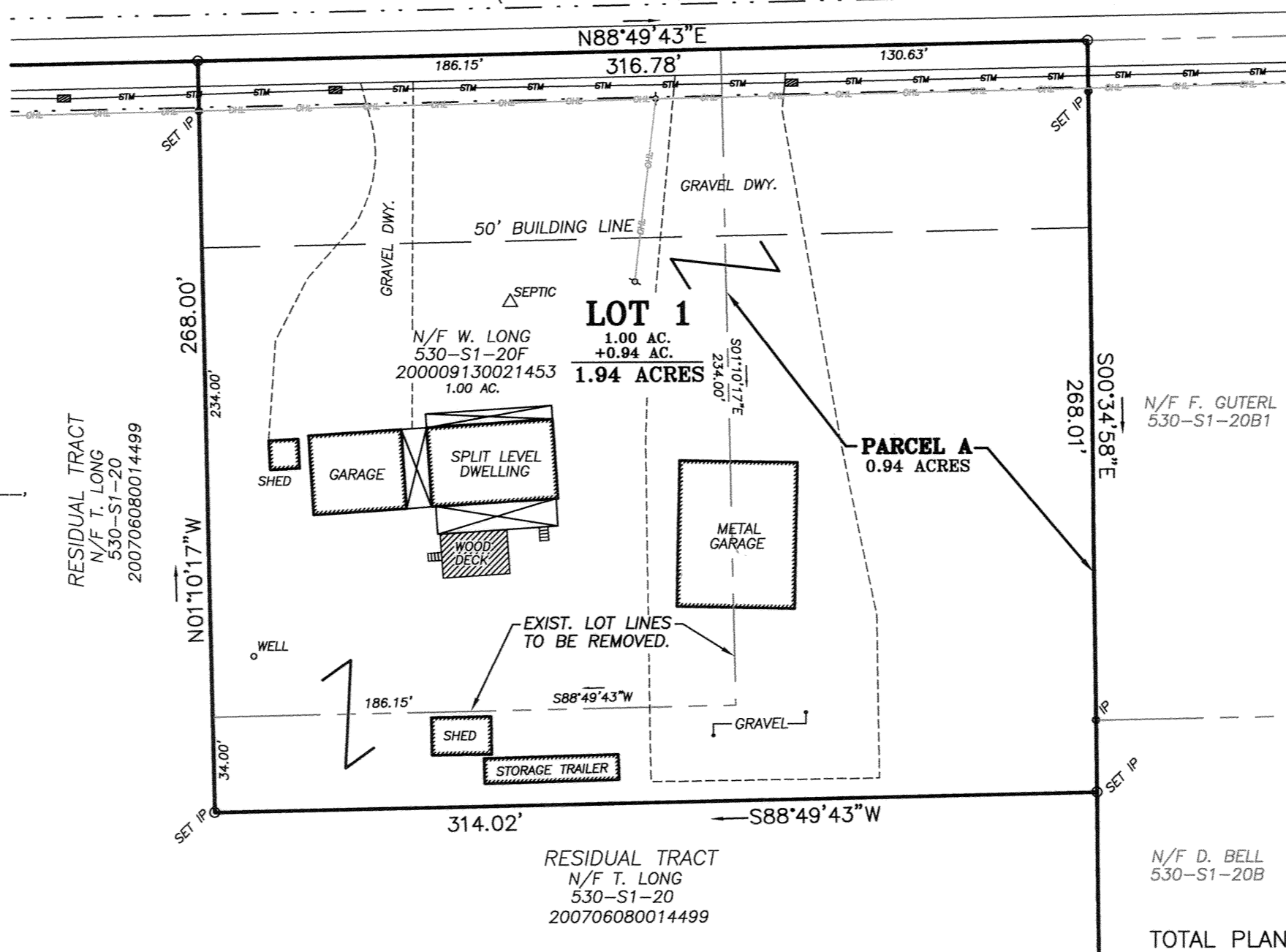
My Commission Expires First Monday in January 2024



VICINITY MAP
NOT TO SCALE



WEST LIBERTY ROAD S.R. 4008 33' R/W
(18' PAVED CARTWAY)



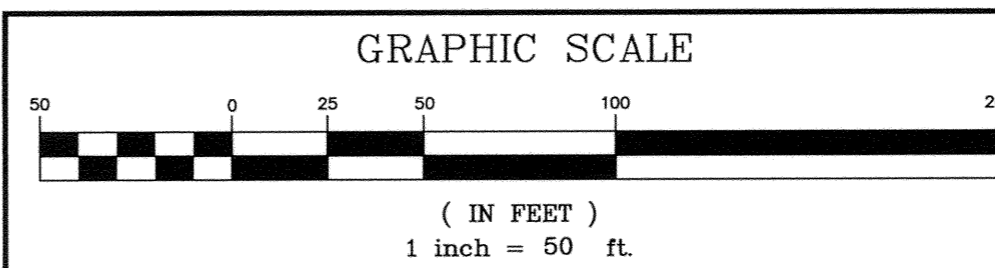
RESIDUAL MAP

1" = 400'

TOTAL PLAN AREA 65.18 ACRES
RESIDUAL TRACT 63.24 AC.
LOT 1 1.94 AC.

NOTES:

1. PARCEL "A" IS NOT A SEPARATE BUILDING LOT AND IS TO BE CONVEYED FROM PARCEL 530-S1-20 (T. LONG) AND BECOME PART OF ADJOINING PARCEL 530-S1-20F (W. LONG) TO CREATE LOT 1.
2. THE MUNICIPALITY CAN ISSUE FINAL APPROVAL OF THE SUBDIVISION PLAN OR BUILDING PERMIT IF THE PLAN OR PERMIT CONTAINS THE WORDING THAT "A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE STATE HIGHWAY LAW (PL 1242, NO. 428)"



OWNER: THOMAS D. LONG 754 WEST LIBERTY RD. SLIPPERY ROCK, PA 16057 724-794-8627	OWNER: WILLIAM D. LONG 738 WEST LIBERTY RD. SLIPPERY ROCK, PA 16057 724-794-1634
PARCEL ID: 530-S1-20 DEED REF: 200706080014499	PARCEL ID: 530-S1-20F DEED REF: 200009130021453

NORTHERN
SURVEYORS AND ASSOCIATES
137 LINK LANE
SLIPPERY ROCK, PA 16057
(724)530-6889
northernsurveyor@gmail.com

Scale 1" = 50'
Date May 27, 2020

Long Lot Line Revision

Situate in **West Liberty Borough**
Butler County, Pa.

Prepared For
William Long

Job No.
3296

Sheet No. 1 of 1

PLAN BOOK	PAGE
392	13

KNOW ALL MEN BY THESE PRESENTS; THAT Daniel B Greenway, DOES HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN WORTH TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF WORTH, Daniel B Greenway, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF WORTH, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON Daniel B Greenway MY SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 01 DAY OF December 2020.

ATTEST:
 WITNESS _____

 *EXECUTOR
 For Donald Greenway

COMMONWEALTH OF PENNSYLVANIA) SS:
 COUNTY OF BUTLER)
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED Daniel B Greenway AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.
 WITNESS MY HAND AND SEAL THIS 01 DAY OF December 2020.
 MY COMMISSION EXPIRES THE 30 DAY OF October 2022.
Melissa S Krenzer
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
 Melissa S. Krenzer, Notary Public
 Mercer County
 My commission expires October 20, 2022
 Commission number 1228203
 Member, Pennsylvania Association of Notaries

REVIEWED BY THE WORTH TOWNSHIP PLANNING COMMISSION THIS 23 DAY OF October 2020.
Michael J. Moran Kent J. Matus
 SECRETARY CHAIRMAN

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WORTH HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF ALLEGHENY ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS, OR ROADS, OR GRADES, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WORTH, THIS 1 DAY OF December 2020.
Shari Mung
 SECRETARY

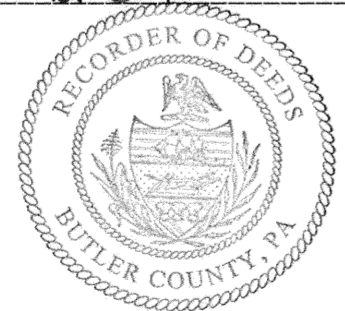
Thomas H. Bunn
 CHAIRMAN, BOARD OF SUPERVISORS
Brian J. McManus
 SUPERVISOR

I, JEFFREY A. SHUTY, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS AND OR AGENTS.
11/23/2020
 DATE REG. NO. SU075509

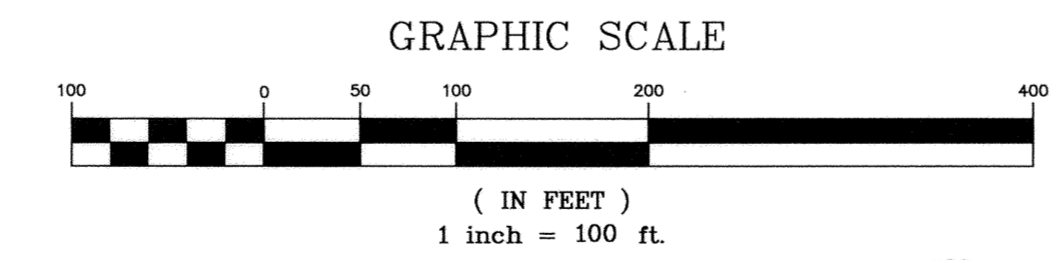
REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 18TH DAY OF Nov 2020.
R. H. G. M.
 SECRETARY J. H. G. M.
 CHAIRMAN

COMMONWEALTH OF PENNSYLVANIA) SS:
 COUNTY OF BUTLER)
 RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN SAID COUNTY IN PLAN BOOK VOLUME 392 PAGE 14
 GIVEN UNDER MY HAND AND SEAL THIS 1ST DAY OF March 2021.

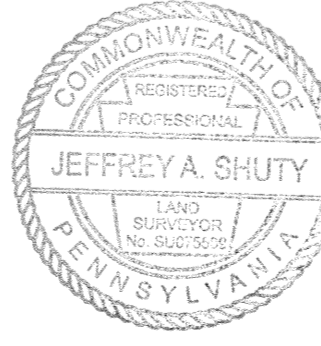
Michele M. Mustello
 RECORDER



MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024

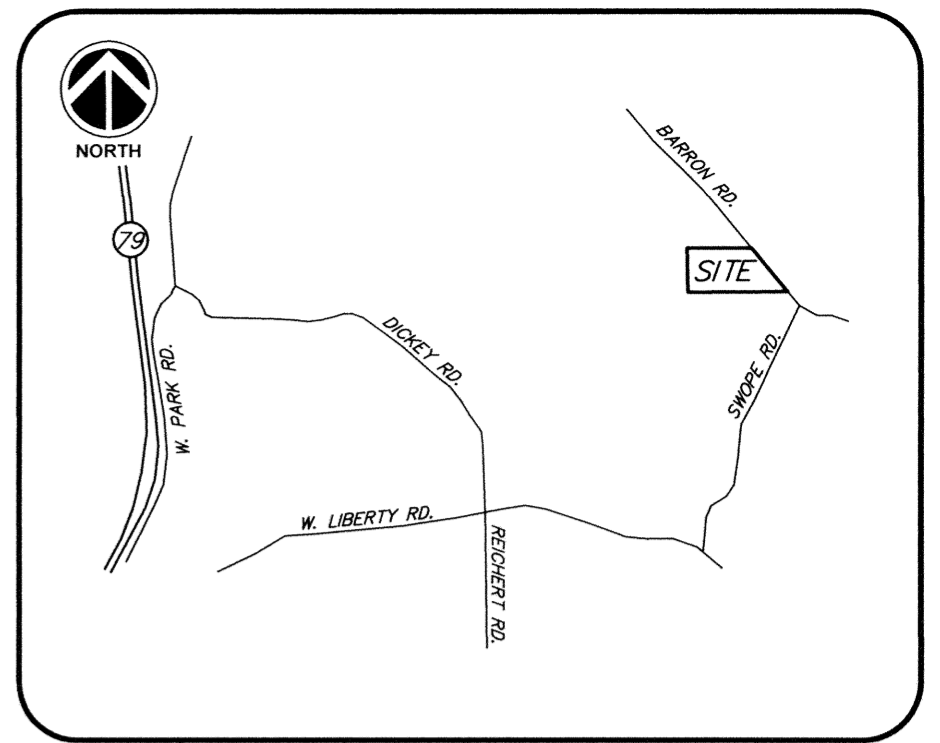


PLAN BOOK	PAGE
392	14

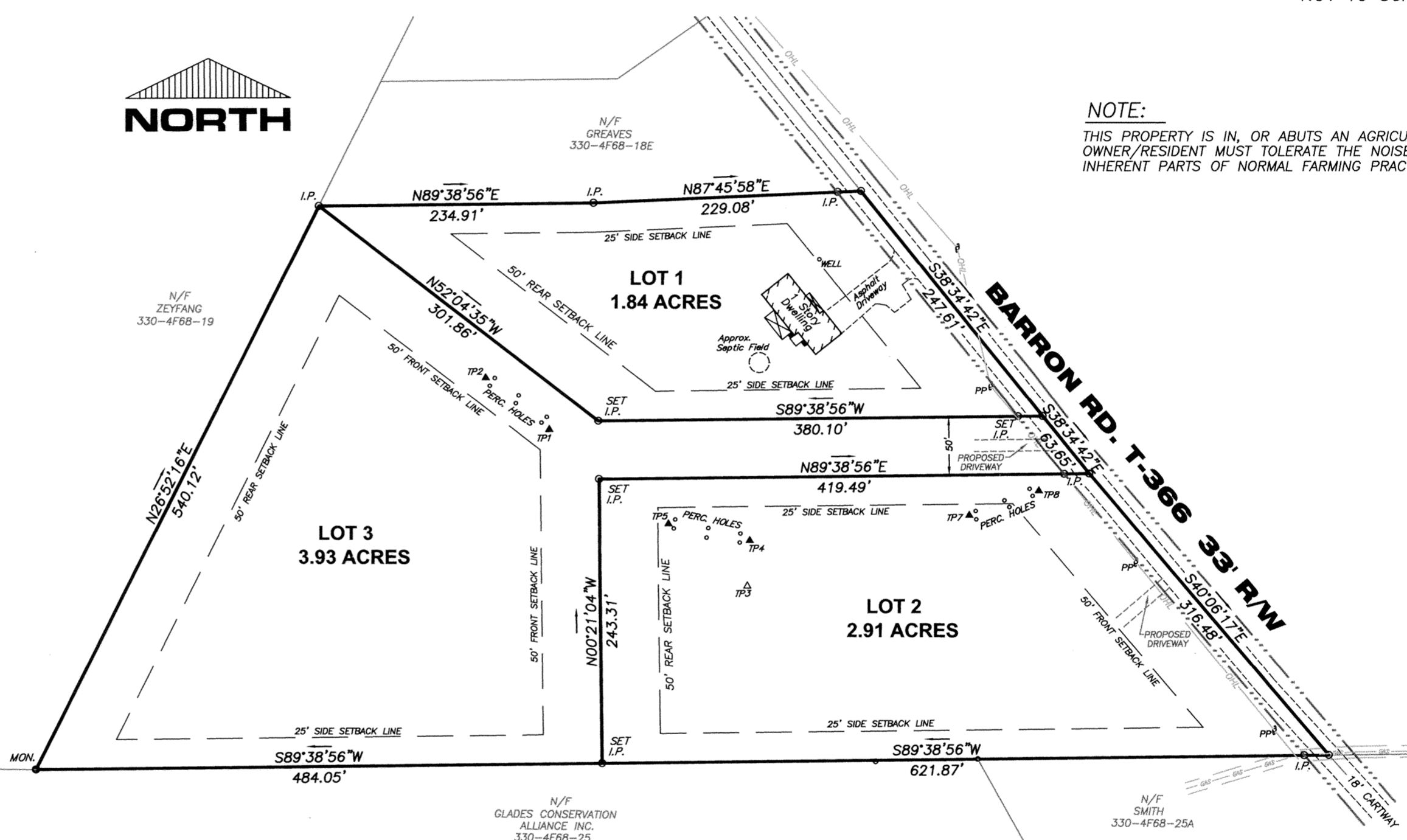


NORTHERN
 SURVEYORS AND ASSOCIATES
 137 LINK LANE
 SLIPPERY ROCK, PA 16057
 (724)530-6889
 northernsurveyor@gmail.com

Instr: 202103010005698
 Pg: 1 F: 545.00
 Michele Mustello
 Butler County Recorder PA
 3/1/2021 10:01 AM
 T20210094166



NOTE:
 THIS PROPERTY IS IN, OR ABUTS AN AGRICULTURAL SECURITY AREA, AND THE OWNER/RESIDENT MUST TOLERATE THE NOISE, DUST AND ODORS WHICH ARE INHERENT PARTS OF NORMAL FARMING PRACTICES.



TOTAL PLAN AREA 8.68 ACRES
 LOT 1 1.84 ACRES
 LOT 2 2.91 ACRES
 LOT 3 3.93 ACRES

TAX ID: 330-4F68-18F
 INSTR: 200606300016370
 PLAN REF: BK. 292 PG. 38

OWNER:
 DONALD & MARGARET GREENWAY
 388 BARRON ROAD
 SLIPPERY ROCK, PA 16057
 724-967-5554

Scale 1" = 100'	GREENWAY - SUBDIVISION No. 2
Date OCT. 19, 2020	
Job No. 3317	Situate in Worth Township Butler County, Pa.
	Prepared For Laurie Roberts
	Sheet No. 1 of 1

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT WE, BETTY E. GIESLER AND JOSEPH GREEN & SHIRLEY K. SCOPEL, OF THE TOWNSHIP OF CLEARFIELD AND/OR WINFIELD, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF CLEARFIELD AND/OR WINFIELD, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CLEARFIELD AND/OR WINFIELD, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CLEARFIELD AND/OR WINFIELD, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE HERETO SET OUR HAND AND SEAL, THIS 22 DAY OF DECEMBER, 2020.
 Betty E. Giesler
 Betty E. Giesler
 Joseph Green
 Shirley K. Scovel
 Shirley K. Scovel

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, MICHELE M. MUSTELLO, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.
 SWORN TO AND SUBSCRIBED BEFORE ME THIS 22 DAY OF DECEMBER, 2020.
 MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023.
 Michele M. Mustello
 Notary Public

Commonwealth of Pennsylvania - Notary Seal
 Debra L. Jeffcoat, Notary Public
 Butler County
 My commission expires February 17, 2023
 Commission number 1152784
 Member, Pennsylvania Association of Notaries

WINFIELD TOWNSHIP
MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WINFIELD, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF WINFIELD ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORIGINALLY INSTALLED IN TOWNSHIP STREETS OR ROADS.

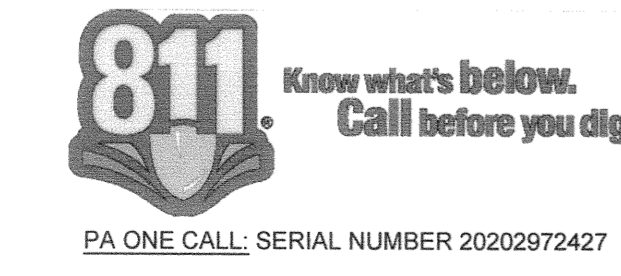
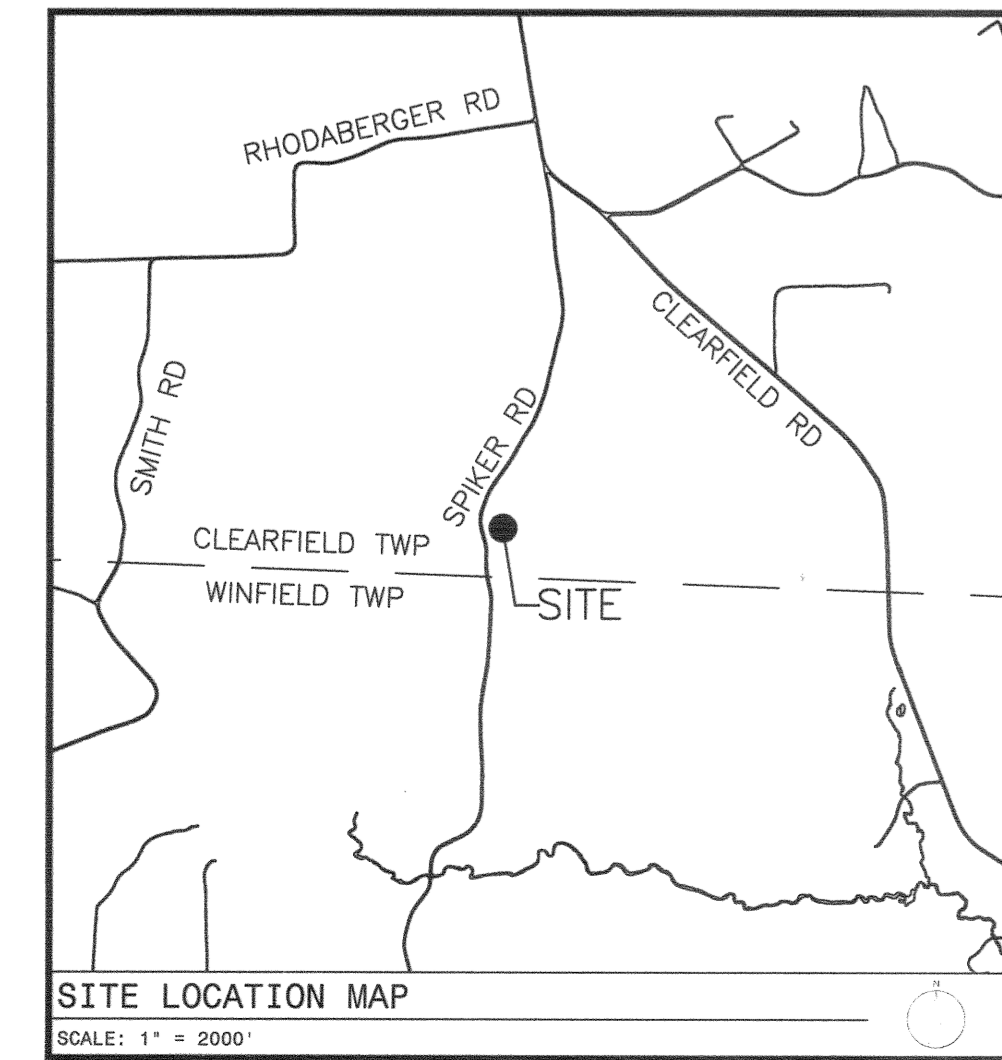
MUNICIPAL REVIEW AND APPROVAL STATEMENTS
 APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WINFIELD THIS 17th DAY OF December, 2020.
 Paul Faltus
 Chairman, Board of Supervisors

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF WINFIELD THIS 2nd DAY OF December, 2020.
 Marka Klabruck
 Chairman, Planning Commission

CLEARFIELD TOWNSHIP
MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLEARFIELD, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF CLEARFIELD ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORIGINALLY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS
 APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLEARFIELD THIS 1st DAY OF January, 2021.
 Dan Smith
 Chairman, Board of Supervisors

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF CLEARFIELD THIS 1st DAY OF January, 2021.
 Dan Smith
 Chairman, Planning Commission



NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS AND ASSIGNS.
 DATE 16 DEC 2020
 Stanley D. Graff
 Registered Professional Surveyor
 No. 10064

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 18th DAY OF January, 2021.
 Secretary: [Signature]
 Chairman: [Signature]

PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 392, PAGE(S) 15.
 GIVEN UNDER MY HAND AND SEAL THIS 1st DAY OF March, 2021.
 Michele M. Mustello
 Recorder of Deeds

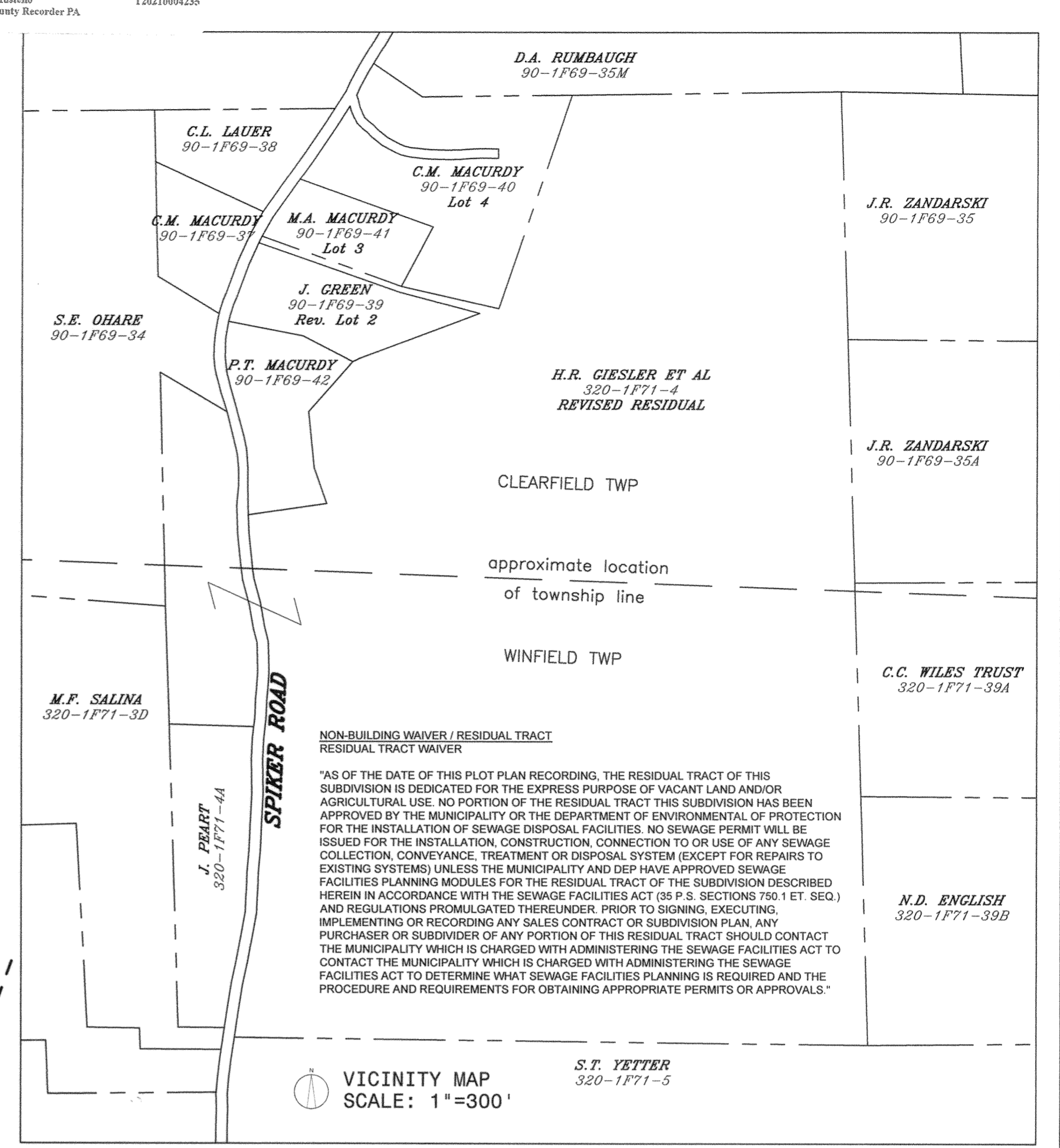
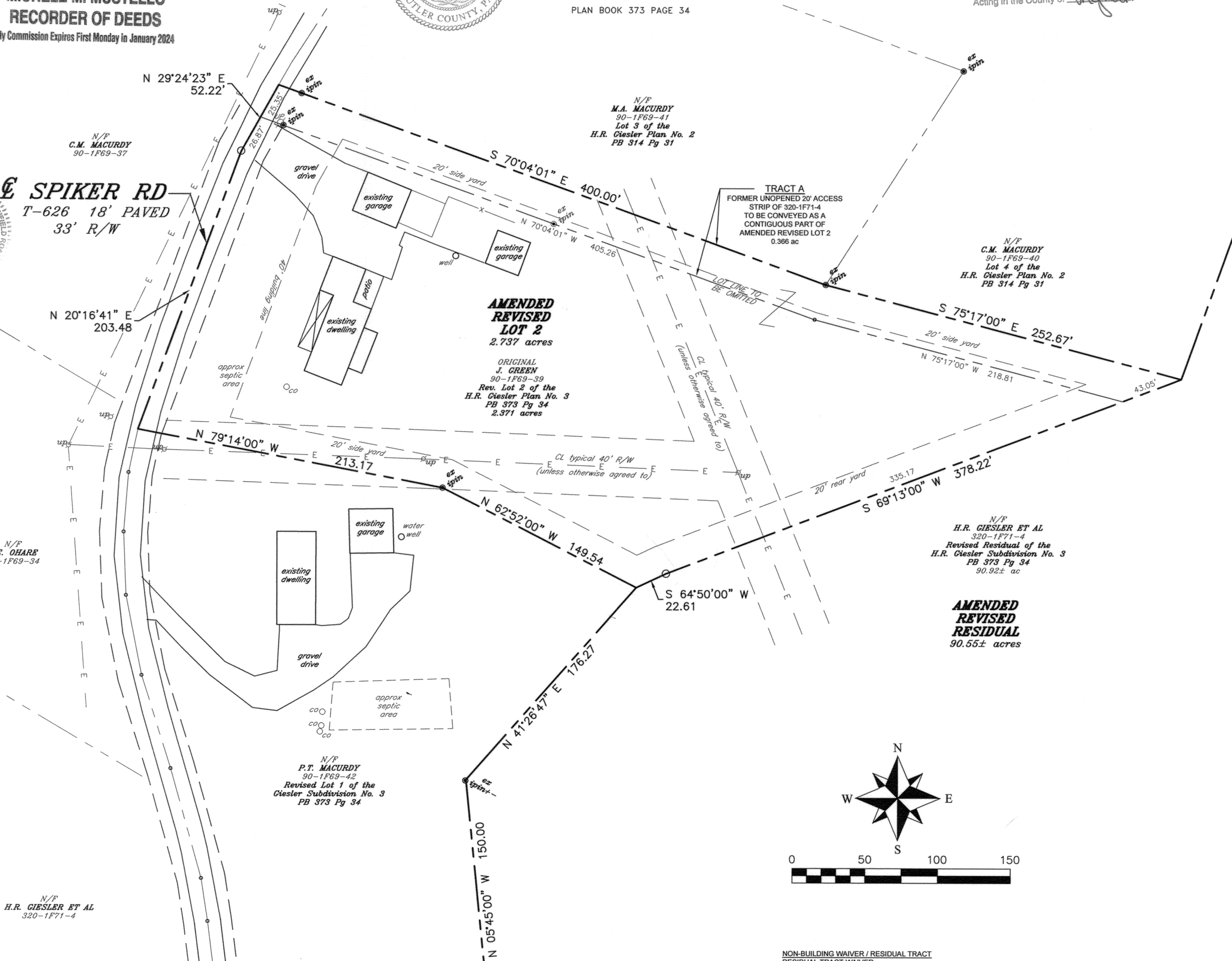
MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT WE, JAMES F. GREEN JR. & ANN L. GREEN, OF THE TOWNSHIP OF CLEARFIELD AND/OR WINFIELD, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF CLEARFIELD AND/OR WINFIELD, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CLEARFIELD AND/OR WINFIELD, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CLEARFIELD AND/OR WINFIELD, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE HERETO SET OUR HAND AND SEAL, THIS 5th DAY OF January, 2021.
 James F. Green Jr.
 Ann L. Green

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE Michigan Co., PERSONALLY APPEARED THE ABOVE NAMED, JAMES F. GREEN JR. & ANN L. GREEN, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.
 SWORN TO AND SUBSCRIBED BEFORE ME THIS 5th DAY OF January, 2021.
 MY COMMISSION EXPIRES THE 12 DAY OF August, 2023.
 Sheryl Ayers
 Notary Public - Michigan
 Eaton County
 Comm. Ex. Aug 12, 2023
 Acting in the County of Michigan

REFERENCES:
 GIESLER SUBDIVISION
 PLAN BOOK 215 PAGE 41
 H.R. GIESLER PLAN NO. 2
 PLAN BOOK 314 PAGE 31
 H.R. GIESLER PLAN NO. 3
 PLAN BOOK 373 PAGE 34



PROPERTY AREAS:	
EXISTING TOTALS	
Rev. Lot 2 (090-1F69-39)	2.371 ac
+ Residual (320-1F71-4)	90.92 ac +/-
EXISTING TOTAL	93.29 ac
AMENDED REVISED LOT 2 (090-1F69-39)	
Rev. Lot 2 (1F69-39)	2.371 ac
+ Tract A	0.366 ac
AMENDED REV. LOT 2 TOTAL	2.737 ac
AMENDED REVISED RESIDUAL (320-1F71-4)	
Rev. Residual (1F71-4)	90.92 ac +/-
+ Tract A	0.366 ac
AMENDED REV. RESIDUAL TOTAL	90.55 ac +/-
REVISED TOTALS	
Amended Revised Lot 2	2.737 ac
+ Amended Revised Residual	90.55 ac +/-
REVISED TOTAL	93.29 ACRES

- GENERAL NOTES:**
- OWNERS: 090-1F69-39 - JOSEPH GREEN & SHIRLEY K. SCOPEL
 320-1F71-4 - BETTY E. GIESLER
 JAMES F. GREEN JR. & ANN L. GREEN
 JOSEPH GREEN
 - ADDRESS: JOSEPH GREEN
 277 SPIKER RD
 CABOT, PA 16023
 - SETBACKS: FRONT LINE - 40'
 SIDE AND REAR - 20'
 - PA ONE CALL 20202972427
 - REFERENCES:
 - CURRENT DEEDS OF RECORD
 - PREVIOUSLY RECORDED PLANS
 - GIESLER SUBDIVISION
 PLAN BOOK 215 PG 41
 - H.R. GIESLER PLAN NO. 2
 PLAN BOOK 314 PG 31
 - GIESLER PLAN NO. 3
 PLAN BOOK 373 PG 34

RECORDED	20
PLAN BOOK	PAGE
392	15
SHEET	of

A	REVISIONS PER TOWNSHIP REVIEW	SDG	12/13/20
REV	DESCRIPTION	BY	DATE

GRAFF SURVEYING

GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 | F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION
GIESLER PLAN NO. 4
 BEING A
LOT LINE REVISION
 FOR
GIESLER AND GREEN

SITUATE
 TOWNSHIPS OF CLEARFIELD & WINFIELD
 BUTLER COUNTY, PENNSYLVANIA

DATE	DRAWN	CHECKED	SCALE
10/27/20	BAG	Sdg	1" = 50'

PROJECT NO.	TAX PARCEL NO.	REVISION
20-201	090-1F69-39 320-1F71-4	A

OWNERS ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT VICTORY REAL ESTATE HOLDINGS, LLC, BY VIRTUE OF A RESOLUTION OF ITS BOARD OF DIRECTORS, DOES HEREBY ADOPT THIS PLAN OF SUBDIVISION OF ITS PROPERTIES, SITUATE IN THE TOWNSHIP OF CLINTON, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR OVER ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE HIGHWAY, DRAINAGE, SEWERAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE TOWNSHIP OF CLINTON, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA.
 VICTORY REAL ESTATE HOLDINGS, LLC HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS TO RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF CLINTON, COUNTY OF BUTLER, ITS SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON VICTORY REAL ESTATE HOLDINGS, LLC ITS SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.
 IN WITNESS WHEREOF, THE SAID LIMITED LIABILITY CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE HAND OF ITS PRESIDENT AND SAME TO BE ATTESTED BY ITS SECRETARY
 THIS 17th DAY OF FEBRUARY, 2021.

VICTORY REAL ESTATE HOLDINGS, LLC
 NAME OF CORPORATION DATE 17 FEB 2021
 SECRETARY Amy M. Thomas x W. Brent Thomas PRESIDENT

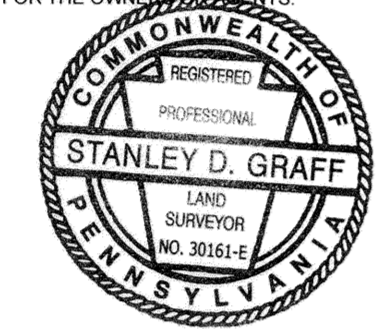
ACKNOWLEDGMENT OF NOTARY PUBLIC
 COMMONWEALTH OF PENNSYLVANIA)
 COUNTY OF BUTLER) SS:
 ON THIS 17th DAY OF FEBRUARY, 2021 BEFORE ME, NOTARY PUBLIC AND FOR SAID COUNTY OF COMMONWEALTH, PERSONALLY APPEARED W. BRENT THOMAS, PRESIDENT OF VICTORY REAL ESTATE HOLDINGS, LLC, WHO BEING DULY SWORN, DEPOSES AND SAYS THAT HE WAS PERSONALLY PRESENT AT THE EXECUTION, RELEASE AND DEDICATION AND SAW THE COMMON AND CORPORATE SEAL OF THE SAID CORPORATION DULY SIGNED AND SEALED BY AND AS FOR THE ACT AND DEED OF THE SAID VICTORY REAL ESTATE HOLDINGS, LLC FOR THE USES AND PURPOSES THEREIN MENTIONED, AND THAT THE NAME OF THIS DEPARTMENT SUBSCRIBED TO THE SAID RELEASED AND DEDICATION AS PRESIDENT OF SAID CORPORATION, IN ATTESTATION OF THE DUE EXECUTION AND DELIVERY OF SAID RELEASE AND DEDICATION OF THIS DEPARTMENT'S OWN AND PROPER AND RESPECTIVE HANDWRITING.

W. Brent Thomas PRESIDENT
 SWORN TO AND SUBSCRIBED BEFORE ME THIS 17th DAY OF February, 2021
 MY COMMISSION EXPIRES THE 26th DAY OF April, 2024

Commonwealth of Pennsylvania - Notary Seal
 Elaine M. Day, Notary Public
 Butler County
 My commission expires April 26, 2024
 Commission number 1269124
 Member, Pennsylvania Association of Notaries

SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON THE ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES, AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS AS SHOWN ON THE PLAN HAVE BEEN SET, AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS' BENEFIT.

10 FEB 2021 DATE
 Stanley D. Graff REG. NO. SU-00000000



MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLINTON, HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF CLINTON ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS OR ROADS OR TO GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

Secretary Secretary
 Chairperson Chairperson
 BOARD OF SUPERVISORS PLANNING COMMISSION

MUNICIPAL REVIEW AND APPROVAL STATEMENTS
 REVIEWED BY THE TOWNSHIP OF CLINTON PLANNING COMMISSION THIS 22 DAY OF February, 2021.

Secretary Secretary
 Chairperson Chairperson
 BOARD OF SUPERVISORS PLANNING COMMISSION

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLINTON BY RESOLUTION NO. 801 ON THIS 8th DAY OF February, 2021.

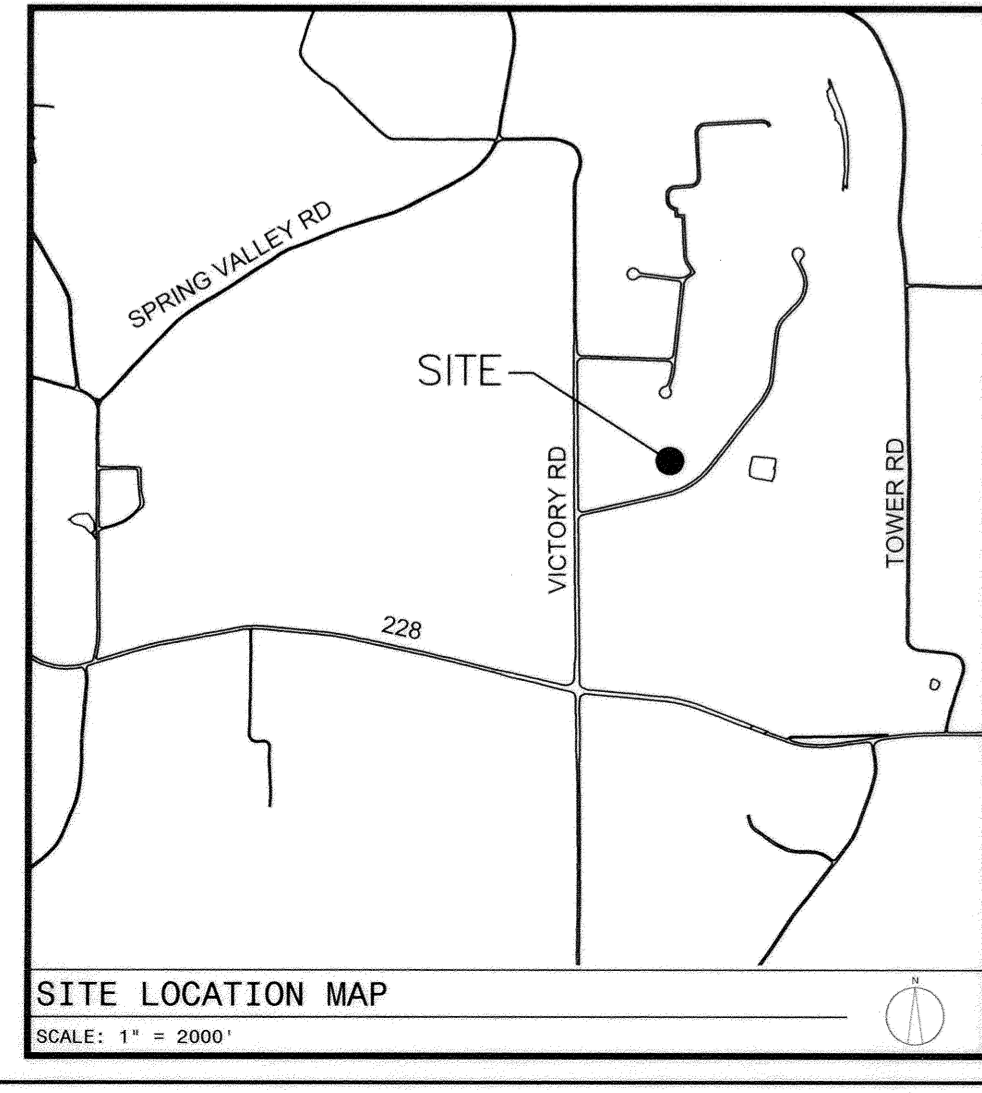
Secretary Secretary
 Chairperson Chairperson
 BOARD OF SUPERVISORS

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 17th DAY OF FEB., 2021.

SEE COMMENTS ON FILE AT THE BUTLER COUNTY PLANNING COMMISSION PLAN NUMBER 21029
 Secretary Secretary
 BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 392, PAGE 16
 GIVEN UNDER MY HAND AND SEAL THIS 1st DAY OF March, 2021.

Recorder of Deeds
 MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



AREA SUMMARY:

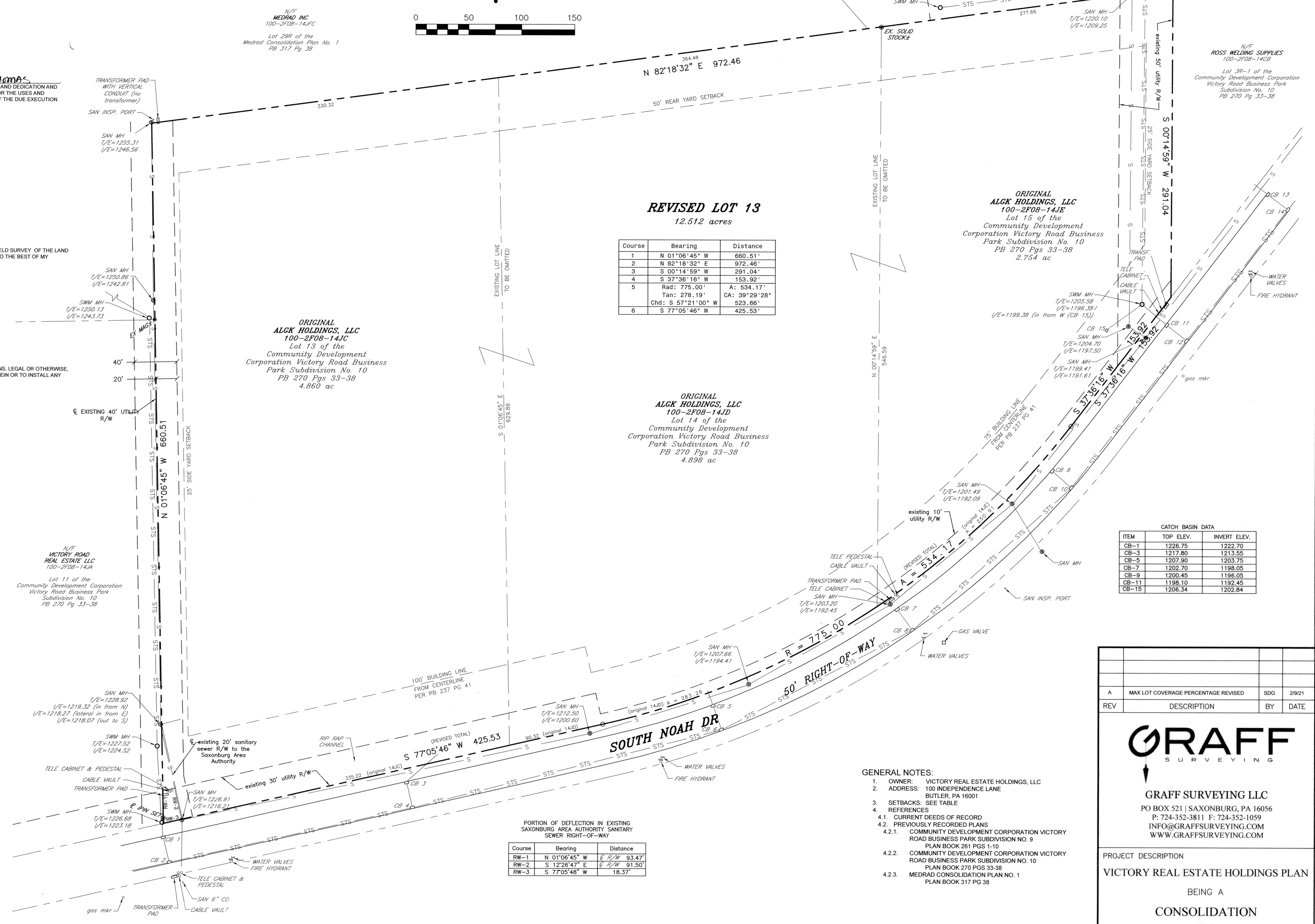
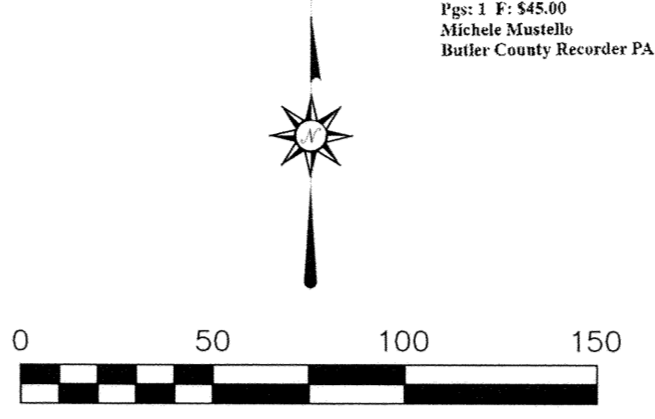
EXISTING TOTALS	
LOT 13 (100-2F08-14JC)	4.860 AC
LOT 14 (100-2F08-14JD)	4.898 AC
+LOT 15 (100-2F08-14JE)	2.754 AC
EXISTING TOTAL	12.512 AC
REVISED TOTALS	
REVISED LOT 13	12.512 AC

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

CLINTON TOWNSHIP INDUSTRIAL PARK

Dimension	All Permitted Uses
Min. Lot Area	2 acres
Min. Lot Width	150 feet
Min. Front Yard Depth	75 feet
Min. Side Yard Depth	25 feet
Min. Rear Yard Depth	50 feet
Max. Height	45 feet
Max. Coverage	10 %

Instr: 202103010005812
 File: 1 P. 144.00
 Michele Mustello
 Butler County Recorder PA
 3/1/2021 2:59 PM
 120210004238



VICTORY REAL ESTATE HOLDINGS PLAN

Being a consolidation of Lots 13, 14 and 15 of the Community Development Corporation Victory Road Business Park Subdivision No. 5, and being Butler County Tax Parcels 100-2F08-14JC (Lot 13), 100-2F08-14JD (Lot 14) and 100-2F08-14JE (Lot 15)

- GENERAL NOTES:
- OWNER: VICTORY REAL ESTATE HOLDINGS, LLC
 - ADDRESS: 100 INDEPENDENCE LANE BUTLER, PA 16001
 - SETBACKS: SEE TABLE
 - REFERENCES:
 - CURRENT DEEDS OF RECORD
 - PREVIOUSLY RECORDED PLANS
 - COMMUNITY DEVELOPMENT CORPORATION VICTORY ROAD BUSINESS PARK SUBDIVISION NO. 9 PLAN BOOK 261 PGS 1-10
 - COMMUNITY DEVELOPMENT CORPORATION VICTORY ROAD BUSINESS PARK SUBDIVISION NO. 10 PLAN BOOK 270 PGS 33-38
 - MEDRAD CONSOLIDATION PLAN NO. 1 PLAN BOOK 317 PG 38

RECORDED 20

PLAN BOOK	PAGE
392	16
SHEET	of



GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION
 VICTORY REAL ESTATE HOLDINGS PLAN
 BEING A
 CONSOLIDATION
 FOR
 VICTORY REAL ESTATE HOLDINGS, LLC

SITUATE
 CLINTON TOWNSHIP
 BUTLER COUNTY, PENNSYLVANIA

DATE	DRAWN	CHECKED	SCALE
9/20/2018	SDG	Sdg	1" = 50'
PROJECT NO.	TAX PARCEL NO.	REVISION	
21-007	100-2F08-14JC, 14JD, 14JE	A	

KNOW ALL MEN BY THESE PRESENTS; THAT SCOTT R. & SARAH L. RICE, DO HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN CHERRY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF CHERRY, SCOTT R. & SARAH L. RICE, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF CHERRY, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON SCOTT R. & SARAH L. RICE OUR SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 10th DAY OF February 2021.

ATTEST:
Scott R. Rice OWNER
Sarah L. Rice OWNER

COMMONWEALTH OF PENNSYLVANIA) SS:
 COUNTY OF Butler)

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED SCOTT R. & SARAH L. RICE AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.

WITNESS MY HAND AND SEAL THIS 10th DAY OF February 2021
 MY COMMISSION EXPIRES THE 06 DAY OF MARCH 2024.

Doreen J. Neff
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
 Doreen J. Neff, Notary Public
 Butler County
 My commission expires March 6, 2024
 Commission number 1120575
 Member, Pennsylvania Association of Notaries

KNOW ALL MEN BY THESE PRESENTS; THAT LARRY C. SNYDER, DOES HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN CHERRY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF CHERRY, LARRY C. SNYDER, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF CHERRY, MY SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON LARRY C. SNYDER MY SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 10th DAY OF February 2021.

ATTEST:
Larry C. Snyder OWNER
 OWNER

COMMONWEALTH OF PENNSYLVANIA) SS:
 COUNTY OF Butler)

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED LARRY C. SNYDER AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.

WITNESS MY HAND AND SEAL THIS 10 DAY OF February 2021
 MY COMMISSION EXPIRES THE 06 DAY OF MARCH 2024.

Doreen J. Neff
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
 Doreen J. Neff, Notary Public
 Butler County
 My commission expires March 6, 2024
 Commission number 1120575
 Member, Pennsylvania Association of Notaries

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CHERRY HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF CHERRY ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS, OR ROADS, OR GRADES, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CHERRY, THIS 2ND DAY OF MARCH 2021.

Carolyn L. Yeager SECRETARY
Frank Trout CHAIRMAN, BOARD OF SUPERVISORS
Doreen J. Neff SUPERVISOR

I, JEFFREY A. SHUTY, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS AND OR AGENTS.

1/13/21 DATE
Jeffrey A. Shuty REG. NO. SU075509

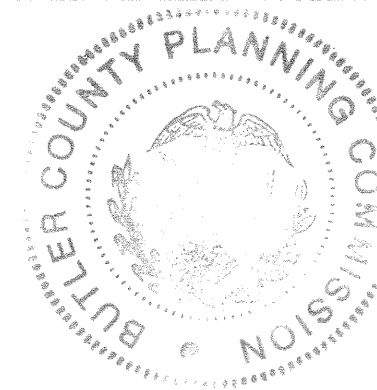
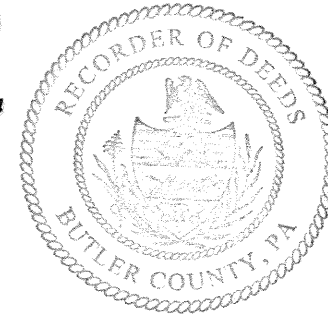
DRM REVIEWED/ APPROVED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 16th DAY OF DEC 2020
R. H. ... SECRETARY
J. H. ... CHAIRMAN

COMMONWEALTH OF PENNSYLVANIA) SS:
 COUNTY OF BUTLER)

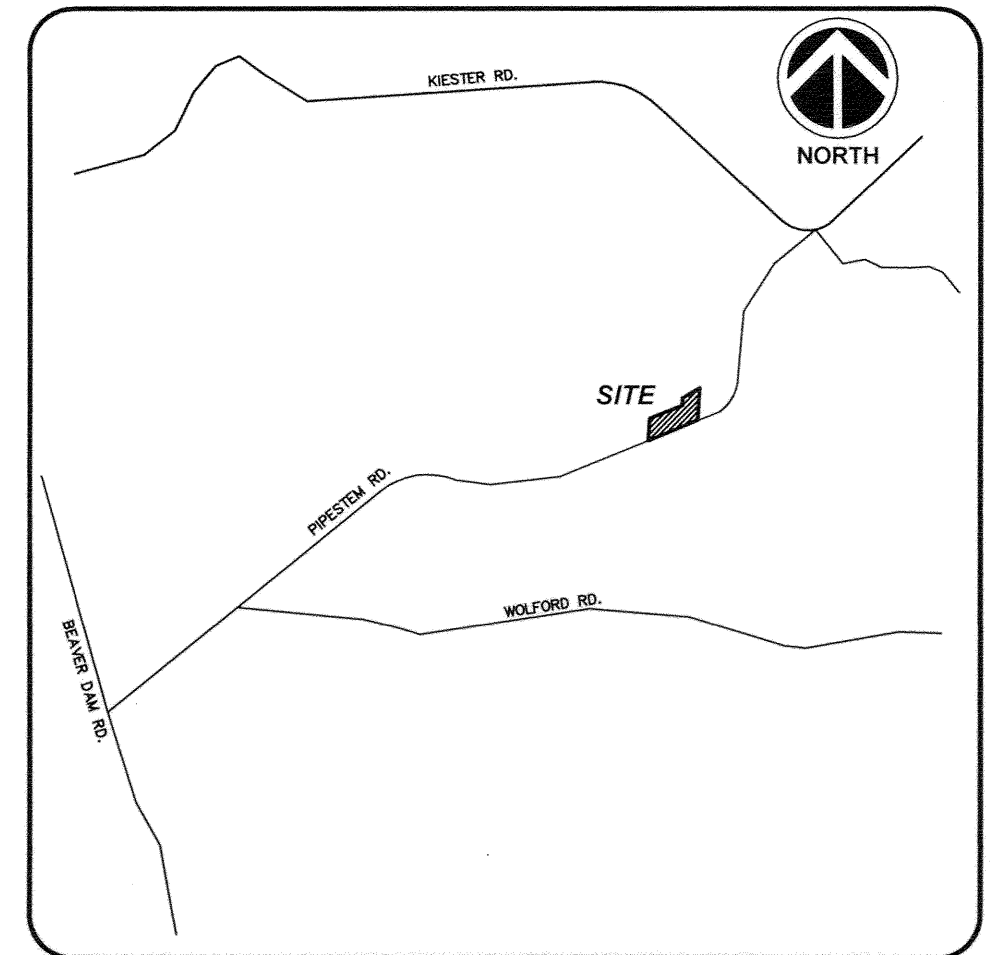
RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN SAID COUNTY IN PLAN BOOK VOLUME 392 PAGE 17

GIVEN UNDER MY HAND AND SEAL THIS 5th DAY OF March 2021.

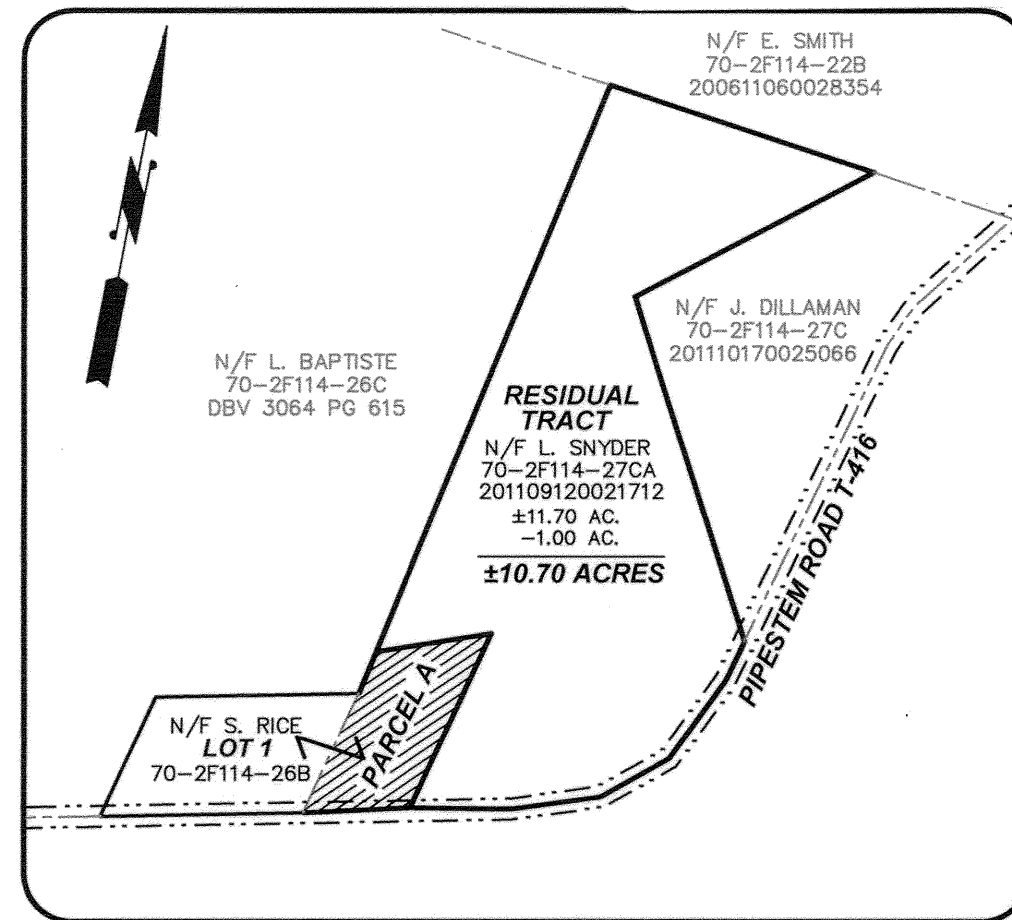
Michele M. Mustello RECORDER
MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



Instr: 202103050006327
 Pgs: 1 F: 545.00 3/5/2021 11:25 AM
 Michele Mustello T20210004637
 Butler County Recorder PA

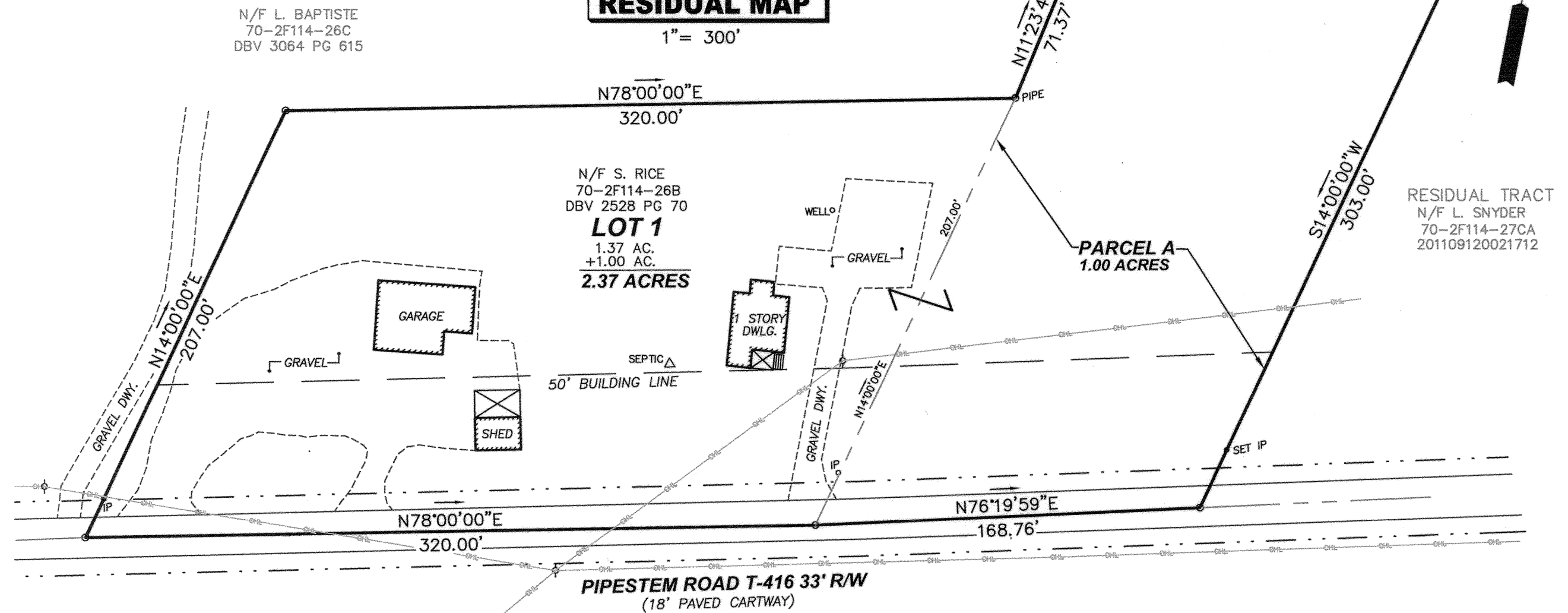


VICINITY MAP
 NOT TO SCALE



RESIDUAL MAP
 1" = 300'

TOTAL PLAN AREA ±13.07 ACRES
 LOT 1 2.37 ACRES
 RESIDUAL TRACT ±10.70 ACRES

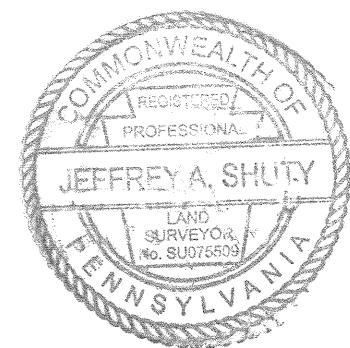


NOTES:
 1. PARCEL "A" IS NOT A SEPARATE BUILDING LOT AND IS TO BE CONVEYED FROM PARCEL 70-2F114-27CA (SNYDER) AND BECOME PART OF ADJOINING PARCEL 70-2F114-26B (RICE) TO CREATE LOT 1.

GRAPHIC SCALE (IN FEET) 1 inch = 50 ft.	OWNER: SCOTT R. & SARAH L. RICE 229 PIPESTEM ROAD SLIPPERY ROCK, PA 16057 724-822-3663	OWNER: LARRY C. SNYDER 199 PIPESTEM ROAD SLIPPERY ROCK, PA 16057
	PARCEL ID: 70-2F114-26B DEED REF: DBV 2528 PG 70	PARCEL ID: 70-2F114-27CA DEED REF: 201109120021712 PBV 324 PG 34

NORTHERN SURVEYORS AND ASSOCIATES 137 LINK LANE SLIPPERY ROCK, PA 16057 (724)530-6889 northernsurveyor@gmail.com	Scale 1" = 50' Date Dec. 7, 2020	Rice/Snyder Lot Line Revision
	Job No. 3348	Situate in Cherry Township Butler County, Pa. Prepared For Scott Rice

PLAN BOOK	PAGE
392	17



KNOW ALL MEN BY THESE PRESENTS; THAT WILLIAM J. & JAMES J. REICHERT, DOES HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN WORTH TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF WORTH, WILLIAM J. & JAMES J. REICHERT, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF WORTH, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON WILLIAM J. & JAMES J. REICHERT, MY SUCCESSORS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 26 DAY OF January 2021.

ATTEST: James J. Reichert OWNER
William J. Reichert OWNER

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF Butler) Lawrence
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED WILLIAM J. & JAMES J. REICHERT AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.
WITNESS MY HAND AND SEAL THIS 26 DAY OF January 2021.
MY COMMISSION EXPIRES THE 18 DAY OF August 2024.

Barbara J. Porada NOTARY PUBLIC
Commonwealth of Pennsylvania - Notary Seal
Barbara J. Porada, Notary Public
Lawrence County
My commission expires August 18, 2024
Commission number 1124869
Member, Pennsylvania Association of Notaries

KNOW ALL MEN BY THESE PRESENTS; THAT BRIAN J. & JAIME L. SLAMECKA, DOES HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN WORTH TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF WORTH, BRIAN J. & JAIME L. SLAMECKA, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF WORTH, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON BRIAN J. & JAIME L. SLAMECKA, MY SUCCESSORS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 26 DAY OF January 2021.

ATTEST: Brian J. Slamecka OWNER
Jaime L. Slamecka OWNER

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF Butler) Lawrence
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED BRIAN J. & JAIME L. SLAMECKA AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.
WITNESS MY HAND AND SEAL THIS 26 DAY OF January 2021.
MY COMMISSION EXPIRES THE 18 DAY OF August 2024.

Barbara J. Porada NOTARY PUBLIC
Commonwealth of Pennsylvania - Notary Seal
Barbara J. Porada, Notary Public
Lawrence County
My commission expires August 18, 2024
Commission number 1124869
Member, Pennsylvania Association of Notaries

REVIEWED BY THE WORTH TOWNSHIP PLANNING COMMISSION THIS 15th DAY OF JANUARY, 2021.
Matthew J. Mould CHAIRMAN
Matthew J. Mould SECRETARY

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WORTH HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF WORTH ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS, OR ROADS, OR GRADES, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

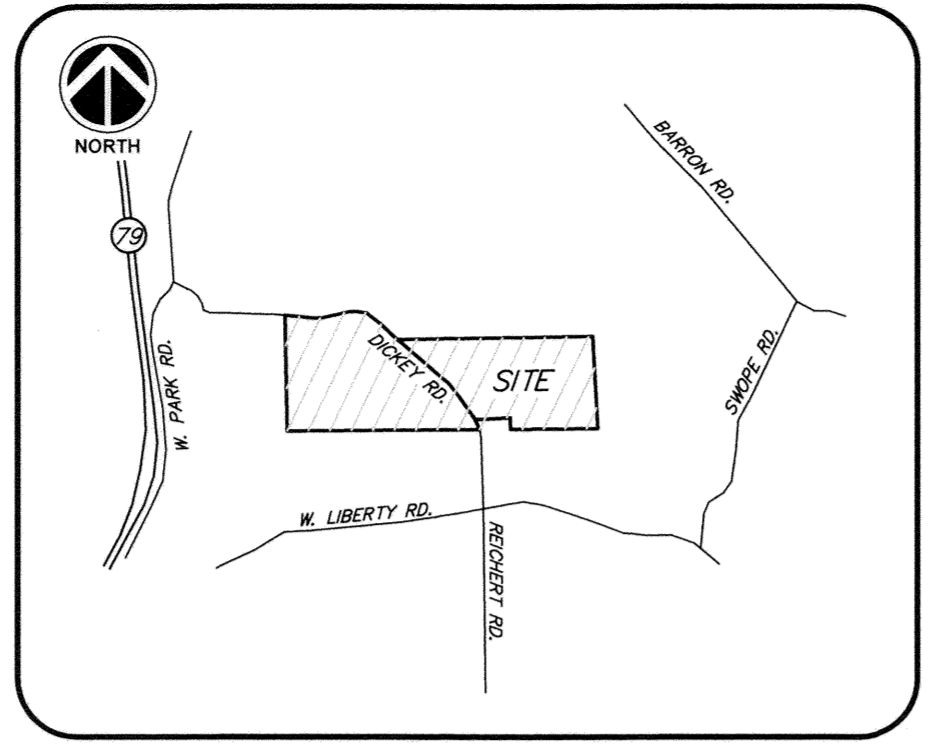
APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WORTH, THIS 2 DAY OF February, 2021.
Shari Meigs SECRETARY
Franklin J. Buncel CHAIRMAN, BOARD OF SUPERVISORS
Kaufman J. Buncel SUPERVISOR

I, JEFFREY A. SHUTY, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SUBMITTED AND PLOTTED BY ME FOR THE OWNERS AND OR AGENTS.
1/22/21 DATE
Jeffrey A. Shuty REG. NO. SU075509

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 16th DAY OF Dec., 2020.
Rita JRM SECRETARY
J. Ann JRM CHAIRMAN

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER)
RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN SAID COUNTY IN PLAN BOOK VOLUME 392 PAGE 18
GIVEN UNDER MY HAND AND SEAL THIS 5th DAY OF March, 2021.

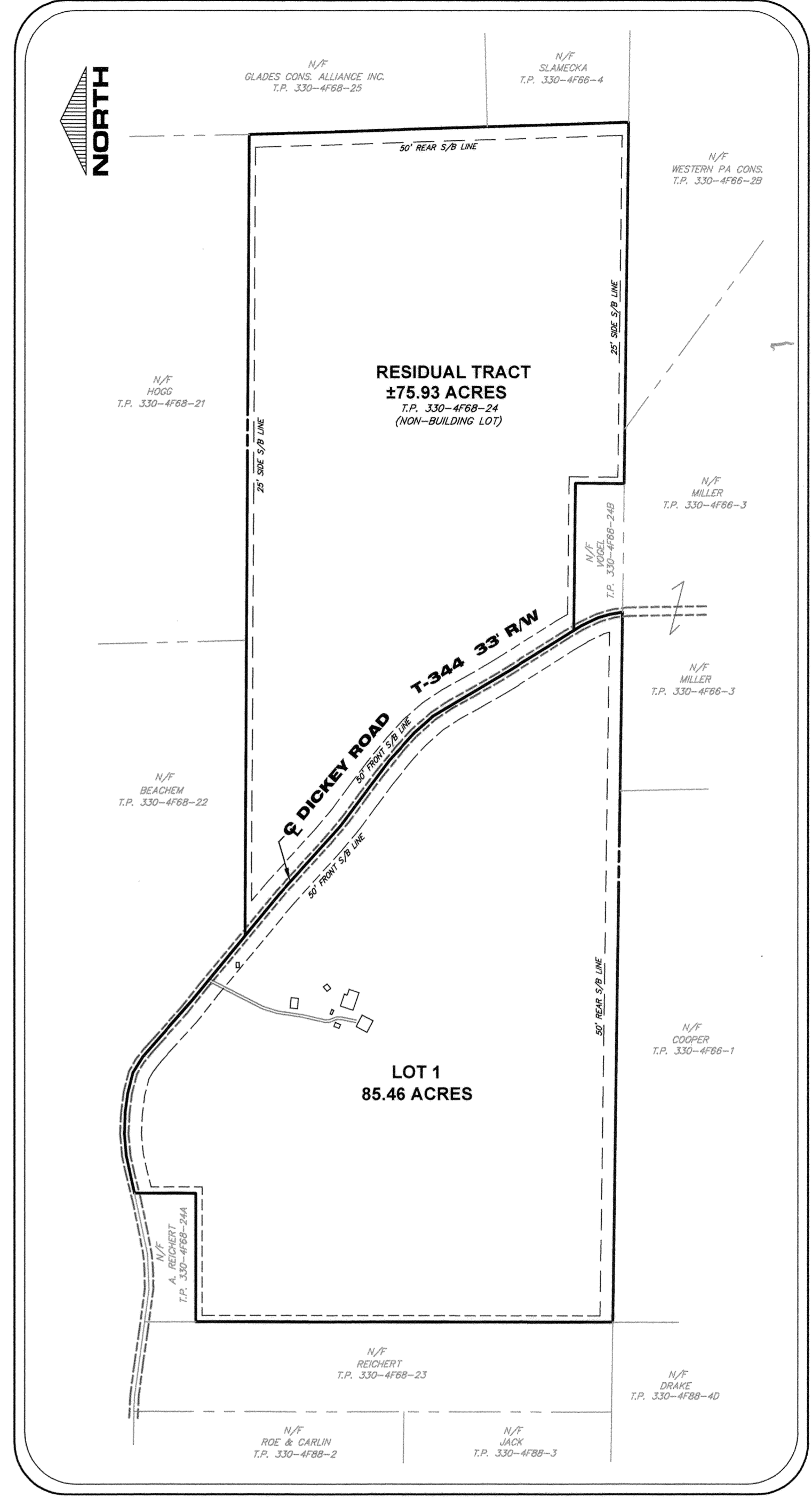
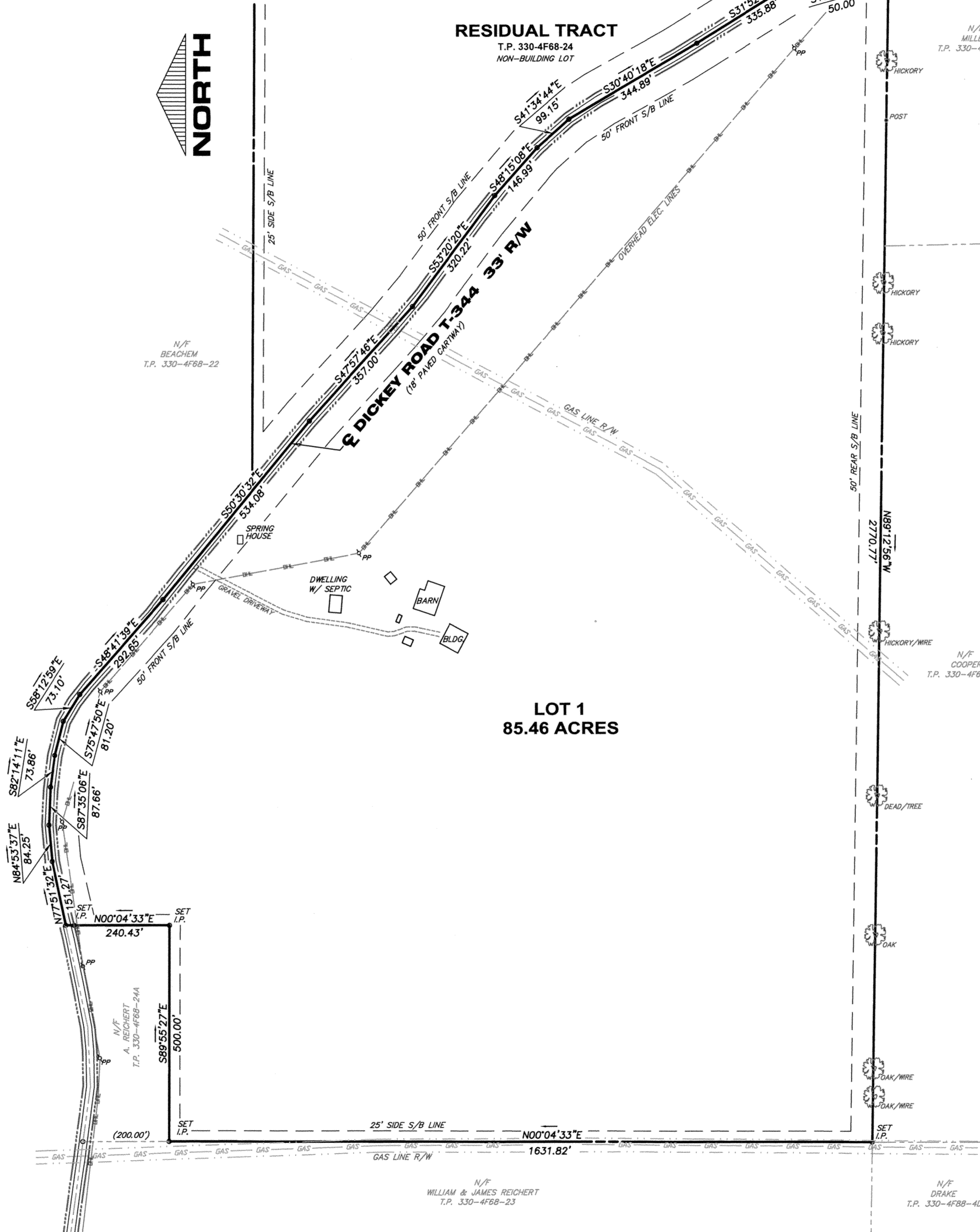
Michele M. Mustello RECORDED
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



VICINITY MAP
NOT TO SCALE

NON-BUILDING WAIVER
"As of the date of this deed/plot plan recording, the property/subdivision described herein is and shall be dedicated for the express purpose of AGRICULTURE use. No portion of the Residual Tract on this property/subdivision has been approved by Worth TWP. (Municipality) or the Department of Environmental Protection (DEP) for the installation of sewage disposal facilities. No sewage permit will be issued for the installation, construction, connection to or use of any sewage collection, conveyance, treatment or disposal system (except for repairs to existing systems) unless the municipality and DEP have both approved sewage facilities planning for the property/subdivision described herein in accordance with the Pennsylvania Sewage Facilities Act (35 P.S. Sections 750.1 et seq.) and regulations promulgated thereunder. Prior to signing, executing, implementing or recording any sales contract or subdivision plan, any purchaser or subdivisor of any portion of this property should contact appropriate officials of Worth TWP. (municipality), which is charged with administering the Sewage Facilities Act to determine what sewage facilities planning is required and the procedure and requirements for obtaining appropriate permits or approvals."

