

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT I, MABLE L. JOHNSON AKA MABLE HUGHES JOHNSON, TRUSTEE OF THE JOHNSON REVOCABLE TRUST DATED DECEMBER 7, 2007, OF THE TOWNSHIP OF PENN, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF PENN, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF PENN, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF PENN, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREFTER AT ANY TIME, THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNER, HIS HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 15 DAY OF SEPTEMBER, 2020.

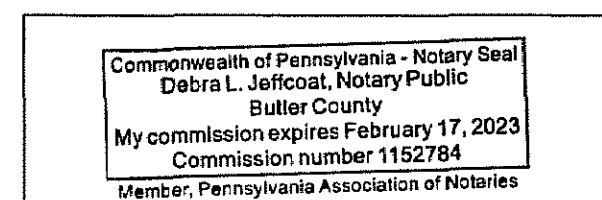
Mable L. Johnson
 MABLE L. JOHNSON
 AKA MABLE HUGHES JOHNSON
 TRUSTEE OF THE JOHNSON REVOCABLE TRUST DATED DECEMBER 7, 2007

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, MABLE L. JOHNSON AKA MABLE HUGHES JOHNSON, TRUSTEE OF THE JOHNSON REVOCABLE TRUST DATED DECEMBER 7, 2007, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 15 DAY OF SEPTEMBER, 2020.

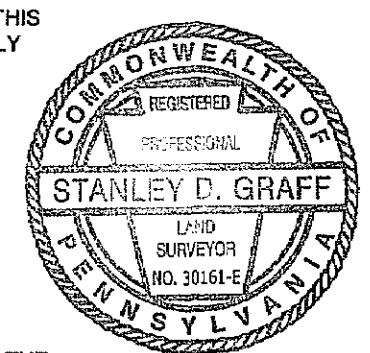
MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023

Debra L. Jeffcoat
 NOTARY PUBLIC



SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

9 SEPT 2020
 DATE
 x *Stanley D. Graff*
 STANLEY D. GRAFF
 REG. NO. SU-03061-E



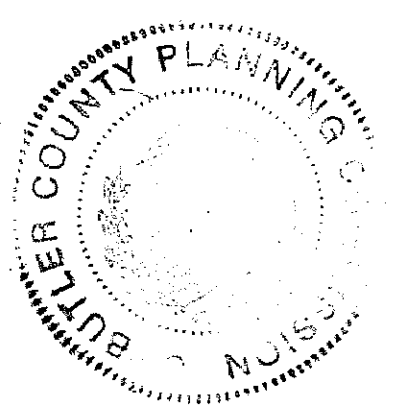
MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF PENN, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF PENN ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS
 APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF PENN THIS 8 DAY OF SEPTEMBER, 2020.

Linda M. Zupkas
 SECRETARY
David M. Ward
 CHAIRPERSON
 BOARD OF SUPERVISORS

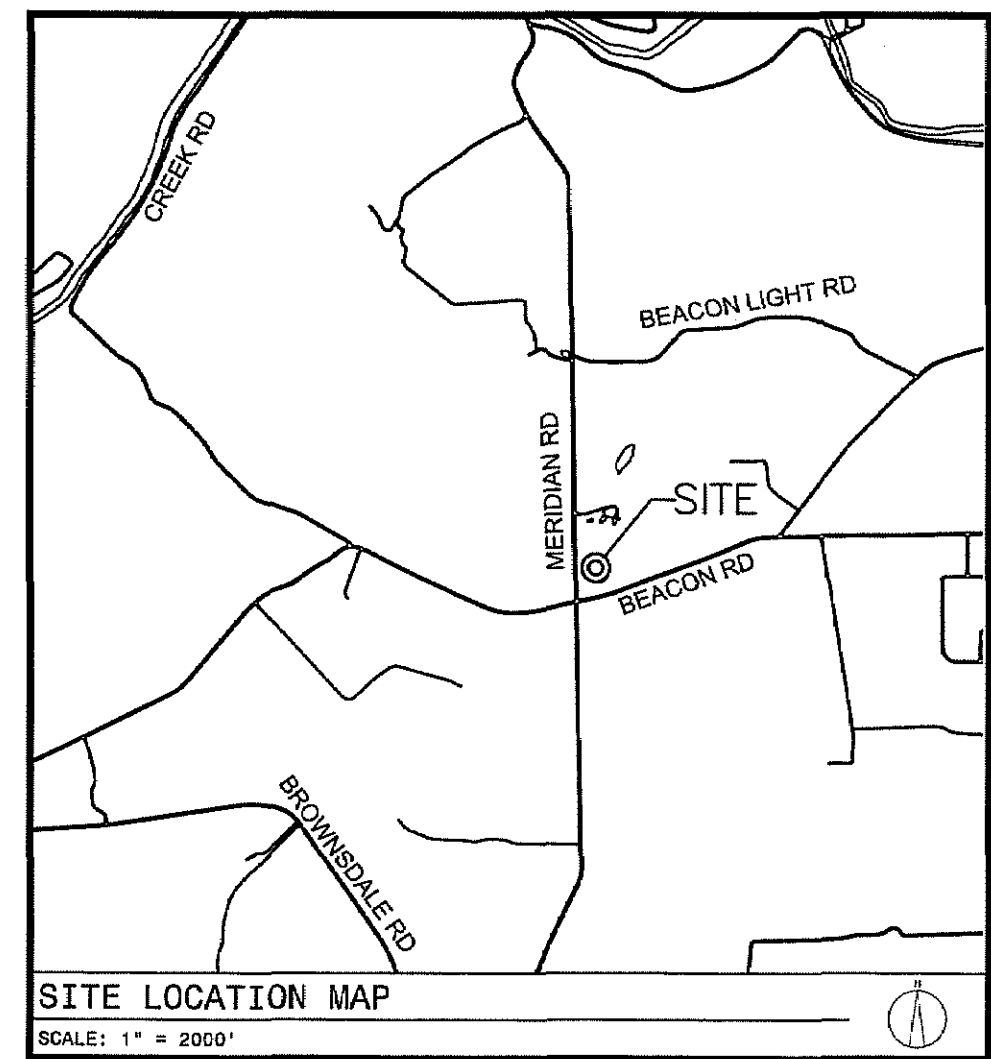
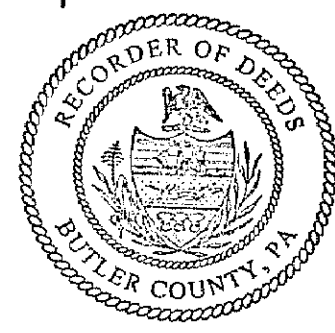
BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 19th DAY OF AUGUST, 2020.

R. H. Jem
 SECRETARY
S. H. Jem
 CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION



PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 388, PAGE(S) 1
 GIVEN UNDER MY HAND AND SEAL THIS 23rd DAY OF SEPTEMBER, 2020.

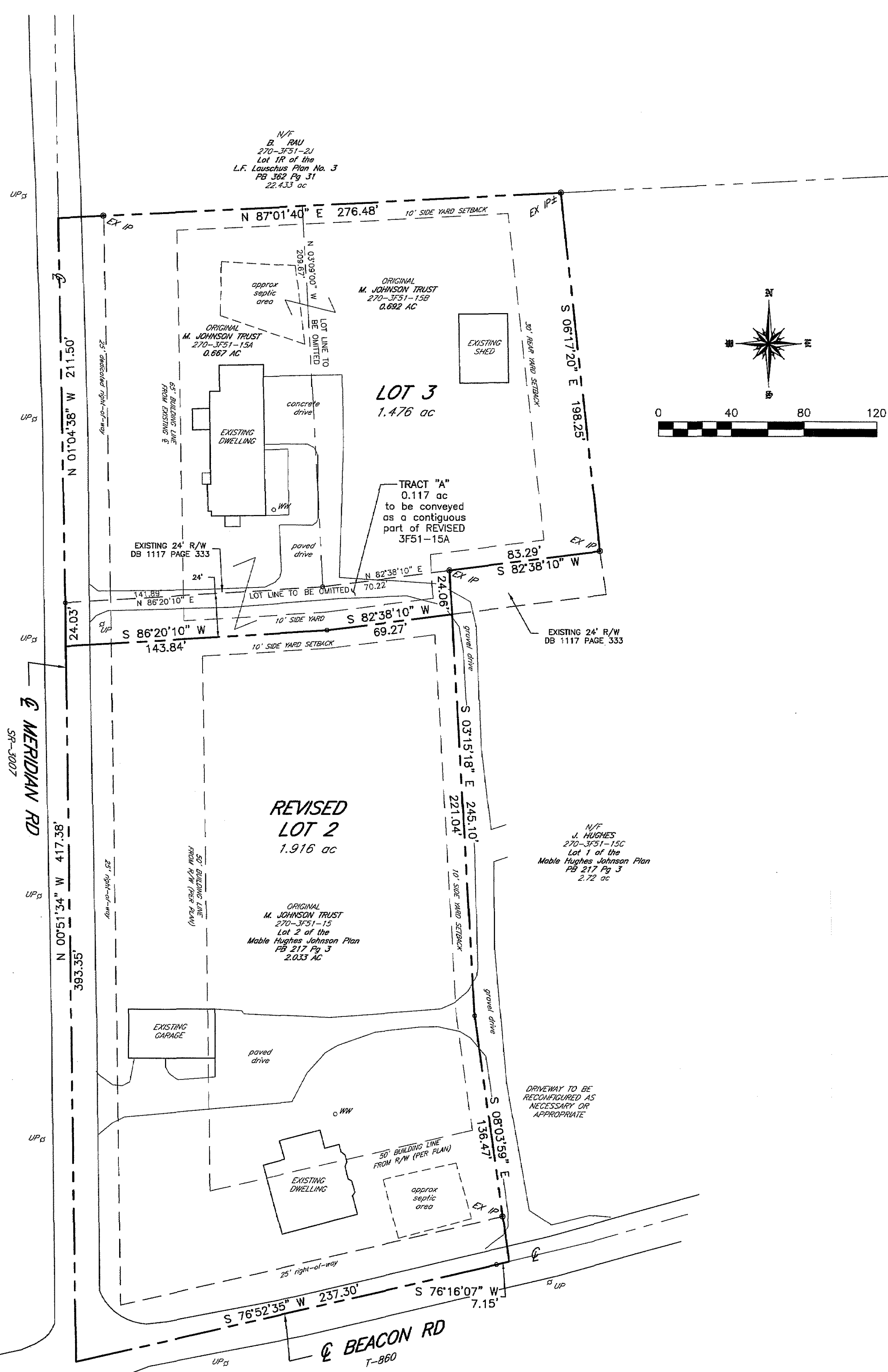
Michele M. Mustello
 RECORDER OF DEEDS
 MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



PLAN ORIENTATION NOTE: THE BEARINGS SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (PA-S) / NAD 1983

HIGHWAY OCCUPANCY PERMIT:
 A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE STATE HIGHWAY LAW (P.L. 1242, NO. 428).

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.



PROPERTY AREA SUMMARY:

| | |
|-------------------------------|----------|
| EXISTING TOTALS | |
| LOT 2 / 270-3F51-15 | 2.033 AC |
| 270-3F51-15A | 0.867 AC |
| +270-3F51-15B | 0.592 AC |
| EXISTING TOTAL | 3.392 AC |
| REVISED LOT 2 / 270-3F51-15 | 2.033 AC |
| ORIGINAL LOT 2 | 0.117 AC |
| -TRACT A | 0.117 AC |
| REVISED 3F51-15 TOTAL | 1.916 AC |
| LOT 3 / REVISED 270-3F51-15A | 0.867 AC |
| ORIGINAL 3F51-15A | 0.692 AC |
| +270-3F51-15B | 0.692 AC |
| +TRACT A | 0.117 AC |
| LOT 3 / REV. 3F51-15A TOTAL | 1.476 AC |
| REVISED TOTALS | |
| REVISED LOT 2 / 270-3F51-15 | 1.916 AC |
| +LOT 3 / REVISED 270-3F51-15A | 1.476 AC |
| REVISED TOTAL | 3.392 AC |

- GENERAL NOTES:**
- TAX IDS: 270-3F51-15, 270-3F51-15A, 270-3F51-15B
 - OWNER: THE JOHNSON REVOCABLE TRUST DATED DECEMBER 7, 2007
 - TRUSTEE: MABLE L. JOHNSON AKA MABLE HUGHES JOHNSON
 - ZONING DISTRICT: R-1 SINGLE FAMILY RESIDENTIAL
 - SETBACKS: FRONT LINE - 40' FROM R/W OR 65' FROM CL, SIDE - 10', REAR YARD - 30'
 - REFERENCES: 6.1. CURRENT DEEDS OF RECORD, 270-3F51-15B; 6.2. PREVIOUSLY RECORDED PLANS, 6.2.1. MABLE HUGHES JOHNSON SUBDIVISION, PLAN BOOK 217 PG 3; 6.2.2. L. F. LAUSCHUS PLAN NO. 3, PLAN BOOK 362 PG 31

M. JOHNSON PLAN No. 2

Being a consolidation of Butler County tax parcels 270-3F51-15A and 270-3F51-15B as well as a lot line revision of Butler County tax parcels 270-3F51-15A and 270-3F51-15

| | |
|------------|----------|
| RECORDED | 20 |
| PLAN BOOK | PAGE |
| 388 | 1 |
| SHEET | of |

GRAFF SURVEYING

GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION
 M. JOHNSON PLAN No. 2
 BEING A
 LOT LINE REVISION
 FOR
 THE JOHNSON
 REVOCABLE TRUST

SITUATE
 PENN TOWNSHIP
 BUTLER COUNTY, PENNSYLVANIA

| | | | |
|-------------|-----------------------|----------|----------|
| DATE | DRAWN | CHECKED | SCALE |
| 07/07/2020 | SDG | Sdg | 1" = 40' |
| PROJECT NO. | TAX PARCEL NO. | REVISION | |
| 20-102 | 270-3F51-15, 15A, 15B | - | |

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS: THAT J AND R DEVELOPERS LLC BY VIRTUE OF A RESOLUTION OF ITS BOARD OF DIRECTORS, DOES HEREBY ADOPT THIS PLAN OF CONSOLIDATION OF ITS PROPERTY, SITUATE IN THE BOROUGH OF ZELIENOPLE, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVER ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE BOROUGH OF ZELIENOPLE, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA.

J AND R DEVELOPERS LLC HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE BOROUGH OF ZELIENOPLE, COUNTY OF BUTLER, ITS SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON J AND R DEVELOPERS LLC ITS SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE HAND OF ITS MEMBER THIS 16 DAY OF SEPTEMBER, 2020.

J AND R DEVELOPERS LLC
 NAME OF CORPORATION
 DATE 09-16-2020
 MEMBER Thomas Myers

ACKNOWLEDGMENT OF NOTARY PUBLIC
 COMMONWEALTH OF PENNSYLVANIA
 COUNTY OF BUTLER
 ON THIS 16 DAY OF SEPTEMBER, 2020 BEFORE ME, NOTARY PUBLIC AND FOR SAID COUNTY OF COMMONWEALTH, PERSONALLY APPEARED, THOMAS MYERS, MEMBER OF J AND R DEVELOPERS LLC, WHO BEING DULY SWORN, DEPOSES AND SAYS THAT HE WAS PERSONALLY PRESENT AT THE EXECUTION OF THE ADOPTION, RELEASE AND DEDICATION AND SAW THE COMMON AND CORPORATE SEAL OF THE SAID CORPORATION DULY SIGNED AND SEALED BY AND AS FOR THE ACT AND DEED OF THE SAID J AND R DEVELOPERS LLC FOR THE USES AND PURPOSES THEREIN MENTIONED, AND THAT THE NAME OF THIS DEPONENT SUBSCRIBED TO THE SAID RELEASED AND DEDICATION AS MEMBER OF SAID CORPORATION, IN ATTESTATION OF THE DUE EXECUTION AND DELIVERY OF SAID RELEASE AND DEDICATION OF THIS DEPONENT'S OWN AND PROPER AND RESPECTIVE HANDWRITING.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 16 DAY OF SEPTEMBER, 2020
 MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023

Debra L. Jeffcoat
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
 Debra L. Jeffcoat, Notary Public
 Butler County
 My Commission expires February 17, 2023
 Commission number 1152784
 Member, Pennsylvania Association of Notaries

CERTIFICATION OF TITLE
 I, THOMAS MYERS, MEMBER OF J AND R DEVELOPERS LLC DO HEREBY CERTIFY THAT THE TITLE TO PROPERTIES SHOWN HEREON IS IN THE NAME OF THOMAS MYERS AND IS RECORDED IN INSTRUMENT NUMBER _____ I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN, OR OTHER ENCUMBRANCE AGAINST THESE PROPERTIES.

WITNESS _____ MEMBER _____

SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

16 Sept. '20
 DATE
Stanley D. Graff
 SURVEYOR
 REG. NO. SU-030191-E

MUNICIPAL DECLARATIONS
 THE BOROUGH COUNCIL OF THE BOROUGH OF ZELIENOPLE, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE BOROUGH OF ZELIENOPLE ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN BOROUGH STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS
 APPROVED BY THE BOROUGH COUNCIL OF THE BOROUGH OF ZELIENOPLE THIS 14th DAY OF September, 2020.

Michael E. Boyer
 PRESIDENT
 BOROUGH COUNCIL

REVIEWED BY THE PLANNING COMMISSION OF THE BOROUGH OF ZELIENOPLE THIS 27th DAY OF August, 2020.

Mark Maturo
 CHAIRPERSON
 PLANNING COMMISSION

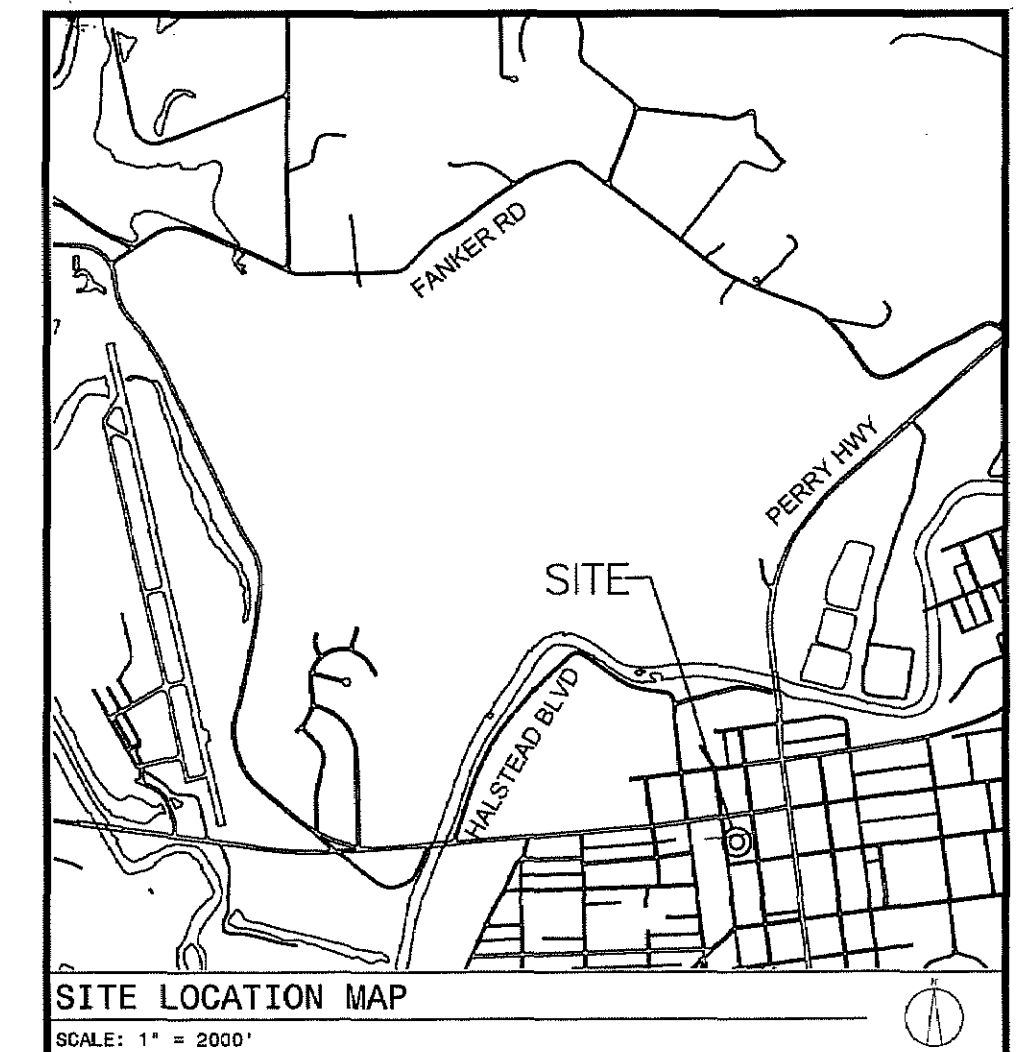
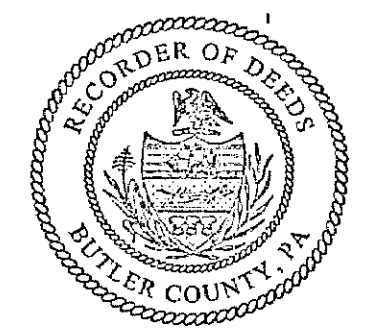
BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 19th DAY OF AUGUST, 2020.

Robert H. ...
 CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 388, PAGE(S) 2

GIVEN UNDER MY HAND AND SEAL THIS 24 DAY OF September, 2020.
Michele M. Mustello
 RECORDER OF DEEDS

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024

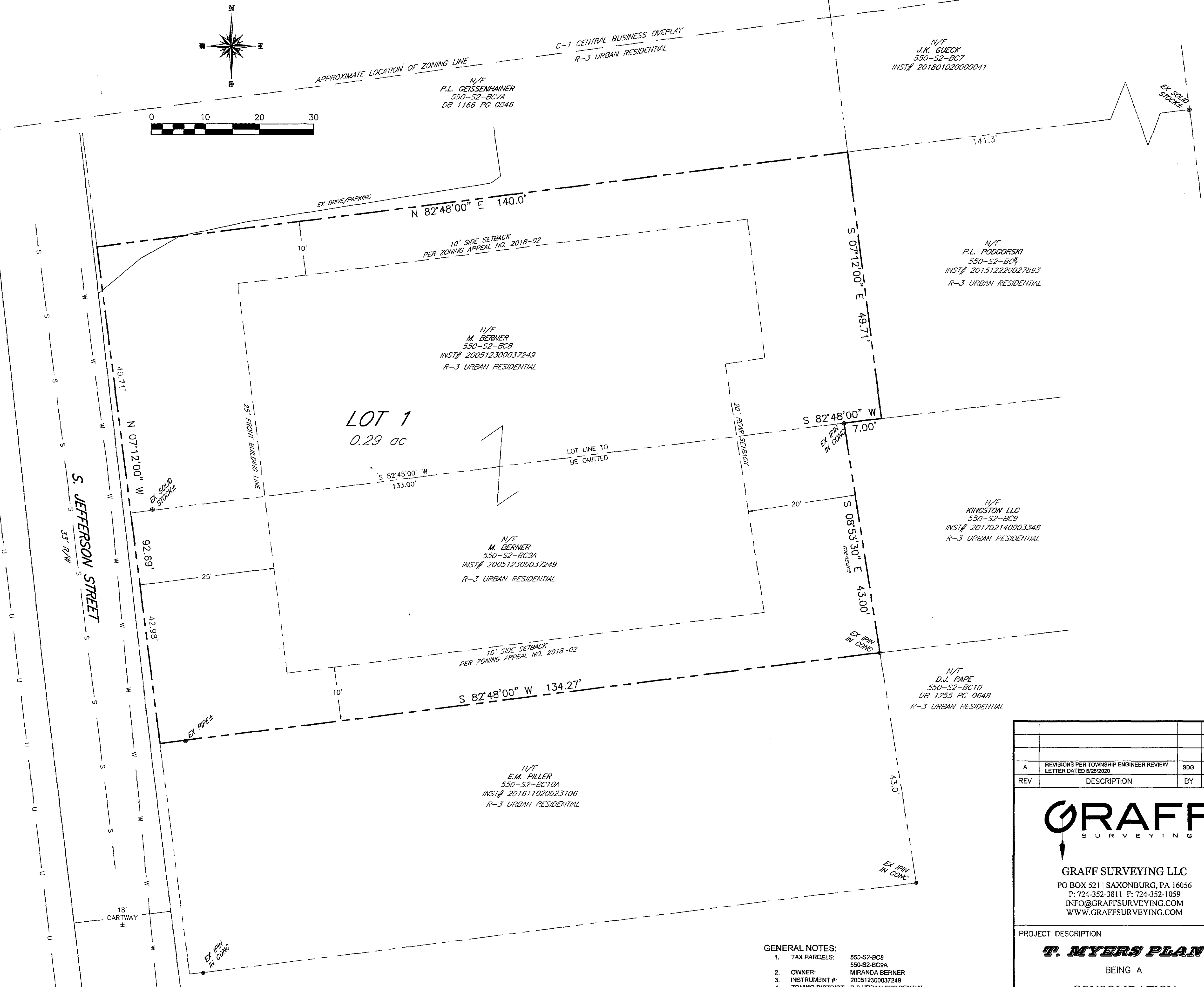


PLAN ORIENTATION NOTE: THE BEARINGS SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (PA-S) / NAD 1983

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

| BOROUGH OF ZELIENOPLE R-3 URBAN RESIDENTIAL DISTRICT | |
|---|-----------------------------------|
| Dimension | All Permitted Uses |
| Min. Lot Area | 6,000 sq ft |
| Min. Lot Width | 60 feet @ bridg line |
| Min. Front Yard Depth | 25 feet |
| Min. Side Yard Depth | min. 5 feet (both total min. 15') |
| Min. Rear Yard Depth | 20 feet |

PER ZONING HEARING BOARD APPEAL NO. 2018-02
 * #6 SIDE YARDS MUST BE A MINIMUM OF 10 FT EACH SIDE



T. MYERS PLAN

Being a consolidation of Butler County Tax Parcels
 550-S2-BC8 and 550-S2-BC9A

- GENERAL NOTES:**
- TAX PARCELS: 550-S2-BC8, 550-S2-BC9A
 - OWNER: MIRANDA BERNER
 - INSTRUMENT #: 200512300037249
 - ZONING DISTRICT: R-3 URBAN RESIDENTIAL
 - ZONING HEARING BOARD APPEAL NO. 2018-02
 - REFERENCES
 - CURRENT DEEDS OF RECORD
 - PREVIOUSLY RECORDED PLANS

| | |
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| RECORDED | 20 |
| PLAN BOOK | PAGE |
| 388 | 2 |
| SHEET | of |

Instr: 202009240020731
 Page 1 of 445-00
 Michele Mustello
 Butler County Recorder PA
 09/24/2020 10:07 AM
 T2000914819