Instr: 20210305006328
Page 1 of 545.00
Michele Mustello
Butler County Recorder PA
3/8/2021 11:35 AM
13201000437



RESIDUAL TRACT MAP
SCALE: 1"=400'

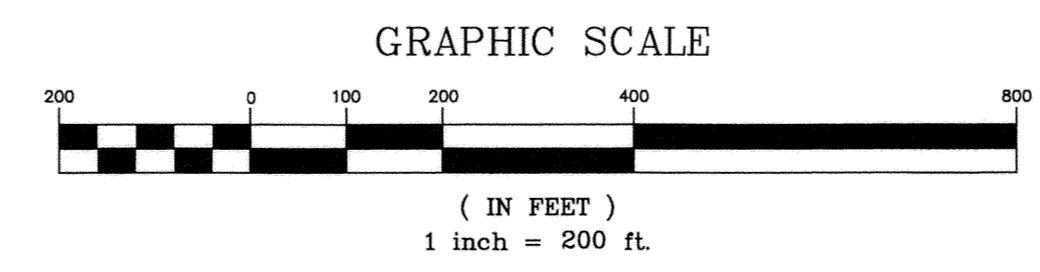
NOTE:
THIS PROPERTY IS IN, OR ABUTS AN AGRICULTURAL SECURITY AREA, AND THE OWNER/RESIDENT MUST TOLERATE THE NOISE, DUST AND ODORS WHICH ARE INHERENT PARTS OF NORMAL FARMING PRACTICES.

TAX ID: 330-4F68-24
INSTR: 202011020024890

OWNERS:
WILLIAM & JAMES REICHERT
208 REICHERT RD.
PORTERSVILLE, PA 16051
724-674-3267

TOTAL PLAN AREA ±161.39 ACRES
LOT 1 85.46 ACRES
RESIDUAL TRACT ±75.93 ACRES

BRIAN & JAIME SLAMECKA
110 SWOPE RD.
SLIPPERY ROCK, PA 16057



PLAN BOOK	PAGE
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<p>NORTHERN SURVEYORS AND ASSOCIATES 137 LINK LANE SLIPPERY ROCK, PA 16057 (724)530-6889</p>	Scale 1" = 200'	<p>REICHERT & SLAMECKA SUBDIVISION</p> <p>Situate in <u>Worth Township</u> <u>Butler County, PA.</u></p> <p>Prepared For JAMES REICHERT</p>
	Date <u>DEC. 1, 2020</u>	
	Job No. 3345	
	Sheet No. 1 of 1	

KNOW ALL MEN BY THESE PRESENTS; THAT WALTER F. & JOSHUA A. FUCHS HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN WORTH TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF WORTH, WALTER F. & JOSHUA A. FUCHS, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF WORTH, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADERS THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON WALTER F. & JOSHUA A. FUCHS OUR SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 20th DAY OF January 2021.

ATTEST:
Walter Fuchs OWNER
Joshua Fuchs OWNER
Walter Fuchs OWNER

STATE OF Ohio) SS:
COUNTY OF Columbiana)

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED Walter Fuchs, Joshua Fuchs AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.

WITNESS MY HAND AND SEAL THIS 20th DAY OF January 2021.
MY COMMISSION EXPIRES THE 1st DAY OF November 2021.



Samantha Mackay-Gird
NOTARY PUBLIC

REVIEWED BY THE WORTH TOWNSHIP PLANNING COMMISSION THIS 21st DAY OF JANUARY 2021

W.A. Stoltz SECRETARY
Kenneth J. Morist CHAIRMAN

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WORTH HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF WORTH ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS, OR ROADS, OR GRADES, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WORTH, THIS 2 DAY OF March 2021.

Shawn Meigs SECRETARY
Andrew W. Bensch CHAIRMAN, BOARD OF SUPERVISORS
Raymond J. Huber SUPERVISOR

I, JEFFREY A. SHUTY, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS AND OR AGENTS.

1/13/21 DATE
392 REG. NO. SU075509

REVIEWED/APPROVED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 16th DAY OF SEPT. 2020

R. Hu JRM SECRETARY
J Hu JRM CHAIRMAN

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER)

RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN SAID COUNTY IN PLAN BOOK VOLUME 392 PAGE 19

GIVEN UNDER MY HAND AND SEAL THIS 5th DAY OF March 2021.

Michele M. Mustello RECORDER
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires Next Month on January 2024



KNOW ALL MEN BY THESE PRESENTS; THAT B. HEATH WILKERSON DOES HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN WORTH TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF WORTH, B. HEATH WILKERSON HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF WORTH, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADERS THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON B. HEATH WILKERSON MY SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 15th DAY OF January 2021.

ATTEST:
B. Heath Wilkerson OWNER
OWNER

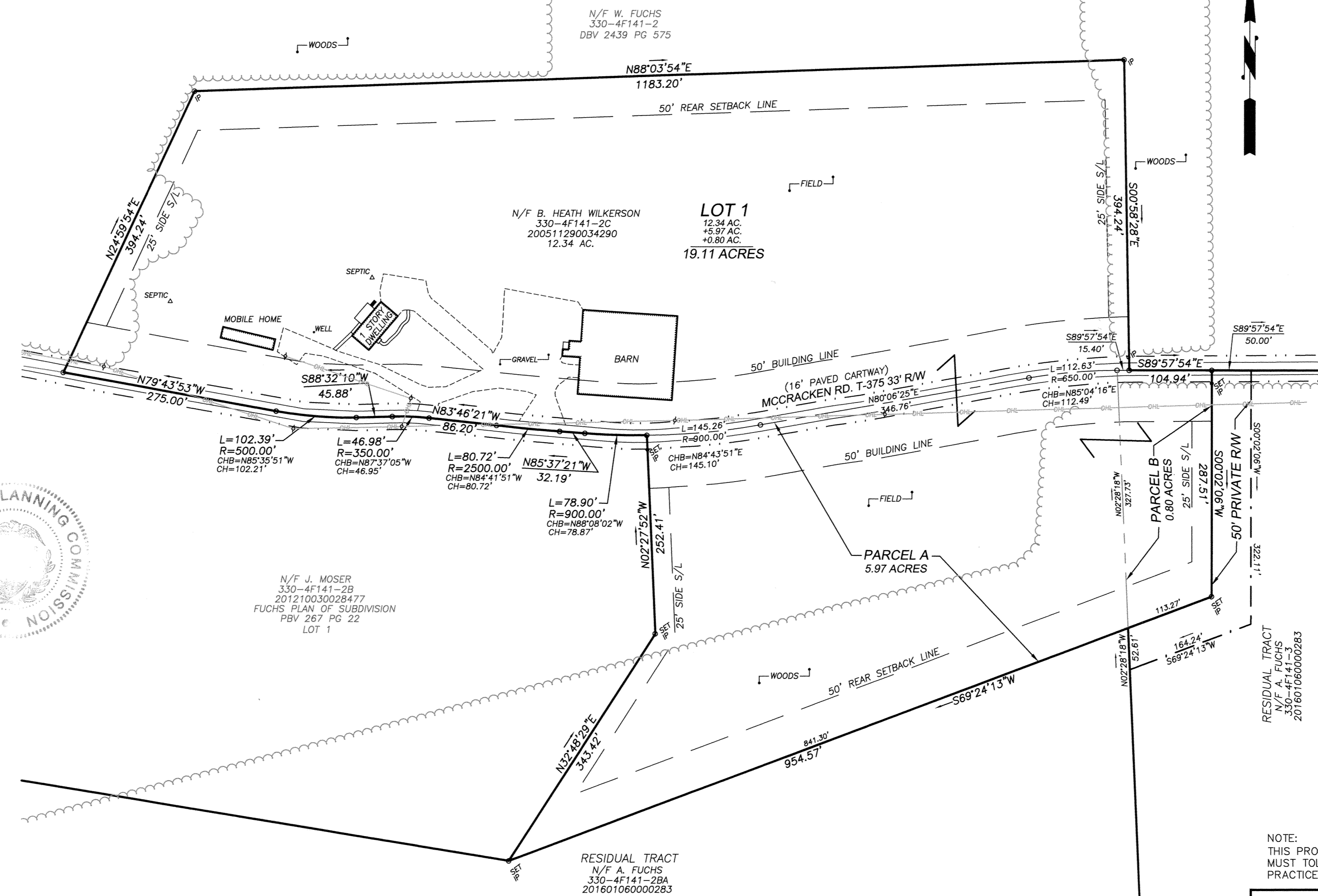
COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF Butler)

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED B. HEATH WILKERSON AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

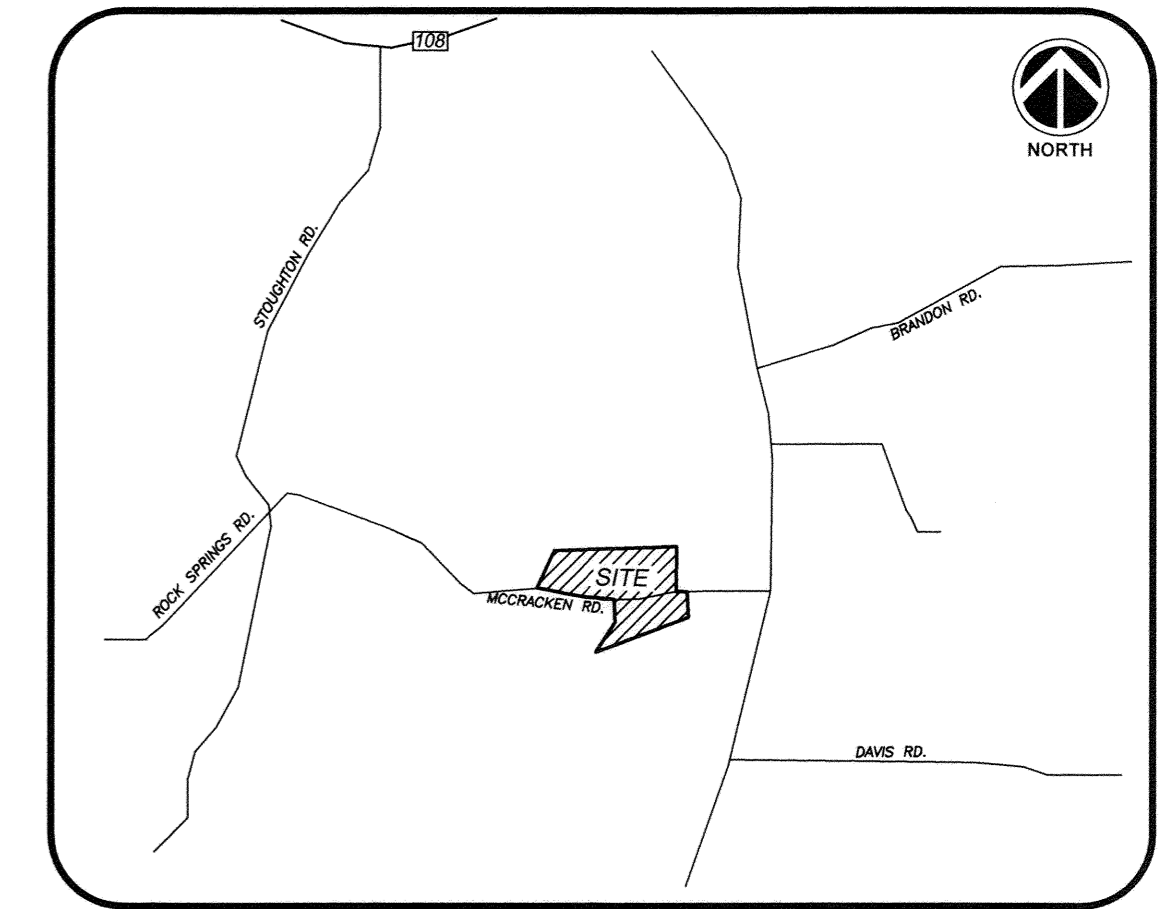
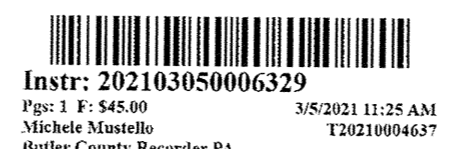
SWORN AND SUBSCRIBED BEFORE ME THIS DAY.

WITNESS MY HAND AND SEAL THIS 15th DAY OF January 2021.
MY COMMISSION EXPIRES THE 1st DAY OF April 2021.

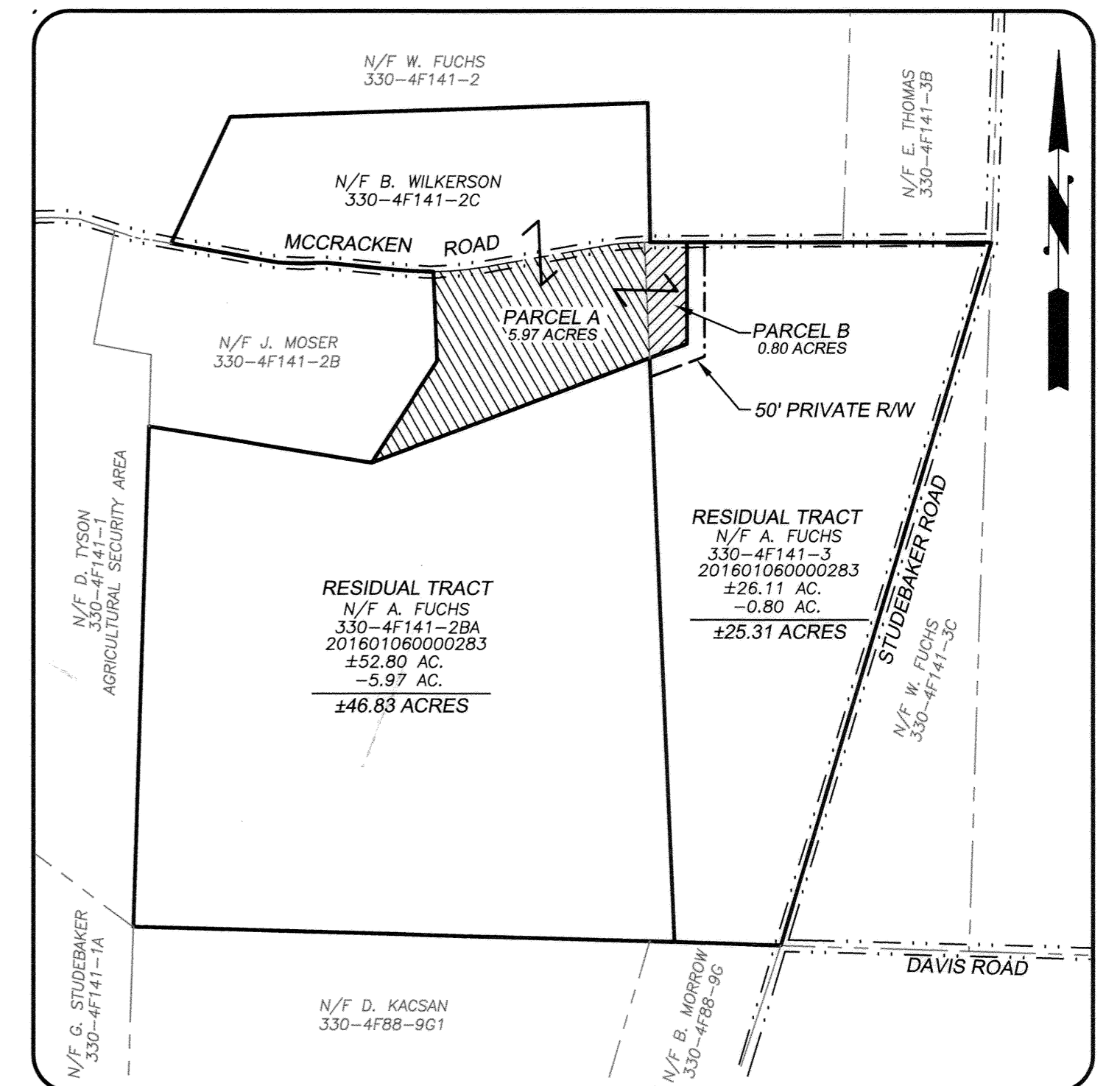
Jenelle L. Shanon NOTARY PUBLIC
NOTARY PUBLIC
COMMONWEALTH OF PENNSYLVANIA
Jenelle L. Shanon, Notary Public
Slippery Rock Boro, Butler County
My Commission Expires April 14, 2021
PERS. REG. # 00000000000000000000000000000000



- NOTES:
1. PARCEL "A" IS NOT A SEPARATE BUILDING LOT AND IS TO BE CONVEYED FROM PARCEL 330-4F141-2BA (FUCHS) AND BECOME PART OF ADJOINING PARCEL 330-4F141-2C (WILKERSON) TO CREATE LOT 1.
2. PARCEL "B" IS NOT A SEPARATE BUILDING LOT AND IS TO BE CONVEYED FROM PARCEL 330-4F141-3 (FUCHS) AND BECOME PART OF ADJOINING PARCEL 330-4F141-2C (WILKERSON) TO CREATE LOT 1.



VICINITY MAP
NOT TO SCALE



VICINITY MAP
1" = 400'

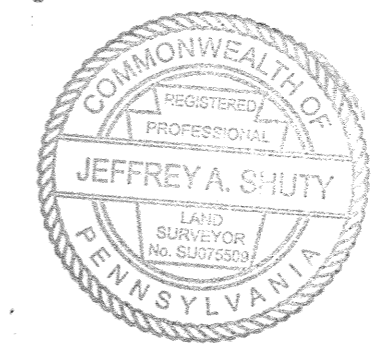
PRIVATE 50' RIGHT OF WAY
THE PRIVATE RIGHT OF WAY AS SHOWN ON THIS PLAN SHALL BE A MEANS OF VEHICULAR AND/OR PEDESTRIAN ENTRY, EGRESS AND REGRESS TO/FROM PARCEL 330-4F141-2BA.
THE PRIVATE RIGHT OF WAY IS NOT INTENDED AS A PUBLIC ROAD/STREET, HAS NOT BEEN DEDICATED FOR PUBLIC USE AND HAS NOT BEEN ACCEPTED AS A PUBLIC ROAD/STREET BY WORTH TOWNSHIP.
THE MAINTENANCE AND/OR REPAIR OF NONPUBLIC STREET SHALL BE THE FULL AND SOLE RESPONSIBILITY OF THE OWNER OF PARCEL 330-4F141-2BA.

TOTAL PLAN AREA	#91.25 ACRES
RESIDUAL TRACT(330-4F141-2BA)	#46.83 ACRES
RESIDUAL TRACT(330-4F141-3)	#25.31 ACRES
LOT 1	19.11 ACRES

NOTE:
THIS PROPERTY IS IN, OR ABUTS AN AGRICULTURAL SECURITY AREA, AND THE OWNER/RESIDENTS MUST TOLERATE THE NOISE, DUST AND ODORS WHICH ARE INHERENT PARTS OF NORMAL FARMING PRACTICES.

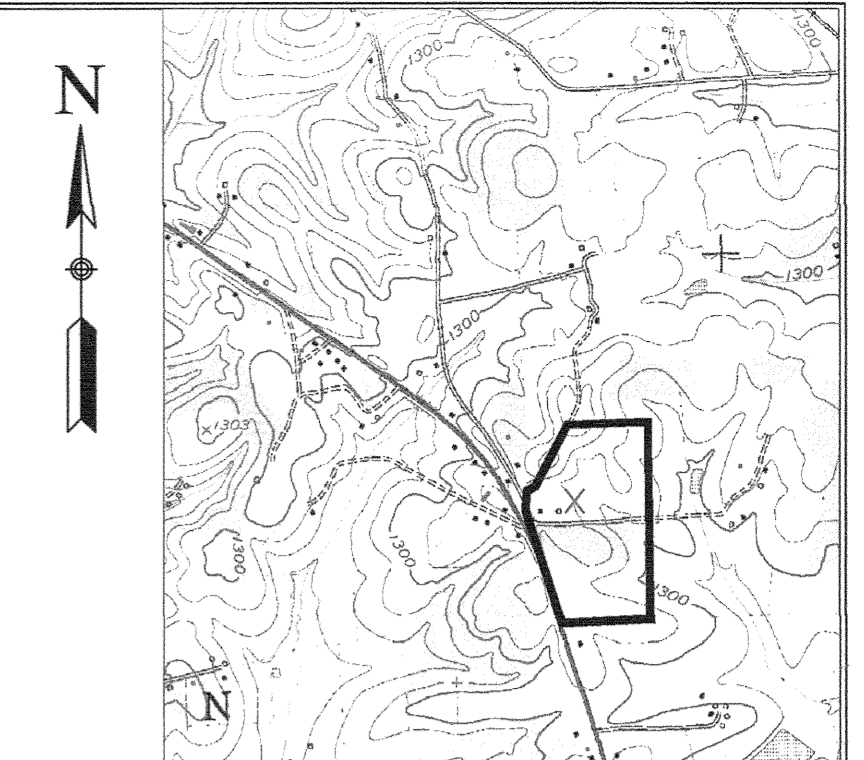
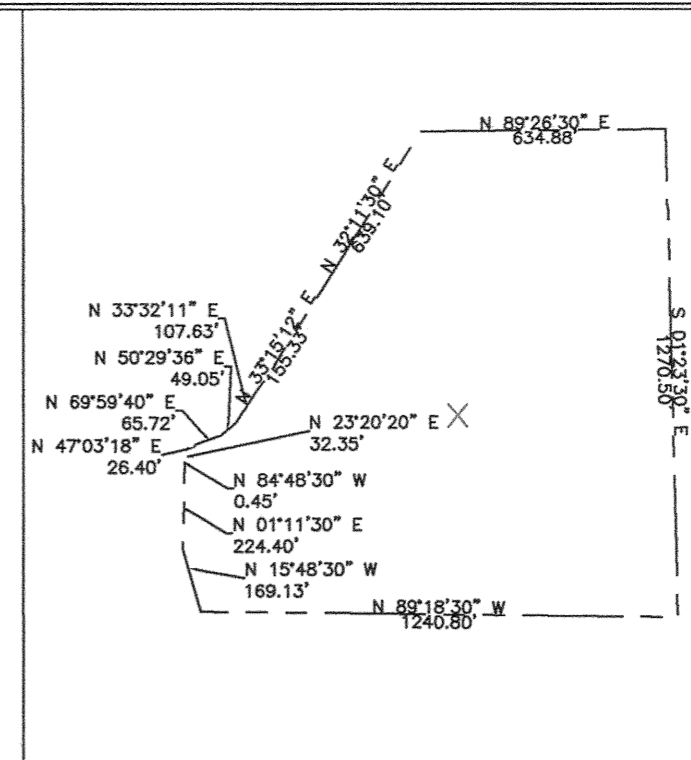
NORTHERN SURVEYORS AND ASSOCIATES 137 LINK LANE SLIPPERY ROCK, PA 16057 (724)530-6889 northernsurveyor@gmail.com	Scale 1" = 100' Date August 4, 2020	OWNER: B. HEATH WILKERSON 141 MCCracken ROAD SLIPPERY ROCK, PA 16057 724-679-7422 TAX PARCEL 330-4F141-2C DEED REF: 200511290034290 PBV 230 PG 6	OWNER: ASHLEY M. & JOSHUA FUCHS 5007 S. TURNER ROAD CANFIELD, OH 44406 TAX PARCEL 330-4F141-2BA 330-4F141-3 DEED REF: 201601060000283 DEED REF: 201601060000283
	Wilkerson-Fuchs Lot Line Revision Situate in Worth Township, Butler County, Pa. Prepared For Heath Wilkerson Job No. 3313 Sheet No. 1 of 1		

PLAN BOOK	PAGE
392	19



PENN UNITED TECHNOLOGY, INC. PROPOSED LEAN-TO ADDITION

Instr: 202103080006447
Page #: 1245-08 2/8/2021 10:12 AM
Michele Mustello
Butler County Recorder PA T20210054734



TRACT BOUNDARY
190-1F96-5-0000
SCALE: 1"=500'
JEFFERSON TOWNSHIP, BUTLER COUNTY
X PROJECT AREA

SITE LOCATION MAP
7.5 MIN. QUAD
SCALE: 1"=2000'
JEFFERSON TOWNSHIP, BUTLER COUNTY
X PROJECT AREA

INDEX OF SHEETS

TITLE SHEET	REV.	DATE
5		
CONSTRUCTION DRAWINGS		
TITLE SHEET	3	10/15/2020
SITE PLAN	5	12/7/2020
SITE DETAILS ~ SHEET 1 OF 2	2	10/14/2020
SITE DETAILS ~ SHEET 2 OF 2	2	10/14/2020
EROSION AND SEDIMENTATION CONTROL PLAN	2	10/15/2020
EROSION AND SEDIMENTATION CONTROL DETAILS	2	10/14/2020

CORPORATION ADOPTION

KNOW ALL MEN BY THESE PRESENTS, that Penn United Technologies, Inc., a corporation, by virtue of a resolution of the Board of Directors thereof, does hereby concur with this Development Plan in the Township of Jefferson, Butler County, Pennsylvania.

ATTEST: PENN UNITED TECHNOLOGIES, INC.
Michael D. Hone Secretary
William A. Jones President

State of Pennsylvania, County of Butler
Sworn and Subscribed to Before Me This day of March 4, 2021.
By William A Jones
TK

Tabatha Johnston
Notary Public
Commonwealth of Pennsylvania - Notary Seal
Tabatha Johnston, Notary Public
Butler County
My commission expires December 22, 2024
Commission number 1302656
Member, Pennsylvania Association of Notaries

APPROVAL BY THE JEFFERSON TOWNSHIP BOARD OF SUPERVISORS

The Board of Supervisors of the Township of Jefferson, Butler County, Pennsylvania hereby approves this plan of development. This approval by Jefferson Township does not constitute an acceptance of the roads, streets, storm and sanitary drainage facilities, easements or right-of-ways, water mains or any other services or improvements shown on this plan, nor an assumption of maintenance responsibilities, nor will the same be accepted or maintained until constructed in accordance with all Township specifications and requirements and officially accepted by action of the Board of Supervisors. This approval shall in no way be deemed an authorization to commence construction or related activities. This plan of development approved by resolution of the Board of Supervisors of Jefferson Township, Butler County,

Pennsylvania, on this 8th day of FEBRUARY, 2021.

ATTEST:
Jim Farnell Secretary
John C. Glick Chairman, Board of Supervisors

PLAN BOOK	PAGE
392	20

OWNER'S ACCEPTANCE OF RESPONSIBILITY FOR PROVIDING STORMWATER DRAINAGE FACILITIES AND CONTROL OF STORMWATER DRAINAGE

KNOW ALL MEN BY THESE PRESENTS, that Penn United Technologies, Inc., of the Township of Jefferson, County of Butler, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, and for our grantees and their subsequent purchasers, do hereby accept full and complete responsibility, liability, expense and provision of facilities for the control of stormwater drainage over, across and through this subdivision of land until such time as We, our heirs, executors, administrators and assigns construct stormwater drainage facilities in accordance with Township specifications and requirements and the same is officially accepted by action of the Board of Supervisors and until such formal acceptance We for ourselves, our heirs, executors, administrators and assigns do hereby release the Township of Jefferson from any responsibility in connection therewith. This acceptance of responsibility shall be binding upon.

our heirs, executors, administrators and assigns, and all purchasers of lots in this plan of subdivision.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 4th day of March, A.D., 2021.

ATTEST: PENN UNITED TECHNOLOGIES, INC.
William A. Jones (Owner or Owners)
Michael D. Hone (Owner or Owners)

WITNESS My hand and notary seal this 4th day of March, A.D., 2021.

Tabatha Johnston (SEAL) (Notary Public)
Commonwealth of Pennsylvania - Notary Seal
Tabatha Johnston, Notary Public
Butler County
My commission expires December 22, 2024
Commission number 1302656
Member, Pennsylvania Association of Notaries

My Commission Expires the 22nd day of December, A.D., 2024.

RECOMMENDATION OF THE JEFFERSON TOWNSHIP PLANNING COMMISSION

This plan of development has been reviewed and approval recommended by the Jefferson Township Planning Commission this 19th day of OCTOBER, 2020, subject to the provisions and/or conditions in the Planning Commission's letter to the Board of Supervisors dated October 19, 2020.

Stephen M. Hone Secretary
John C. Glick Chairman

BUTLER COUNTY PLANNING COMMISSION

Reviewed by the Butler County Planning commission this 21st day of October, 2020.

Richard M. Hone Secretary
John C. Glick Chairman
Butler County Plan # 20228



BUTLER COUNTY PENNSYLVANIA
Recorded in the Recorder's office of the said County on this 8th day of March, 2021 to 199999 PLAN BOOK 392 Pg 20-25
Witness my hand and the seal of said office.
Michele M. Mustello RECORDER



REGISTERED PROFESSIONAL ENGINEER
JONATHAN K. HISER
No. 34206
PENNSYLVANIA
Jonathan K. Hiser, PE
34260-E

TITLE SHEET
for
Penn United Technology, Inc.
Proposed Lean-To Addition
DATE: 09/15/20 | Sheet 1 of 1

SCALE: NA
DRAWN BY: SPT
CHECKED BY: jkh
ACCO FILE NAME: penunited_base.dwg

10/15/2020 DATE
10/15/2020 TITLE SHEET NOTES REVISION

SPN BY

Hiser Engineering, Inc.
Jonathan K. Hiser, PE
President
202 Oakview Dr
Prospect, PA 16052
Phone: (724) 297-5321
E-mail: jon.hiser.engineering@gmail.com



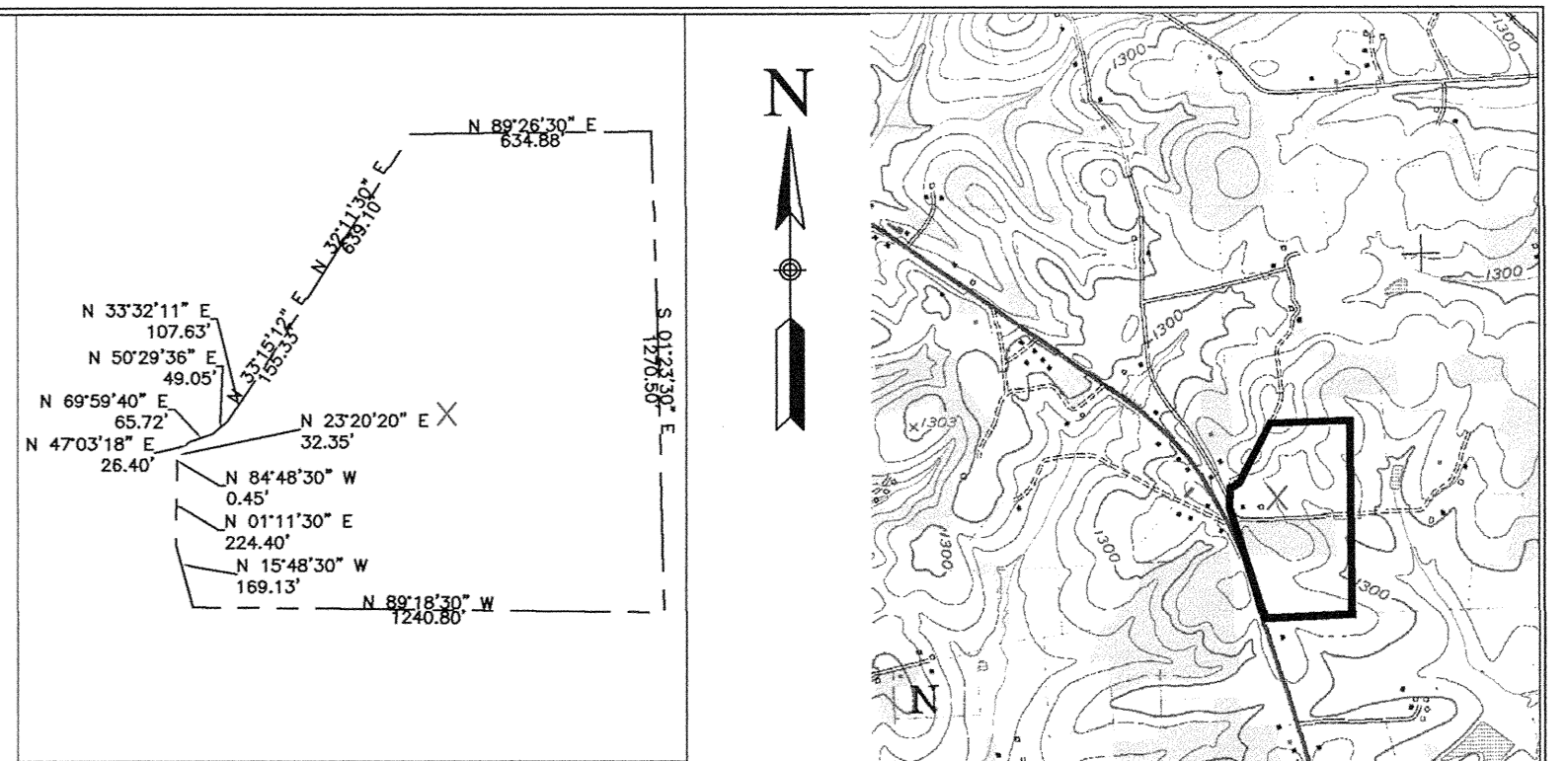
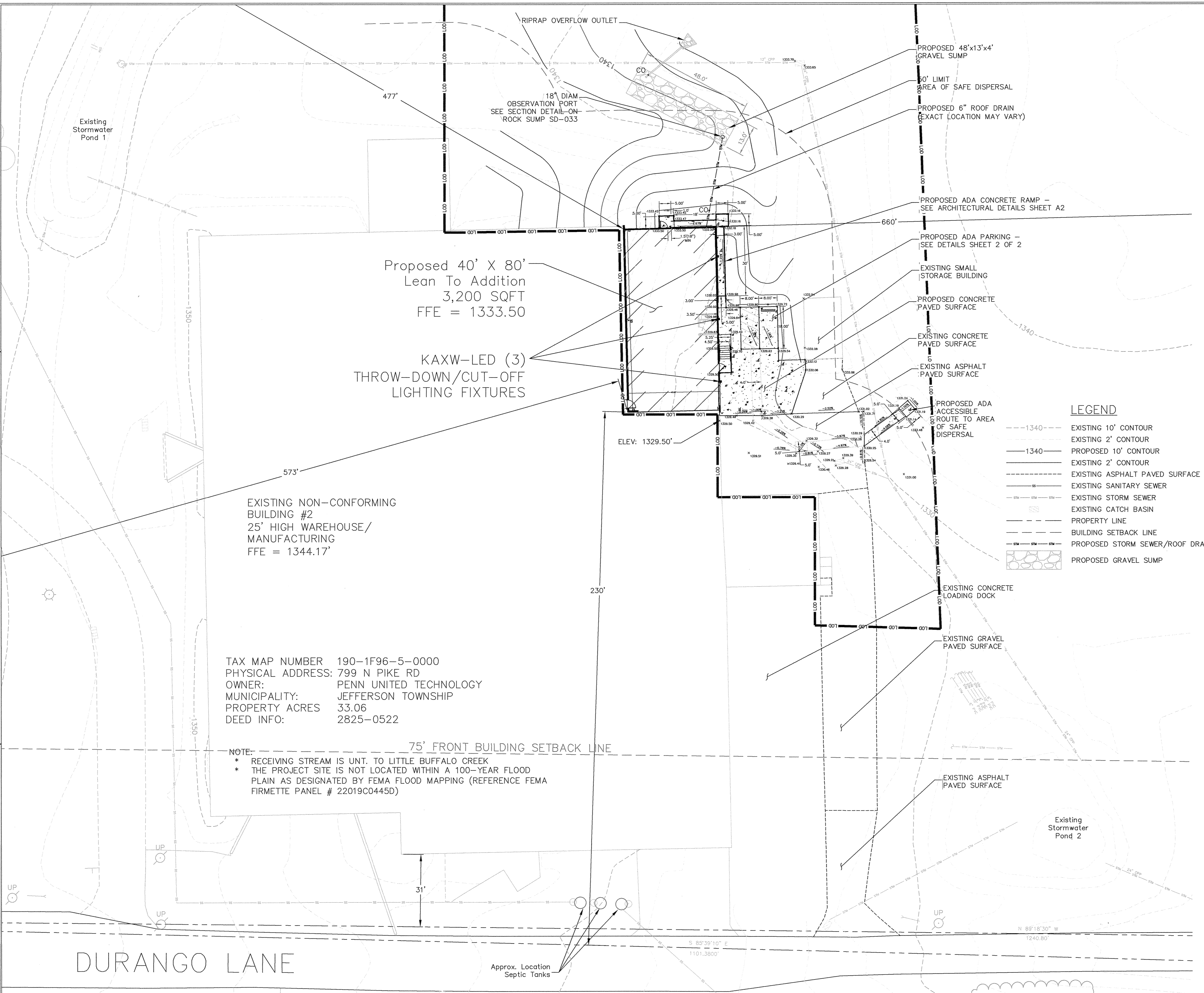
LAND OWNER/DEVELOPER
PENN UNITED TECHNOLOGIES/PARKER MAJESTIC
799 N PIKE RD, CABOT, PA 16023
PHONE: (724) 352-1507 EXT.4654
FAX: (724) 352-6555
CONTACT: KEVIN J KRONEBERG
EMAIL: KEVIN_KRONEBERG@PENNUNITED.COM

PROJECT ENGINEER
HISER ENGINEERING, INC.
202 OAKVIEW DRIVE
PROSPECT, PA 16052
PHONE: (724) 297-5321
CONTACT: JONATHAN K HISER

ARCHITECT
LIGO ARCHITECTS
P.O. BOX 698
262 GROVE CITY ROAD
SLIPPERY ROCK, PA 16057
PHONE: (724) 794-2380
CONTACT: JAMES PAYNE
WEBSITE: HTTP://WWW.LIGOARCHITECTS.COM/

SURVEYOR
W D MOHNEY AND ASSOCIATES
544 GREENTREE ROAD
KITTTANNING, PA 16201
PHONE: (724) 543-1023
CONTACT: WILLIAM D MOHNEY, PLS

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



TRACT BOUNDARY
190-1F96-5-0000
SCALE: 1"=500'
JEFFERSON TOWNSHIP, BUTLER COUNTY
X PROJECT AREA

SITE LOCATION MAP
7.5 MIN. QUAD
SCALE: 1"=2000'

Proposed 40' X 80'
Lean To Addition
3,200 SQFT
FFE = 1333.50

KAXW-LED (3)
THROW-DOWN/CUT-OFF
LIGHTING FIXTURES

EXISTING NON-CONFORMING
BUILDING #2
25' HIGH WAREHOUSE/
MANUFACTURING
FFE = 1344.17'

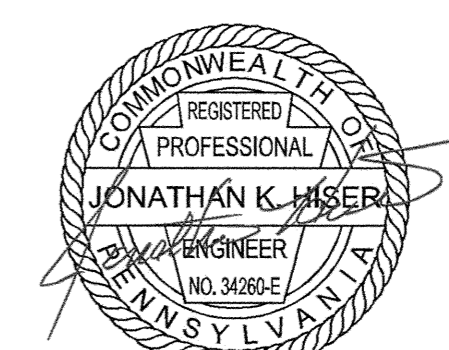
TAX MAP NUMBER 190-1F96-5-0000
PHYSICAL ADDRESS: 799 N PIKE RD
OWNER: PENN UNITED TECHNOLOGY
MUNICIPALITY: JEFFERSON TOWNSHIP
PROPERTY ACRES 33.06
DEED INFO: 2825-0522

NOTE:
* RECEIVING STREAM IS UNT. TO LITTLE BUFFALO CREEK
* THE PROJECT SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD PLAIN AS DESIGNATED BY FEMA FLOOD MAPPING (REFERENCE FEMA FIRMETTE PANEL # 22019C0445D)

- LEGEND**
- 1340--- EXISTING 10' CONTOUR
 - 1340--- EXISTING 2' CONTOUR
 - 1340--- PROPOSED 10' CONTOUR
 - 1340--- EXISTING 2' CONTOUR
 - ASPHALT --- EXISTING ASPHALT PAVED SURFACE
 - SS --- EXISTING SANITARY SEWER
 - S --- EXISTING STORM SEWER
 - CB --- EXISTING CATCH BASIN
 - PL --- PROPERTY LINE
 - BSL --- BUILDING SETBACK LINE
 - R/D --- PROPOSED STORM SEWER/ROOF DRAIN
 - GS --- PROPOSED GRAVEL SUMP

DURANGO LANE

Approx. Location
Septic Tanks



Jonathan K. Hiser, PE
34260-E

SITE PLAN
for
Penn United Technology, Inc.
Proposed Lean-To Addition

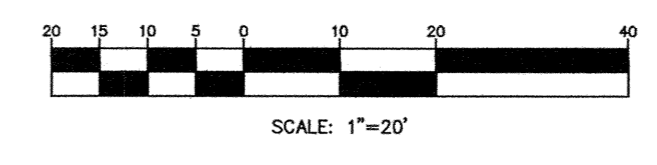
DATE: 09/14/20

Sheet 1 of 1

DATE	REVISION	BY
12/7/2020	CODE SYS ADA 12" RAIL EXTENSION	SPN
11/11/2020	CODE SYS ADA SAFE DISPERSAL	SPN
10/15/2020	TITLE SHEET NOTES	SPN
10/15/2020	MUNICIPAL REVIEW	SPN
10/14/2020	CODE SYS & MUNICIPAL REVIEW	SPN
	REVISION	BY

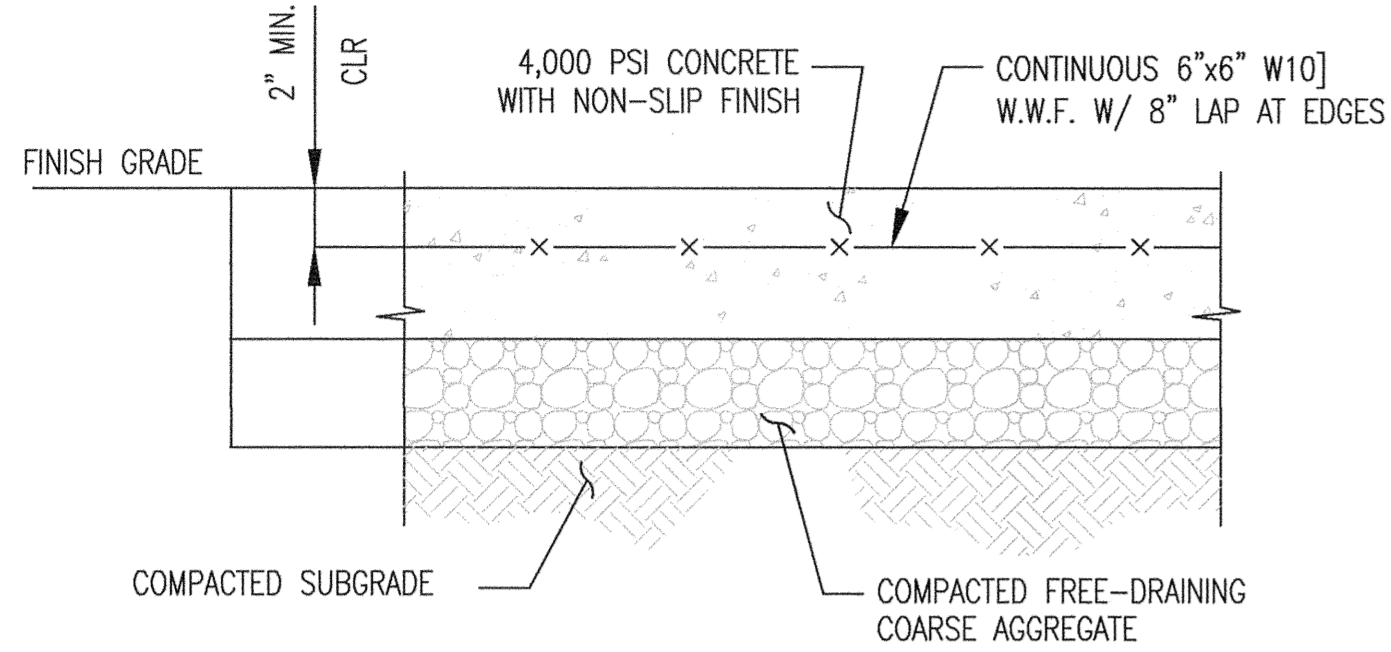
SCALE: 1"=20'
DRAWN BY: spn
CHECKED BY: jkh
DATE: 09/14/2020
PROJECT: Penn United Technology, Inc. Proposed Lean-To Addition

Hiser Engineering, Inc.
Jonathan K. Hiser, PE
President
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Prospect, PA 16052
Phone: (724) 297-5321
E-mail: jon.hiser.engineering@gmail.com

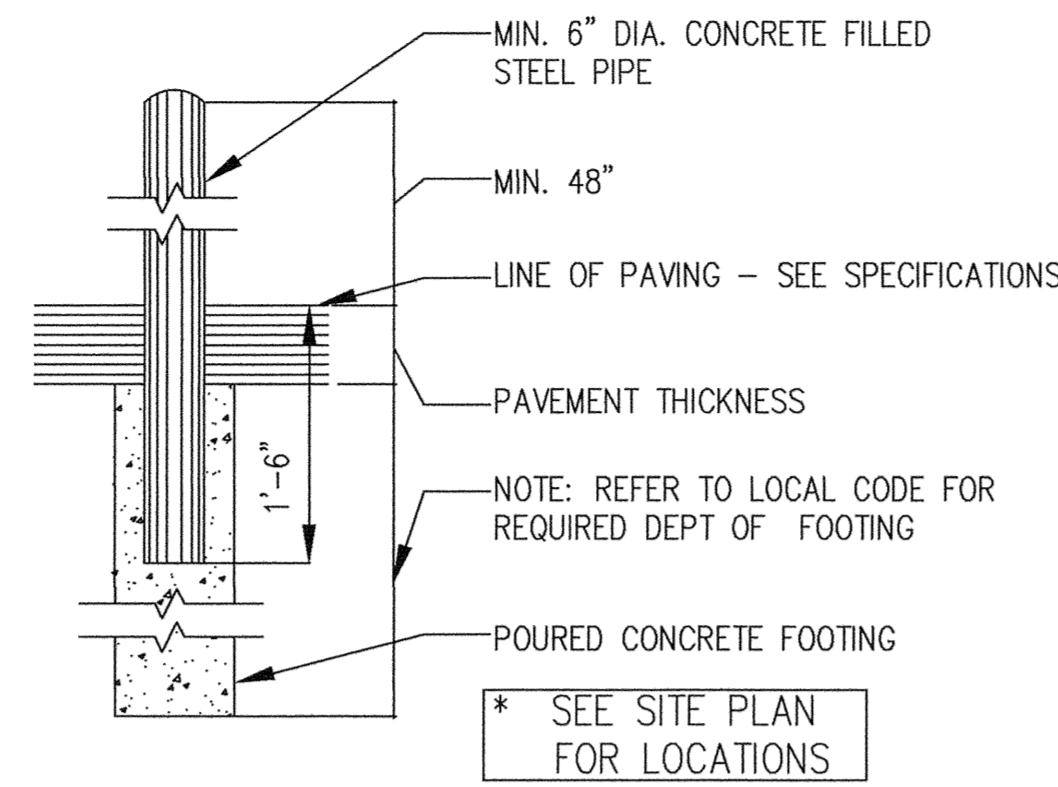


DIMENSION & TYPE

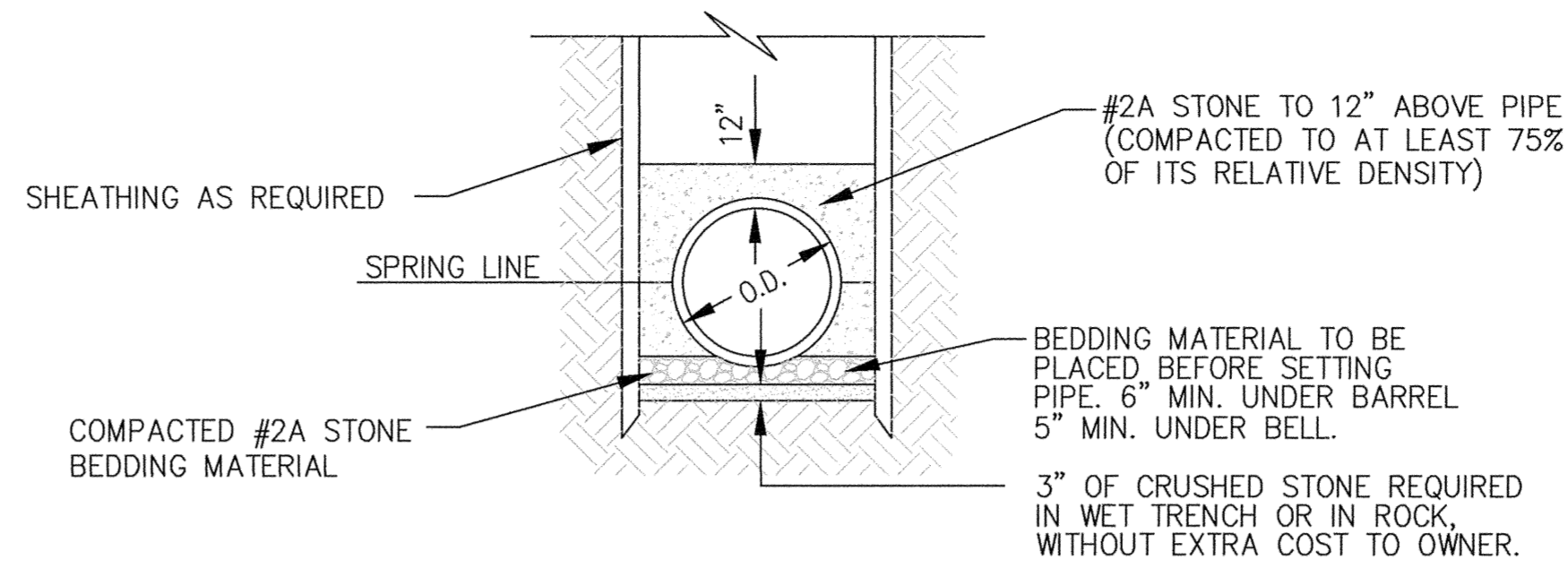
ASPHALT SECTION	A	B
STANDARD DUTY	4"	4"
HEAVY DUTY	6"	6"



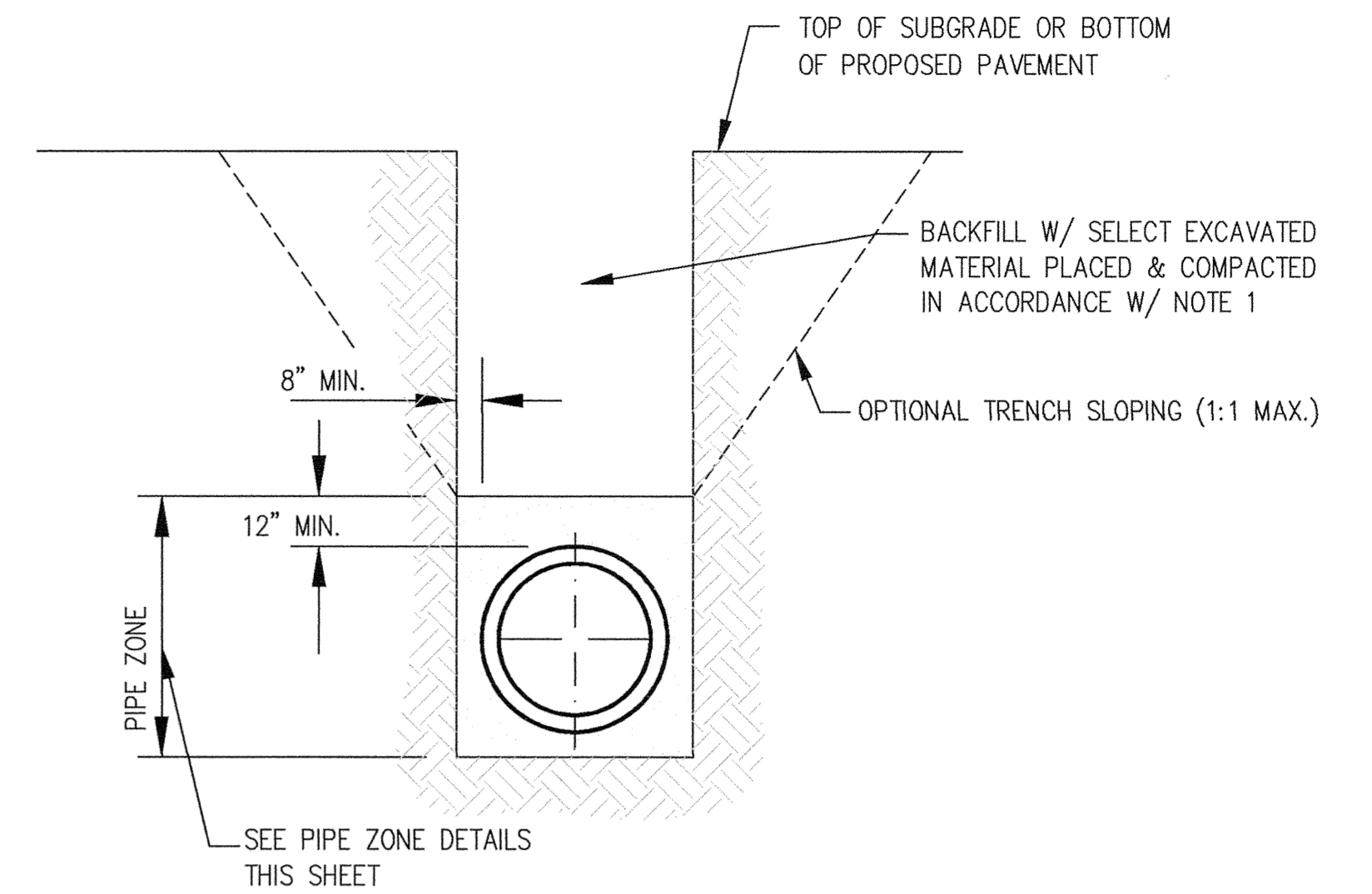
CONCRETE PAVEMENT
NOT TO SCALE



BOLLARD DETAIL
NOT TO SCALE

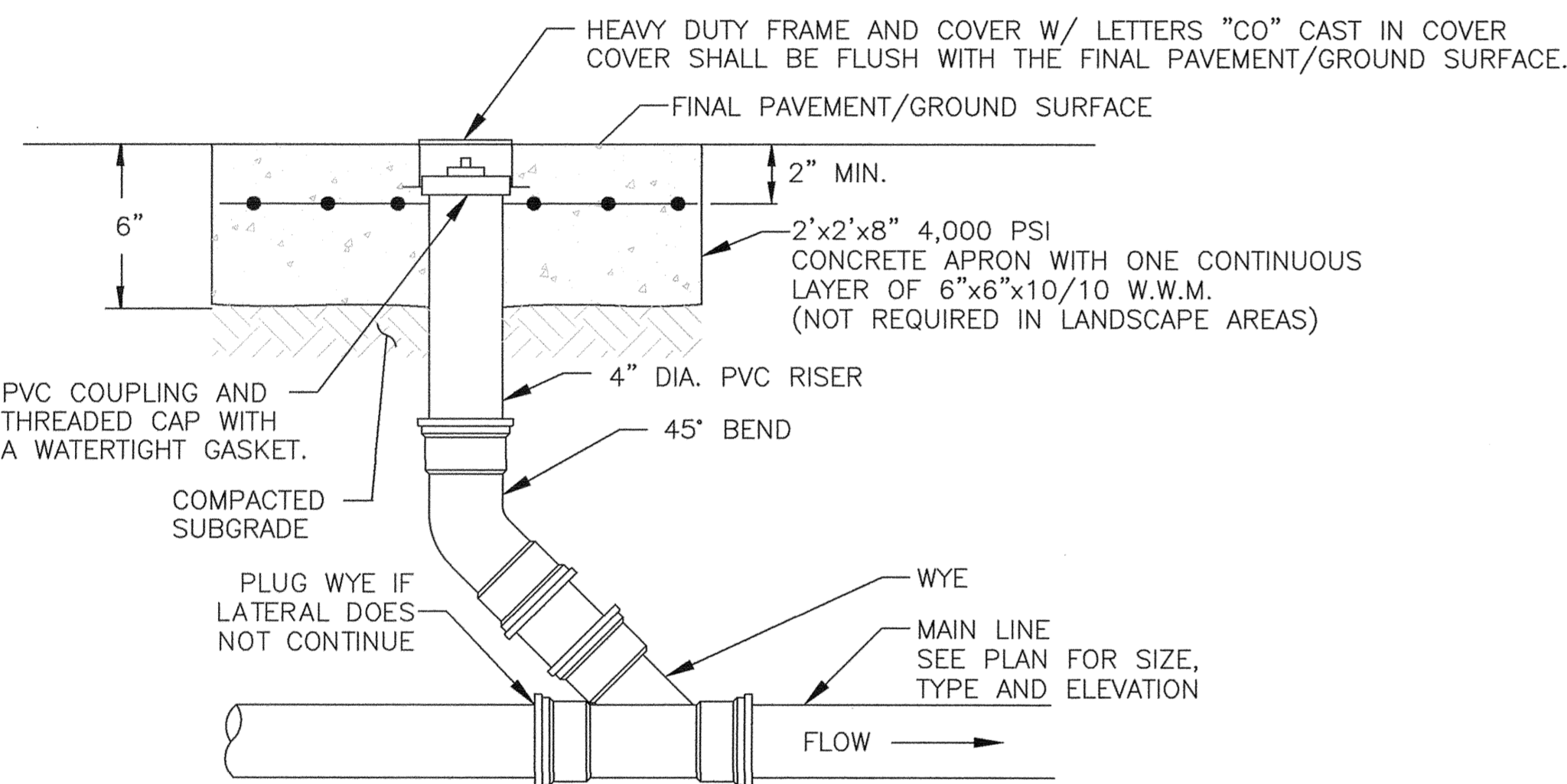


PIPE ZONE DETAIL - STORM & SANITARY
NOT TO SCALE



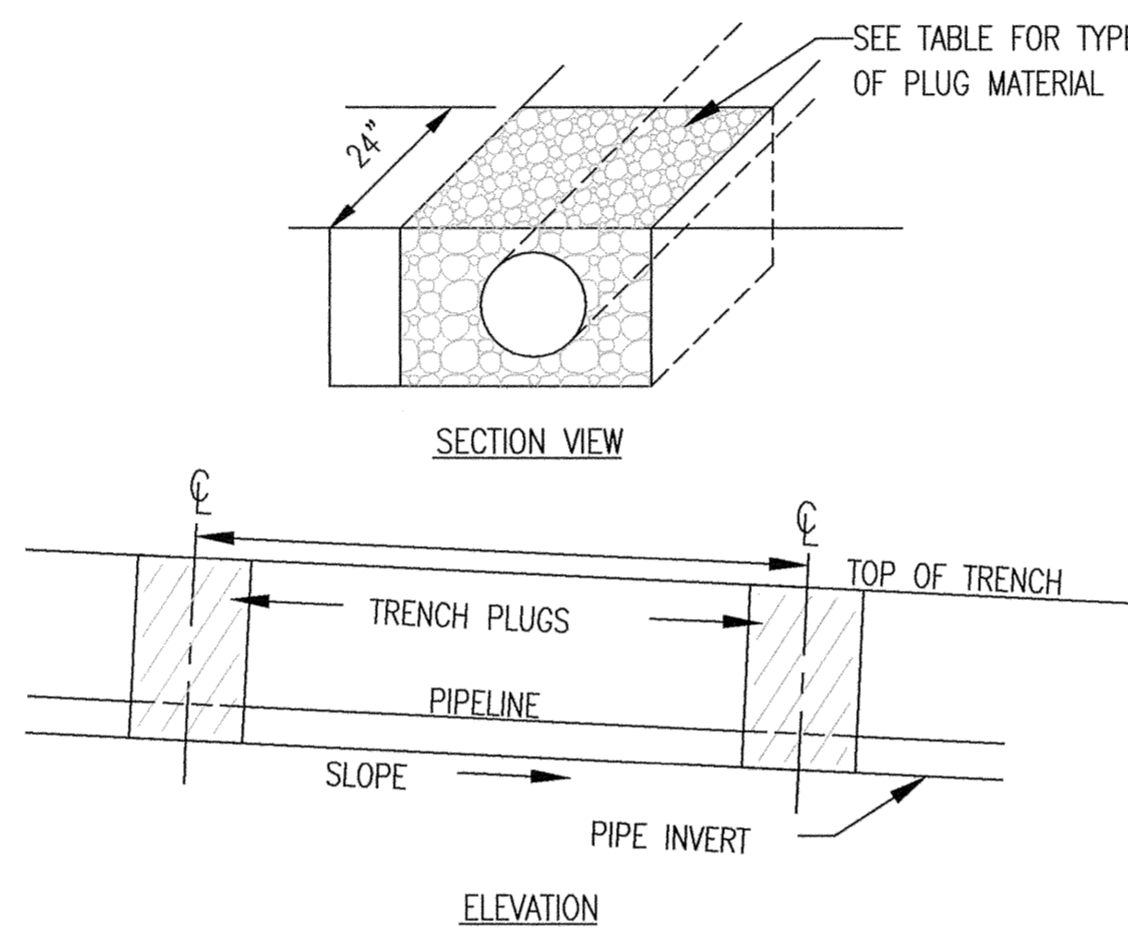
NOTE:
1) THE TRENCH WALL SHALL BE SUBSTANTIALLY VERTICAL IN THE PIPE ZONE. MAXIMUM TRENCH WIDTH SHALL BE OD + 24 INCHES AND MINIMUM TRENCH WIDTH SHALL BE OD + 16 INCHES.

TRENCH SECTION - STORM & SANITARY
NOT TO SCALE



NOTES:
1. THIS DETAIL APPLIES TO STORM AND SANITARY SEWER CLEANOUTS WITH APPROPRIATE CHANGES TO WYE AND PIPE SIZES, AND PIPE MATERIALS.
2. ALL PVC PIPE AND FITTINGS SHALL BE MINIMUM SDR 35 WITH RUBBER GASKETED JOINTS.

TYPICAL CLEANOUT
NOT TO SCALE



NOTES

- PIPELINES WITH JOINTS THAT ALLOW A MANUFACTURED LENGTH OF PIPE TO BE PLACED IN THE TRENCH WITH THE PIPE JOINT ASSEMBLED/MADE IN THE TRENCH REQUIRE AN OPEN PIPELINE TRENCH THAT IS ONLY SLIGHTLY LONGER THAN THE LENGTH OF PIPE BEING INSTALLED. THE TOTAL LENGTH OF EXCAVATED TRENCH OPEN AT ANY ONE TIME SHOULD NOT BE GREATER THAN THE TOTAL LENGTH OF PIPELINE/UTILITY LINE THAT CAN BE PLACED IN THE TRENCH AND BACK-FILLED IN ONE WORKING DAY. NO MORE THAN 50 LINEAL FEET OF OPEN TRENCH SHOULD EXIST WHEN PIPELINE/UTILITY LINE INSTALLATION CEASES AT THE END OF THE WORKDAY. SOIL SUPPLEMENTS, SEED AND MULCH SHOULD BE APPLIED WITHIN SEVEN DAYS AFTER THE PIPELINE/UTILITY LINE IS INSTALLED.
- WATER WHICH ACCUMULATES IN THE OPEN TRENCH IS TO BE COMPLETELY REMOVED BY PUMPING, WITH THE USE OF FILTER BAGS; BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS.

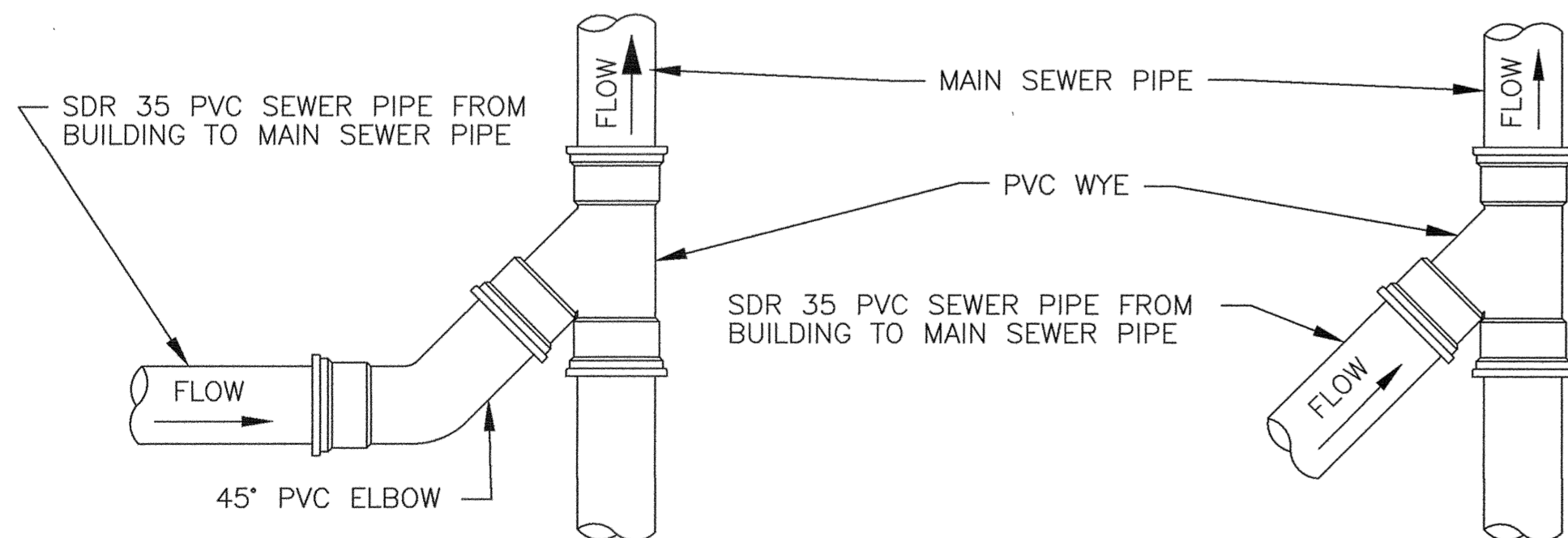
UTILITY EXCAVATION TRENCH PLUGS
NOT TO SCALE

TRENCH SLOPE (%)	L (FEET)	PLUG MATERIAL
0-5	--	NONE
5-15	500	EARTH FILLED SACKS **
15-25	300	EARTH FILLED SACKS **
25-35	200	EARTH FILLED SACKS **
35-100	100	EARTH FILLED SACKS **
OVER 100	50	CEMENT FILLED BAGS (WETTED) OR MORTARED STONE

** TOPSOIL MAY NOT BE USED TO FILL SACKS.

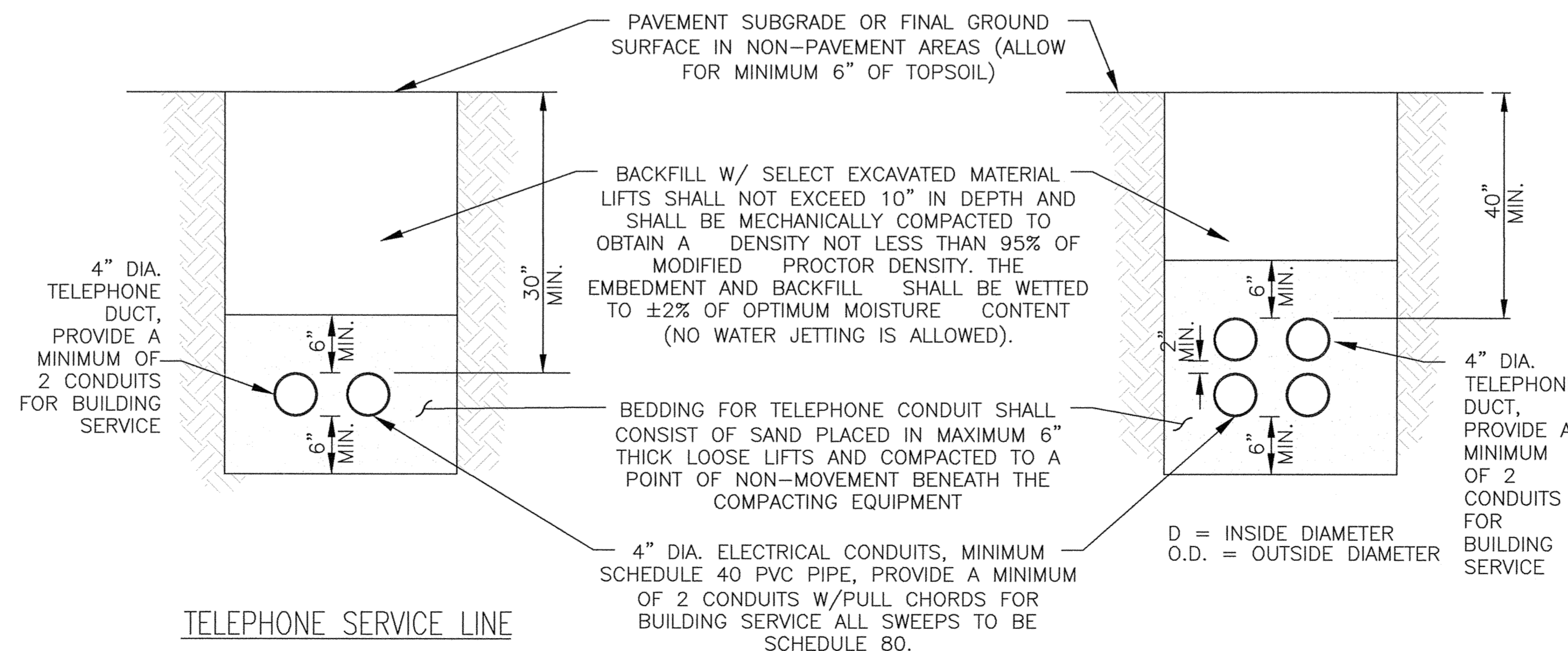
TRENCHING NOTES:

- LIFTS SHALL NOT EXCEED 10" IN DEPTH AND SHALL BE MECHANICALLY COMPACTED TO OBTAIN A DENSITY NOT LESS THAN 95% OF MODIFIED PROCTOR DENSITY. THE EMBEDMENT AND BACKFILL SHALL BE WETTED TO ±2% OF OPTIMUM MOISTURE CONTENT (NO WATER JETTING IS ALLOWED).
- THE TRENCH WALL SHALL BE SUBSTANTIALLY VERTICAL IN THE PIPE ZONE. MAXIMUM TRENCH WIDTH (W) SHALL BE O.D. + 24" AND MINIMUM TRENCH SHALL BE O.D. + 16".
- NO ROCK WILL BE PERMITTED IN BACKFILL IN THE ZONE FROM BOTTOM OF TRENCH TO 2' ABOVE THE PIPE NOR IN THE TOP 18" OF TRENCH BACKFILL AT THE GROUND SURFACE. ROCK MAY BE PLACED ELSEWHERE IN THE BACKFILL PROVIDED THE SIZE OF PIECES IN THE LARGEST DIMENSION DOES NOT EXCEED 12".
- SLOPING OF THE TRENCH SIDES ABOVE THE PIPE ZONE WILL BE ALLOWED



NOTES:
1. THESE DETAILS APPLY TO STORM AND SANITARY SEWER CONNECTIONS WITH APPROPRIATE CHANGES TO WYE AND PIPE SIZES, AND PIPE MATERIALS.
2. ALL PVC PIPE AND FITTINGS SHALL BE MINIMUM SDR 35 WITH RUBBER GASKETED JOINTS.