GRAFF SURVEYING

GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION
T. MYERS PLAN
 BEING A
 CONSOLIDATION
 FOR
 THOMAS
 MYERS

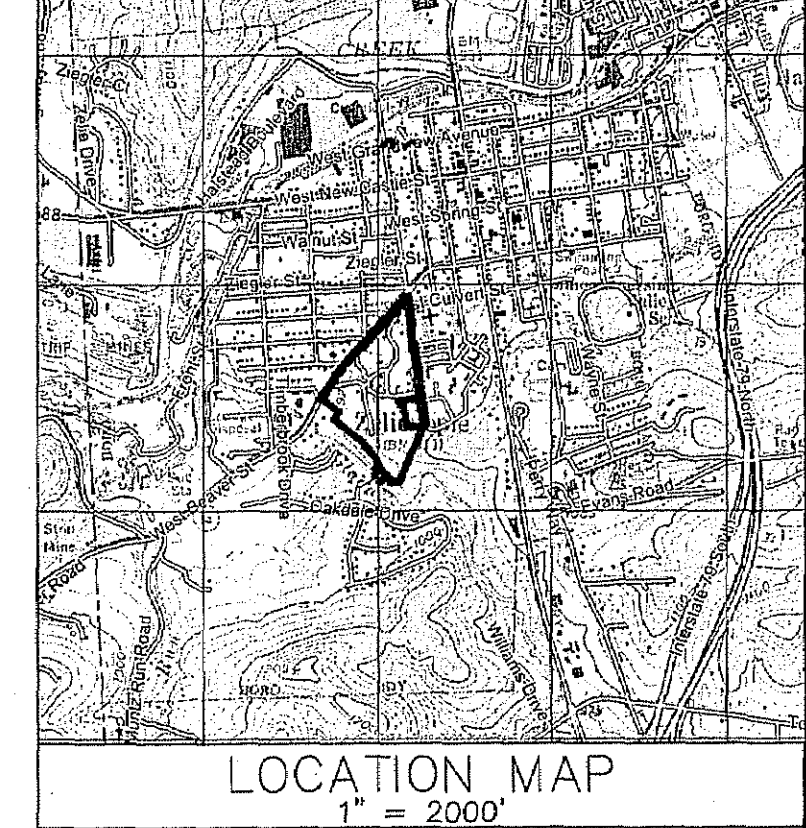
SITUATE
 ZELIENOPLE BOROUGH
 BUTLER COUNTY, PENNSYLVANIA

| | | | |
|-------------|-------------------|----------|----------|
| DATE | DRAWN | CHECKED | SCALE |
| 07/27/2020 | BAG | Sdg | 1" = 10' |
| PROJECT NO. | TAX PARCEL NO. | REVISION | |
| 20-104 | 550-S2-BC8 & BC9A | A | |

A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, No. 428), KNOWN AS THE "STATE HIGHWAY LAW" BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED.

| PROPOSED AREA SUMMARY | | |
|-----------------------|--------------|--------|
| PARCEL | SQ. FT. | ACRES |
| LOT 1 - A | 280,989.42 | 6.451 |
| LOT 1 - B | 220,830.75 | 5.070 |
| LOT 2 | 176,281.36 | 40.469 |
| TOTAL AREA | 2,284,671.52 | 51.990 |

| EXISTING AREA SUMMARY | | |
|-----------------------|--------------|--------|
| PARCEL | SQ. FT. | ACRES |
| PARCEL A | 2,158,421.52 | 49.551 |
| PARCEL B | 106,250.00 | 2.439 |
| TOTAL AREA | 2,264,671.52 | 51.990 |



OWNER INFORMATION
 GLADE RUN LUTHERAN SERVICES, A CORPORATION
 70 WEST BEAVER STREET
 ZELIENOPLE, PA 16063
 724.452.4453

KNOW ALL MEN BY THESE PRESENTS THAT THE GLADE RUN LUTHERAN SERVICES, A CORPORATION, BY VIRTUE OF A RESOLUTION OF ITS BOARD OF DIRECTORS, DOES HEREBY ADOPT THE PLAN OF SUBDIVISION OF ITS PROPERTY, SITUATED IN THE BOROUGH OF ZELIENOPLE, COUNTY OF BUTLER, AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVER ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS OF WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS OF WAY AND EASEMENTS BY THE BOROUGH OF ZELIENOPLE, COUNTY OF BUTLER, LUTHERAN YOUTH AND FAMILY SERVICES, WESTERN PENNSYLVANIA - WEST VIRGINIA SYNOD, OF THE LUTHERAN CHURCH OF AMERICA, INC., HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE BOROUGH OF ZELIENOPLE, OF THE COUNTY OF BUTLER, ITS SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON GLADE RUN LUTHERAN SERVICES, A CORPORATION, ITS SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE HAND OF ITS PRESIDENT AND THE SAME TO BE ATTESTED BY ITS SECRETARY, THIS 24TH DAY OF SEPTEMBER, 2020.

GLADE RUN LUTHERAN SERVICES, A CORPORATION.

ATTEST:

Cheryl Papp
 SECRETARY / CFO

Robert F. Mitall
 PRESIDENT / CEO

I, ROBERT F. MITALL, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES, AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS AS SHOWN ON THE PLAN HAVE BEEN, OR WILL BE SET, AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OF AGENTS.

9-23-20
 DATE

Robert F. Mitall
 REGISTRATION No. SU - 743 - A

REVIEWED BY THE BOROUGH OF ZELIENOPLE PLANNING COMMISSION THIS 4TH DAY OF JUNE, 2020.

Mahfuzul Karim
 SECRETARY

Doug Hoff
 CHAIRMAN

REVIEWED AND APPROVED BY THE BOROUGH COUNCIL OF THE BOROUGH OF ZELIENOPLE THIS 13TH DAY OF JULY, 2020.

Robert F. Mitall
 SECRETARY

Alan P. Boyer
 CHAIRMAN

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 24TH DAY OF FEB, 2020.

R. Hu. D.R.M.
 SECRETARY

J. Hu. D.R.M.
 CHAIRMAN

COMMONWEALTH OF PENNSYLVANIA
 COUNTY OF BUTLER

COMMONWEALTH OF PENNSYLVANIA
 COUNTY OF BUTLER
 Personally appeared, Robert F. Mitall, satisfactorily proven to be the person whose name is acknowledged that he executed this same for the purposes therein contained.

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, PLATS AND PLANS IN SAID COUNTY, IN PLAN BOOK VOLUME 388, PAGE(S) 3.

GIVEN UNDER MY HAND AND SEAL THIS 24 DAY OF Sept, 2020.

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024

Being a Resubdivision of Parcel "A" and Parcel "B" of Lutheran Youth and Family Services Plan of Subdivision as Recorded in Plan Book Volume 174 Page 10

| | | | |
|--|--|---|---|
| GLADE RUN LUTHERAN SERVICES, PLAN OF SUBDIVISION NO. 2 Made For GLADE RUN LUTHERAN SERVICES CORP. Situated In BOROUGH OF ZELIENOPLE COUNTY OF BUTLER PENNSYLVANIA | | SCALE 1"=100' DRAWN WTS CHECKED DRH FILE 19-696 SUB DATE 01/10/2020 PROJ. No. TREK19696GRV SHEET 1 OF 1 | REVISIONS: 1. REVISED LOT LINE 3-11-20 2. REVISED B&D 3-18-20 |
| Wital Division of KU Resources, Inc. 117 SAGAMORE HILL ROAD PITTSBURGH, PA 15239 TEL: (724) 327-7474 FAX: (724) 325-2734 | | RP-1 | |

ZONING INFORMATION
 R-2 GENERAL RESIDENTIAL DISTRICT
 DUPLEX, TOWNHOUSE, ROW HOUSE, GARDEN APARTMENT

Min. Lot Area - 6,000 Sq. Ft per dwelling or 8 units per acre
 Min. Side - 15' on each side of structure; corner lots, 25' along street
 Min. Front Yard - 25'; 50' along Beaver Road
 Min. Rear Yard - 20'
 Max. Height - 35' or 2-1/2 stories, whichever is less
 Min. Lot Width - 30' per unit at the building line
 Min. Lot Frontage - 20' per unit

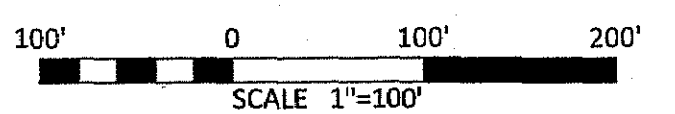
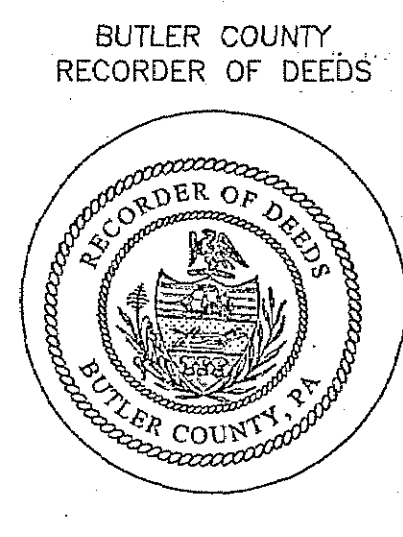
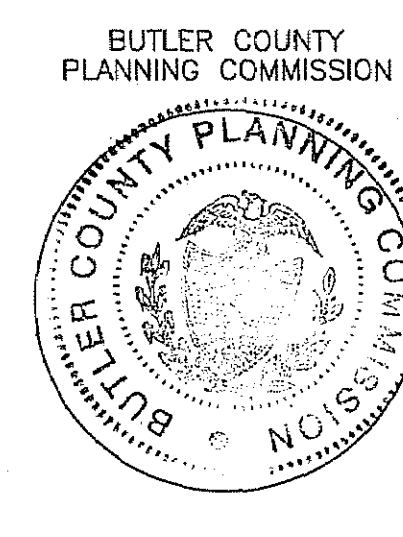
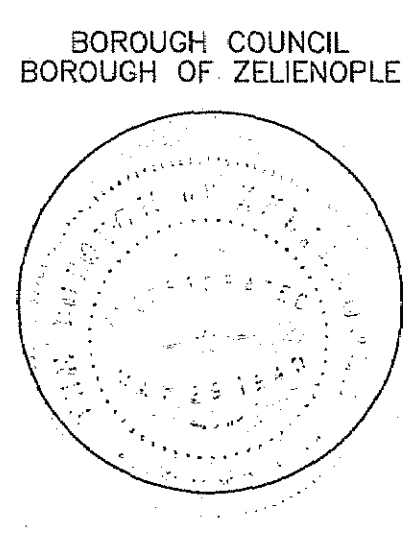
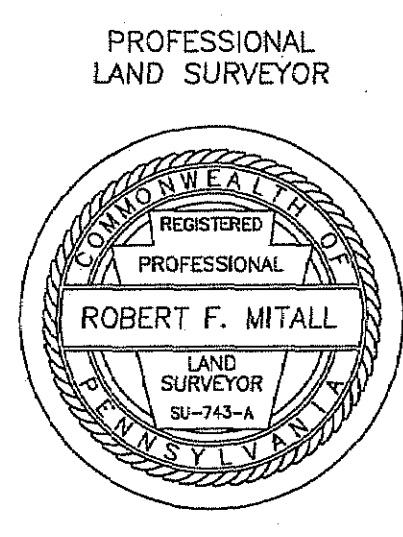
R-3 URBAN RESIDENTIAL DISTRICT

Min. Lot Area - 12,000 Sq. Ft per dwelling or 8 units per acre
 Min. Side - 15' on each side of structure; corner lots, 25' along street
 Min. Front Yard - 25'
 Min. Rear Yard - 20'
 Max. Height - 35' or 2-1/2 stories, whichever is less
 Min. Lot Width - 60' at the building line
 Min. Lot Frontage - 40'

NOTES

- Green Lane, 33' wide, is a public street from Beaver Road to Culvert Street, and is maintained by the Borough of Zelienople, as per Deed Book Volume 2401, page 720
- Beaver Road right of way is based on Commonwealth of Pennsylvania Department of Transportation drawings authorizing acquisition of right of way as recorded in Highway Book 66, page 25 and the centerline of the paved cartway.
- The underground utilities shown hereon have not been physically located by the surveyor, however, the information was obtained from existing plans And PA One Call paint markings. KU Resources Inc., makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The PA One Call noted upon this plan may be ignored by the utility or result in an incomplete response therefore KU Resources Inc., does not warrant that the underground utilities shown are a complete and full representation of existing utilities in the survey area, or are shown in the exact location indicated although they are shown as accurately as possible from the information available.

| PLAN BOOK | PAGE |
|------------|----------|
| 388 | 3 |



Instr: 202009240020769
 Date: 9/24/20 11:54 AM
 Michele Mustello
 Butler County Recorder PA

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT WE, ARTHUR F. BIERNESSEER III AND LINDA B. BIERNESSEER, OF THE TOWNSHIP OF CLINTON, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF CLINTON, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CLINTON, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CLINTON, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME, THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERELIANTO SET MY HAND AND SEAL THIS 15 DAY OF September, 2020.

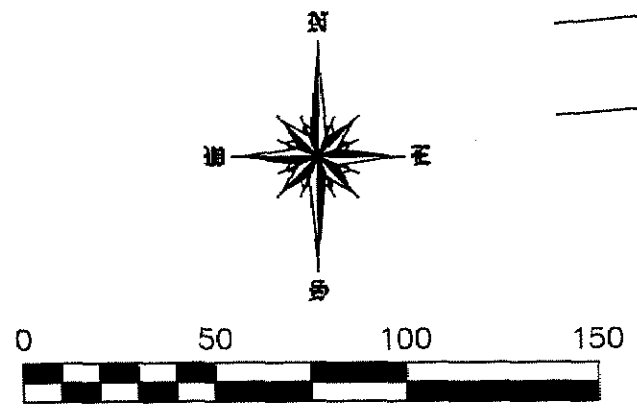
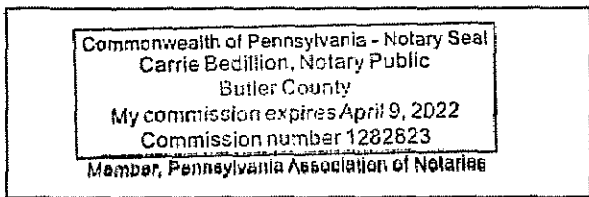
x Arthur F. Biernesseeer III
 ARTHUR F. BIERNESSEER
 x Linda B. Biernesseeer
 LINDA B. BIERNESSEER

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, ARTHUR F. BIERNESSEER III AND LINDA B. BIERNESSEER, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 15 DAY OF Sept, 2020.

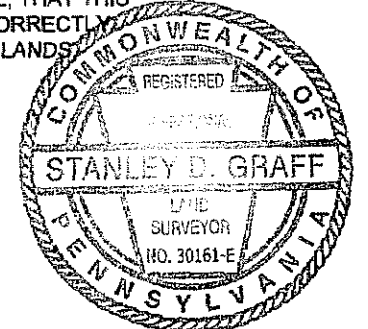
MY COMMISSION EXPIRES THE 9 DAY OF April, 2022

x Carrie Bedell
 NOTARY PUBLIC



SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

15 SEPT. 2020
 DATE
 x Stanley D. Graff
 STANLEY D. GRAFF
 REG. NO. SU-950161-E



MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLINTON, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF CLINTON ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS
 APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLINTON THIS 21 DAY OF September, 2020.

x Janet Hanger
 SECRETARY
 x Kevin M. Conner
 CHAIRPERSON
 BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF CLINTON THIS 21st DAY OF September, 2020.

x Brian W. White
 SECRETARY
 x Kevin M. Conner
 CHAIRPERSON
 PLANNING COMMISSION

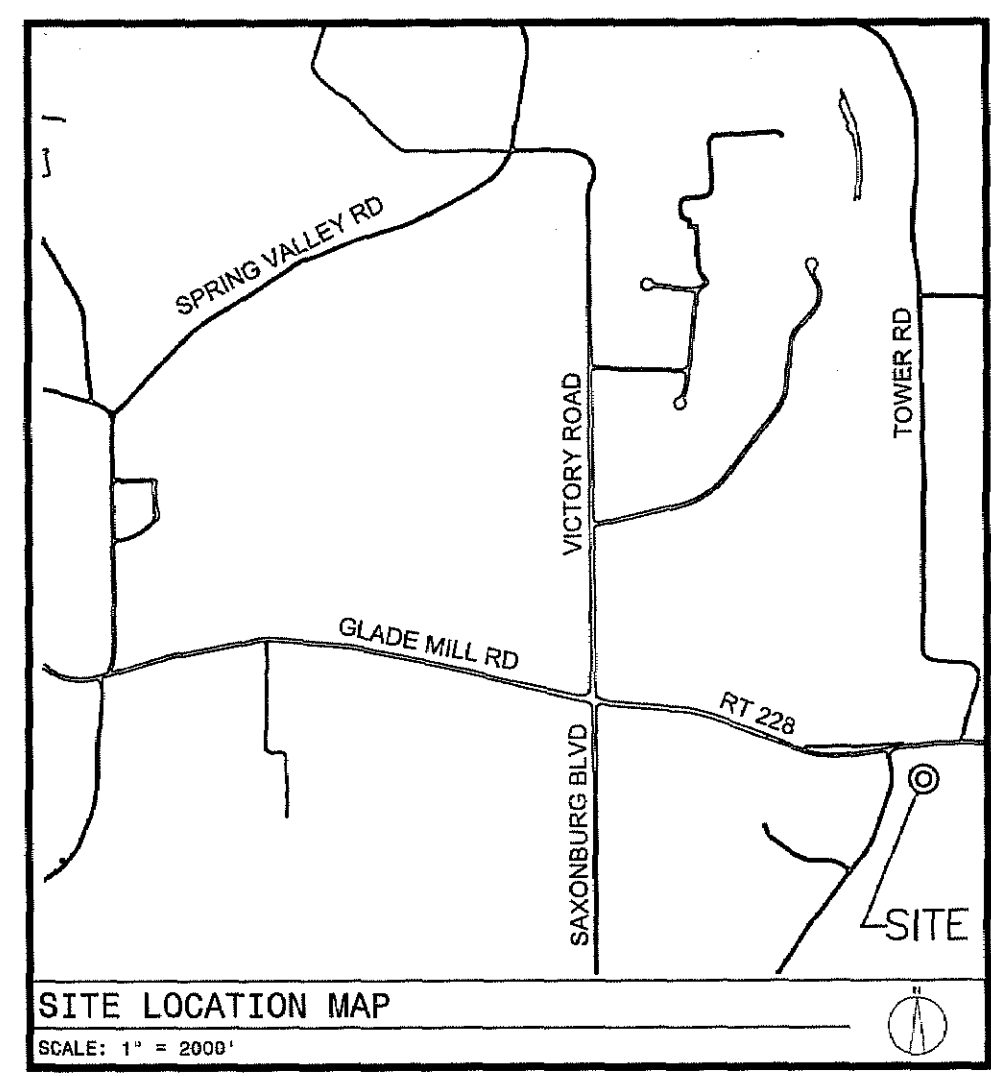
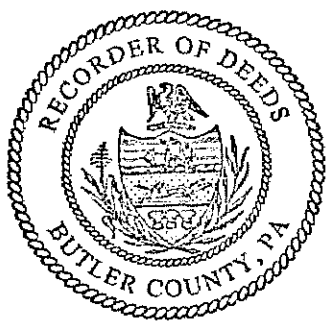
BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 16 DAY OF SEPTEMBER, 2020.

x R. Hanger
 SECRETARY
 x Janet Hanger
 CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION

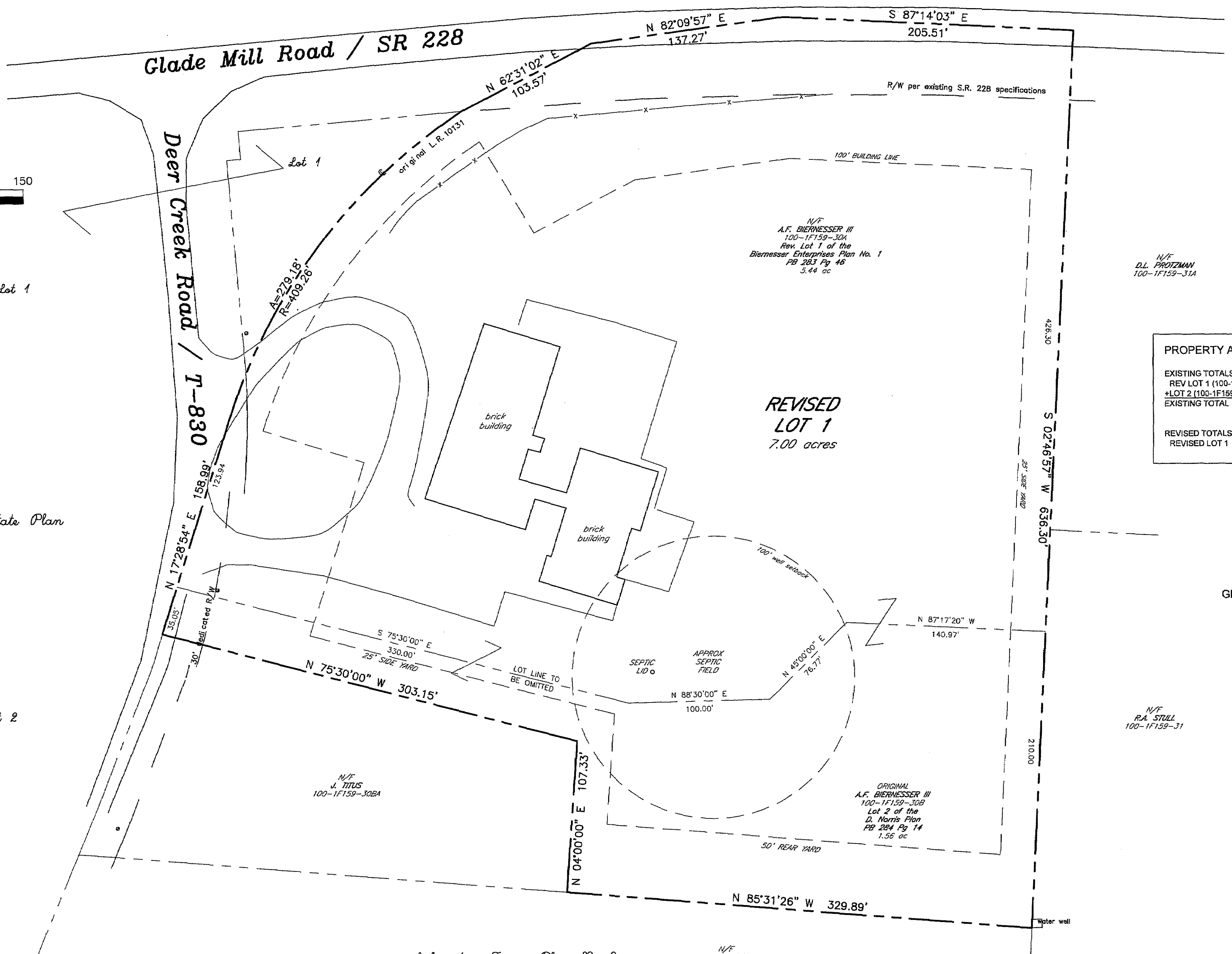
PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 388, PAGE(S) 4

GIVEN UNDER MY HAND AND SEAL THIS 25 DAY OF September, 2020.

x Michele M. Mustello
 RECORDER OF DEEDS



NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.
 TOGETHER WITH ANY IMPROVEMENTS AND/OR STRUCTURES



PROPERTY AREAS:

| | |
|---------------------------|---------|
| EXISTING TOTALS | |
| REV LOT 1 (100-1F159-30A) | 5.44 AC |
| + LOT 2 (100-1F159-30B) | 1.56 AC |
| EXISTING TOTAL | 7.00 AC |
| REVISED TOTALS | |
| REVISED LOT 1 | 7.00 AC |

- GENERAL NOTES:**
- TAX IDS: 100-1F159-30A & 30B
 - OWNERS: ARTHUR AND LINDA BIERNESSEER III
 - ZONING DISTRICT: AGRICULTURE CONSERVATION
 - REFERENCES:
 - CURRENT DEEDS OF RECORD
 - PREVIOUSLY RECORDED PLANS
 - SCHOENTAG FARM PLAN NO. 2 PLAN BOOK 209 PG 1
 - S.A. LUSIC ESTATE PLAN PLAN BOOK 126 PG 34
 - 1949 H. WARNICK SURVEY FOR R.E. SCHONETAG PLAN BOOK 283 PG 46
 - BIERNESSEER ENTERPRISES PLAN NO. 1 PLAN BOOK 283 PG 46
 - D. NORRIS PLAN PLAN BOOK 284 PG 14

- References:**
- Schoentag Farm Plan No.2 P.B.Vol.209 Pg.1
 - S. A. Lusic Estate Plan P.B.Vol.126 Pg.24
 - '49 H. Warnick Survey for R. E. Schonietag P.B.Vol.283 Pg.46
 - Biernesseeer Enterprises Plan No.1 P.B.Vol.284 Pg.14
 - D. Norris Plan P.B.Vol.284 Pg.14

A. BIERNESSEER PLAN

Being a consolidation of Revised Lot 1 of the Biernesseeer Enterprises Plan No. 1 (PB 283 Pg 46) and Lot 2 of the D. Norris Plan (PB 284 Pg 14), and being Butler County Tax Parcels 100-1F159-30A (Revised Lot 1) and 100-1F159-30B (Lot 2)

| | |
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| RECORDED | 20 |
| PLAN BOOK | PAGE |
| 388 | 4 |
| SHEET | of |

| REV | DESCRIPTION | BY | DATE |
|--|---------------------|----------|----------|
| | | | |
| GRAFF SURVEYING LLC PO BOX 521 SAXONBURG, PA 16056 P: 724-352-3811 F: 724-352-1059 INFO@GRAFFSURVEYING.COM WWW.GRAFFSURVEYING.COM | | | |
| PROJECT DESCRIPTION A. BIERNESSEER PLAN BEING A CONSOLIDATION FOR ARTHUR AND LINDA BIERNESSEER | | | |
| SITUATE CLINTON TOWNSHIP BUTLER COUNTY, PENNSYLVANIA | | | |
| DATE | DRAWN | CHECKED | SCALE |
| 08/26/2020 | SDG | Sdg | 1" = 50' |
| PROJECT NO. | TAX PARCEL NO. | REVISION | |
| 20-150 | 100-1F159-30A & 30B | - | |

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT I, DOUGLAS J. REHAK, OF THE TOWNSHIP OF BUFFALO, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR MYSELF, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS MY PLAN OF LOTS OF MY PROPERTIES, SITUATE IN THE TOWNSHIP OF BUFFALO, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF BUFFALO, I HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF BUFFALO, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNER, HIS HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERUNTO SET MY HAND AND SEAL THIS 25th DAY OF September, 2020.

Douglas J. Rehak
 DOUGLAS J. REHAK

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, Douglas J. Rehak, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 25th DAY OF September, 2020.

MY COMMISSION EXPIRES THE 12th DAY OF March, 2024.

Darryl McFarlane
 NOTARY PUBLIC
 My Commission Expires March 12, 2024
 My Commission Number 1240359
 Darryl McFarlane, Notary Public
 Commonwealth of Pennsylvania - Notary Seal

SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME ALONE OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

10 SEPT. 2020
 DATE
Stanley D. Graff
 STANLEY D. GRAFF
 REG. NO. SU-30316-E

MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF BUFFALO, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF BUFFALO ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF BUFFALO THIS 9th DAY OF September, 2020.

Janice L. Zubrin
 SECRETARY
Scott B. Camerlo
 CHAIRPERSON
 BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF BUFFALO THIS 2nd DAY OF September, 2020.

Lucas R. Guez
 SECRETARY
Scott B. Camerlo
 CHAIRPERSON
 PLANNING COMMISSION

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 19th DAY OF August, 2020.

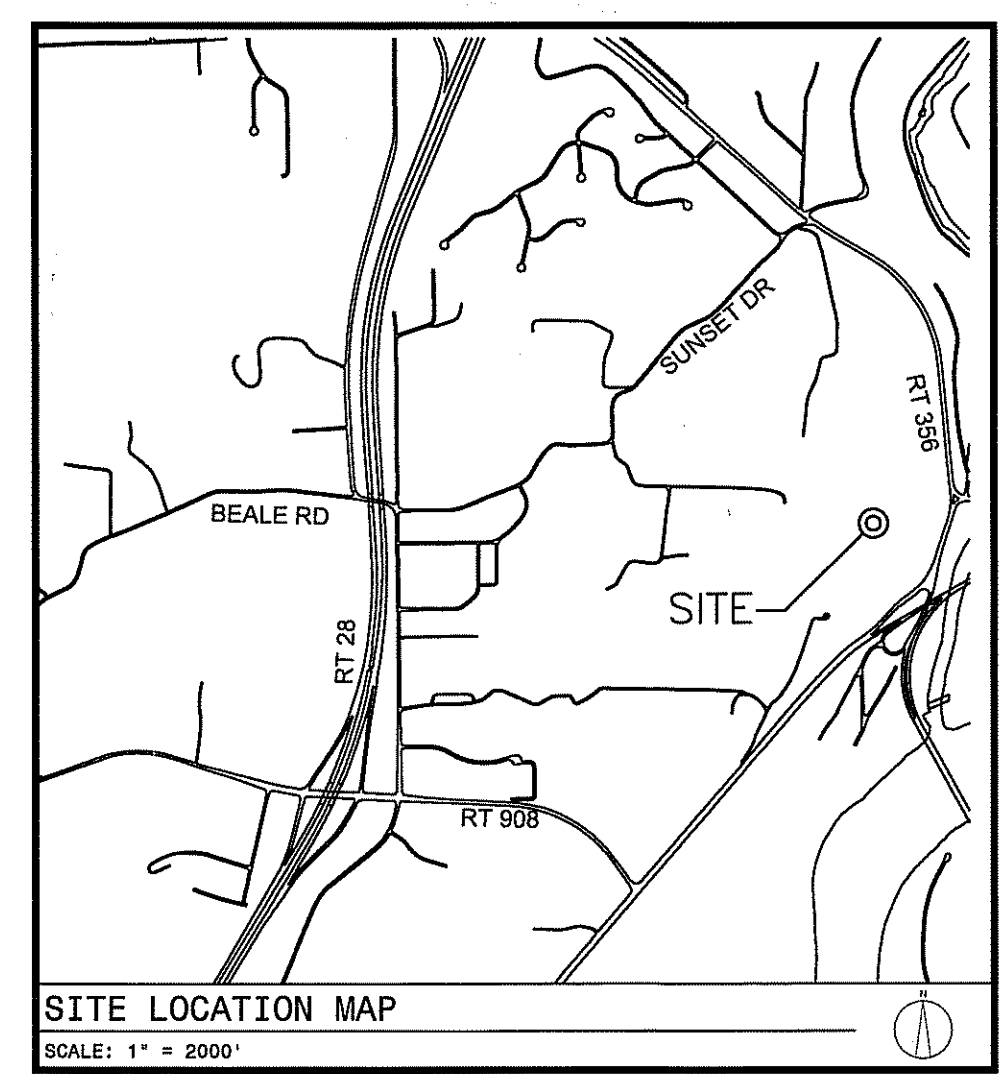
Lucas R. Guez
 SECRETARY
Scott B. Camerlo
 CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 388, PAGE(S) 5

GIVEN UNDER MY HAND AND SEAL THIS 28th DAY OF September, 2020.

Michele M. Mustello
 RECORDER OF DEEDS
MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



HIGHWAY OCCUPANCY PERMIT:
 A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE STATE HIGHWAY LAW (P.L. 1242, NO. 428).

PLAN ORIENTATION NOTE: THE BEARINGS SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE COORDINATE SYSTEM (PA-S) / NAD 1983

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT WE, SCOTT B. CAMERLO AND LAURA L. SHERRY, OF THE TOWNSHIP OF BUFFALO, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF BUFFALO, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF BUFFALO, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF BUFFALO, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERUNTO SET MY HAND AND SEAL THIS 25th DAY OF September, 2020.

Scott B. Camerlo
 SCOTT B. CAMERLO
Laura L. Sherry
 LAURA L. SHERRY
 DECEASED 11-15-17

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, Scott B. Camerlo AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 25th DAY OF September, 2020.

MY COMMISSION EXPIRES THE 12th DAY OF March, 2024.

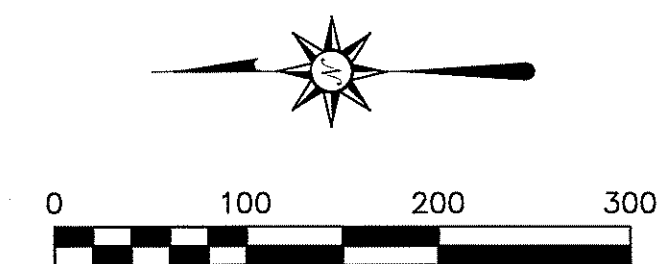
Darryl McFarlane
 NOTARY PUBLIC
 Commonwealth of Pennsylvania - Notary Seal
 Darryl McFarlane, Notary Public
 Armstrong County
 My Commission Expires March 12, 2024
 Commission Number 1240359
 Member, Pennsylvania Association of Notaries

| BUFFALO TOWNSHIP A-1 AGRICULTURAL DISTRICT | | BUFFALO TOWNSHIP C-1 CONSERVATION DISTRICT | |
|---|--------------------|---|--------------------|
| Dimension | All Permitted Uses | Dimension | All Permitted Uses |
| Min. Lot Area | 80,000 sq ft | Min. Lot Area | 40,000 sq ft NET |
| Min. Lot Width | 150 feet | Min. Lot Width | 150 feet |
| Min. Front Yard Depth | 50 feet | Min. Front Yard Depth | 50 feet |
| Min. Side Yard Depth | 20 feet | Min. Side Yard Depth | 20 feet |
| Min. Rear Yard Depth | 20 feet | Min. Rear Yard Depth | 20 feet |

REHAK / CAMERLO PLAN

Being a lot line revision of Butler County Tax Parcels 040-S4-G and 040-S-D5

| Course | Bearing | Distance |
|--------|---------------|----------|
| L1 | S 45°41'00" E | 89.96' |
| L2 | S 44°19'30" W | 90.77' |
| L3 | N 45°08'00" W | 58.34' |
| L4 | S 42°19'00" W | 21.00' |
| L5 | N 45°08'00" W | 150.08' |
| L6 | S 42°19'00" W | 99.68' |
| L7 | S 45°41'00" E | 180.00' |
| L8 | N 42°19'00" E | 17.00' |
| L9 | S 34°12'00" E | 160.79' |
| L10 | S 44°20'40" W | 39.99' |



- GENERAL NOTES:**
- PROPERTY OWNERS: 040-S4-G DOUGLAS REHAK
040-S4-D5 SCOTT CAMERLO & LAURA SHERRY
 - ZONING DISTRICTS: C-1 CONSERVATION & A-1 AGRICULTURAL
 - LOT REQUIREMENTS: SEE TABLES
 - REFERENCES:
 - CURRENT DEEDS OF RECORD
 - PREVIOUSLY RECORDED PLANS
 - WEITZEN PLAN NO. 2
 - PLAN BOOK 282 PG 30
 - PENNDOT HIGHWAY DRAWINGS

| | |
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| RECORDED | 20 |
| PLAN BOOK | PAGE |
| 388 | 5 |
| SHEET | of |

| | | | |
|-----|---------------------------|-----|-----------|
| A | REVISED PROPERTY 040-S4-G | SDG | 8/28/2020 |
| REV | DESCRIPTION | BY | DATE |

GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 | F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION
 REHAK/CAMERLO PLAN
 BEING A
 LOT LINE REVISION
 FOR
 DOUGLAS REHAK AND
 SCOTT CAMERLO & LAURA SHERRY

SITUATE
 BUFFALO TOWNSHIP
 BUTLER COUNTY, PENNSYLVANIA

| | | | |
|------------|-------|---------|-----------|
| DATE | DRAWN | CHECKED | SCALE |
| 06/22/2020 | SDG | Sdg | 1" = 100' |

| | | |
|-------------|----------------|----------|
| PROJECT NO. | TAX PARCEL NO. | REVISION |
| 20-048 | 040-S4-G & D5 | A |

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS, THAT CABOT RESOURCES CORPORATION BY VIRTUE OF A RESOLUTION OF ITS BOARD OF DIRECTORS, DOES HEREBY ADOPT THIS PLAN OF SUBDIVISION OF ITS PROPERTY, SITUATE IN THE TOWNSHIP OF BUFFALO, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVER ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE TOWNSHIP OF BUFFALO, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA.
 CABOT RESOURCES CORPORATION HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF BUFFALO, COUNTY OF BUTLER, ITS SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADINGS THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON CABOT RESOURCES CORPORATION ITS SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE HAND OF ITS PRESIDENT AND SAME TO BE ATTESTED BY ITS SECRETARY
 THIS 25 DAY OF SEPTEMBER, 2020.

CABOT RESOURCES CORPORATION
 NAME OF CORPORATION
 DATE 9-25-2020
 SEAL
 Ronald J. Jack, Secretary
 Joseph W. Conway, President

ACKNOWLEDGMENT OF NOTARY PUBLIC
 COMMONWEALTH OF PENNSYLVANIA
 COUNTY OF BUTLER

ON THIS 25 DAY OF SEPTEMBER, 2020, BEFORE ME, NOTARY PUBLIC AND FOR SAID COUNTY OF COMMONWEALTH, PERSONALLY APPEARED JOSEPH W. CONWAY, PRESIDENT OF CABOT RESOURCES CORPORATION, WHO BEING DULY SWORN, DEPOSES AND SAYS THAT HE WAS PERSONALLY PRESENT AT THE EXECUTION OF THE ADOPTION, RELEASE AND DEDICATION AND SAW THE COMMON AND CORPORATE SEAL OF THE SAID CORPORATION DULY SIGNED AND SEALED BY AND AS FOR THE ACT AND DEED OF THE SAID CABOT RESOURCES CORPORATION FOR THE USES AND PURPOSES THEREIN MENTIONED, AND THAT THE NAME OF THIS DEPENDENT SUBSCRIBED TO THE SAID RELEASED AND DEDICATION AS PRESIDENT OF SAID CORPORATION, IN ATTESTATION OF THE DUE EXECUTION AND DELIVERY OF SAID RELEASE AND DEDICATION OF THIS DEPENDENT'S OWN AND PROPER AND RESPECTIVE HANDWRITING.

Joseph W. Conway
 JOSEPH W. CONWAY, PRESIDENT
 SWORN TO AND SUBSCRIBED BEFORE ME THIS 25 DAY OF SEPTEMBER, 2020

Commonwealth of Pennsylvania - Notary Seal
 Debra L. Jeffcoat, Notary Public
 Butler County
 My commission expires February 17, 2023
 Commission number 1152784
 Member, Pennsylvania Association of Notaries

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023

Debra L. Jeffcoat
 NOTARY PUBLIC

SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON THE ACTUAL FIELD SURVEY OF THE LAND SHOWN AND DESCRIBED AND THAT ALL ANGLES, DISTANCES, AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS AS SHOWN ON THE PLAN HAVE BEEN, OR WILL BE SET, AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

DATE 10 SEPT 2020
 STANLEY D. GRAFF, REG. NO. SU-030161-E

MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF BUFFALO, HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF BUFFALO ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR TO GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

Janice Y. Zubrin, Secretary
 Board of Supervisors

MUNICIPAL REVIEW AND APPROVAL STATEMENTS
 REVIEWED BY THE TOWNSHIP OF BUFFALO PLANNING COMMISSION THIS 2nd DAY OF SEPTEMBER, 2020.

Janice K. Gray, Secretary
 Planning Commission

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF BUFFALO BY RESOLUTION NO. 9th DAY OF SEPTEMBER, 2020.

Janice Y. Zubrin, Secretary
 Board of Supervisors

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 19th DAY OF AUGUST, 2020.

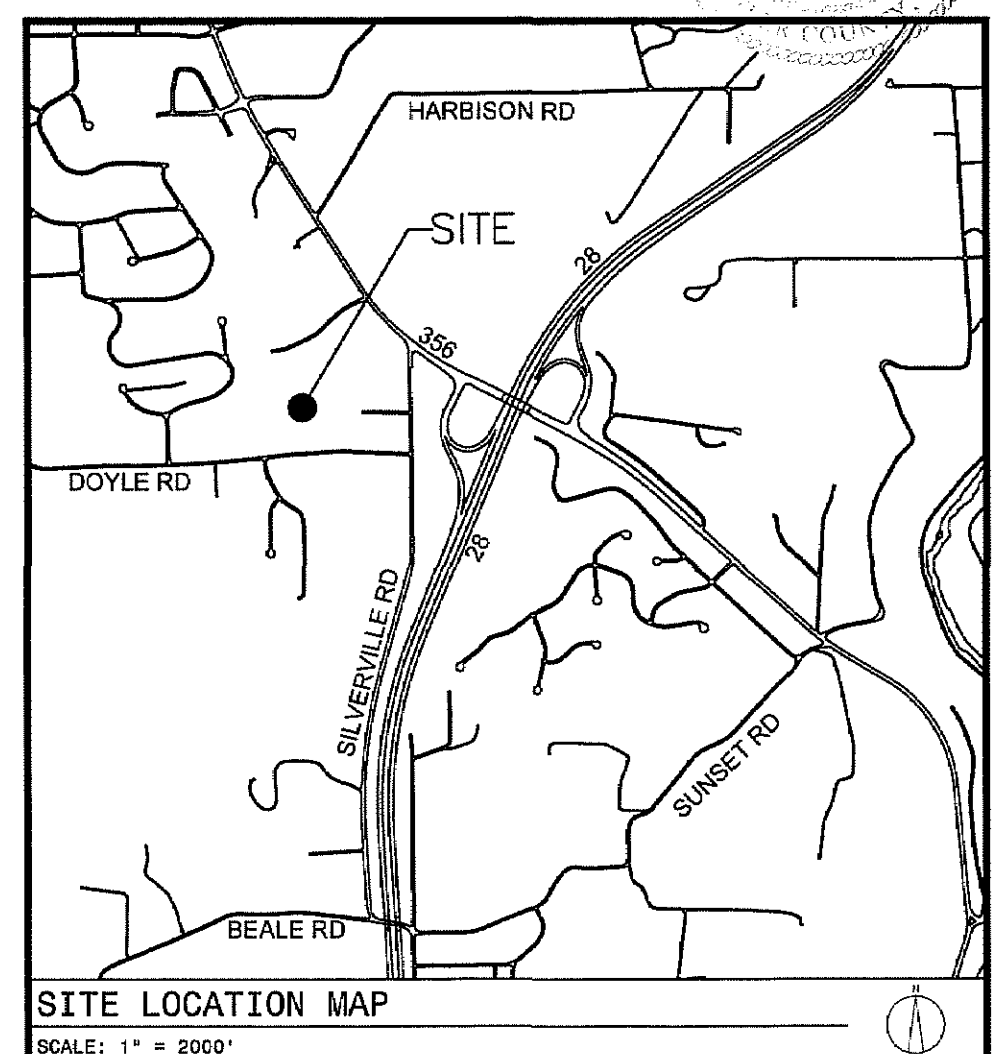
SEE COMMENTS ON FILE AT THE BUTLER COUNTY PLANNING COMMISSION: PLAN NUMBER 2017B

R. H. G. M., Secretary
 Butler County Planning Commission

PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 388 PAGE 6

GIVEN UNDER MY HAND AND SEAL THIS 25th DAY OF SEPTEMBER, 2020
 Michele M. Mustello, Recorder of Deeds

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT WE, JOHN M. AND SUSAN E. ZURISKO, OF THE TOWNSHIP OF BUFFALO, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF BUFFALO, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF BUFFALO, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF BUFFALO, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADINGS THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE HERETO SET OUR HAND AND SEAL THIS 25 DAY OF SEPTEMBER, 2020.

John M. Zurisko, Susan E. Zurisko

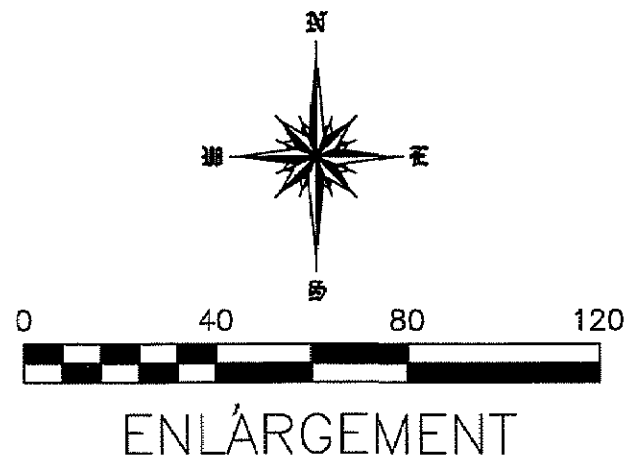
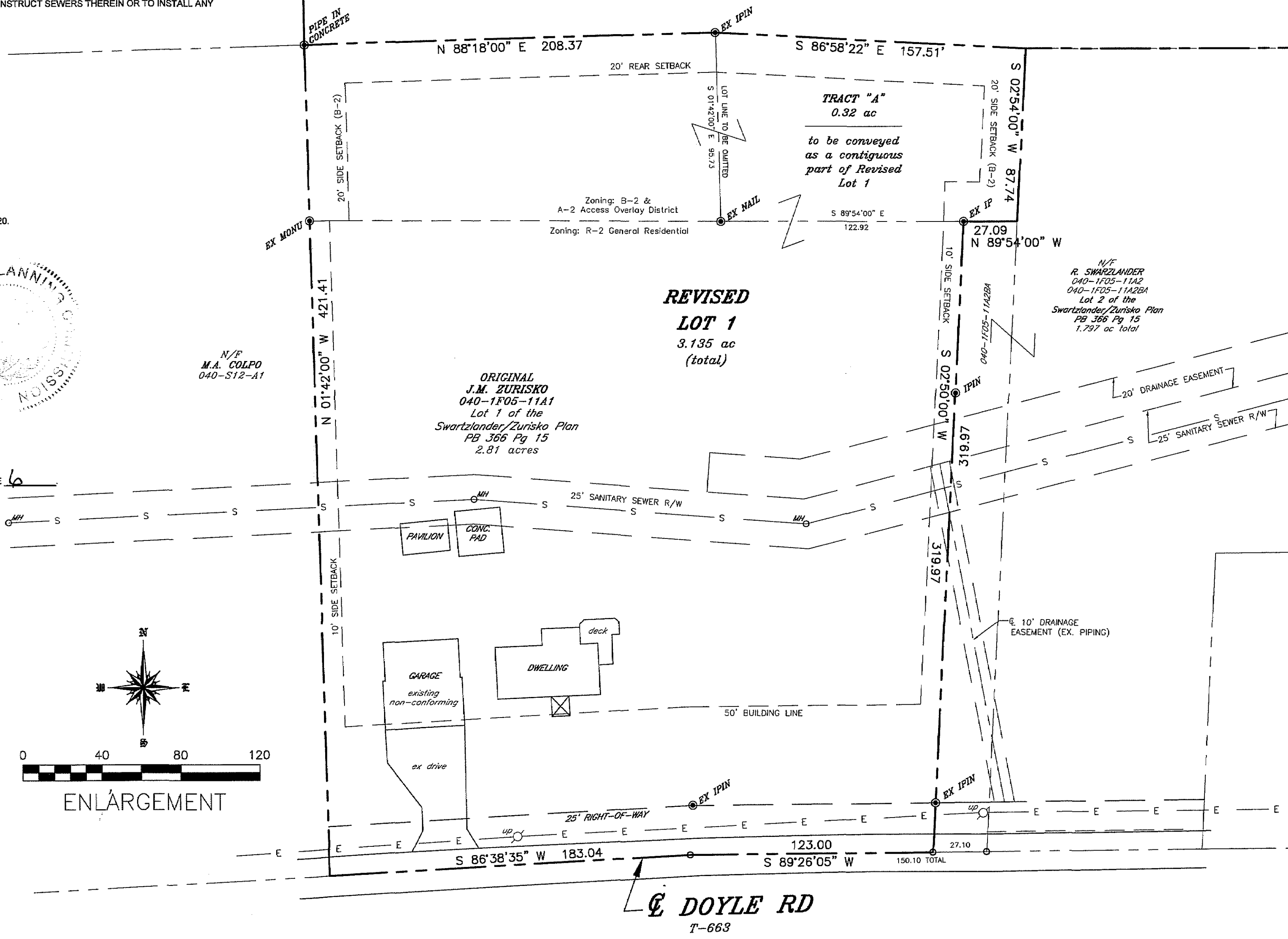
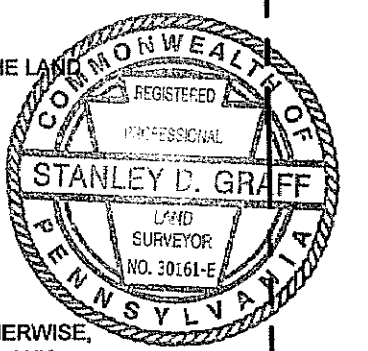
ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, JOHN M. AND SUSAN E. ZURISKO, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 25 DAY OF SEPTEMBER, 2020.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023

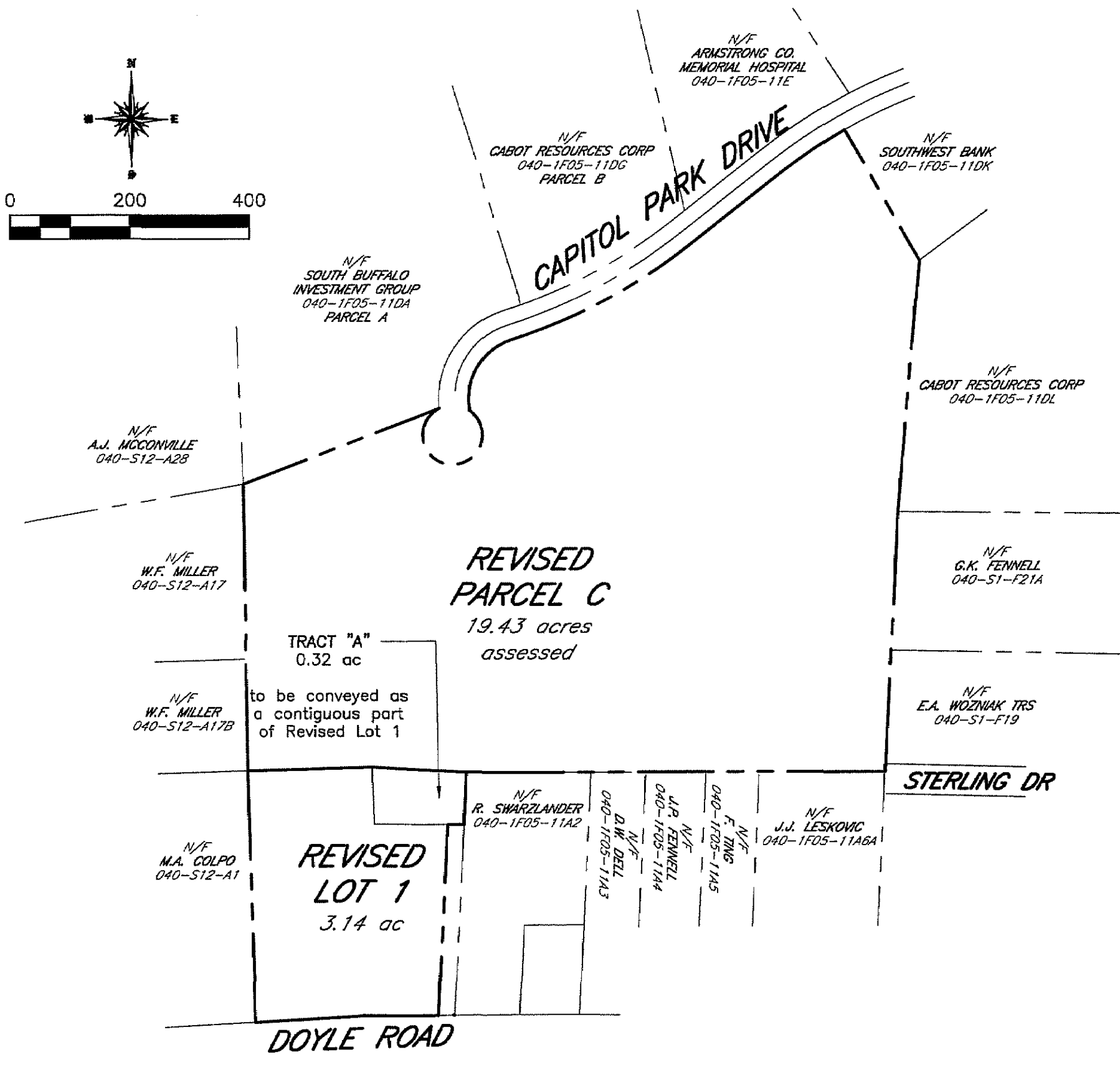
Debra L. Jeffcoat, Notary Public

Commonwealth of Pennsylvania - Notary Seal
 Debra L. Jeffcoat, Notary Public
 Butler County
 My commission expires February 17, 2023
 Commission number 1152784
 Member, Pennsylvania Association of Notaries



CABOT RESOURCES/ZURISKO PLAN

Being a lot line revision of Butler County Tax Parcels 040-1F05-11D AND 040-1F05-11A1



| PROPERTY AREAS: | |
|-------------------------|--|
| ORIGINAL TOTALS | 340-1F05-11D (PARCEL C) 19.75 ASSESSED ACRES |
| + 040-1F05-11A1 (LOT 1) | 2.81 ACRES |
| EXISTING TOTAL | 22.56 ACRES |
| REVISED PARCEL C | 040-1F05-11D (PARCEL C) 19.75 ASSESSED ACRES |
| - TRACT A | 0.32 ACRES |
| REVISED PARCEL C TOTAL | 19.43 ACRES |
| REVISED LOT 1 | 040-1F05-11A1 (LOT 1) 2.81 ACRES |
| + TRACT A | 0.32 ACRES |
| REVISED LOT 1 TOTAL | 3.13 ACRES |
| REVISED TOTALS | REVISED PARCEL C 19.43 ACRES |
| + REVISED LOT 1 | 3.13 ACRES |
| REVISED TOTAL | 22.56 ACRES |

- GENERAL NOTES:**
- OWNERS: 040-1F05-11A1 - JOHN & SUSAN ZURISKO
 040-1F05-11D - CABOT RESOURCES CORPORATION
 - ZONING: R-2 GENERAL RESIDENTIAL
 - REFERENCES
 - CURRENT DEEDS OF RECORD
 - PREVIOUSLY RECORDED PLANS
 - CAPITOL PARK PLAN NO. 2
 PLAN BOOK 333 PG 10
 SWARTZLANDER/ZURISKO PLAN
 PLAN BOOK 366 PG 15

| | |
|------------|----------|
| RECORDED | 20 |
| PLAN BOOK | PAGE |
| 388 | 6 |
| SHEET | of |

GRAFF SURVEYING

GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION
CABOT RESOURCES / ZURISKO PLAN
 BEING A
LOT LINE REVISION
 FOR
CABOT RESOURCES CORP. and JOHN & SUSAN ZURISKO

SITUATE
 BUFFALO TOWNSHIP
 BUTLER COUNTY, PENNSYLVANIA

| | | | |
|-------------|---------------------|----------|----------|
| DATE | DRAWN | CHECKED | SCALE |
| 8/12/20 | SDG | Sdg | 1" = 40' |
| PROJECT NO. | TAX PARCEL NO. | REVISION | |
| 20-131 | 040-1F05-11D & 11A1 | A | |

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT WE, PAUL AND MARY JANE FUREY, OF THE TOWNSHIP OF CLEARFIELD, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS 2 OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF CLEARFIELD, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR OUR ADVANTAGES ACCORDING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CLEARFIELD, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CLEARFIELD, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 25 DAY OF SEPTEMBER, 2020.