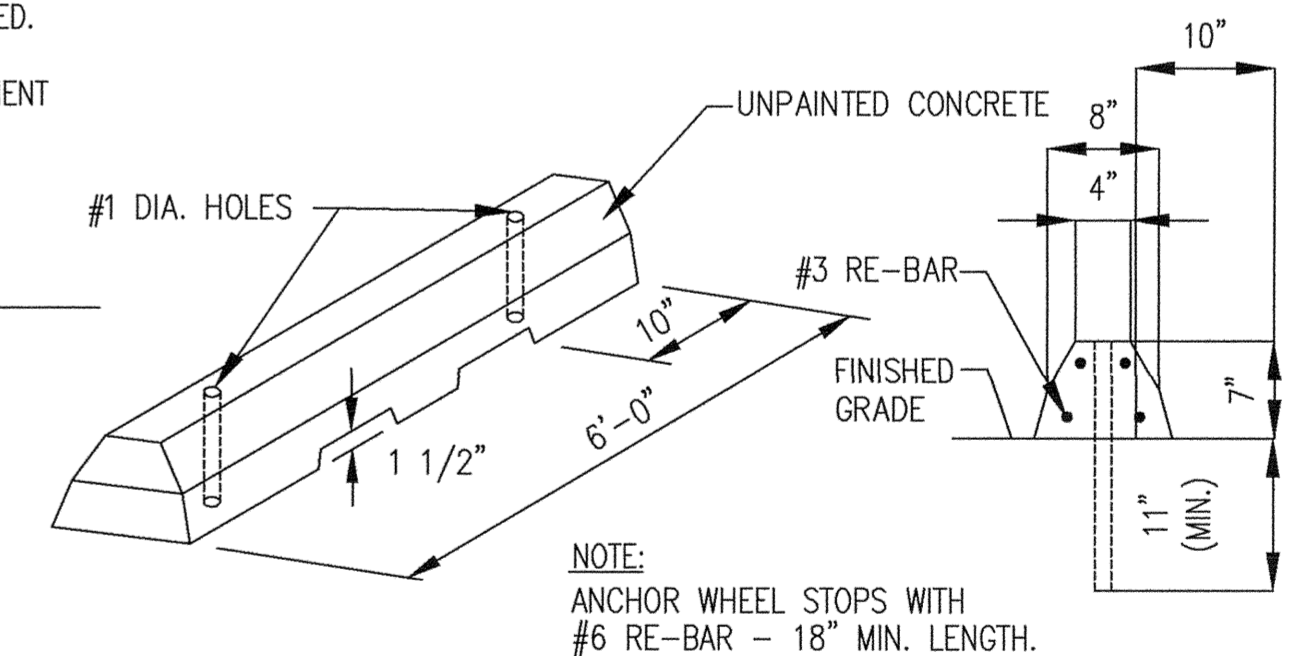
TYPICAL WYE CONNECTION
NOT TO SCALE



TELEPHONE SERVICE LINE

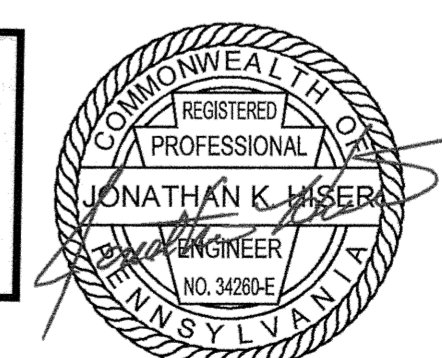
CONDUIT TRENCHING DETAIL
NOT TO SCALE

COMBINED ELECTRIC AND TELEPHONE SERVICE LINE



PRECAST CONCRETE WHEEL STOP
NOT TO SCALE

PLAN BOOK	PAGE
392	22



Jonathan K. Hiser, PE
34260-E

SITE DETAILS

for
Penn United Technology, Inc.
Proposed Lean-To Addition

DATE: 09/14/20

Sheet 1 of 2

SCALE:	NA
DRAWN BY:	SDN
CHECKED BY:	jkh
ACAD FILE NAME:	penultimate_base.dwg

202 Oakview Dr
Prospect, PA 16052
Phone: (724) 297-5321
E-mail: jon.hiser.engineering@gmail.com

Hiser Engineering, Inc.
Jonathan K. Hiser, PE
President

10/14/2020 DATE
CODE SYS & MUNICIPAL REVIEW
REVISION

SPN BY

CONSTRUCTION SEQUENCE

- 1. AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, AND A REPRESENTATIVE OF THE LOCAL CONSERVATION DISTRICT TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING.
 - 2. AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM, INC. AT 1-800-242-1776 FOR BURIED UTILITIES LOCATIONS.
 - 3. STAKE OUT THE LIMIT OF DISTURBANCE FOR THE ACTIVE PORTION OF THE PROJECT.
 - a. A. NO CONSTRUCTION VEHICLES SHALL BE PERMITTED TO ENTER AREAS OUTSIDE OF THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE E&S PLAN DRAWING.
 - i. THE CONTRACTOR SHALL TAKE ALL APPROPRIATE ACTIONS NECESSARY TO PREVENT TRUCKS FROM DEPOSITING SEDIMENT ON THE PUBLIC STREETS. SEDIMENT TRACKED ONTO PUBLIC ROADWAYS OR SIDEWALKS SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED OF IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
 - ii. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO BE WITHIN THE IDENTIFIED DISTURBANCE LIMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL EXCESS MATERIAL OFF-SITE TO AN APPROVED FACILITY (AS PER NOTE 8. SEE NOTE 7 FOR THE DEFINITION OF CONSTRUCTION WASTES).
 - 4. INSTALL ALL COMPOST FILTER SOCK (CFS) PERIMETER PROTECTION AS INDICATED ON THE PLAN DRAWINGS.
 - 5. INSTALL AND MAINTAIN THE ROCK CONSTRUCTION ENTRANCES (RCE).
 - 6. PROCEED WITH DEMOLITION AND HAUL-OFF ACTIVITIES WHICH INCLUDE BUT ARE NOT LIMITED TO DEMOLITION OF PORTION OF EXISTING BUILDING AS NEEDED.
 - 7. COMMENCE GRADING OPERATIONS.
 - a. MINIMIZE SOIL COMPACTION OF GRAVEL SUMP AREA DURING GRADING AND TOPSOIL PLACEMENT ACTIVITIES.
 - i. RESTRICT TRAFFIC OVER THE PLANNED PLANTING AREAS PRIOR TO AND DURING SITE CONSTRUCTION.
 - ii. A THICK LAYER OF MULCH SPREAD OVER THE PLANTING AREAS AID IN THE REDUCTION OF SOIL COMPACTION IN THESE AREAS. ADD PLYWOOD OVER THE MULCH IF HEAVY EQUIPMENT MUST CROSS THESE AREAS.
 - iii. DO NOT WORK THE SOIL WHEN IT IS VERY WET.
 - iv. IF THE SOIL IS IN A COMPACTED STATE PRIOR TO CONSTRUCTION, TILLING AND CULTIVATION WILL BREAK UP SOIL COMPACTION AND CREATE MORE PORE SPACE, ALLOWING WATER TO INFILTRATE AND ROOTS TO GROW, PROVIDED THE SOIL CONDITIONS ARE DRY.
 - v. WHERE EXISTING VEGETATION IS TO REMAIN, PROTECT TREE AND OTHER PLANT ROOTS BY INSTALLING FENCING OR OTHER BARRIERS AROUND THE CRITICAL ROOT ZONES. I.E.: CRITICAL ROOT ZONE FOR A TREE 20 INCHES IN DIAMETER AT BREAST HEIGHT WOULD BE 1 FOOT X 20 INCHES = 20 FEET.
 - b. TOPSOIL STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SIDE SLOPES MUST BE 2H:1V MAXIMUM.
 - c. AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 4 INCHES PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
 - d. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED UPON REACHING FINAL GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. FILL SLOPE STABILIZATION SHOULD OCCUR IN 15 TO 25 FOOT VERTICAL INCREMENTS. NO MORE THAN 15,000 SQ. FT. OF DISTURBED AREA WHICH IS TO BE STABILIZED BY VEGETATION SHOULD REACH FINAL GRADE BEFORE INITIATING SEEDING AND MULCHING. INSTALL PROPOSED EROSION CONTROL BLANKET PER MANUFACTURER'S SPECIFICATIONS.
 - 9. INSTALL STORMWATER STRUCTURES, STORM SEWER PIPES, AND UNDERGROUND GRAVEL SUMP FROM DOWNSTREAM TO UPSTREAM. LIMIT DAILY TRENCH EXCAVATION AND INSTALLATION TO THE LENGTH OF PIPE PLACEMENT, BEDDING, AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY (WEATHER PERMITTING).
 - NOTE: THE GRAVEL SUMP INSTALLATION IS THE CRITICAL STAGE OF THE CONSTRUCTION SEQUENCE. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER ONE WEEK PRIOR TO EXPECTED CONSTRUCTION SO THAT THE INSTALLATION CAN BE OBSERVED.
 - 10. AFTER FINAL GRADE IS REACHED, INSTALL CONCRETE WASHOUT AREA AS SHOWN ON THE E&S PLAN, AND THEN POUR CONCRETE AS REQUIRED.
 - 11. COMMENCE PAVING OF THE ACCESS PAD. ALL REMAINING AREAS SHALL RECEIVE PERMANENT SEEDING AND ALL SEEDED AREAS ARE TO BE SEEDED AND MULCHED.
 - 12. AFTER PERMANENT STABILIZATION HAS BEEN ACHIEVED A MINIMUM 70% COVERAGE, REMOVE ALL E&S BMP'S WHERE APPLICABLE.
 - a. UNTIL THE SITE IS STABILIZED, ALL E&S BMP'S MUST BE MAINTAINED PROPERLY.
 - i. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL E&S BMP'S AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS.
 - ii. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGARDING, RESEEDING, RE-MULCHING AND RE-NETTING MUST BE PERFORMED IMMEDIATELY.
 - iii. IF E&S BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
 - b. EROSION AND SEDIMENTATION CONTROL BMP'S SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT STABILIZATION OF ALL TRIBUTARY AREAS HAS BEEN ACHIEVED. FOR AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OF AN ACTIVITY TO BE CONSIDERED PERMANENTLY STABILIZED, THE DISTURBED AREAS SHALL BE COVERED BY ONE OF THE FOLLOWING:
 - i. A MINIMUM UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES HAS BEEN ACHIEVED.
 - ii. AN ACCEPTABLE BMP THAT PERMANENTLY MINIMIZES ACCELERATED EROSION AND SEDIMENTATION.
- **NOTE**** THE PROJECT ENGINEER MUST VERIFY THE ACHIEVEMENT OF PERMANENT STABILIZATION CRITERIA PRIOR TO REMOVAL OF BMP'S.

- c. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY E&S BMP'S MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMP'S. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMP'S MUST BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID RE-VEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSION SHOULD BE DONE ONLY DURING GERMINATING SEASON.
- ** FILTREXX SILT/SOX, INLETS/SOX, RUNOFF DIVERSION SOX, ANY OTHER FILTREXX BMP'S, AND ALL OTHER TEMPORARY E&S BMP'S EMPLOYED AS PART OF THE ESCP FOR THE PROJECT MUST FOLLOW THE MANUFACTURER'S DISPOSAL/RECYCLING INSTRUCTIONS FOR EACH SPECIFIC BMP UTILIZED THROUGHOUT THE PROJECT'S CONSTRUCTION AND EARTHMOVING OPERATIONS.**

PERMANENT SEEDING SPECIFICATIONS

PRELIMINARY PREPARATION: GRADE AS NECESSARY TO BRING SUBGRADE TO A TRUE, SMOOTH SLOPE PARALLEL TO AND SIX INCHES BELOW FINISH GRADE (I.E., 8 INCHES FOR BASIN EMBANKMENTS WHEN APPLICABLE). PLACE TOPSOIL OVER SPECIFIED AREAS. TOPSOIL SHOULD BE AT A GREATER THICKNESS (I.E., GENERALLY 6 TO 8 INCHES) THAN THE FINISHED GRADE TO ALLOW FOR SETTLEMENT AND LIGHT ROLLING. THE FINAL COVER MUST CONFORM TO THE PROPOSED LINES, GRADES AND ELEVATIONS.

LIME AND FERTILIZER: APPLY AGRICULTURAL-GRADE LIMESTONE AND FERTILIZER AS PER THE RECOMMENDATIONS INDICATED BY THE SOIL TEST. IN THE ABSENCE OF A SOIL TEST, APPLY AGRICULTURAL GRADE LIMESTONE AT A RATE OF 6 TONS PER ACRE, AND APPLY 1,000 POUNDS OF 10-20-20 FERTILIZER (E.G., 250 POUNDS NITROGEN (N), 500 POUNDS PHOSPHORUS (P₂O₅), AND 500 POUNDS POTASSIUM (K₂O) PER ACRE.) WORK LIME AND FERTILIZER INTO SOIL WHERE POSSIBLE. LIME AND FERTILIZER DATA WAS OBTAINED FROM THE PADEP EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE (BMP) MANUAL, TABLE 11.2.

THE FERTILIZER AND LIMESTONE MUST BE THOROUGHLY INCORPORATED INTO THE SOIL BY MECHANICAL MEANS (E.G., ROTOTILLING) TO A MINIMUM DEPTH OF 4 INCHES.

THE ENTIRE SURFACE MUST THEN BE REGRADED AND ROLLED. ALL AREAS THAT WILL BE SEEDED MUST BE LOOSENEED USING MECHANICAL MEANS. SOIL MUST BE LOOSENEED TO A DEPTH OF AT LEAST TWO INCHES.

SEED: SEEDING MUST BE CONDUCTED AS TWO SEPARATE OPERATIONS. THE FIRST SEEDING OPERATION MUST BE COMPLETED PRIOR TO STARTING THE SECOND SEEDING OPERATION. THE SECOND SEEDING MUST BE CONDUCTED IMMEDIATELY AFTER THE FIRST SEEDING AND AT RIGHT ANGLES TO THE FIRST SEEDING. THE SEEDS MUST BE LIGHTLY RAKED INTO THE SOIL.

ALL SEED MUST BEAR A GUARANTEED STATEMENT OF ANALYSIS AND MUST BE 100% PROPORTION BY WEIGHT WITH THE MINIMUM PURITY, READY GERMINATION, AND TOTAL GERMINATION OUTLINED BELOW. SEED DATA WAS OBTAINED FROM THE PADEP EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE (BMP) MANUAL, TABLES 11.3 AND 11.4

SPECIES	PURITY (%)	READY GERMINATION (%)	TOTAL GERMINATION (%)	PURE LIVE SEED ¹ SEEDING RATE (LBS/ACRE)
SPRING-SUMMER				
BIG BLUESTEM ²	92	80	80	3
ANNUAL RYEGRASS	95	85	85	10
SUMMER-FALL				
BIG BLUESTEM ²	92	80	80	3
	95	80	80	60
	98	85	85	10

MAINTENANCE SCHEDULE			
CONTROL MEASURE	INSPECT	PROBLEMS	POSSIBLE REMEDIES (TO BE PERFORMED WITHIN 24 HOURS OR AS SOON AS SAFELY PRACTICAL.)
VEGETATION	ONCE A WEEK AND AFTER EVERY RUNOFF EVENT	SEDIMENT AT TOE OF SLOPE	CHECK FOR TOE OF SLOPE DIVERSION AND INSTALL IF NEEDED.
		RILLS AND GULLIES FORMING BARE SOIL PATCHES	FILL RILLS AND REGRADE GULLIED SLOPES. RESEED, FERTILIZE AND MULCH BARE AREAS.
COMPOST FILTER SOCK	ONCE A WEEK AND AFTER EVERY RUNOFF EVENT	RUNOFF ESCAPING AROUND BARRIER	SECURELY ANCHOR WITH PROPER STAPLES. EXTEND BARRIER AS NEEDED.
		SEDIMENT LEVEL BUILDUP	REMOVE SEDIMENT WHEN LEVEL REACHES HALF (1/2) OR MORE THE HEIGHT OF THE BARRIER.
INLET PROTECTION	ONCE A WEEK AND AFTER EVERY RUNOFF EVENT	SEDIMENT BUILD-UP REDUCING FLOW CAPACITY	REMOVE ACCUMULATED SEDIMENT WHEN LEVEL REACHES 1/2" OR MORE THE HEIGHT OF THE BMP. REPLACE INLET PROTECTION.
		MISSING MATERIAL FLOODING AROUND OR BELOW INLET	REPAIR OR REPLACE PROTECTION MATERIALS AS NEEDED. REMOVE ACCUMULATED SEDIMENT; OR CONVERT SEDIMENT BARRIER TO AN EXCAVATED SEDIMENT TRAP; OR REROUTE RUNOFF TO A MORE SUITABLE OUTLET SUCH AS A SEDIMENT TRAP.
("SILT SACK" - ONLY)		WATER BY-PASSING INLET AND GRATE	REMOVE "SILT SACK" AND REMOVE SILT OR REPLACE WITH NEW "SILT SACK" OR INSTALL BLOCK AND GRAVEL PROTECTION.
PUMPED WATER FILTER BAG	DAILY AND AFTER EACH USE	BAG IS HALF FULL	REPLACE BAG.
		BAG IS CLOGGED OR FLOW IS REDUCED	REPLACE BAG.
ROCK CONSTRUCTION ENTRANCE	DAILY AND AFTER EACH RUNOFF EVENT	LOST AND/OR DISLODGED STONES	REPLACE MISSING STONES SO AS TO MAINTAIN SPECIFIED DIMENSIONS.
		SEDIMENT DEPOSITED IN PAVED ROADWAYS	AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE RETURNED TO THE CONSTRUCTION SITE.

Soil Limitations

Ernest Series

The Ernest series consists of moderately well drained to somewhat poorly drained soils on gentle to moderately steep lower slopes. The native vegetation was mixed hardwoods, including white oak, hickory red and sugar maples, black cherry, elm, beech, tulip-poplar, ironwood, shadbush, and sassafras. The underbrush consists of mountain-laurel, rhododendron, and spicebush.

The soils of the Ernest series are moderately permeable and have moderately high moisture-storing capacity. Most areas of these soils have been cleared and are used for crops & pasture. The soil is well suited for corn, vegetables, small grains and grasses.

ErB - Ernest silt loam, 3 to 8 percent slopes

This soil is gently sloping, very deep and moderately well drained. It is on foot slopes, benches and lowlands throughout the northwest part of the county. Most areas of this soil are used for crops and pasture.

Soil Limitations

Gilpin Series

In the Gilpin series are shallow to moderately deep well-drained upland soils that developed on mixed acid material weathered from shale and sandstone. In their parent material, the proportion of silty shale and very fine sandstone is high. The native cover was mixed hardwoods, with a few white pines and hemlocks. The undergrowth includes mountain-laurel, huckleberry, and seedlings of the forest trees.

Water-supplying capacity is limited by the shallowness of the soils and their moderate subsoil development. Most areas of this are used for farmlands, woodlands.

GIB - Gilpin silt loam, 3 to 8 percent slopes

This soil is gently sloping, moderately deep and well drained. It is on ridgetops throughout the county. The slopes tend to be smooth or convex. Most areas of this soil are used for crops, forestland and pasture.

GIC - Gilpin silt loam, 8 to 15 percent slopes

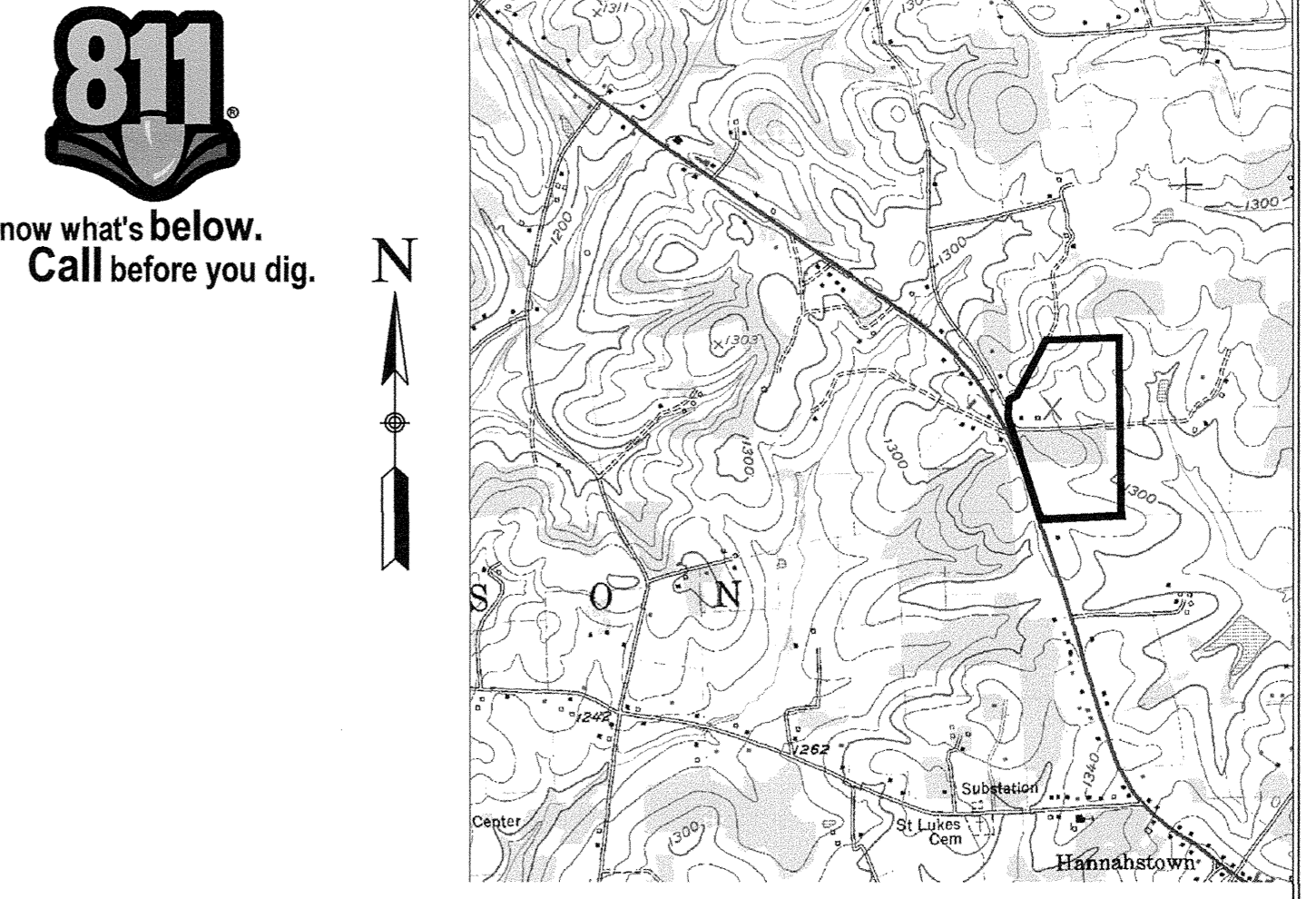
This soil is strongly sloping, moderately deep and well drained. It is on ridges and side slopes throughout the county. The slopes tend to be smooth or convex. Most areas of this soil are used for crops and pasture. Only a few areas are wooded.

1- PURE LIVE SEED (PLS) IS THE PRODUCT OF THE PERCENTAGE OF PURE SEED TIMES PERCENTAGE GERMINATION DIVIDED BY 100. FOR EXAMPLE, TO SECURE THE ACTUAL PLANTING RATE FOR REDTOP, DIVIDE THE PLS SEEDING RATE OF 3 LBS/ACRE BY THE PLS SHOWN ON THE SEED TAG. THUS, IF THE PLS CONTENT OF A GIVEN SEEDLOT IS 60%, DIVIDE 3 PLS BY 0.60 TO OBTAIN 5.0 LBS OF SEED REQUIRED TO PLANT ONE ACRE. ALL MIXTURES IN THIS TABLE ARE SHOWN IN TERMS OF PLS, LBS/ACRE.

2- ALTERNATIVES: BIG BLUESTEM (ANDROPOGON GERARDII), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), INDIANGRASS (SORGASTRUM NUTANS) AND SWITCHGRASS (PANICUM VIRGATUM).

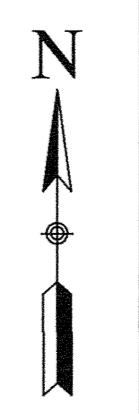
MULCH: ALL SEEDED AREAS MUST BE IMMEDIATELY MULCHED TO PROMOTE ADEQUATE VEGETATIVE COVER. USE CLEAN OAT OR WHEAT STRAW, FREE OF WEEDS, NOT CHOPPED OR FINELY BROKEN. THE STRAW MUST BE FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED OR NOXIOUS WEEDS AS DEFINED BY THE PENNSYLVANIA SEED ACT OF 1947.

APPLY MULCH AT A RATE OF 3 TONS PER ACRE (I.E., 140 POUNDS PER 1,000 SQUARE FEET OR 1,240 POUNDS PER 1,000 SQUARE YARDS). THE MULCH MUST BE ANCHORED IMMEDIATELY AFTER APPLICATION. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO ANCHOR THE MULCH INTO THE SOIL. THIS METHOD IS LIMITED TO SLOPES SHALLOWER THAN OR EQUAL TO 3:1 AND THE EQUIPMENT MUST BE OPERATED ON THE CONTOUR.



SITE LOCATION MAP
7.5 MIN. QUAD
SCALE: 1"=2000'
JEFFERSON TOWNSHIP
BUTLER COUNTY
× PROJECT AREA

811
Know what's below.
Call before you dig.



- LEGEND**
- LOD PROPOSED LIMIT OF DISTURBANCE = 0.84 ACRE
 - Soil Type SOIL TYPE
 - SW SW STW STW STORM SEWER
 - CFS PROPOSED COMPOST FILTER SOCK.
 - Proposed Rock Construction Entrance.
 - Proposed Inlet Protection.
 - Proposed Erosion Control Blanket.
 - Proposed Topsoil Stockpile Area.
 - Proposed Concrete Washout Area.

SOCK NUMBER:	SOCK SIZE (IN):	SOCK LENGTH (FT):	% SLOPE	SLOPE LENGTH
1	12	±35	3%	90'
2	12	±35	3%	90'
3	12	±65	6%	90'
4	12	±24	17%	100'
5	12	±99	16%	110'
6	12	±63	15%	150'

NOTE:
 * RECEIVING STREAM IS UNT. TO LITTLE BUFFALO CREEK
 * THE PROJECT SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD PLAIN AS DESIGNATED BY FEMA FLOOD MAPPING (REFERENCE FEMA FIRMETTE PANEL # 22019C0445D)

PLAN BOOK	PAGE
392	24



Jonathan K. Hiser, PE
34260-E

SCALE: 1"=20'

Weikert Series

In the Weikert series are loamy-skeletal, mixed Mesic Lithic Dystricrepts. They are shallow and well drained and are on ridges, side slopes and hillsides throughout the county. The soils formed in residuum of weathered interbedded siltstone, shale and some sandstone. Slope ranges from 3 to 70 percent.

In Butler County, this series is only mapped with moderately deep Gilpin soils.

GoC - Gilpin-Weikert channelly silt loam, 8 to 15 percent slopes

This soil occurs on strongly sloping, moderately deep and shallow, well drained soils on rolling uplands and hillsides throughout the county. The slopes tend to be smooth or convex. Gilpin soils make up about 50% and Weikert soils make up about 35% of the mapping unit. Most areas are used for cropland or are in their native vegetation with only some pastureland or woodland.

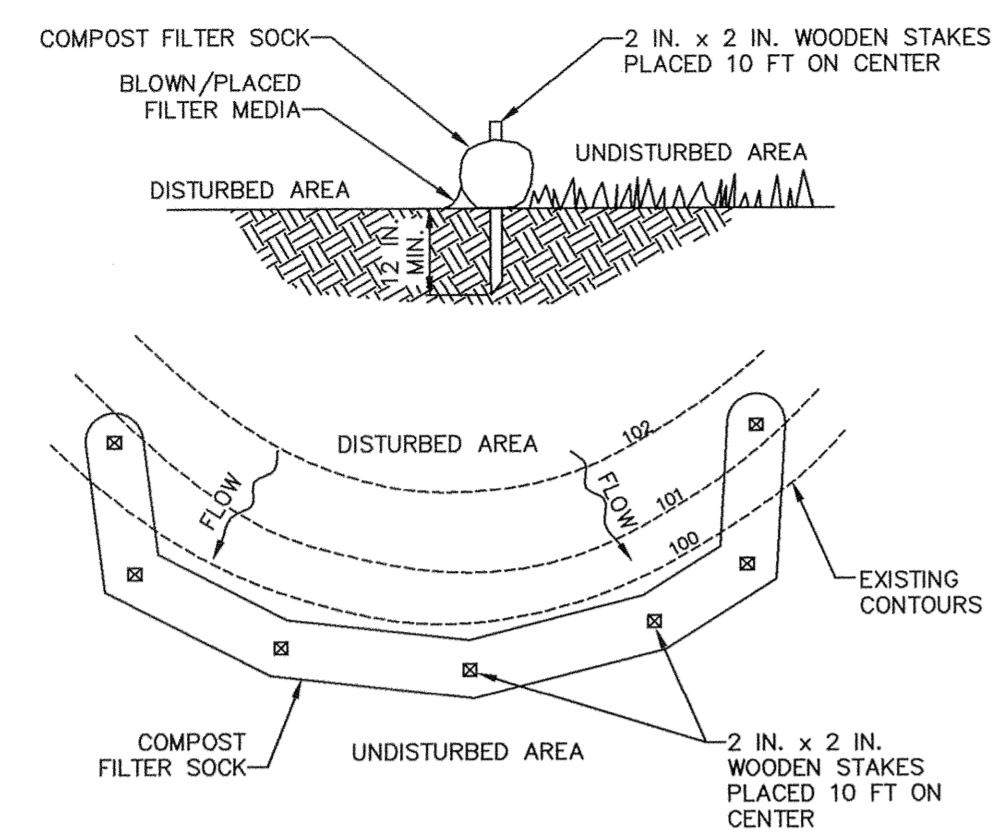
EROSION AND SEDIMENTATION CONTROL PLAN
for
Penn United Technology, Inc.
Proposed Building Expansion

DATE: 06/28/05 | Sheet 1 of 2

Hiser Engineering, Inc.
Jonathan K. Hiser, PE
President

202 Oakview Dr
Prospect, PA 16052
Phone: (724) 297-5321
E-mail: jon.hiser.engineering@gmail.com

SCALE: 1"=20'
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CHECKED BY: jkh
Auto FILE NAME: pmmunited_base.dwg



NOTES:

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL #4-1

COMPOST FILTER SOCK
NOT TO SCALE

TABLE 4.1
Compost Sock Fabric Minimum Specifications

Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFPP)	Heavy Duty Multi-Filament Polypropylene (HDMFPP)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years
two-ply systems					
Inner Containment Netting	HDPE biaxial net				
	Continuously wound				
	Fusion-welded junctures				
Outer Filtration Mesh	3/4" x 3/4" Max. aperture size				
	Composite Polypropylene Fabric (Woven layer and non-woven fleece mechanically fused via needle punch)				
	3/16" Max. aperture size				
Sock fabrics composed of burlap may be used on projects lasting 6 months or less.					

Fitrex & JMD

COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS
NOT TO SCALE

TABLE 4.2
Compost Standards

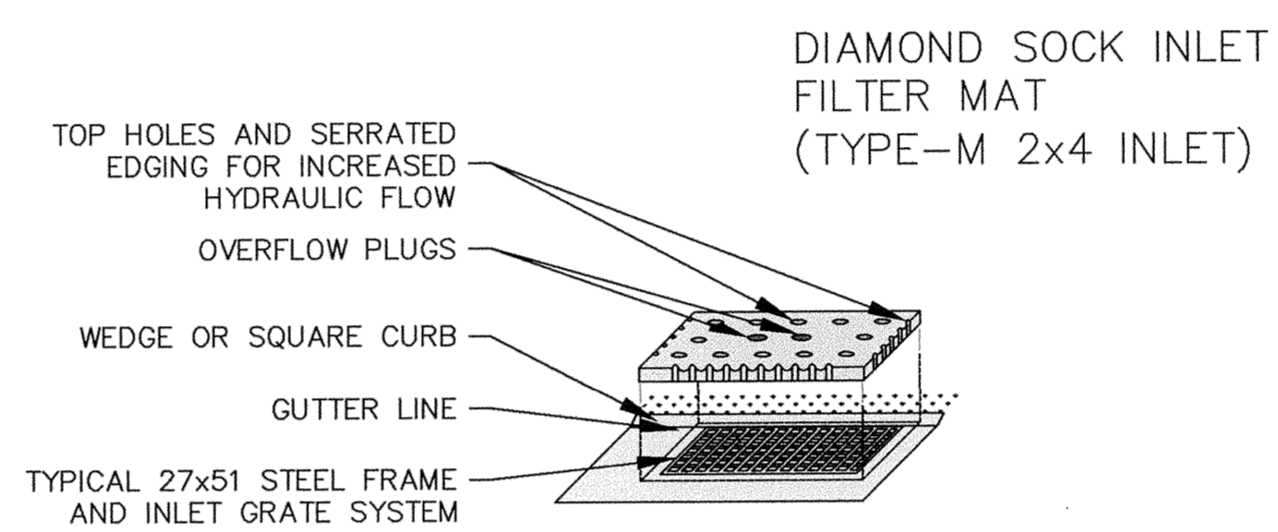
Organic Matter Content	25% - 100% (dry weight basis)
Organic Portion	Fibrous and elongated
pH	4.5 - 8.5
Moisture Content	30% - 60%
Particle Size	30% - 50% pass through 3/8" sieve
Soluble Salt Concentration	5.0 dS/m (mmhos/cm) Maximum

Fitrex

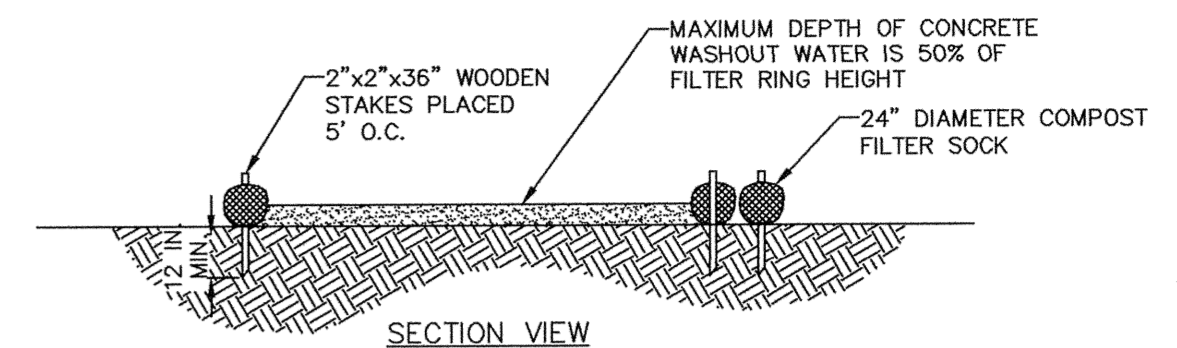
COMPOST STANDARDS
NOT TO SCALE

INSTRUCTIONS

- BEFORE COVERING, MAKE SURE GRATE AND SURROUNDING AREA ARE FREE OF ANY DEBRIS OR GRIT SO MAGNETIC BOTTOM CAN FULLY CONTACT GRATE.
- LAY IFM OVER GRADE. SLIGHTLY ADJUST TO FIND SNUGGEST CONTACT OF MAGNETIC BOTTOM.
- REMOVE AT LEAST ONE RED OVERFLOW PLUG IF GRATE IS AT LOW POINT OF STREET. IN THE EVENT OF FLOODING, PULL THE SECOND PLUG TO DE-WATER THE STREET.
- THOROUGHLY CLEAN OFF SEDIMENT, LEAVES, AND OTHER DEBRIS AFTER EVERY RAIN EVENT.
- ONCE FULL OF SEDIMENT, IFM SHOULD BE SWAPPED OUT FOR CLEANING USING A GARDEN HOSE OR POWER WASHER.
- IF UNIT IS RUN OVER AFTER AND BEGINNING TO COMPRESS IT SHOULD BE DISCARDED.
- IN SNOWY REGIONS IFM MAY BE SCRAPED OFF BY PLOW TRUCKS - USE PRODUCT ACCORDINGLY.
- FILTERING FIBER IS COMPOSTABLE COCONUT COIR; , MAGNETICS ARE RUBBER WITH FERROUS OXIDE.
- CALL MKB COMPANY AT (888) 587-0777 TO FIND THE REGIONAL DISTRIBUTOR IN YOUR AREA.

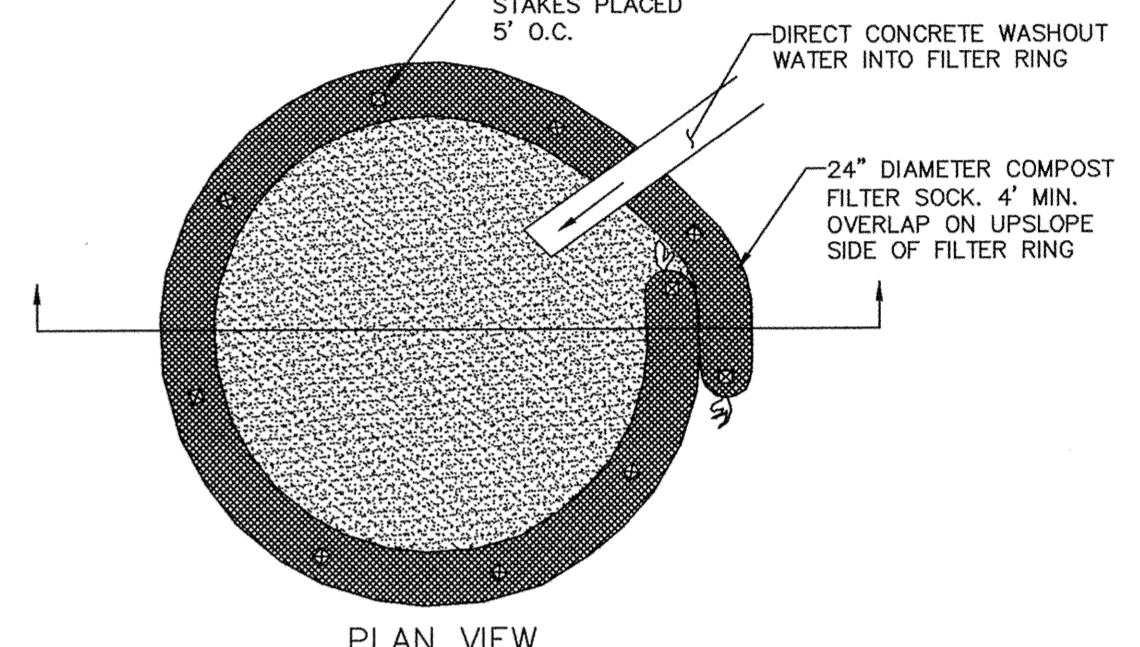


DIAMOND SOCK INLET FILTER MAT (TYPE-M 2x4 INLET)
NOT TO SCALE



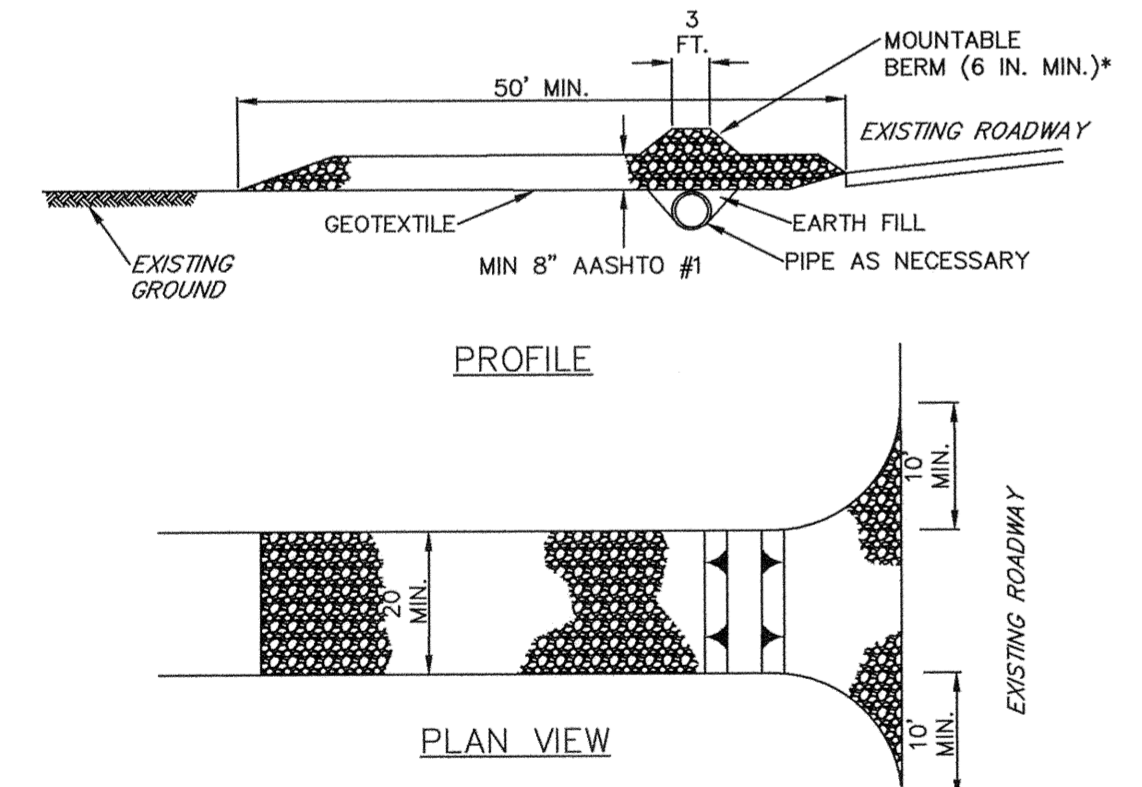
NOTES:

- INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE
- 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.



CONCRETE WASHOUT DETAIL
NOT TO SCALE

A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.
ADAPTED FROM FITREX



NOTES:

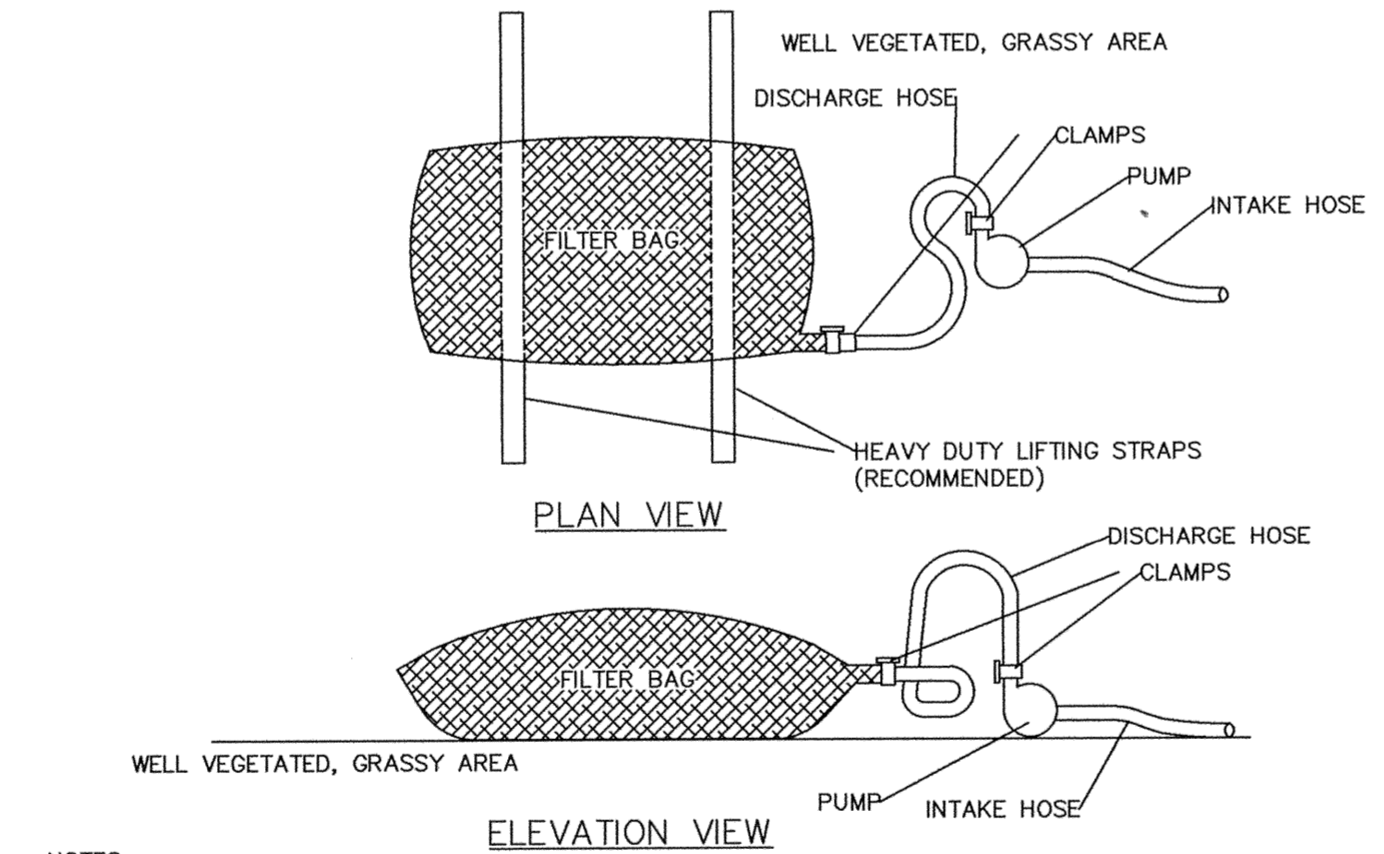
REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.

RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

ROCK CONSTRUCTION ENTRANCE
NOT TO SCALE



NOTES:

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
ADS. % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5%. CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

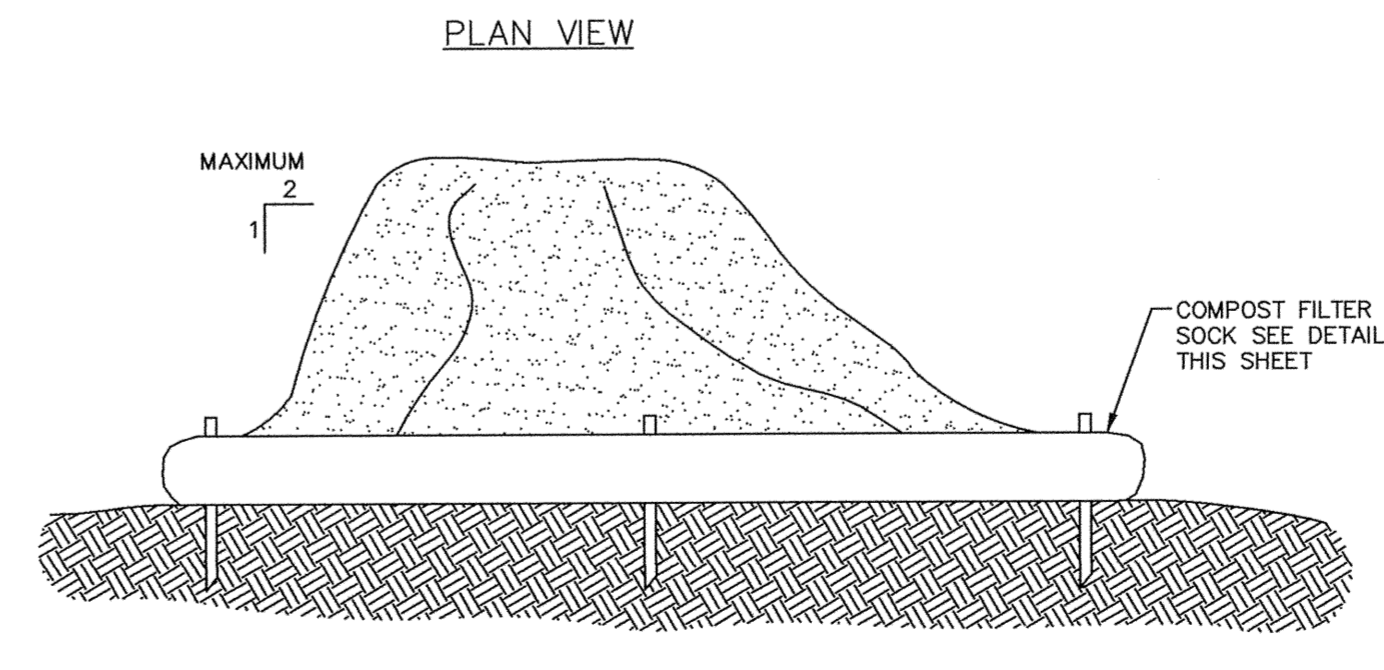
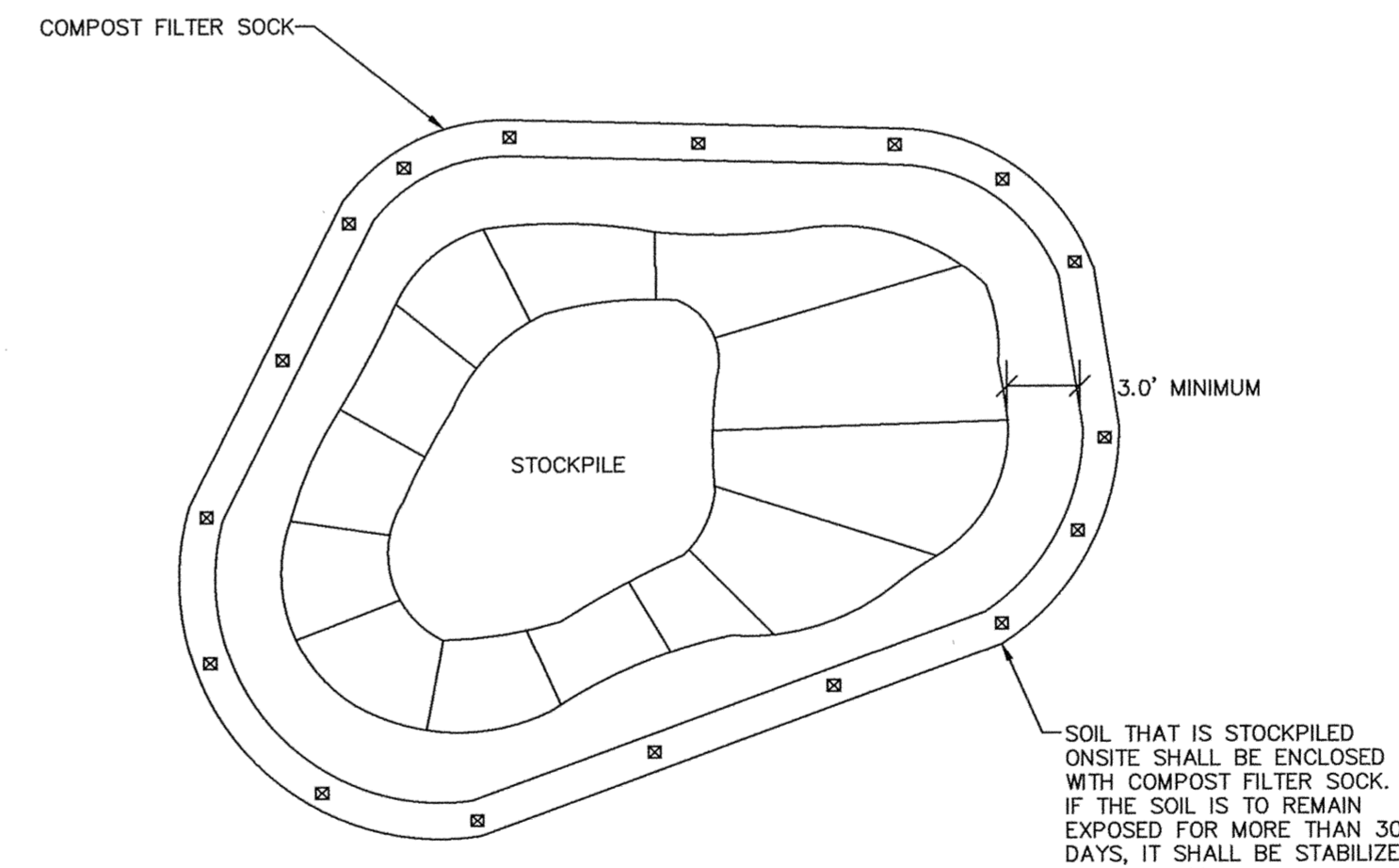
NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HO OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

PUMPED WATER FILTER BAG
NOT TO SCALE



SOIL STOCKPILE AREA
NOT TO SCALE

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EROSION AND SEDIMENTATION CONTROL DETAILS
for
Penn United Technology, Inc.
Proposed Building Expansion

Hiser Engineering, Inc.
Jonathan K. Hiser, PE
202 Oakview Dr
Prospect, PA 16052
Phone: (724) 297-5321
E-mail: jon.hiser@hisereng.com

SCALE: 1" = 50'
DRAWN BY: SDN
CHECKED BY: jkh
ACAD FILE NAME: penunitd base.dwg
DATE: _____ REVISION: _____ BY: _____

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT I, JEAN B. GREGG, OF THE TOWNSHIP OF CENTER, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF CENTER, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CENTER, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CENTER, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 22 DAY OF FEBRUARY 2021.

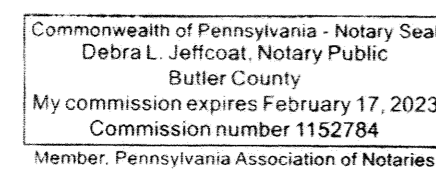
Jean B. Gregg
 JEAN B. GREGG - JUDITH GREGG HOLDEN, PA

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED JEAN B. GREGG, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 22 DAY OF FEBRUARY 2021.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY 2023.

Debra L. Jeffcoat
 NOTARY PUBLIC



SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOCATION OF STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

12 FEB 2021
 DATE *Stanley D. Graff*
 STANLEY D. GRAFF
 REG. NO. SU-00001614

MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CENTER, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF CENTER ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CENTER THIS 10th DAY OF February 2021.

Ronald E. Stitt
 CHAIRPERSON
 BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF CENTER THIS 27th DAY OF January 2021.

Debra L. Jeffcoat
 CHAIRPERSON
 PLANNING COMMISSION

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 20th DAY OF January 2021.

R. Han
 SECRETARY
 Butler County Plan # 21024

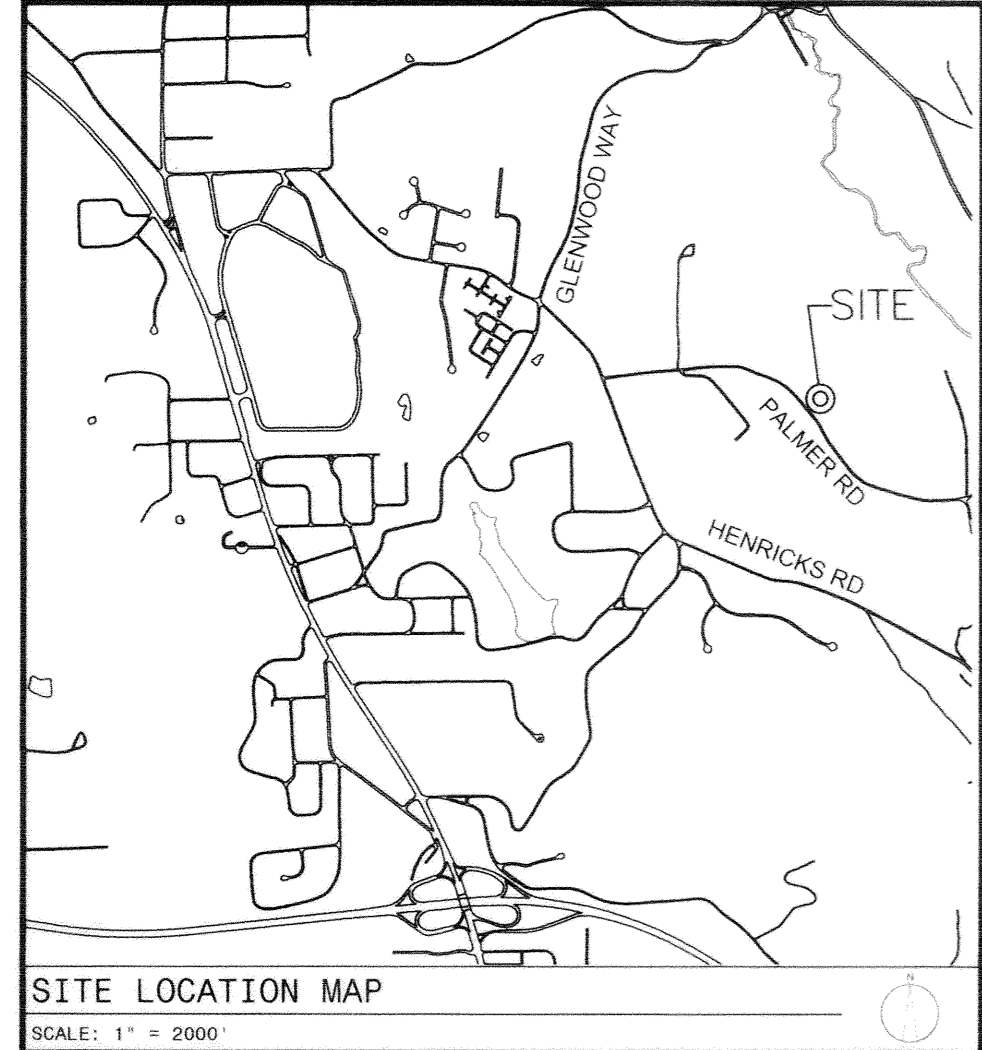
PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 392 PAGE(S) 26.

GIVEN UNDER MY HAND AND SEAL THIS 9th DAY OF MARCH 2021.

Michele M. Mustello
 RECORDER OF DEEDS

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT WE, ROMEO H. BELLA & PARALUMAN R. BELLA, TRUSTEES OF THE BELLA FAMILY JOINT REVOCABLE TRUST DATED MAY 19, 2016, OF THE TOWNSHIP OF CENTER, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF CENTER, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CENTER, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CENTER, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 24 DAY OF FEBRUARY 2021.

Romeo H. Bella
 ROMEO H. BELLA

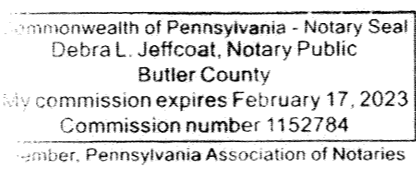
Paraluman R. Bella
 PARALUMAN R. BELLA

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED ROMEO H. BELLA & PARALUMAN R. BELLA, TRUSTEES OF THE BELLA FAMILY JOINT REVOCABLE TRUST DATED MAY 19, 2016, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 24 DAY OF FEBRUARY 2021.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY 2023.

Debra L. Jeffcoat
 NOTARY PUBLIC

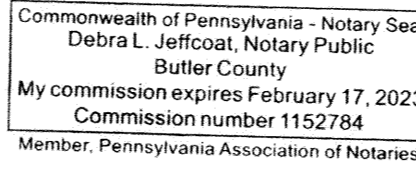


OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT WE, ANDREW E. KAMERER JR. AND THERESA M. KAMERER, OF THE TOWNSHIP OF CENTER, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF CENTER, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CENTER, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CENTER, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNER, HIS HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 24 DAY OF FEBRUARY 2021.

Andrew E. Kameron Jr.
 ANDREW E. KAMERER JR.

Theresa M. Kameron
 THERESA M. KAMERER

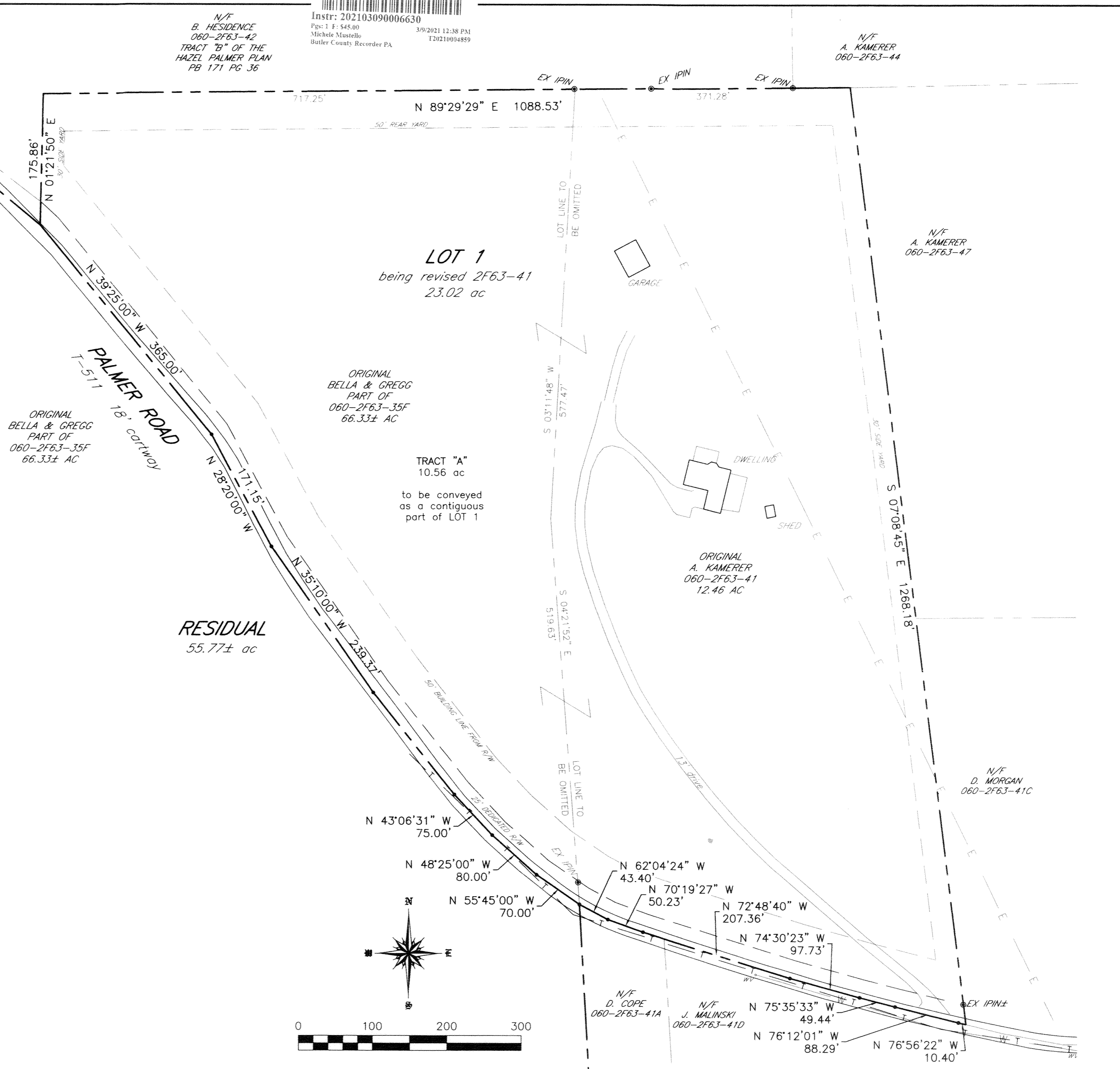
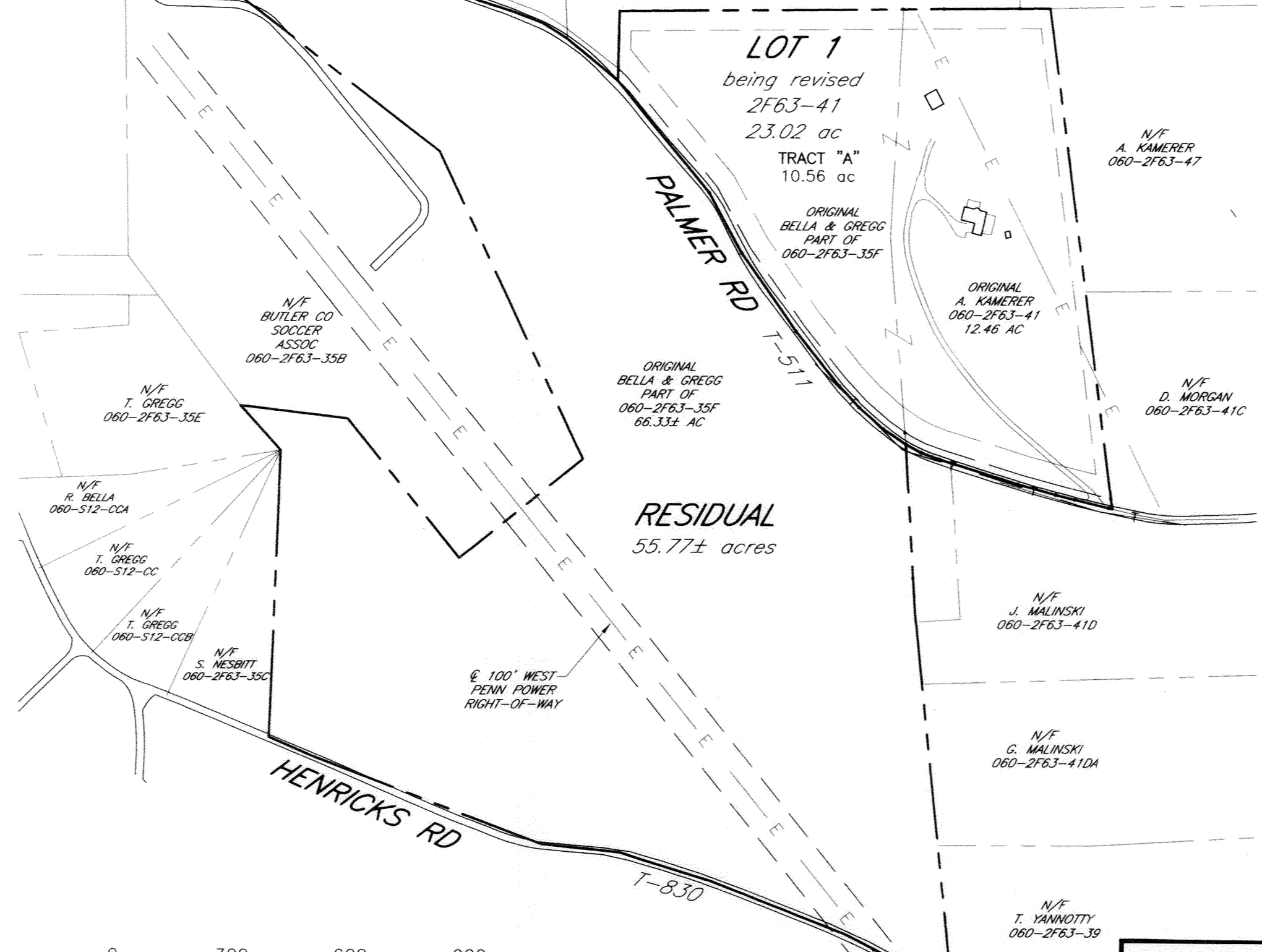


ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED ANDREW E. KAMERER JR. AND THERESA M. KAMERER, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 24 DAY OF FEBRUARY 2021.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY 2023.

Debra L. Jeffcoat
 NOTARY PUBLIC



PROPERTY AREAS

EXISTING TOTALS	
060-2F63-35F	66.33 AC
+060-2F63-41	12.46 AC
EXISTING TOTAL	78.79 AC

RESIDUAL (REVISED 060-2F63-35F)

ORIGINAL 2F63-35F	66.33 AC
-TRACT A	10.56 AC
RESIDUAL TOTAL	55.77 AC

LOT 1 (REVISED 060-2F63-41)

ORIGINAL 2F63-41	12.46 AC
+TRACT A	10.56 AC
LOT 1 TOTAL	23.02 AC

REVISED TOTALS

RESIDUAL	55.77 AC
+LOT 1	23.02 AC
REVISED TOTAL	78.79 AC

- GENERAL NOTES:**
- OWNERS: 060-2F63-35F - JEAN GREGG AND BELLA FAMILY JOINT REVOCABLE TRUST TRUSTEES: ROMEO & PARALUMAN BELLA 060-2F63-41 - ANDREW & THERESA KAMERER 345 PALMER RD BUTLER, PA 16001
 - ZONING DISTRICT: R-1A LOW DENSITY RESIDENTIAL
 - SETBACKS: FRONT LINE - 50' FROM RAW SIDE - 30' BACK - 50'
 - FEMA FLOOD ZONE: ZONE X - AREA OF MINIMAL FLOOD HAZARD FIRM 42019C0294D FIRM EFFECTIVE: 8/2/2018
 - REFERENCES: 5.1. CURRENT DEEDS OF RECORD 5.2. PREVIOUSLY RECORDED PLANS 5.2.1. PALMER SUBDIVISION PLAN BOOK 171 PG 36 5.2.2. MALINSKI SUBDIVISION PLAN BOOK 141 PG 20 5.2.3. 1997 LSI SURVEY FOR THOMAS PROJECT #97300 DATED 12/14/97

BELLA/GREGG/KAMERER PLAN

Being a lot line revision of Butler County Tax Parcels 060-2F63-35F and 060-2F63-41

PLAN BOOK	PAGE
392	26

REVISIONS PER TOWNSHIP ENGINEER REVIEW LETTER DATED 1/18/2021	SDG	1/21/2021	
REV	DESCRIPTION	BY	DATE
GRAFF SURVEYING			
GRAFF SURVEYING LLC			
PO BOX 521 SAXONBURG, PA 16056 P: 724-352-3811 F: 724-352-1059 INFO@GRAFFSURVEYING.COM WWW.GRAFFSURVEYING.COM			
PROJECT DESCRIPTION			
BELLA/GREGG/KAMERER PLAN			
BEING A			
LOT LINE REVISION			
FOR			
BELLA TRUST, JEAN GREGG			
ANDREW & THERESA KAMERER			
SITUATE			
CENTER TOWNSHIP			
BUTLER COUNTY, PENNSYLVANIA			
DATE	DRAWN	CHECKED	SCALE
01/05/2021	SDG	Sdg	1" = 100'
PROJECT NO.	TAX PARCEL NO.	REVISION	
20-223	060-3F63-35F & 41	A	

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT WE, ANDREW M. & KRISTEN J. FLEMING, OF THE TOWNSHIP OF BUFFALO, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PREMISES, SITUATE IN THE TOWNSHIP OF BUFFALO, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVER ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF BUFFALO, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF BUFFALO, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE HERETO SET OUR HAND AND SEAL THIS 8 DAY OF MARCH, 2021.

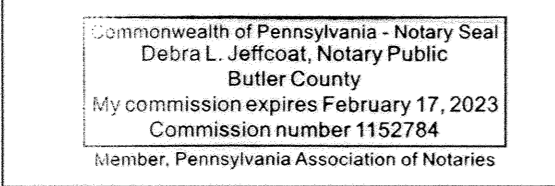
Andrew M. Fleming
 ANDREW M. FLEMING
Kristen J. Fleming
 KRISTEN J. FLEMING

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, ANDREW M. & KRISTEN J. FLEMING, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 8 DAY OF MARCH, 2021.

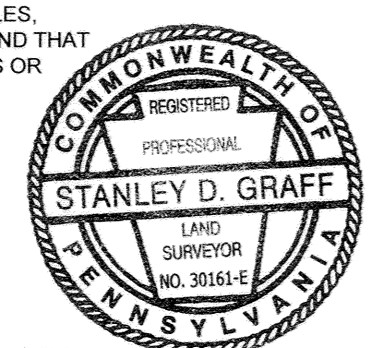
MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023.

Debra L. Jeffcoat
 NOTARY PUBLIC



SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

12 FEB 2021
 DATE
Stanley D. Graff
 STANLEY D. GRAFF
 REG. NO. SU-03151-E



MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF BUFFALO, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF BUFFALO ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS
 APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF BUFFALO THIS 10TH DAY OF FEBRUARY, 2021.

Janece Y. Zubrin
 SECRETARY
Samuel S. Zapp
 CHAIRPERSON
 BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF BUFFALO THIS 3RD DAY OF FEBRUARY, 2021.