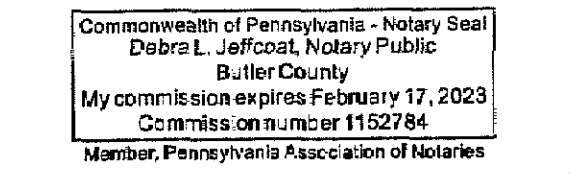
x PAUL FUREY
 x MARY JANE FUREY

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, PAUL AND MARY JANE FUREY, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 25 DAY OF SEPTEMBER, 2020.

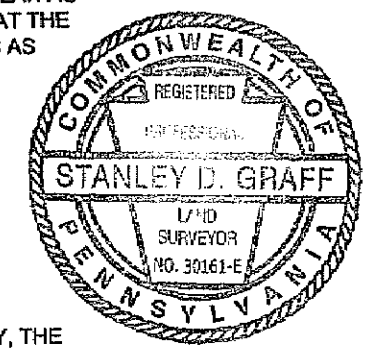
MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023.

x Debra L. Jeffcoat
 NOTARY PUBLIC



SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

14 SEPT. 2020
 DATE
 x Stanley D. Graff
 REG. NO. SU-09016-E



MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLEARFIELD, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF CLEARFIELD ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS
 APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLEARFIELD THIS 14th DAY OF September, 2020.

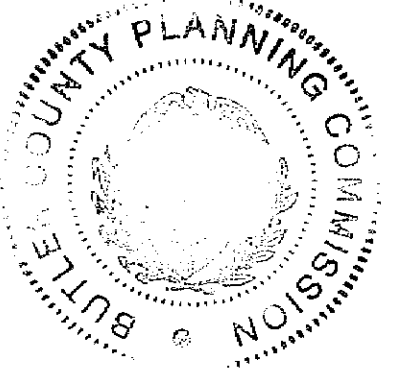
x James B. Boudry
 SECRETARY
 x Debra L. Jeffcoat
 CHAIRPERSON
 BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF CLEARFIELD THIS 08th DAY OF Sept., 2020.

x Debra L. Jeffcoat
 SECRETARY
 x Stanley D. Graff
 CHAIRPERSON
 PLANNING COMMISSION

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 19th DAY OF AUGUST, 2020.

x Robert J. Garm
 SECRETARY
 x Stanley D. Graff
 CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION

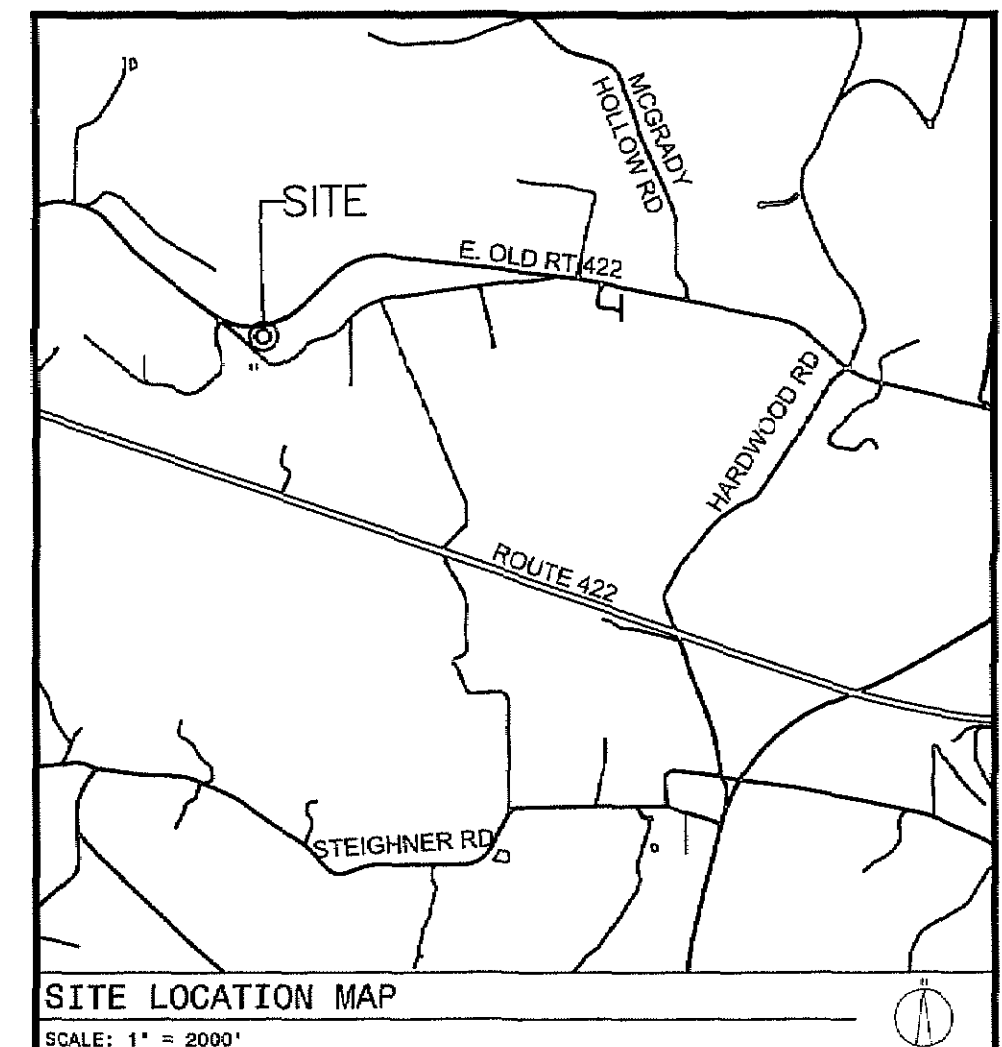
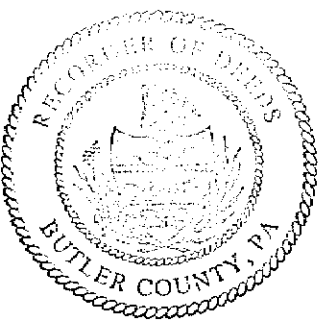


PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 388, PAGE(S) 7.

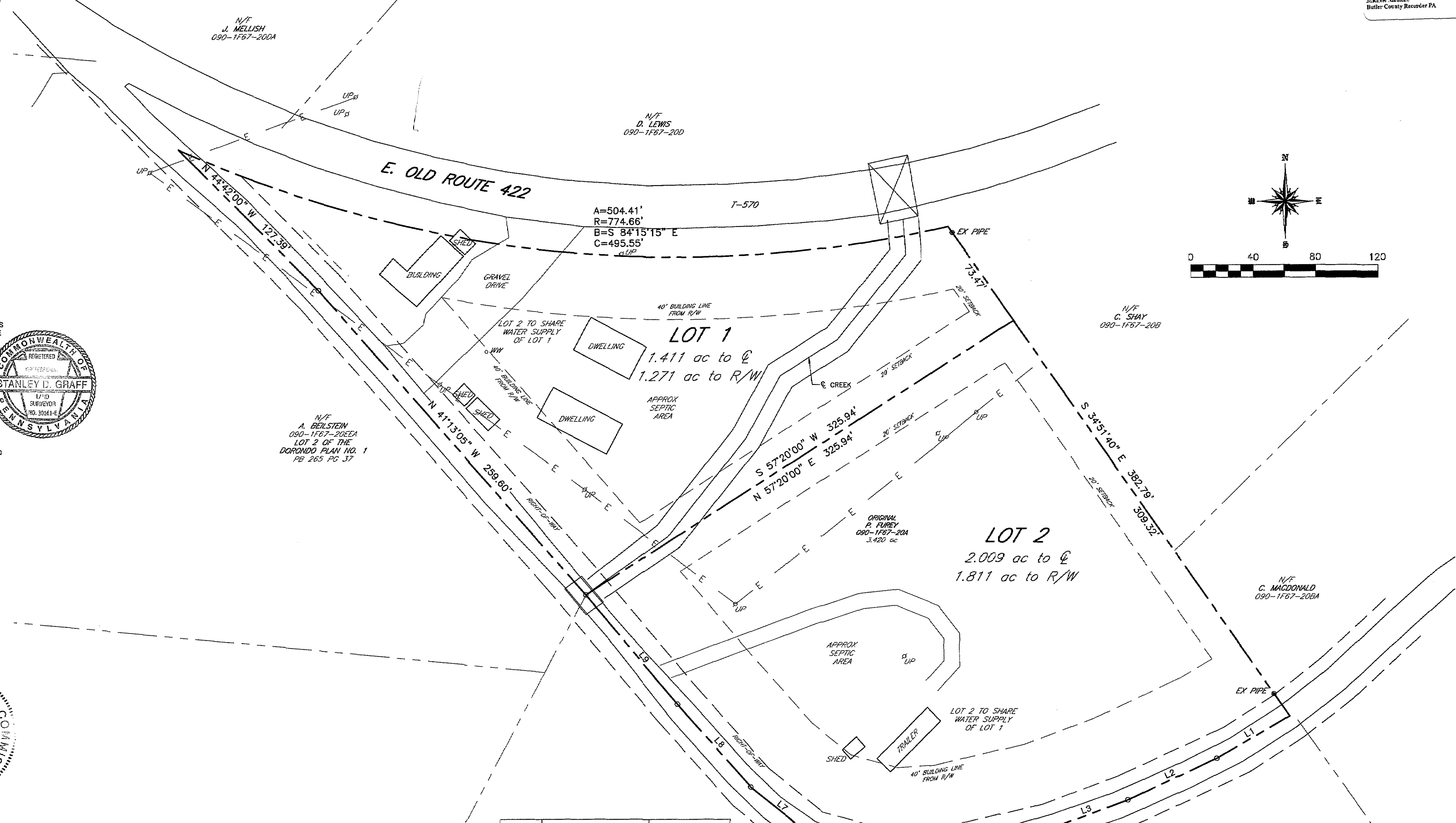
GIVEN UNDER MY HAND AND SEAL THIS 28th DAY OF September, 2020.

x Michele M. Mustello
 RECORDER OF DEEDS

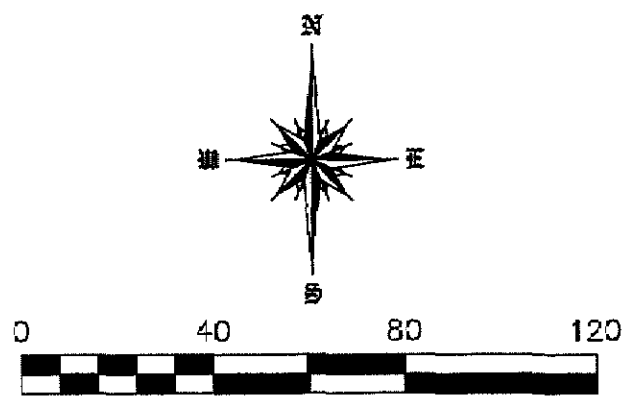
MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.



| Course | Bearing | Distance |
|--------|---------------|----------|
| L1 | S 69°01'00" W | 53.97' |
| L2 | S 64°49'43" W | 63.00' |
| L3 | S 69°37'55" W | 53.34' |
| L4 | S 76°54'40" W | 68.00' |
| L5 | S 86°27'38" W | 37.50' |
| L6 | N 74°41'50" W | 52.00' |
| L7 | N 50°52'18" W | 48.69' |
| L8 | N 41°28'30" W | 71.00' |
| L9 | N 39°55'19" W | 91.65' |



P. FUREY PLAN

Being a subdivision of Butler County
 Tax Parcel 090-1F67-20A

- GENERAL NOTES:**
- TAX ID: 090-1F67-20A
 - OWNERS: PAUL AND MARY JANE FUREY
 - SETBACKS: FRONT LINE - 40'
BACK & SIDE - 20'
 - PA ONE CALL: SERIAL NUMBER 20202301483
 - REFERENCES:
 - CURRENT DEEDS OF RECORD
 - PREVIOUSLY RECORDED PLANS
 - DORONDO PLAN NO. 1
PLAN BOOK 266 PG 37
 - SHAY PLAN OF SUBDIVISION
PLAN BOOK 205 PG 9
 - PENN DOT HIGHWAY MAPS

| | |
|------------|----------|
| RECORDED | 20 |
| PLAN BOOK | PAGE |
| 388 | 7 |
| SHEET | of |

GRAFF SURVEYING

GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION
P. FUREY PLAN
 BEING A
 SUBDIVISION
 FOR
 PAUL AND MARY JANE
 FUREY

SITUATE
 CLEARFIELD TOWNSHIP
 BUTLER COUNTY, PENNSYLVANIA

| | | | |
|-------------|----------------|----------|----------|
| DATE | DRAWN | CHECKED | SCALE |
| 08/07/2020 | SDG | Sdg | 1" = 40' |
| PROJECT NO. | TAX PARCEL NO. | REVISION | |
| 20-112 | 090-1F67-20A | A | |

Instr: 202009290021280
 9/29/2020 2:17 PM
 Michele Mustello
 Butler County Recorder PA

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS, THAT STEPP HOLDINGS LLC BY VIRTUE OF A RESOLUTION OF ITS BOARD OF DIRECTORS, DOES HEREBY ADOPT THIS PLAN OF SUBDIVISION OF ITS PROPERTY, SITUATE IN PENN TOWNSHIP, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVER ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY PENN TOWNSHIP, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA.

STEPP HOLDINGS LLC HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE PENN TOWNSHIP, COUNTY OF BUTLER, ITS SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON STEPP HOLDINGS LLC ITS SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE HAND OF ITS MEMBERS THIS 22nd DAY OF September, 2020.

STEPP HOLDINGS LLC
 NAME OF CORPORATION
 SEAL
 MEMBER: Nancy Gross
 MEMBER: Virginia Fenderber
 MEMBER: Patricia J Forbrich

ACKNOWLEDGMENT OF NOTARY PUBLIC
 COMMONWEALTH OF PENNSYLVANIA
 COUNTY OF PA
 ON THIS 22nd DAY OF September, 2020 BEFORE ME, NOTARY PUBLIC FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED

Nancy Gross, Virginia Fenderber and Patricia J Forbrich MEMBERS OF STEPP HOLDINGS LLC, WHO BEING DULY SWORN, DEPOSES AND SAYS THAT THEY WERE PERSONALLY PRESENT AT THE EXECUTION OF THE ADOPTION, RELEASE AND DEDICATION AND SAW THE COMMON AND CORPORATE SEAL OF THE SAID CORPORATION DULY SIGNED AND SEALED BY AND AS FOR THE ACT AND DEED OF THE SAID STEPP HOLDINGS LLC FOR THE USES AND PURPOSES THEREIN MENTIONED, AND THAT THE NAME OF THESE DEponents SUBSCRIBED TO THE SAID RELEASE AND DEDICATION AS MEMBERS OF SAID CORPORATION, IN ATTESTATION OF THE DUE EXECUTION AND DELIVERY OF SAID RELEASE AND DEDICATION OF THIS DEponents OWN AND PROPER AND RESPECTIVE HANDWRITING.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 22 DAY OF September, 2020
 MY COMMISSION EXPIRES THE 1 DAY OF December, 2022

Notary Public Seal: LISA K. BAUMAN - Notary Public, Butler County, My Commission Expires Dec 1, 2022, Commission Number 1286863

SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THIS PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

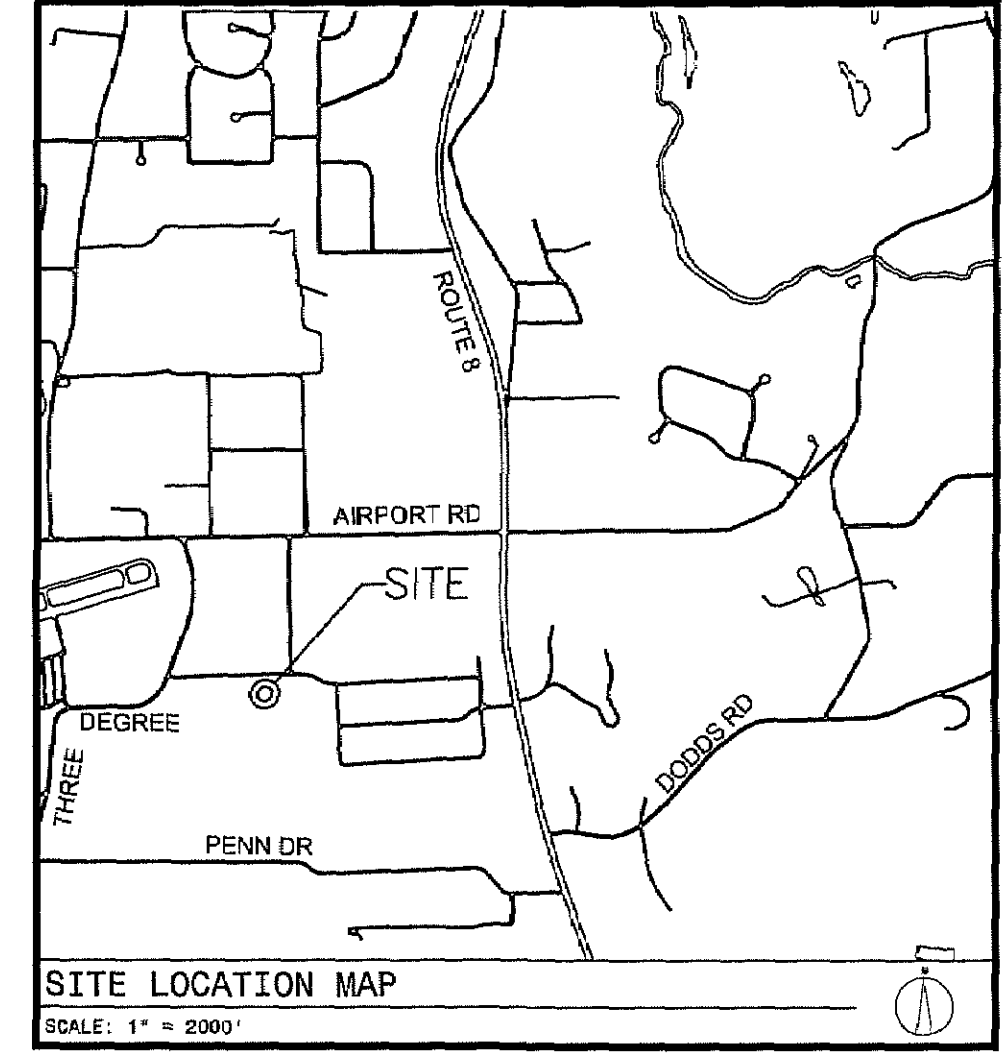
DATE: 10 SEPT 2020
 SURVEYOR: Stanley D. Graff
 REG. NO. SU-000108

MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF PENN TOWNSHIP, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS
 APPROVED BY THE BOARD OF SUPERVISORS OF PENN TOWNSHIP THIS 8 DAY OF September, 2020.
 SECRETARY: Linda D Zupps
 CHAIRPERSON: Samuel McAlister
 BOARD OF SUPERVISORS

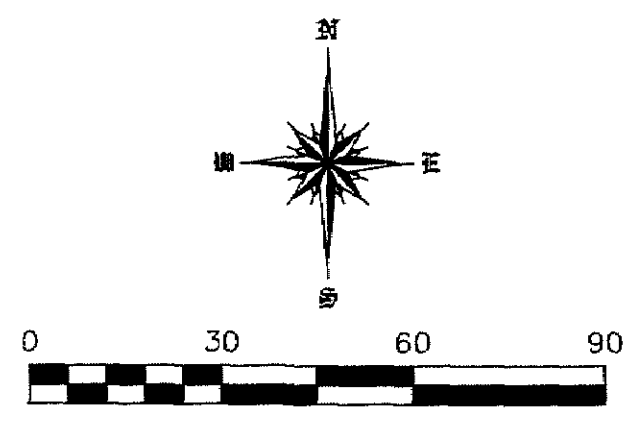
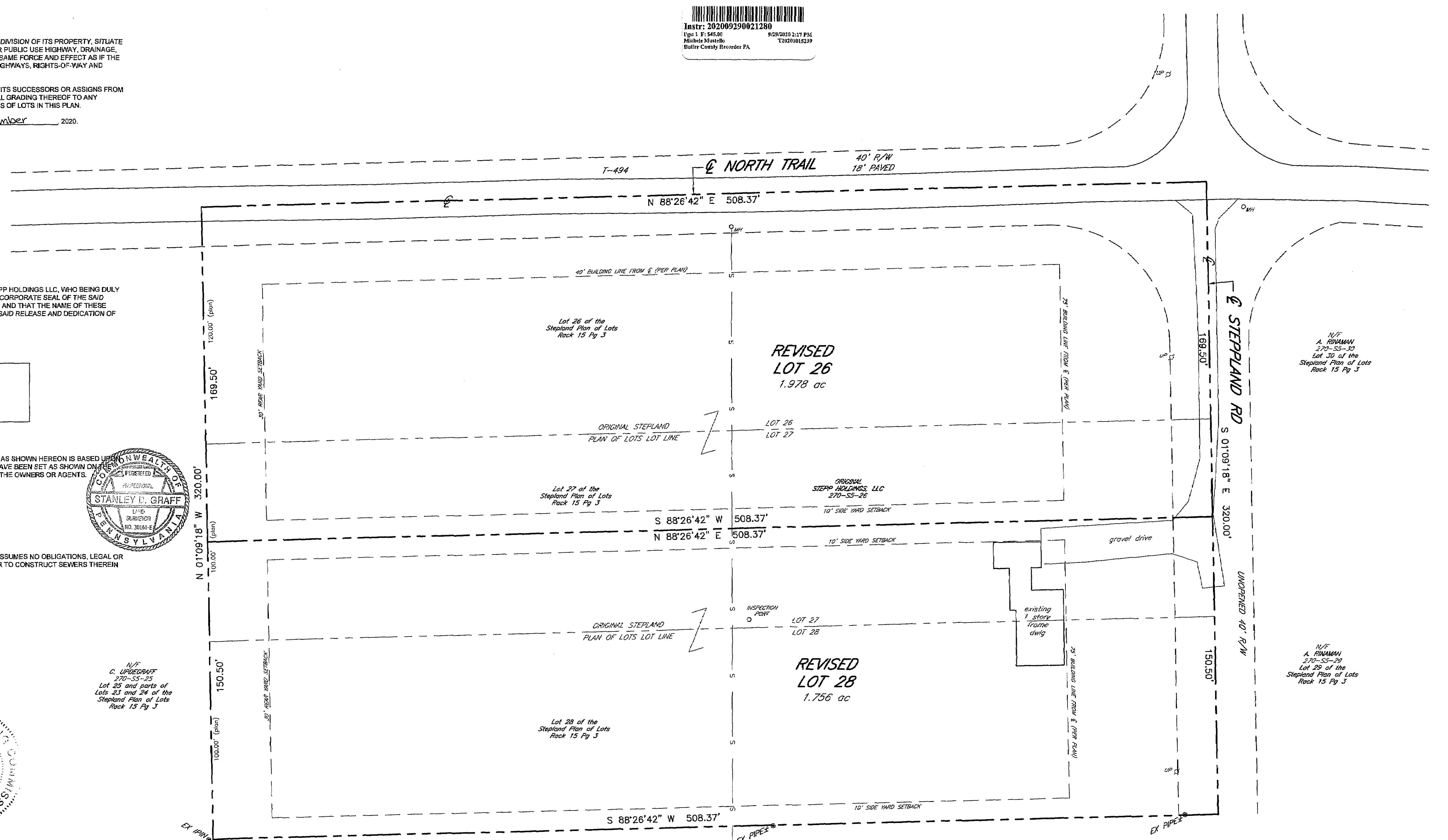
BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 19th DAY OF AUGUST, 2020.
 SECRETARY: R. H. ...
 CHAIRPERSON: Stefan ...
 BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 388 PAGE(S) 8
 GIVEN UNDER MY HAND AND SEAL THIS 29 DAY OF September, 2020.
 RECORDER OF DEEDS: Michele M. Mustello
 MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



PLAN ORIENTATION NOTE: THE BEARINGS SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (PA-S) / NAD 1983

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.



STEPP HOLDINGS LLC PLAN

- GENERAL NOTES:
 1. TAX ID: 270-SS-26
 2. OWNER: STEPP HOLDINGS LLC
 3. REFERENCES
 3.1. CURRENT DEEDS OF RECORD
 3.2. PREVIOUSLY RECORDED PLANS
 3.2.1. STEPLAND PLAN OF LOTS RACK 15 PG 3

| | |
|------------|----------|
| RECORDED | 20 |
| PLAN BOOK | PAGE |
| 388 | 8 |
| SHEET | of |

| | | | |
|---|----------------|----------|----------|
| REV | DESCRIPTION | BY | DATE |
| | | | |
| GRAFF SURVEYING LLC PO BOX 521 SAXONBURG, PA 16056 P: 724-352-3811 F: 724-352-1059 INFO@GRAFFSURVEYING.COM WWW.GRAFFSURVEYING.COM | | | |
| PROJECT DESCRIPTION STEPP HOLDINGS LLC PLAN BEING A LOT LINE REVISION FOR STEPP HOLDINGS LLC | | | |
| SITUATE PENN TOWNSHIP BUTLER COUNTY, PENNSYLVANIA | | | |
| DATE | DRAWN | CHECKED | SCALE |
| 07/30/2020 | SDG | Sdg | 1" = 30' |
| PROJECT NO. | TAX PARCEL NO. | REVISION | |
| 20-097 | 270-SS-26 | | |

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT WE, PHILIP L. & PEGGY E. HAY, OF THE TOWNSHIP OF CLEARFIELD, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF CLEARFIELD, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCORDING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CLEARFIELD, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CLEARFIELD, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 29 DAY OF SEPTEMBER, 2020.

x Philip L. Hay
 PHILIP L. HAY
 x Peggy E. Hay
 PEGGY E. HAY

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, PHILIP L. & PEGGY E. HAY, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 29 DAY OF SEPTEMBER, 2020.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023.

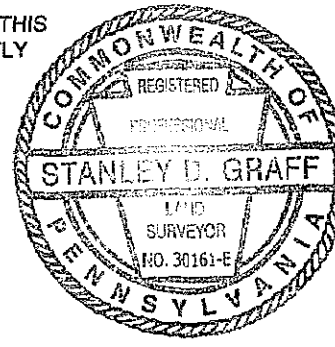
Commonwealth of Pennsylvania - Notary Seal
 Debra L. Jeffcoat, Notary Public
 Butler County
 My commission expires February 17, 2023
 Commission number 1152784
 Member, Pennsylvania Association of Notaries

x Debra L. Jeffcoat
 NOTARY PUBLIC

SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

14 SEPT. 2020
 DATE

x Stanley D. Graff
 STANLEY D. GRAFF
 REG. NO. SU-000361E



MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLEARFIELD, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF CLEARFIELD ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STRIPS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLEARFIELD THIS 14th DAY OF September, 2020.

x Steve Buehl
 SECRETARY
 x Dan Mahan
 CHAIRPERSON
 BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF CLEARFIELD THIS 8th DAY OF Sept., 2020.

x Amy M. Doyle
 SECRETARY
 x Stanley D. Graff
 CHAIRPERSON
 PLANNING COMMISSION

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 19th DAY OF AUGUST, 2020.

x R.H. Gram
 SECRETARY
 x John Gram
 CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING

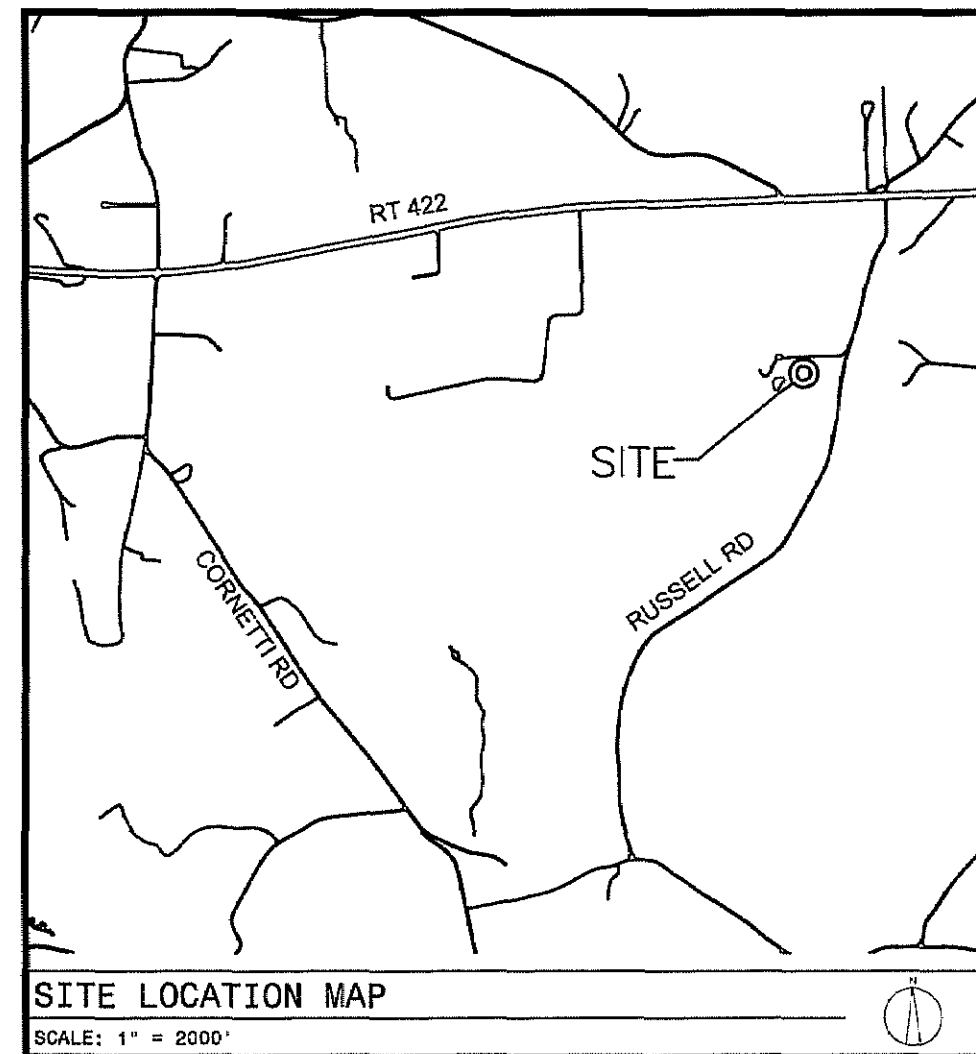
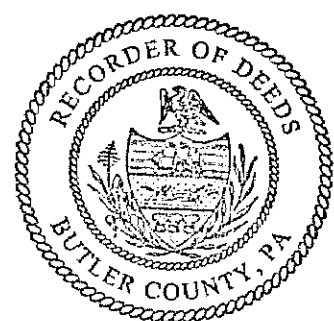
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN

PLAN BOOK VOLUME 388, PAGE(S) 9

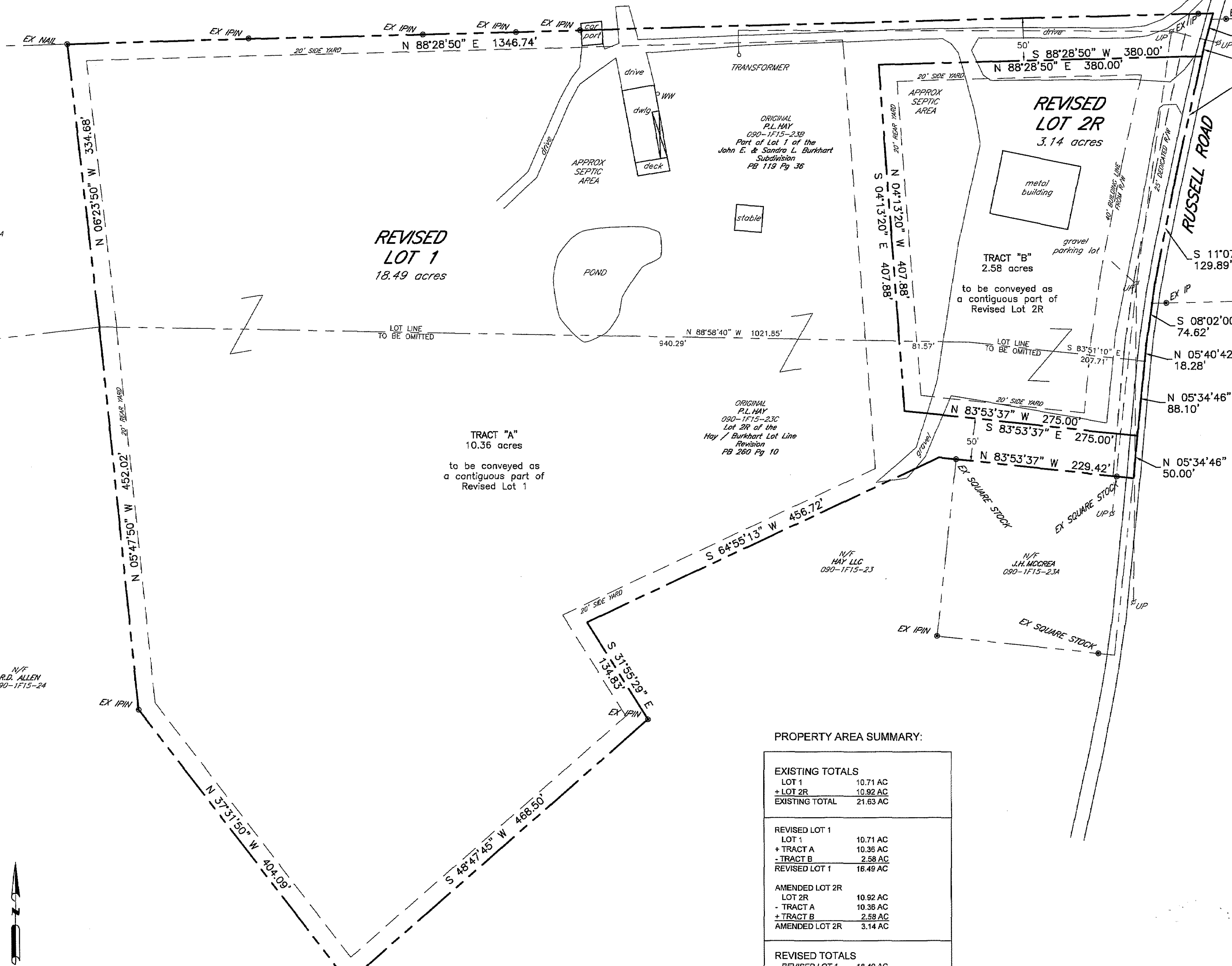
GIVEN UNDER MY HAND AND SEAL THIS 29 DAY OF September, 2020.

x Michele M. Mustello
 RECORDER OF DEEDS

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.



PROPERTY AREA SUMMARY:

| EXISTING TOTALS | |
|------------------|----------|
| LOT 1 | 10.71 AC |
| + LOT 2R | 10.92 AC |
| EXISTING TOTAL | 21.63 AC |
| REVISED LOT 1 | |
| LOT 1 | 10.71 AC |
| + TRACT A | 10.36 AC |
| - TRACT B | 2.58 AC |
| REVISED LOT 1 | 18.49 AC |
| AMENDED LOT 2R | |
| LOT 2R | 10.92 AC |
| - TRACT A | 10.36 AC |
| + TRACT B | 2.58 AC |
| AMENDED LOT 2R | 3.14 AC |
| REVISED TOTALS | |
| REVISED LOT 1 | 18.49 AC |
| + AMENDED LOT 2R | 3.14 AC |
| REVISED TOTAL | 21.63 AC |

GENERAL NOTES:
 1. TAX IDS: 090-1F15-23B, 090-1F15-23C
 2. OWNERS: PHILIP AND PEGGY HAY;
 3. SETBACKS: FRONT LINE - 40' FROM RAW BACK & SIDE - 20'
 4. PA ONE CALL: SERIAL NUMBER 20202301526
 5. REFERENCES
 5.1. CURRENT DEEDS OF RECORD
 5.2. PREVIOUSLY RECORDED PLANS
 5.2.1. BURKHART LOT LINE REVISION PLAN BOOK 260 PG 10
 5.2.2. PARIS ESTATE PLAN PLAN BOOK 259 PG 32
 5.2.3. HAY SUBDIVISION PLAN BOOK 204 PG 47
 5.2.4. BURKHART PLAN NO. 2 PLAN BOOK 167 PG 28
 5.2.5. BURKHART SUBDIVISION PLAN BOOK 119 PG 36

| | |
|------------|----------|
| RECORDED | 20 |
| PLAN BOOK | PAGE |
| 388 | 9 |
| SHEET | of |

| | | | |
|-----|-------------|----|------|
| REV | DESCRIPTION | BY | DATE |
| | | | |

GRAFF SURVEYING

GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION
 P. HAY PLAN NO. 2
 BEING A
 LOT LINE REVISION
 FOR
 PHILIP L. & PEGGY E. HAY

SITUATE
 CLEARFIELD TOWNSHIP
 BUTLER COUNTY, PENNSYLVANIA

| | | | |
|------------|-------|---------|----------|
| DATE | DRAWN | CHECKED | SCALE |
| 07/02/2020 | BAG | Sdg | 1" = 80' |

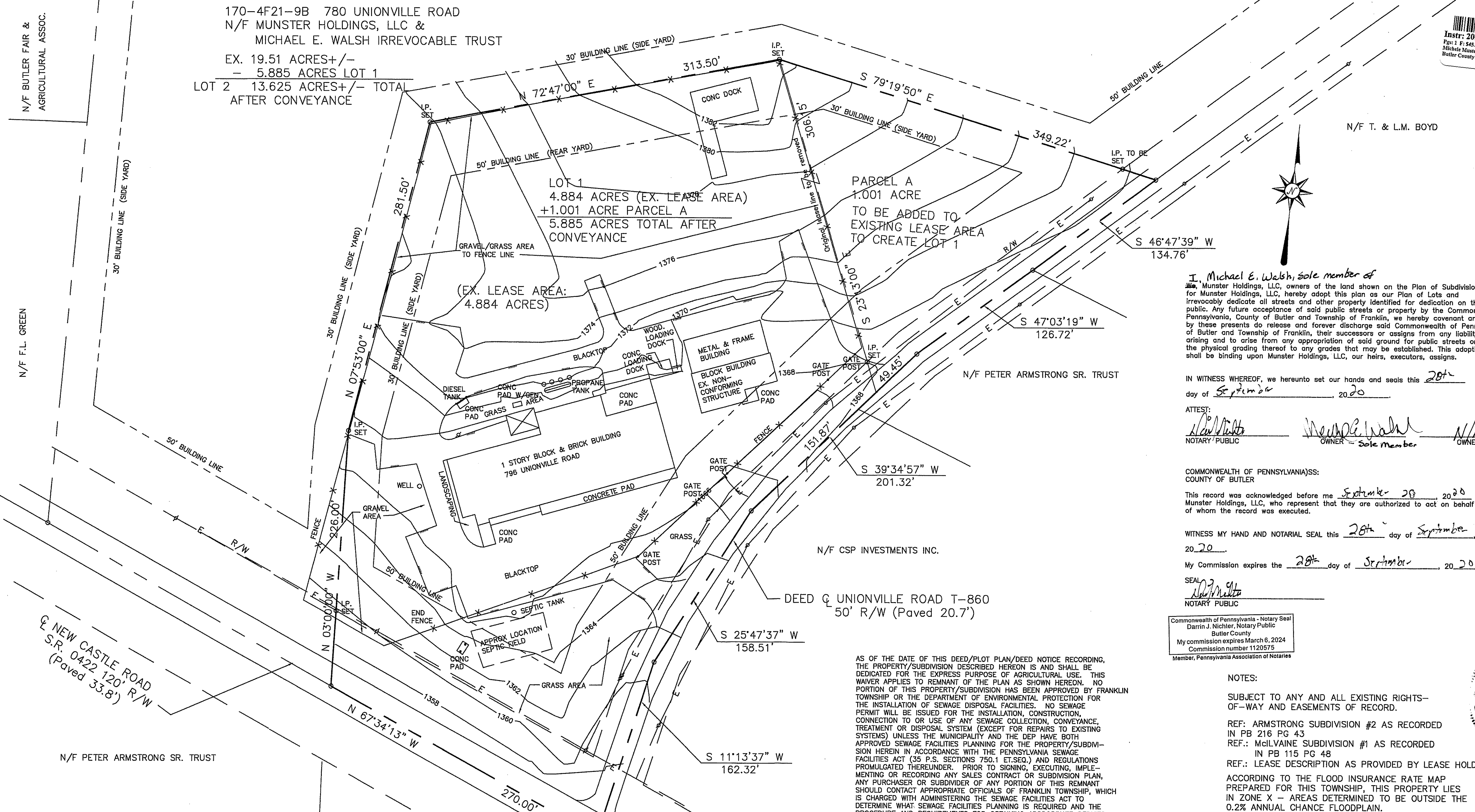
| | | |
|-------------|--------------------|----------|
| PROJECT NO. | TAX PARCEL NO. | REVISION |
| 20-088 | 090-1F15-23B & 23C | - |

P. HAY PLAN NO. 2

Being a lot line revision of Butler County Tax Parcels 090-1F15-23B and 090-1F15-23C

170-4F21-9B 780 UNIONVILLE ROAD
N/F MUNSTER HOLDINGS, LLC &
MICHAEL E. WALSH IRREVOCABLE TRUST

EX. 19.51 ACRES +/-
- 5.885 ACRES LOT 1
LOT 2 13.625 ACRES +/- TOTAL
AFTER CONVEYANCE



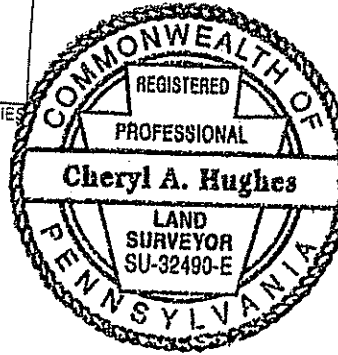
INSTR: 202009290021310
Page: 1 of 2
Michele Mustello
Butler County Recorder PA
9/29/2020 9:20 PM
T20200915262

I, Michael E. Walsh, trustee, of the land shown on the Plan of Subdivision for Michael E. Walsh Irrevocable Trust, hereby adopt this plan as my Plan of Lots and irrevocably dedicate all streets and other property identified for dedication on the plan to the public. Any future acceptance of said public streets or property by the Commonwealth of Pennsylvania, County of Butler and Township of Franklin, I hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Franklin, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public streets or property and the physical grading thereof to any grades that may be established. This adoption and dedication shall be binding upon Michael E. Walsh, my heirs, executors, assigns.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 23rd day of September, 2020.
ATTEST:
Paul J. Riggs Notary Public
Michael E. Walsh TRUSTEE

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER
This record was acknowledged before me September 22, 2020 by Michael E. Walsh, who represent that he is authorized to act on behalf of whom the record was executed.
WITNESS MY HAND AND NOTARIAL SEAL this 23rd day of September, 2020.

My Commission expires the 6th day of June, 2021.
SEAL *Paul J. Riggs* Notary Public
NOTARY PUBLIC
I certify that, to the best of my knowledge, that the survey and map shown hereon correctly represents the lots, lands streets and highways as surveyed and plotted by me.
DATE June 30, 2020 SEAL *Cheryl A. Hughes* Notary Public
RES. NO. SU-32490-E



I, Michael E. Walsh, sole member of Munster Holdings, LLC, owners of the land shown on the Plan of Subdivision for Munster Holdings, LLC, hereby adopt this plan as our Plan of Lots and irrevocably dedicate all streets and other property identified for dedication on the plan to the public. Any future acceptance of said public streets or property by the Commonwealth of Pennsylvania, County of Butler and Township of Franklin, we hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Franklin, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public streets or property and the physical grading thereof to any grades that may be established. This adoption and dedication shall be binding upon Munster Holdings, LLC, our heirs, executors, assigns.

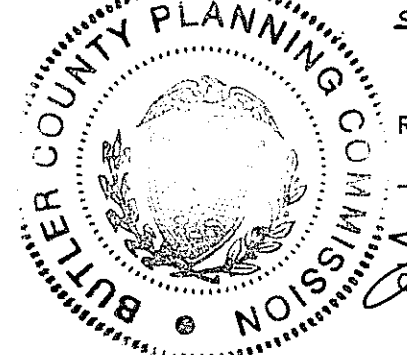
IN WITNESS WHEREOF, we hereunto set our hands and seals this 28th day of September, 2020.
ATTEST:
Michael E. Walsh Notary Public
Michael E. Walsh OWNER - Sole Member
N/A OWNER

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER
This record was acknowledged before me September 28, 2020 by Munster Holdings, LLC, who represent that they are authorized to act on behalf of whom the record was executed.
WITNESS MY HAND AND NOTARIAL SEAL this 28th day of September, 2020.

My Commission expires the 28th day of September, 2020.
SEAL *Darrin J. Nichol* Notary Public
NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Darrin J. Nichol, Notary Public
Butler County
My commission expires March 6, 2024
Commission number 1120575
Member, Pennsylvania Association of Notaries

NOTES:
SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.
REF: ARMSTRONG SUBDIVISION #2 AS RECORDED IN PB 216 PG 43
REF: McILVAINE SUBDIVISION #1 AS RECORDED IN PB 115 PG 48
REF.: LEASE DESCRIPTION AS PROVIDED BY LEASE HOLDER.
ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
ZONING: I - GENERAL INDUSTRIAL
BUILDING REQUIREMENTS:
50' FRONT BUILDING SETBACK
30' SIDE BUILDING SETBACK
50' REAR BUILDING SETBACK
MIN. LOT SIZE: 43,560 S.F.
MIN. LOT WIDTH: 100'



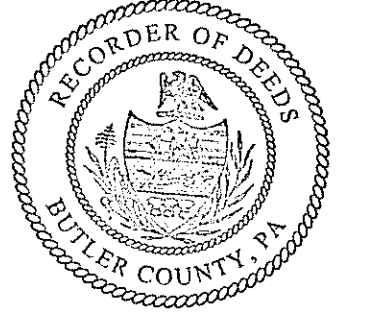
Approved by the Board of Supervisors of the Township of Franklin by Resolution No. effective this 21st day of September, 2020.
Herman W. Bauer Chairperson, Board of Supervisors

Reviewed by the Planning Commission of the Township of Franklin this 14th day of August, 2020.
Robert J. Thompson Chairperson, Planning Commission

On _____, 20____, a modification was granted by the Franklin Township Board of Supervisors to Ordinance _____ Article _____ Section _____ Subsection _____ to not delineate wetlands.
Reviewed by the Butler County Planning Commission this 15th day of July, 2020.
John J. M... Chairperson, Butler County Planning Commission

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER
Recorded in the Recorder's Office for the recording of deeds, plans, etc. in said County in Plan Book Volume 388, page 10.
Given under my hand and seal this 29 day of September, 2020.

SEAL *Michele M. Mustello* Recorder
RECORDER
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2028

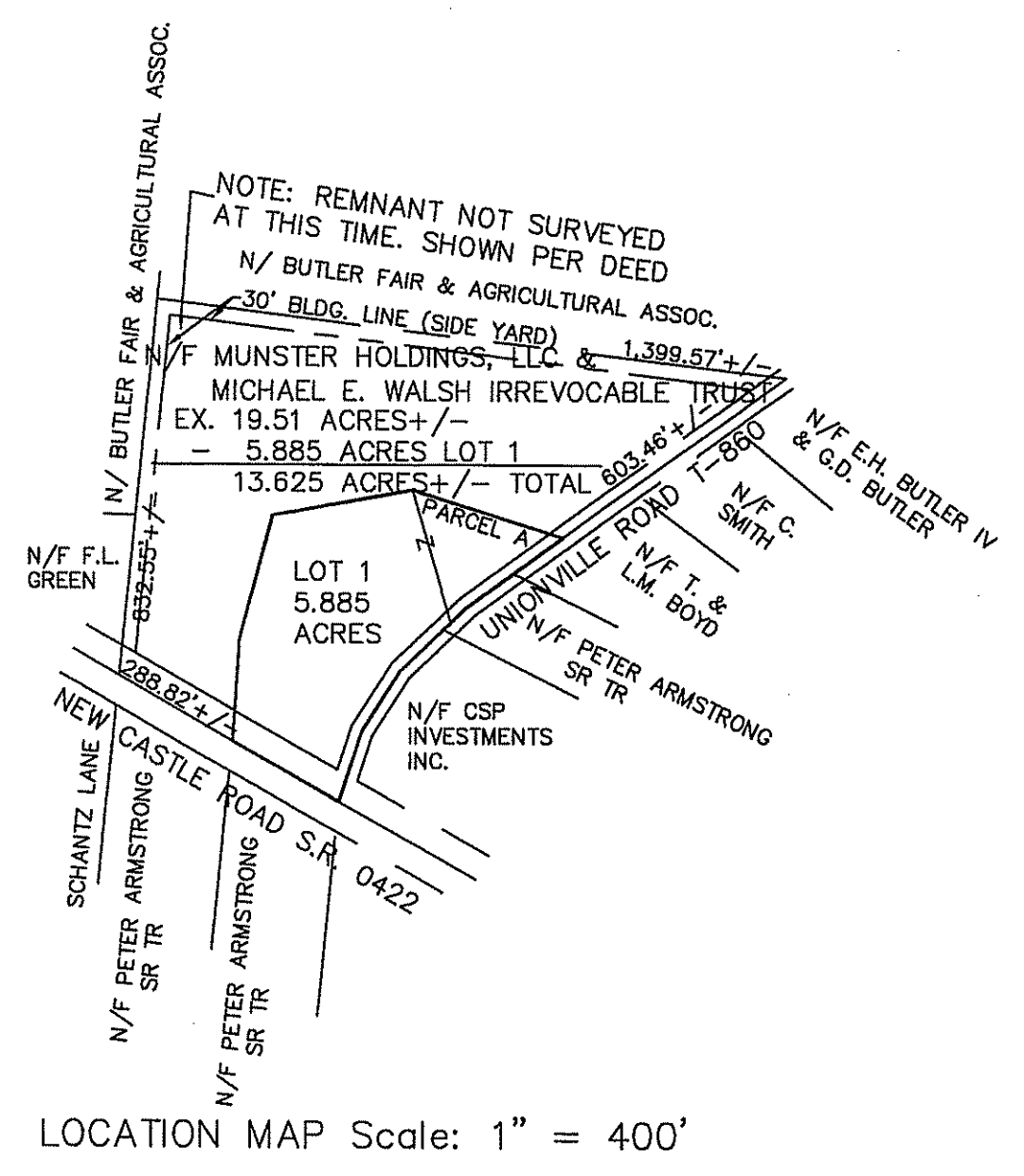


AS OF THE DATE OF THIS DEED/PLOT PLAN/DEED NOTICE RECORDING, THE PROPERTY/SUBDIVISION DESCRIBED HEREON IS AND SHALL BE DEDICATED FOR THE EXPRESS PURPOSE OF AGRICULTURAL USE. THIS WAIVER APPLIES TO REMNANT OF THE PLAN AS SHOWN HEREON. NO PORTION OF THIS PROPERTY/SUBDIVISION HAS BEEN APPROVED BY FRANKLIN TOWNSHIP OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES. NO SEWAGE PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE COLLECTION, CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM (EXCEPT FOR REPAIRS TO EXISTING SYSTEMS) UNLESS THE MUNICIPALITY AND THE DEP HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR THE PROPERTY/SUBDIVISION HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT (35 P.S. SECTIONS 750.1 ET SEQ.) AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR SUBDIVIDER OF ANY PORTION OF THIS REMNANT SHOULD CONTACT APPROPRIATE OFFICIALS OF FRANKLIN TOWNSHIP, WHICH IS CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO DETERMINE WHAT SEWAGE FACILITIES PLANNING IS REQUIRED AND THE PROCEDURE AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR APPROVALS.