Jason K. Gray
 SECRETARY
Rebecca M. ...
 CHAIRPERSON
 PLANNING COMMISSION



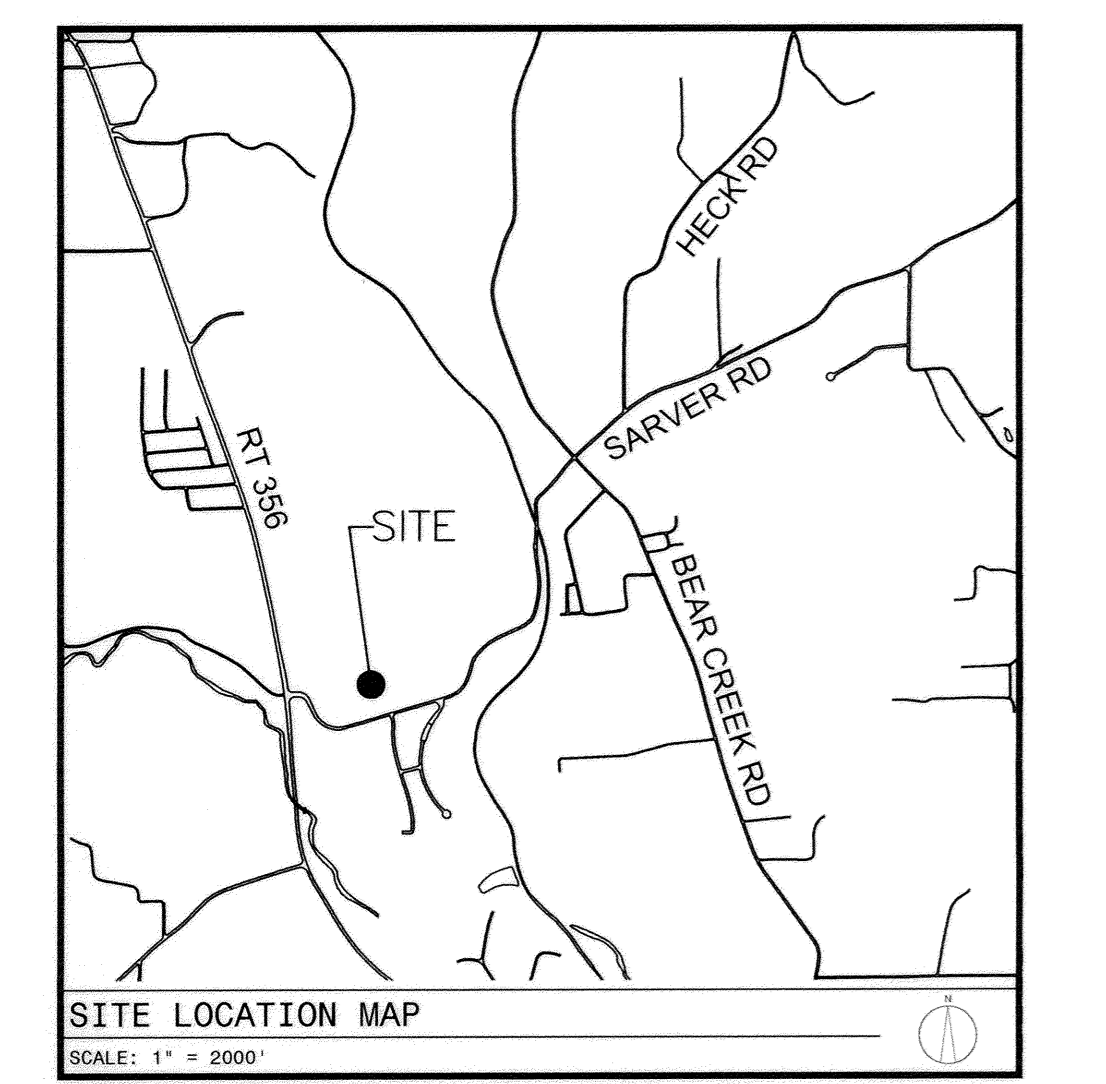
BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 16TH DAY OF DECEMBER, 2020.

R. Han
 SECRETARY
 Butler County Plan #20275
J. Han
 CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 392, PAGE 27.

GIVEN UNDER MY HAND AND SEAL THIS 9TH DAY OF MARCH, 2021.

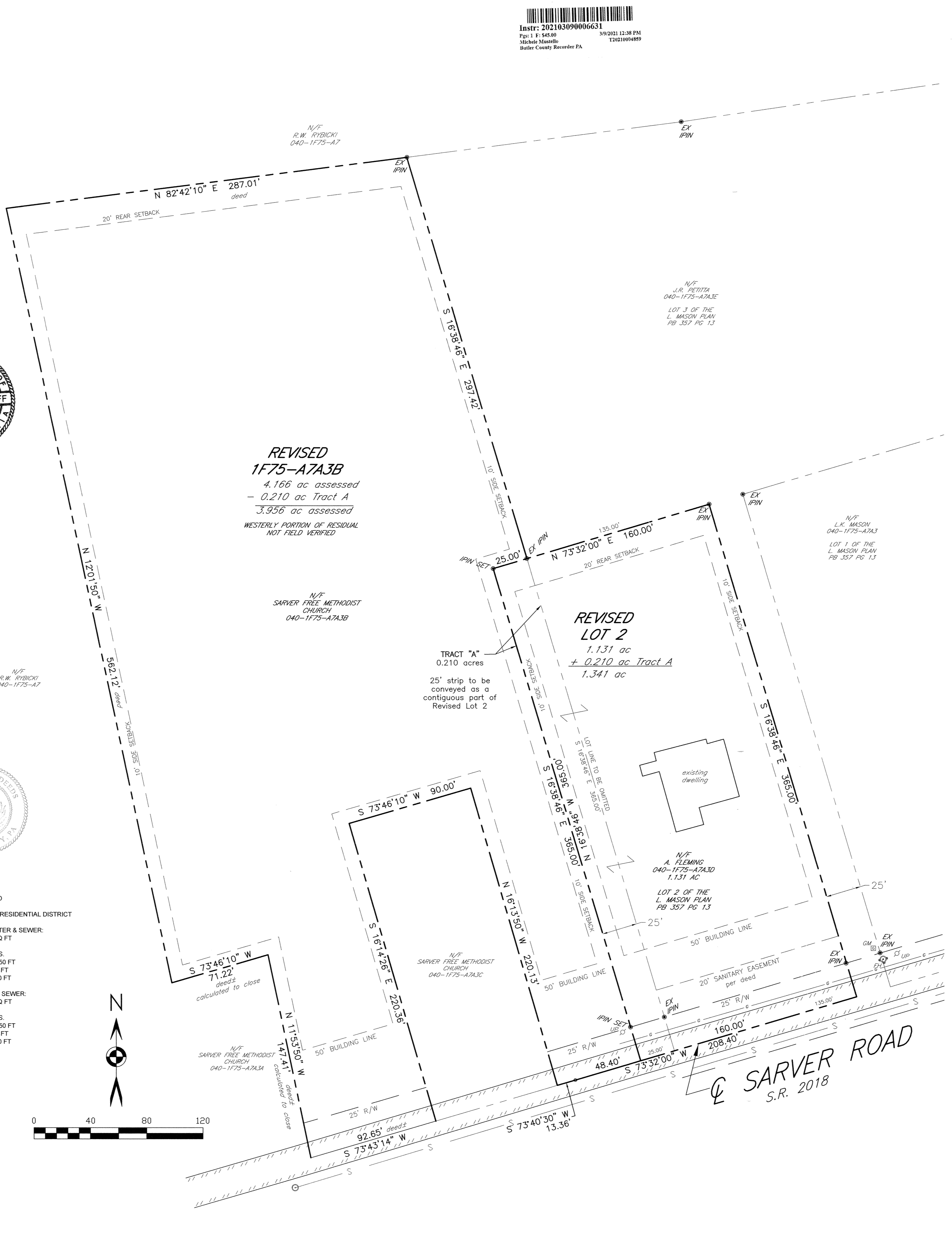
Michele M. Mustello
 RECORDER OF DEEDS
MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January, 2024.



PLANNING ORIENTATION NOTE: THE BASIS OF BEARINGS AND/OR COORDINATES SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM - SOUTH ZONE (PA-S) NAD 1983 AS DETERMINED BY GPS STATIC COLLECTION AND OPUS SOLUTION.

HIGHWAY OCCUPANCY PERMIT:
 A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE STATE HIGHWAY LAW (P.L. 1242, NO. 428).

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.



CORPORATE ADOPTION
 KNOW ALL MEN BY THESE PRESENTS, THAT SARVER FREE METHODIST CHURCH BY VIRTUE OF A RESOLUTION OF ITS BOARD OF DIRECTORS, DOES HEREBY ADOPT THIS PLAN OF SUBDIVISION OF ITS PROPERTY, SITUATE IN THE TOWNSHIP OF BUFFALO, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVER ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE TOWNSHIP OF BUFFALO, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, SARVER FREE METHODIST CHURCH HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF BUFFALO, COUNTY OF BUTLER, ITS SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON SARVER FREE METHODIST CHURCH ITS SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE HAND OF ITS PRESIDENT AND SAME TO ATTESTED BY ITS SECRETARY.

THIS 8 DAY OF MARCH, 2021.

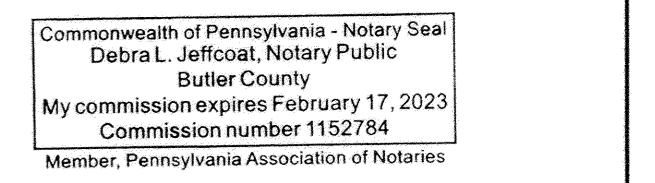
SARVER FREE METHODIST CHURCH
 NAME OF CORPORATION
Patricia Whitcomb
 SECRETARY
NA
 PRESIDENT

ACKNOWLEDGMENT OF NOTARY PUBLIC
 COMMONWEALTH OF PENNSYLVANIA }
 COUNTY OF BUTLER }
 ON THIS 8 DAY OF MARCH, 2021, BEFORE ME, NOTARY PUBLIC AND FOR SAID COUNTY OF COMMONWEALTH, PERSONALLY APPEARED PATRICIA AND NA, PRESIDENTS OF SARVER FREE METHODIST CHURCH, WHO BEING DULY SWORN, DEPOSES AND SAYS THAT HE WAS PERSONALLY PRESENT AT THE EXECUTION OF THE ADOPTION, RELEASE AND DEDICATION OF THE COMMON AND CORPORATE SEAL OF THE SAID CORPORATION DULY SIGNED AND SEALED BY AND AS FOR THE ACT AND DEED OF THE SAID SARVER FREE METHODIST CHURCH FOR THE USES AND PURPOSES THEREIN MENTIONED, AND THAT THE NAME OF THIS DEPONENT SUBSCRIBED TO THE SAID RELEASED AND DEDICATION AS PRESIDENT OF SAID CORPORATION, IN ATTESTATION OF THE DUE EXECUTION AND DELIVERY OF SAID RELEASED AND DEDICATION OF THIS DEPONENT'S OWN AND PROPER AND RESPECTIVE HANDWRITING.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 8 DAY OF MARCH, 2021.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023.

Debra L. Jeffcoat
 NOTARY PUBLIC



PROPERTY AREAS:	
EXISTING TOTALS	
1F75-A7A3B	4.166 AC ASSESSED
+ LOT 2	1.131 AC
EXISTING TOTAL	5.297 AC
REVISED 1F75-A7A3B	4.166 AC ASSESSED
- TRACT A	0.210 AC
REVISED 1F75-A7A3B TOTAL	3.956 AC ASSESSED
REVISED LOT 2	
ORIGINAL LOT 2	1.131 AC
+ TRACT A	0.210 AC
REVISED LOT 2 TOTAL	1.341 AC
REVISED TOTALS	
REVISED 1F75-A7A3B	3.956 AC ASSESSED
+ REVISED LOT 2	1.341 AC
REVISED TOTAL	5.297 AC

- GENERAL NOTES:**
- OWNERS: ANDREW M. & KRISTEN J. FLEMING
SARVER FREE METHODIST CHURCH
 - REFERENCES:
 - CURRENT DEEDS OF RECORD
 - PREVIOUSLY RECORDED PLANS
 - L. MASON PLAN PB 357 PG 13
 - PENNDOT HIGHWAY DRAWING

A	REVISIONS PER TOWNSHIP ENGINEER REVIEW	SDG	12/30/20
REV	DESCRIPTION	BY	DATE

GRAFF SURVEYING

GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION
A.M. FLEMING PLAN
 BEING A
LOT LINE REVISION
 FOR
ANDREW & KRISTEN FLEMING
SARVER FREE METHODIST CHURCH

SITUATE
 TOWNSHIP OF BUFFALO
 BUTLER COUNTY, PENNSYLVANIA

DATE	DRAWN	CHECKED	SCALE
11/20/20	SDG	Sdg	1" = 40'

PROJECT NO.	TAX PARCEL NO.	REVISION
20-218	040-1F75-A7A3D & A7A3B	A

RECORDED	20
PLAN BOOK	PAGE
392	27
SHEET	of

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT WE, JAMES LEVRI AND MARGARET J. LEVRI, TRUSTEES OF THE LEVRI REVOCABLE LIVING TRUST, OF THE TOWNSHIP OF BUFFALO, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF BUFFALO, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCORDING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF BUFFALO, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF BUFFALO, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 12 DAY OF FEBRUARY, 2021.

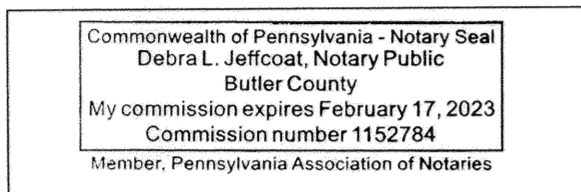
James Levri
 JAMES LEVRI
Margaret J. Levri
 MARGARET J. LEVRI

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, JAMES LEVRI AND MARGARET J. LEVRI, TRUSTEES OF THE LEVRI REVOCABLE LIVING TRUST, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 12 DAY OF FEBRUARY, 2021.

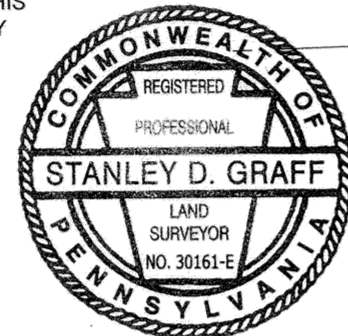
MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023.

Debra L. Jeffcoat
 NOTARY PUBLIC



SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

12 FEB 2021
 DATE
Stanley D. Graff
 STANLEY D. GRAFF
 REG. NO. SU-33061-E



MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF BUFFALO, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF BUFFALO ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORIGINALLY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF BUFFALO THIS 10TH DAY OF FEBRUARY, 2021.

James J. Zelenka
 SECRETARY
Donald B. Zapp
 CHAIRPERSON
 BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF BUFFALO THIS 3RD DAY OF FEBRUARY, 2021.

Jason K. Gray
 SECRETARY
Debra L. Jeffcoat
 CHAIRPERSON
 PLANNING COMMISSION

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 20TH DAY OF JAN., 2021.

R. Higgins
 SECRETARY
Debra L. Jeffcoat
 CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION

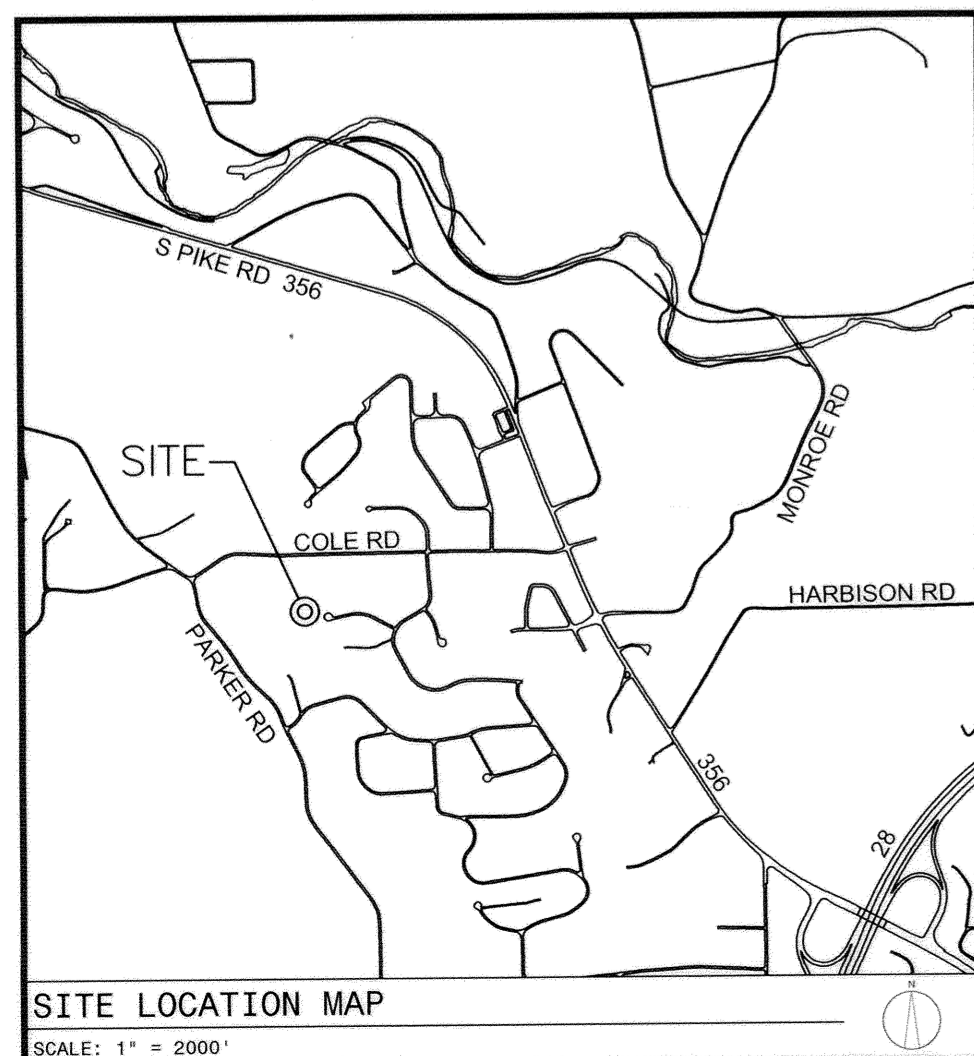
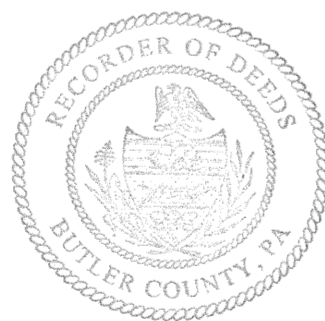
PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN

PLAN BOOK VOLUME 392 PAGE(S) 28

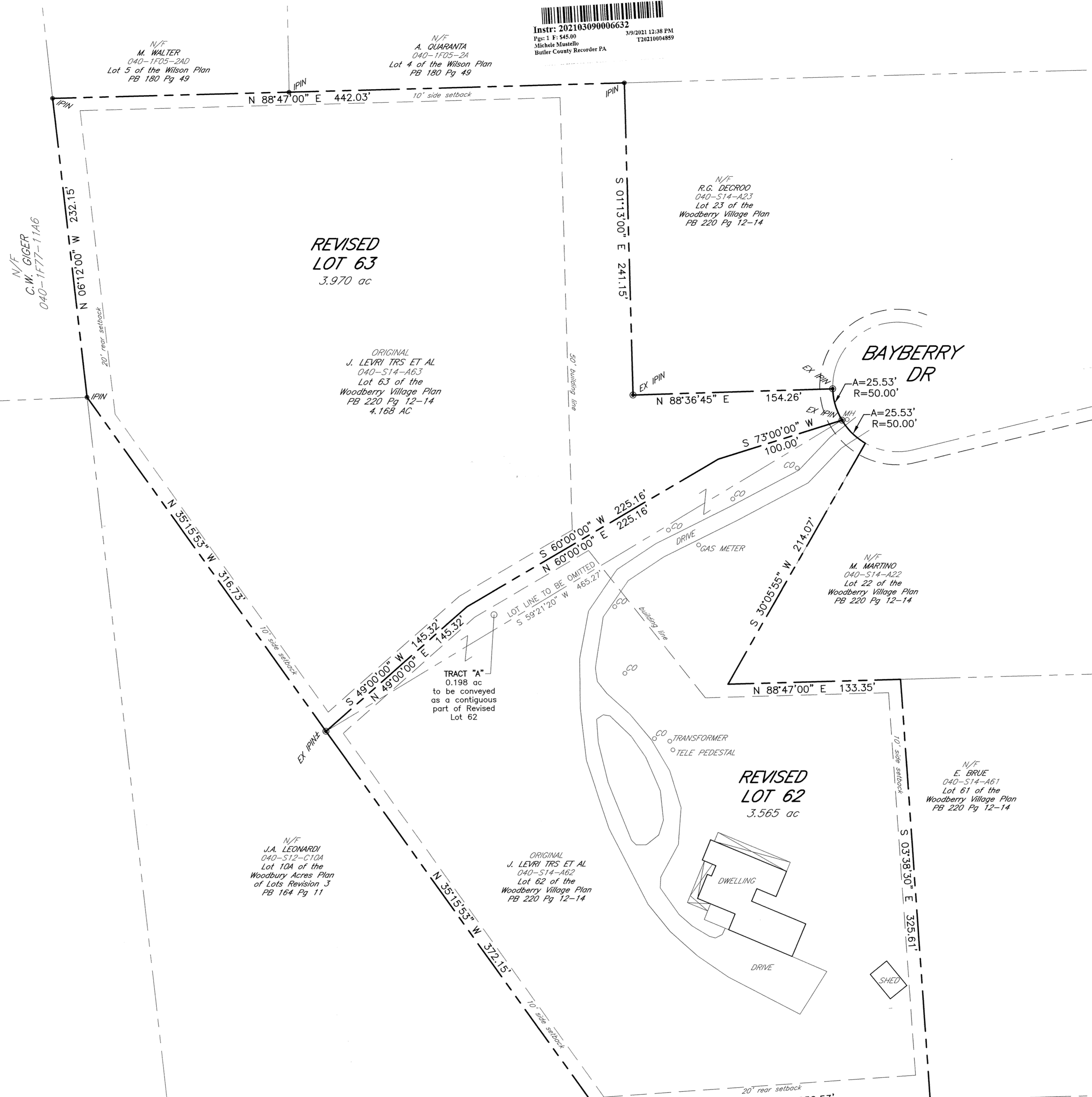
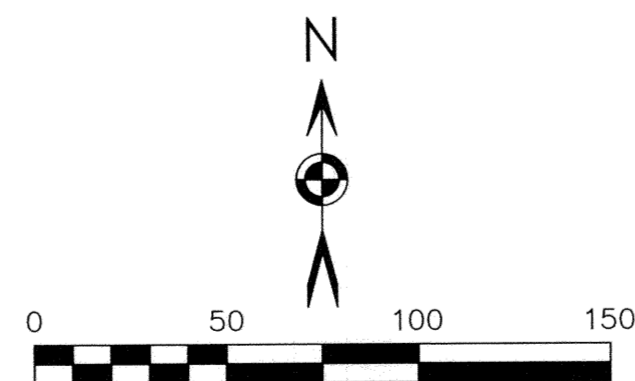
GIVEN UNDER MY HAND AND SEAL THIS 9TH DAY OF MARCH, 2021.

Michele M. Mustello
 RECORDER OF DEEDS
 MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday In January 2024



NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

BUFFALO TOWNSHIP R-2 GENERAL RESIDENTIAL DISTRICT		
Dimension	Single Family with Public Water and Sewer	Single Family without Public Sewer
Min. Lot Area	20,000 sq ft	40,000 sq ft
Min. Lot Width	100 feet	150 feet
Min. Front Yard Depth	50 feet	50 feet
Min. Side Yard Depth	10 feet	20 feet
Min. Rear Yard Depth	20 feet	20 feet



PROPERTY AREA SUMMARY:

EXISTING TOTALS	
LOT 62	3.367 AC
+ LOT 63	4.168 AC
EXISTING TOTAL	7.535 AC

REVISED LOT 62	3.367 AC
+ TRACT A	0.198 AC
REVISED LOT 62	3.565 AC

REVISED LOT 63	4.168 AC
- TRACT A	0.198 AC
REVISED LOT 63	3.970 AC

REVISED TOTALS	
REVISED LOT 62	3.565 AC
+ REVISED LOT 63	3.970 AC
REVISED TOTAL	7.535 AC

- GENERAL NOTES:**
- OWNER: LEVRI REVOCABLE LIVING TRUST
 - TRUSTEES: JAMES AND MARGARET LEVRI
 - ZONING DISTRICT: R-2 GENERAL RESIDENTIAL
 - SETBACKS: SEE TABLE
 - REFERENCES
 - CURRENT DEEDS OF RECORD
 - PREVIOUSLY RECORDED PLANS
 - WOODBERRY VILLAGE PLAN PLAN BOOK 220 PG 12-14
 - WOODBERRY ACRES PLAN PLAN BOOK 109 PG 25

GRAFF SURVEYING
 GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

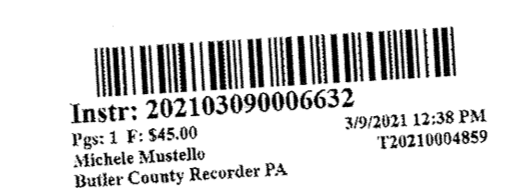
PROJECT DESCRIPTION
J. LEVRI PLAN
 BEING A
LOT LINE REVISION
 FOR
LEVRI REVOCABLE LIVING TRUST

SITUATE			
BUFFALO TOWNSHIP BUTLER COUNTY, PENNSYLVANIA			
DATE	DRAWN	CHECKED	SCALE
12/31/2020	SDG	Sdg	1" = 50'
PROJECT NO.	TAX PARCEL NO.	REVISION	
20-243	040-S14-A62 & A63		

RECORDED	
PLAN BOOK	PAGE
392	28
SHEET	of

J. LEVRI PLAN

Being a lot line revision of Lots 62 and 63 of Woodberry Village Plan as recorded in Butler County Plan Book Volume 220 Pages 12-14, and being Butler County Tax Parcels 040-S14-A62 (Lot 62) and 040-S14-A63 (Lot 63)



Instr: 202103090006696
 Pg: 1 of 846.00
 Michele Mustello
 Butler County Recorder PA
 3/9/2021 3:53 PM
 T2021004908

KNOW ALL MEN BY THESE PRESENTS, that we, Brian Anthony Lasko and Crystal Lynn Lasko, of the Township of Muddy Creek, of the County of Butler, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this as our Plan of Lots of our property, situate in the Township of Muddy Creek, County of Butler, Commonwealth of Pennsylvania, and for divers advantages accruing to us, do hereby irrevocably dedicate forever, for public use for highway, drainage, sewage and utility purposes, all streets and other public property identified for dedication on the plan to the public. Any future acceptance of said public streets or property by the Commonwealth of Pennsylvania, County of Butler or Township of Muddy Creek, we, Brian Anthony Lasko and Crystal Lynn Lasko, hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler, and Township of Muddy Creek, their successors or assigns from any liability for damages arising from any appropriation of said ground for public highways and other public uses, and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Brian Anthony Lasko and Crystal Lynn Lasko, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, I hereunto set our hands and seals this 3 day of March, 2021.

ATTEST:
Darlene A. Beachem Notary Public
 My Commission expires: 01/12/2022
Brian Anthony Lasko Owner
Crystal Lynn Lasko Owner

Commonwealth of Pennsylvania - Notary Seal
 Darlene A. Beachem, Notary Public
 Butler County
 My Commission expires January 12, 2022
 Commission number 1038812
 Member, Pennsylvania Association of Notaries

This plan has been recommended for approval by the Planning Commission of the Township of Muddy Creek, Butler County, Commonwealth of Pennsylvania, on this 10th day of December, 2020.

ATTEST:
Marnee Chuba Recording Secretary
John L. Boffa Vice Chairman
 Board of Supervisors

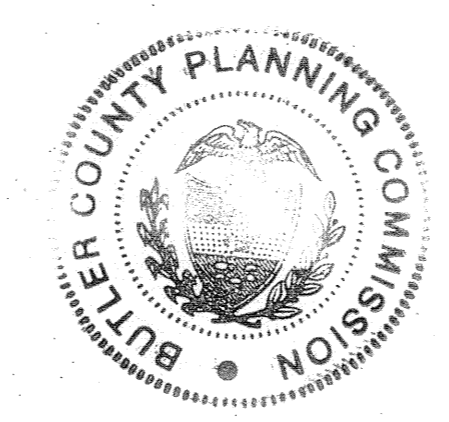
The Board of Supervisors of the Township of Muddy Creek hereby gives public notice that it is approving this plan for recording purposes only. The Board of Supervisors has not accepted dedication of any streets, lands or public facilities and has no obligation, legal or otherwise, to improve or maintain such streets, lands or public facilities.

This plan approved by action of the Board of Supervisors of the Township of Muddy Creek, Butler County, Pennsylvania on this 9th day of March, 2021.

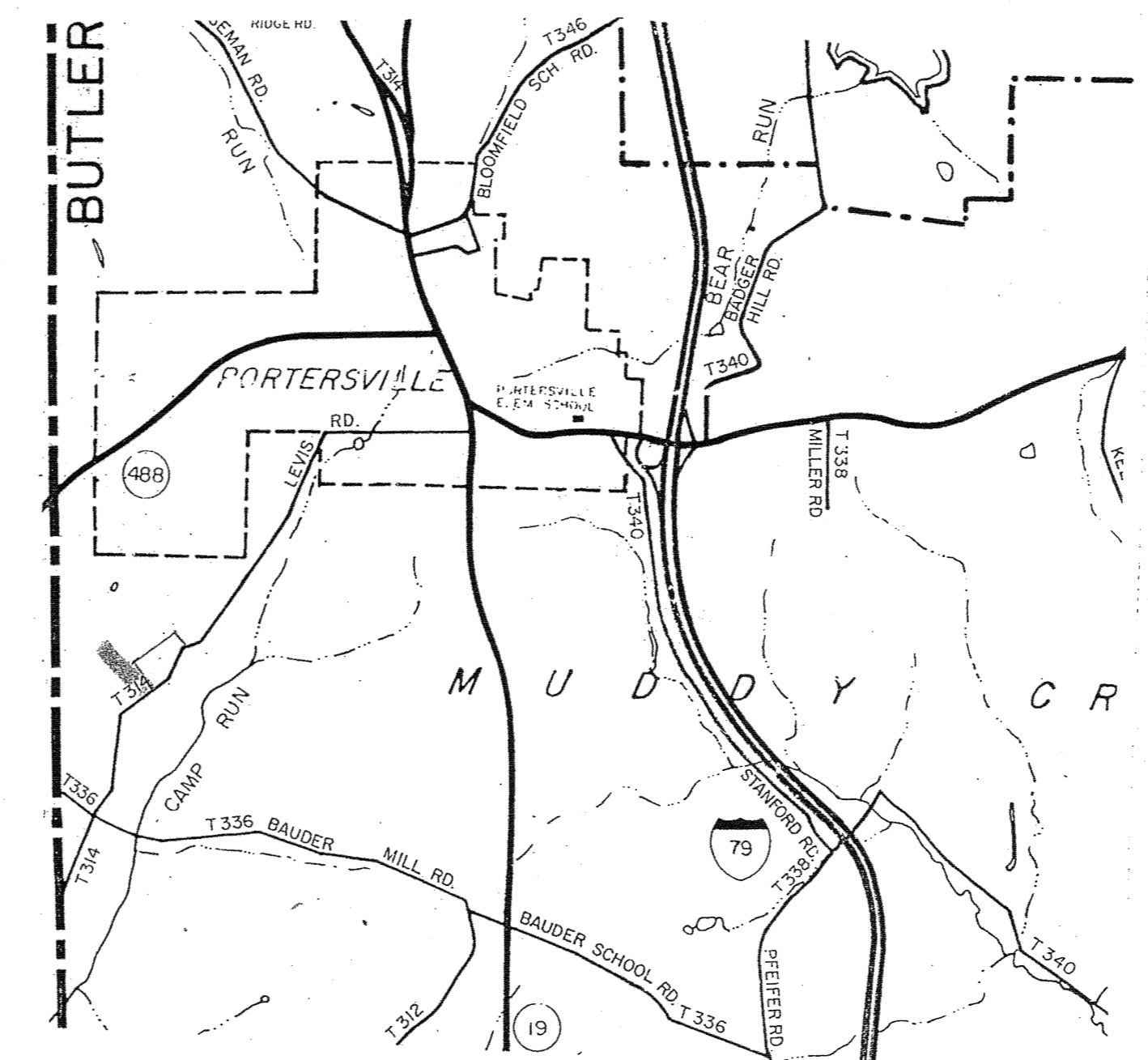
ATTEST:
Marnee Chuba Secretary
John L. Boffa Chairman
 Board of Supervisors

Reviewed with or without comments by the Butler County Planning Commission this 21st day of Oct, 2020.

ATTEST:
R. H. ... Secretary
J. H. ... Chairman
 Board of Supervisors



PLAN BOOK	PAGE
392	29



VICINITY MAP Scale: 1" = 2000'

KNOW ALL MEN BY THESE PRESENTS, that we, Brian Anthony Lasko and Crystal Lynn Lasko, of the Township of Muddy Creek, of the County of Butler, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this as our Plan of Lots of our property, situate in the Township of Muddy Creek, County of Butler, Commonwealth of Pennsylvania, and for divers advantages accruing to us, do hereby irrevocably dedicate forever, for public use for highway, drainage, sewage and utility purposes, all streets and other public property identified for dedication on the plan to the public. Any future acceptance of said public streets or property by the Commonwealth of Pennsylvania, County of Butler or Township of Muddy Creek, we, Brian Anthony Lasko and Crystal Lynn Lasko, hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler, and Township of Muddy Creek, their successors or assigns from any liability for damages arising from any appropriation of said ground for public highways and other public uses, and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Brian Anthony Lasko and Crystal Lynn Lasko, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 3 day of March, 2021.

ATTEST:
Darlene A. Beachem Notary Public
 My Commission expires: 01/12/2022
Brian Anthony Lasko Owner
Crystal Lynn Lasko Owner

Commonwealth of Pennsylvania - Notary Seal
 Darlene A. Beachem, Notary Public
 Butler County
 My Commission expires January 12, 2022
 Commission number 1038812
 Member, Pennsylvania Association of Notaries

We, Brian Anthony Lasko and Crystal Lynn Lasko, fully understand and agree that the approval of the Board of Supervisors of the Township of Muddy Creek, if hereto attached, will become null and void unless this plan is recorded in the Recorder of Deeds Office of Butler County, County Court House, Butler, Pennsylvania within ninety (90) days of date of said approval.

ATTEST:
Brian Anthony Lasko Owner
Crystal Lynn Lasko Owner

COMMONWEALTH OF PENNSYLVANIA)
 [S]S:
 COUNTY OF BUTLER)

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared Brian Anthony Lasko and Crystal Lynn Lasko, who being duly sworn according to law, depose and say that they are the owners of the property shown on this plan, that the plan thereof was made at their direction, that she acknowledges the same to be their act and deed, and that they desire the same to be recorded as such.

WITNESS MY HAND AND NOTARIAL SEAL this 3 day of March, 2021.

ATTEST:
Darlene A. Beachem Notary Public
 My Commission Expires: 01/12/2022

Commonwealth of Pennsylvania - Notary Seal
 Darlene A. Beachem, Notary Public
 Butler County
 My Commission expires January 12, 2022
 Commission number 1038812
 Member, Pennsylvania Association of Notaries

CERTIFICATE OF TITLE - MORTGAGE CLAUSE

We, Brian Anthony Lasko and Crystal Lynn Lasko, do hereby certify that the title to the property shown hereon is in the names of Brian Anthony Lasko and Crystal Lynn Lasko and is recorded in Instrument Number 201206120016824and that there is a mortgage on the property held by

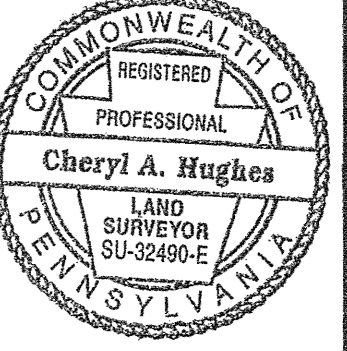
First National Bank
 WITNESS: *Marnee Chuba* Secretary
Brian Anthony Lasko Owner

First National Bank mortgage of the property contained in the Brian Anthony Lasko and Crystal Lynn Lasko Plan consents to the recording of said plan and to the dedications and all other matters appearing on the plan.

WITNESS:
 PRINTED NAME AND TITLE
Michelle M. Mustello Recorder

I, Cheryl A. Hughes, a Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers as shown on the plan have been set, and to the best of my knowledge, that this plan correctly represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.

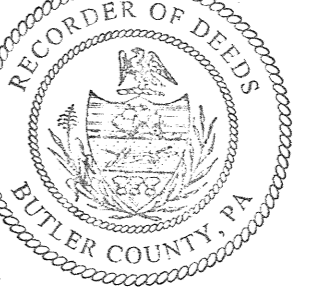
SEAL
 DATE September 21, 2020
 Cheryl A. Hughes, P.L.S.
 Registration No. SU-32490-E



COMMONWEALTH OF PENNSYLVANIA)
 [S]S:
 COUNTY OF BUTLER)

Recorded in the office for the recording of deeds, plats, etc. in said County at Instrument Number 202103090006696 Book 392 Page 29
 Given under my hand and seal this 9th day of March, 2021.

ATTEST:
Michelle M. Mustello Recorder
 MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



REVISED 11/10/2020; SEPTIC SYSTEM PERMIT #

L S J	Land Surveyors, Inc. 523 North Main Street P.O. Box 1061 Butler, PA 16003-1061 (724) 287-6865 Cheryl A. Hughes, PLS Owner
LOT LINE REVISION FOR: BRIAN ANTHONY LASKO and CRYSTAL LYNN LASKO SITUATE: MUDDY CREEK TWP., BUTLER CO. PA	

Date 09/21/2020	Scale 1" = 40'	Dwn By BEC	Ckd By CAH
Parcel No. 240-4F133-10, 10B	Instrument # 201206120016824	Service No. 20-130	



N/F E.K. ADAMS
240-4F133-13B

N/F E.K. ADAMS
240-4F133-13BA

LOT 1 OF P.B. 332 PG. 42
2.53 ACRES (110,144.68 SQ. FT.)
3.05 ACRES LOT 2
5.58 ACRES TOTAL AFTER
CONVEYANCES = REVISED LOT 1
METAL GARAGE (243,255.63 SQ. FT.)

LOT 2 OF P.B. 332 PG. 42
3.05 ACRES (133,110.95 SQ. FT.)
TO BE CONVEYED TO &
COMBINED WITH ADJOINING
LOT 1

N/F D.J. BRANDSTETTER
240-4F133-1DA

R=256.80' A=161.73'
Ch= S 40°27'00" W
159.07'

R=818.51' A=69.74'
Ch= S 24°50'57" W
69.72'

R=818.51' A=333.84'
Ch= S 38°58'27" W
331.53'

NOTES:
SUBJECT TO ANY AND ALL EXISTING RIGHTS-
OF-WAY AND EASEMENTS OF RECORD.

ACCORDING TO THE FLOOD INSURANCE RATE
MAP PREPARED FOR THIS TOWNSHIP, THIS
PROPERTY LIES IN ZONE C - AREAS DETERMINED
TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN.

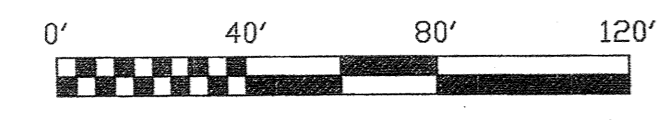
PROPERTY OWNERS: BRIAN ANTHONY LASKO
CRYSTAL LYNN LASKO
267 LEVIS ROAD
PORTERSVILLE, PA 16051

CONTOURS SHOWN BASED ON USGS PORTERSVILLE, PA
QUADRANGLE

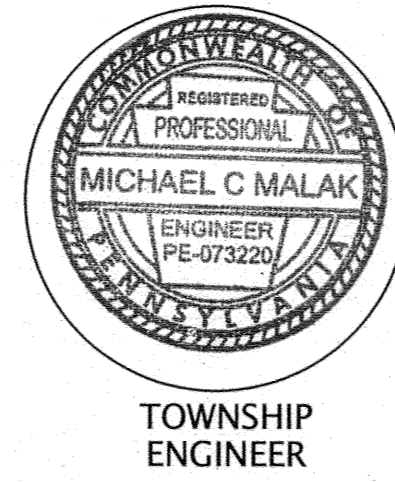
REF: LOT 1 OF KENNETH W. & YVETTE BURTNER
SUBDIVISION, P.B. 192 PG. 26.

REF: PLAN OF SUBDIVISION FOR BRIAN ANTHONY LASKO &
CRYSTAL LYNN LASKO BY LSI, INC., #12-02, P.B. 332 PG. 42.

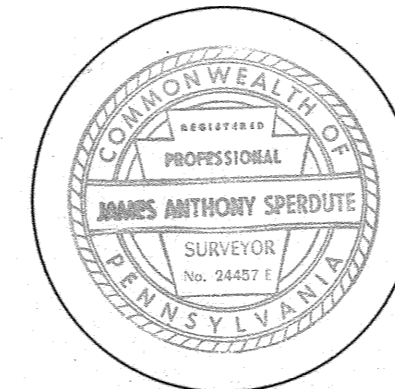
THE PURPOSE OF THIS PLAN IS TO COMBINE TWO
ADJOINING LOTS.



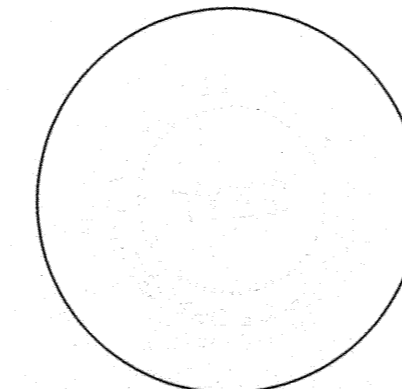
INSTRUMENT: 202103100006744
 Page 1 of 545.00
 Michele Mustello
 Butler County Recorder PA
 3/10/2021 10:30 AM
 T2021000494



TOWNSHIP ENGINEER



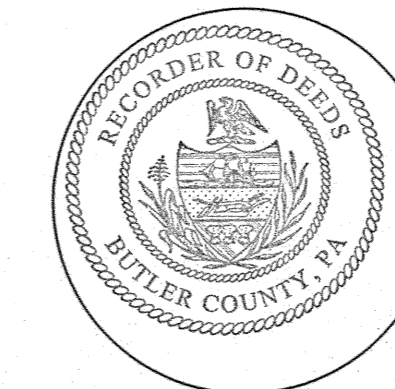
REGISTERED SURVEYOR



CRANBERRY TWP BOARD OF SUPERVISORS



BUTLER COUNTY PLANNING COMMISSION



BUTLER COUNTY RECORDER OF DEEDS

BY RESOLUTION APPROVED ON THE 8 DAY OF March, 2021, THE BOARD OF DIRECTORS OF NVR, INCORPORATED IN THE COMMONWEALTH OF PENNSYLVANIA, OWNER OF THE LAND SHOWN ON THE RESERVE AT EAGLE HILL AMENDMENT NO. 14 PLAN IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE CORPORATION AND UPON ITS SUCCESSORS AND ASSIGNS.

(SEAL) [Signature], V.P.
 SIGNATURE AND TITLE OF OFFICER WITNESSING

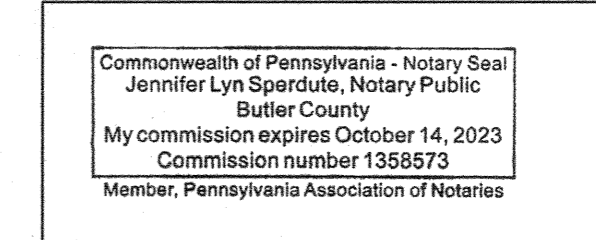
(SEAL) [Signature]
 SIGNATURE AND TITLE OF AUTHORIZED OFFICER

3-8-2021
 DATE

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF ALLEGHENY, PERSONALLY APPEARED Pete Robertson, V.P. OF NVR, INC. WHO STATED THAT HE IS AUTHORIZED TO EXECUTE THE ABOVE ADOPTION AND DEDICATION ON BEHALF OF THE CORPORATION AND WAS PRESENT AT THE MEETING AT WHICH THE ACTION OF THE CORPORATION WAS TAKEN TO ADOPT THE PLAN AND DEDICATE PUBLIC PROPERTY CONTAINED THEREIN TO THE PUBLIC.

WITNESS MY HAND AND NOTARIAL SEAL THIS 8 DAY OF March, 2021

(SEAL) [Signature]
 NOTARY PUBLIC



I, Pete Robertson, V.P. NVR HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE RESERVE AT EAGLE HILL AMENDMENT NO. 14 PLAN IS IN THE NAME OF NVR, INC. AND IS RECORDED AT INSTRUMENT NO. INSTRUMENT NO. 2020011230027367. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

(SEAL) [Signature]
 SIGNATURE OF WITNESS

(SEAL) [Signature]
 SIGNATURE AND TITLE OF AUTHORIZED OFFICER

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

3/8/2021
 DATE

[Signature]
 JAMES A. SPURDUTE, P.S. # 24457-E

I, Michele C. Malak, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER OF THE TOWNSHIP OF CRANBERRY, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

3/7/21
 DATE

[Signature]
 SIGNATURE
 REGISTRATION NO. PE-072220

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY BY ORDINANCE/RESOLUTION NO. 2021-07 EFFECTIVE THIS 28th DAY OF January, 20 21

[Signature]
 SECRETARY

[Signature]
 CHAIRPERSON

Daniel D. Santoro
 I, JERRY ANDREE, TOWNSHIP MANAGER FOR THE TOWNSHIP OF CRANBERRY CERTIFY THAT THE CONDITIONS FOR FINAL APPROVAL OUTLINED IN ORDINANCE/RESOLUTION NO. _____ HAVE BEEN MET IN ACCORDANCE WITH SECTION 22-305 AND 22-307 OF THE TOWNSHIP CODE OF ORDINANCES OF _____

[Signature]
 TOWNSHIP MANAGER

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 17th DAY OF FEB, 20 21

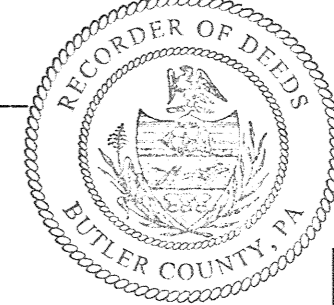
[Signature]
 SECRETARY

[Signature]
 CHAIRPERSON

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK 392 PAGE 30

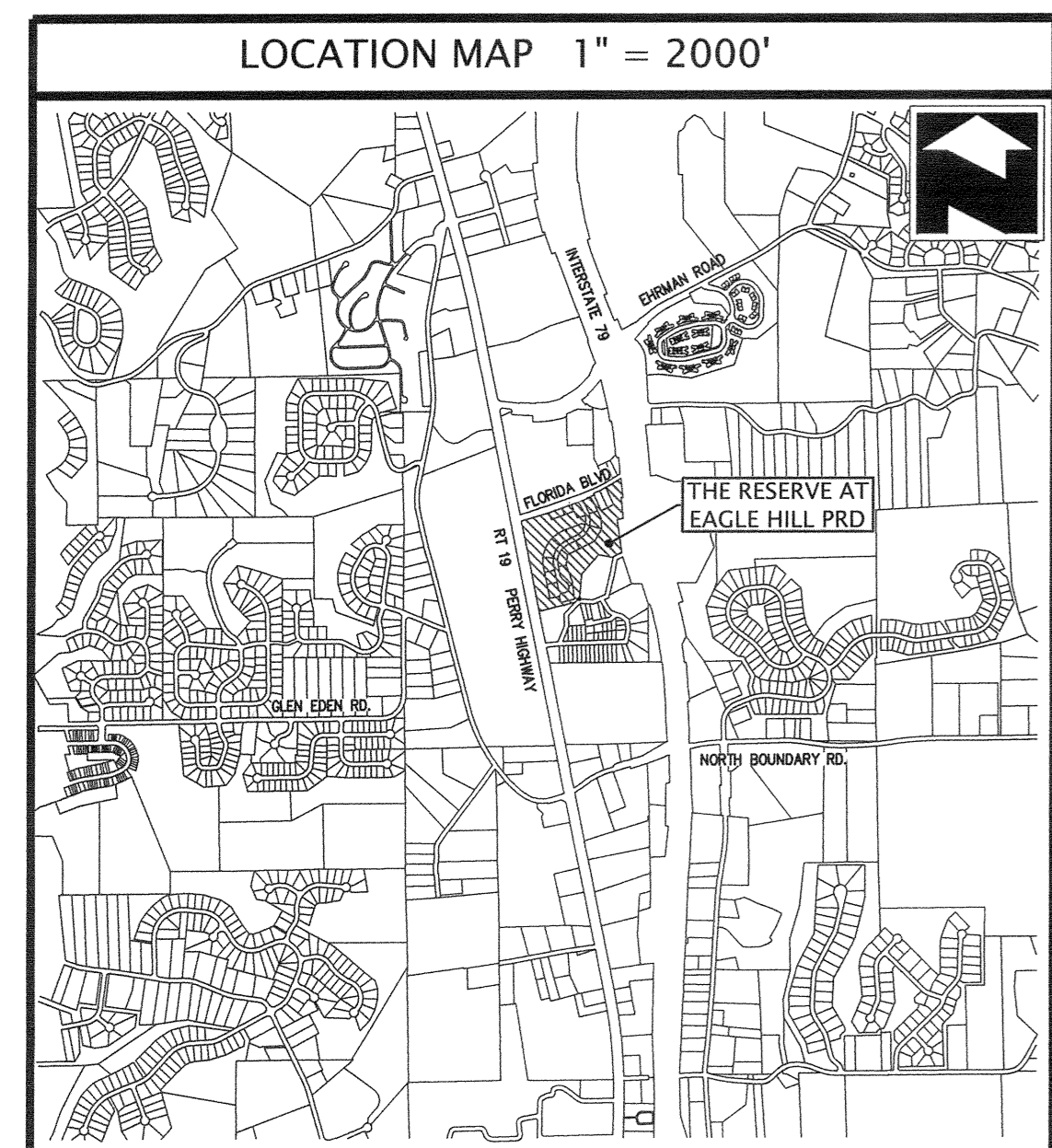
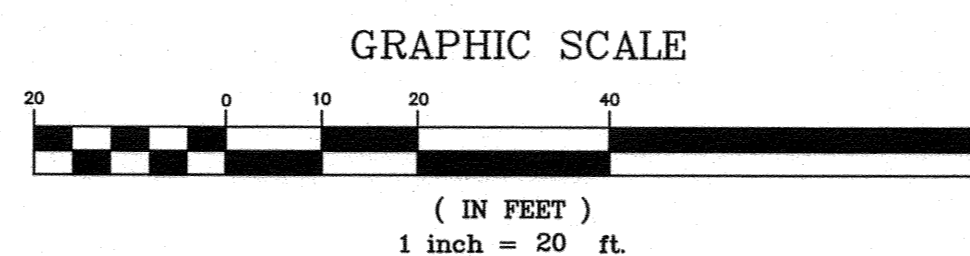
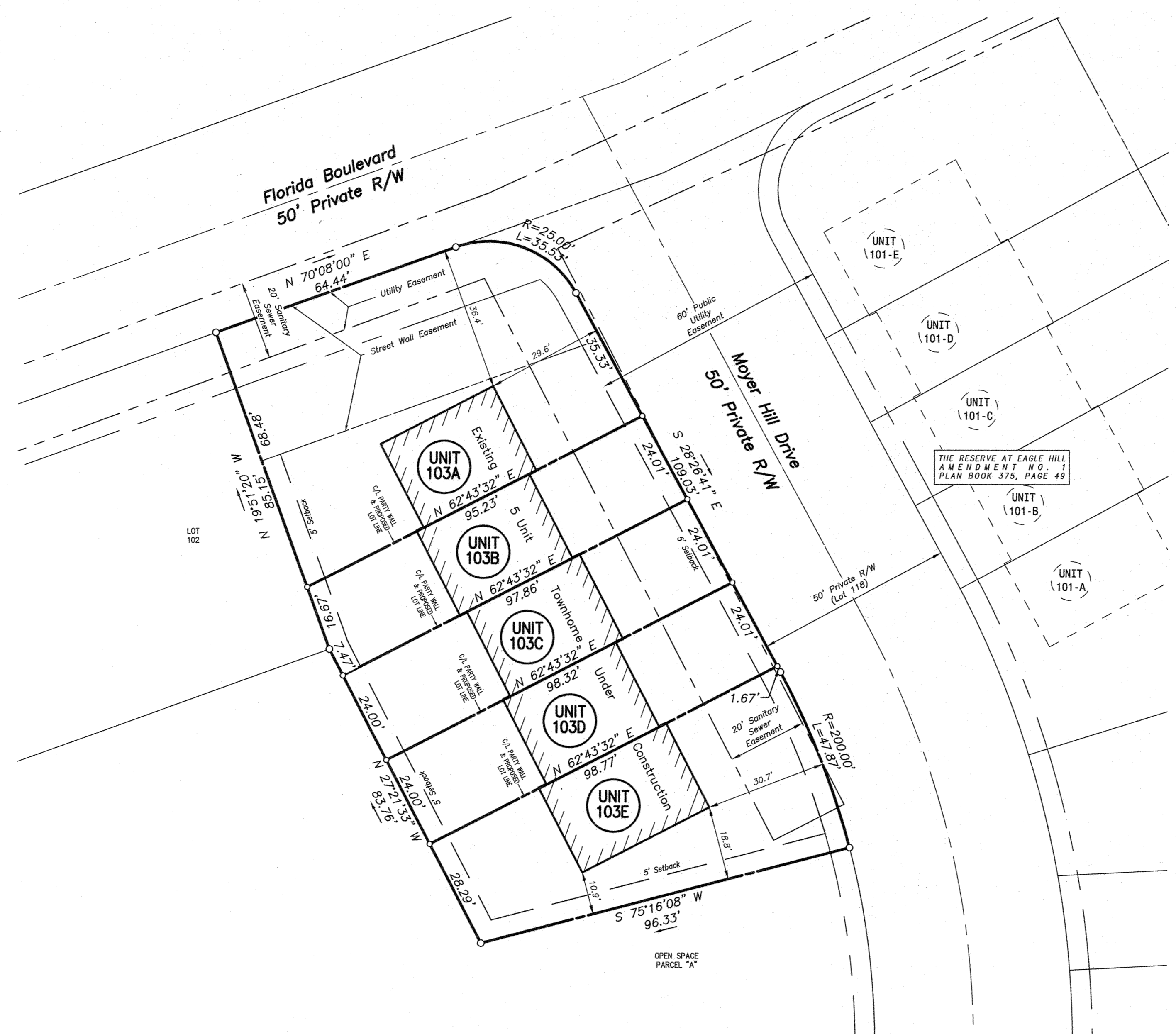
GIVEN UNDER MY HAND AND SEAL THIS 10th DAY OF March, 20 21

[Signature]
 RECORDER OF DEEDS



MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday In January 2024

PLAN BOOK	PAGE
392	30



GENERAL PLAN NOTES

- THIS PLAN IS A RE-SUBDIVISION OF LOT 103 OF THE RESERVE AT EAGLE HILL PRD AS RECORDED IN PLAN BOOK 369, PAGES 36 - 40. BEARINGS HAVE BEEN ADJUSTED TO REFERENCE THE PA STATE PLANE COORDINATE SYSTEM.
- THIS PLAN IS SUBJECT TO ANY AND ALL CONDITIONS OF THE PREVIOUSLY APPROVED AND RECORDED PLANS.
- IF APPLICABLE, BEARINGS LABELED AS (NR) ARE NON-RADIAL TO THE INTERSECTING RIGHT OF WAY LINE.
- SANITARY SEWER EASEMENTS SHALL BE FOR THE BENEFIT OF THE MUNICIPAL SEWER & WATER AUTHORITY OF CRANBERRY TOWNSHIP.

**AFFECTED ZONING CLASSIFICATION R-3
 PROPOSED USE : PRD (TOWNHOMES)**

- TYPICAL LOT SIZE : 0.426 ACRES
- MINIMUM LOT WIDTH : PER PATTERN BOOK
- MINIMUM FRONT SETBACK: 5.00 FEET
- MINIMUM REAR SETBACK: 5.00 FEET
- MINIMUM SIDE SETBACK: 5.00 FEET AT END UNITS
- MINIMUM PRD SETBACK: 50.00 FEET

PROPOSED LOT AREAS

103-A	5,555.63 SF	0.077 AC
103-B	2,325.240 SF	0.057 AC
103-C	2,354.162 SF	0.054 AC
103-D	2,365.076 SF	0.056 AC
103-E	3,809.64 SF	0.064 AC
TOTAL	16,409.750 SF	0.376 AC

PROPERTY REFERENCES

PROPERTY OWNER:
 NVR, INC
 ONE PENN CENTER WEST, SUITE 220
 PITTSBURGH, PA 15276

LOT REFERENCE:
 TAX PARCEL 130-S1-A103
 INST# 202011230027367

DEVELOPER / PROPERTY OWNER:

ONE PENN CENTER WEST, SUITE 220
 PITTSBURGH, PA 15276

BUILT BY:

DRAWING NUMBER: 1004-2122481
 DRAWING SCALE: 1"=20'
 DATE: January 18, 2021
 DRAWN BY:
 REVISIONS:

**THE RESERVE AT
 EAGLE HILL
 AMENDMENT NO 14**

CRANBERRY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

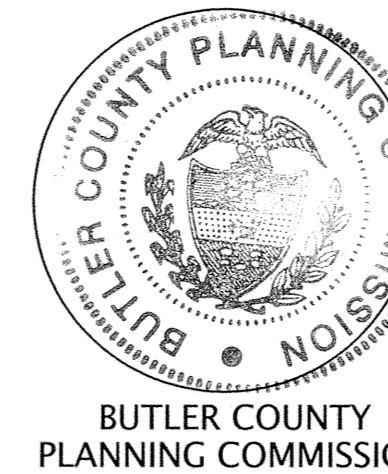
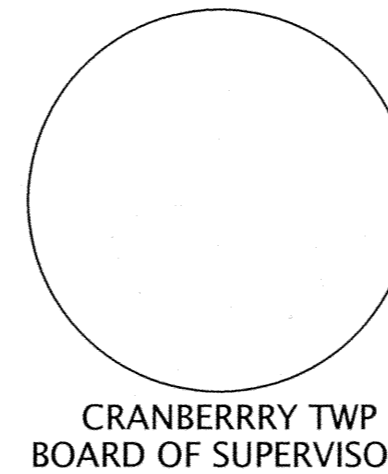
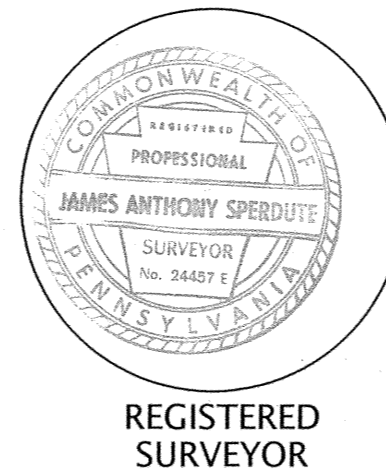
Sperdute Land Surveying
 A Division of Sheffler & Company

108 Deer Lane
 Harmony, PA 16037


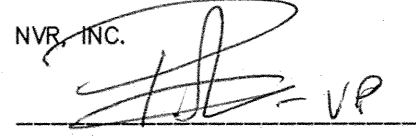
1712 Mount Nebo Road
 Sewickley, PA 15143

Office Phone: 724-452-4362
 Email: Info@SperduteSurveying.com

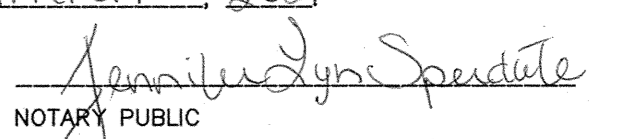
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 Michele Mustello
 Butler County Recorder PA
 T2021090496

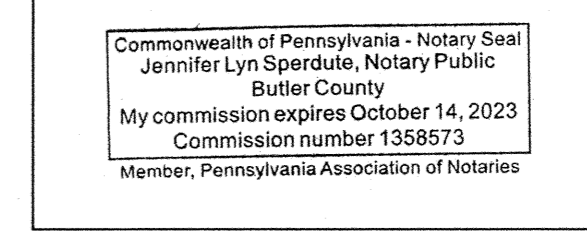


BY RESOLUTION APPROVED ON THE 8 DAY OF March, 2021, THE BOARD OF DIRECTORS OF NVR, INCORPORATED IN THE COMMONWEALTH OF PENNSYLVANIA, OWNER OF THE LAND SHOWN ON THE RESERVE AT EAGLE HILL AMENDMENT NO. 15 PLAN ADOPTED THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATED ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE CORPORATION AND UPON ITS SUCCESSORS AND ASSIGNS.

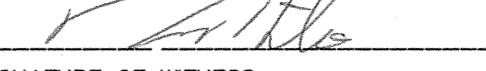
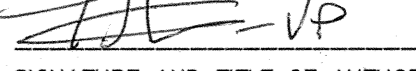
(SEAL)  NVR, INC. 
 SIGNATURE AND TITLE OF OFFICER WITNESSING SIGNATURE AND TITLE OF AUTHORIZED OFFICER
 2-8-2021
 DATE

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF ALLEGHENY, PERSONALLY APPEARED Pete Robertson, VP OF NVR, INC. WHO STATED THAT HE IS AUTHORIZED TO EXECUTE THE ABOVE ADOPTION AND DEDICATION ON BEHALF OF THE CORPORATION AND WAS PRESENT AT THE MEETING AT WHICH THE ACTION OF THE CORPORATION WAS TAKEN TO ADOPT THE PLAN AND DEDICATE PUBLIC PROPERTY CONTAINED THEREIN TO THE PUBLIC.

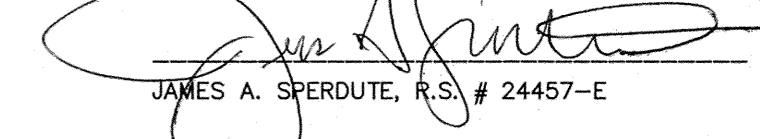
WITNESS MY HAND AND NOTARIAL SEAL THIS 8 DAY OF March, 2021
 (SEAL)  NOTARY PUBLIC




I, Pete Robertson, VP NVR HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE RESERVE AT EAGLE HILL AMENDMENT NO. 15 PLAN IS IN THE NAME OF NVR, INC. AND IS RECORDED AT INSTRUMENT NO. INSTRUMENT NO. 202012220030502. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

 SIGNATURE OF WITNESS  SIGNATURE AND TITLE OF AUTHORIZED OFFICER

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

3/8/2021
 DATE  JAMES A. SPERDUTE, R.S. # 24457-E

I, Michael C. Malak, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER OF THE TOWNSHIP OF CRANBERRY, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

3/2/21
 DATE  SIGNATURE
 REGISTRATION NO. 073270

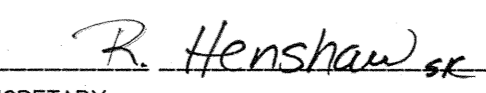
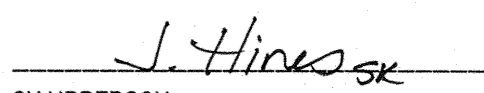
APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY BY ORDINANCE/RESOLUTION NO. 2021-02 EFFECTIVE THIS 28th DAY OF January, 2021

 SECRETARY  CHAIRPERSON

I, Jerry Andree, TOWNSHIP MANAGER FOR THE TOWNSHIP OF CRANBERRY CERTIFY THAT THE CONDITIONS FOR FINAL APPROVAL OUTLINED IN ORDINANCE/RESOLUTION NO. _____ HAVE BEEN MET IN ACCORDANCE WITH SECTION 22-305 AND 22-307 OF THE TOWNSHIP CODE OF ORDINANCES OF _____

 TOWNSHIP MANAGER

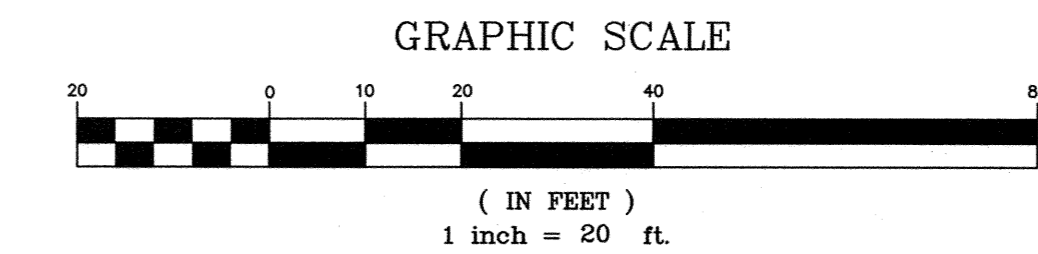
REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 17th DAY OF FEB, 2021

 SECRETARY  CHAIRPERSON

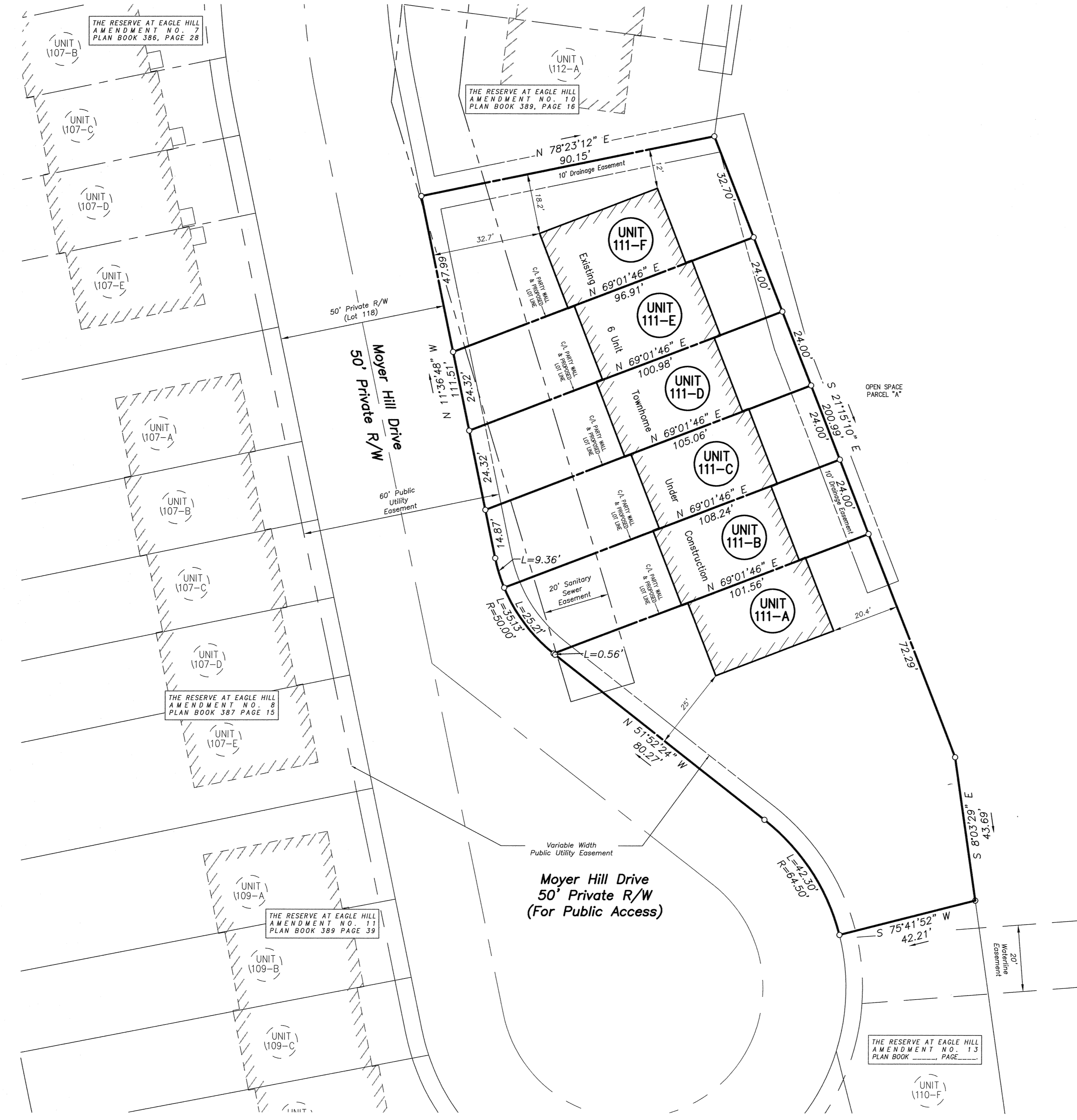
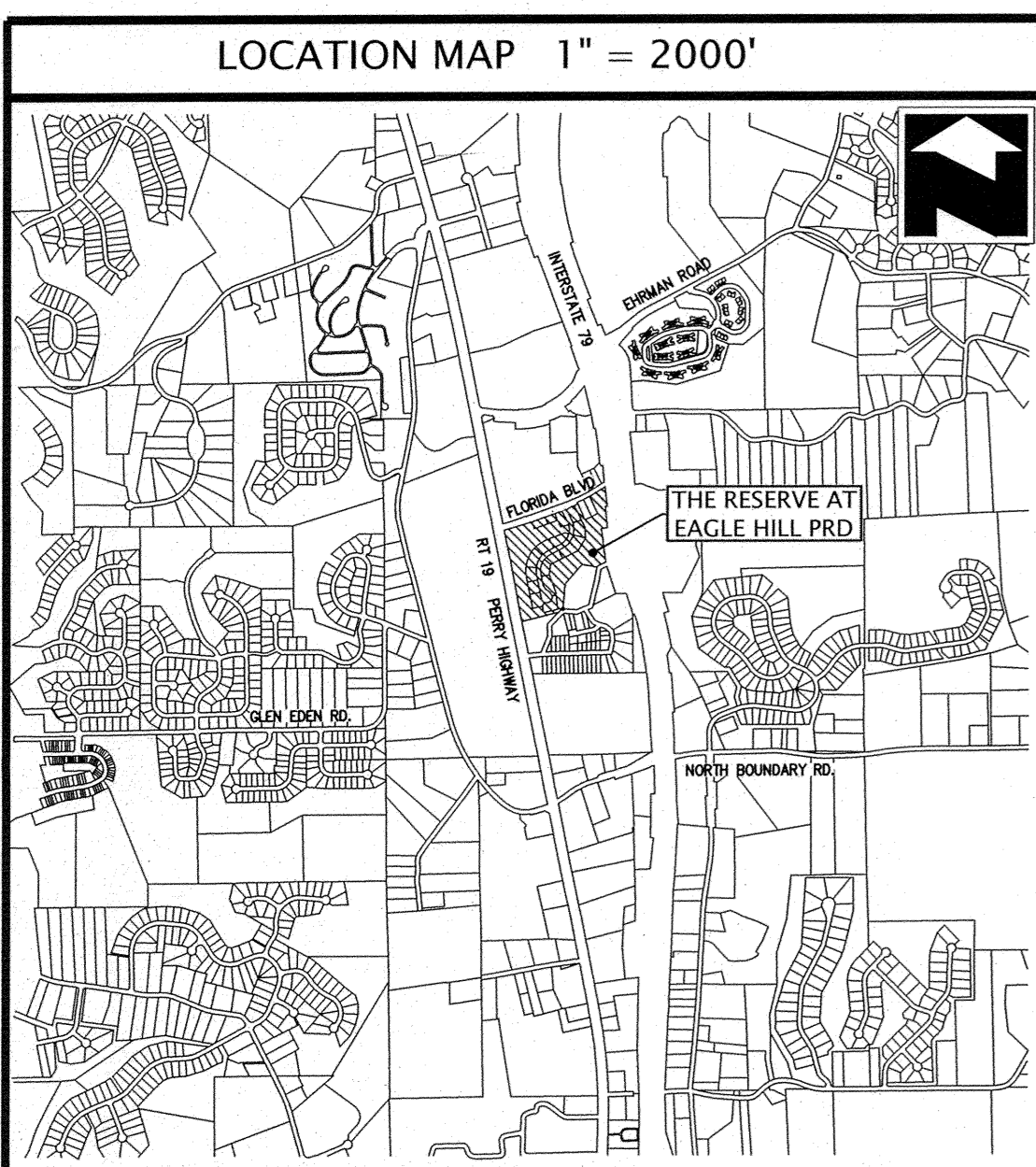
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK 392 PAGE 31

GIVEN UNDER MY HAND AND SEAL THIS 16th DAY OF March, 2021

 RECORDER OF DEEDS
MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



PLAN BOOK	PAGE
392	31



GENERAL PLAN NOTES

- THIS PLAN IS A RE-SUBDIVISION OF LOT 111 OF THE RESERVE AT EAGLE HILL PRD AS RECORDED IN PLAN BOOK 369, PAGES 36 - 40. BEARINGS HAVE BEEN ADJUSTED TO REFERENCE THE PA STATE PLANE COORDINATE SYSTEM.
- THIS PLAN IS SUBJECT TO ANY AND ALL CONDITIONS OF THE PREVIOUSLY APPROVED AND RECORDED PLANS.
- IF APPLICABLE, BEARINGS LABELED AS (NR) ARE NON-RADIAL TO THE INTERSECTING RIGHT OF WAY LINE.
- SANITARY SEWER EASEMENTS SHALL BE FOR THE BENEFIT OF THE MUNICIPAL SEWER & WATER AUTHORITY OF CRANBERRY TOWNSHIP.