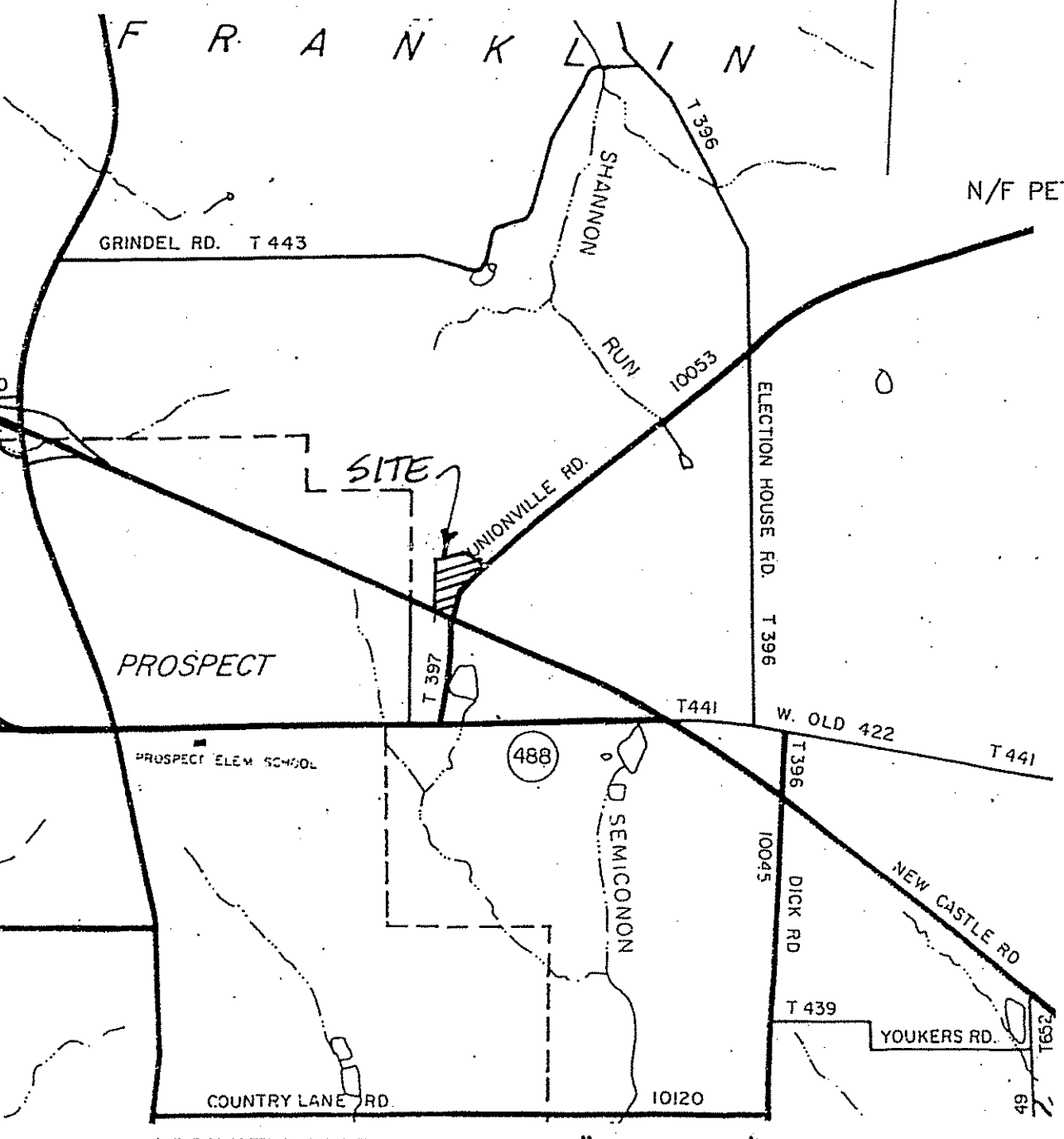
BLACKTOP/ROOF IMPERVIOUS AREA: 1.714 ACRE
RT. 422 & T-860 IMPERVIOUS AREA: 0.344 ACRE
GRAVEL AREA: 1.939 ACRE
GRASS AREA: 1.888 ACRE
35% IMPERVIOUS AREA

LEGEND
R/W RIGHT-OF-WAY
POLE POLE
FENCE FENCE
I.P. IRON PIN
N/F NOW OR FORMERLY

PLAN BOOK 388 PAGE 10

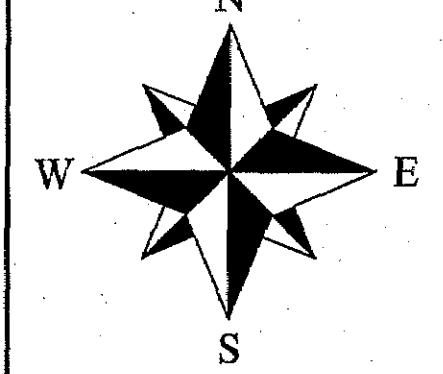


LOCATION MAP Scale: 1" = 400'



VICINITY MAP Scale: 1" = 2000'





North Boundary Road T-311 Variable Width Right of Way

I, JAMES A. SPERDUTE, A PROFESSIONAL LAND SURVEYOR DULY LICENSED BY AND IN THE COMMONWEALTH OF PENNSYLVANIA, HEREBY CERTIFY THAT THE PLATS OF THE COURTYARDS AT WILLOW GROVE, A CONDOMINIUM TO WHICH THIS CERTIFICATE IS AFFIXED, CONSISTING OF 3 PAGES AND THE PLANS RECORDED WITH THE DECLARATION, ACCURATELY CONTAINS ALL INFORMATION REQUIRED BY SECTIONS 3210(B) AND (C) OF THE PENNSYLVANIA UNIFORM CONDOMINIUM ACT, ACT 82 OF 1990 (66 P.A.C.S.A. SECTIONS 3210(B) AND (C)).

James A. Spurdute 9/29/20
 BY JAMES A. SPERDUTE, SURVEYOR REG. NO. 24457-E DATE

COMMONWEALTH OF PENNSYLVANIA)
) SS:
 COUNTY OF BUTLER)

ON THE 29 DAY OF September 2020, BEFORE ME, A NOTARY PUBLIC FOR THE COMMONWEALTH OF PENNSYLVANIA, PERSONALLY APPEARED JAMES A. SPERDUTE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE ABOVE CERTIFICATION AND BEING DULY SWORN MADE SOLEMN OATH TO THE TRUTH OF THE STATEMENT TO WHICH HIS NAME IS SUBSCRIBED.

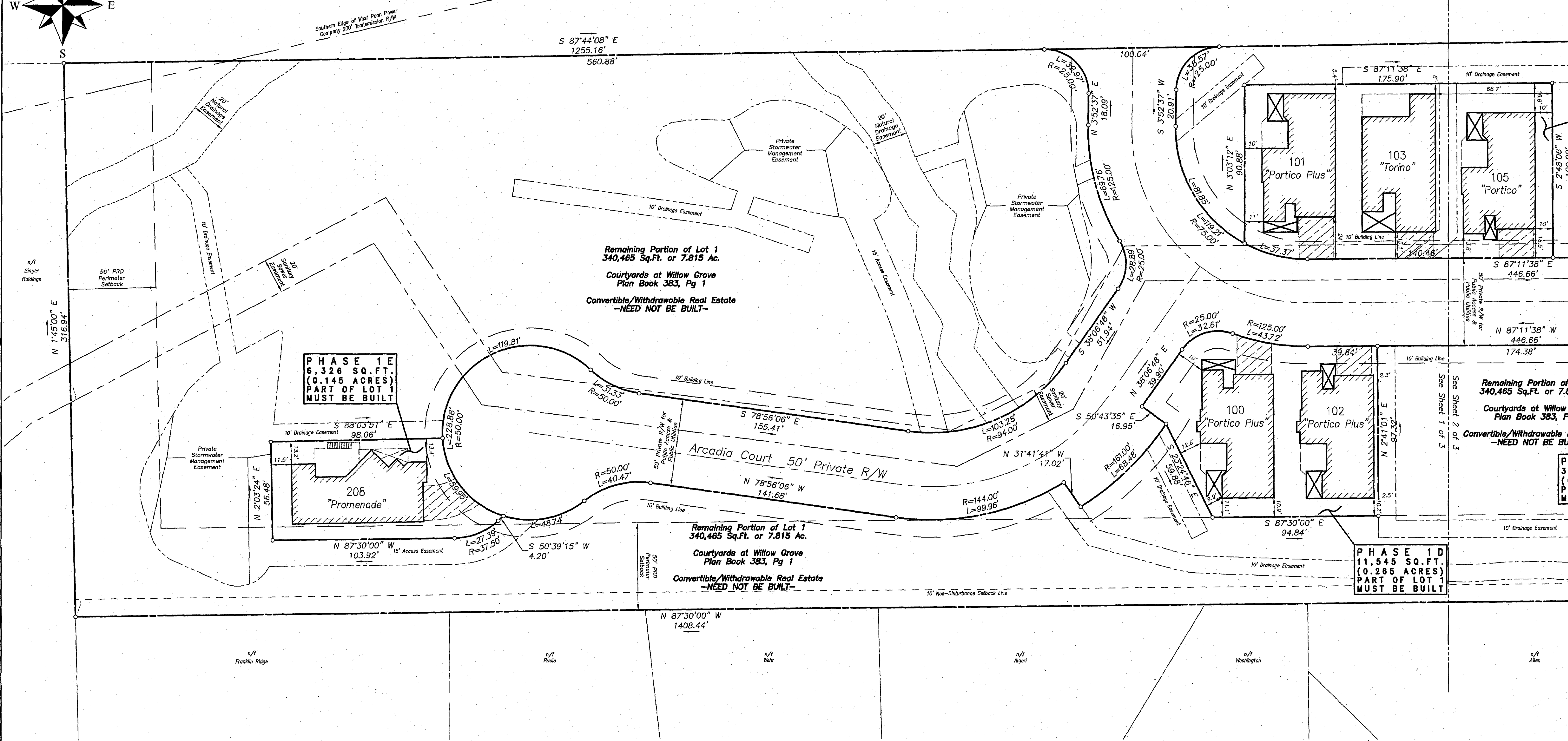
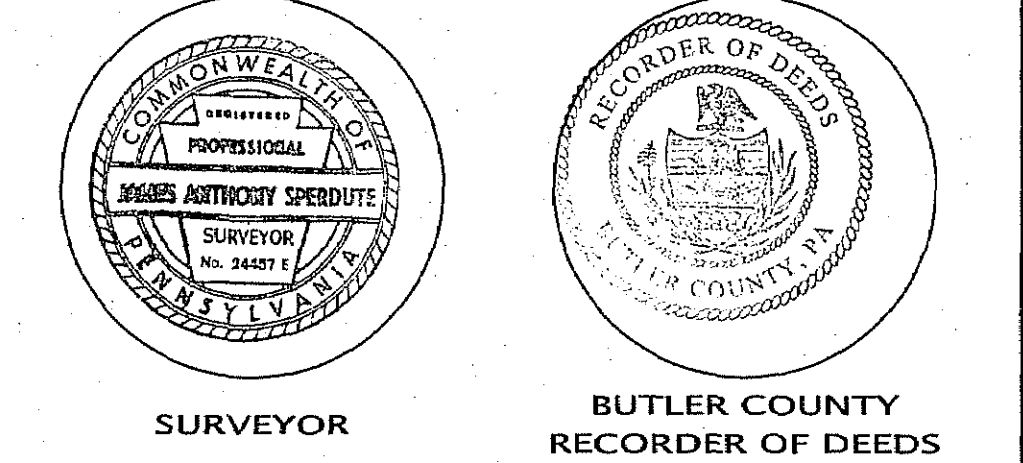
IN WITNESS WHEREOF, I HERETO SET MY HAND AND NOTARIAL SEAL.
Jennifer Lyn Spurdute
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: October 14, 2023

Commonwealth of Pennsylvania - Notary Seal
 Jennifer Lyn Spurdute, Notary Public
 Butler County
 My commission expires October 14, 2023
 Commission number 1358573
 Member, Pennsylvania Association of Notaries

COMMONWEALTH OF PENNSYLVANIA)
) SS:
 COUNTY OF BUTLER)

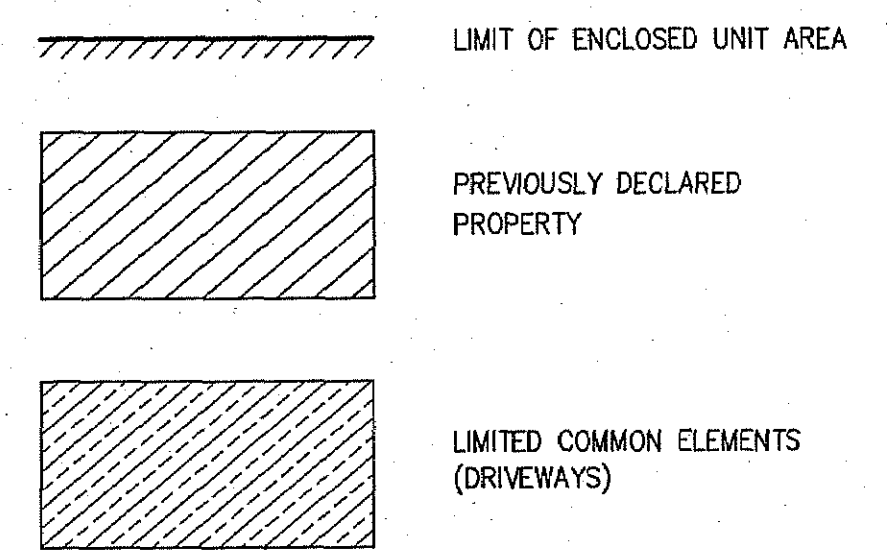
RECORDED IN THE RECORDER'S OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN COUNTY IN PLAN BOOK 388 PAGES 11-13 GIVEN UNDER MY HAND AND SEAL THIS 1st DAY OF October 2020

Michele M. Mustello
 RECORDER OF DEEDS
 MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



PHASE 1 E
 6,326 SQ.FT.
 (0.145 ACRES)
 PART OF LOT 1
 MUST BE BUILT

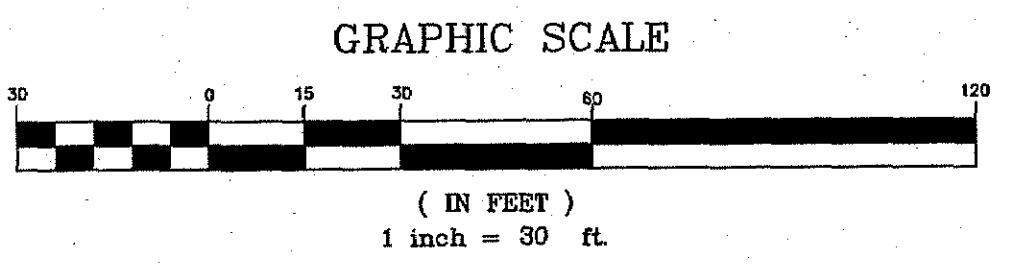
PHASE 1 D
 11,545 SQ.FT.
 (0.265 ACRES)
 PART OF LOT 1
 MUST BE BUILT



NOTES:
 Prepared for: Courtyards at Willow Grove, LP
 P.O. Box 449
 Mars, PA 16046

- All porches, patios, decks and unit sidewalks are part of the dwelling unit and must be built.
- All unit driveways are considered limited common elements and must be built.
- See declaration which is recorded separately for architectural drawings related to building types, building elevations and unit dimensions.
- Refer to the recorded plan referenced below of additional information regarding existing easements, rights of way, setbacks and restrictions of record.
- Plan Reference: Courtyards at Willow Grove, PRD Plan Book 383, Page 1

| LOT 101 AREA TABULATION | | LOT 1 | |
|---|---------|-------|--|
| | SQ.FT. | ACRES | |
| ORIGINAL TRACT: | 417,362 | 9.581 | |
| CONDO PLAN NO. 1 PHASE 1A | 17,508 | 0.402 | |
| CONDO PLAN NO. 1 PHASE 1B | 5,995 | 0.138 | |
| CONDO PLAN NO. 1 PHASE 1C | 35,525 | 0.816 | |
| CONDO PLAN NO. 1 PHASE 1D | 11,545 | 0.265 | |
| CONDO PLAN NO. 1 PHASE 1E | 6,326 | 0.145 | |
| AREA REMAINING FOR DEVELOPMENT (CONVERTIBLE/WITHDRAWABLE REAL ESTATE) | 340,465 | 7.815 | |



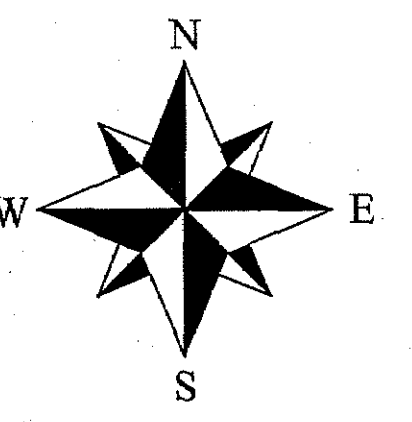
PLAN BOOK PAGE
388 11

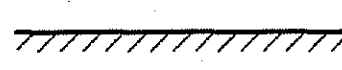
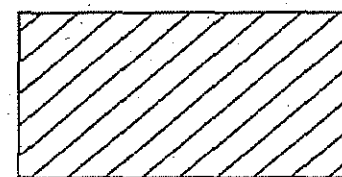
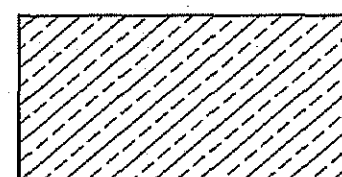
Owner/Developer
 Courtyards at Willow Grove, LP
 P.O. Box 449
 Mars, PA 16046
 Reference:
 Courtyards at Willow Grove PRD
 Plan Book 383, Page 1

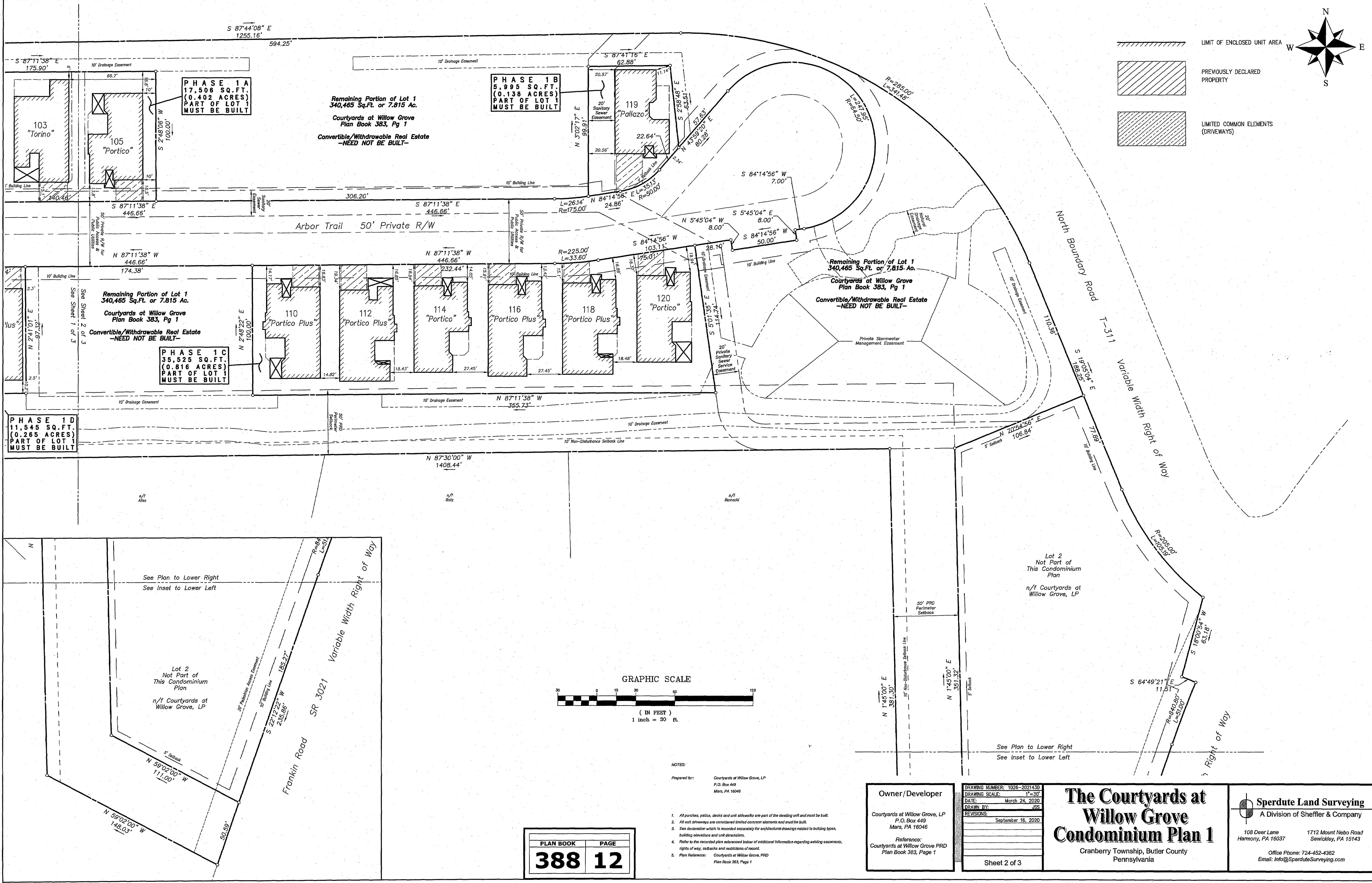
DRAWING NUMBER: 1026-2021430
 DRAWING SCALE: 1"=30'
 DATE: March 24, 2020
 DRAWN BY: JSS
 REVISIONS:
 September 16, 2020
 Sheet 1 of 3

The Courtyards at Willow Grove Condominium Plan 1
 Cranberry Township, Butler County Pennsylvania

Sperdute Land Surveying
 A Division of Sheffer & Company
 108 Deer Lane Harmony, PA 16037
 1712 Mount Nebo Road Sewickley, PA 15143
 Office Phone: 724-452-4362
 Email: info@sperdutesurveying.com



-  LIMIT OF ENCLOSED UNIT AREA
-  PREVIOUSLY DECLARED PROPERTY
-  LIMITED COMMON ELEMENTS (DRIVEWAYS)



PHASE 1D
11,546 SQ.FT.
(0.265 ACRES)
PART OF LOT 1
MUST BE BUILT

PHASE 1C
35,525 SQ.FT.
(0.816 ACRES)
PART OF LOT 1
MUST BE BUILT

PHASE 1A
17,506 SQ.FT.
(0.402 ACRES)
PART OF LOT 1
MUST BE BUILT

PHASE 1B
5,995 SQ.FT.
(0.138 ACRES)
PART OF LOT 1
MUST BE BUILT

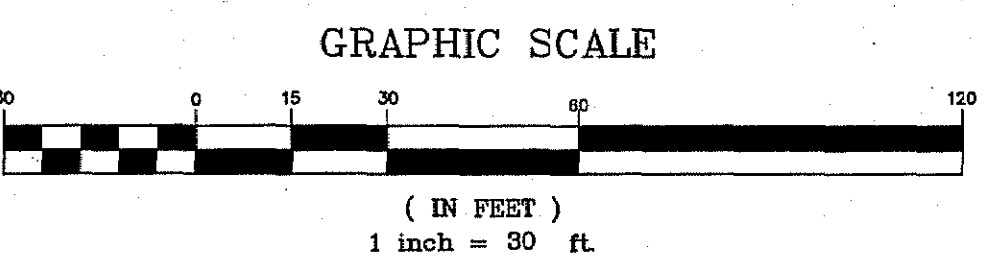
Remaining Portion of Lot 1
340,465 Sq.Ft. or 7.815 Ac.
Courtyards at Willow Grove
Plan Book 383, Pg 1
Convertible/Withdrawable Real Estate
-NEED NOT BE BUILT-

Remaining Portion of Lot 1
340,465 Sq.Ft. or 7.815 Ac.
Courtyards at Willow Grove
Plan Book 383, Pg 1
Convertible/Withdrawable Real Estate
-NEED NOT BE BUILT-

Remaining Portion of Lot 1
340,465 Sq.Ft. or 7.815 Ac.
Courtyards at Willow Grove
Plan Book 383, Pg 1
Convertible/Withdrawable Real Estate
-NEED NOT BE BUILT-

See Plan to Lower Right
See Inset to Lower Left

See Plan to Lower Right
See Inset to Lower Left



NOTES:
Prepared for: Courtyards at Willow Grove, LP
P.O. Box 449
Mars, PA 16046

1. All porches, patios, decks and unit sidewalks are part of the dwelling unit and must be built.
2. All unit driveways are considered limited common elements and must be built.
3. See declaration which is recorded separately for architectural drawings related to building types, building elevations and unit dimensions.
4. Refer to the recorded plan referenced below of additional information regarding existing easements, rights of way, setbacks and restrictions of record.
5. Plan Reference: Courtyards at Willow Grove, PRD Plan Book 383, Page 1

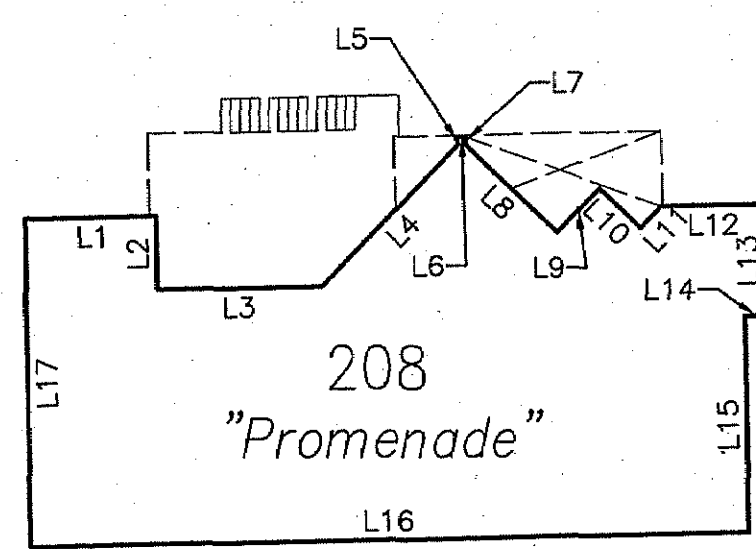
| PLAN BOOK | PAGE |
|------------|-----------|
| 388 | 12 |

Owner/Developer
Courtyards at Willow Grove, LP
P.O. Box 449
Mars, PA 16046

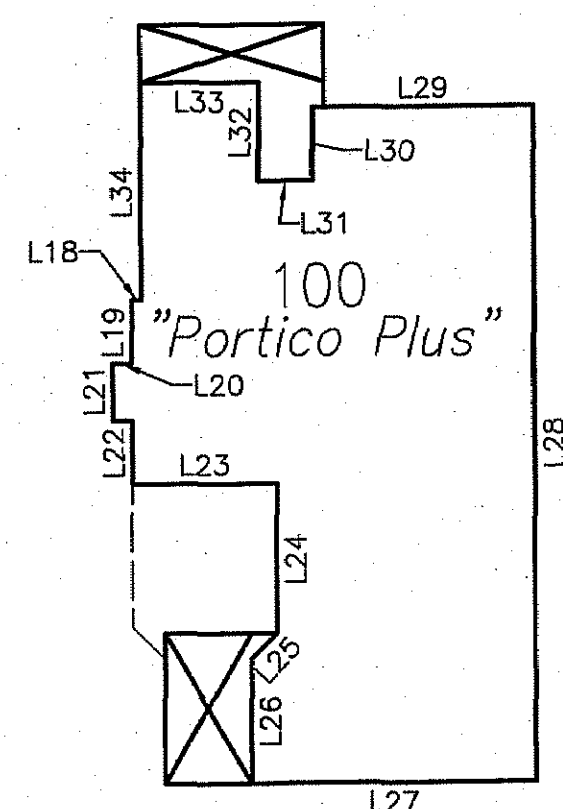
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| DRAWING SCALE: | 1"=30' |
| DATE: | March 24, 2020 |
| DRAWN BY: | JSS |
| REVISIONS: | September 16, 2020 |
| Sheet 2 of 3 | |

The Courtyards at Willow Grove Condominium Plan 1
Cranberry Township, Butler County Pennsylvania

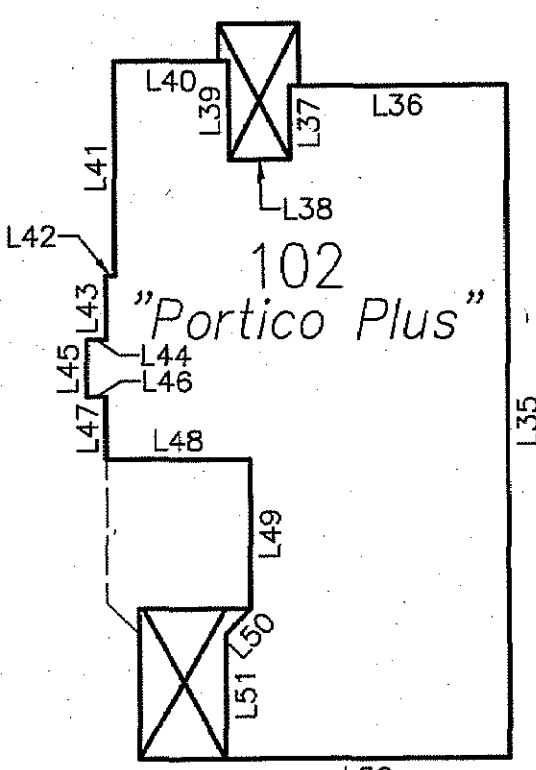
Sperdute Land Surveying
A Division of Sheffler & Company
108 Deer Lane Harmony, PA 16037
1712 Mount Nebo Road Sewickley, PA 15143
Office Phone: 724-452-4362
Email: Info@SperduteSurveying.com



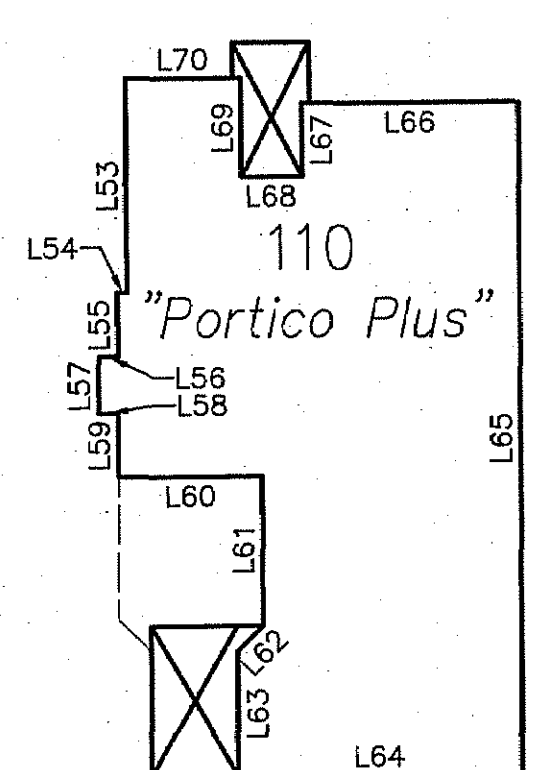
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|--------|--------|---------------|
| L1 | 13.67' | S89° 00' 27"W |
| L2 | 7.67' | N00° 59' 33"W |
| L3 | 17.19' | S89° 00' 27"W |
| L4 | 20.50' | S43° 59' 35"W |
| L5 | 0.83' | S00° 30' 57"E |
| L6 | 0.83' | S89° 00' 27"W |
| L7 | 0.83' | N00° 59' 33"W |
| L8 | 13.20' | N45° 59' 33"W |
| L9 | 6.42' | S44° 00' 32"W |
| L10 | 5.96' | N45° 59' 33"W |
| L11 | 3.08' | S44° 00' 26"W |
| L12 | 10.87' | S89° 00' 28"W |
| L13 | 11.67' | N00° 59' 33"W |
| L14 | 2.33' | N89° 00' 27"E |
| L15 | 22.67' | N00° 59' 33"W |
| L16 | 75.00' | N89° 00' 27"E |
| L17 | 34.33' | S00° 59' 33"E |



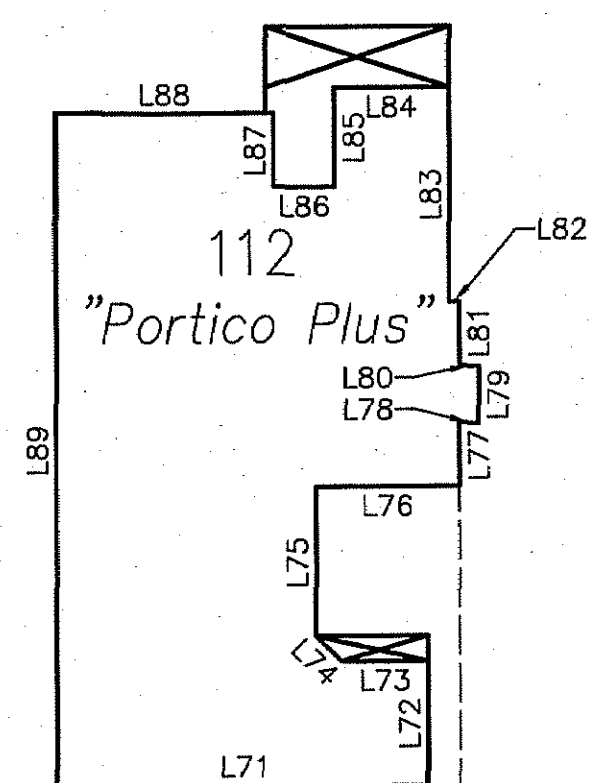
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|--------|--------|---------------|
| L18 | 1.00' | N89° 45' 26"E |
| L19 | 6.67' | N00° 14' 34"W |
| L20 | 2.00' | N89° 45' 25"E |
| L21 | 6.00' | N00° 14' 35"W |
| L22 | 6.67' | N00° 15' 35"W |
| L23 | 15.06' | S89° 46' 29"W |
| L24 | 15.67' | N00° 00' 00"E |
| L25 | 3.77' | N44° 45' 26"E |
| L26 | 13.00' | N00° 14' 34"W |
| L27 | 29.67' | S89° 45' 26"W |
| L28 | 70.67' | S00° 14' 34"E |
| L29 | 23.00' | N89° 45' 26"E |
| L30 | 7.67' | N00° 14' 34"W |
| L31 | 5.67' | N89° 45' 26"E |
| L32 | 10.33' | S00° 14' 34"E |
| L33 | 12.33' | N89° 45' 26"E |
| L34 | 22.67' | N00° 14' 34"W |



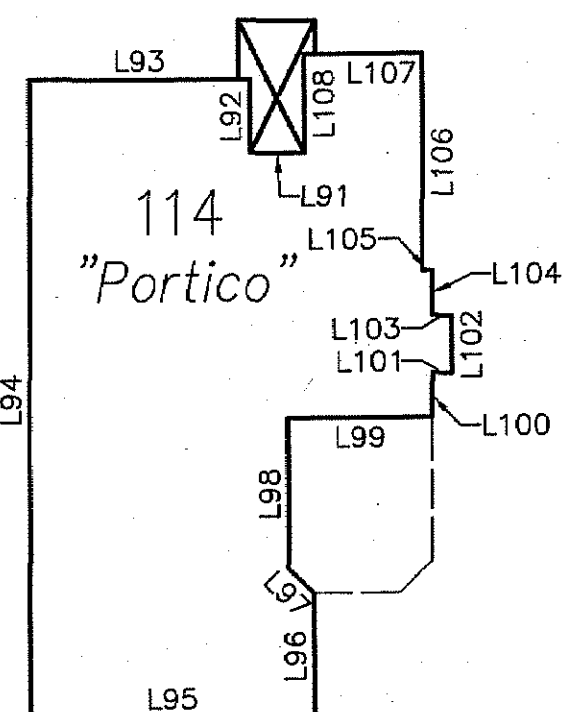
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| L35 | 70.33' | S00° 14' 34"E |
| L36 | 22.67' | N89° 45' 26"E |
| L37 | 7.67' | N00° 14' 34"W |
| L38 | 6.33' | N89° 45' 26"E |
| L39 | 10.33' | S00° 14' 34"E |
| L40 | 12.00' | N89° 45' 26"E |
| L41 | 22.33' | N00° 14' 34"W |
| L42 | 1.00' | N89° 45' 26"E |
| L43 | 6.68' | N00° 14' 32"W |
| L44 | 2.00' | N90° 00' 00"E |
| L45 | 6.00' | N00° 14' 35"W |
| L46 | 2.00' | S89° 45' 26"W |
| L47 | 6.60' | N00° 14' 43"W |
| L48 | 15.00' | N90° 00' 00"W |
| L49 | 15.67' | N00° 14' 42"W |
| L50 | 3.73' | N44° 09' 23"E |
| L51 | 13.00' | N00° 00' 31"W |
| L52 | 29.66' | S89° 45' 39"W |



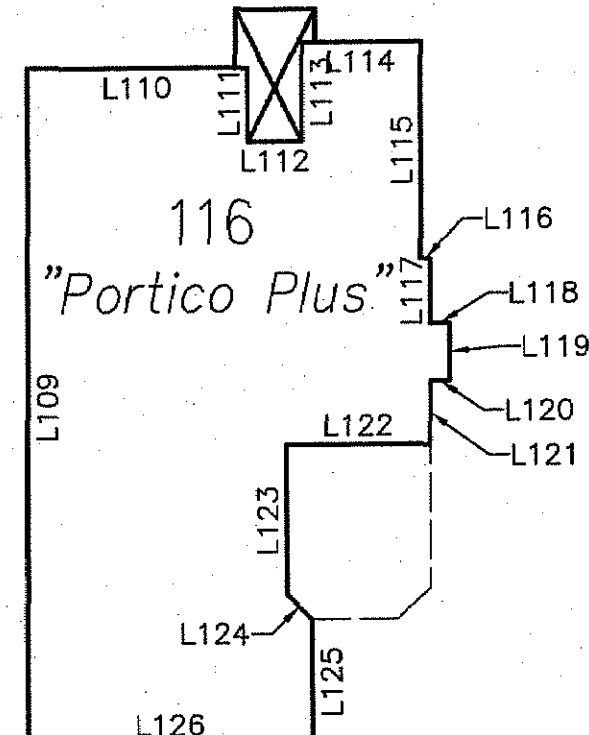
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| L53 | 22.33' | N00° 14' 34"W |
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| L55 | 6.67' | N00° 14' 33"W |
| L56 | 2.00' | N89° 45' 26"E |
| L57 | 6.00' | N00° 14' 34"W |
| L58 | 2.00' | S89° 45' 26"W |
| L59 | 6.67' | N00° 14' 37"W |
| L60 | 15.00' | S89° 45' 25"W |
| L61 | 15.67' | N00° 14' 41"W |
| L62 | 3.77' | N44° 46' 43"E |
| L63 | 13.00' | N00° 14' 34"W |
| L64 | 29.67' | S89° 45' 26"W |
| L65 | 70.33' | S00° 14' 34"E |
| L66 | 22.67' | N89° 45' 26"E |
| L67 | 7.67' | N00° 14' 34"W |
| L68 | 6.33' | N89° 45' 26"E |
| L69 | 10.33' | S00° 14' 34"E |
| L70 | 12.00' | N89° 45' 26"E |



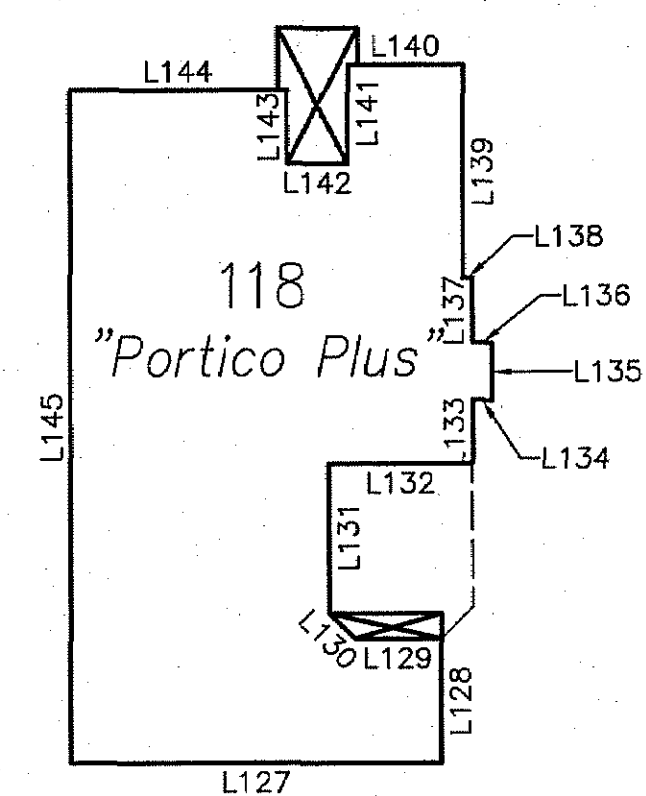
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|--------|--------|---------------|
| L71 | 38.67' | N90° 00' 00"W |
| L72 | 13.00' | S00° 00' 32"E |
| L73 | 9.00' | N90° 00' 00"E |
| L74 | 3.77' | S45° 00' 00"E |
| L75 | 15.67' | S00° 00' 07"W |
| L76 | 15.00' | N89° 59' 59"W |
| L77 | 6.67' | S00° 00' 01"E |
| L78 | 2.00' | N90° 00' 00"W |
| L79 | 6.00' | S00° 00' 00"E |
| L80 | 2.00' | S89° 59' 59"E |
| L81 | 6.67' | S00° 00' 02"E |
| L82 | 1.00' | N89° 59' 59"E |
| L83 | 22.33' | S00° 00' 00"E |
| L84 | 12.00' | N90° 00' 00"E |
| L85 | 10.33' | N00° 00' 01"W |
| L86 | 6.33' | N89° 59' 59"E |
| L87 | 7.67' | S00° 00' 00"E |
| L88 | 22.67' | N90° 00' 00"E |
| L89 | 70.33' | N00° 00' 00"E |



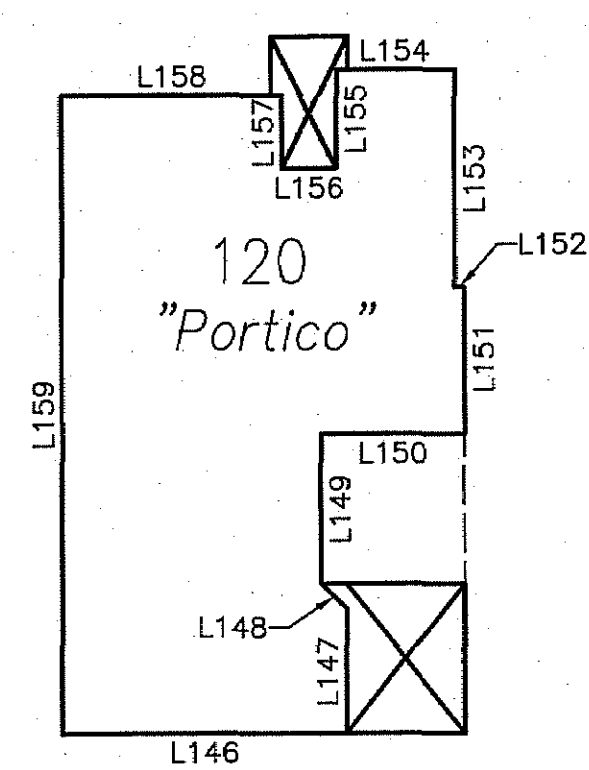
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| L90 | 15.43' | N26° 17' 18"W |
| L91 | 5.67' | N80° 00' 00"E |
| L92 | 7.67' | S00° 00' 00"E |
| L93 | 23.00' | N90° 00' 00"E |
| L94 | 66.67' | N00° 00' 00"E |
| L95 | 29.67' | N90° 00' 00"W |
| L96 | 13.00' | S00° 00' 00"E |
| L97 | 3.77' | S45° 00' 00"E |
| L98 | 15.67' | S00° 00' 07"W |
| L99 | 15.00' | S90° 00' 00"W |
| L100 | 4.67' | S00° 00' 02"W |
| L101 | 2.00' | S89° 59' 59"W |
| L102 | 6.00' | S00° 00' 00"E |
| L103 | 2.00' | N90° 00' 00"E |
| L104 | 4.67' | S00° 00' 00"E |
| L105 | 1.00' | N89° 59' 59"E |
| L106 | 22.67' | S00° 00' 00"E |
| L107 | 12.33' | N90° 00' 00"E |
| L108 | 10.33' | N00° 00' 00"W |



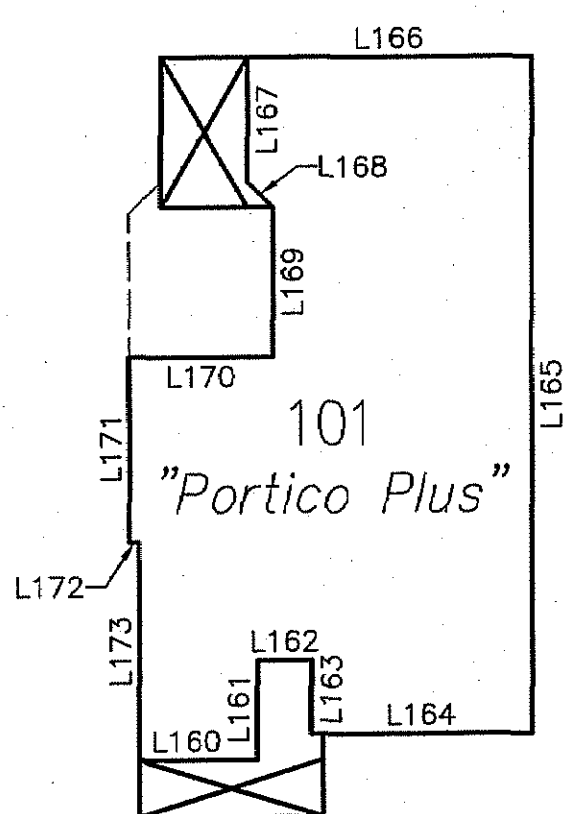
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|--------|--------|---------------|
| L109 | 70.67' | S00° 00' 00"E |
| L110 | 23.00' | S90° 00' 00"W |
| L111 | 7.67' | N00° 00' 00"E |
| L112 | 5.67' | N80° 00' 00"W |
| L113 | 10.33' | S00° 00' 01"E |
| L114 | 12.33' | N90° 00' 00"W |
| L115 | 22.67' | N00° 00' 00"E |
| L116 | 1.00' | N90° 00' 00"W |
| L117 | 6.67' | N00° 00' 00"E |
| L118 | 2.00' | N89° 59' 59"W |
| L119 | 6.00' | N00° 00' 00"E |
| L120 | 2.00' | N90° 00' 00"E |
| L121 | 6.66' | N00° 00' 00"E |
| L122 | 15.00' | N89° 59' 33"E |
| L123 | 15.67' | N00° 00' 07"E |
| L124 | 3.77' | N45° 00' 00"W |
| L125 | 13.00' | N00° 00' 00"E |
| L126 | 29.67' | N90° 00' 00"E |



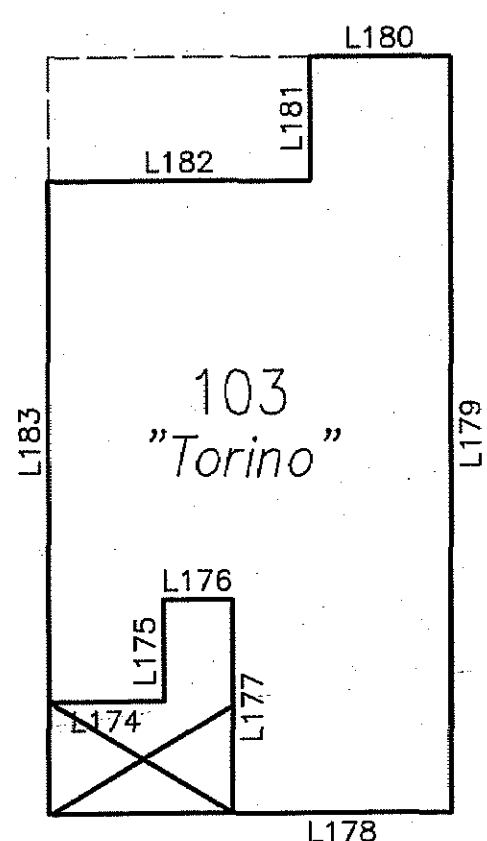
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|--------|--------|---------------|
| L127 | 38.67' | N90° 00' 00"W |
| L128 | 13.00' | S00° 01' 22"E |
| L129 | 9.00' | N90° 00' 00"E |
| L130 | 3.77' | S45° 00' 00"E |
| L131 | 15.67' | S00° 00' 07"W |
| L132 | 15.00' | N89° 59' 19"W |
| L133 | 6.67' | S00° 00' 01"E |
| L134 | 2.00' | N90° 00' 00"W |
| L135 | 6.00' | S00° 00' 00"E |
| L136 | 2.00' | S89° 59' 59"E |
| L137 | 6.67' | S00° 00' 02"E |
| L138 | 1.00' | N90° 00' 00"E |
| L139 | 22.33' | S00° 00' 00"E |
| L140 | 12.00' | S89° 59' 58"E |
| L141 | 10.33' | N00° 00' 01"W |
| L142 | 6.33' | N89° 59' 59"E |
| L143 | 7.67' | S00° 00' 01"E |
| L144 | 22.67' | S90° 00' 00"E |
| L145 | 70.33' | N00° 00' 00"E |



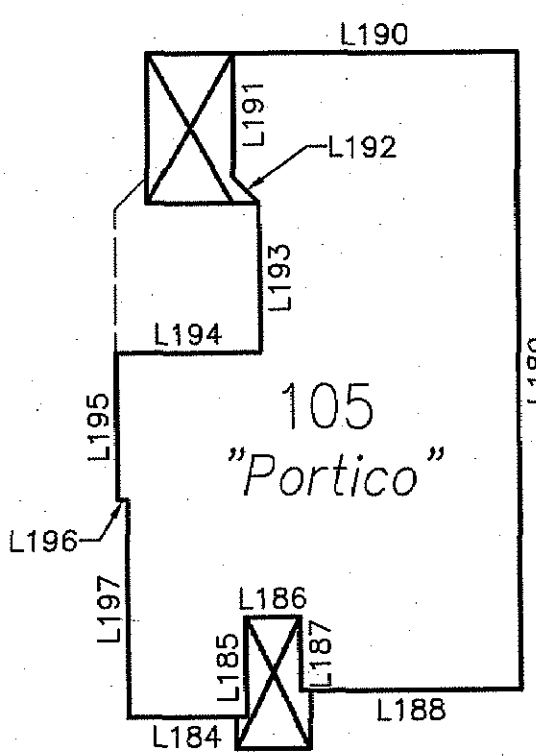
| Line # | Length | Direction |
|--------|--------|---------------|
| L146 | 29.67' | S89° 58' 38"W |
| L147 | 13.00' | S00° 01' 22"E |
| L148 | 3.77' | S45° 01' 22"E |
| L149 | 15.67' | S00° 01' 41"E |
| L150 | 15.00' | S89° 58' 45"W |
| L151 | 15.28' | S00° 01' 23"E |
| L152 | 1.00' | N89° 58' 37"E |
| L153 | 22.71' | S00° 01' 22"E |
| L154 | 12.33' | N89° 58' 38"E |
| L155 | 10.33' | N00° 01' 23"W |
| L156 | 5.67' | N89° 58' 37"E |
| L157 | 7.67' | S00° 01' 23"E |
| L158 | 23.00' | N89° 58' 38"E |
| L159 | 66.67' | N00° 01' 22"W |



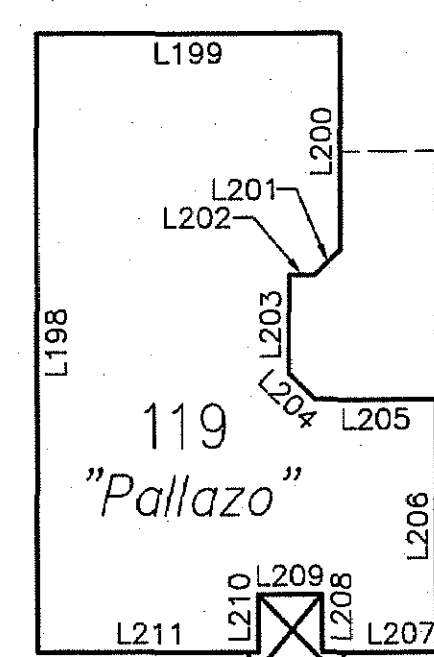
| Line # | Length | Direction |
|--------|--------|---------------|
| L160 | 12.33' | N90° 00' 00"W |
| L161 | 10.33' | S00° 00' 00"E |
| L162 | 5.67' | N90° 00' 00"W |
| L163 | 7.67' | N00° 00' 00"E |
| L164 | 23.00' | N90° 00' 00"W |
| L165 | 70.67' | S00° 00' 00"E |
| L166 | 29.67' | N90° 00' 00"E |
| L167 | 13.00' | N00° 00' 00"E |
| L168 | 3.77' | N45° 00' 00"W |
| L169 | 15.67' | N00° 00' 07"E |
| L170 | 15.00' | N89° 59' 33"E |
| L171 | 19.33' | N00° 00' 00"W |
| L172 | 1.00' | S90° 00' 00"W |
| L173 | 22.67' | N00° 00' 00"E |



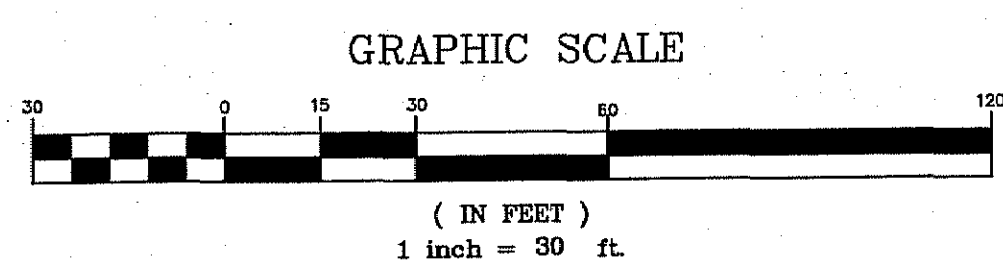
| Line # | Length | Direction |
|--------|--------|---------------|
| L174 | 12.00' | N90° 00' 00"W |
| L175 | 10.63' | S00° 00' 00"E |
| L176 | 7.17' | N90° 00' 00"W |
| L177 | 22.29' | N00° 00' 00"W |
| L178 | 22.83' | N90° 00' 00"W |
| L179 | 79.00' | S00° 00' 00"W |
| L180 | 14.67' | N90° 00' 00"E |
| L181 | 13.00' | N00° 00' 00"E |
| L182 | 27.33' | S90° 00' 00"E |
| L183 | 54.33' | N00° 00' 00"W |



| Line # | Length | Direction |
|--------|--------|---------------|
| L184 | 12.33' | S89° 44' 53"W |
| L185 | 10.33' | S00° 15' 07"E |
| L186 | 5.67' | S89° 44' 53"W |
| L187 | 7.67' | N00° 15' 07"W |
| L188 | 23.00' | S89° 44' 53"W |
| L189 | 66.67' | S00° 15' 07"E |
| L190 | 29.67' | N89° 44' 53"E |
| L191 | 13.00' | N00° 15' 07"W |
| L192 | 3.77' | N45° 15' 07"W |
| L193 | 15.67' | N00° 15' 00"W |
| L194 | 15.00' | N89° 44' 53"E |
| L195 | 15.33' | N00° 15' 04"W |
| L196 | 1.00' | S89° 44' 52"W |
| L197 | 22.67' | N00° 15' 07"W |



| Line # | Length | Direction |
|--------|--------|---------------|
| L198 | 64.67' | S00° 00' 00"E |
| L199 | 31.67' | N90° 00' 00"W |
| L200 | 22.67' | N00° 00' 00"E |
| L201 | 3.77' | N45° 00' 00"E |
| L202 | 2.67' | N89° 59' 59"E |
| L203 | 10.33' | N00° 00' 14"E |
| L204 | 3.77' | N45° 00' 00"W |
| L205 | 12.67' | N90° 00' 00"W |
| L206 | 26.33' | N00° 00' 00"E |
| L207 | 12.00' | N90° 00' 00"E |
| L208 | 6.00' | S00° 00' 00"E |
| L209 | 6.67' | S90° 00' 00"E |
| L210 | 6.00' | N00° 00' 00"E |
| L211 | 23.00' | N90° 00' 00"E |



Owner/Developer
 Courtyards at Willow Grove, LP
 P.O. Box 449
 Mars, PA 16046
 Reference:
 Courtyards at Willow Grove PRD
 Plan Book 383, Page 1

DRAWING NUMBER: 1004-2022015
 DRAWING SCALE: As Noted
 DATE: September 16, 2020
 DRAWN BY: JSS
 REVISIONS:
 Sheet 3 of 3

The Courtyards at Willow Grove Condominium Plan 1

Cranberry Township, Butler County Pennsylvania

Sperdute Land Surveying
 A Division of Sheffler & Company
 108 Deer Lane Harmony, PA 16037
 1712 Mount Nebo Road Sewickley, PA 15143
 Office Phone: 724-452-4362
 Email: Info@SperduteSurveying.com

James C. Clarke GENERAL PARTNER OF HURSTROCK HOLDINGS, LLC, OWNER OF THE LAND SHOWN ON THE HARMONY PLACE REVISION NO. 1 PLAN HEREBY ADOPTS HIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO JACKSON TOWNSHIP. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE PARTNERSHIP AND UPON ITS HEIRS, EXECUTORS AND ASSIGNS.