AFFECTED ZONING CLASSIFICATION R-3
PROPOSED USE : PRD (TOWNHOMES)

- TYPICAL LOT SIZE : 0.426 ACRES PER PATTERN BOOK
- MINIMUM LOT WIDTH : 5.00 FEET
- MINIMUM FRONT SETBACK: 5.00 FEET
- MINIMUM REAR SETBACK: 5.00 FEET
- MINIMUM SIDE SETBACK: 5.00 FEET AT END UNITS
- MINIMUM PRD SETBACK: 50.00 FEET

PROPOSED LOT AREAS


111-A	7,740.058 SF	0.178 AC
111-B	2,544.029 SF	0.058 AC
111-C	2,567.449 SF	0.059 AC
111-D	2,472.465 SF	0.057 AC
111-E	2,374.715 SF	0.055 AC
111-F	3,747.451 SF	0.086 AC
TOTAL	17,698.716 SF	0.493 AC


PROPERTY REFERENCES

PROPERTY OWNER:
 NVR, INC
 ONE PENN CENTER WEST, SUITE 220
 PITTSBURGH, PA 15276

LOT REFERENCE:
 TAX PARCEL 130-S1-A111
 INST# 202012220030502

DEVELOPER / PROPERTY OWNER:



ONE PENN CENTER WEST, SUITE 220
 PITTSBURGH, PA 15276
 BUILT BY:


DRAWING NUMBER: 1004-2122462
 DRAWING SCALE: 1"=20'
 DATE: January 18, 2021
 DRAWN BY:
 REVISIONS:

THE RESERVE AT EAGLE HILL AMENDMENT NO 15
 CRANBERRY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

Sperdute Land Surveying
 A Division of Sheffer & Company

108 Deer Lane Harmony, PA 16037
 1712 Mount Nebo Road Sewickley, PA 15143

Office Phone: 724-452-4362
 Email: Info@SperduteSurveying.com

CORRECTION PLAN #2 (SEE SHEET 2 OF 2 FOR DETAILS)

HESPENHEIDE SUBDIVISION PLAN - FINAL

(PLAN BOOK 370, PAGE 2-11)

INSTR: 202103120006368
 File # 585.00
 Butler County Recorder PA
 3/23/2021 9:10 AM
 T2021009121

TOWNSHIP OF ADAMS, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA

OWNERS ADOPTION

Know All Men By These Presents, that we Fred W. and Christine A. Hespeneide of the Borough of Emlenton, County of Venango, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this as our Plan of Subdivision of our property, situate in the Township of Adams, County of Butler, Commonwealth of Pennsylvania, and for diverse advantages accruing to us do hereby dedicate forever, for public use for highway, drainage, sewage and utility purposes, all drives, roads, lands, rights-of-way, easements, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings and in consideration of the approval of said plan and any future acceptance of said public highways, rights-of-way and easements by the Township of Adams, we Fred W. and Christine A. Hespeneide hereby agree to and by these presents do release and forever discharge the Township of Adams, its successors or assigns from any liability for damages arising and to arise from the appropriation of said ground for public highways and other public uses and the physical grading thereof to any grades that may be established. This dedication and release shall be binding upon Fred W. and Christine A. Hespeneide, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 8th day of March, A.D. 2021.

ATTEST:

[Signature]
Fred W. Hespeneide

[Signature]
Christine A. Hespeneide

[Signature]
Notary Public

Commonwealth of Pennsylvania - Notary Seal
 Amanda J. Yoder, Notary Public
 Allegheny County
 My commission expires March 5, 2024
 Commission number 1384771
 Member, Pennsylvania Association of Notaries

My commission expires the 5th day of March, A.D. 2024.

The foregoing adoption and dedication is made by Fred W. and Christine A. Hespeneide with the full understanding and agreement that the approval of the Board of Supervisors of the Township of Adams, if hereto attached, will become null and void unless this plan is recorded in the Recorder of Deeds Office of Butler County, County Court House, Butler, Pennsylvania, within 90 days of date of said approval.

[Signature]
Fred W. Hespeneide

[Signature]
Christine A. Hespeneide

INDIVIDUAL ACKNOWLEDGMENT

COMMONWEALTH OF PENNSYLVANIA }
) SS:

COUNTY OF BUTLER Allegheny }

Before me, the subscriber, a Notary Public in and for said County and Commonwealth, personally appeared the above named Fred W. and Christine A. Hespeneide who acknowledged the foregoing release and dedication and plan of subdivision to be their act and deed and desired the same to be recorded as such:

WITNESS MY HAND AND NOTARIAL SEAL this 8th day of March, A.D. 2021.

[Signature]
Notary Public

My Commission Expires the 5th day of March, A.D. 2024.

Commonwealth of Pennsylvania - Notary Seal
 Amanda J. Yoder, Notary Public
 Allegheny County
 My commission expires March 5, 2024
 Commission number 1384771
 Member, Pennsylvania Association of Notaries

SURVEYOR CERTIFICATION

I, Brad L. Goodballet, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that to the best of my knowledge, information, belief, and findings that this plan represents the lots, lands, streets and highways plotted by me for the owner(s) or agent(s).



[Signature]
Brad L. Goodballet
Reg. No. SUO56899

TOWNSHIP PLANNING COMMISSION RECOMMENDATION FOR APPROVAL

This plat of subdivision has been recommended for approval by the Planning Commission of the Township of Adams, Butler County, Commonwealth of Pennsylvania on this 3rd day of FEBRUARY, A.D. 2021.

ATTEST:

[Signature]
Secretary

[Signature]
Chairman

BUTLER COUNTY PLANNING COMMISSION ACKNOWLEDGEMENT

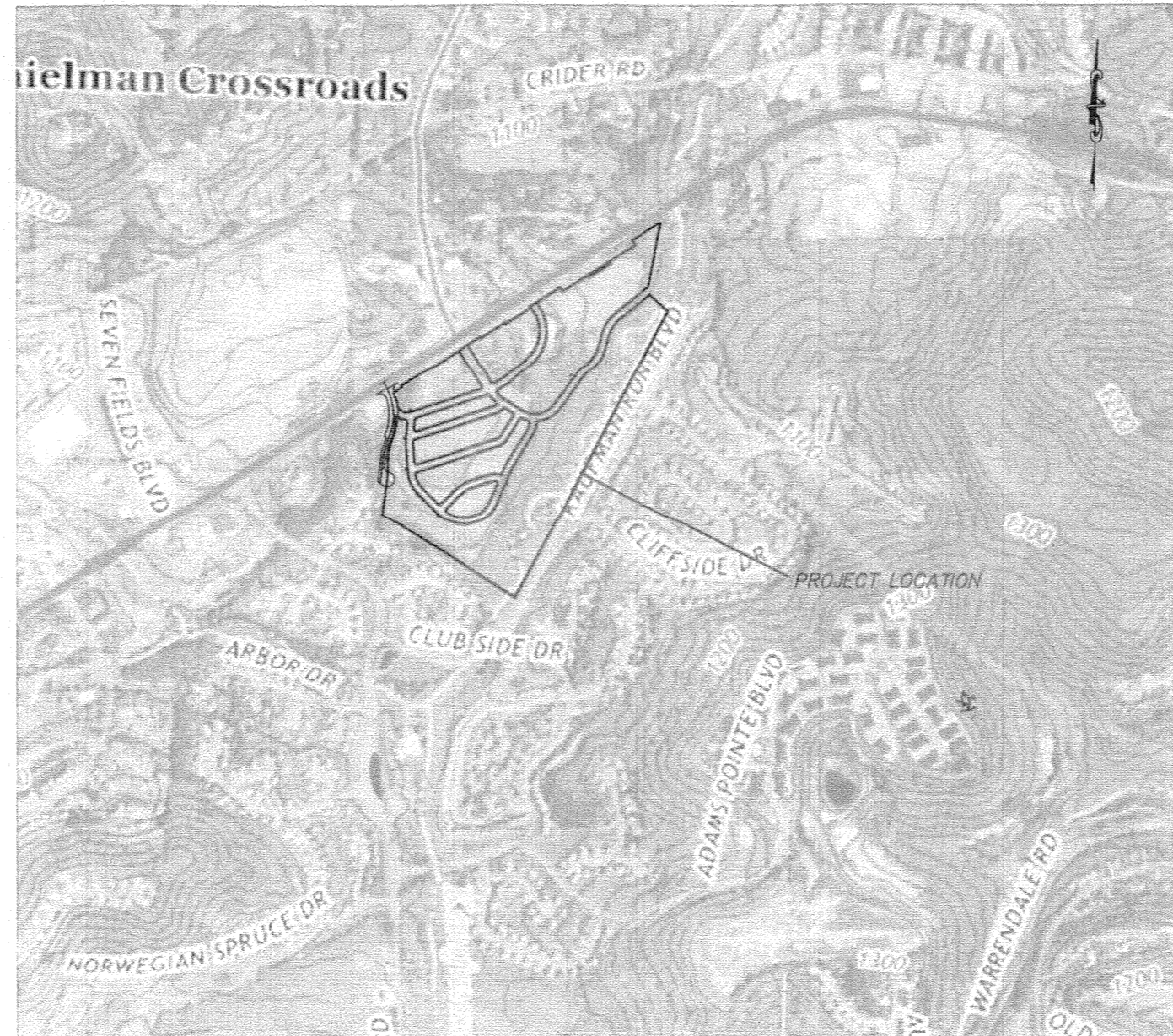
Reviewed & Approved by the Butler County Planning Commission this 17th day of February, 2021.

[Signature]
Secretary

[Signature]
Chairman



See comments on file at the Butler County Planning Commission plan number 21032



PROJECT LOCATION MAP
 APPROVAL BY TOWNSHIP OF ADAMS

The Township Board of Supervisors of the Township of Adams, Butler County, Pennsylvania, hereby gives public notice that it is approving this plan of subdivision for recording purposes only. The approval of this subdivision plat by the Township of Adams does not constitute an acceptance of the roads, streets, alleys, stormwater and sanitary sewage drainage facilities, easements or rights-of-way, water mains or any other services of improvements shown on this plan nor an assumption of maintenance responsibility, nor will the same be accepted or maintained until constructed in accordance with all Township specifications and requirements and officially accepted by action of the Township Board of Supervisors.

This plat of subdivision approved by action of the Township Board of Supervisors of the Township of Adams, Butler County, Pennsylvania on this 22nd day of FEBRUARY, A.D. 2021.

ATTEST:

[Signature] Secretary of Board of Supervisors
[Signature] Chairman of Board of Supervisors
[Signature] Vice Chairman
[Signature] Supervisor
[Signature] Supervisor

OWNERS ACCEPTANCE OF RESPONSIBILITY FOR PROVIDED STORMWATER DRAINAGE FACILITIES AND CONTROL OF STORMWATER DRAINAGE

Know All Men by These Presents, that (I, We) **FRED W. HESPENHEIDE AND CHRISTINE A. HESPENHEIDE** of the Township of Adams, County of Butler, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, and for our grantees and their subsequent purchasers, do hereby accept full and complete responsibility, liability, expense and provision of facilities for the control of stormwater drainage over, across and through this Subdivision of land until such time as (I or We), our heirs, executors, administrators and assigns construct stormwater drainage facilities in accordance with Township's specifications and requirements and the same is officially accepted by action of the Township Board of Supervisors, Adams Township, and until such formal acceptance (I or We) for ourselves, our heirs, executors, administrators, and assigns do hereby release the Township of Adams from any responsibility in connection therewith. This acceptance of responsibility shall be binding upon **FRED W. HESPENHEIDE AND CHRISTINE A. HESPENHEIDE** Our heirs, executors, administrators and assigns, and all purchasers of lots in this plan of subdivision.

In witness whereof, we hereunto set our hands and seals this 8th day of March, A.D. 2021.

[Signature] Owner or Owners
[Signature] Owner or Owners

Witness my hand and notarial seal this 8th day of March, A.D. 2021.

My commission expires the 5th day of March, A.D. 2024.

[Signature]
Notary Public

TOWNSHIP ENGINEER'S APPROVAL

I, Ron Olsen, a Registered Professional Engineer for the Township of Adams, do hereby certify, to the best of my knowledge and belief, that this Subdivision Plan or Land Development meets all of the engineering requirements set forth in the Adams Township Zoning Ordinance, Subdivision and Land Development Ordinance, and the Public and Private Improvements Code except as departures have been authorized by the approval authority.

3-11-2021 Date
26400 E Reg. No.
[Signature] Signature

CORPORATION ADOPTION

KNOW ALL MEN BY THESE PRESENTS:

That NVR, Inc., by virtue of a Resolution of its Board of Directors, does hereby adopt this as its Plan of Subdivision of Lot 31 of its property situate in the Township of Adams, County of Butler, Commonwealth of Pennsylvania, and for diverse advantages accruing to it, does hereby dedicate forever, for public use for highway, drainage, sewage and utility purposes, all drives, roads, streets, lands, rights-of-ways, easements, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan and any future acceptance of said public highways, rights-of-way and easements by the Township of Adams, NVR, Inc. hereby covenants and agrees to and by these presents does release and forever discharge the Township of Adams, its successors or assigns from any liability for damages arising and to arise from the appropriation of said ground for public highways and other public uses and the physical grading thereof of any grades that may be established. This dedication and release shall be binding upon NVR, Inc. its successors and purchasers of lots in this plan.

It Witness Whereof, the said Corporation has caused its Seal to be affixed by the hand of its Vice President, this 4th day of March, A.D. 2021.

ATTEST:
[Signature] SEAL
 (Vice President)

The foregoing Adoption and Dedication is made by NVR, Inc. with full understanding and agreement that the approval of the Township Board of Supervisors of the Township of Adams, if hereto attached, will become null and void unless this plan is recorded in the Recorder of Deeds Office of Butler County, Court House, Butler, Pennsylvania, within ninety (90) days of date of said approval.

[Signature] SEAL
 (Name of Corporation)
[Signature] SEAL
 (Vice President)

CORPORATION ACKNOWLEDGMENT

COMMONWEALTH OF PENNSYLVANIA }
) SS:
 COUNTY OF ALLEGHENY }

On this 4th day of March, A.D. 2021 before me, a Notary Public in and for said County and Commonwealth, personally appeared Peter Robertson, Vice President of NVR, Inc. who being duly sworn, deposes and says that he was personally present at the execution of the adoption, release and dedication and saw the common and corporate seal of the said Corporation duly sign and sealed by and as for the act and deed of the said NVR, Inc. for the uses and purposes therein mentioned, and that the Name of this deponent subscribed to the said released and dedication as Vice President of NVR, Inc.

In attestation of the due execution and delivery of said release and dedication of this deponent's own and proper and respective handwriting.

[Signature] SEAL
 (Name of Officer)
[Signature] SEAL
 (Title of Officer)

Sworn to and subscribed before me the day and date above written.

WITNESS MY HAND AND NOTARIAL SEAL this 4th day of March, A.D. 2021.

[Signature] SEAL
 My Commission Expires the 5th day of March, A.D. 2024.

Commonwealth of Pennsylvania - Notary Seal
 Amanda J. Yoder, Notary Public
 Allegheny County
 My commission expires March 5, 2024
 Commission number 1384771
 Member, Pennsylvania Association of Notaries

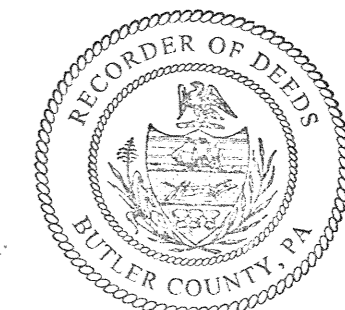
PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA }
) SS:
 COUNTY OF BUTLER }

Recorded in the office for the recording of deeds, plats, etc. in said County, in Plan Book Volume 392 Page(s) 32-33

Given under my hand and seal this 12th day of March, A.D. 2021.

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



PRIOR PLANS:

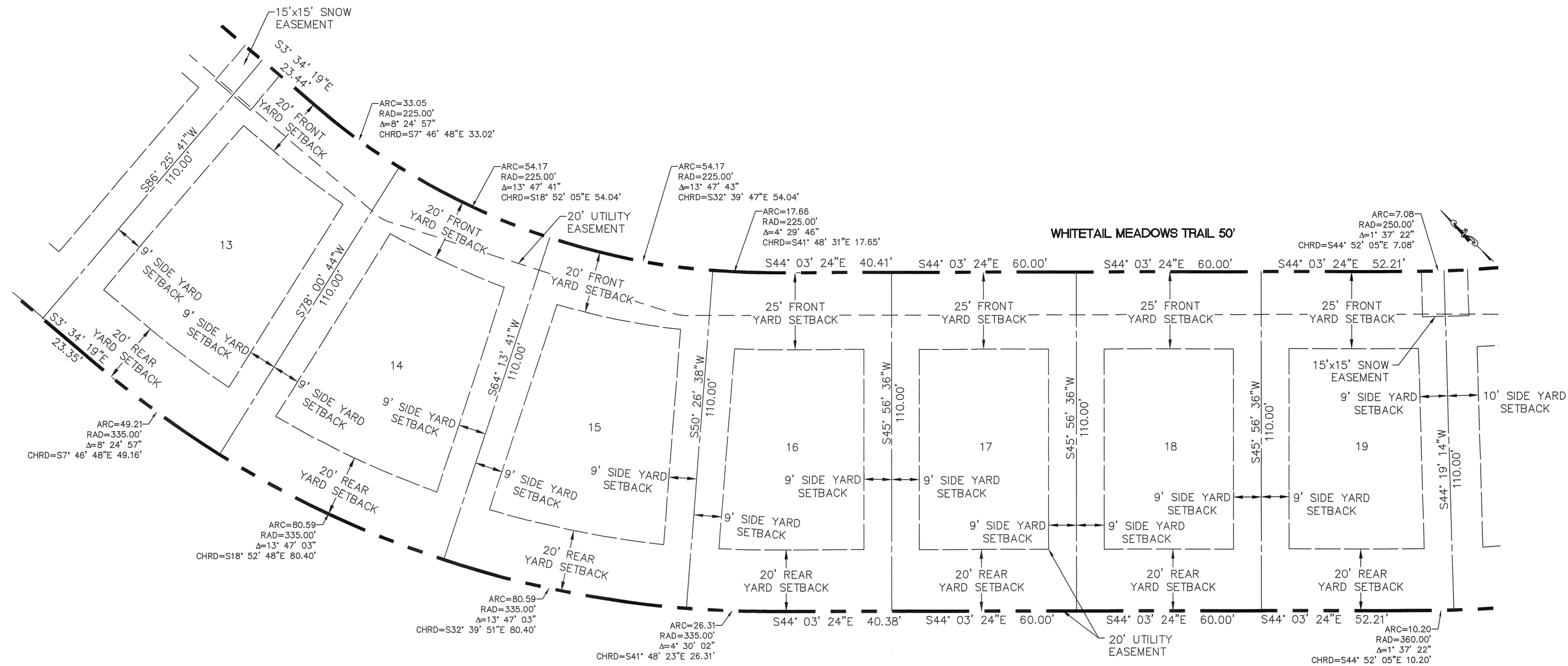
- PBV 392, PG 1-2, PRELIMINARY AND FINAL LAND DEVELOPMENT PLANS
- PBV 386, PG 25-26 LOT 3A SUBDIVISION PLAN
- PBV 386, PG 21-24, CORRECTION PLAN HESPENHEIDE SUBDIVISION PLAN - FINAL
- PBV 380, PG 50-53, HESPENHEIDE SUBDIVISION PLAN - FINAL
- PBV 377, PG 40-41 HESPENHEIDE SUBDIVISION PLAN REVISION #3
- PBV 370 PG 2-11, REVISED HESPENHEIDE SUBDIVISION
- PBV 323, PG 38-39, HESPENHEIDE SUBDIVISION PLAN REVISION #1
- PBV 219, PG 46-47, HESPENHEIDE SUBDIVISION PLAN

PLAN BOOK	PAGE
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CORRECTION PLAN #2 (SEE SHEET 2 OF 2 FOR DETAILS)
 HESPENHEIDE SUBDIVISION PLAN - FINAL
 (PLAN BOOK 370, PAGE 2-11)

TOWNSHIP OF ADAMS, COUNTY BUTLER, COMMONWEALTH OF PENNSYLVANIA
 Larson Design Group - Architects Engineers Surveyors
 300 South Walnut Lane • Suite 202
 Beaver, PA 15009
 PHONE 724.495.7020 TOLL FREE 877.323.6603
 FAX 724.495.2594 • www.larsondesigngroup.com

SHEET NO.:
1 of 2
 PROJECT NO.: 12286-001



SITE DATA

- APPLICANT/OWNER/RESPONSIBLE PARTY: FRED HESPENHEIDE
- SITE/OWNER ADDRESS:
1028 RIVIERA RD
EMLENTON, PA 16373
(724) 816-4875
- PARCEL ID NUMBER: #4F-35-28K, #4F-35-28, #4F-35-28J, #4F-35-28L, #4-35-28M
- DEED REFERENCE: DEED BOOK 2969, PAGE 594 & 591
DEED BOOK 3030, PAGE 097
DEED BOOK 1375, PAGE 0003
- PARCEL AREA: 60 ACRES
- SEWAGE DISPOSAL: PUBLIC SEWER
- WATER SUPPLY: PUBLIC WATER
- EXISTING USE: AGRICULTURE/RESIDENTIAL
- PROPOSED USE: RESIDENTIAL/RECREATION/COMMERCIAL/RESTAURANT/HOTEL
- ZONING DISTRICT: RAM (RESIDENTIAL, AGRICULTURE, MODERATE-DENSITY DISTRICT), T1 (TRANSITION OVERLAY), & P1 (PRESERVATION OVERLAY)
- THE PROJECT SITE IS LOCATED IN FLOOD ZONE X OUTSIDE OF THE 100-YEAR FLOOD PLAIN ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP 4214150005B.
- BEARINGS AND DISTANCES ARE BASED ON PA STATE PLANE COORDINATE SYSTEM (SOUTH ZONE) NAD 83.
- LOTS 13-19 AND 29-31: SINGLE FAMILY HOMES

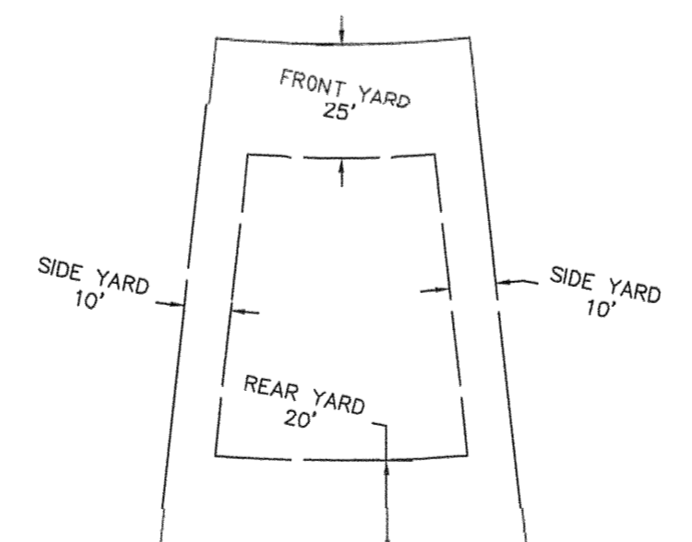
CORRECTION PLAN DETAIL

CORRECTION PLAN #2 CORRECTS PLAN BOOK 380, PAGE 50-53 (PAGE 51)

MODIFIES BUILDING SETBACKS FOR SINGLE FAMILY HOME LOTS 13-19 AND 29-31 ONLY

- LOTS 13, 14, 15, 29, 30, AND 31 HAVE 20-FOOT FRONT YARD SETBACKS
- LOTS 13, 14, 15, 16, 17, 18, 19, 29, 30, AND 31 HAVE 9-FOOT SIDE YARD SETBACKS

THE ABOVE SETBACKS WERE ORIGINALLY GRANTED AS PART OF THE PLANNED UNIT DEVELOPMENT THAT WAS NOT RECORDED

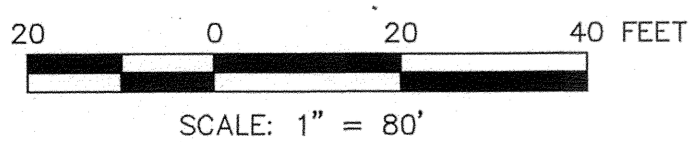
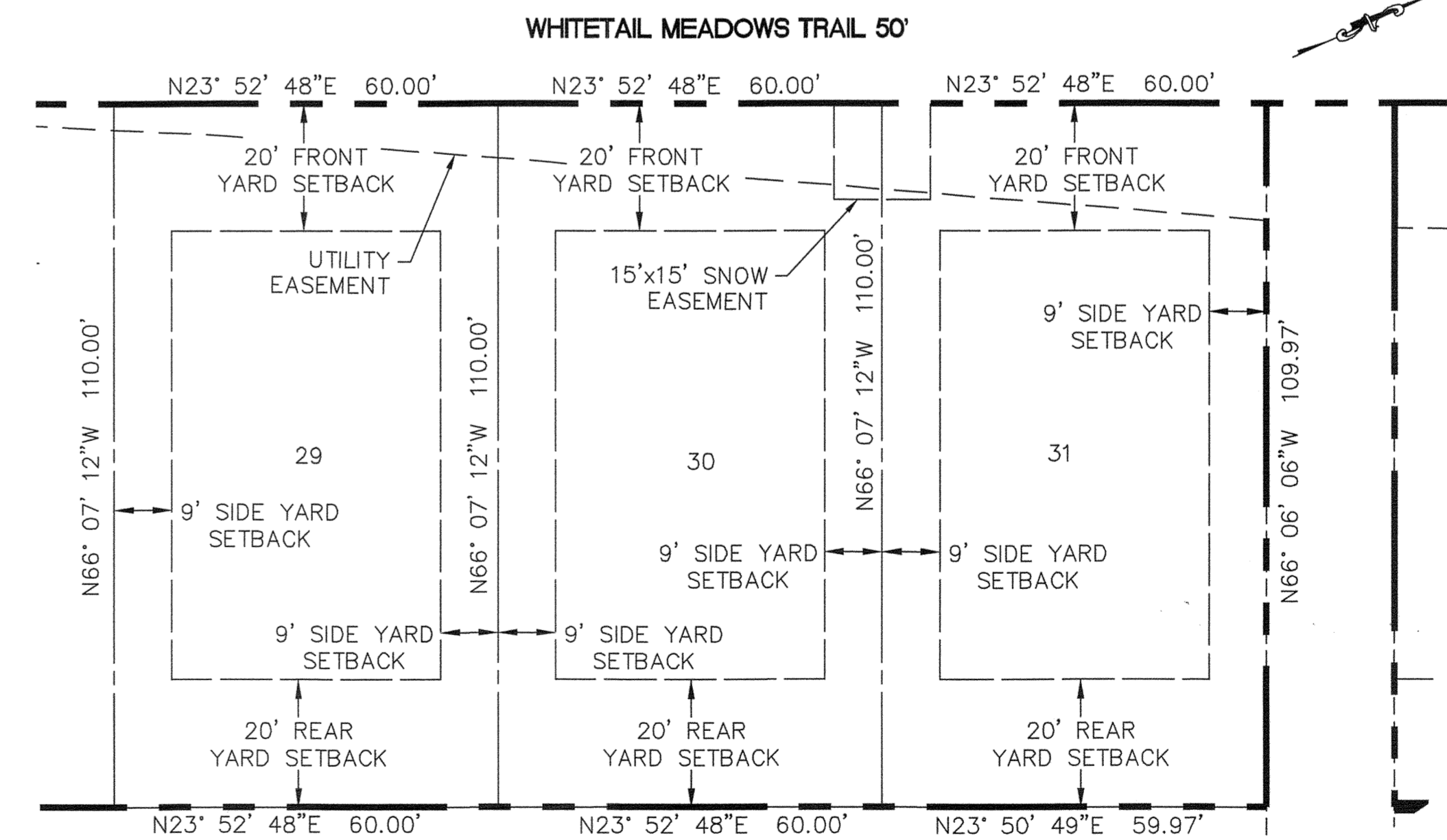


TYPICAL SINGLE FAMILY HOME SETBACKS

ALL SINGLE FAMILY HOME PARCELS HAVE SETBACKS ACCORDING TO THE TYPICAL SHOWN EXCEPT FOR THE FOLLOWING

SIX (6) PARCELS HAVE 20-FOOT FRONT YARD SETBACKS:
LOTS 13, 14, 15, 29, 30, AND 31

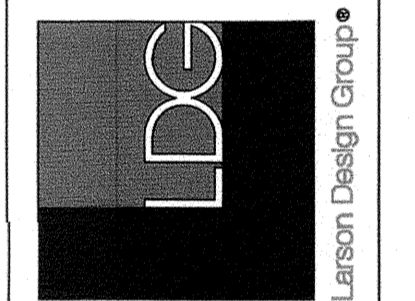
TEN (10) PARCELS HAVE 9-FOOT SIDE YARD SETBACKS:
LOTS 13, 14, 15, 16, 17, 18, 19, 29, 30, AND 31



PLAN BOOK	PAGE
392	33

It is a violation of the law for any person, unless acting under the direction of a licensed Architect, Engineer or Land Surveyor, to alter an item in any way. Plans, maps, specifications, studies, and reports not containing a red ink seal imprint on the cover sheet accompanied by an original signature by the licensed professional may have been frequently altered and shall not be considered an original copy. Copyright Protected 2019, Larson Design Group.

NO.	DATE	ISSUE / REVISIONS
7	12/11/2020	CORRECTION PLAN
6	05/26/2020	REVISED PER TOWNSHIP ENGINEER COMMENTS
5	02/26/2019	FINAL PLAN REVISIONS
4	02/26/2019	FINAL PLAN REVISIONS
3	11/10/2018	REVISED BEARINGS
2	12/10/2018	PER TOWNSHIP COMMENTS
1	11/06/2018	TOWNSHIP SUBMISSION



CORRECTION PLAN #2 (SEE SHEET 2 OF 2 FOR DETAILS)
HESPENHEIDE SUBDIVISION PLAN - FINAL
 (PLAN BOOK 370, PAGE 2-11)

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TOWNSHIP OF ADAMS, COUNTY BUTLER, COMMONWEALTH OF PENNSYLVANIA
 FWB DEVELOPMENT, LLC
 1028 RIVIERA DRIVE
 EMLENTON, PA 16373
 PHONE 724-816-4875

SHEET NO.: **2 of 2**
 PROJECT NO.: 12286-001

OWNERS ADOPTION FOR PARTNERSHIP (LANCASTER TOWNSHIP)
 THE ARDEN DEVELOPMENT PARTNERS, OWNER OF THE LAND SHOWN ON THE ARDEN WOOD RESIDENTIAL PLAN OF LOTS - PHASE 2 HEREBY ADOPTS AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO LANCASTER TOWNSHIP. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE PARTNERSHIP AND UPON ITS HEIRS, EXECUTORS, AND ASSIGNS.

IN WITNESS WHEREOF, TO THIS I SET MY HAND AND SEAL THIS 4th DAY OF February, 2021.

ATTEST: Kimberly May
 NOTARY PUBLIC D&N/D B. RODGERS

ACKNOWLEDGMENT OF CORPORATE ADOPTION AND DEDICATION (LANCASTER TOWNSHIP)
 BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED DONALD & ROBERT, PRESIDENT OF ARDEN DEVELOPMENT CORPORATION, AS GENERAL PARTNER IN ARDEN DEVELOPMENT PARTNERS, AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE THE ACT OF THE PARTNERSHIP.

WITNESS MY HAND AND NOTARIAL SEAL THIS 4th DAY OF February, 2021.

MY COMMISSION EXPIRES THE 18 DAY OF September, 2024.

Commonwealth of Pennsylvania - Notary Seal
 Kimberly May, Notary Public
 Butler County
 My commission expires September 13, 2024
 Commission number 1104693

CERTIFICATION OF TITLE AND CONCURRENCE OF MORTGAGE
 I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE ARDEN WOOD RESIDENTIAL PLAN OF LOTS - PHASE 2 IS IN THE NAME OF THE ARDEN DEVELOPMENT PARTNERS, A PENNSYLVANIA LIMITED PARTNERSHIP AND IS RECORDED IN DEED BOOK VOLUME 2205, PG. 068 AND INSTRUMENT NO 19921190028602.

WITNESS: Kimberly May
 OWNER

DOLLAR BANK, MORTGAGEE OF THE PROPERTY CONTAINED IN THE ARDEN WOOD PLAN OF CONSOLIDATION CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

WITNESS: Kimberly May
Paul Lewis, Vice President
 NAME, TITLE AND MORTGAGEE

SURVEYORS CERTIFICATION
 I HEREBY CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF THE SURVEY, AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED BY THE ORDINANCES OF LANCASTER TOWNSHIP.

DATE: 11/27/2021
GARY A SHEFFLER, JR. P.L.S.
 GARY A SHEFFLER, JR. P.L.S.

ENGINEER CERTIFICATION
 A. ENGINEERING REQUIREMENTS
 I HEREBY CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF THE PLAN SHOWN HEREON IS TRUE AND CORRECT TO THE ACCURACY AND ENGINEERING STANDARDS REQUIRED BY THE ORDINANCES OF LANCASTER TOWNSHIP.

DATE: 01/27/2021
GRAHAM LEE FERRY - REG. NO. PE074237
 GRAHAM LEE FERRY - REG. NO. PE074237

B. STORMWATER MANAGEMENT REQUIREMENTS
 I HEREBY CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF, THE STORM DRAINAGE FACILITIES SHOWN AND DESCRIBED HEREON ARE TRUE AND CORRECT TO THE ACCURACY AND STANDARDS REQUIRED BY THE ORDINANCES OF LANCASTER TOWNSHIP.

DATE: 01/27/2021
GRAHAM LEE FERRY - REG. NO. PE074237
 GRAHAM LEE FERRY - REG. NO. PE074237

NO BUILDING PERMITS WITHOUT APPROVED SEWAGE FACILITIES
 LANCASTER TOWNSHIP AGREES NOT TO ISSUE BUILDING PERMITS UNTIL THE "PLANNING MODULE FOR LAND DEVELOPMENT" HAS BEEN APPROVED IN ACCORDANCE WITH THE REGULATION OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

DATE: 3/12/21
Danville Rish
 TOWNSHIP MANAGER / SECRETARY

LANCASTER TOWNSHIP BOARD OF SUPERVISORS APPROVAL CERTIFICATE
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF LANCASTER HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF LANCASTER ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

Approved by the Board of Supervisors of the Township of Lancaster this 15th day of March 2021.

Christina M. Sutt
 SECRETARY

Joseph A. Plank
 CHAIRMAN

REGISTERED SURVEYOR

 GARY A. SHEFFLER, JR.
 REGISTERED SURVEYOR
 COMMONWEALTH OF PENNSYLVANIA

BUTLER COUNTY RECORDER OF DEEDS

 MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 BUTLER COUNTY, PA

REGISTERED ENGINEER

 GRAHAM LEE FERRY
 REGISTERED ENGINEER
 COMMONWEALTH OF PENNSYLVANIA

LANCASTER TOWNSHIP PLANNING COMMISSION

 LANCASTER TOWNSHIP

LANCASTER TOWNSHIP BOARD OF SUPERVISORS

 LANCASTER TOWNSHIP

CERTIFICATION THAT THE SWM BMPs WERE DESIGNED AND SHALL BE IMPLEMENTED, OPERATED, AND MAINTAINED TO MEET THE PURPOSES AND REQUIREMENTS OF THIS ORDINANCE AND TO MEET ALL REQUIREMENTS UNDER TITLE 25 OF THE PENNSYLVANIA CODE, THE CLEAN STREAMS LAW, AND THE STORM WATER MANAGEMENT ACT.

CERTIFICATION THAT THE DESIGN OF ALL STORMWATER MANAGEMENT FACILITIES SHALL INCORPORATE SOUND ENGINEERING PRINCIPLES AND PRACTICES AND SHALL NOT RESULT IN THE CREATION OR CONTINUATION OF ADVERSE HYDROLOGIC OR ADVERSE HYDRAULIC CONDITIONS WITHIN THE WATERSHED.

BUTLER COUNTY PLANNING COMMISSION REVIEW CERTIFICATE
 REVIEWED BY THE PLANNING COMMISSION OF JACKSON TOWNSHIP THIS DAY OF December, 2020 at Lancaster.

Joseph A. Sella - Noel
 TOWNSHIP SECRETARY CHAIRPERSON



BUTLER COUNTY PLANNING COMMISSION REVIEW CERTIFICATE
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 18TH DAY OF July.

JAY BENDIT N/F
 DBV-1179, PG. 398
 TP#200-4F100-A1741

RICHARD EYLES PLAN N/F
 LOT-103
 RICHARD EYLES PLAN
 PBV-96, PG. 16

PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA
 IN PLAN BOOK VOLUME 392 PAGE(S) 34-35
 GIVEN UNDER MY HAND AND SEAL THIS 16 DAY OF March, 2021.

Michele M. Mustello
 RECORDER OF DEEDS

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024

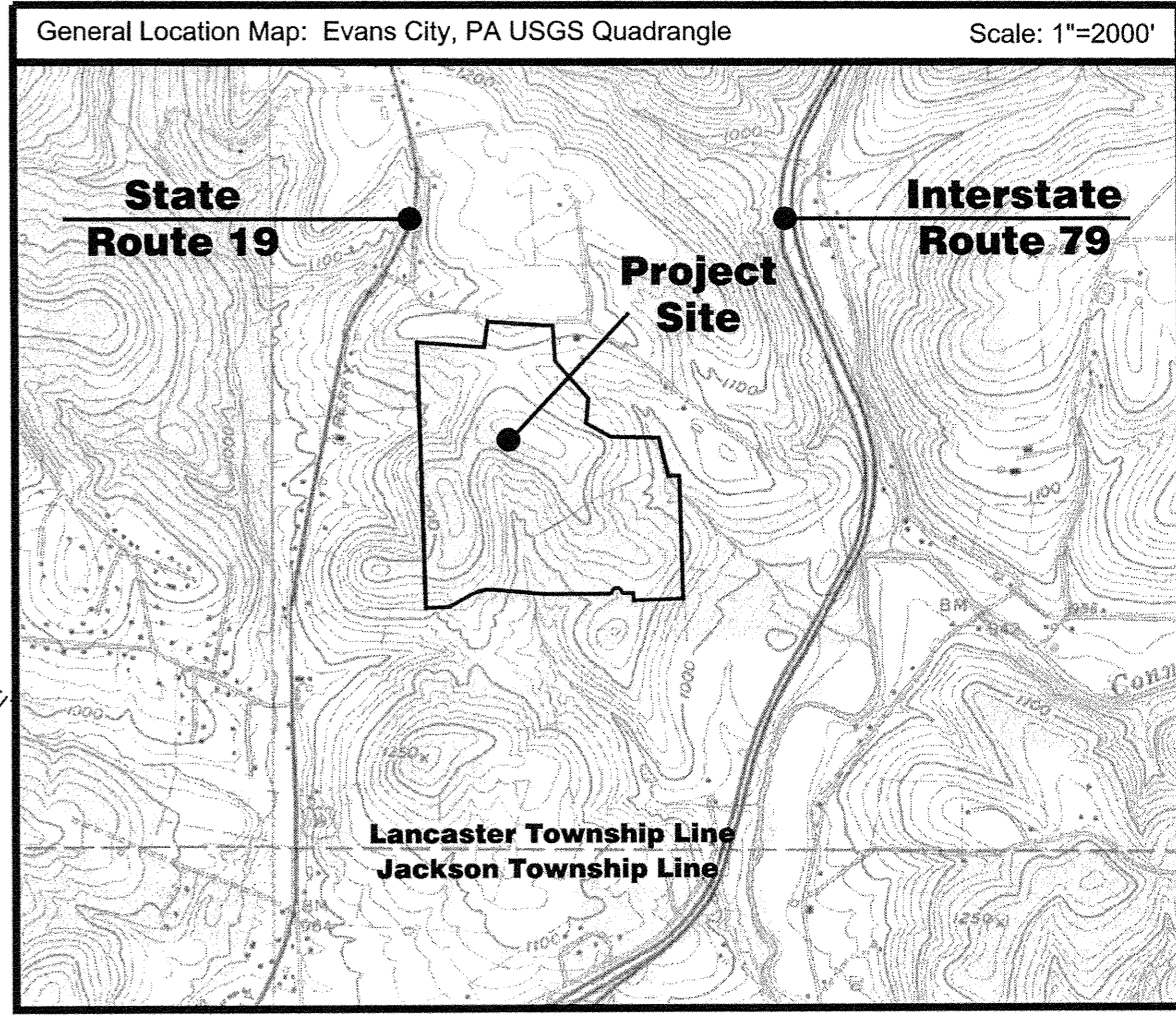
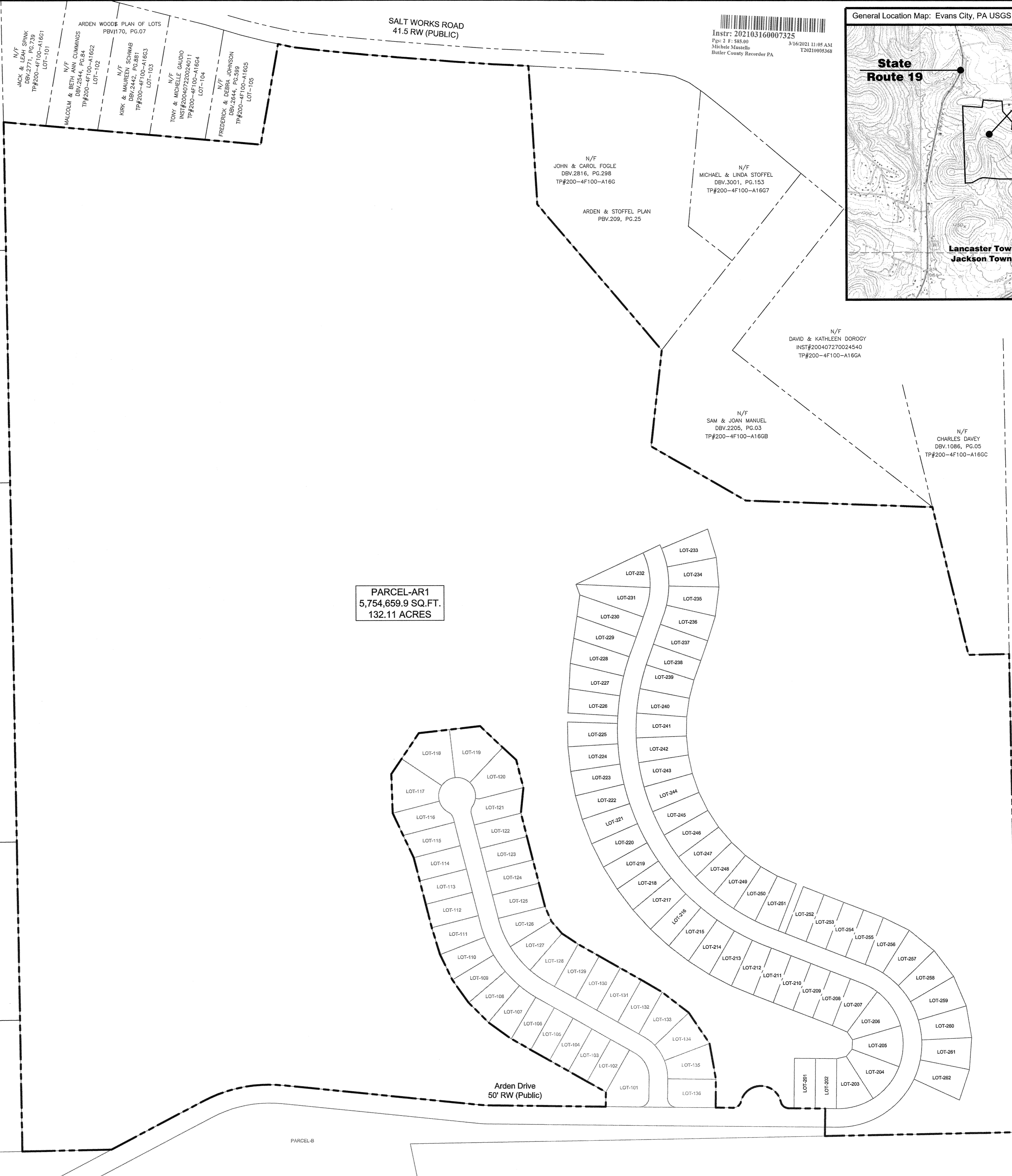
N/F
 CHARLES SCHOTT
 DBV-1430, PG. 302
 TP#200-4F100-A23E

N/F
 RONALD & ADRISS MILLER
 TP#200-4F100-A18

N/F
 ROCK SPRINGER
 INST#200308150036741
 TP#200-4F100-A18C

N/F
 DONALD & NANCY FERRE
 INST#2001204028881
 TP#200-4F100-403

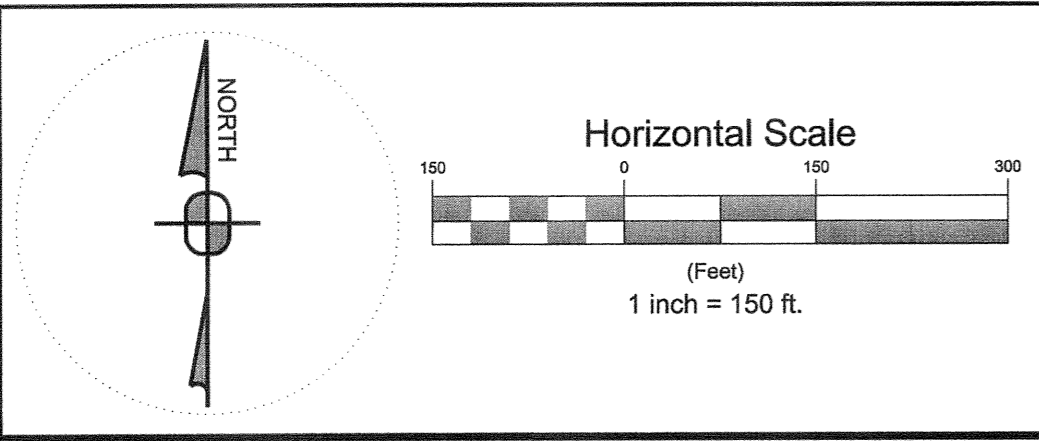
EXISTING PARCEL AREA TABLE		
PARCEL	AREA	AREA
PARCEL-AR1	5,754,659.9 SQ.FT.	132.11 AC.



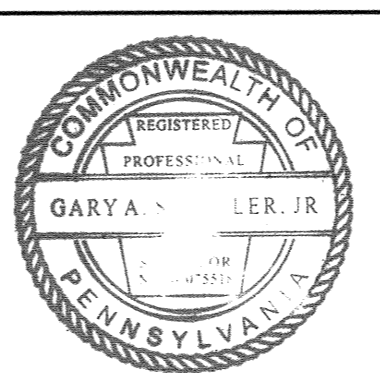
PLAN BOOK	PAGE
392	34


811 Know what's below. Call before you dig.
 POCS SER. #: 2017

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



Date:	Revision Description:	By:
05/16/2018	REVISIONS PER TWP ENGINEER COMMENTS DATED APRIL 11, 2018	AGM
12/14/2018	REVISED SANITARY EASEMENTS PER WBCA COMMENTS	CEL
11/20/2020	PHASE 2 AND PHASE 3 LINE REVISION	AGM

Professional Seal

 GARY A. SHEFFLER, JR.

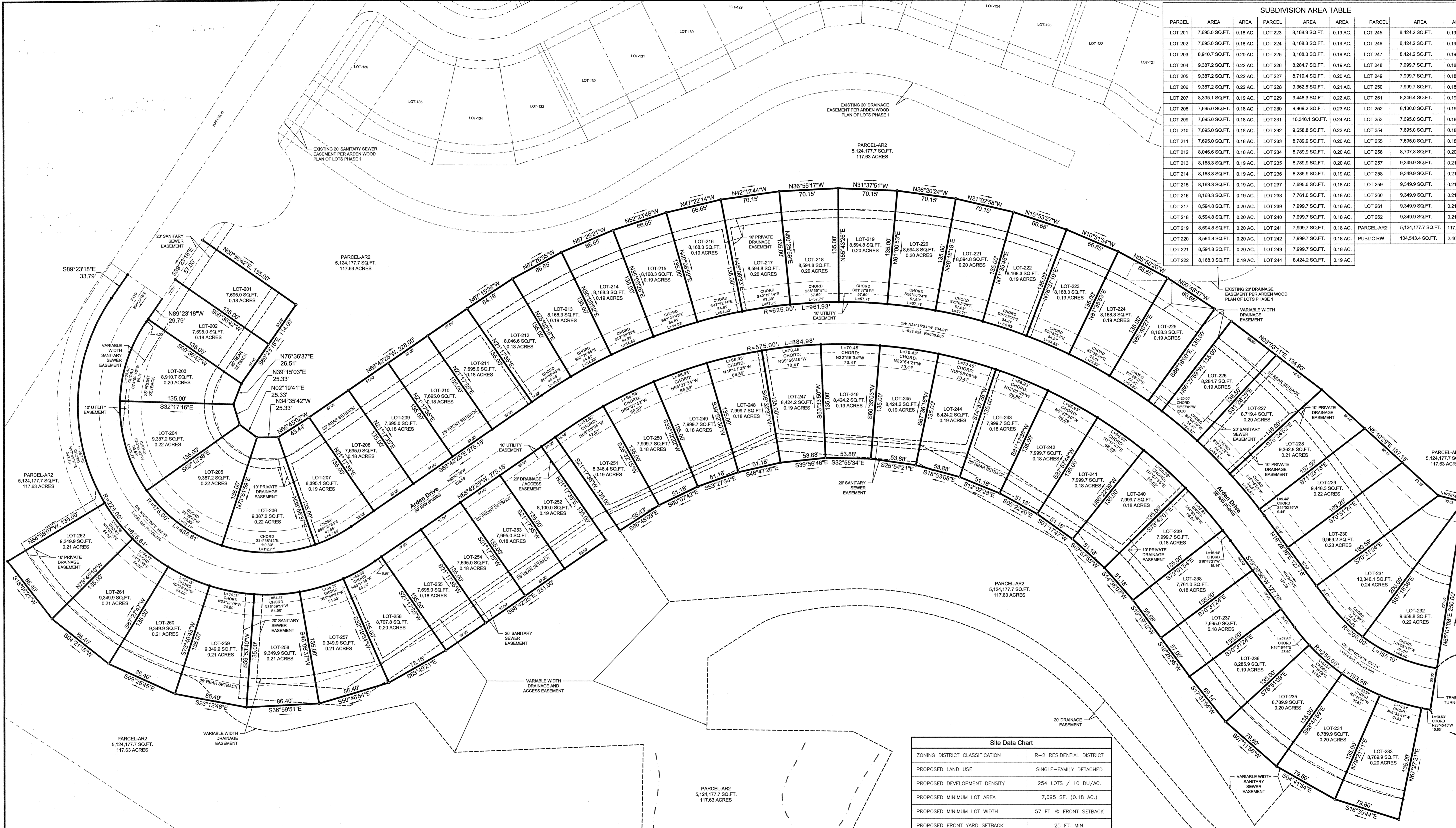
Prepared By:

Sheffler & Company, Inc.
 ENGINEERING • SURVEYING
 1712 Mount Nebo Road
 Sewickley, PA 15143
 Office Phone: 412-219-4509
 Email: Info@ShefflerCo.com

Arden Wood Residential Plan of Lots - Phase 2
 Prepared For:
Arden Development Partners
 Situate In:
Lancaster Township, Butler County, Pennsylvania

BEING A SUBDIVISION OF PARCEL-AR1 IN THE ARDEN WOOD RESIDENTIAL PLAN OF LOTS - PHASE 1, RECORDED IN PBV 378, PG. 25.		Arden Development Partners Attn: Don Rodgers 215 Executive Drive, Suite 300 Cranberry Township, PA 16066 Phone: 724-776-2727	
DRAWING SCALE: 1" = 150'	DESIGNED BY: BUD	Sheet No.	
DATE ISSUED: 3/15/2018	REVIEWED BY: GAS		
PROJECT JOB#: 3275	FIELD BOOK #: ---		
CADD#: 3275 - Arden Wood Sub - PH2.dwg			

LN-1

SUBDIVISION AREA TABLE								
PARCEL	AREA	AREA	PARCEL	AREA	AREA	PARCEL	AREA	AREA
LOT 201	7,695.0 SQ.FT.	0.18 AC.	LOT 223	8,168.3 SQ.FT.	0.19 AC.	LOT 245	8,424.2 SQ.FT.	0.19 AC.
LOT 202	7,695.0 SQ.FT.	0.18 AC.	LOT 224	8,168.3 SQ.FT.	0.19 AC.	LOT 246	8,424.2 SQ.FT.	0.19 AC.
LOT 203	8,910.7 SQ.FT.	0.20 AC.	LOT 225	8,168.3 SQ.FT.	0.19 AC.	LOT 247	8,424.2 SQ.FT.	0.19 AC.
LOT 204	9,387.2 SQ.FT.	0.22 AC.	LOT 226	8,284.7 SQ.FT.	0.19 AC.	LOT 248	7,999.7 SQ.FT.	0.18 AC.
LOT 205	9,387.2 SQ.FT.	0.22 AC.	LOT 227	8,719.4 SQ.FT.	0.20 AC.	LOT 249	7,999.7 SQ.FT.	0.18 AC.
LOT 206	9,387.2 SQ.FT.	0.22 AC.	LOT 228	9,362.8 SQ.FT.	0.21 AC.	LOT 250	7,999.7 SQ.FT.	0.18 AC.
LOT 207	8,395.1 SQ.FT.	0.19 AC.	LOT 229	9,448.3 SQ.FT.	0.22 AC.	LOT 251	8,346.4 SQ.FT.	0.19 AC.
LOT 208	7,695.0 SQ.FT.	0.18 AC.	LOT 230	9,969.2 SQ.FT.	0.23 AC.	LOT 252	8,100.0 SQ.FT.	0.19 AC.
LOT 209	7,695.0 SQ.FT.	0.18 AC.	LOT 231	10,346.1 SQ.FT.	0.24 AC.	LOT 253	7,695.0 SQ.FT.	0.18 AC.
LOT 210	7,695.0 SQ.FT.	0.18 AC.	LOT 232	9,658.8 SQ.FT.	0.22 AC.	LOT 254	7,695.0 SQ.FT.	0.18 AC.
LOT 211	7,695.0 SQ.FT.	0.18 AC.	LOT 233	8,789.9 SQ.FT.	0.20 AC.	LOT 255	7,695.0 SQ.FT.	0.18 AC.
LOT 212	8,046.6 SQ.FT.	0.18 AC.	LOT 234	8,789.9 SQ.FT.	0.20 AC.	LOT 256	8,707.8 SQ.FT.	0.20 AC.
LOT 213	8,168.3 SQ.FT.	0.19 AC.	LOT 235	8,789.9 SQ.FT.	0.20 AC.	LOT 257	9,349.9 SQ.FT.	0.21 AC.
LOT 214	8,168.3 SQ.FT.	0.19 AC.	LOT 236	8,285.9 SQ.FT.	0.19 AC.	LOT 258	9,349.9 SQ.FT.	0.21 AC.
LOT 215	8,168.3 SQ.FT.	0.19 AC.	LOT 237	7,695.0 SQ.FT.	0.18 AC.	LOT 259	9,349.9 SQ.FT.	0.21 AC.
LOT 216	8,168.3 SQ.FT.	0.19 AC.	LOT 238	7,761.0 SQ.FT.	0.18 AC.	LOT 260	9,349.9 SQ.FT.	0.21 AC.
LOT 217	8,594.8 SQ.FT.	0.20 AC.	LOT 239	7,999.7 SQ.FT.	0.18 AC.	LOT 261	9,349.9 SQ.FT.	0.21 AC.
LOT 218	8,594.8 SQ.FT.	0.20 AC.	LOT 240	7,999.7 SQ.FT.	0.18 AC.	LOT 262	9,349.9 SQ.FT.	0.21 AC.
LOT 219	8,594.8 SQ.FT.	0.20 AC.	LOT 241	7,999.7 SQ.FT.	0.18 AC.	PARCEL-AR2	5,124,177.7 SQ.FT.	117.63 AC.
LOT 220	8,594.8 SQ.FT.	0.20 AC.	LOT 242	7,999.7 SQ.FT.	0.18 AC.	PUBLIC RW	104,543.4 SQ.FT.	2.40 AC.
LOT 221	8,594.8 SQ.FT.	0.20 AC.	LOT 243	7,999.7 SQ.FT.	0.18 AC.			
LOT 222	8,168.3 SQ.FT.	0.19 AC.	LOT 244	8,424.2 SQ.FT.	0.19 AC.			

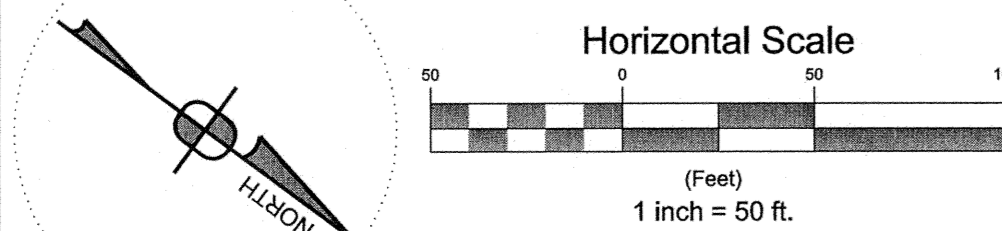
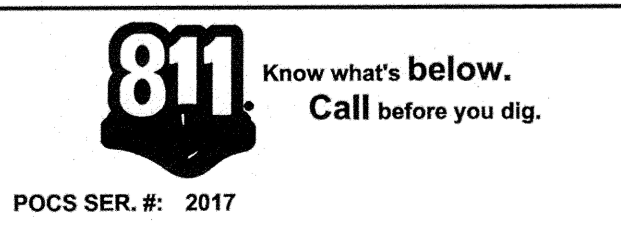


Site Data Chart	
ZONING DISTRICT CLASSIFICATION	R-2 RESIDENTIAL DISTRICT
PROPOSED LAND USE	SINGLE-FAMILY DETACHED
PROPOSED DEVELOPMENT DENSITY	254 LOTS / 10 DU/AC.
PROPOSED MINIMUM LOT AREA	7,695 SF. (0.18 AC.)
PROPOSED MINIMUM LOT WIDTH	57 FT. @ FRONT SETBACK
PROPOSED FRONT YARD SETBACK	25 FT. MIN.
PROPOSED SIDE YARD SETBACK	5 FT. MIN. / 15 FT. TOTAL
PROPOSED REAR YARD SETBACK	25 FT. MIN.
PROPOSED BUFFERYARD SETBACK	20 FT. MIN.
PROPOSED BUILDING HEIGHT	2-1/2 STORIES MAX.

CERTIFICATION THAT THE SWM BMPs WERE DESIGNED AND SHALL BE IMPLEMENTED, OPERATED, AND MAINTAINED TO MEET THE PURPOSES AND REQUIREMENTS OF THIS ORDINANCE AND TO MEET ALL REQUIREMENTS UNDER TITLE 25 OF THE PENNSYLVANIA CODE, THE CLEAN STREAMS LAW, AND THE STORM WATER MANAGEMENT ACT.

CERTIFICATION THAT THE DESIGN OF ALL STORMWATER MANAGEMENT FACILITIES SHALL INCORPORATE SOUND ENGINEERING PRINCIPLES AND PRACTICES AND SHALL NOT RESULT IN THE CREATION OR CONTINUATION OF ADVERSE HYDROLOGIC OR ADVERSE HYDRAULIC CONDITIONS WITHIN THE WATERSHED.

PLAN BOOK	PAGE
392	35



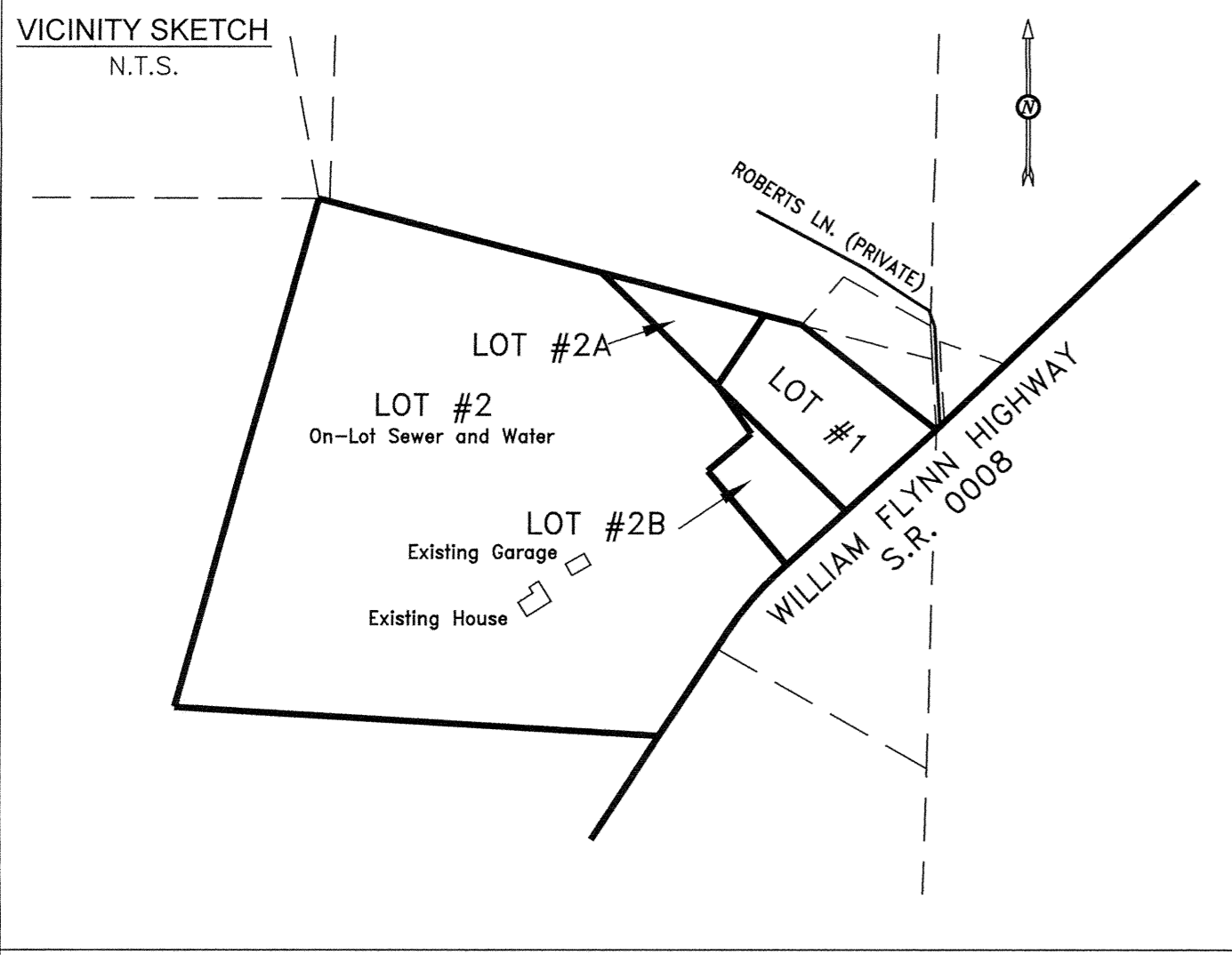
Date:	Revision Description:	By:	Professional Seal:
05/16/2018	REVISIONS PER TWP ENGINEER COMMENTS DATED APRIL 11, 2018	AGM	
12/14/2018	REVISED SANITARY EASEMENTS PER WBCA COMMENTS	CEL	
11/20/2020	PHASE 2 AND PHASE 3 LINE REVISION	AGM	

Prepared By: **Sheffler & Company, Inc.**
ENGINEERING • SURVEYING
1712 Mount Nebo Road
Sewickley, PA 15143
Office Phone: 412-219-4509
Email: Info@ShefflerCo.com

Arden Wood Residential Plan of Lots - Phase 2
Prepared For: **Arden Wood, LLC**
Site In: **Lancaster Township, Butler County, Pennsylvania**

BEING A SUBDIVISION OF PARCEL-AR1 IN THE ARDEN WOOD RESIDENTIAL PLAN OF LOTS - PHASE 1, RECORDED IN PBV 378, PG 25.
DRAWING SCALE: 1" = 50'
DESIGNED BY: BUD
DATE ISSUED: 3/15/2018
REVIEWED BY: GAS
PROJECT JOB#: 3275
FIELD BOOK #: ---
CADD#: 3275 - Arden Wood Sub - PH2.dwg

Arden Wood, LLC
Attn: Don Rodgers
215 Executive Drive, Suite 300
Cranberry Township, PA 16066
Phone: 724-776-2727
Sheet No. **LN-2**



TOTAL AREA OF ENTIRE PLAN IS 33.32 ACRES+/-

NOTES:

1. LOT #1 AND LOT #2 REFER TO THE FERGUSON SUBDIVISION PLAN BOOK 169 PAGE 4 (RECORDED 10/21/1992).
2. CONTOURS TAKEN FROM THE PENNSYLVANIA SPATIAL DATA ACCESS (PASDA) WEBSITE, PENNSYLVANIA IMAGERY NAVIGATOR, PANEL No. 6800-1340.
3. SITE IS NOT LOCATED WITHIN A MAPPED FLOOD ZONE PER FIRM MAPPING, MAP NUMBERS 42019C0020D AND 42019C0040D.
4. LOT #2A AND LOT #2B TO BE A SIDE YARD ADDITION TO LOT #1. LOT #2 HAS AN EXISTING HOME WITH ON-LOT SEWER AND WATER.
5. HIGHWAY OCCUPANCY PERMIT REQUIREMENTS (WHERE STATE ROAD INVOLVED) THIS PLAN REQUIRES A HIGHWAY OCCUPANCY PERMIT PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW". APPROVALS OF THE MERCER TOWNSHIP PLANNING COMMISSION AND BOARD OF SUPERVISORS ARE CONDITIONAL, SUBJECT TO ACTION OF THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PURSUANT TO APPLICATION FOR A HIGHWAY OCCUPANCY PERMIT.

Instr: 202103160007363
 Fig: 1 of 545-09
 Michele Mustello
 Butler County Recorder PA
 3/16/2021 1:25 PM
 120210905401

MERCER TOWNSHIP

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MERCER HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF MERCER ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS, OR ROADS, OR GRADERS, PAVES AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MERCER, THIS 15th DAY OF March, 2021

Andrew M. Miller
 SECRETARY

Richard W. Stinebaugh
 CHAIRMAN, BOARD OF SUPERVISORS

RE -
 APPROVED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 16th DAY OF MARCH, 2021

R. H. ...
 SECRETARY

J. H. ...
 CHAIRMAN

Butler Co Plan # 20238
 R.H. ...
 SEC.

COMMONWEALTH OF PENNSYLVANIA) SS:
 COUNTY OF BUTLER)

RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC., IN SAID COUNTY IN PLAN BOOK VOLUME 392, PAGE 36.

GIVEN UNDER MY HAND AND SEAL THIS 16th DAY OF March, 2021.

Michele M. Mustello
 RECORDER

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024

KNOW ALL MEN BY THESE PRESENTS: THAT GREGORY L. AND MELISSA LYNN FERGUSON, DO HEREBY ADOPT THIS PLAN OF LOTS OF ITS PROPERTY SITUATE IN MERCER TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF MERCER, GREGORY L. AND MELISSA LYNN FERGUSON, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF MERCER, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON GREGORY L. AND MELISSA LYNN FERGUSON, OUR SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HERETO SET OUR HAND AND SEAL THIS 9th DAY OF October, 2020.

ATTEST:

Gregory L. Ferguson
 GREGORY L. FERGUSON (OWNER)

Melissa Lynn Ferguson
 MELISSA LYNN FERGUSON (OWNER)

COMMONWEALTH OF PENNSYLVANIA) SS:
 COUNTY OF BUTLER)

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED GREGORY L. AND MELISSA LYNN FERGUSON AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.

WITNESS MY HAND AND SEAL THIS 9th DAY OF October, 2020.

MY COMMISSION EXPIRES THE 23rd DAY OF June, 2023.

Billie Jean Heltrick
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
 Billie Jean Heltrick, Notary Public
 Butler County
 My commission expires June 22, 2023
 Commission number 1234358
 Member, Pennsylvania Association of Notaries

KNOW ALL MEN BY THESE PRESENTS: THAT SWD RS, LLC (MARK McClymonds, MEMBER) BY VIRTUE OF A RESOLUTION OF ITS BOARD OF DIRECTORS, DOES HEREBY ADOPT THIS PLAN OF SUBDIVISION OF ITS PROPERTY, SITUATED IN THE TOWNSHIP OF TOWNSHIP, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE TOWNSHIP OF MERCER, OF BUTLER COUNTY, SWD RS, LLC (MARK McClymonds, MEMBER), HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF MERCER, OF BUTLER COUNTY, ITS SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON SWD RS, LLC (MARK McClymonds, MEMBER), ITS SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE HAND OF ITS MEMBER, THIS 4th DAY OF October, A.D. 2020.

SWD_RS, LLC

ATTEST:

Mark McClymonds
 MARK McCLYMONDS (MEMBER)

COMMONWEALTH OF PENNSYLVANIA) SS:
 COUNTY OF BUTLER)

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED SWD_RS, LLC (MARK McClymonds, MEMBER) AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

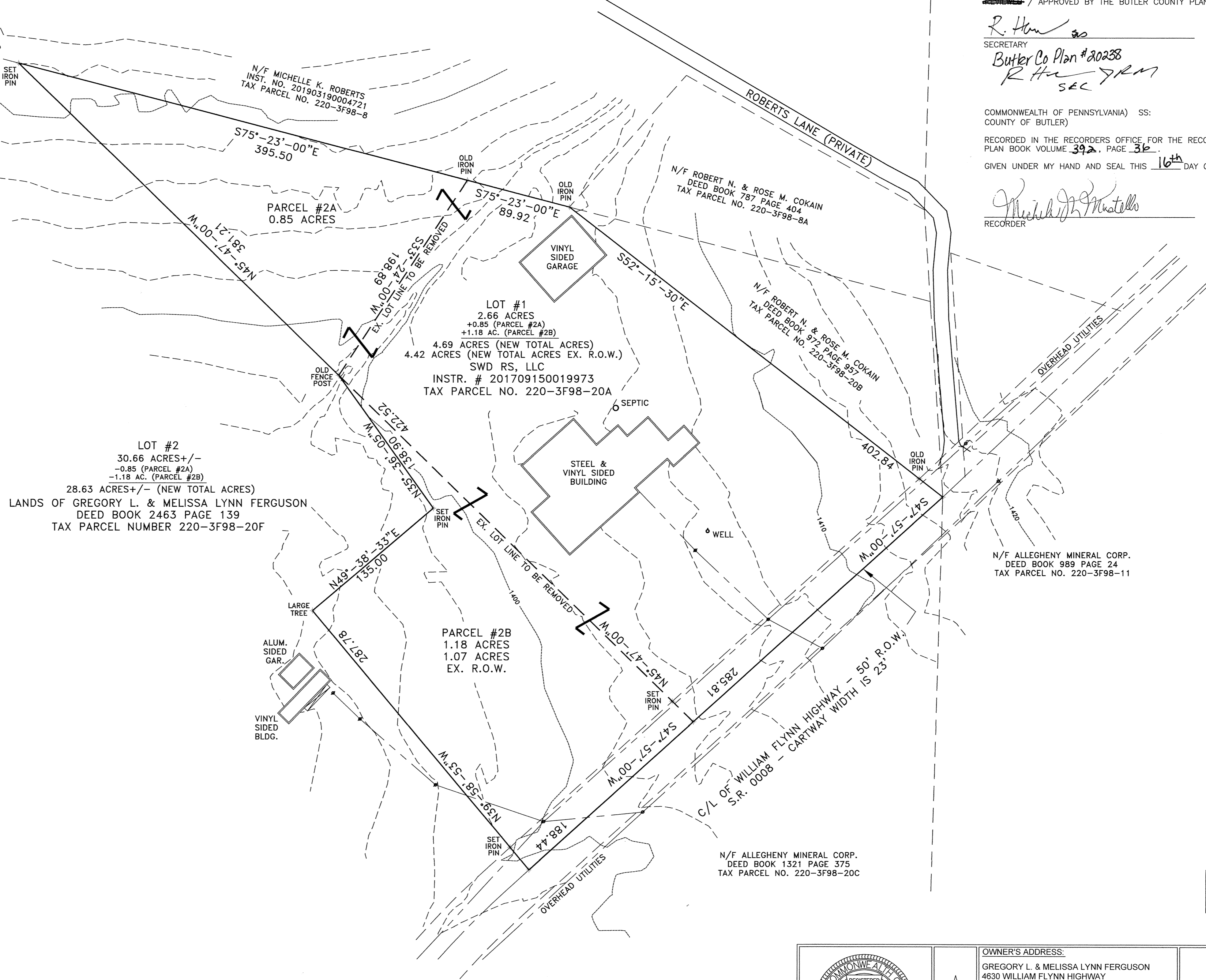
SWORN AND SUBSCRIBED BEFORE ME THIS DAY.

WITNESS MY HAND AND SEAL THIS 9th DAY OF October, 2020.

MY COMMISSION EXPIRES THE 23rd DAY OF June, 2023.

Billie Jean Heltrick
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
 Billie Jean Heltrick, Notary Public
 Butler County
 My commission expires June 22, 2023
 Commission number 1234358
 Member, Pennsylvania Association of Notaries



LOT #2
 30.66 ACRES +/-
 -0.85 (PARCEL #2A)
 -1.18 AC. (PARCEL #2B)
 28.63 ACRES +/- (NEW TOTAL ACRES)
 LANDS OF GREGORY L. & MELISSA LYNN FERGUSON
 DEED BOOK 2463 PAGE 139
 TAX PARCEL NUMBER 220-3F98-20F

I, JOHN FRANK TAYLOR, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

4/7/2020
 DATE

John Frank Taylor
 JOHN FRANK TAYLOR, PLS NO. 075-075367

FRANK B. TAYLOR ENG., INC.
 149 TAYLOR DRIVE
 NEW CASTLE, PA 16101
 (724) 654-6141

OWNER'S ADDRESS:
 GREGORY L. & MELISSA LYNN FERGUSON
 4630 WILLIAM FLYNN HIGHWAY
 HARRISVILLE, PA 16038
 (724) 735-4212
 DEED BOOK 2463 PAGE 139
 TAX PARCEL NUMBER 220-3F98-20F-0000

SWD RS, LLC (MARK McClymonds, MEMBER)
 149 TAYLOR DRIVE
 NEW CASTLE, PA 16101
 (724) 368-8040
 INSTR. # 201709150019973
 TAX PARCEL NUMBER 220-3F98-20A-0000
 SITE ADDRESS: 4652 WILLIAM FLYNN HIGHWAY
 HARRISVILLE, PA 16038

THIS SUBDIVISION PLAN MUST BE RECORDED WITHIN NINETY (90) CALENDAR DAYS OF FINAL APPROVAL IN THE OFFICE OF THE RECORDER OF DEEDS OF BUTLER COUNTY

FINAL PLAN
 LOT LINE REVISION
 FOR
 GREGORY L. & MELISSA LYNN FERGUSON
 AND
 SWD RS, LLC
 MERCER TOWNSHIP
 BUTLER COUNTY, PENNSYLVANIA
 SCALE: 1" = 50' DATE: APRIL 7, 2020
 FRANK B. TAYLOR ENGINEERING, INC.

0 25 50 100 150 200

PLAN BOOK PAGE
 392 36

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT WE, TRACI L. KENNEDY AND GLEN T. CRITCHLOW, EXECUTORS OF THE ESTATE OF NANCY D. CRITCHLOW AND GLEN T. & CHRISTINA M. CRITCHLOW, OF THE TOWNSHIP OF CLINTON, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF CLINTON, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CLINTON, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CLINTON, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

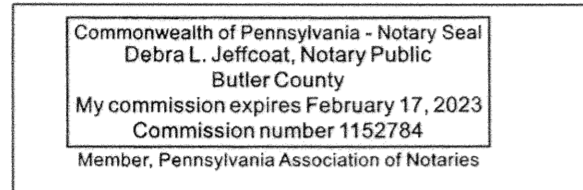
IN WITNESS WHEREOF, I HERELUNTO SET MY HAND AND SEAL THIS 25 DAY OF FEBRUARY, 2021.

Glen T. Critchlow
 GLEN T. CRITCHLOW, EXECUTOR
Traci L. Kennedy
 TRACI L. KENNEDY, EXECUTOR
Christina M. Critchlow
 CHRISTINA M. CRITCHLOW

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, TRACI L. KENNEDY AND GLEN T. CRITCHLOW, EXECUTORS OF THE ESTATE OF NANCY D. CRITCHLOW AND GLEN T. & CHRISTINA M. CRITCHLOW, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 25 DAY OF FEBRUARY, 2021.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023.

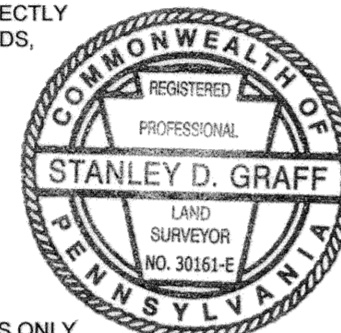


Debra L. Jeffcoat
 NOTARY PUBLIC

SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

17 FEB 2021
 DATE

Stanley D. Graff
 STANLEY D. GRAFF
 REG. NO. SU-030181-E



MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLINTON, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF CLINTON ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS
 APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLINTON THIS 8th DAY OF March, 2021.

Janet Hagan
 SECRETARY
John P. ...
 CHAIRPERSON
 BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF CLINTON THIS _____ DAY OF _____, 2021.

John P. ...
 SECRETARY
Paul M. ...
 PLANNING COMMISSION

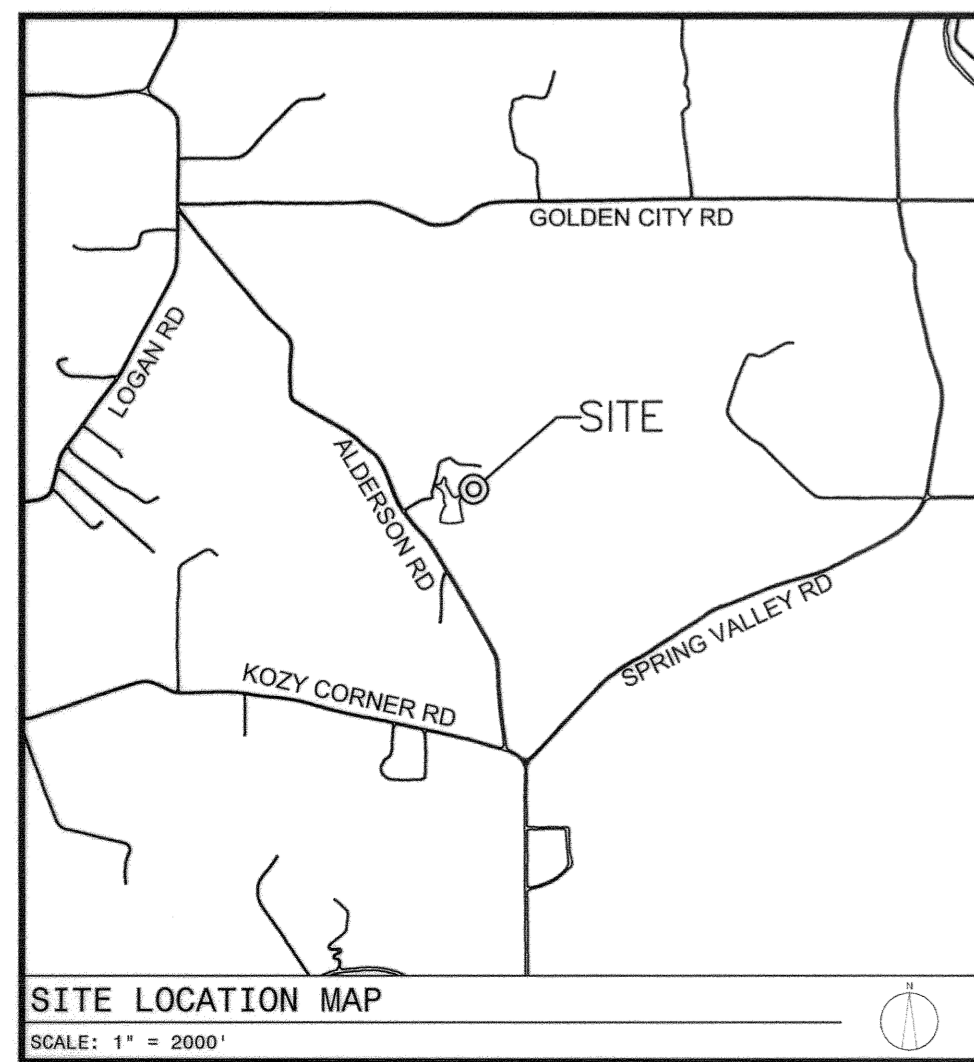
BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 20th DAY OF JAN., 2021.

R. ...
 SECRETARY
John ...
 BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 392, PAGE(S) 37

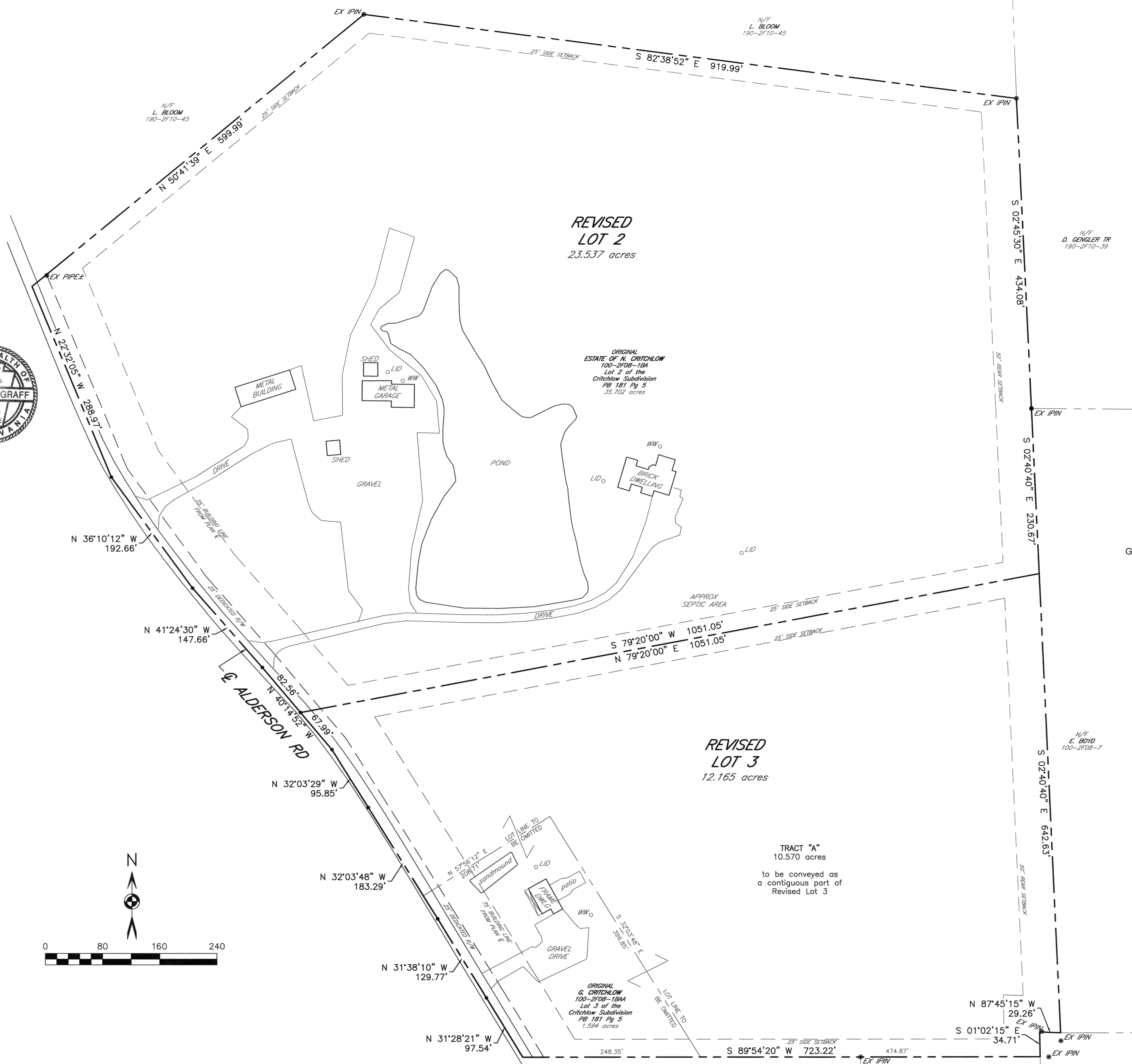
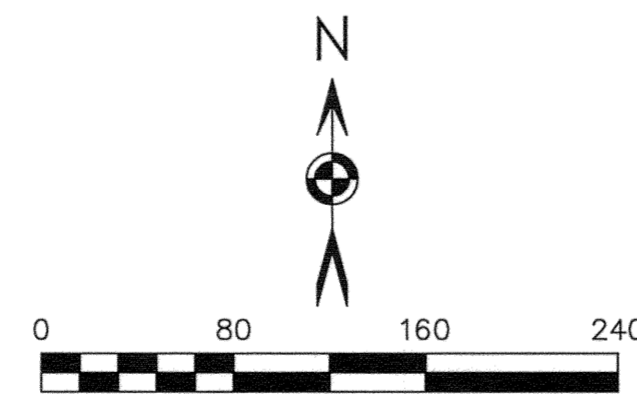
GIVEN UNDER MY HAND AND SEAL THIS 17th DAY OF March, 2021.

Michele M. Mustello
 RECORDER OF DEEDS
 MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



PLAN ORIENTATION NOTE: THE BEARINGS SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (PA-S) / NAD 1983
 NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

CLINTON TOWNSHIP AGRICULTURAL CONSERVATION DISTRICT	
Dimension	Single Family Use
Min. Lot Area	5 acres
Min. Lot Width	125 feet
Min. Front Yard Depth	75 feet
Min. Side Yard Depth	25 feet
Min. Rear Yard Depth	50 feet



PROPERTY AREAS:

EXISTING TOTALS	
LOT 2 (100-2F08-1BA)	34.107 AC
+LOT 3 (100-2F08-1BAA)	1.594 AC
EXISTING TOTAL	35.701 AC

REVISED LOT 2	34.107 AC
-TRACT A	10.570 AC
REVISED LOT 2 TOTAL	23.537 AC

REVISED LOT 3	1.594 AC
+TRACT A	10.570 AC
REVISED LOT 3 TOTAL	12.164 AC

REVISED TOTALS	
REVISED LOT 2	23.537 AC
+REVISED LOT 3	12.164 AC
REVISED TOTAL	35.701 AC

- GENERAL NOTES:
- OWNERS: 100-2F08-1BA - ESTATE OF NANCY D. CRITCHLOW 100-2F08-1BAA - GLEN T. & CHRISTINA M. CRITCHLOW
 - ZONING DISTRICT: AGRICULTURE CONSERVATION DISTRICT
 - SETBACKS: SEE TABLE
 - REFERENCES:
 - CURRENT DEEDS OF RECORD
 - PREVIOUSLY RECORDED PLANS
 - SCHUSLER SUBDIVISION PLAN BOOK 109 PG 24
 - WILLIAMS SUBDIVISION NO. 1 PLAN BOOK 147 PG 31
 - CRITCHLOW SUBDIVISION PLAN BOOK 181 PG 5
 - MCANALLY PLAN OF LOTS PLAN BOOK 281 PG 11

REV	DESCRIPTION	BY	DATE



GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION
CRITCHLOW PLAN NO. 2
 BEING A
LOT LINE REVISION
 FOR
ESTATE OF NANCY CRITCHLOW & GLEN & CHRISTINA CRITCHLOW

SITUATE
 CLINTON TOWNSHIP
 BUTLER COUNTY, PENNSYLVANIA

DATE	DRAWN	CHECKED	SCALE
11/05/2020	SDG	Sdg	1" = 80'

PROJECT NO.	TAX PARCEL NO.	REVISION
20-210	100-2F08-1BA & 1BAA	-

RECORDED	20
PLAN BOOK	PAGE
392	37
SHEET	of

CRITCHLOW PLAN NO. 2

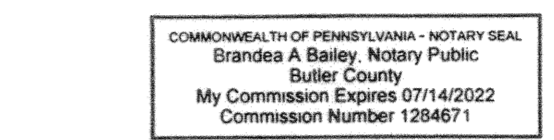
Being a lot line revision consolidation of Lots 2 and 3 of Critchlow Subdivision, Plan Book 181 Page 5, and being Butler County Tax Parcels 100-2F08-1BA (Lot 2) and 100-2F08-1BAA (Lot 3)

Instr: 202103180007680
 Page 1 of 1
 Michele Mustello
 Butler County Recorder PA

KNOW ALL MEN BY THESE PRESENTS, that we, Eric A. and Mary Grace Ruediger, of the Borough of Connoquenessing, of the County of Butler, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this plan as our Plan of Lots of our property, situate in Connoquenessing Borough, Butler County, Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Borough of Connoquenessing, we hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Borough of Connoquenessing, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Eric A. and Mary Grace Ruediger, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

NOTES:
 SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.
 REF: W.J. HILLIARD PLAN OF LOTS, R.F. 4 PG. 11.
 ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS BOROUGH, THIS PROPERTY LIES IN ZONE X - AREA OF MINIMAL FLOOD HAZARD DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
 ZONED: RESIDENTIAL
 BUILDING REQUIREMENTS:
 MINIMUM LOT WIDTH: 100'
 40' FRONT SETBACK
 10' SIDE SETBACK
 40' REAR SETBACK

IN WITNESS WHEREOF, we hereunto set our hands and seals this 12th day of March, 2021.
 ATTEST:
 Branda L. Fowler
 NOTARY PUBLIC
 Eric Ruediger
 OWNER



COMMONWEALTH OF PENNSYLVANIA)SS:
 COUNTY OF ERIE
 Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Eric A. and Mary Grace Ruediger, and acknowledged the foregoing release and dedication and plan to be their act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day, 12 day of March, 2021.
 My Commission expires the 14 day of July, 2022.
 SEAL
 Branda L. Fowler
 NOTARY PUBLIC
 COMMONWEALTH OF PENNSYLVANIA - NOTARY SEAL
 Branda A. Fowler, Notary Public
 Butler County
 My Commission Expires 07/14/2022
 Commission Number 1284671

I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.
 DATE February 10, 2021 SEAL
 REG. NO. SU-32490-E
 Cheryl A. Hughes
 LAND SURVEYOR
 SU-32490-E



Approved by the Borough Engineer of the Borough of Connoquenessing this 18th day of MARCH, 2021.
 SIGNATURE
 REGISTRATION NO. 04380-E

The Borough Council of the Borough of Connoquenessing hereby gives public notice that in approving this plan for recording purposes only, the Borough of Connoquenessing assumes no obligation, legal or otherwise, expressed or implied, either to accept said streets as Borough streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Borough streets or roads.

Vicki J. Ch... SECRETARY
 Lloyd L. Lesko... CHAIRMAN/PRESIDENT

Approved by the Borough Council of the Borough of Connoquenessing this 2nd day of March, 2021.

Vicki J. Ch... SECRETARY
 Lloyd L. Lesko... CHAIRMAN/PRESIDENT

This plot of Subdivision has been reviewed by the Planning Committee of the Borough of Connoquenessing, Butler County, Commonwealth of Pennsylvania on this 2nd day of March, A.D. 2021.

Vicki J. Ch... SECRETARY
 Lloyd L. Lesko... CHAIRMAN/PRESIDENT

REVIEWED
 Approved by the Butler County Planning Commission this 17th day of FEB., 2021.

R. H. GRM... SECRETARY
 J. H. DRM... CHAIRMAN/PRESIDENT

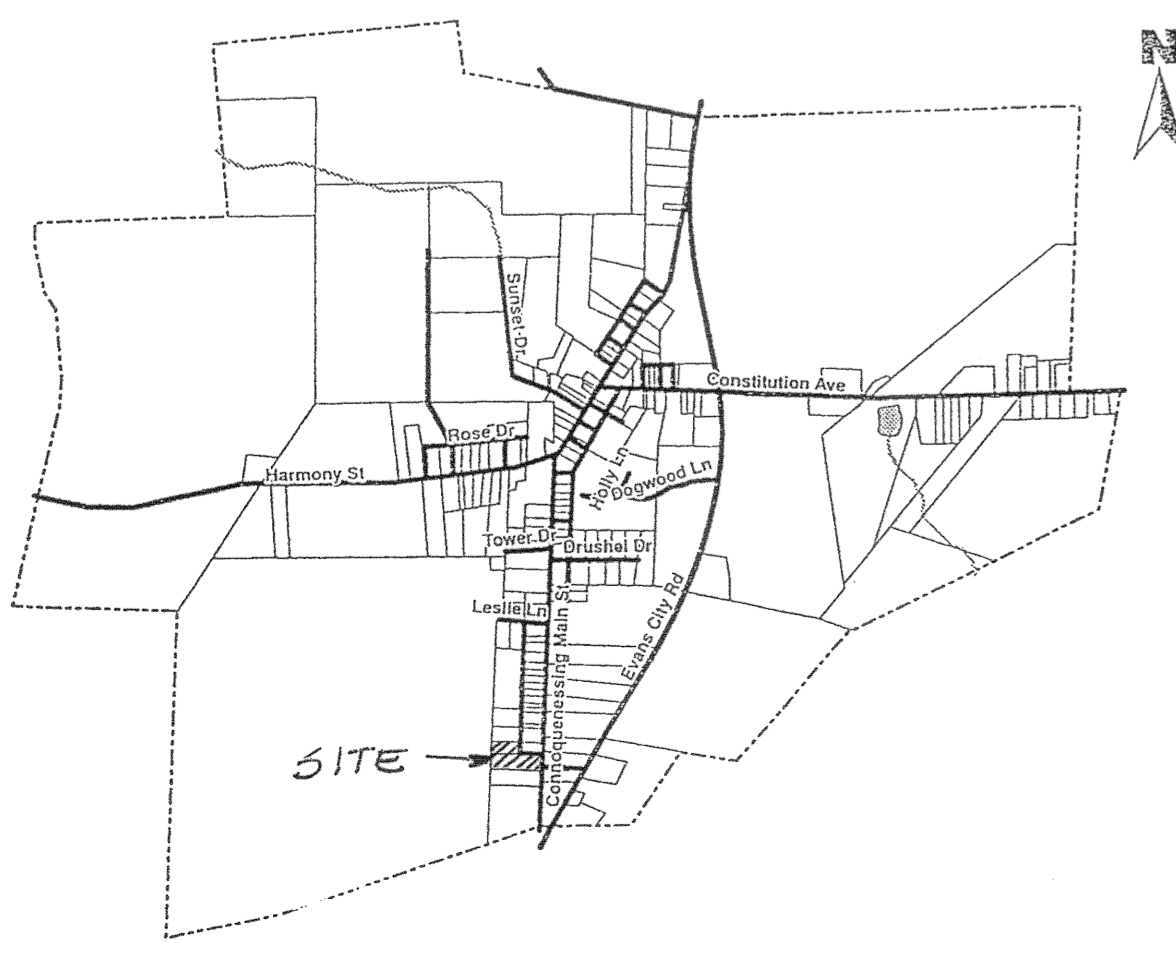
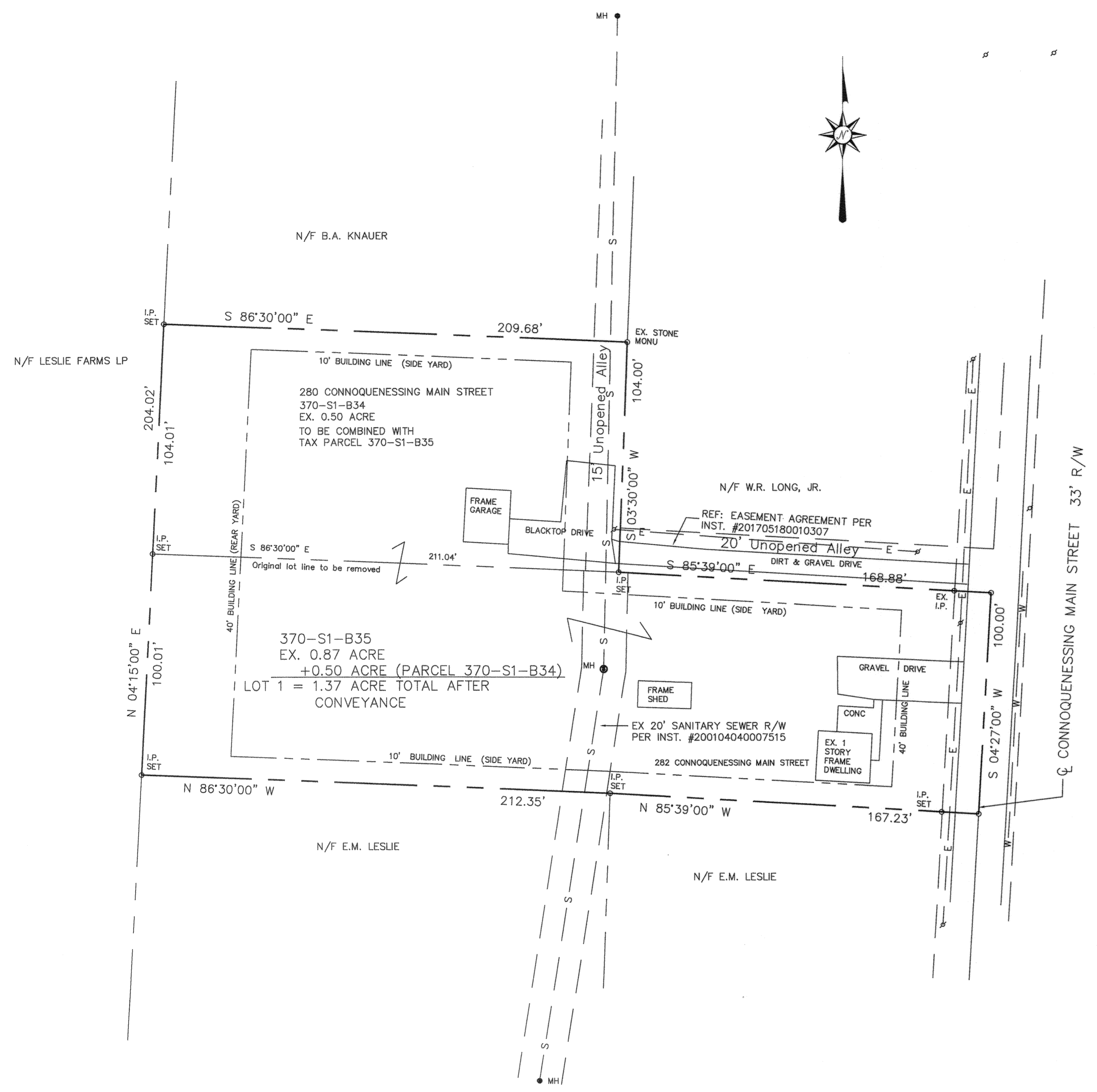
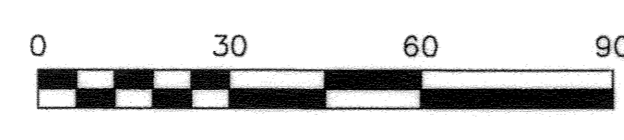


COMMONWEALTH OF PENNSYLVANIA)SS:
 COUNTY OF BUTLER)
 Recorded in the Recorder's Office for the recording of deeds, plans, etc. in said County in Plan Book Volume 392 page 38
 Given under my hand and seal this 18th day of March, 2021.

SEAL
 MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



PLAN BOOK 392 PAGE 38



L S J	Land Surveyors, Inc. 523 North Main Street P.O. Box 1061 Butler, PA 16003-1061 (724) 287-6865 Cheryl A. Hughes, PLS Owner		
	LOT LINE REVISION FOR: ERIC A. & MARY GRACE RUEDIGER SITUATE: CONNOQUEENESSING BORO., BUTLER CO., PA		
Date 02/10/2021	Scale 1" = 30'	Dwn By BEC	Ckd By CAH
Parcel No. 370-S1-B34, B35	Instr. # 201804160007126	Service No. 21-004	
Address 280-282 CONNOQ. MAIN ST		201804160007125	

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT I, THOMAS A. JESTEADT, OF THE TOWNSHIP OF FRANKLIN, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR MYSELF, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS MY PLAN OF LOTS OF MY PROPERTIES, SITUATE IN THE TOWNSHIP OF FRANKLIN, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF FRANKLIN, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF FRANKLIN, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME, THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNER, HIS HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 23rd DAY OF February, 2020.

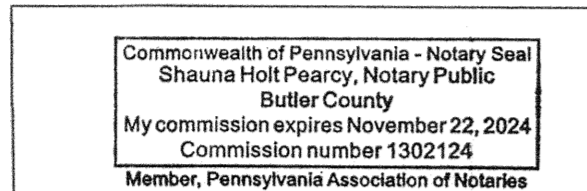
x Thomas A. Jesteadt
 THOMAS A. JESTEADT
 Commonwealth of Pennsylvania
 County of Butler

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, THOMAS A. JESTEADT, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 23rd DAY OF February, 2020.

MY COMMISSION EXPIRES THE 22nd DAY OF November, 2024.

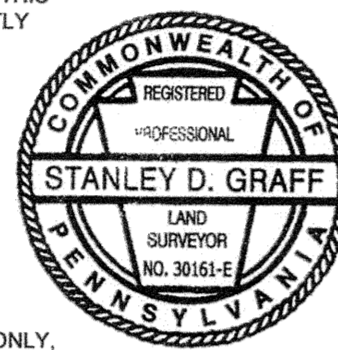
x Shannon H. Kline
 NOTARY PUBLIC



SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

DATE 19 Nov 2020

x Stanley D. Graff
 STANLEY D. GRAFF
 REG. NO. SU-801818-E



MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF FRANKLIN, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF FRANKLIN ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF FRANKLIN THIS 15th DAY OF February, 2020.

x Jeffrey SECRETARY
 x Herman V. Bauer CHAIRPERSON
 BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF FRANKLIN THIS 15th DAY OF February, 2020.

x Yvonne M. Meeley SECRETARY
 x Robert J. Thompson CHAIRPERSON
 PLANNING COMMISSION

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 21st DAY OF OCT, 2020.

x R. J. ... SECRETARY
 x ... CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION

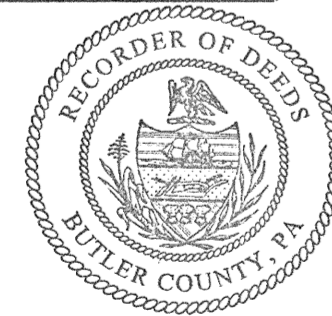
PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN

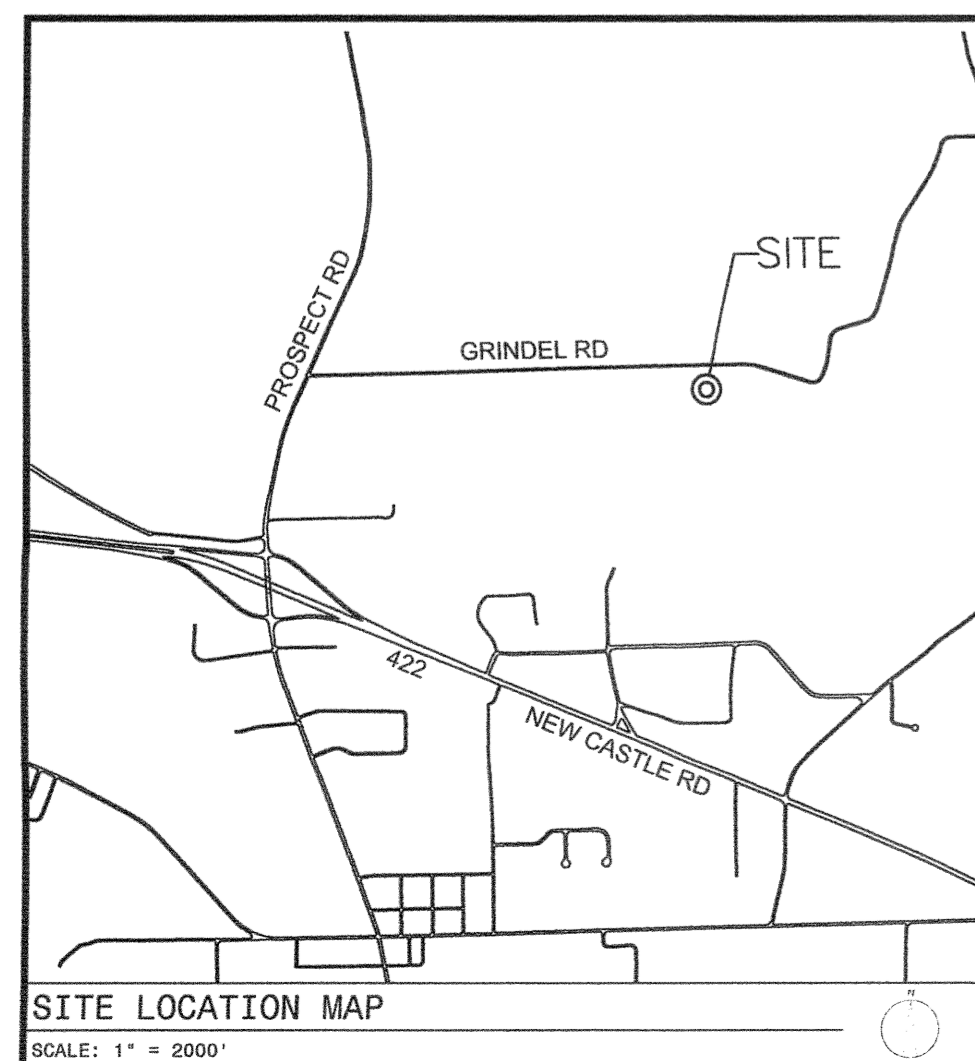
PLAN BOOK VOLUME 392, PAGE(S) 39

GIVEN UNDER MY HAND AND SEAL THIS 18th DAY OF March, 2020.

x Michele M. Mustello
 RECORDER OF DEEDS



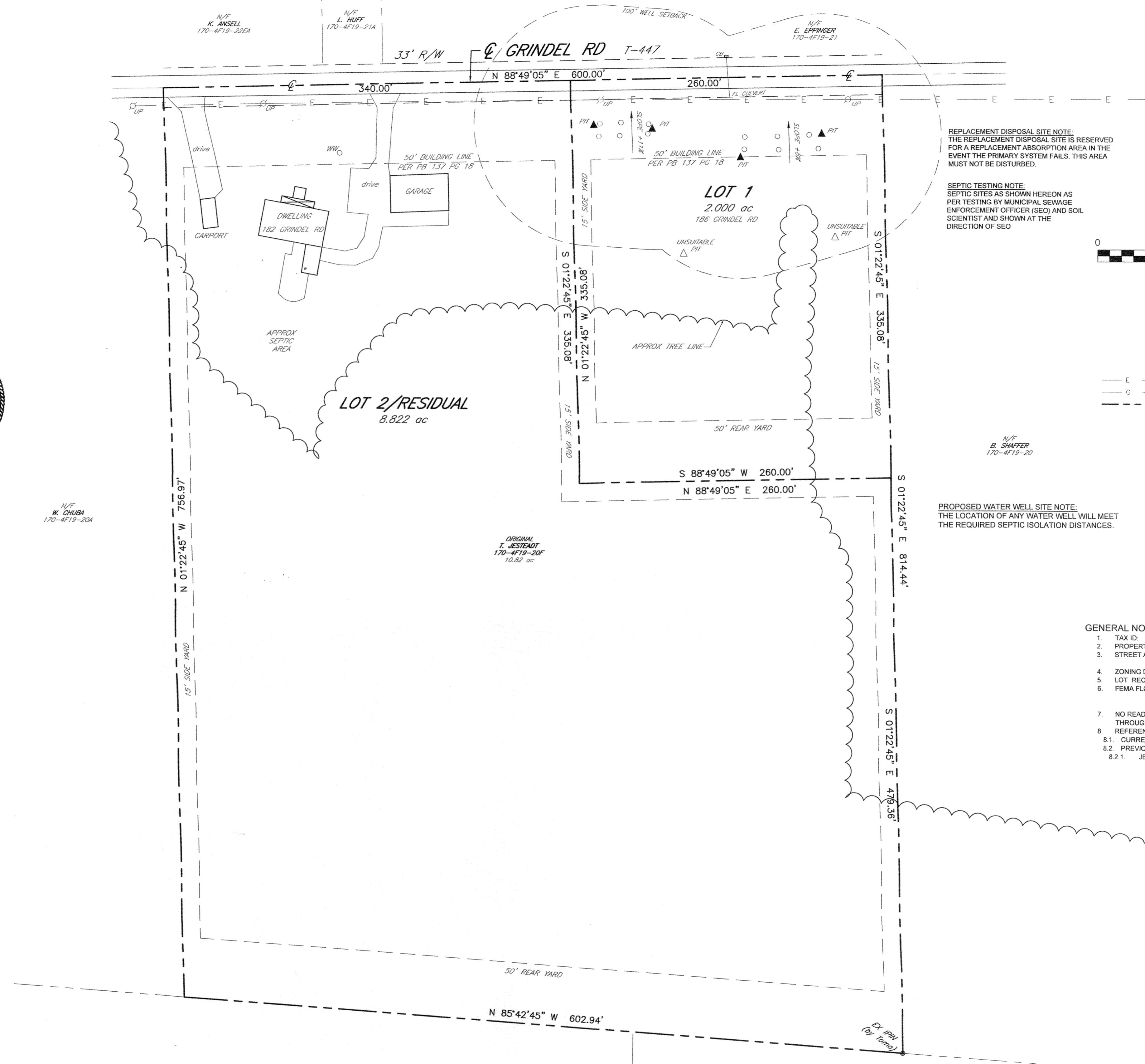
MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



FRANKLIN TOWNSHIP A-R AGRICULTURE RESIDENTIAL DISTRICT	
Dimension	All Permitted Uses
Min. Lot Area	43,560 sq ft
Min. Lot Width	100 feet
Min. Front Yard Depth	40 feet
Min. Side Yard Depth	15 feet
Min. Rear Yard Depth	50 feet

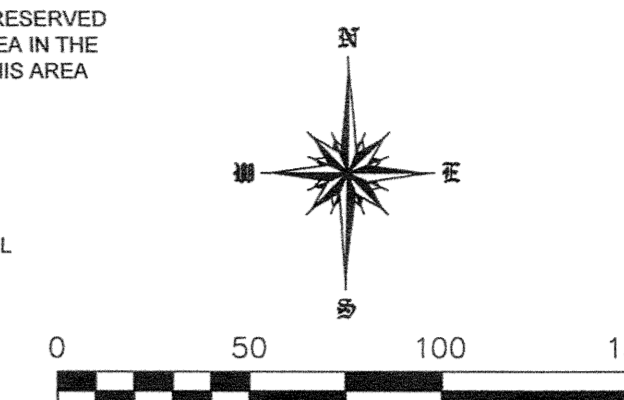
PLAN ORIENTATION NOTE:
 HORIZONTAL DATUM: THE BEARINGS SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (PA-S) / NAD 1983
 VERTICAL DATUM: CONTOURS SHOWN HEREON ARE IMPORTED FROM PASDA LIDAR / NAVD 1988

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.



REPLACEMENT DISPOSAL SITE NOTE:
 THE REPLACEMENT DISPOSAL SITE IS RESERVED FOR A REPLACEMENT ABSORPTION AREA IN THE EVENT THE PRIMARY SYSTEM FAILS. THIS AREA MUST NOT BE DISTURBED.

SEPTIC TESTING NOTE:
 SEPTIC SITES AS SHOWN HEREON AS PER TESTING BY MUNICIPAL SEWAGE ENFORCEMENT OFFICER (SEO) AND SOIL SCIENTIST AND SHOWN AT THE DIRECTION OF SEO



LEGEND

- These standard symbols will be found in the drawing.
- UTILITY POLE
 - E— ELECTRIC LINE
 - G— GAS LINE
 - - - - - PROPERTY LINE

PROPOSED WATER WELL SITE NOTE:
 THE LOCATION OF ANY WATER WELL WILL MEET THE REQUIRED SEPTIC ISOLATION DISTANCES.

GENERAL NOTES:

1. TAX ID: 170-4F19-20F
2. PROPERTY OWNER: THOMAS A. JESTEADT
3. STREET ADDRESS: 182 GRINDEL RD, PROSPECT, PA 16052
4. ZONING DISTRICT: A-R AGRICULTURE RESIDENTIAL
5. LOT REQUIREMENTS: SEE TABLE
6. FEMA FLOOD ZONE: ZONE X - AREA OF MINIMAL FLOOD HAZARD
FIRM: 42019C0270D
FIRM EFFECTIVE: 8/2/2018
7. NO READILY APPARENT GAS WELL OR TRANSMISSION LINES OBSERVED ON OR THROUGH PROPERTY
8. REFERENCES:
 - 8.1. CURRENT DEEDS OF RECORD
 - 8.2. PREVIOUSLY RECORDED PLANS
 - 8.2.1. JESTEADT PLAN OF LOTS NO 2 (by Tomo) PLAN BOOK 137 PG 18

REV	DESCRIPTION	BY	DATE
B	ADDED ALTERNATE SEPTIC SITE	SDG	11/19/2020
A	REVISIONS PER TOWNSHIP COMPLETENESS REVIEW LETTER	SDG	8/16/2020



GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 | F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION

T. A. JESTEADT PLAN
 BEING A
 SUBDIVISION
 FOR
 THOMAS A. JESTEADT

SITUATE
 FRANKLIN TOWNSHIP
 BUTLER COUNTY, PENNSYLVANIA

DATE	DRAWN	CHECKED	SCALE
08/14/2020	SDG	Sdg	1" = 50'
PROJECT NO.	TAX PARCEL NO.	REVISION	
20-118	170-4F19-20F	B	

RECORDED	20
PLAN BOOK	PAGE
392	39
SHEET	of

T. A. JESTEADT PLAN

Being a subdivision of Butler County Tax
 Parcel 170-4F19-20F

I, JAMES A. SPERDUTE, A PROFESSIONAL LAND SURVEYOR DULY LICENSED BY AND IN THE COMMONWEALTH OF PENNSYLVANIA, HEREBY CERTIFY THAT THE PLATS OF THE HERITAGE CROSSINGS CONDOMINIUM PLAN, A CONDOMINIUM TO WHICH THIS CERTIFICATE IS AFFIXED, CONSISTING OF 2 PAGES AND THE PLANS RECORDED WITH THE DECLARATION, ACCURATELY CONTAINS ALL INFORMATION REQUIRED BY SECTIONS 3210(B) AND (C) OF THE PENNSYLVANIA UNIFORM CONDOMINIUM ACT, ACT 82 OF 1989 (68 P.A.C.S.A. SECTION 3210(B) AND (C)).

James A. Spurdute
 BY JAMES A. SPERDUTE, SURVEYOR REG. NO. 24457-E DATE 3/9/21

COMMONWEALTH OF PENNSYLVANIA)
) SS:
 COUNTY OF BUTLER)

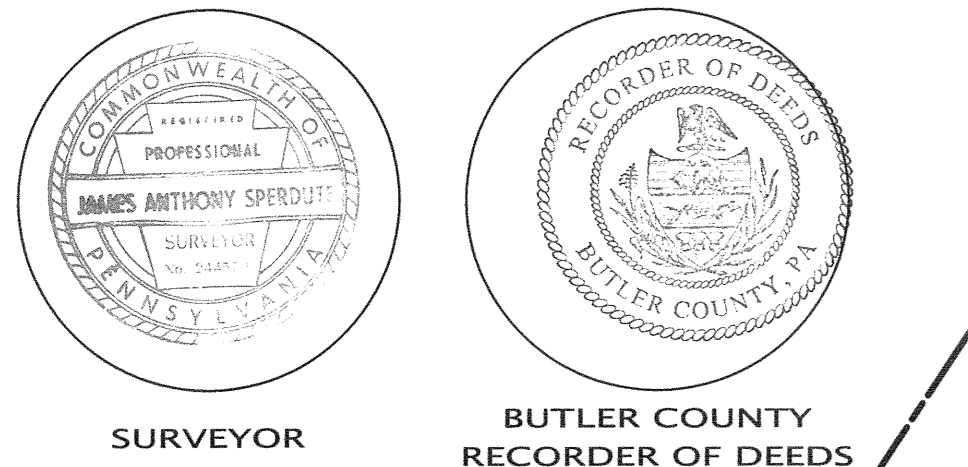
ON THE 8 DAY OF March 2021, BEFORE ME, A NOTARY PUBLIC FOR THE COMMONWEALTH OF PENNSYLVANIA, PERSONALLY APPEARED JAMES A. SPERDUTE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE ABOVE CERTIFICATION AND BEING DULY SWORN MADE SOLEMN OATH TO THE TRUTH OF THE STATEMENT TO WHICH HIS NAME IS SUBSCRIBED.

IN WITNESS WHEREOF, I HERELY SET MY HAND AND NOTARIAL SEAL.
Jennifer Lyn Spurdute
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: October 14, 2023

Commonwealth of Pennsylvania - Notary Seal
 Jennifer Lyn Spurdute, Notary Public
 Butler County
 My commission expires October 14, 2023
 Commission number 1358573
 Member, Pennsylvania Association of Notaries

COMMONWEALTH OF PENNSYLVANIA)
) SS:
 COUNTY OF BUTLER)

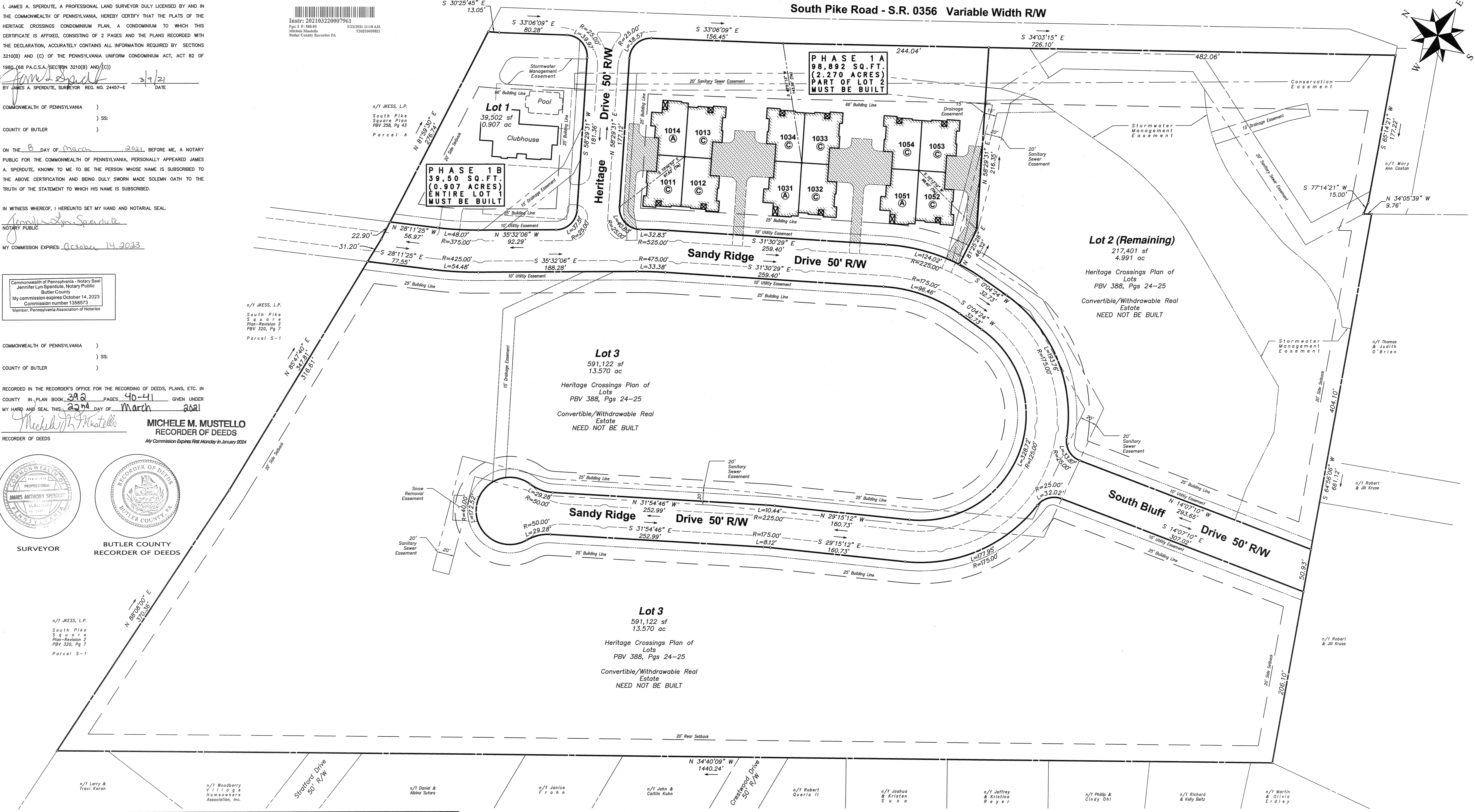
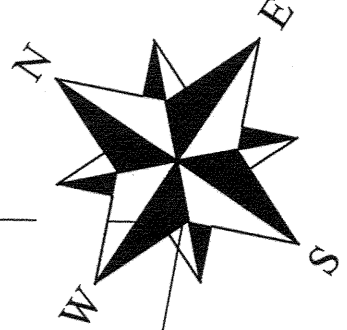
RECORDED IN THE RECORDER'S OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN COUNTY IN PLAN BOOK 392 PAGES 40-41 GIVEN UNDER MY HAND AND SEAL THIS 22nd DAY OF March 2021.
Michele M. Mustello
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



n/i JKESS, L.P.
 South Pike Square
 Plan-Revision 2
 PBV 320, Pg 7
 Parcel S-1

INSTR: 20210320007961
 Plan 3 of 58650
 Michele Mustello
 Butler County Recorder PA
 T3021000821

South Pike Road - S.R. 0356 Variable Width R/W



Condo Area Tabulation	LOT 1		LOT 2		LOT 3	
	SQ.FT.	ACRES	SQ.FT.	ACRES	SQ.FT.	ACRES
ORIGINAL TRACT:	39,502	0.907	316,293	7.261	591,122	13.570
CONDO PLAN NO. 1 PHASE 1A	0	0	98,892	2.270	0	0
CONDO PLAN NO. 1 PHASE 1B	39,502	0.907	0	0	0	0
AREA REMAINING FOR DEVELOPMENT (CONVERTIBLE/WITHDRAWABLE REAL ESTATE)	0.00	0.00	217,401	4.991	591,122	13.570

PLAN BOOK 392 PAGE 40
 GRAPHIC SCALE
 (IN FEET)
 1 inch = 50 ft.

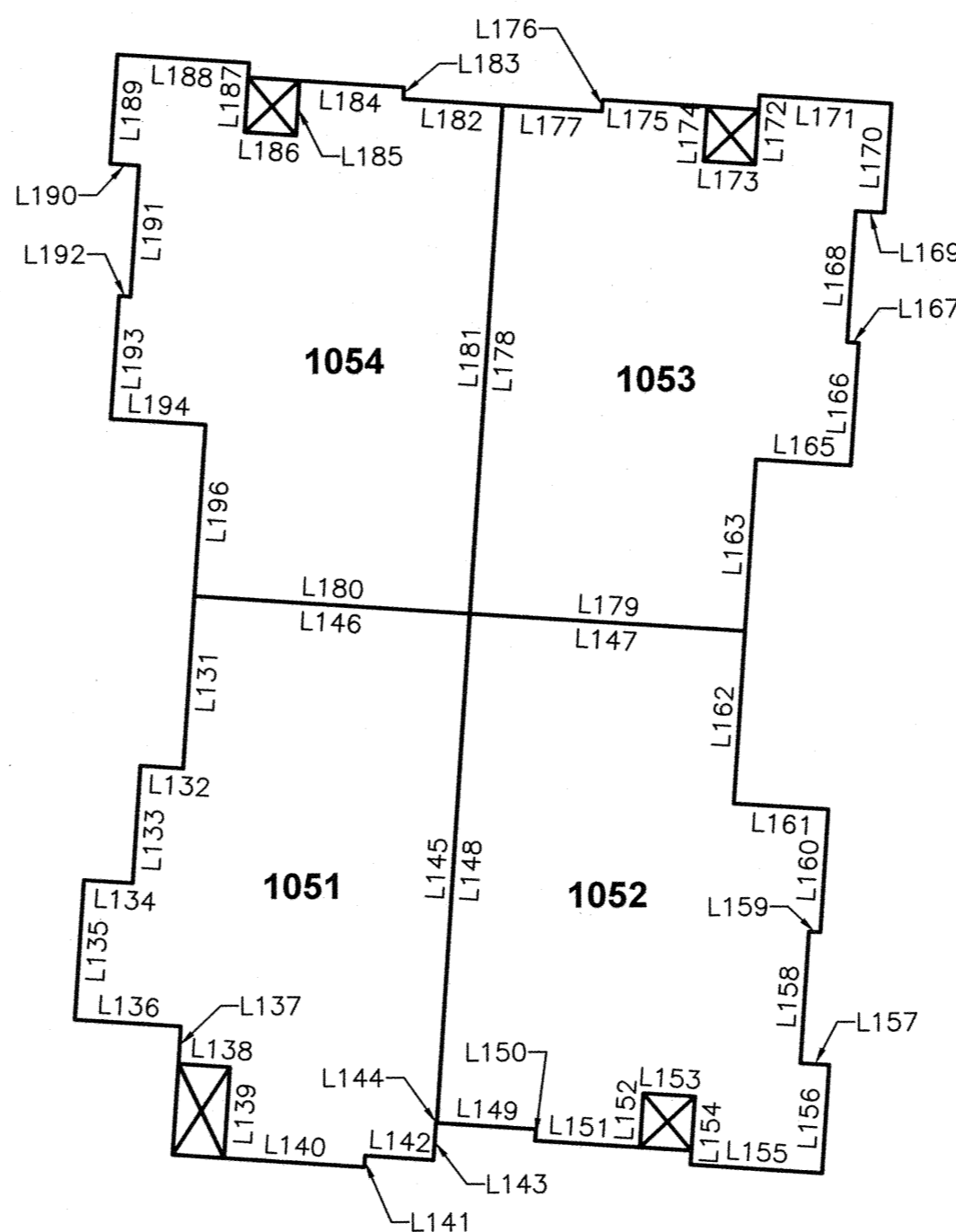
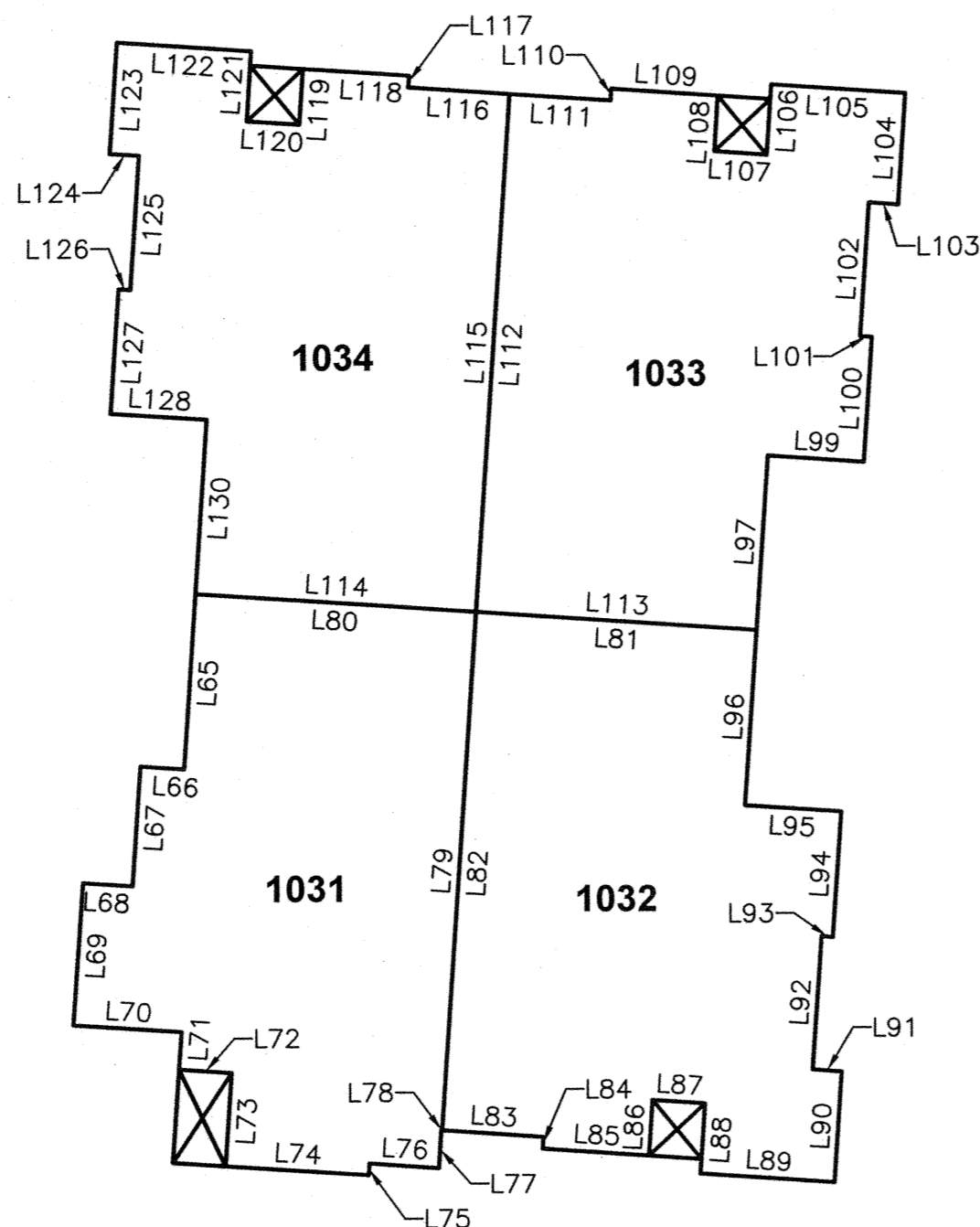
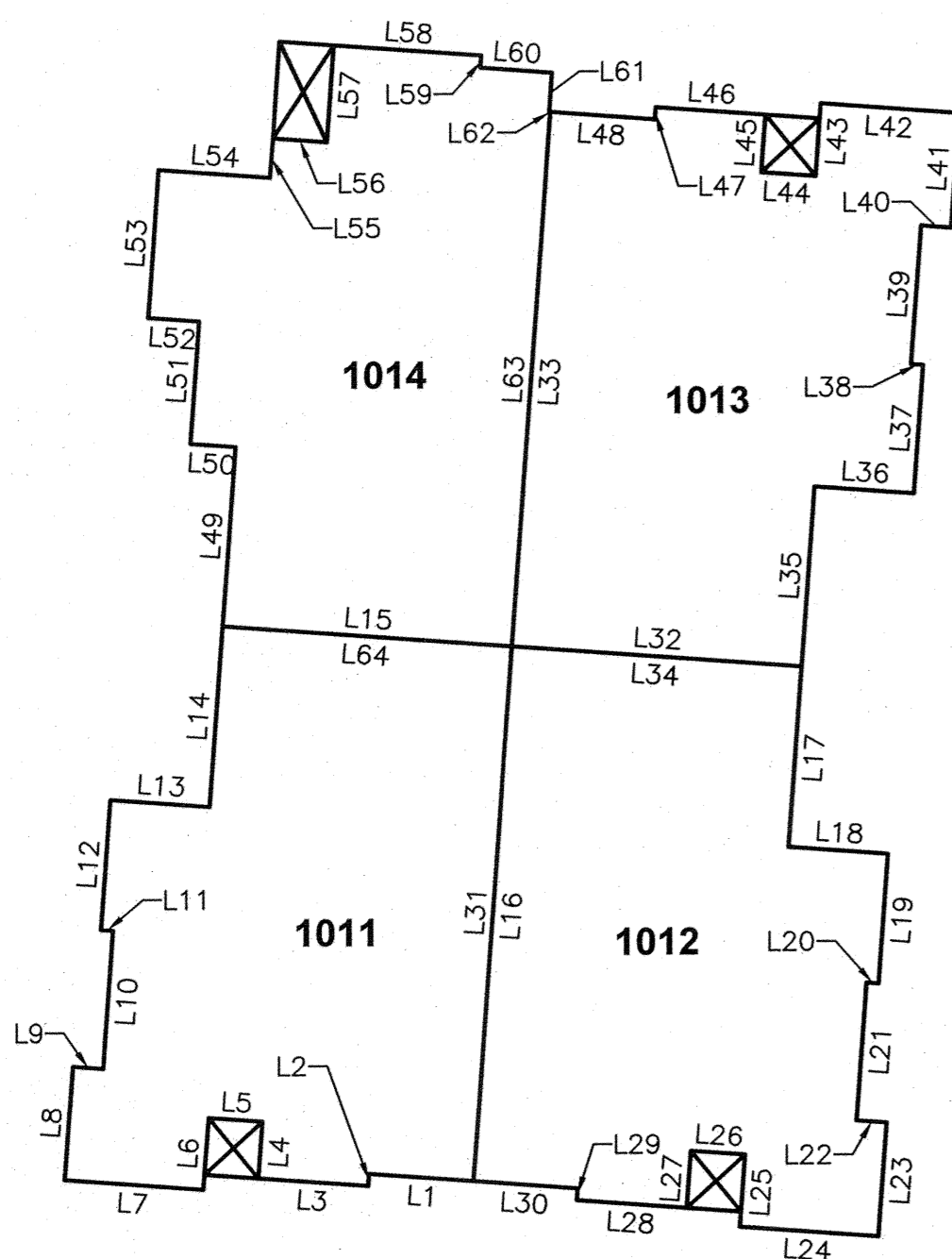
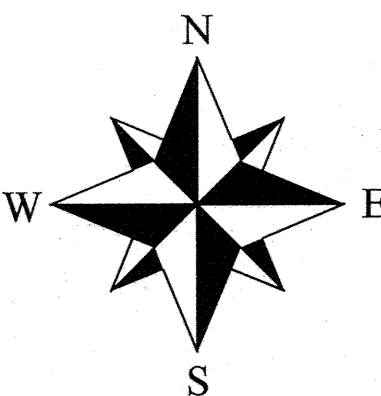
NOTES:
 Prepared for: Heritage Crossings Partners, L.P., P.O. Box 449, Mars, PA 16046
 1. All porches, patios, decks and unit sidewalks are part of the dwelling unit and must be built.
 2. All unit driveways are considered limited common elements and must be built.
 3. See declaration which is recorded separately for architectural drawings related to building types, building elevations and unit dimensions.
 4. Refer to the recorded plan referenced below of additional information regarding existing easements, rights of way, setbacks and restrictions of record.
 Plan Reference: Heritage Crossings Plan of Lots PBV 388, Pages 24-25

Owner/Developer
 Heritage Crossings Partners, L.P.
 Box 449
 Mars, PA 16046
 Reference:
 Heritage Crossings Plan of Lots PBV 388, Pages 24-25

DRAWING NUMBER: 1055-2122480
 DRAWING SCALE: 1"=50'
 DATE: March 2, 2021
 DRAWN BY: JSS
 REVISIONS:
 Sheet 1 of 2

Heritage Crossings Condominium Plan 1
 Buffalo Township, Butler County Pennsylvania

Spurdute Land Surveying
 A Division of Sheffler & Company
 108 Deer Lane Harmony, PA 16037
 1712 Mount Nebo Road Sewickley, PA 15143
 Office Phone: 724-452-4362
 Email: Info@SpurduteSurveying.com



Line #	Length	Direction
L16	59.33'	S60° 09' 08"W
L15	32.06'	S29° 50' 52"E
L14	20.00'	N60° 09' 08"E
L13	11.00'	S29° 50' 52"E
L12	14.33'	N60° 09' 08"E
L11	1.33'	N29° 50' 52"W
L10	15.33'	N60° 09' 08"E
L9	3.33'	S29° 50' 52"E
L8	12.67'	N60° 09' 08"E
L7	15.33'	N29° 50' 52"W
L6	8.00'	S60° 09' 08"W
L5	6.00'	N29° 50' 52"W
L4	6.33'	N60° 09' 08"E
L3	12.17'	N29° 50' 52"W
L2	1.33'	S60° 09' 08"W
L1	11.56'	N29° 50' 52"W
L32	32.06'	S29° 50' 52"E
L31	59.33'	N60° 09' 08"E
L30	11.56'	N29° 50' 52"W
L29	1.33'	N60° 09' 08"E
L28	12.17'	N29° 50' 52"W
L27	6.33'	S60° 09' 08"W
L26	6.00'	N29° 50' 52"W
L25	8.00'	N60° 09' 08"E
L24	15.33'	N29° 50' 52"W
L23	12.67'	S60° 09' 08"W
L22	3.33'	S29° 50' 52"E
L21	15.33'	S60° 09' 08"W
L20	1.33'	N29° 50' 52"W
L19	14.33'	S60° 09' 08"W
L18	11.00'	S29° 50' 52"E
L17	20.00'	S60° 09' 08"W

Line #	Length	Direction
L130	20.00'	S59° 45' 09"E
L155	15.33'	S30° 14' 51"E
L154	8.00'	S59° 45' 09"W
L153	6.00'	S30° 14' 51"E
L152	6.33'	N59° 45' 09"E
L151	12.17'	S30° 14' 51"E
L150	1.33'	S59° 45' 09"W
L149	11.56'	S30° 14' 51"E
L148	59.33'	S59° 45' 09"W
L147	32.06'	N30° 14' 51"W
L96	20.00'	N59° 45' 09"E
L95	11.00'	N30° 14' 51"W
L94	14.33'	N59° 45' 09"E
L93	1.33'	S30° 14' 51"E
L92	15.33'	N59° 45' 09"E
L91	3.33'	N30° 14' 51"W
L113	32.06'	S30° 14' 51"E
L112	59.33'	S59° 45' 09"W
L111	11.56'	N30° 14' 51"W
L110	1.33'	S59° 45' 09"W
L109	12.17'	N30° 14' 51"W
L108	6.33'	N59° 45' 09"E
L107	6.00'	N30° 14' 51"W
L106	8.00'	S59° 45' 09"W
L105	15.33'	N30° 14' 51"W
L104	12.67'	N59° 45' 09"E
L103	3.33'	S30° 14' 51"E
L102	15.33'	N59° 45' 09"E
L101	1.33'	N30° 14' 51"W
L100	14.33'	N59° 45' 09"E
L99	11.00'	S30° 14' 51"E
L97	20.00'	N59° 45' 09"E

Line #	Length	Direction
L48	11.56'	N29° 50' 52"W
L47	1.33'	N60° 09' 08"W
L46	12.17'	N29° 50' 52"W
L45	6.33'	N60° 09' 08"E
L44	6.00'	N29° 50' 52"W
L43	8.00'	S60° 09' 08"W
L42	15.33'	N29° 50' 52"W
L41	12.67'	N60° 09' 08"E
L40	3.33'	S29° 50' 52"E
L39	15.33'	N60° 09' 08"E
L38	1.33'	N29° 50' 52"W
L37	14.33'	N60° 09' 08"E
L36	11.00'	S29° 50' 52"E
L35	20.00'	N60° 09' 08"E
L34	32.06'	S29° 50' 52"E
L33	59.33'	S60° 09' 08"W
L32	32.06'	S30° 14' 51"E
L178	59.33'	S59° 45' 09"W
L177	11.56'	N30° 14' 51"W
L176	1.33'	S59° 45' 09"W
L175	12.17'	N30° 14' 51"W
L174	6.33'	N59° 45' 09"E
L173	6.00'	N30° 14' 51"W
L172	8.00'	S59° 45' 09"W
L171	15.33'	N30° 14' 51"W
L170	12.67'	N59° 45' 09"E
L169	3.33'	S30° 14' 51"E
L168	15.33'	N59° 45' 09"E
L167	1.33'	N30° 14' 51"W
L166	14.33'	S59° 45' 09"E
L165	11.00'	S30° 14' 51"E
L163	20.00'	N59° 45' 09"E

Line #	Length	Direction
L130	20.00'	S59° 45' 09"E
L128	11.00'	S30° 14' 51"E
L127	14.33'	S59° 45' 09"W
L126	1.33'	N30° 14' 51"E
L125	15.33'	S59° 45' 09"W
L124	3.33'	S30° 14' 51"E
L123	12.67'	S59° 45' 09"W
L122	15.33'	N30° 14' 51"W
L121	8.00'	N59° 45' 09"E
L120	6.00'	N30° 14' 51"W
L119	6.33'	S59° 45' 09"W
L118	12.17'	N30° 14' 51"W
L117	1.33'	N59° 45' 09"E
L116	11.56'	N30° 14' 51"W
L115	59.33'	N59° 45' 09"E
L114	32.06'	S30° 14' 51"E
L80	32.06'	N30° 14' 51"W
L79	59.33'	N59° 45' 09"E
L78	0.10'	S30° 14' 51"E
L77	4.33'	N60° 09' 08"E
L76	7.96'	S30° 14' 51"E
L75	1.33'	N59° 45' 09"E
L74	16.33'	S30° 14' 51"E
L73	10.67'	S59° 45' 09"W
L72	6.00'	S30° 14' 51"E
L71	4.33'	S59° 45' 09"W
L70	12.33'	S30° 14' 51"E
L69	16.33'	S59° 45' 09"W
L68	5.67'	N30° 14' 51"W
L67	13.67'	S59° 45' 09"W
L66	5.00'	N30° 14' 51"W
L65	20.00'	S59° 45' 09"W

Line #	Length	Direction
L196	20.00'	S59° 45' 09"W
L194	11.00'	S30° 14' 51"E
L193	14.33'	S59° 45' 09"W
L192	1.33'	N30° 14' 51"W
L191	15.33'	S59° 45' 09"W
L190	3.33'	S30° 14' 51"E
L189	12.67'	S59° 45' 09"W
L188	15.33'	N30° 14' 51"W
L187	8.00'	N59° 45' 09"E
L186	6.00'	N30° 14' 51"W
L185	1.33'	S59° 45' 09"W
L184	12.17'	N30° 14' 51"W
L183	1.33'	N59° 45' 09"E
L182	11.56'	N30° 14' 51"W
L181	59.33'	N59° 45' 09"E
L180	32.06'	S30° 14' 51"E
L179	32.06'	S30° 14' 51"E
L145	59.33'	N59° 45' 09"E
L144	0.10'	S30° 14' 51"E
L143	4.33'	N59° 45' 09"E
L142	7.96'	S30° 14' 51"E
L141	1.33'	N59° 45' 09"E
L140	16.33'	S30° 14' 51"E
L139	10.67'	S59° 45' 09"W
L138	6.00'	S30° 14' 51"E
L137	4.33'	S59° 45' 09"W
L136	12.33'	S30° 14' 51"E
L135	16.33'	S59° 45' 09"W
L134	5.67'	N30° 14' 51"W
L133	13.67'	S59° 45' 09"E
L132	5.00'	N30° 14' 51"W
L131	20.00'	S59° 45' 09"W

Line #	Length	Direction
L90	12.67'	N59° 45' 09"E
L89	15.33'	S30° 14' 51"E
L88	8.00'	S59° 45' 09"W
L87	6.00'	S30° 14' 51"E
L86	6.33'	N59° 45' 09"E
L85	12.17'	S30° 14' 51"E
L84	1.33'	S59° 45' 09"W
L83	11.56'	S30° 14' 51"E
L82	59.33'	S59° 45' 09"W
L81	32.06'	N30° 14' 51"W
L64	32.06'	N29° 50' 52"W
L63	59.33'	S60° 09' 08"W
L62	0.10'	S29° 50' 52"E
L61	4.33'	S60° 09' 08"W
L60	7.96'	S29° 50' 52"E
L59	1.33'	S60° 09' 08"W
L58	16.33'	N60° 09' 08"E
L57	10.67'	N60° 09' 08"E
L56	6.00'	S29° 50' 52"E
L55	4.33'	N60° 09' 08"E
L54	12.33'	S29° 50' 52"E
L53	16.33'	N60° 09' 08"E
L52	5.67'	N29° 50' 52"W
L51	13.67'	N60° 09' 08"E
L50	5.00'	N29° 50' 52"W
L49	20.00'	N60° 09' 08"E
L162	20.00'	N59° 45' 09"E
L161	11.00'	N30° 14' 51"W
L160	14.33'	N59° 45' 09"E
L159	1.33'	S30° 14' 51"E
L158	15.33'	N59° 45' 09"E
L157	3.33'	N30° 14' 51"W

NOTES:

Prepared for: Heritage Crossings Partners, L.P.
P.O. Box 449
Mars, PA 16046

- 1. All porches, patios, decks and unit sidewalks are part of the dwelling unit and must be built.
- 2. All unit driveways are considered limited common elements and must be built.
- 3. See declaration which is recorded separately for architectural drawings related to building types, building elevations and unit dimensions.
- 4. Refer to the recorded plan referenced below of additional information regarding existing easements, rights of way, setbacks and restrictions of record.

Plan Reference: Heritage Crossings Plan of Lots
PBV 388, Pages 24-25

Owner/Developer
Heritage Crossings Partners, L.P.
Box 449
Mars, PA 16046

DRAWING NUMBER: 1055-2122480
DRAWING SCALE: 1"=20'
DATE: March 2, 2021
DRAWN BY: JSS
REVISIONS:

Heritage Crossings
Condominium Plan 1

Buffalo Township, Butler County
Pennsylvania

Sperdute Land Surveying
A Division of Sheffler & Company

108 Deer Lane 1712 Mount Nebo Road
Harmony, PA 16037 Sewickley, PA 15143

Office Phone: 724-452-4362
Email: Info@SperduteSurveying.com

OWNERS' ADICTION
 KNOW ALL MEN BY THESE PRESENTS THAT WE, J. KENNETH BRANDON AND JOANNE C. BRANDON, TRUSTEES OF THE KENNETH BRANDON TRUST, AND BRIAN PAUL AND KARI ANN SEESE, OF THE TOWNSHIP OF BUTLER, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS PLAN AS OUR PLAN OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF BUTLER, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND DO HEREBY DEDICATE FOREVER FOR PUBLIC USE FOR HIGHWAY AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANES, WAYS, RIGHTS-OF-WAY, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, AND WE RELEASE, REMISE AND DISCHARGE THE TOWNSHIP OF BUTLER, ITS SUCCESSORS OR ASSIGNS, OF AND FROM ALL LIABILITY, COURSES OF ACTION, CLAIMS OR DAMAGES ARISING FROM OR PERTAINING TO IN ANY MANNER SAID ROADS AND RIGHTS-OF-WAY.

WE FURTHER AGREE THAT SAID PLAN IS APPROVED BY THE TOWNSHIP OF BUTLER FOR "PLANNING PURPOSES ONLY" AND THAT SAID TOWNSHIP SHALL NOT ISSUE ANY "BUILDING PERMITS" FOR LOTS CONTAINED HEREIN, NOR SHALL ANY LOTS BE DEEDED UNTIL EITHER ALL OF SAID ROADS AND IMPROVEMENTS IN ACCORDANCE WITH BUTLER TOWNSHIP ORDINANCE, AND ALL OTHER APPLICABLE ORDINANCES HAVE BEEN COMPLETED AND ACCEPTED BY SAID TOWNSHIP OR UNTIL THE TOWNSHIP HAS APPROVED A BOND WITH SUFFICIENT SURETY TO GUARANTEE CONSTRUCTION OF THE SAME.

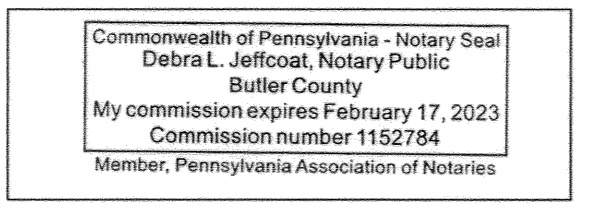
IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 17 DAY OF MARCH, 2021.

J. Kenneth Brandon TRUSTEE, KENNETH BRANDON TRUST
Joanne C. Brandon TRUSTEE, KENNETH BRANDON TRUST
Brian Paul Seese TRUSTEE, BRIAN PAUL AND KARI ANN SEESE
Kari Ann Seese TRUSTEE, BRIAN PAUL AND KARI ANN SEESE

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, J. KENNETH BRANDON AND JOANNE C. BRANDON, TRUSTEES OF THE KENNETH BRANDON TRUST, AND BRIAN PAUL AND KARI ANN SEESE, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 17 DAY OF MARCH, 2021.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023.



CERTIFICATION OF TITLE
 WE, J. KENNETH BRANDON AND JOANNE C. BRANDON, TRUSTEES OF THE KENNETH BRANDON TRUST, OWNERS OF PROPERTY IN THE BRANDON / SEESE PLAN, DO HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE BRANDON / SEESE PLAN IS IN THE NAME OF J. KENNETH BRANDON AND JOANNE C. BRANDON, TRUSTEES OF THE KENNETH BRANDON TRUST AND IS RECORDED IN INSTRUMENT NUMBER 201807145014191, BUTLER COUNTY RECORDER OF DEEDS OFFICE.

WITNESSES: *Debra L. Jeffcoat* (NAME OF MORTGAGEE), MORTGAGEE OF THE PROPERTY CONTAINED IN THE BRANDON / SEESE PLAN CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

WITNESS: *Debra L. Jeffcoat* (NAME OF MORTGAGEE), MORTGAGEE OF THE PROPERTY CONTAINED IN THE BRANDON / SEESE PLAN CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

CERTIFICATION OF TITLE
 WE, BRIAN PAUL AND KARI ANN SEESE, OWNER OF PROPERTY IN THE BRANDON / SEESE PLAN, DO HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE BRANDON / SEESE PLAN IS IN THE NAME OF BRIAN PAUL AND KARI ANN SEESE AND IS RECORDED IN INSTRUMENT NUMBER 200309100101876, BUTLER COUNTY RECORDER OF DEEDS OFFICE.

WITNESSES: *Brian Paul Seese* (NAME OF MORTGAGEE), MORTGAGEE OF THE PROPERTY CONTAINED IN THE BRANDON / SEESE PLAN CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

WITNESS: *Brian Paul Seese* (NAME OF MORTGAGEE), MORTGAGEE OF THE PROPERTY CONTAINED IN THE BRANDON / SEESE PLAN CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THE PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, INTERESTS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

DATE: 22 Jan 2021
 STANLEY D. GRAFF, REG. NO. SU-001918

BUTLER TOWNSHIP - MUNICIPAL DECLARATIONS
 THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF BUTLER, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF BUTLER ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE, ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

SECRETARY: *Theresa Duale* PRESIDENT, BOARD OF COMMISSIONERS
 APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF BUTLER, THIS 14th DAY OF January, 2021.

SECRETARY: *Theresa Duale* PRESIDENT, BOARD OF COMMISSIONERS
 APPROVED BY THE BUTLER TOWNSHIP PLANNING COMMISSION THIS 15th DAY OF December, 2020.

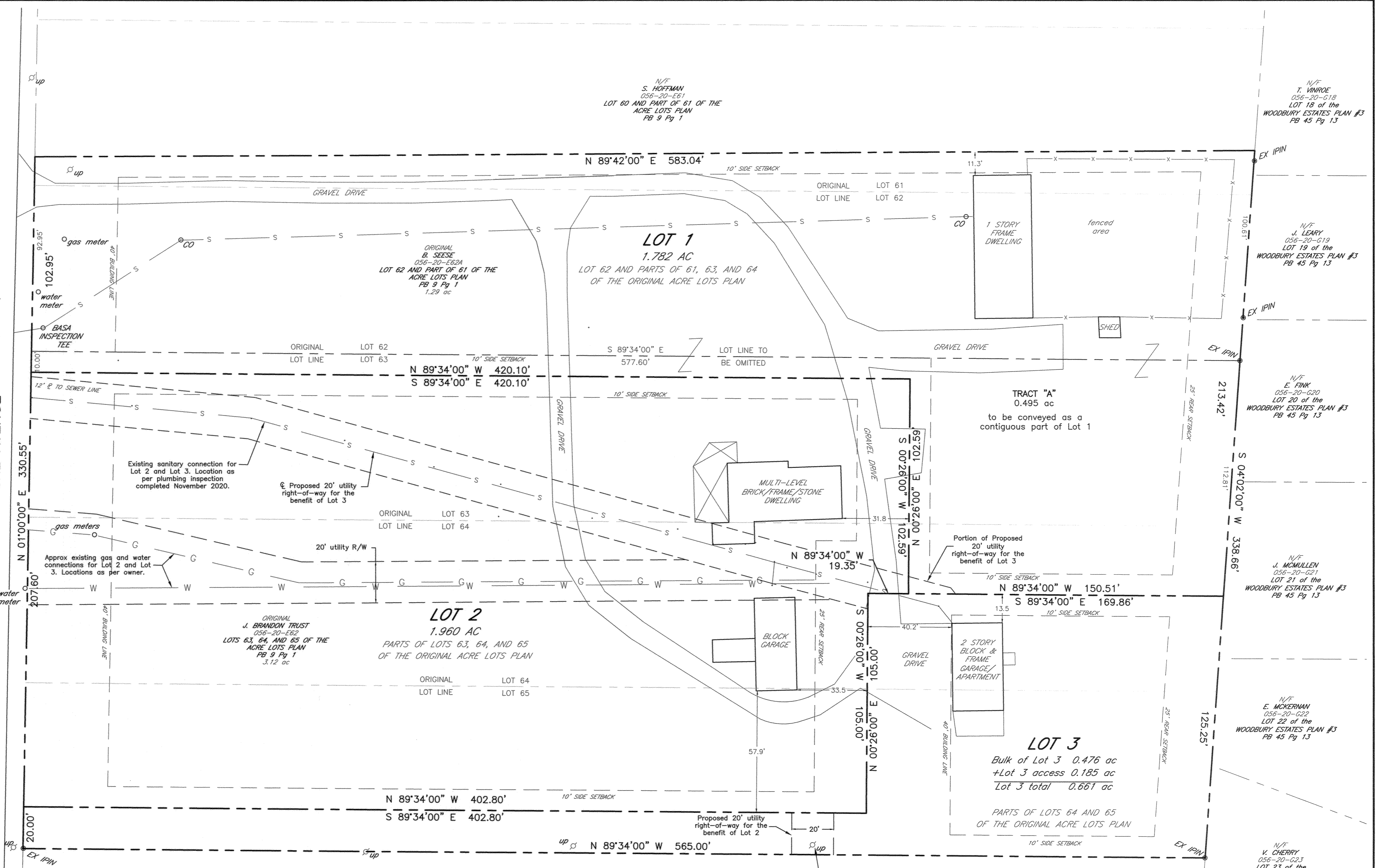
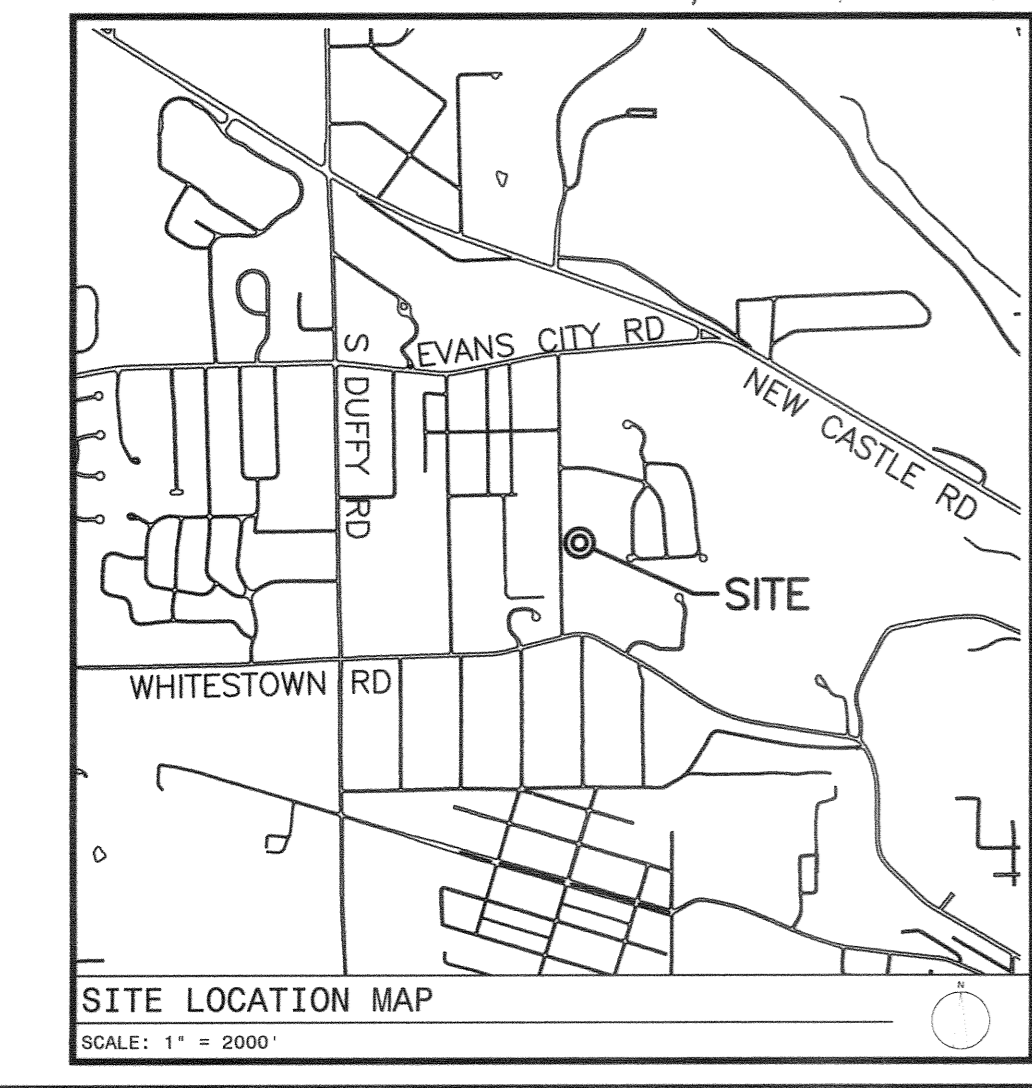
SECRETARY: *Ernest M. Osterling* CHAIRPERSON, PLANNING COMMISSION
 BUTLER COUNTY REVIEW AND APPROVALS

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 18th DAY OF Nov., 2021.
 SECRETARY: *R. H. ZRM* CHAIRPERSON, BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 392 PAGE 42
 GIVEN UNDER MY HAND AND SEAL THIS 23rd DAY OF March, 2021.

RECORDED BY: *Michele M. Mustello* MICHELE M. MUSTELLO, RECORDER OF DEEDS, My Commission Expires First Monday in January 2024.

PROPERTY AREAS:	
EXISTING TOTALS	
056-20-E62	3.115 AC
+056-20-E62A	1.288 AC
EXISTING TOTAL	4.403 AC
LOT 1	
- ORIGINAL E62A	1.288 AC
- TRACT A	0.494 AC
LOT 1 TOTAL	1.782 AC
LOT 2	
- ORIGINAL E62	3.115 AC
- TRACT A	0.494 AC
- LOT 3	0.661 AC
LOT 2 TOTAL	1.960 AC
LOT 3	
LOT 3	0.661 AC
REVISED TOTALS	
LOT 1	1.782 AC
LOT 2	1.960 AC
+ LOT 3 TOTAL	0.661 AC
EXISTING TOTAL	4.403 AC



GENERAL NOTES:

- OWNERS: KENNETH BRANDON TRUST (056-20-E62) TRUSTEES: J. KENNETH AND JOANNE C. BRANDON 255 & 257 ACRE AVE BUTLER, PA 16001
 BRIAN PAUL AND KARI ANN SEESE (056-20-E62A) 251 ACRE AVE BUTLER, PA 16001
- ZONING: R-2 MULTIFAMILY RESIDENTIAL DISTRICT

MAINTENANCE AGREEMENT NOTE FOR PRIVATE DRIVE
 PERTAINING TO THE COMMON AREA OF COMMON DRIVE AND IN THE ABSENCE OF CONVEYING ANY PROPERTY RIGHTS, ENCUMBRANCES OR RESTRICTIONS:
 WITNESSETH, IN CONSIDERATION OF THE MUTUAL COVENANTS, PROMISES AND BENEFITS HEREINAFTER SET FORTH BY THE PARTIES HERETO, FOR THEMSELVES, THEIR HEIRS, SUCCESSORS AND ASSIGNS AGREE AS FOLLOWS:

- THE PARTIES HERETO HEREBY ACKNOWLEDGE THE EXISTENCE OF A PRIVATE LANE ACCESSING THEIR PROPERTIES AS SHOWN ON HEREON PLOTTED PLAN.
- THE PARTIES HERETO AGREE TO PROVIDE EQUAL CARE, MAINTENANCE AND REPAIRS TO THE ROAD SURFACE OF THE CERTAIN PRIVATE LANE OR DRIVE, THE LAINE OR DRIVE EXTENDS FROM THE PUBLIC HIGHWAY SO AS TO ENABLE THE RESPECTIVE PARTIES TO HAVE A SAFE INGRESS, EGRESS AND REGRESS FOR THE BENEFITS OF LOT 1, LOT 2 AND LOT 3.
- THE PARTIES FURTHER AGREE THAT ANY AND ALL EXPENSES OF MAINTAINING AND REPAIRING SAID PRIVATE LANE TO THE TRACTS OF LAND OF THE RESPECTIVE PARTIES HERETO ARE TO BE PROPORTIONATE TO LENGTH USED OR AGREED TO PREVIOUSLY AMONG THE PARTIES HERETO AND ALL THE PARTIES HERETOSHALL BE IN AGREEMENT WITH RESPECT TO THE TIME FOR THE NEEDED MAINTENANCE AND REPAIRS AND AS TO THE METHOD AND COST OF SAID MAINTENANCE AND REPAIRS.
- THIS AGREEMENT AND EACH AND EVERY PART AND/OR PORTION OF THE SAME SHALL INSURE TO THE BENEFIT OF AND BE BINDING UPON THE RESPECTIVE PARTIES HERETO ARE TO BE PROPORTIONATE TO LENGTH USED OR AGREED TO PREVIOUSLY AMONG THE PARTIES HERETO AND ALL THE PARTIES HERETOSHALL BE IN AGREEMENT WITH RESPECT TO THE TIME FOR THE NEEDED MAINTENANCE AND REPAIRS AND AS TO THE METHOD AND COST OF SAID MAINTENANCE AND REPAIRS.
- THE PARTIES FURTHER AGREE THAT THEY WILL SEPARATELY MAINTAIN THEIR OWN PRIVATE DRIVEWAYS ON THEIR PROPERTIES.
- THE TOWNSHIP HEREBY ACCEPTS NO RESPONSIBILITY FOR THE PRIVATE LANE SET FORTH WITHIN THIS PLAN OF LOTS.
- FUTURE REQUESTS BY THE LOT OWNERS TO HAVE THE PRIVATE LANE ACCEPTED AND ADOPTED BY THE TOWNSHIP AS A PUBLIC STREET SHALL BE SUBJECT TO THE OWNERS ASSUMING THE TOTAL COST OF IMPROVING THE PRIVATE LANE TO THE PUBLIC STREET CURRENT TOWNSHIP CONSTRUCTION STANDARDS FOR A PUBLIC STREET.
- DEEDS CONVEYING LOT 1, LOT 2, AND LOT 3 SHALL CONTAIN A REFERENCE TO AN EXECUTED AND RECORDED AGREEMENT OBLIGATING THE PROPERTY OWNERS, THEIR HEIRS, SUCCESSORS AND ASSIGNS TO JOINTLY MAINTAIN THE SAID PRIVATE LANE AND/OR DRIVE.

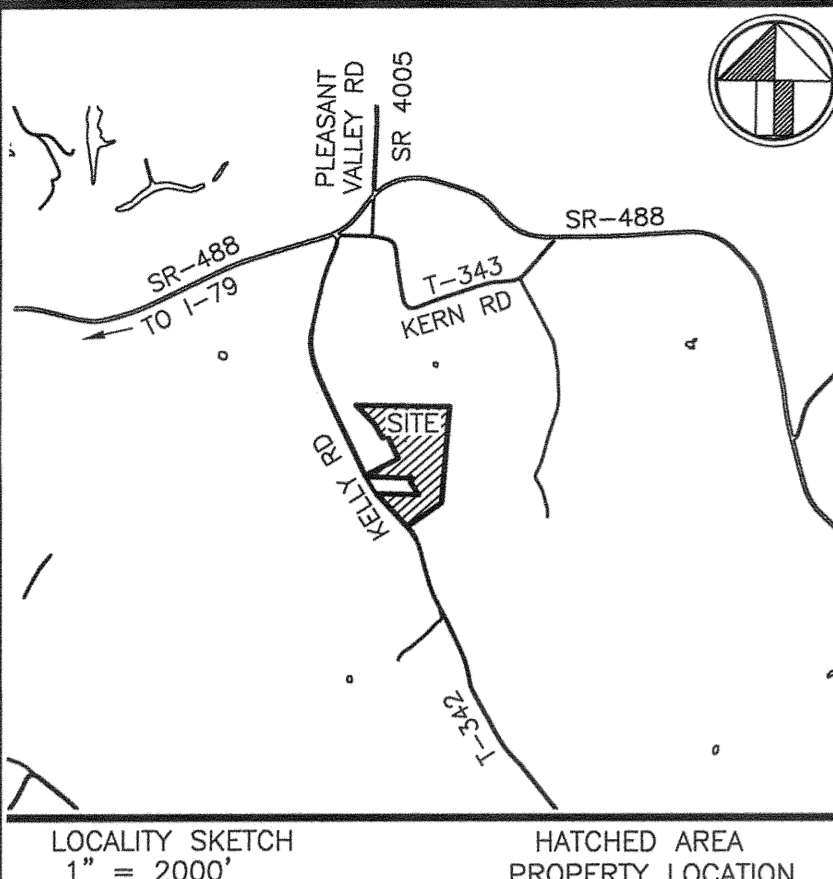
INSTRUMENT: 202103230008153
 Page 1 of 545.00
 Michele Mustello
 Butler County Recorder PA

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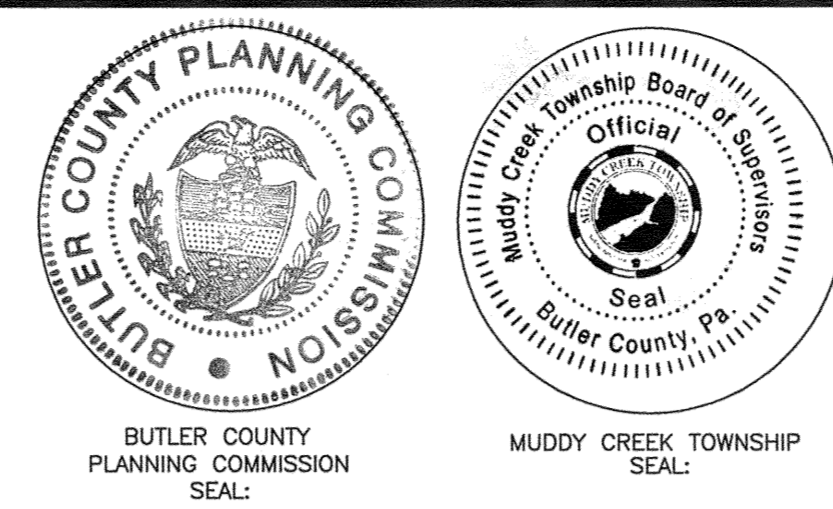
BUTLER TOWNSHIP BOARD OF COMMISSIONERS
 BUTLER TOWNSHIP PLANNING COMMISSION
 BUTLER COUNTY PLANNING COMMISSION
 REGISTERED SURVEYOR
 BUTLER COUNTY RECORDER OF DEEDS

REV.	DESCRIPTION	BY	DATE	REFERENCE DRAWINGS	DRAWN BY: SDG	DESIGNER	PROJECT	DWG. No.	RECORDED	20			
A	REVISIONS PER TOWNSHIP ENGINEER REVIEW LETTER DATED 11/17/2020	SDG	11/22/20	ACRE LOTS PLAN PB 9/1	DATE: 10/20/20	GRAFF SURVEYING LLC PO BOX 521 SAXONBURG, PA 16056 P: 724-352-3811 F: 724-352-1059 INFO@GRAFFSURVEYING.COM WWW.GRAFFSURVEYING.COM	BRANDON / SEESE PLAN : BEING A SUBDIVISION AND LOT LINE REVISION OF BUTLER COUNTY TAX PARCELS 056-20-E62A AND 056-20-E62	20-193	PLAN BOOK	PAGE			
B	REVISIONS PER TOWNSHIP ENGINEER REVIEW LETTER DATED 10/21/2020	SDG	11/21/21	WOODBURY ESTATES PLAN #3 PB 45/13	CHECKED BY: SDG						BUTLER TOWNSHIP BUTLER COUNTY, PENNSYLVANIA	392	42
C	REVISIONS PER TOWNSHIP ENGINEER REVIEW - REVISE EASEMENT WORDING	SDG	1/11/21	HERMAN PLAN PB 220/37	APPROVED:								

SIGN WITH BLACK FELT TIP PEN ONLY.



INSTR: 201203250008165
Fig 1 of 46-00
Michele Mustello
Butler County Recorder PA
12/23/2021 3:37 PM
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REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 17TH DAY OF FEB 2021
SECRETARY
CHAIRMAN, BUTLER COUNTY PLANNING COMMISSION
REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF MUDDY CREEK THIS 2ND DAY OF March 2021
SECRETARY
CHAIRMAN

KNOW ALL MEN BY THESE PRESENTS, THAT WE, GLEN P. & ROBYN D. HEMPFING, OF THE TOWNSHIP OF MUDDY CREEK, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS PLAN AS OUR PLAN OF LOTS OF OUR PROPERTY SITUATE IN THE TOWNSHIP OF MUDDY CREEK, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCORDING TO ME, DO HEREBY IRREVOCABLY DEDICATE ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC, UPON ANY FUTURE ACCEPTANCE OF SAID PUBLIC STREETS OR PROPERTY BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF MUDDY CREEK, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF MUDDY CREEK, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT THIS TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON GLEN P. & ROBYN D. HEMPFING, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE HERETO SET OUR HAND AND SEAL, THIS 2ND DAY OF March 2021
NOTARY PUBLIC
GLEN P. HEMPFING
ROBYN D. HEMPFING

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MUDDY CREEK HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF MUDDY CREEK ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MUDDY CREEK THIS 4TH DAY OF March 2021
SECRETARY
PRESIDENT

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE SAID COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED GLEN P. & ROBYN D. HEMPFING, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE THEIR ACT AND DEED AND DESIRES THE SAME TO BE RECORDED AS SUCH.

SWORN TO SUBSCRIBED BEFORE ME THIS DAY
WITNESS MY HAND AND NOTARIAL SEAL THIS 2ND DAY OF March 2021
MY COMMISSION EXPIRES THE 3RD DAY OF February 2024
NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Kathleen B. Dowd, Notary Public
Allegheny County
My commission expires February 3, 2024
Commission number 1042140
Member, Pennsylvania Association of Notaries

WE, GLEN P. & ROBYN D. HEMPFING, OWNERS OF THE GLEN P. HEMPFING LOT LINE REVISION PLAN, DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF GLEN P. HEMPFING, AS RECORDED IN INSTRUMENT NO. 202003700008046 AND GLEN P. HEMPFING & ROBYN D. HEMPFING AS RECORDED IN INSTRUMENT NO. 201609260019797, RECORDER OF DEEDS OFFICE.
NOTARY PUBLIC
GLEN P. HEMPFING
ROBYN D. HEMPFING

LIVE Huntington MORTGAGEE OF THE PROPERTY CONTAINED IN THE GLEN P. HEMPFING LOT LINE REVISION PLAN CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.
WITNESS
Kathy Skam
Kathy Skam Mortgage Loan Officer
(PRINT NAME AND TITLE WITH SIGNATURE)

NOTES:

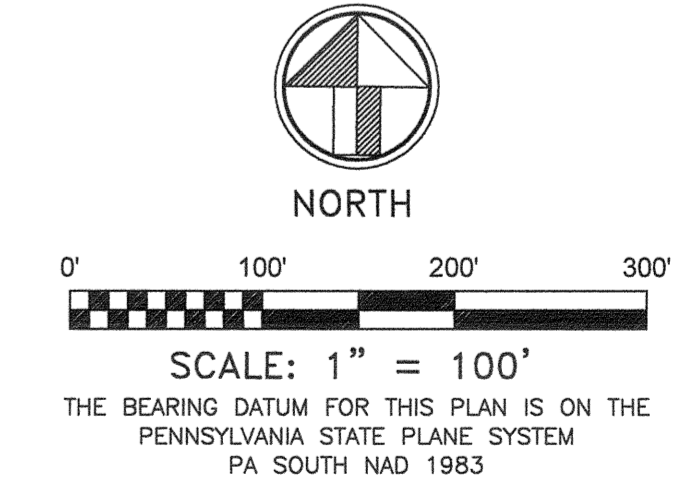
- (1) PARCEL A IS TO BE CONVEYED TO AND IS TO BECOME AN INTEGRAL PART OF TAX PARCEL NO. 240-4F94-40, THE ADJOINING LANDS AS PRESENTLY OWNED BY GLEN P. HEMPFING AS RECORDED IN INSTRUMENT NO. #200203700008046. PARCEL A IS TO BECOME AN INTEGRAL PART OF TAX PARCEL NO. 240-4F94-40 AND BECOME ONE LOT KNOWN AS LOT 2, CONSISTING OF 11.30 ACRES. SAID PARCEL A IS NOT TO BE CONSIDERED AS A SEPARATE BUILDABLE LOT. THE FORMER LOT LINE IS TO BE DELETED UPON THE RECORDING OF THIS PLAN, THE RECORDING OF A DEED OF CONVEYANCE FOR PARCEL A AND A DEED CONSOLIDATING THE PARCELS INTO ONE LOT.
- (2) ALL LOCATIONS OF SUBSURFACE UTILITIES AND/OR OTHER UTILITIES MAY OR MAY NOT BE DETERMINED BY THIS SURVEY.
ANY SUBSURFACE UTILITIES SHOWN ARE SHOWN IN THEIR APPROXIMATE LOCATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT PA ONE CALL PRIOR TO ANY CONSTRUCTION AND/OR EXCAVATION TO VERIFY THE LOCATIONS, SIZE AND DEPTH. CALL 1-800-242-1776.
- (3) THIS SURVEY AND PLAN IS SUBJECT TO ALL EASEMENTS, COVENANTS, RESTRICTIONS, LEASES AND AGREEMENTS OF PRIOR RECORD.

COMMONWEALTH OF PENNSYLVANIA SS)
COUNTY OF BUTLER)
RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC., IN SAID COUNTY IN PLAN BOOK VOLUME 842, PAGE 43

GIVEN UNDER MY HAND AND SEAL THIS 2ND DAY OF March 2021

RECORDER
Michele M. Mustello
SEAL: RECORDER OF DEEDS BUTLER COUNTY PA

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



GLEN P. HEMPFING LOT LINE REVISION PLAN

SITUATE: MUDDY CREEK TOWNSHIP, BUTLER COUNTY, PA.
DATE: FEBRUARY 3, 2021 SCALE: 1" = 100'

SURVEY TECH & ASSOCIATES, LLC

ENGINEERING LAND SURVEYS
308 SENECA LANE - EVANS CITY, PA. 16033
PHONE (724) 432-3007

I, TAMARA A. RANALLI, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS AS SHOWN ON THE PLAN HAVE BEEN SET OR FOUND, AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME OR BY THE OWNERS OR SURVEYORS.
REVISIONS: FEB 18, 2021 TWP ENGINEER COMMENTS-ADD SEPTIC SYSTEM DATA MARCH 7, 2021 ADD PINS SET
DRAWN BY: T.A.R. CHECKED BY: T.A.R.
DWG. NO.: 5575-2020-SUB SHEET 1 OF 1



15.48 ACRES = TOTAL ACREAGE
(NO CURRENT EXISTING MUDDY CREEK TOWNSHIP ZONING ORDINANCE)
PROPERTY ADDRESS: 125 KELLY ROAD PORTERSVILLE, PA 16051
PROPERTY ADDRESS: 169 KELLY ROAD PORTERSVILLE, PA 16051
OWNERS: GLEN P. & ROBYN D. HEMPFING 169 KELLY ROAD PORTERSVILLE, PA. 16051
OWNER: GLEN P. HEMPFING 169 KELLY ROAD PORTERSVILLE, PA. 16051
DEED REFERENCE: INSTR #201609260019797 TAX PARCEL NO.: 240-4F94-38A
DEED REFERENCE: INSTR #200203700008046 TAX PARCEL NO.: 240-4F94-40

REQUIRED LOT LAYOUT AREA DATA:
MUDDY CREEK SUBDIVISION AND LAND DEVELOPMENT ORDINANCE

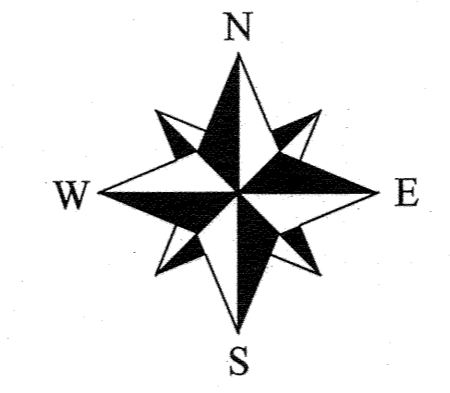
MINIMUM LOT AREA	65,340 SQ. FT. (1.5 ACRE)
MINIMUM LOT WIDTH	100' AT R/W LINE
BUILDING SETBACKS	
FRONT BUILDING SETBACK LINE	75 FEET
SIDE BUILDING SETBACK LINE	10 FEET
REAR BUILDING SETBACK LINE	10 FEET

REVISED LOT CALCULATIONS	
	LOT 1 TAX PARCEL NO. 240-4F94-38A
EXISTING AREA	11.29 ACRES TO C/L (491,792.40 SF)
PARCEL A	-7.11 ACRES TO C/L (309,711.60 SF)
TOTAL REVISED LOT AREAS	4.18 ACRES (182,080.80 SF)

ADDITIONAL PROPERTY LINE DESCRIPTION INFORMATION		
LINE	BEARING	DISTANCE
L1	S 64°28'25" W	55.97'
L2	N 39°00'07" W	53.83'
L3	N 42°21'19" E	43.54'
L4	N 47°38'41" W	71.90'
L5	N 47°38'41" W	57.79'
L6	S 42°21'19" W	49.48'
L7	N 26°30'01" W	14.66'
L8	S 88°12'46" E	48.44'

PLAN BOOK 392
PAGE 43

Instr: 20210324008228
 Page 1 of 548.00
 Michele Mustello
 Butler County Recorder PA



NVR, Inc. - Owner
 KNOW ALL MEN BY THESE PRESENTS THAT NVR, INC., VIRTUE OF A RESOLUTION OF ITS BOARD OF DIRECTORS DOES HEREBY ADOPT THIS AS ITS PLAN OF SUBDIVISION OF ITS PROPERTY SITUATE IN THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, STREETS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE TOWNSHIP OF ADAMS, NVR, INC. HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF ADAMS, ITS SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED.

THIS DEDICATION AND RELEASE SHALL BE BINDING UPON NVR, INC., ITS SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.
 IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE HAND OF ITS PRESIDENT AND THE SAME TO BE ATTESTED BY ITS SECRETARY, THIS 30th DAY OF March, A.D. 2021.

ATTEST:
 Matthew R. ... V.P.
 OFFICER WITNESS
 ... VP
 VICE PRESIDENT, NVR, INC.

THE FOREGOING ADOPTION AND DEDICATION IS MADE BY NVR, INC. WITH FULL UNDERSTANDING AND AGREEMENT THAT THE APPROVAL OF THE TOWNSHIP BOARD OF SUPERVISORS, IF ATTACHED HERETO, WILL BECOME NULL AND VOID UNLESS THIS PLAN IS RECORDED IN THE RECORDER OF DEEDS OFFICE OF BUTLER COUNTY WITHIN NINETY (90) DAYS FROM THE DATE OF SAID APPROVAL.

COMMONWEALTH OF PENNSYLVANIA }
 } SS
 COUNTY OF BUTLER }

ON THIS 30th DAY OF March, A.D. 2021, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED, Peter ... OF NVR, INC. WHO BEING DULY SWORN, DEPOSES AND SAYS THAT HE/SHE WAS PERSONALLY PRESENT AT THE EXECUTION OF THE ADOPTION, RELEASE AND DEDICATION AND SAW THE COMMON AND CORPORATE SEAL OF THE SAID CORPORATION DULY SIGN AND SEALED BY AND AS FOR THE ACT AND DEED OF SAID, NVR, INC. FOR THE USES AND PURPOSES THEREIN MENTIONED, AND THAT THE NAME OF THIS DEPONENT SUBSCRIBED TO THE SAID RELEASE AND DEDICATION AS ... OF NVR, INC. IN ATTESTATION OF THE DUE EXECUTION AND DELIVERY OF SAID RELEASE AND DEDICATION OF THIS DEPONENTS OWN AND PROPER RESPECTIVE HANDWRITING.

Commonwealth of Pennsylvania - Notary Public
 Lisette Sprott, Notary Public
 Allegheny County
 My commission expires December 7, 2022
 Commission number 1195287

SWORN TO AND SUBSCRIBED BEFORE ME THE DAY AND DATE ABOVE WRITTEN.
 WITNESS MY HAND AND NOTARIAL SEAL THIS 30th DAY OF March, A.D. 2021

MY COMMISSION EXPIRES THE 7th DAY OF December, A.D. 2022

Registered Surveyor
 I, JAMES A. SPERDUTE, PLS PROFESSIONAL SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.
 James A. Spurdute
 2/26/21
 JAMES A. SPERDUTE, R.S. # 24457-E

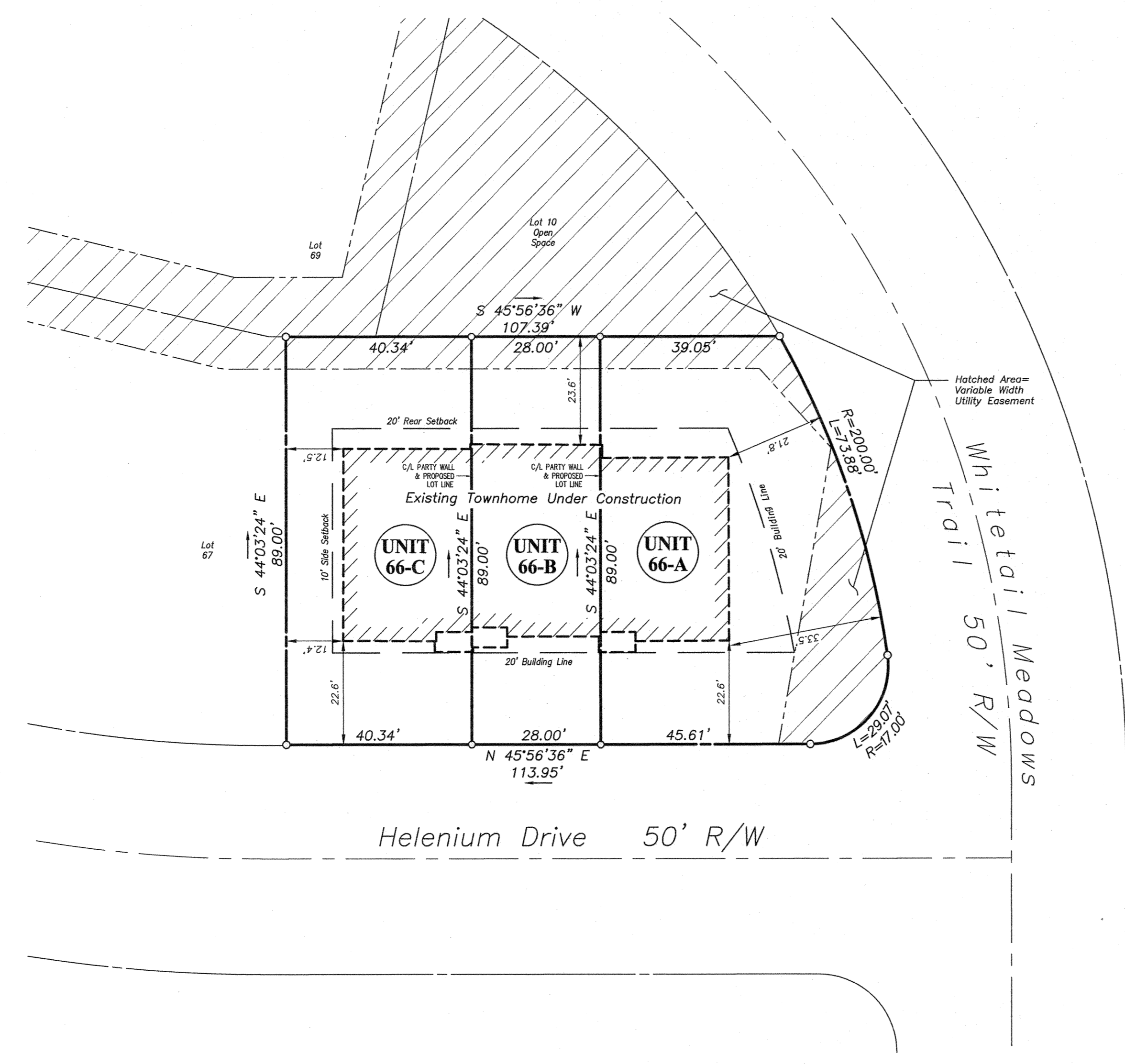
Township Engineer
 I, RONALD OLSEN, A REGISTERED PROFESSIONAL ENGINEER FOR THE TOWNSHIP OF ADAMS, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE ADAMS TOWNSHIP SUBDIVISION AND ZONING ORDINANCES.
 Ronald Olsen 26400 FE
 3/22/21
 PRINTED NAME & REGISTRATION NO. DATE

Adams Township Board of Supervisors
 APPROVED BY THE ADAMS TOWNSHIP BOARD OF SUPERVISORS THIS 20th DAY OF March, 2021.
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF ADAMS HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF ADAMS ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.
 ...
 SECRETARY, ADAMS TOWNSHIP SUPERVISORS
 ...
 ADAMS TOWNSHIP SUPERVISOR
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 ADAMS TOWNSHIP SUPERVISOR
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 ADAMS TOWNSHIP SUPERVISOR
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 ADAMS TOWNSHIP SUPERVISOR

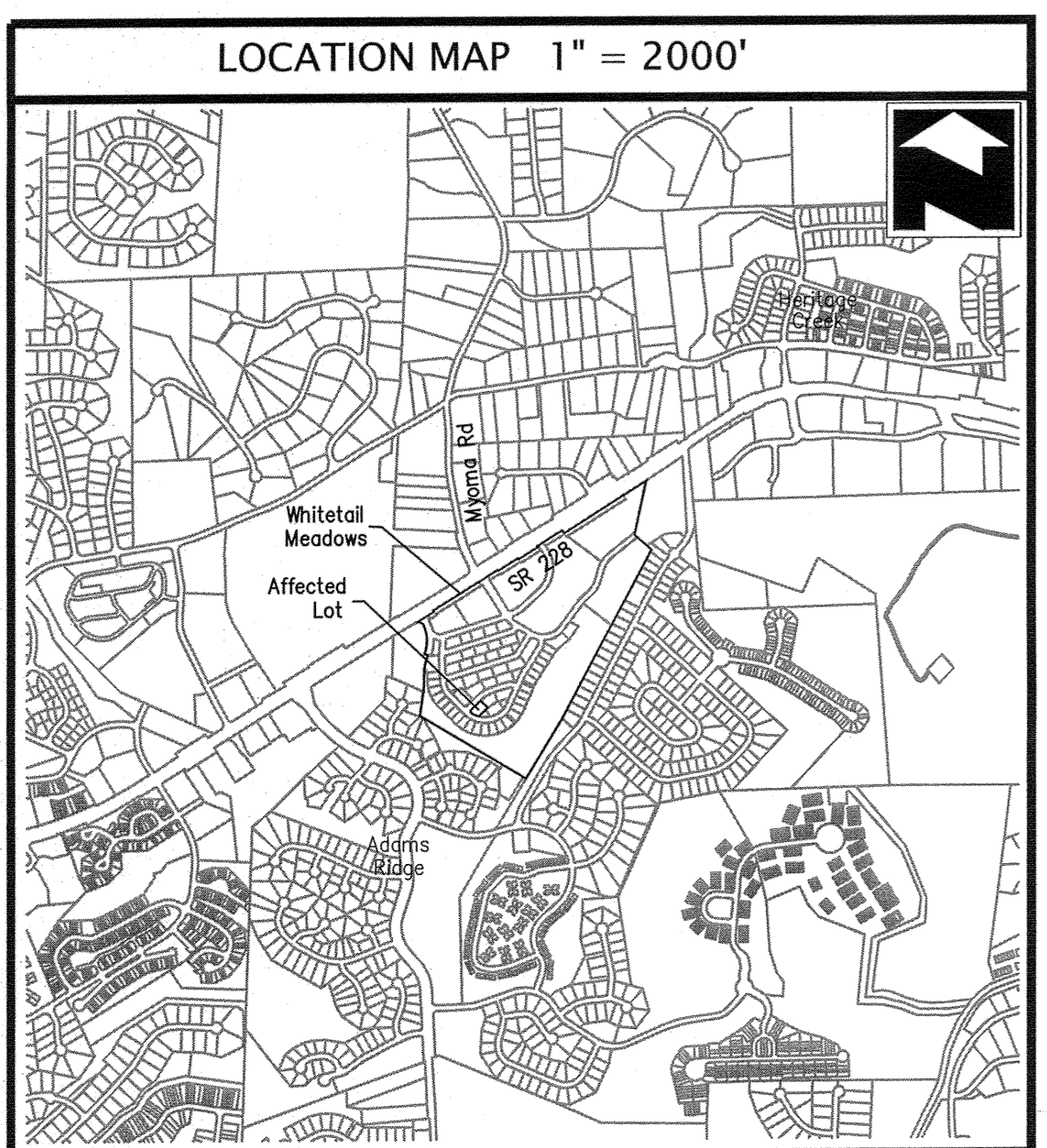
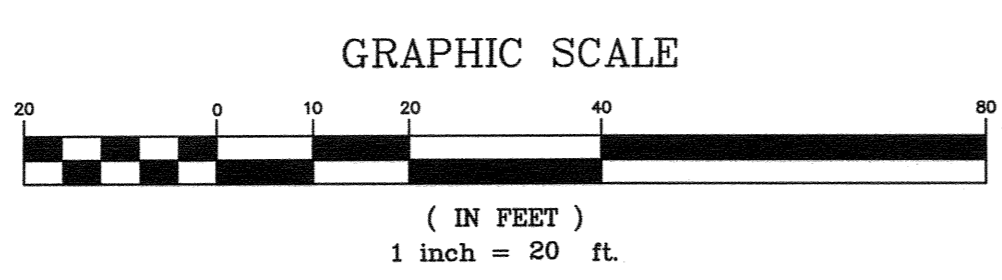
Butler County Planning Commission
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 17th DAY OF FEB, A.D. 2021.
 ...
 SECRETARY, BUTLER COUNTY PLANNING COMMISSION
 ...
 CHAIRPERSON, BUTLER COUNTY PLANNING COMMISSION

Butler County Recorder of Deeds
 COMMONWEALTH OF PENNSYLVANIA }
 } SS
 COUNTY OF BUTLER }
 RECORDED IN THE RECORDER OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN BUTLER COUNTY IN PLAN BOOK VOLUME 392
 PAGE 44
 GIVEN UNDER MY HAND AND SEAL THIS 24th DAY OF March, A.D. 2021
 Michele M. Mustello
 BUTLER COUNTY RECORDER OF DEEDS

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



Access Note:
 The owner or owners of the lots shown on this plan shall allow access over and across their respective lots for repair and maintenance of utilities and stormwater facilities as required.



General Plan Notes

- This plan is a resubdivision of Lot 66 of the Hesperheide Subdivision Plan - Final as recorded in Plan Book 380, Pages 50-53.
- The purpose of this plan is to further subdivide the affected lot to create fee simple units at the centers of the as-built party walls.
- This plan is subject to any and all restrictions, agreements, covenants and conditions of the previously approved plan.
- If applicable, lines labeled as "NR" are not radial to the adjacent right of way line.
- No new units are being proposed that were not originally accounted for.

Proposed Lot Areas

66-A	4,851.0647 SF	0.111 AC
66-B	2,492.000 SF	0.057 AC
66-C	3,590.260 SF	0.082 AC
TOTAL	10,933.3247 SF	0.250 AC

Property References

Property Owner:
 NVR, Inc.
 One Penn Center West, Suite 220
 Pittsburgh, PA 15276

Lot Reference:
 Tax Parcel 010-S25-AE66
 INST# 20210119001515

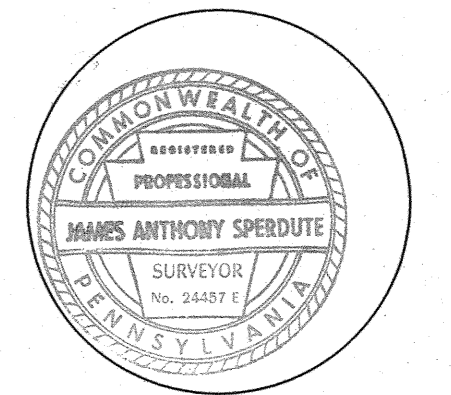
DEVELOPER / PROPERTY OWNER
NVR
 ONE PENN CENTER WEST, SUITE 220
 PITTSBURGH, PA 15276
 BUILT BY:
Ryan Homes

Drawing Number	1001-2122510
Drawing Scale	1"=20'
Date	February 2, 2021
Project Manager	
Revision	

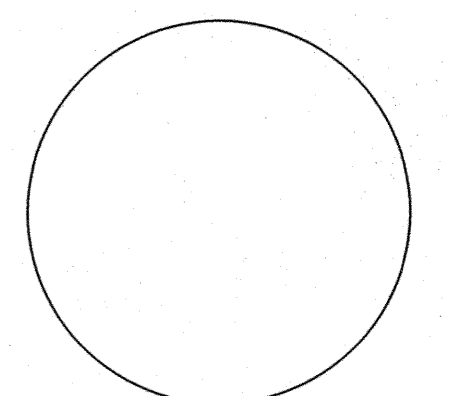
Whittail Meadows Amendment No 2
 Being A Revision to Lot No. 66 of the Hesperheide Subdivision Plan - Final
 As Recorded in Plan Book 380, Pages 50-53
 Adams Township, Butler County, Pennsylvania

Sperdute Land Surveying
 A Division of Sheffer & Company
 108 Deer Lane Harmony, PA 16037
 1712 Mount Nebo Road Sewickley, PA 15143
 Office Phone: 724-452-4362
 Email: Info@SperduteSurveying.com

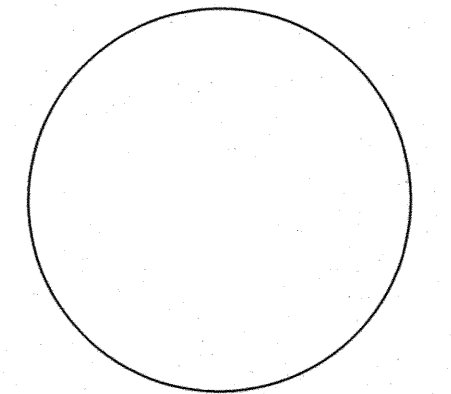
PLAN BOOK	PAGE
392	44



Registered Surveyor



Township Engineer



Adams Township Supervisors

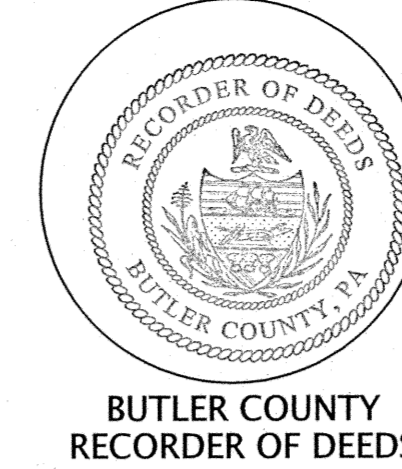


Butler County Planning



Butler County Recorder of Deeds

Instr: 202103240008229
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 Michelle Mustello
 Butler County Recorder PA

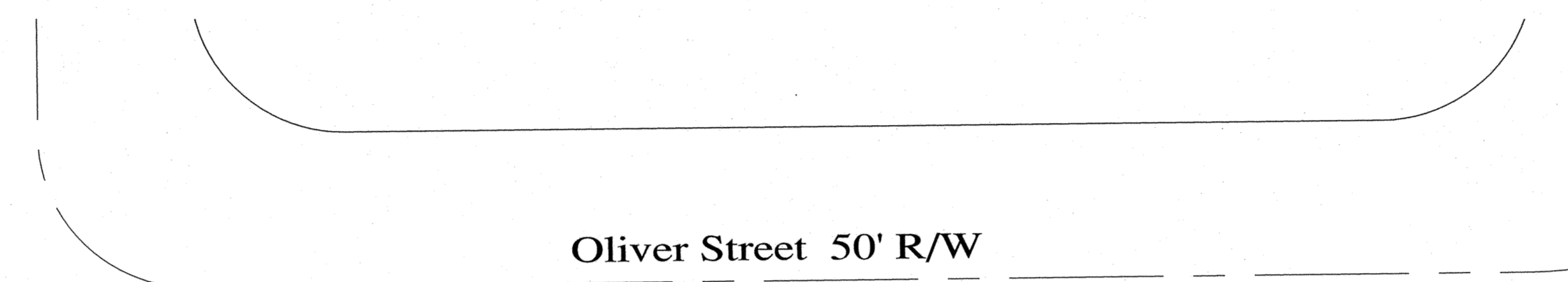
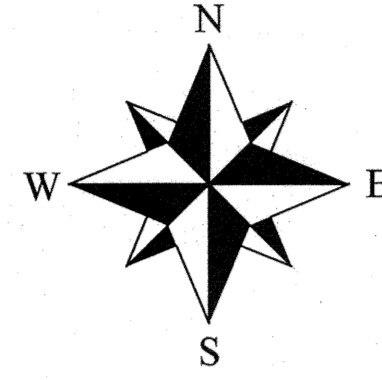


BY RESOLUTION APPROVED ON THE 8 DAY OF March 2021 THE BOARD OF DIRECTORS OF NVR, INCORPORATED IN THE COMMONWEALTH OF PENNSYLVANIA, OWNER OF THE LAND SHOWN ON THE ARDEN WOOD AMENDMENT NO. 8 PLAN ADOPTED THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATED ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE CORPORATION AND UPON ITS SUCCESSORS AND ASSIGNS.

NVR, INC. *[Signature]* V.P.
 SIGNATURE AND TITLE OF OFFICER WITNESSING

[Signature] V.P.
 SIGNATURE AND TITLE OF AUTHORIZED OFFICER

3-9-2021
 DATE



BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF ALLEGHENY, PERSONALLY APPEARED *[Signature]* OF NVR, INC. WHO STATED THAT HE IS AUTHORIZED TO EXECUTE THE ABOVE ADOPTION AND DEDICATION ON BEHALF OF THE CORPORATION AND WAS PRESENT AT THE MEETING AT WHICH THE ACTION OF THE CORPORATION WAS TAKEN TO ADOPT THE PLAN AND DEDICATE PUBLIC PROPERTY CONTAINED THEREIN TO THE PUBLIC.

WITNESS MY HAND AND NOTARIAL SEAL THIS 8 DAY OF March 2021

(SEAL) Commonwealth of Pennsylvania - Notary Seal
 Jennifer Lynn Spurdute, Notary Public
 Butler County
 My commission expires October 14, 2023
 Commission number 1358573
 Member, Pennsylvania Association of Notaries

[Signature]
 NOTARY PUBLIC

[Signature] V.P. NVR HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE ARDEN WOOD AMENDMENT NO. 8 IS IN THE NAME OF NVR, INC. AND IS RECORDED AT INSTRUMENT NO. 20210130001081. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

[Signature]
 SIGNATURE OF WITNESS

[Signature] V.P.
 SIGNATURE AND TITLE OF AUTHORIZED OFFICER

I, JAMES A. SPURDUTE, A REGISTERED PROFESSIONAL SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS A SURVEYED BY ME AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

[Signature]
 JAMES A. SPURDUTE, R.S. # 24437-E

THIS PLAN WAS REVIEWED BY THE TOWNSHIP ENGINEER FOR CONFORMANCE WITH THE LANCASTER TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCES AND OTHER APPLICABLE TOWNSHIP ORDINANCES.

Thomas L. Thomas, 04388-E
 PRINTED NAME & REGISTRATION NO.

[Signature]
 TOWNSHIP ENGINEER SIGNATURE

APPROVED BY THE PLANNING DIRECTOR OF LANCASTER TOWNSHIP THIS 16 DAY OF March 2021 PURSUANT TO CHAPTER 22, SUBDIVISION AND LAND DEVELOPMENT, OF THE CODE OF LANCASTER TOWNSHIP AS AMENDED. THE PLANNING DIRECTOR OF LANCASTER TOWNSHIP GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, LANCASTER TOWNSHIP ASSUMES NO OBLIGATION TO ACCEPT DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

[Signature]
 DANIELLE RICH
 TOWNSHIP PLANNING DIRECTOR
 (SEAL)

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF LANCASTER HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF LANCASTER ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADES, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR INSTALL ANY OTHER SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

APPROVED BY THE LANCASTER TOWNSHIP BOARD OF SUPERVISORS THIS 16 DAY OF March 2021

[Signature] M. S. S. SECRETARY
 SECRETARY

[Signature] O. P. CHAIRPERSON
 CHAIRPERSON

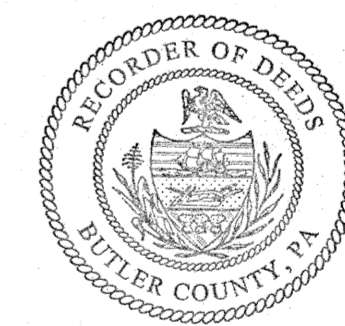
REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THE 17 TH DAY OF MARCH 2021

[Signature] R. H. J. R. M. SECRETARY
 SECRETARY

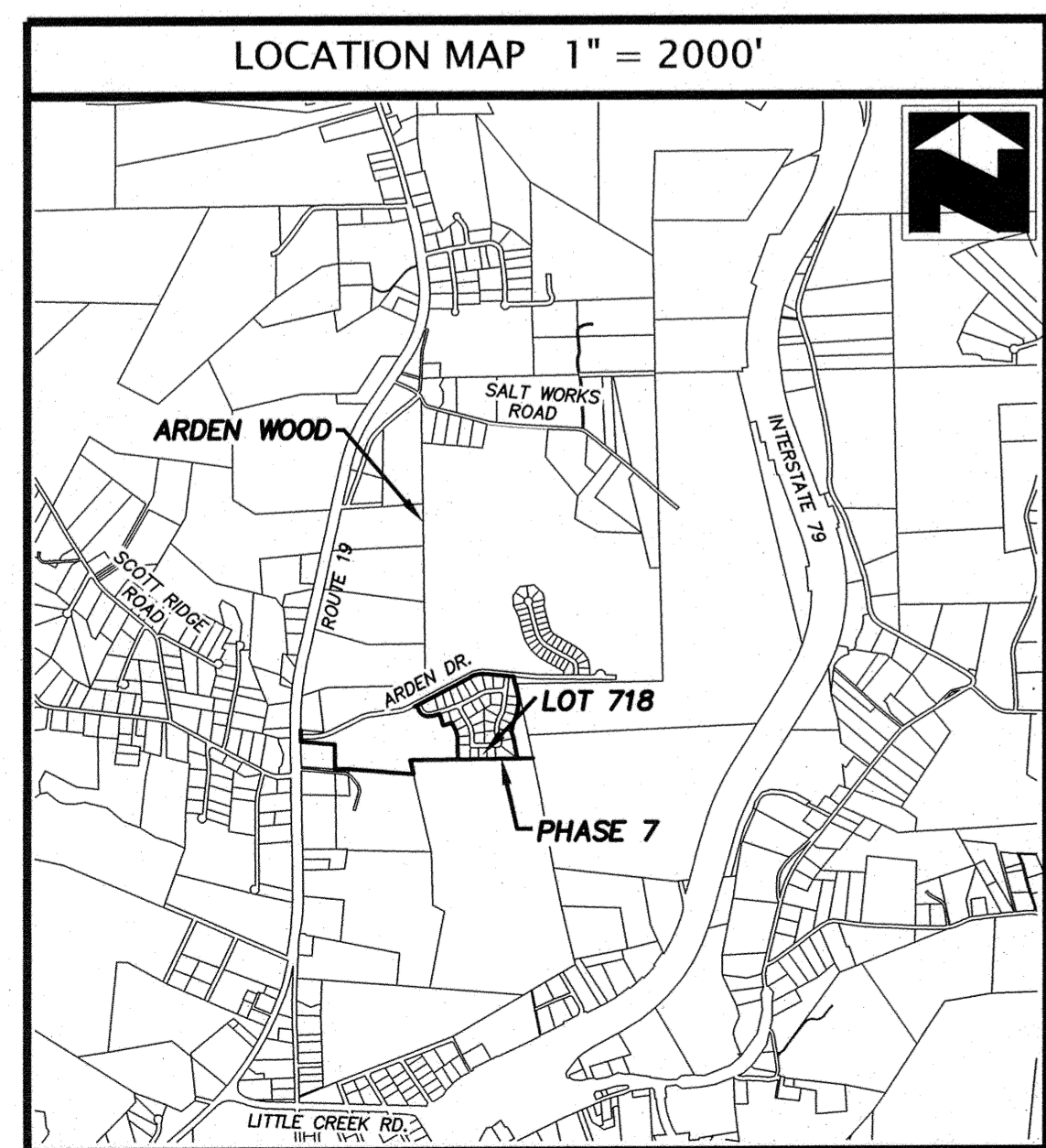
[Signature] J. H. J. R. M. CHAIRPERSON
 CHAIRPERSON

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS IN AND FOR BUTLER COUNTY PENNSYLVANIA IN SUBDIVISION PLAN BOOK 392, PAGE 45 GIVEN UNDER MY HAND AND SEAL THIS 24 TH DAY OF March 2021

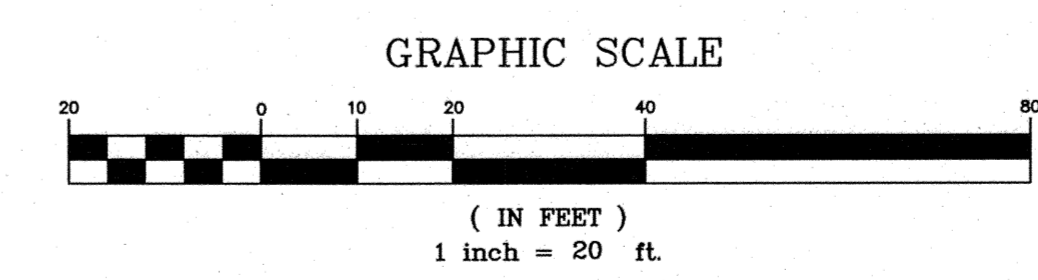
(SEAL)



[Signature]
 MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



n/i Robert Wise
 Tract One
 Paul P. Wise Estate Plan
 PBV 106, Pg 14
 Tax Parcel 200-4700-5
 DBV 1255, Pg 340



GENERAL PLAN NOTES

- THIS PLAN IS A RE-SUBDIVISION OF LOT 718 OF THE ARDEN WOOD RESIDENTIAL PLAN OF LOTS - PHASE 7 AS RECORDED IN PLAN BOOK 382, PAGES 8-9
- THIS PLAN IS SUBJECT TO ANY AND ALL CONDITIONS OF THE PREVIOUSLY APPROVED AND RECORDED PLANS.
- IF APPLICABLE, BEARINGS LABELED AS (NR) ARE NON-RADIAL TO THE INTERSECTING RIGHT OF WAY LINE.
- NO ADDITIONAL BUILDING LOTS/UNITS ARE BEING PROPOSED THAT WERE NOT PREVIOUSLY ACCOUNTED FOR IN THE MASTER PLAN.

AFFECTED ZONING DISTRICT R-2 RESIDENTIAL

- MINIMUM LOT WIDTH 110.00' @ BUILDING LINE
- MINIMUM FRONT SETBACK 25.00 FEET
- MINIMUM REAR SETBACK 25.00 FEET
- MINIMUM SIDE SETBACK 5.00 MN/15.00 TOTAL
- MAXIMUM BUILDING HEIGHT 2.5 STORIES

*ABOVE CRITERIA PERTAINS TO THE ORIGINAL LOT PRIOR TO THIS PLAN.

PROPOSED LOT AREAS

	718A	718B	Total
Sq. Ft.	6,297.750	6,243.250	12,541.000
Acres	0.145	0.143	0.288

PROPERTY REFERENCES

PROPERTY OWNER:
 NVR, INC
 ONE PENN CENTER WEST, SUITE 220
 PITTSBURGH, PA 15276

LOT REFERENCE:
 TAX PARCEL 200-57-8718
 INSTRUMENT NO. 20210130001081

DEVELOPER / PROPERTY OWNER:
NVR
 ONE PENN CENTER WEST, SUITE 220
 PITTSBURGH, PA 15276
 BUILT BY:
Ryan Homes

DRAWING NUMBER: 1010-2122676
 DRAWING SCALE: 1"=20'
 DATE: March 2, 2021
 DRAWN BY:
 REVISIONS:

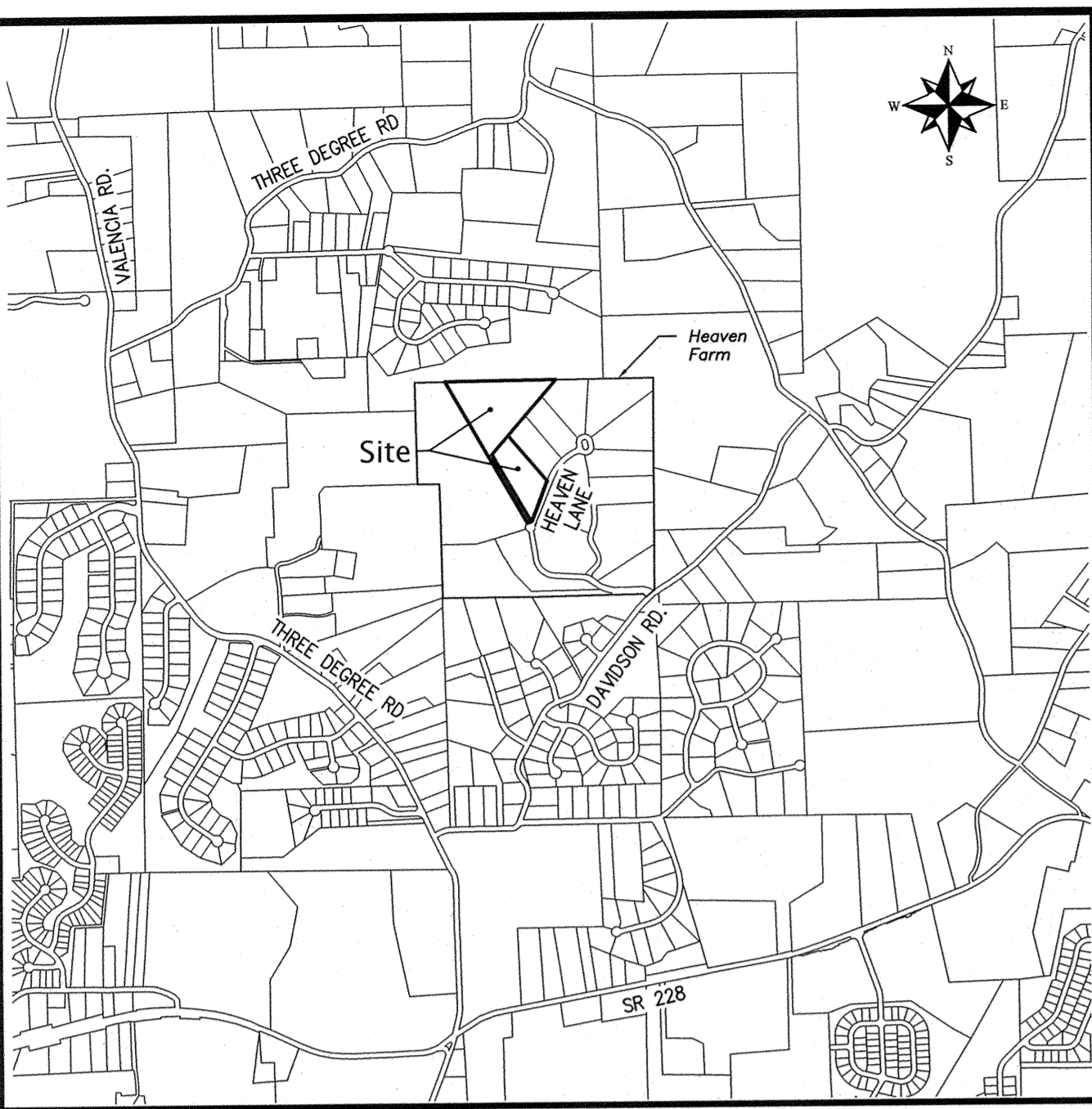
Arden Wood Amendment No. 8

Being a subdivision of Lot 718 of the Arden Woods Residential Plan of Lots Phase 7 As recorded in Plan Book 382, Page 8 Lancaster Township, Butler County, PA

Sperdute Land Surveying
 A Division of Sheffer & Company

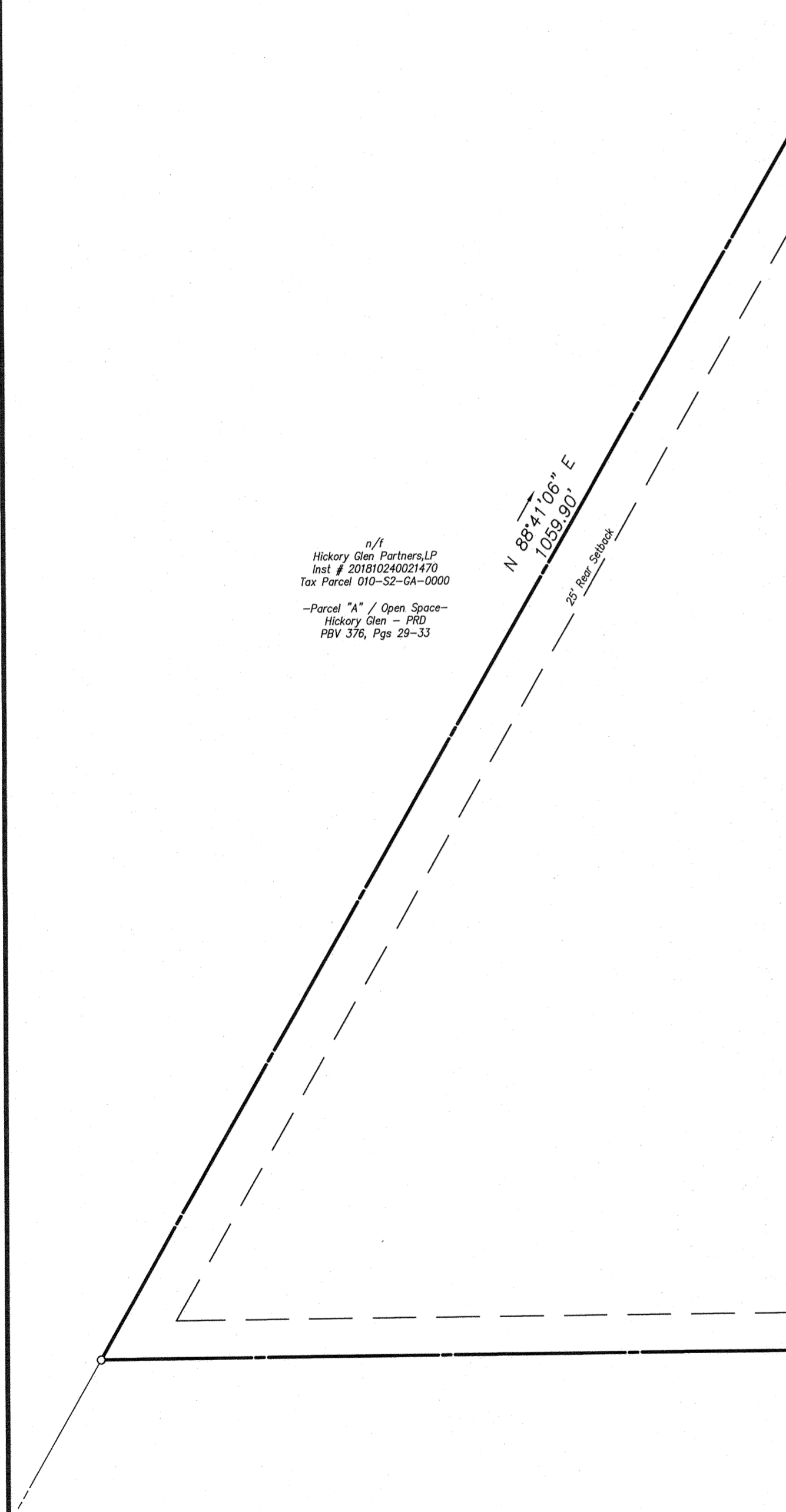
108 Deer Lane Harmony, PA 16037
 1712 Mount Nebo Road Sewickley, PA 15143

Office Phone: 724-452-4362
 Email: info@SperduteSurveying.com



Instr: 20210324008231
 Fig: 1 F: 64580
 Michele Mustello
 Butler County Recorder PA

Site Location Map = 1" = 1500'



Lot 8 - R 2
 435,713.84 Sq.Ft.
 (10.003 Acres)

Lot 409 - R
 174,030.84 Sq.Ft.
 (3.995 Acres)

PLAN BOOK 392
 PAGE 46

Existing & Proposed Lot Areas								
Lot/Parcel	Original Sq.Ft.	Original Ac.	Parcel "A" Sq.Ft.	Parcel "A" Ac.	Parcel "B" Sq.Ft.	Parcel "B" Ac.	Revised Sq.Ft.	Revised Ac.
8-R / Now 8-R2	435,713.84 sf	10.003	-1,140.40	-0.026	+1,140.40	+0.026	435,713.84 sf	10.003
409 / Now 409-R	174,030.84	3.995	+1,140.40	+0.026	-1,140.40	-0.026	174,030.84	3.995
Total Property Affected by this plan : 488,546.67 Sq.Ft. or 12.216 Acres								

General Notes

- Parcel "A" - formerly part of Lot 8-R to be conveyed to and become an integral part of proposed Lot 409-R.
- Parcel "B" - formerly part of Lot 409-R to be conveyed to and become an integral part of proposed Lot 8-R2.
- This plan does not convey title. Upon recording of this plan, the owners must record deeds conveying Parcel "A" and "B". That deed must reference this plan and state that the individual parcels are being combined with their respective adjacent properties.
- No new lots are being proposed by this plan.
- Water: - On lot wells. Sewage: Existing BCRA Pressure Sewer

Requirements for RC Rural Conservation Zoning

Min Lot Area: 43,560 sf (1 Acre)
 Min Lot Width: 150.00 ft @ Building Line
 Front Setback: 50.00 ft
 Rear Setback: 25.00 ft
 Side Setback: 20.00 ft (Two Required)

Owners

Lot 8-R Daniel G. Starta, Jr. & Theresa A. Starta 136 Heaven Lane Mars, PA 16046 Tax Parcel 010-3F57-A2H Inst# 202011170026793	Lot 409 Michael J. Haver & Debra L. Haver 144 Heaven Lane Mars, PA 16046 Tax Parcel 010-3F57-A2H Inst# 202008050015883
---	---

DRAWING NUMBER: 1001-2122509
 DRAWING SCALE: 1"=60'
 DATE: February 2, 2021
 DRAWN BY:
 REVISIONS:
 02.02.2021...per check

**Heaven Farm Plan No. 4
 Revision No. 2**

Being a Lot Line Revision between Lot 8-R & Lot 409 of the Heaven Farm Plan No. 4
 Recorded in Plan Book 337, Pages 42-43
 Adams Township, Butler County, Pennsylvania

Sperdute Land Surveying
 A Division of Sheffler & Company

108 Deer Lane
 Harmony, PA 16037

1712 Mount Nebo Road
 Sewickley, PA 15143

Office Phone: 724-452-4362
 Email: info@sperdutesurveying.com

Michael J. Haver & Debra L. Haver

know all men by these presents that we, Michael J. Haver & Debra L. Haver of the township of Adams, County of Butler, Commonwealth of Pennsylvania for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this as my plan of subdivision of our property situate in the Township of Adams, County of Butler, Commonwealth of Pennsylvania, and for divers advantages according to us, do hereby dedicate forever, for public use for highway, drainage, sewage and utility purposes, all drives, roads, lands, rights of way, easements, ways, and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings and in consideration of the approval of said plan and any future acceptance of said public highways, rights of way and easements by the Township of Adams, we, Michael J. Haver & Debra L. Haver hereby agree to and by these presents do release and forever discharge the Township of Adams, its successors or assigns from any liability for damages arising and to arise from the appropriation of said ground for public highways, and other public uses and the physical grading thereof to any grades that may be established. This dedication and release shall be binding upon Michael J. Haver & Debra L. Haver, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

In witness whereof, we hereunto set our hands and seals this 1 day of March 2021

Attest: *Michael J. Haver* *Debra L. Haver*
 Michael J. Haver Debra L. Haver

The foregoing adoption is made by Michael J. Haver & Debra L. Haver with the full understanding and agreement that the approval of the Township Board of Supervisors of Adams Township, if attached hereto, will become null and void unless this plan is recorded in the recorder of deeds office of butler county within ninety (90) days of said approval.

We also certify that the title to our property as shown hereon is in the name of Michael J. Haver & Debra L. Haver as recorded in the Butler County Recorder of Deeds Office of Instrument No. 202008050015883

Michael J. Haver *Debra L. Haver*
 Michael J. Haver Debra L. Haver

COMMONWEALTH OF PENNSYLVANIA } SS:
 COUNTY OF BUTLER }

Before me, the subscriber, a Notary Public in and for said County and Commonwealth, personally appeared the above named Michael J. Haver & Debra L. Haver who acknowledged the foregoing release and dedication and plan of subdivision to be his/her/their act and deed and desired the same to be recorded as such.

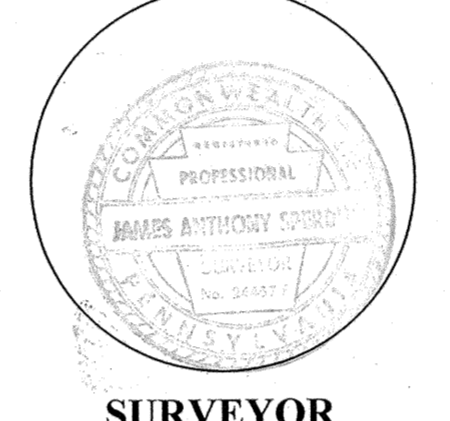
Witness my hand and notarial seal this 1 day of March 2021

My commission expires the 15 day of August 2021

Paula K. Rouda
 Notary Public

COMMONWEALTH OF PENNSYLVANIA } SS:
 COUNTY OF BUTLER }

NOTARIAL SEAL
 Paula K. Rouda, Notary Public
 Adams Twp., Butler County
 My Commission Expires Aug. 15, 2021
 MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES



ADAMS TOWNSHIP ENGINEER

Daniel G. Starta Jr. & Theresa A. Starta

know all men by these presents that we, Daniel G. Starta Jr. & Theresa A. Starta of the township of Adams, County of Butler, Commonwealth of Pennsylvania for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this as my plan of subdivision of our property situate in the Township of Adams, County of Butler, Commonwealth of Pennsylvania, and for divers advantages according to us, do hereby dedicate forever, for public use for highway, drainage, sewage and utility purposes, all drives, roads, lands, rights of way, easements, ways, and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings and in consideration of the approval of said plan and any future acceptance of said public highways, rights of way and easements by the Township of Adams, we, Daniel G. Starta Jr. & Theresa A. Starta hereby agree to and by these presents do release and forever discharge the Township of Adams, its successors or assigns from any liability for damages arising and to arise from the appropriation of said ground for public highways, and other public uses and the physical grading thereof to any grades that may be established. This dedication and release shall be binding upon Daniel G. Starta Jr. & Theresa A. Starta, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

In witness whereof, we hereunto set our hands and seals this ___ day of _____

Attest: *Daniel G. Starta Jr.* *Theresa A. Starta*
 Daniel G. Starta Jr. Theresa A. Starta

The foregoing adoption is made by Daniel G. Starta Jr. & Theresa A. Starta with the full understanding and agreement that the approval of the Township Board of Supervisors of Adams Township, if attached hereto, will become null and void unless this plan is recorded in the recorder of deeds office of butler county within ninety (90) days of said approval.

We also certify that the title to our property as shown hereon is in the name of Daniel G. Starta Jr. & Theresa A. Starta as recorded in the Butler County Recorder of Deeds Office of Instrument No. 202011170026793

Daniel G. Starta Jr. *Theresa A. Starta*
 Daniel G. Starta Jr. Theresa A. Starta

COMMONWEALTH OF PENNSYLVANIA } SS:
 COUNTY OF BUTLER }

Before me, the subscriber, a Notary Public in and for said County and Commonwealth, personally appeared the above named Daniel G. Starta Jr. & Theresa A. Starta who acknowledged the foregoing release and dedication and plan of subdivision to be his/her/their act and deed and desired the same to be recorded as such.

Witness my hand and notarial seal this 2 day of March 2021

My commission expires the 15 day of August 2021

Paula K. Rouda
 Notary Public

COMMONWEALTH OF PENNSYLVANIA } SS:
 COUNTY OF BUTLER }

NOTARIAL SEAL
 Paula K. Rouda, Notary Public
 Adams Twp., Butler County
 My Commission Expires Aug. 15, 2021
 MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES

Registered Surveyor

I, James A. Spurdute, R.S., a Professional Land Surveyor of the Commonwealth of Pennsylvania do hereby certify that the plan shown hereon is based upon an actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers as shown on the plan have been or will be set, and to the best of my knowledge, that this plan correctly represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents

James A. Spurdute 2/26/21 Date
 James A. Spurdute, RS # 24457-E

Township Engineer

Ronald Olan
 Registered Professional Engineer for the Township of Adams, do hereby certify, to the best of my knowledge and belief, that the Subdivision Plan or Land Development meets all of the engineering requirements set forth in the Adams Township Zoning Ordinance, Subdivision and Land Development Ordinance, and the Public and Private Improvement Code except as departures have authorized by the approval authority.

Ronald Olan 03-03-21 Date
 Adams Township Engineer
 26400 E
 Registration Number

Butler County Planning Commission

Reviewed by the Butler County Planning Commission this 12th day of Feb. 2021

R. H. Ziem *J. Hagem*
 Director Chairperson

COMMONWEALTH OF PENNSYLVANIA } SS:
 COUNTY OF BUTLER }

Recorded in the Office for the recording of deeds, plats, etc. in the County of Butler and Commonwealth of Pennsylvania in Plan Book Volume _____ Page(s) _____

Given under my hand and seal this ___ day of _____ 20__

Adams Township Planning Commission

Reviewed by the Planning Commission of the Township of Adams, County of Butler and Commonwealth of Pennsylvania on this 5th day of March 2021

ATTEST:
Michelle Mustello *Debra L. Haver*
 Secretary Chairperson

Adams Township Board of Supervisors

The Township Board of Supervisors of the Township of Adams, County of Butler and Commonwealth of Pennsylvania, hereby gives public notice that it is approving this plan of subdivision for recording purposes only. The approval of this subdivision plan by the Township of Adams does not constitute an acceptance of the roads, streets, alleys, stormwater and sanitary drainage facilities, easements or rights-of-way, water mains or any other services or improvements shown on this plan nor as an assumption of maintenance responsibility, nor will the same be accepted or maintained until constructed in accordance with all Township specifications and requirements and officially accepted by action of the Township Board of Supervisors.

This plan of subdivision is approved by action of the Township Board of Supervisors of the Township of Adams, Butler County, Pennsylvania on this 22nd day of March 2021 A.D.

ATTEST:
Bob *Paula K. Rouda*
 Secretary Chairperson
Richard Vogel *Julie E. Jones*
 Supervisor Supervisor

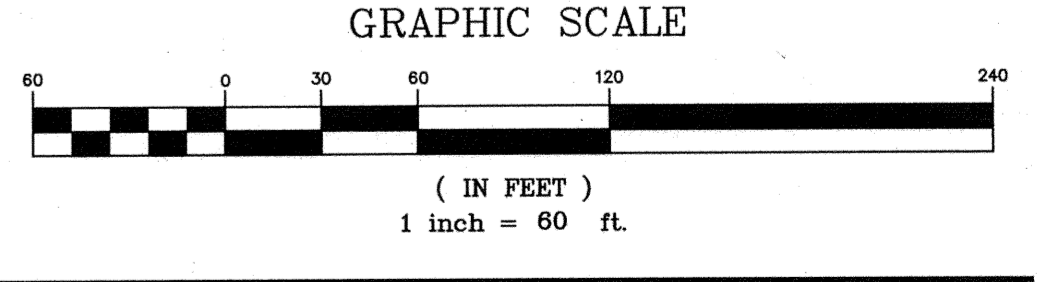
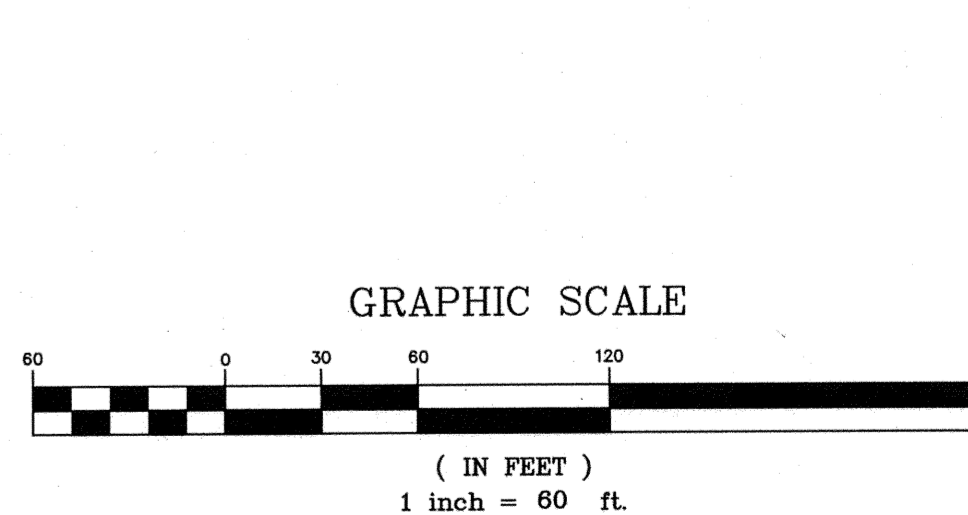
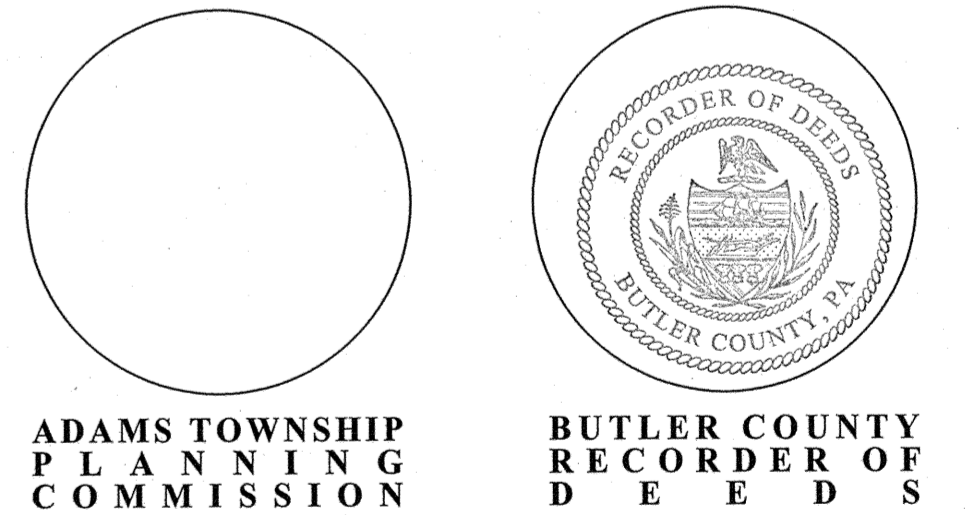
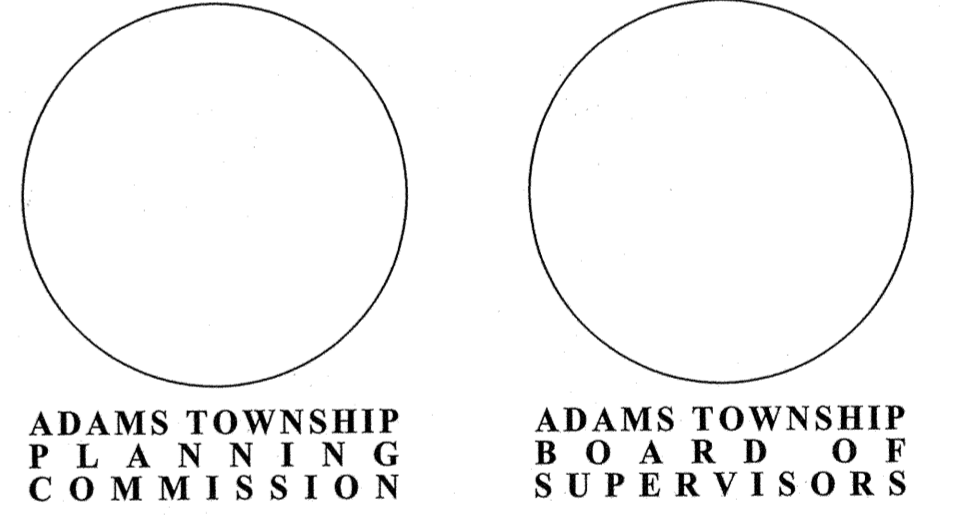
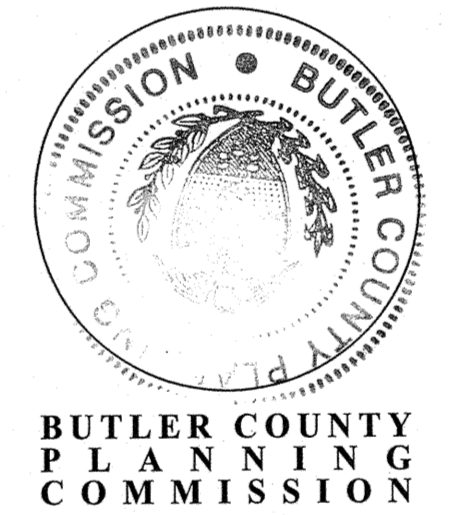
Butler County Recorder of Deeds

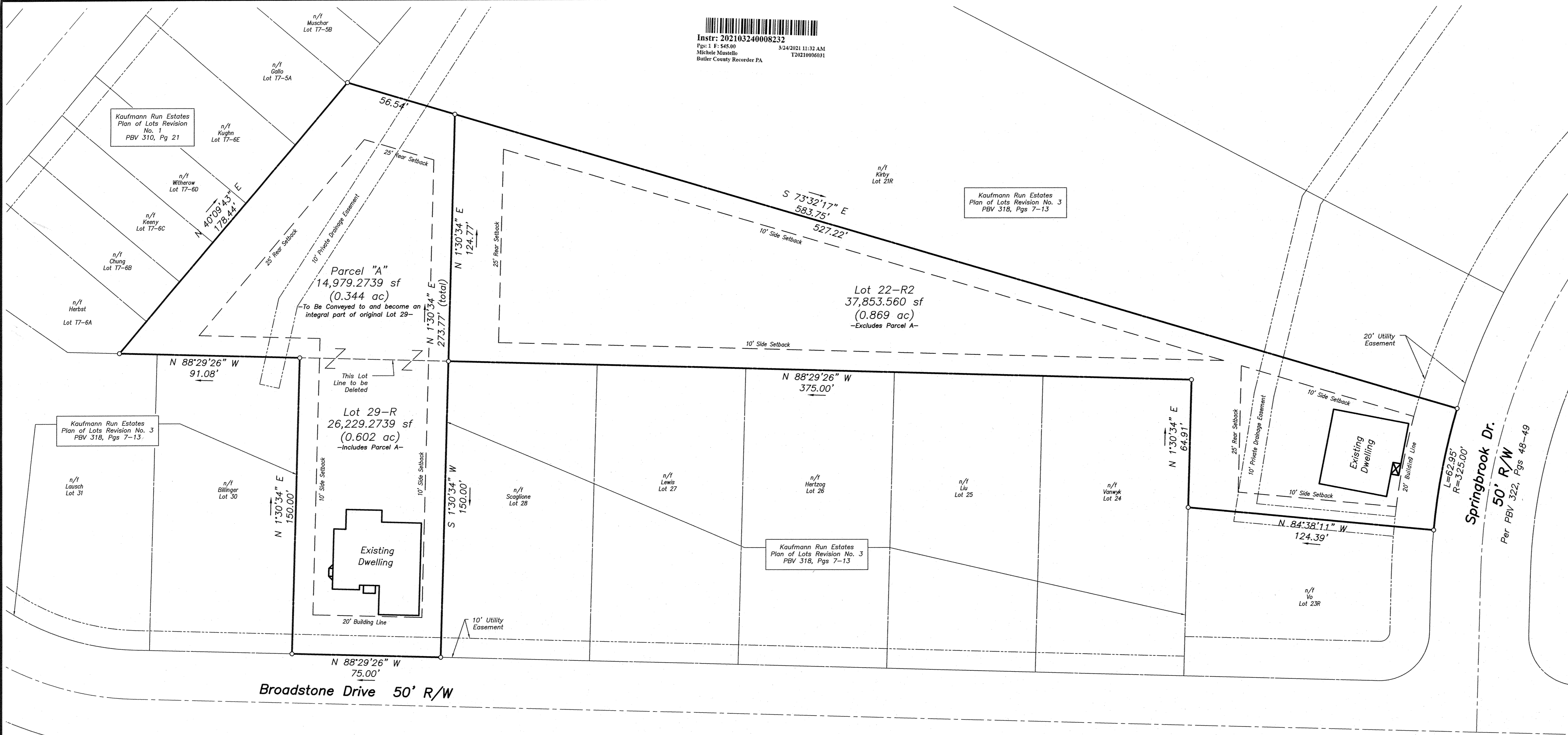
COMMONWEALTH OF PENNSYLVANIA } SS:
 COUNTY OF BUTLER }

Recorded in the Office for the recording of deeds, plats, etc. in the County of Butler and Commonwealth of Pennsylvania in Plan Book Volume 392 Page(s) 46

Given under my hand and seal this 24th day of March 2021

Michele M. Mustello
 Recorder of Deeds





Robert Murano & Anna Murano-Wang wang-murano jls wang-murano
 know all men by these presents that we, Robert Murano & Anna Murano-Wang of the township of Adams, County of Butler, Commonwealth of Pennsylvania for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this as my plan of subdivision of our property situate in the Township of Adams, County of Butler, Commonwealth of Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever, for public use for highway, drainage, sewage and utility purposes, all drives, roads, lands, rights or way, easements, ways, and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings and in consideration of the approval of said plan and any future acceptance of said public highways, rights of way and easements by the Township of Adams, we, Robert Murano & Anna Murano-Wang hereby agree to and by these presents do release and forever discharge the Township of Adams, its successors or assigns from any liability for damages arising and to arise from the appropriation of said ground for public highways, and other public uses and the physical grading thereof to any grades that may be established. This dedication and release shall be binding upon Robert Murano & Anna Murano-Wang, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

In witness whereof, we hereunto set our hands and seals this 10th day of Feb. 2021
 Attest: Robert Murano Anna Murano-Wang Anna Wang Murano
 AM

The foregoing adoption is made by Robert Murano & Anna Murano-Wang with the full understanding and agreement that the approval of the Township Board of Supervisors of Adams Township, if attached hereto, will become null and void unless this plan is recorded in the recorder of deeds office of butler county within ninety (90) days of said approval.
 We also certify that the title to our property as shown hereon is in the name of Robert Murano & Anna Murano-Wang as recorded in the Butler County Recorder of Deeds Office at Instrument No. 202006040010575
Robert Murano Anna Murano-Wang Anna Wang Murano
 AM

COMMONWEALTH OF PENNSYLVANIA } SS:
 COUNTY OF BUTLER
 Before me, the subscriber, a Notary Public in and for said County and Commonwealth, personally appeared the above named Robert Murano & Anna Murano-Wang who acknowledged the foregoing release and dedication and plan of subdivision to be his/her/their act and deed and desired the same to be recorded as such.

Witness my hand and notarial seal this 10 day of Feb. 2021
 My commission expires the 15 day of June 2021
Judy Edwards
 Notary Public
 Commonwealth of Pennsylvania - Notary Seal
 JUDY EDWARDS - Notary Public
 Butler County
 My Commission Expires Jun 15, 2021
 Commission Number 1044756

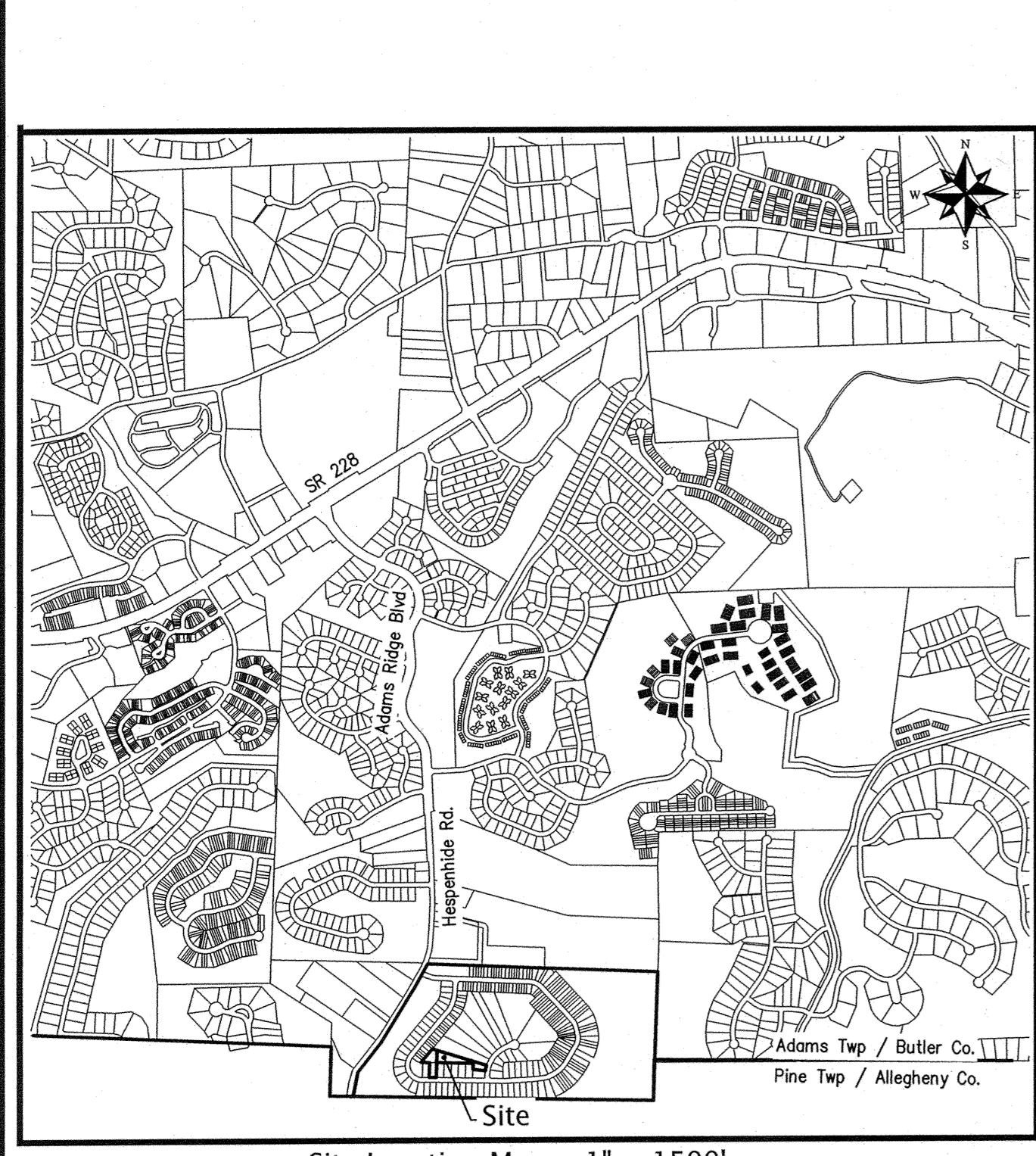
Tiana J. Panichella & Austin M. McCarren
 know all men by these presents that we, Tiana J. Panichella & Austin M. McCarren of the township of Adams, County of Butler, Commonwealth of Pennsylvania for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this as my plan of subdivision of our property situate in the Township of Adams, County of Butler, Commonwealth of Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever, for public use for highway, drainage, sewage and utility purposes, all drives, roads, lands, rights or way, easements, ways, and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings and in consideration of the approval of said plan and any future acceptance of said public highways, rights of way and easements by the Township of Adams, we, Tiana J. Panichella & Austin M. McCarren hereby agree to and by these presents do release and forever discharge the Township of Adams, its successors or assigns from any liability for damages arising and to arise from the appropriation of said ground for public highways, and other public uses and the physical grading thereof to any grades that may be established. This dedication and release shall be binding upon Tiana J. Panichella & Austin M. McCarren, our heirs, executors, administrators and assigns and purchasers of lots in this plan.
 In witness whereof, we hereunto set our hands and seals this 10th day of Feb. 2021

Attest: Tiana J. Panichella Austin M. McCarren
 PR TIANA
 COMMONWEALTH OF PENNSYLVANIA } SS:
 COUNTY OF BUTLER
 Before me, the subscriber, a Notary Public in and for said County and Commonwealth, personally appeared the above named Tiana J. Panichella & Austin M. McCarren who acknowledged the foregoing release and dedication and plan of subdivision to be his/her/their act and deed and desired the same to be recorded as such.

We also certify that the title to our property as shown hereon is in the name of Tiana J. Panichella & Austin M. McCarren as recorded in the Butler County Recorder of Deeds Office at Instrument No. 201107270017685
Tiana J. Panichella Austin M. McCarren
 PR TIANA
 COMMONWEALTH OF PENNSYLVANIA } SS:
 COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said County and Commonwealth, personally appeared the above named Tiana J. Panichella & Austin M. McCarren who acknowledged the foregoing release and dedication and plan of subdivision to be his/her/their act and deed and desired the same to be recorded as such.
 Witness my hand and notarial seal this 10 day of Feb. 2021
 My commission expires the 15 day of June 2021
Judy Edwards
 Notary Public
 Commonwealth of Pennsylvania - Notary Seal
 JUDY EDWARDS - Notary Public
 Butler County
 My Commission Expires Jun 15, 2021
 Commission Number 1044756

I, James A. Sperdute, R.S., a Professional Land Surveyor of the Commonwealth of Pennsylvania do hereby certify that the plan shown hereon is based upon an actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers as shown on the plan have been or will be set, and to the best of my knowledge, that this plan correctly represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents
James A. Sperdute 2/2/21 Date
 James A. Sperdute, RS # 24457-E
 I, Ronald Olseu a Registered Professional Engineer for the Township of Adams, do hereby certify, to the best of my knowledge and belief, that the Subdivision Plan or Land Development meets all of the engineering requirements set forth in the Adams Township Zoning Ordinance, Subdivision and Land Development Ordinance, and the Public and Private Improvement Code except as departures have authorized by the approval authority.
Ronald Olseu 2/16/21 Date
 Adams Township Engineer
 26400 E
 Registration Number



PLAN BOOK 392 **PAGE** 47

GRAPHIC SCALE
 (IN FEET)
 1 inch = 30 ft.

Reviewed by the Butler County Planning Commission this 20th day of JAN. 2021
R. H. ... Director SEC J. H. ... Chairperson

Reviewed by the Planning Commission of the Township of Adams, County of Butler and Commonwealth of Pennsylvania on this 3rd day of February, 2021

ATTEST:
... Secretary ... Chairperson

The Township Board of Supervisors of the Township of Adams, County of Butler and Commonwealth of Pennsylvania, hereby gives public notice that it is approving this plan of subdivision for recording purposes only. The approval of this subdivision plat by the Township of Adams does not constitute an acceptance of the roads, streets, alleys, stormwater and sanitary drainage facilities, easements or rights-of-way, water mains or any other services or improvements shown on this plan nor as an assumption of maintenance responsibility, nor will the same be accepted or maintained until constructed in accordance with all Township specifications and requirements and officially accepted by action of the Township Board of Supervisors.

This plot of subdivision is approved by action of the Township Board of Supervisors of the Township of Adams, Butler County, Pennsylvania on this 22nd day of MARCH, 2021.

ATTEST:
... Secretary ... Chairperson
... Supervisor ... Supervisor

Recorded in the Office for the recording of deeds, plats, etc. in the County of Butler and Commonwealth of Pennsylvania in Plan Book Volume 392 Page(s) 47
 Given under my hand and seal this 24th day of March, 2021.
Michele M. Mustello
 Recorder of Deeds

ADAMS TOWNSHIP PLANNING COMMISSION
 ADAMS TOWNSHIP BOARD OF SUPERVISORS
 ADAMS TOWNSHIP ENGINEER
 BUTLER COUNTY RECORDER OF DEEDS

Site Location Map = 1" = 1500'

Existing & Proposed Lot Areas

Lot/Parcel	Original Sq.Ft.	Original Ac.	Parcel "A" Sq.Ft.	Parcel "A" Ac.	Revised Sq.Ft.	Revised Ac.
29 Now 29-R	11,250	0.258	14,979.274	0.344	26,229.274	0.602
22 Now 22-R2	52,832.83	1.213	-14,979.27	-0.344	37,853.56	0.869

Total Property Affected by this plan : 64,082.83 Sq.Ft. or 1.471 Acres

General Notes

- The purpose of this plan is to revise the lot line between Lot 22 & Lot 29R of the Kaufmann Run Estates Plan of Lots. - No new lots are proposed
- All affected properties are served by public sewer & water
- This plan is subject to any and all conditions and/or restrictions of the previously approved plans of record.
- This plan DOES NOT convey title to Parcel "A". A deed conveying title must be prepared and recorded upon approval and recording of this plan.

Requirements for R-3M Zoning (As Approved)

Min Lot Area: 6,000 sq.ft.
 Min Lot Width: 60.00 ft @ Building Line
 Front Setback: 20.00 ft
 Rear Setback: 25.00 ft
 Side Setback: 10.00 ft (Two Required)

Owners

Lot 22-R
 Tiana J. Panichella & Austin M. McCarren
 202 Springbrook Drive
 Mars, PA 16046
 Tax Parcel 010-S20-C22-000
 Inst. No. 201107270017685
 Grantor of Parcel "A"

Lot 29
 Robert Murano & Anna Murano-Wang
 156 Broadstone Drive
 Mars, PA 16046
 Tax Parcel 010-S20-B29-000
 Inst. No. 202006040010575
 Grantee of Parcel "A"

DRAWING NUMBER: 1001-2122411
 DRAWING SCALE: 1"=30'
 DATE: January 6, 2021
 DRAWN BY:
 REVISIONS:

Kaufmann Run Estates Lots 22-R & 29 Revised

Being a Lot Line Revision Between Lots 22-R & 29 of the Kaufmann Run Estates Plan of Lots - Revision No. 3 As Recorded in Plan Book 318, Pages 7-13 Adams Township, Butler County, Pennsylvania

Sperdute Land Surveying
 A Division of Sheffler & Company

108 Deer Lane Harmony, PA 16037
 1712 Mount Nebo Road Sewickley, PA 15143
 Office Phone: 724-452-4362
 Email: info@sperdutesurveying.com

KNOW ALL MEN BY THESE PRESENTS THAT ROBERT & FRANKY DUFFIELD, DOES HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN THE BOROUGH OF PROSPECT, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND BOROUGH OF PROSPECT, ROBERT & FRANKY DUFFIELD HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND BOROUGH OF PROSPECT, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON ROBERT & FRANKY DUFFIELD, OUR SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

Instr: 20210325008353
 Page 1 of 545.00
 Michele Mustello
 Butler County Recorder PA
 3/25/2021 10:22 AM
 12001006110

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 8th DAY OF February 2021.

ATTEST:
 [Signatures]
 WITNESS OWNER
 WITNESS OWNER

STATE OF Pennsylvania) SS:
 COUNTY OF Butler)

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, PERSONALLY APPEARED ABOVE NAMED ROBERT & FRANKY DUFFIELD, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.

WITNESS MY HAND AND SEAL THIS 8 DAY OF February 2021.
 MY COMMISSION EXPIRES THE 30th DAY OF June 2024.

[Notary Seal]
 Commonwealth of Pennsylvania - Notary Seal
 Dwight C. Bolce, Notary Public
 Butler County
 My commission expires June 3, 2024
 Commission number 1013758
 Member, Pennsylvania Association of Notaries

APPROVED BY THE PROSPECT BOROUGH PLANNING COMMISSION THIS 25th DAY OF January 2021.

[Signatures]
 SECRETARY CHAIRMAN

THE BOROUGH COUNCIL OF THE BOROUGH OF PROSPECT HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE BOROUGH OF PROSPECT ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS AS BOROUGH STREETS, OR ROADS, OR GRADES, PAVE AND CURB THE STREETS IN SAID PLAN OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN BOROUGH STREETS OR ROADS.

[Signatures]
 SECRETARY PRESIDENT

APPROVED BY THE BOROUGH COUNCIL OF THE BOROUGH OF PROSPECT, THIS 1st DAY OF March 2021.

[Signatures]
 SECRETARY PRESIDENT OF COUNCIL

REVIEWED THIS 1st DAY OF March 2021, AND FOUND TO MEET THE REQUIREMENTS FOR A FINAL PLAN AS STATED IN THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

[Signature]
 BOROUGH OF PROSPECT ENGINEER

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 16th DAY OF Dec 2020.

[Signatures]
 SECRETARY CHAIRMAN

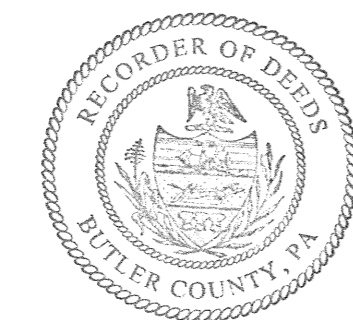
COMMONWEALTH OF PENNSYLVANIA) SS:
 COUNTY OF BUTLER)

RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN SAID COUNTY IN PLAN BOOK VOLUME 392 PAGE 48

GIVEN UNDER MY HAND AND SEAL THIS 25th DAY OF March 2021.

[Signature]
 RECORDER

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



KNOW ALL MEN BY THESE PRESENTS THAT ERIC & BONNIE HEITZENRATER, DOES HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN THE BOROUGH OF PROSPECT, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND BOROUGH OF PROSPECT, ERIC & BONNIE HEITZENRATER HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND BOROUGH OF PROSPECT, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON ERIC & BONNIE HEITZENRATER, OUR SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 8th DAY OF February 2021.

ATTEST:
 [Signatures]
 WITNESS OWNER
 WITNESS OWNER

STATE OF Pennsylvania) SS:
 COUNTY OF Butler)

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, PERSONALLY APPEARED ABOVE NAMED ERIC & BONNIE HEITZENRATER, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.

WITNESS MY HAND AND SEAL THIS 8th DAY OF February 2021.
 MY COMMISSION EXPIRES THE 30th DAY OF June 2024.

[Notary Seal]
 Commonwealth of Pennsylvania - Notary Seal
 Dwight C. Bolce, Notary Public
 Butler County
 My commission expires June 3, 2024
 Commission number 1013758
 Member, Pennsylvania Association of Notaries

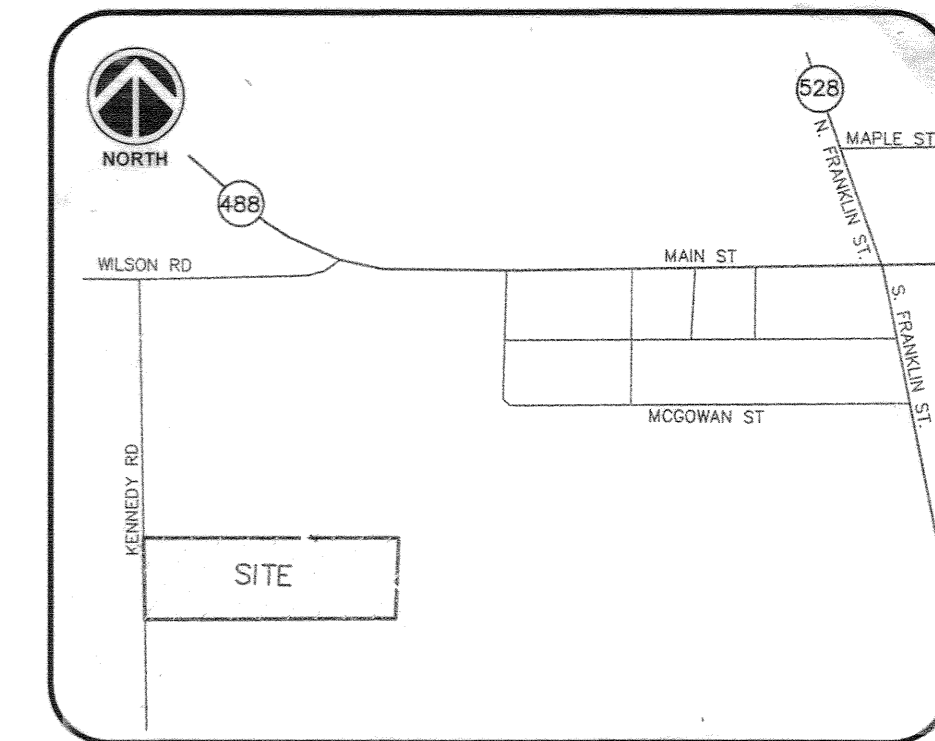
TITLE CLAUSE:

WE, ROBERT & FRANKY DUFFIELD, OWNERS OF THE DUFFIELD-Lot LINE REVISION, DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF ROBERT & FRANKY DUFFIELD, AS RECORDED IN INSTR. NO. 20190260019146, RECORDER OF DEEDS OFFICE. WE FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR ENCUMBRANCE AGAINST THIS PROPERTY.

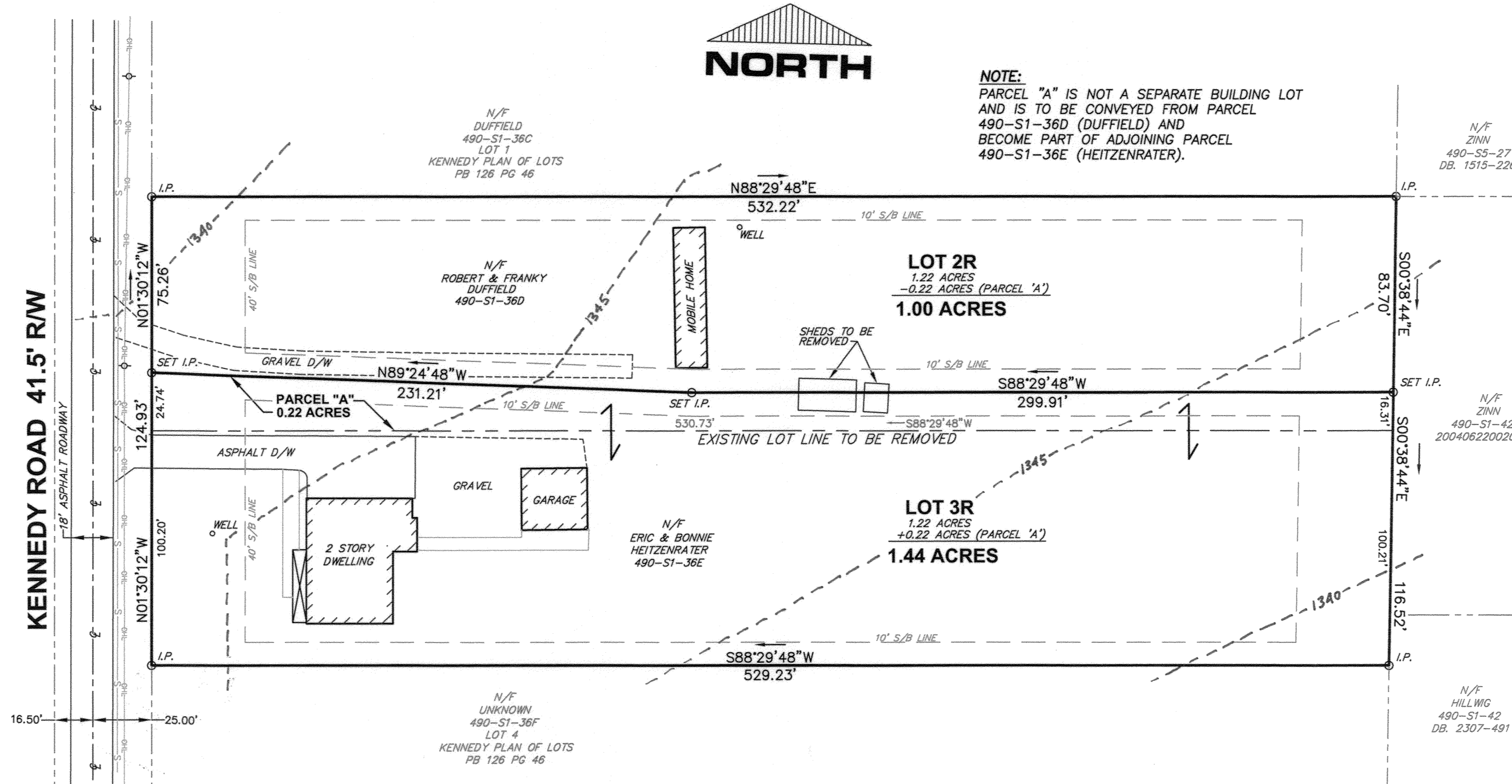
[Signatures]
 WITNESS OWNER
 WITNESS OWNER

I, JEFFREY A. SHUTY, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS AS SHOWN ON THE PLAN HAVE BEEN SET, AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

SEAL
1/4/21
 DATE
 JEFFREY A. SHUTY, PLS REG. NO. SU-075509



VICINITY MAP
 1" = 400 FT.

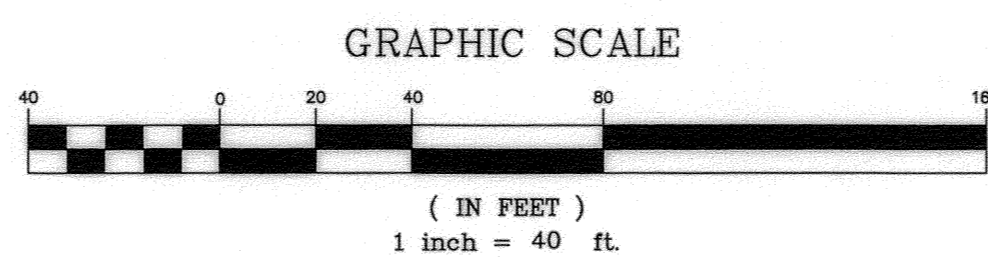


NOTE:
 PARCEL "A" IS NOT A SEPARATE BUILDING LOT AND IS TO BE CONVEYED FROM PARCEL 490-S1-36D (DUFFIELD) AND BECOME PART OF ADJOINING PARCEL 490-S1-36E (HEITZENRATER).

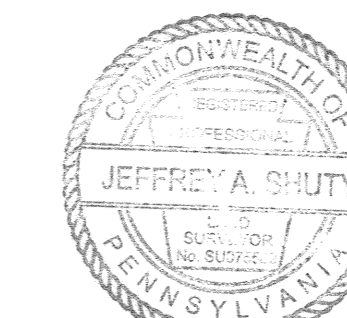
TOTAL PLAN AREA 2.44 ACRES
 LOT 2R 1.00 ACRES
 LOT 3R 1.44 ACRES

ZONING - R (RESIDENTIAL DIST.)
 WITH PUBLIC SEWER SYSTEM
 MIN. LOT AREA 22,000 SQ.FT.
 MIN. LOT WIDTH 70'
 BUILDING SETBACKS:
 FRONT 40'
 SIDE 10'
 REAR 40'

OWNERS:
 PARCEL ID: 490-S1-36D
 INSTR. No. 20190260019146
 PLAN REF: PB.126 PG.46
 ROBERT & FRANKY DUFFIELD
 137 KENNEDY RD.
 PROSPECT, PA 16052
 724-712-0043
 PARCEL ID: 490-S1-36E
 INSTR. No. 202005270008895
 PLAN REF: PB.126 PG.46
 ERIC & BONNIE HEITZENRATER
 143 KENNEDY RD.
 PROSPECT, PA 16052



PLAN BOOK 392
 PAGE 48



NORTHERN SURVEYORS AND ASSOCIATES 137 LINK LANE SLIPPERY ROCK, PA 16057 (724)530-6889	Scale 1" = 40'	DUFFIELD - LOT LINE REVISION Situate in PROSPECT BOROUGH BUTLER COUNTY, PA Prepared For ROBERT DUFFIELD Sheet No. 1 of 1
	Date JAN. 4, 2020 MARCH 4, 2021	
Job No. 3349		

Soil Description

Approximate boundaries of the soil mapping units are shown on the attached drawings; this information is obtained from the USDA NRCS Web Soil Survey (<http://websurveys.nrcs.usda.gov/app/>). The soils found within the project area are summarized below:

Map Symbol	Soil Name	Texture	Slope	Hydrologic Soil Group	Hydric	Soil Limitations
Ar	Arents-Urban land complex		0-0%	Not Rated	Partially, 5% in depressions	Not rated
MoB	Monongahela	Silt Loam	3-8%	D	Partially, 5% in depressions	Depth to thin cemented pan, depth to saturated zone, slope, low strength, frost action, too dense
Nw	Newark	Silt Loam	0-2%	D	Partially, 5% in depressions	Slope, depth to thin cemented pan, depth to saturated zone, low strength, frost action, too dense
Ph	Philo	Silt Loam	0-2%	C	Partially, 5% in bottom lands	Flooding, depth to saturated zone, frost action

Soil limitation resolutions:

- All buried concrete and steel will be designed to resist the corrosive environment.
- Flooding and depth to saturated zone limitations will be addressed by use of a pumped water filter bag, if necessary, if possible, pumped water filter bags should be placed at least 50 feet from any stream banks in well vegetated, flat areas.
- Buildings and treatment tanks will be designed according to the recommendations of the geotechnical investigation to address the low strength

CRITICAL STAGES

A licensed professional of record shall be on site and be responsible during critical stages of implementation of the approved PCSM plan. Critical stages of implementation include the following:

- Excavation of bioretention facility.
- Inspect base for acceptable soil conditions.
- Installation of the perforated pipe.
- Backfill and compaction of bioretention facility.

CONSTRUCTION SEQUENCE - BIORETENTION FACILITY

- Delineate proposed bioretention facility and fence off with orange construction fence to protect the bioretention facility area from compaction. No activity should occur in this area until installation of the bioretention facility is required.
- Install and maintain proper erosion and sediment control measures during construction.
- Install bioretention facility after ATAD building and associated facilities and all other areas contributing to the bioretention facility are constructed and stabilized to prevent sediment from construction activity from entering the bioretention facility.
- Initial excavation can be performed during rough site grading but shall not be carried to within one foot of the final bottom elevation. Final excavation should not take place until all disturbed areas in the drainage area have been stabilized.
- Subgrade preparation
 - Where erosion of subgrade has caused accumulation of fine materials and/or surface ponding in the graded bottom, this material shall be removed with light equipment and the underlying soils scarified to a minimum depth of 6 inches with a York rake or equivalent by light tractor.
 - Bring subgrade of bioretention area to line, grade, and elevations indicated. Fill and lightly re-grade and areas damaged by erosion, ponding, or traffic compaction. Bioretention area shall be level grade on the bottom.
 - Halt excavation and notify engineer immediately if evidence of sinkhole activity or pinnacles of carbonate bedrock are encountered in the bioretention area.
- Bioretention Facility Installation
 - Upon completion of subgrade work, the Engineer shall be notified and shall inspect at his/her discretion before proceeding with bioretention installation.
 - Underdrain stone layer and perforated pipe shall be placed on the bottom to the specified depth and invert elevations. Install the layer of choker stone on top of underdrain stone layer. Pipe installation shall include discharge pipe, end wall, and riprap apron.
 - Planting soil shall be placed on top of choker stone layer. Install planting soil (exceeding all criteria) in 12-inch maximum lifts and lightly compact (tamp with backhoe bucket or by hand). Keep equipment movement over planting soil to a minimum. Do not over compact. Install planting soil to grades indicated on the drawings.
 - Plant seed mixes and plantings according to supplier's recommendations and only from mid-March through the end of June or from mid-September through mid-November.
 - Install shredded hardwood mulch layer (minimum age 6 months) evenly as shown on plans. Do not apply mulch in areas where ground cover is to be grass or where cover will be established by seeding.
 - Protect the bioretention facility from sediment at all times during construction. Compost socks, diversion berms and/or other appropriate measures shall be used at the toe of slopes that are adjacent to the bioretention facility to prevent sediment from washing into these areas during site development.
 - When the site is fully vegetated and the soil mantle stabilized the plan designer shall be notified and shall inspect the bioretention facility drainage area at his/her discretion before the area is brought online and sediment control devices removed.
 - Water vegetation at the end of each day for two weeks after planting is completed.

FINAL GRADING AND STORMWATER MANAGEMENT

Those lawn and re-vegetated areas intended to receive stormwater runoff from disconnected roof leaders, and disconnected non-roof impervious surfaces such as sidewalks, driveways, parking areas etc., shall be final graded with uncompacted topsoil, or an equivalent amended soil mixture, having a minimum depth of six (6) inches.

All other re-vegetated and lawn areas shall be final graded with uncompacted topsoil, or equivalent amended soil mixture, having a minimum depth of four (4) inches. Other planned stormwater management BMPs such as bio-retention areas etc., shall be constructed with soil amendment or topsoil requirements, including soil depth, as specified in the final approved site plan drawings, notes and construction details.

PCSM LONG-TERM OPERATION AND MAINTENANCE REQUIREMENTS

For any property containing a PCSM BMP, the permittee or co-permittee shall record a legal instrument with the recorder of deeds which will assure disclosure of the PCSM BMP and the related obligations in the ordinary course of a title search of the subject property.

RECYCLING

Wherever possible, recycling of waste materials is preferred rather than disposal. The contractor shall ensure that mechanisms are in place to control waste materials. Construction wastes include, but are not limited to, excess soil materials, building materials, concrete wash water, sanitary wastes, etc. that could adversely impact water quality.

All building materials and wastes shall be removed from the site and recycled or disposed of in accordance with PA DEP's Solid Waste Management regulations at 25 PA Code 260.1 et seq., 271.1 et seq., and 287.1 et seq. No building materials or wastes or unused building materials shall be buried, dumped, or discharged at the site.

RECEIVING STREAM NAME/CHAPTER 93 CLASSIFICATION

The existing and designated Chapter 93 classification for the receiving stream (Brush Creek) is WWF (Warm Water Fishes). This project will not affect this classification. Water quality will be addressed by the bioretention facilities.

INVASIVE SPECIES REMOVAL

- Contractor shall clear and grub roots of existing vegetation from bioretention basin, side slopes, and at least 15' around fringe. As part of this work all roots of the giant reed (*Phragmites* sp.) shall be removed from the soil that remains or is replaced around the work zone. Contractor may screen the soil material or use another method to remove small root pieces. Should roots remain in the soil after grading is complete, the Contractor shall dig out root pieces that may sprout growth or spot treat *Phragmites* regeneration using approved herbicides.

BIORETENTION BASIN MAINTENANCE AND INSPECTION NOTES:

- Bioretention basin must be inspected at least two times per year for sediment buildup, erosion, vegetative conditions, etc.
- When ponding is evident on the surface of the filter bed for more than 72 hours, the top few inches of discolored material shall be removed and replaced with fresh material and disposed of properly.
- Silt/sediment removal shall be performed when sediment accumulates a depth that exceeds one inch. Properly dispose of sediment in accordance with this plan.
- Mow only as appropriate for vegetative cover species.
- Dead or diseased plant material shall be replaced. Areas devoid of mulch should be re-mulched on an annual basis.
- Direct maintenance access to the filter bed shall be maintained.
- Vigorous and dense growth should be maintained. Any bare spots, burned out areas, or eroded areas must be re-seeded or re-sodded immediately. Watering and/or fertilization should be provided during the first few months after vegetation is established and may periodically be needed during periods of drought.
- While vegetation is being established, pruning and weeding may be required.
- Debris may also need to be removed every year. Perennial plantings may be cut down at the end of the growing season.
- Mulch should be re-spread when erosion is evident and be replenished as needed. Once every 2 to 3 years the entire area may require mulch replacement.
- During periods of extended drought, bioretention areas may require watering.

BIORETENTION BASIN VEGETATION MAINTENANCE

- First Growing Season:** When overall vegetation reaches a height of 18'-24", trim to a height of 8" (with a brush hog mower or string trimmer). Do not use a lawn mower, as mower height will be too low and may kill native seedlings. Trimming and mowing should cease by mid-September.
- Second and Subsequent Growing Season:** In early spring, prior to new spring growth reaching a height of 2' (e.g., shortly after forsythia or redbud blooms), trim any material standing from the previous year close to the ground (approximately 2"). Sedges should be trimmed no lower than 2" above the crowns that produced the prior year's growth.
- Problem Weeds:** Problem weeds should be hand pulled or spot sprayed with an approved herbicide. For best results, be particularly vigilant about controlling invasive vines, such as bindweed, mile-a-minute and Japanese hops. These are more easily pulled when they are young rather than after they have had two to three months of growth. Be equally vigilant about controlling invasive species shrubs, such as autumn olive.
- Special Circumstances - Second Growing Season:** If you notice a heavy infestation of ragweed or foxtail in the second growing season, trim the meadow to a height of 8". Trimming should cease by mid-September.
- General Maintenance:** Siltation needs to be removed as needed. Close mowing throughout the growing season or extensive chemical use is not conducive to water quality improvement and wildlife habitat.

BMP OPERATION AND MAINTENANCE RECYCLING AND DISPOSAL NOTES

- After mowing, mulch grass clippings and spread onsite or collect and dispose of grass clippings in a local composting facility.
- After trimming vegetation, collect and dispose of cuttings in a local composting facility.
- Accumulated sediment removed from the bioretention basin shall be properly disposed of off-site or in an upland area onsite and stabilized so that it does not re-enter the drainage course.
- Remove and properly dispose of filter from the bioretention basin.

5. FINAL CERTIFICATION OF LICENSED PROFESSIONAL:

This section is to be completed by a licensed professional as defined in 25 Pa. Code §102.1.

I, Timothy John Schutzman, P.E., do hereby certify pursuant to the penalties of 18 Pa. C.S.A. § 4904 to the best of my knowledge, information and belief, that the accompanying record drawings accurately reflect the as-built conditions, are true and correct, and are in conformance with Chapter 102 of the rules and regulations of the Department of Environmental Protection and that the project site was constructed in accordance with the approved PCSM Plan or Site Restoration/Reclamation plan, all approved plan changes and accepted construction practices.

Name and Official Title of Licensed Professional

Timothy John Schutzman, P.E.

Waterworks Coordinator

Signature: Timothy John Schutzman

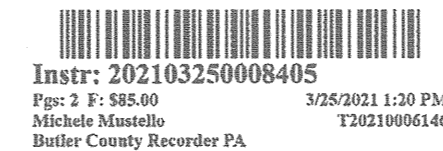
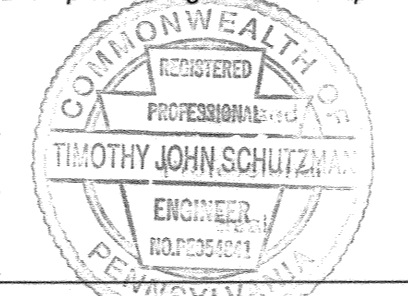
STATE OF PENNSYLVANIA COUNTY OF BUTLER

On this 23rd day of March, 2021, before me, Nancy A. Auer, a Notary Public, the undersigned officer, personally appeared Timothy John Schutzman of Cranberry Township, Cranberry Township, PA 16066 known to me (or satisfactorily proven) to be the person whose name is subscribed to within instrument, and acknowledged that they executed the same for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

My commission expires:

Nancy A. Auer
Notary Public

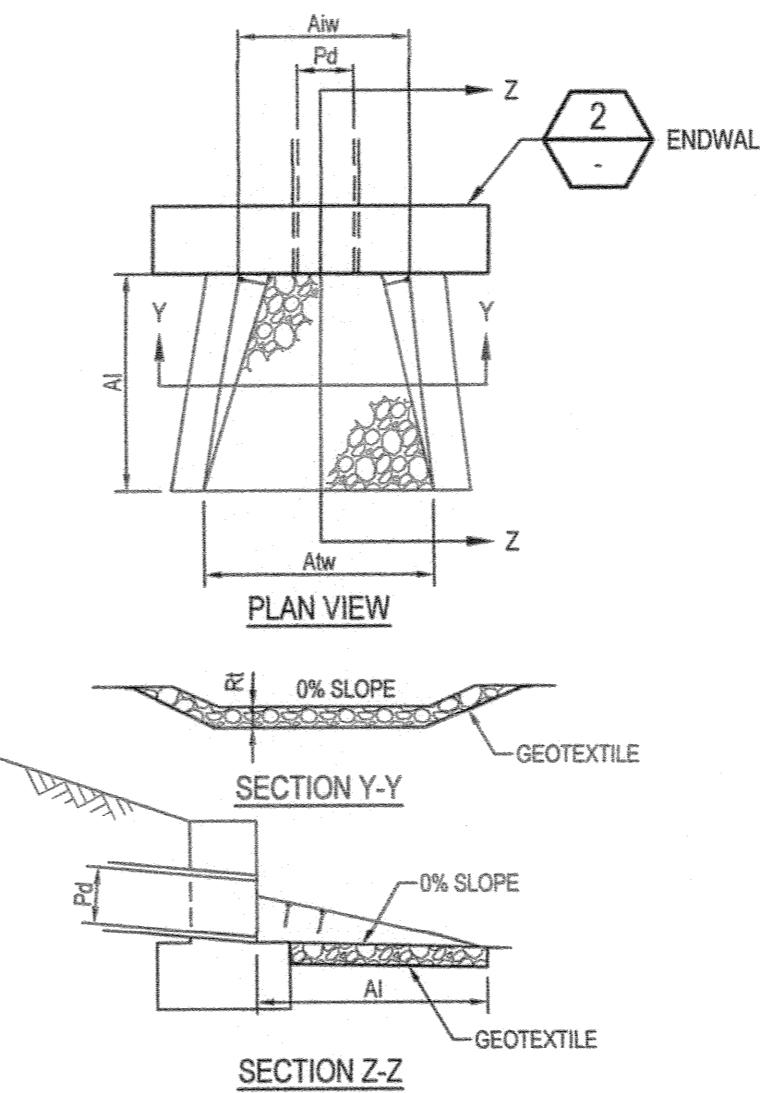


PROOF OF RECORDING

Recorded in the office of the Recorder of Deeds of the County of Butler, Commonwealth of Pennsylvania, in Plan Book Volume 392, Page(s) 49-50.

Given under my hand and seal this 25th day of March, 2021.

(Seal) MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday In January 2024

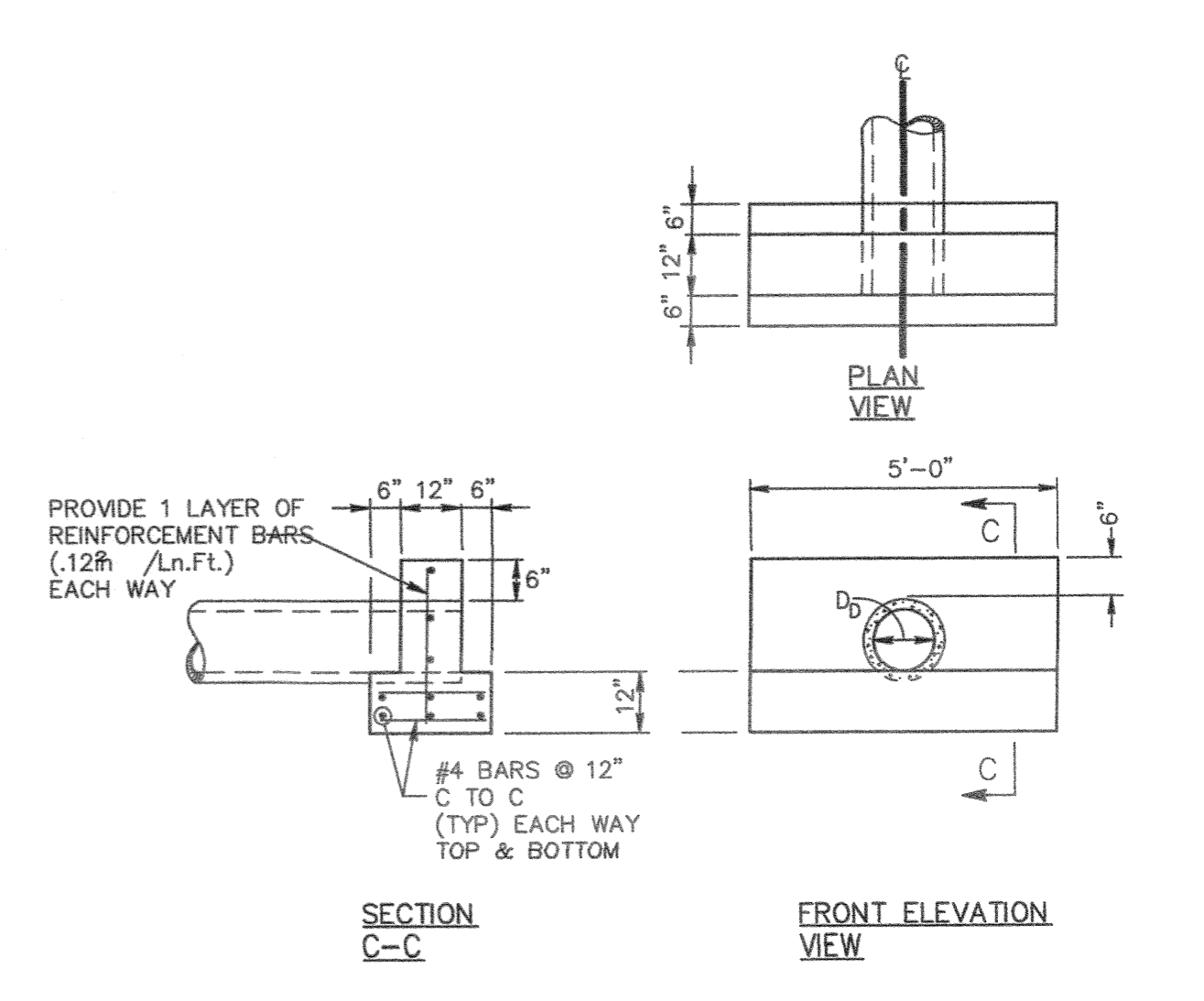


OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP SIZE R- (IN)	RIPRAP THICK. Ri (IN)	RIPRAP LENGTH Ai (FT)	APRON INITIAL WIDTH Aw (FT)	APRON TERMINAL WIDTH Atw (FT)
BASIN OUTLET	6	3	9	10	5	10

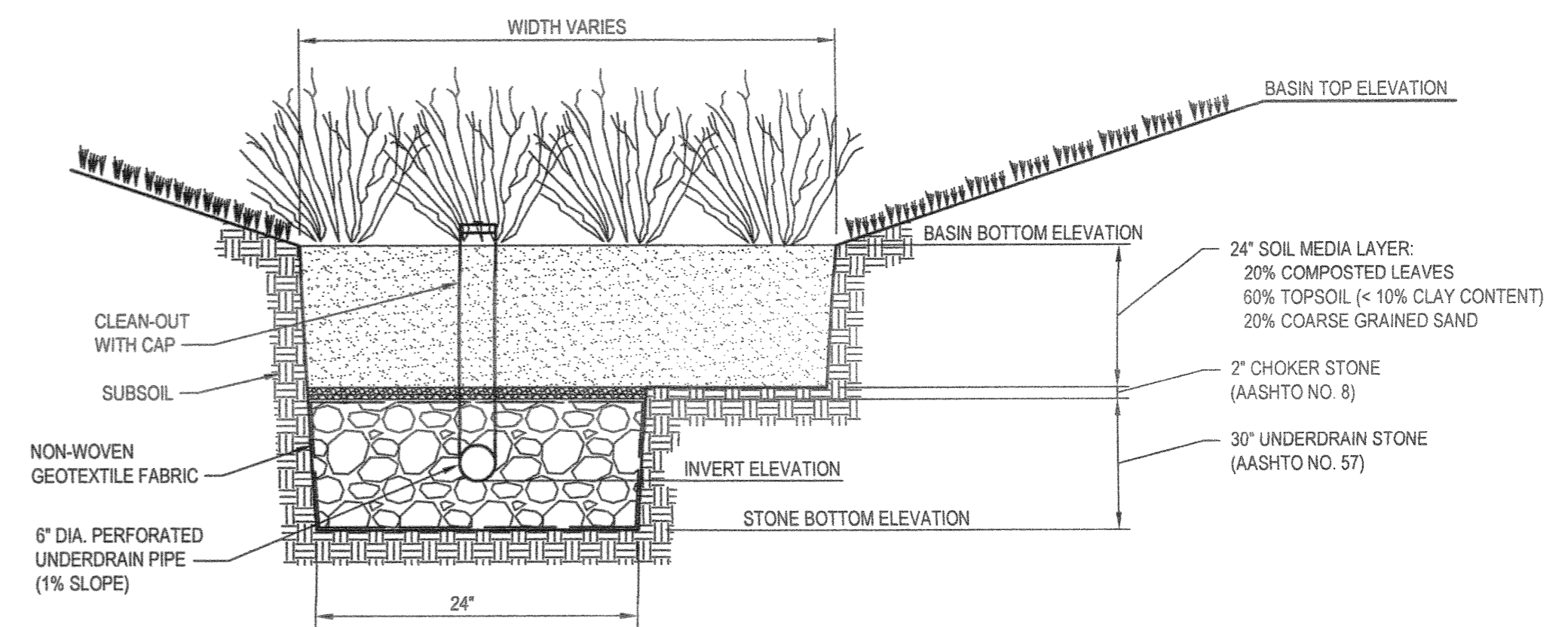
NOTES:

- ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.
- ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

1 RIPRAP APRON AT PIPE OUTLET WITH ENDWALL
C0301 NO SCALE



2 PENNDOT TYPE D ENDWALL DETAIL
C0301 NO SCALE

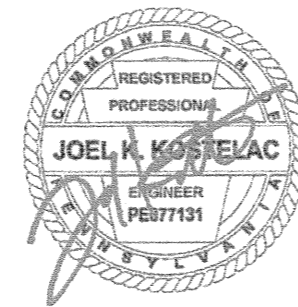


BIORETENTION FACILITY				
BASIN TOP ELEVATION	BASIN BOTTOM ELEVATION	PIPE INVERT AT START	PIPE INVERT AT END	STONE BOTTOM ELEVATION
996.5	995	991.3	990.3	990.1

3 TYPICAL BIORETENTION BASIN CROSS SECTION DETAIL
C0301 NO SCALE

No	Revision	Note	Drawn	Job Manager	Project Director	Date
1		RECORDED DRAWING	RLT		JKK	03-16-21

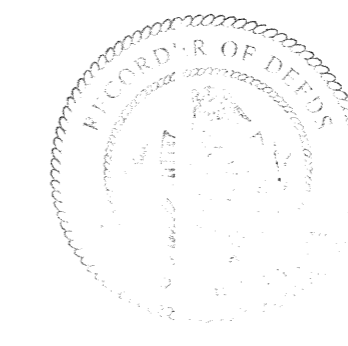
Commonwealth of Pennsylvania - Notary Seal
Nancy A. Auer, Notary Public
Butler County
My commission expires February 5, 2025
Commission number: 1204451
Member, Pennsylvania Association of Notaries



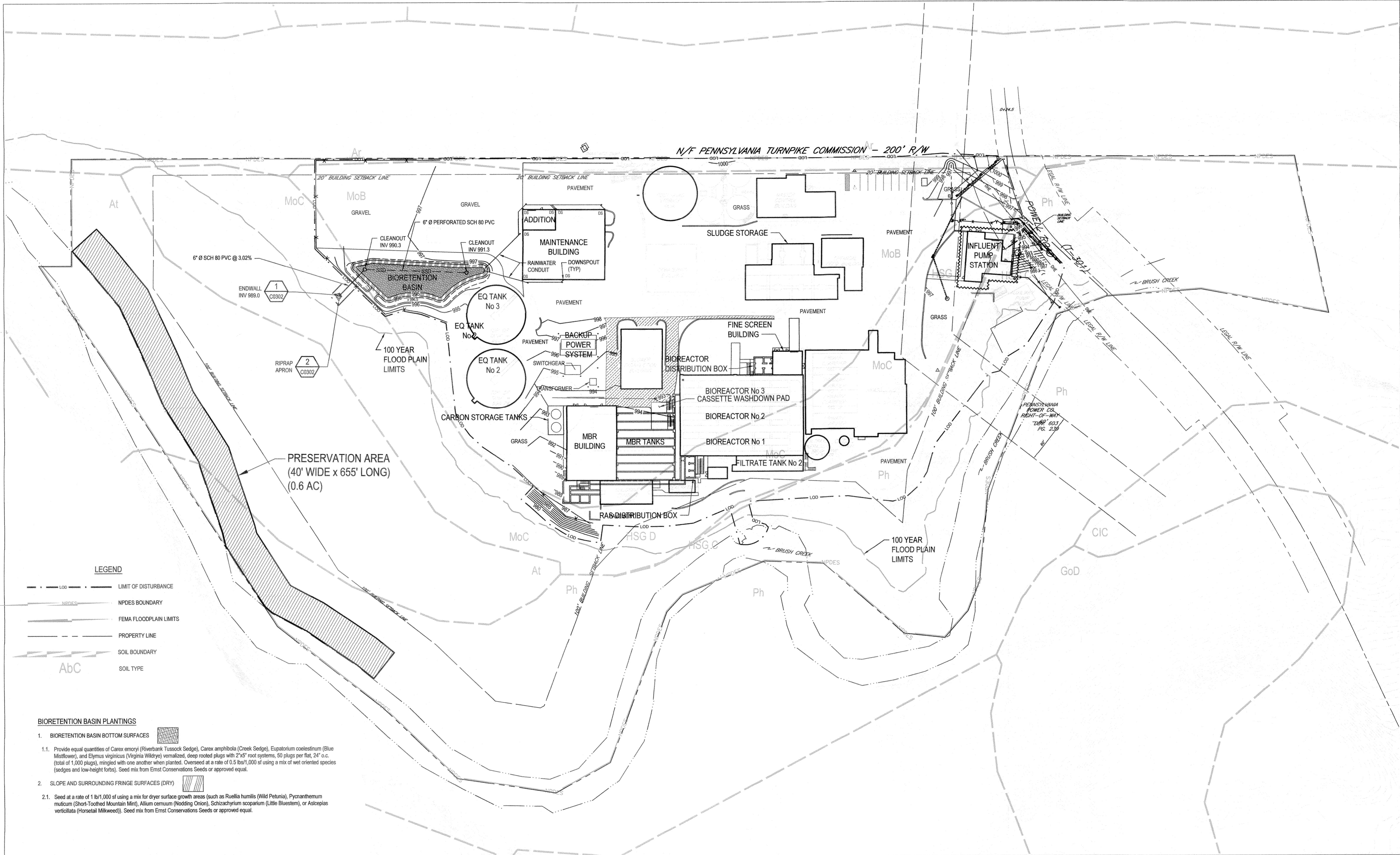
RECORD DRAWING
01-27-2021
Information shown on this drawing is compiled from construction documentation from various sources including photos and sketches from site visits during construction. No representation is made by GHD as to the accuracy of this drawing. Any use or modification of this Drawing without written authorization by GHD will be at the user's sole risk and without liability or legal exposure to GHD or GHD's Consultants.

1240 North Mountain Road
Harrisburg PA 17112 USA
T 1 717 541 0822 F 1 717 441 0161
E harrisburg@ghd.com W www.ghd.com

Drawn RLT	Designer JCH	Client CRANBERRY TOWNSHIP - BRUSH CREEK WATER POLLUTION CONTROL FACILITY UPGRADE
Drafting Check KAD	Design Check WAL	Project
Approved William A. LaDieu (Project Director)	Date 4/14/16	Title POST CONSTRUCTION STORMWATER DETAILS
Scale NO SCALE	This Drawing shall not be used for Construction unless Signed and Sealed For Construction	Contract No. Arch D Drawing No: 86-18024-C0302



PLAN BOOK	PAGE
392	49

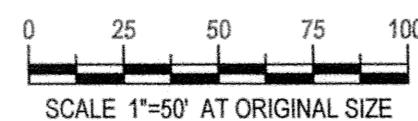


LEGEND

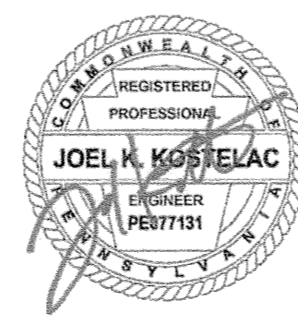
- L00 --- LIMIT OF DISTURBANCE
- NPDES --- NPDES BOUNDARY
- FEMA FLOODPLAIN LIMITS --- FEMA FLOODPLAIN LIMITS
- PROPERTY LINE --- PROPERTY LINE
- SOIL BOUNDARY --- SOIL BOUNDARY
- SOIL TYPE --- SOIL TYPE

BIORETENTION BASIN PLANTINGS

1. BIORETENTION BASIN BOTTOM SURFACES
 - 1.1. Provide equal quantities of Carex emoryi (Riverbank Tussock Sedge), Carex amphibola (Creek Sedge), Eupatorium coelestinum (Blue Mistflower), and Elymus virginicus (Virginia Wildrye) vernalized, deep rooted plugs with 2"x5" root systems, 50 plugs per flat, 24" o.c. (total of 1,000 plugs), mingled with one another when planted. Overseed at a rate of 0.5 lbs/1,000 sf using a mix of wet oriented species (sedges and low-height forbs). Seed mix from Ernst Conservations Seeds or approved equal.
2. SLOPE AND SURROUNDING FRINGE SURFACES (DRY)
 - 2.1. Seed at a rate of 1 lb/1,000 sf using a mix for dryer surface growth areas (such as Ruella humilis (Wild Petunia), Pycnanthemum muticum (Short-Toothed Mountain Mint), Allium cernuum (Nodding Onion), Schizachyrium scoparium (Little Bluestem), or Asclepias verticillata (Horse-tail Milkweed)). Seed mix from Ernst Conservations Seeds or approved equal.



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RECORD DRAWING
01-27-2021

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Drafting Check	KAD	Design Check	WAL
Approved (Project Director)	William A. LaDieu		
Date	4/14/16		
Scale	1" = 50'		

Client **CRANBERRY TOWNSHIP - BRUSH CREEK WATER POLLUTION CONTROL FACILITY UPGRADE**
Project **POST CONSTRUCTION STORMWATER PLAN**

Contract No. _____
Original Size _____
Arch D Drawing No: **86-18024-C0301**

1	RECORDED DRAWING	RLT	JJK	03-16-21
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No	Revision	Note: * indicates signatures on original issue of drawing or last revision of drawing	Drawn	Job Manager	Project Director	Date
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