IN WITNESS OF WHICH, THIS THIS 30th DAY OF September 2020

ATTEST:
James C. Clarke
 NOTARY PUBLIC
 SIGNATURE OF GENERAL PARTNER

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED James C. Clarke A PARTNER IN THE FIRM OF HURSTROCK HOLDINGS, LLC AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE THE ACT OF THE PARTNERSHIP.

WITNESS MY HAND AND NOTARIAL SEAL THIS 30 DAY OF September 2020

MY COMMISSION EXPIRES THE 5th DAY OF April 2023

(SEAL)
James C. Clarke
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
 Jennifer Hart, Notary Public
 Allegheny County
 My Commission Expires April 5, 2023
 Commission Number 1067531
 Member, Pennsylvania Association of Notaries

I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE HARMONY PLACE REVISION NO. 1 PLAN IS IN THE NAME OF HURSTROCK HOLDINGS LLC AND IS RECORDED AT INSTRUMENT NO. 20150310004986. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR ENCUMBRANCE AGAINST THE PROPERTY SHOWN HEREON.

ATTEST:
James C. Clarke
 SIGNATURE OF GENERAL PARTNER

THIS PLAN WAS REVIEWED BY THE TOWNSHIP ENGINEER FOR CONFORMANCE WITH THE JACKSON TOWNSHIP AND LAND DEVELOPMENT ORDINANCE AND OTHER APPLICABLE TOWNSHIP ORDINANCES.

9/23/2020 *Benjamin L. Gilbert* 077527
 DATE TOWNSHIP ENGINEER / REGISTRATION

JACKSON TOWNSHIP AGREES NOT TO ISSUE BUILDING PERMITS UNTIL THE "PLANNING MODULE FOR LAND DEVELOPMENT" HAS BEEN APPROVED IN ACCORDANCE WITH THE REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

9/17/2020
 DATE TOWNSHIP MANAGER / SECRETARY

REVIEWED BY THE PLANNING COMMISSION OF JACKSON TOWNSHIP THIS 20th DAY OF September 2020

SECRETARY CHAIRPERSON

APPROVED BY THE PLANNING DIRECTOR OF JACKSON TOWNSHIP ON THE 17th DAY OF September 2020 PURSUANT TO CHAPTER 22, SUBDIVISION AND LAND DEVELOPMENT, OF THE CODE OF JACKSON TOWNSHIP AS AMENDED AND SUBJECT TO CERTAIN CONDITIONS REFERENCED IN THE TOWNSHIP DECISION LETTER DATED September 23, 2020

THE PLANNING DIRECTOR OF JACKSON TOWNSHIP GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, JACKSON TOWNSHIP ASSUMES NO OBLIGATION TO ACCEPT THE DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

SIGNED AND NOTED AS APPROVED THIS 23rd DAY OF September 2020
 SECRETARY *Nick Colton* PLANNING DIRECTOR

THIS PLAN WAS DELIVERED TO the Developer BY JACKSON TOWNSHIP ON the 24th DAY OF September 2020

SECRETARY/MANAGER

APPROVED BY THE BOARD OF SUPERVISORS OF JACKSON TOWNSHIP ON THE 17th DAY OF September 2020 SUBJECT TO CERTAIN CONDITIONS REFERENCED IN THE TOWNSHIP DECISION LETTER DATED September 23, 2020

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF JACKSON GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF JACKSON ASSUMES NO OBLIGATION TO ACCEPT ANY OF THE STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

SIGNED AND NOTED AS APPROVED THIS 21st DAY OF September 2020

SECRETARY CHAIRPERSON

RECORDED IN THE RECORDER OF DEEDS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN SMD COUNTY OF BUTLER PLAN BOOK VOLUME 388 PAGES 14

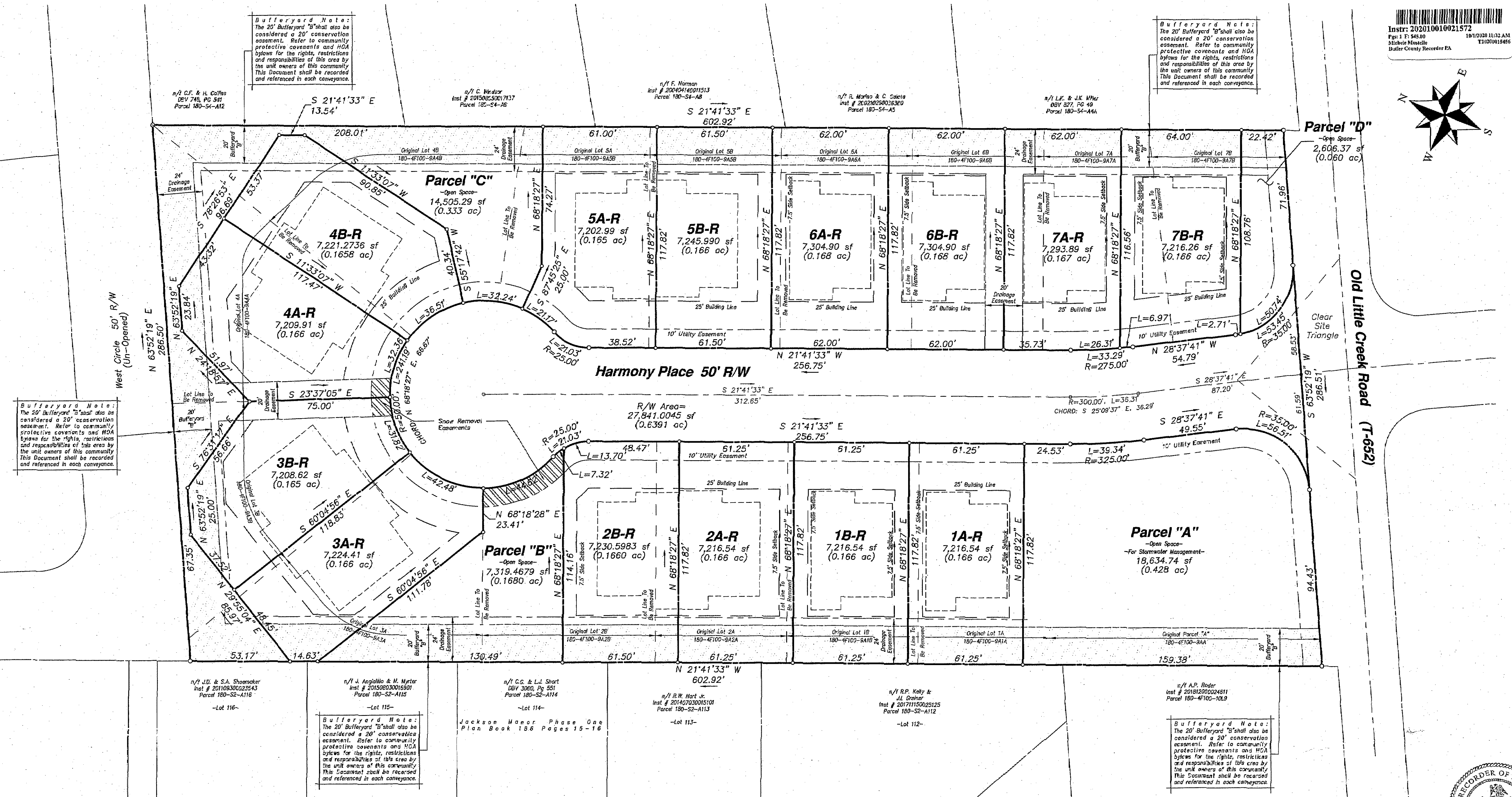
GIVEN UNDER MY HAND AND SEAL THIS 11th DAY OF October 2020

Michele M. Mustello
 MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024

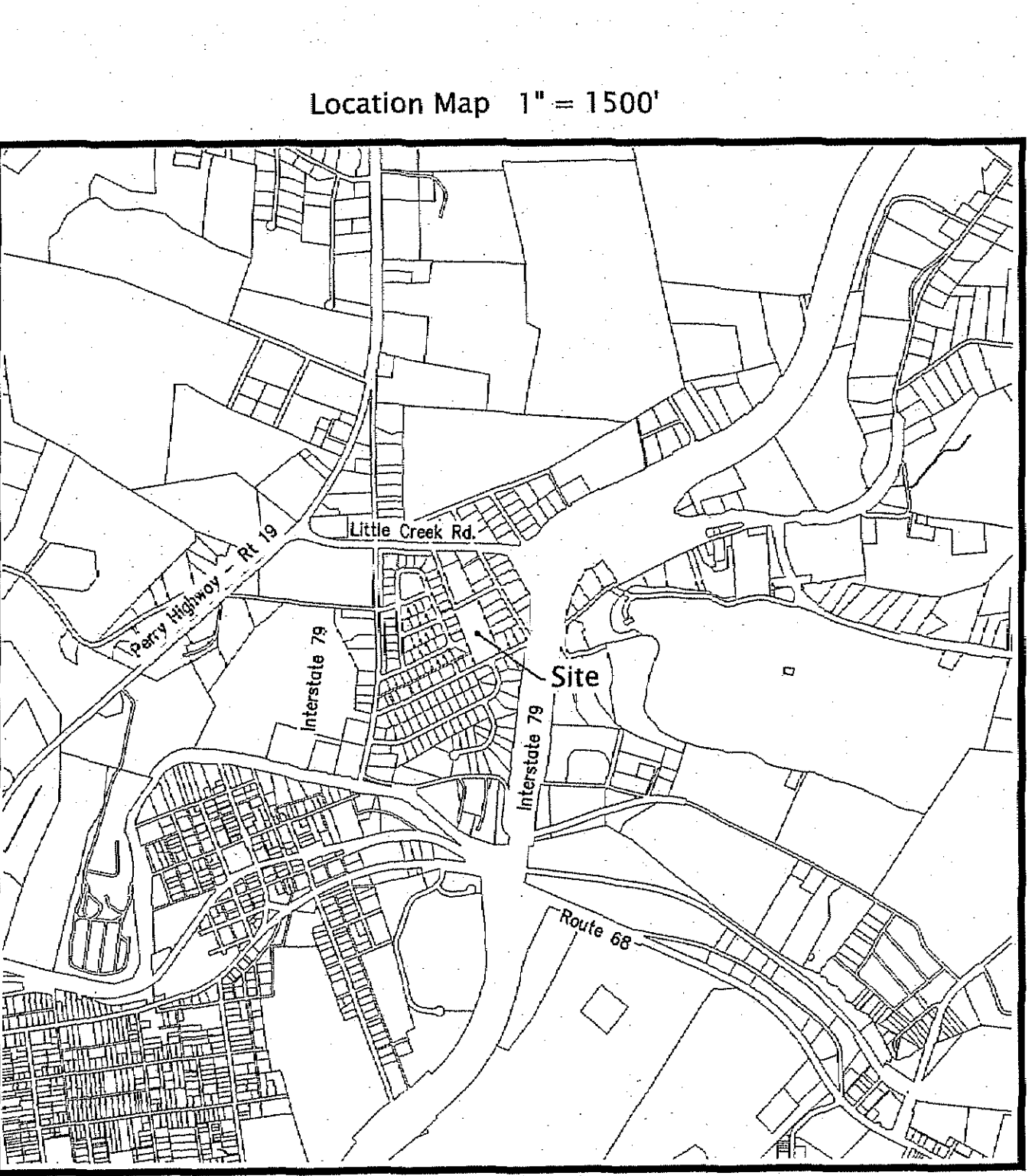
Revised Preliminary & Final Subdivision and Land Development Plans for

Harmony Place Revision No. 1
 Being a re-subdivision of the Harmony Place Subdivision Plan As Recorded in Plan Book 376, Pages 17-18 Jackson Township, Butler County, Pennsylvania

Sperdute Land Surveying
 A Division of Sheffer & Company
 108 Deer Lane Harmony, PA 16037 1712 Mount Nebo Road Sewickley, PA 15143
 Office Phone: 724-452-4362 Email: info@sperdutesurveying.com



Location Map 1" = 1500'



PLAN BOOK PAGE
388 14

- General Plan Notes:
- This plan is a revision to the Harmony Place Plan of Subdivision as recorded in Plan Book 376, Pages 17-18 and is subject to any and all waivers, agreements, restrictions, dedications or conditions of prior record.
 - This plan eliminates the previously plotted duplex unit on Lots 7A & 7B and replaces that building with two separate units. No additional units are being proposed.
 - A clear site triangle at the intersection of Old Little Creek Road and Harmony Place shall be measured 75.00 feet along both centerlines. No obstructions over 2.5 feet high shall be permitted in this area.
 - No on street parking is permitted.
 - Parcels A, B, C & D are to be conveyed to and owned/maintained by the homeowners association and shall be considered open space for the use of the residents of this plan.
 - For all duplex units on this plan, a utility easement for the connection of utility services shall be assumed based on the final location of these facilities. This easement shall be of sufficient width to allow for access to the facilities for maintenance by manual or mechanical methods. Obstructions that interfere with the utility connections are prohibited and costs associated with the replacement of these improvements fall entirely on the lot owner.
 - Permanent improvements are not permitted within the snow removal easements. These areas shall remain free from obstructions and reserved for the stockpiling of snow as a result of street plowing.

| Site Area | |
|-----------------------|-----------------------------------|
| Total Site Area: | 172,221,2707 Sq.Ft. 3.955 Acres |
| Area in Right of Way: | 27,841,0045 Sq.Ft. 0.639 Acres |
| Area in Lots: | 101,314,40 Sq.Ft. 2.326 Acres |
| Area in Open Space: | 43,072,07 Sq.Ft. 0.99 Acres (25%) |

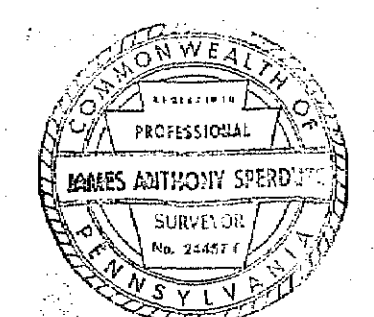
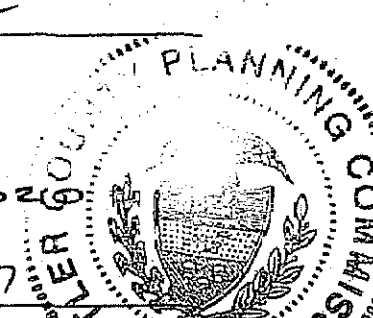
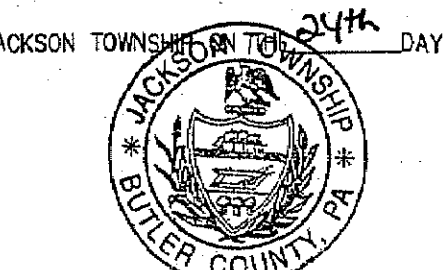
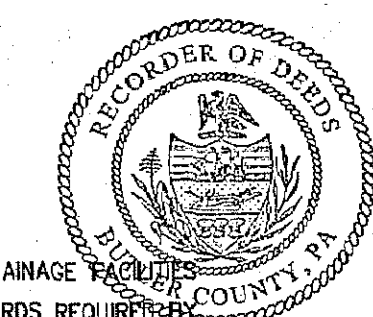
| Water/Sewer Service | |
|---------------------|---------------------------------|
| Water Service: | Harmony Borough Water |
| Sewer Service: | Western Butler County Authority |

| Zoning Requirements | |
|---------------------------------------|--------------------------|
| R-Residential per Cluster Regulations | |
| MIN. LOT AREA: | 7,200 sq ft |
| MIN. LOT WIDTH: | 55.00 ft @ Building Line |
| FRONT SETBACK: | 25.00 ft |
| REAR SETBACK: | 25.00 ft |
| SIDE SETBACK: | 15.00 ft total/5' min* |
| MAX BUILDING HEIGHT: | 35.00 ft |
| MAX LOT COVERAGE: | 50.00% |
| DEVELOPMENT REQUIRED OPEN SPACE: | 25% OR 1.0 acre |

*SETBACKS SHOWN HEREON AT 7.5' RESULTING IN A 15' TOTAL SETBACK

Owner/Developer
 Hurstrock Holdings, LLC
 Attn: Jim Clarke
 307 West New Castle St.
 Zelenople, PA 16063
 724-453-0335

DRAWING NUMBER: 1008-1920540
 DRAWING SCALE: 1"=30'
 DATE: August 9, 2020
 DRAWN BY:
 REVISIONS:
 08.11.2020_per comments
 08.26.2020_per comments
 08.27.2020_per comments



CORPORATE ADOPTION (MIDDLESEX TOWNSHIP)
 BY RESOLUTION APPROVED ON THE 23rd DAY OF September 2020 THE BOARD OF DIRECTORS OF THE HAWKINS CREST, LLC, INCORPORATED IN THE STATE OF PENNSYLVANIA, OWNER OF THE LAND SHOWN ON THE HAWKINS PROPERTY CONSOLIDATION PLAN ADOPTED THIS PLAN AS ITS LAND DEVELOPMENT AND IRREVOCABLY DEDICATED ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. HAWKINS CREST, LLC HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF MIDDLESEX, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC STREETS OR PROPERTY AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE CORPORATION AND UPON ITS SUCCESSORS AND ASSIGNS.

IN WITNESS OF WHICH, TO THIS I SET MY HAND AND SEAL THIS 23rd DAY OF Sept 20 2020

HAWKINS CREST, LLC.
 ATTEST: *[Signature]*
 SECRETARY (PRESIDENT)

CORPORATION ACKNOWLEDGMENT (MIDDLESEX TOWNSHIP)
 BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED *[Signature]* OF THE HAWKINS CREST, LLC, WHO STATED THAT HE IS AUTHORIZED TO EXECUTE THE ABOVE ADOPTION, DEDICATION AND PLAN ON BEHALF OF THE CORPORATION AND WAS PRESENT AT THE MEETING AT WHICH THE ACTION OF THE CORPORATION WAS TAKEN TO ADOPT THE PLAN AND DEDICATE PUBLIC PROPERTY CONTAINED THEREIN TO THE PUBLIC.

WITNESS MY HAND AND NOTARIAL SEAL THIS 23rd DAY OF September 2020

MY COMMISSION EXPIRES THE 2nd DAY OF March 2021

[Signature]
 Notary Public

CERTIFICATION OF TITLE WITHOUT A MORTGAGE
 I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE HAWKINS PROPERTY CONSOLIDATION PLAN IS IN THE NAME OF HAWKINS CREST, LLC AND IS RECORDED IN INSTRUMENT NOS. 202008240017563, 202008240017562, 202008240017563.

WITNESS _____ PRESIDENT

NVR, INC., MORTGAGEE OF THE PROPERTY CONTAINED IN THE HAWKINS PROPERTY CONSOLIDATION PLAN CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

[Signature]
 V.P. Regional manager

SURVEYOR CERTIFICATION
 I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THAT THE SURVEY AND PLAN SHOWN HEREON CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED BY ME.

9/24/2020
 DATE

[Signature]
 SURVEYOR

20275518
 REGISTRATION NUMBER

MIDDLESEX TOWNSHIP SUPERVISORS
 APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX BY RESOLUTION NO. 11 OF 2020, EFFECTIVE THIS 25th DAY OF September 2020

[Signature]
 SECRETARY

MIDDLESEX TOWNSHIP PLANNING COMMISSION
 REVIEWED BY THE PLANNING COMMISSION OF MIDDLESEX, THIS 25th DAY OF September 2020

[Signature]
 SECRETARY

MIDDLESEX TOWNSHIP ENGINEER
 I, *[Signature]*, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER OF THE TOWNSHIP OF MIDDLESEX, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

9/25/2020
 DATE

PE 089312
 REG. NO.

BUTLER COUNTY PLANNING COMMISSION
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 18th DAY OF SEPT. 2019

[Signature]
 SECRETARY

BUTLER COUNTY RECORDER OF DEEDS
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 388 PAGE 15-17

GIVEN UNDER MY HAND AND SEAL THIS 23rd DAY OF October 2020

[Signature]
 BUTLER COUNTY RECORDER OF DEEDS

| PARCEL NO. | OWNER | ADDRESS | CITY, ST, ZIP | AREA |
|-------------------|-----------------------------------|--------------------------------|-------------------|-----------|
| 230-3F57-10-0000 | HAWKINS CREST, LLC | 12300 PERRY HIGHWAY, SUITE 300 | WEXFORD, PA 15090 | 30.00 AC. |
| 230-3F57-11A-0000 | CROSSWAY CHURCH ASSEMBLIES OF GOD | P O BOX 1290 | MARS PA 16046 | 17.74 AC. |
| 230-3F57-10B-0000 | HAWKINS CREST, LLC | 12300 PERRY HIGHWAY, SUITE 300 | WEXFORD, PA 15090 | 5.55 AC. |
| 230-3F57-11-0000 | HAWKINS CREST, LLC | 12300 PERRY HIGHWAY, SUITE 300 | WEXFORD, PA 15090 | 14.92 AC. |
| 230-3F57-10A-0000 | HAWKINS CREST, LLC | 12300 PERRY HIGHWAY, SUITE 300 | WEXFORD, PA 15090 | 3.08 AC. |

REGISTERED SURVEYOR: *[Signature]*
 MIDDLESEX TOWNSHIP ENGINEER: *[Signature]*
 MIDDLESEX TOWNSHIP PLANNING COMMISSION: *[Signature]*
 MIDDLESEX TOWNSHIP BOARD OF SUPERVISORS: *[Signature]*
 BUTLER COUNTY PLANNING COMMISSION: *[Signature]*
 BUTLER COUNTY RECORDER OF DEEDS: *[Signature]*

811 Know what's below. Call before you dig.

POCS SER. #: 20191201320

Horizontal Scale: 1 inch = 150 ft.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

CORPORATE ADOPTION (MIDDLESEX TOWNSHIP)
 BY RESOLUTION APPROVED ON THE 23rd DAY OF October 2020 THE BOARD OF DIRECTORS OF THE CROSSWAY CHURCH OF THE ASSEMBLIES OF GOD, INC. INCORPORATED IN THE STATE OF PENNSYLVANIA, OWNER OF THE LAND SHOWN ON THE HAWKINS PROPERTY CONSOLIDATION PLAN ADOPTED THIS PLAN AS ITS LAND DEVELOPMENT AND IRREVOCABLY DEDICATED ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. CROSSWAY CHURCH OF THE ASSEMBLIES OF GOD, INC. HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF MIDDLESEX, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC STREETS OR PROPERTY AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE CORPORATION AND UPON ITS SUCCESSORS AND ASSIGNS.

IN WITNESS OF WHICH, TO THIS I SET MY HAND AND SEAL THIS 23rd DAY OF October 2020

CROSSWAY CHURCH OF THE ASSEMBLIES OF GOD, INC.
 ATTEST: *[Signature]*
 SECRETARY (PRESIDENT)

CORPORATION ACKNOWLEDGMENT (MIDDLESEX TOWNSHIP)
 BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED *[Signature]* OF THE CROSSWAY CHURCH OF THE ASSEMBLIES OF GOD, INC. WHO STATED THAT HE IS AUTHORIZED TO EXECUTE THE ABOVE ADOPTION, DEDICATION AND PLAN ON BEHALF OF THE CORPORATION AND WAS PRESENT AT THE MEETING AT WHICH THE ACTION OF THE CORPORATION WAS TAKEN TO ADOPT THE PLAN AND DEDICATE PUBLIC PROPERTY CONTAINED THEREIN TO THE PUBLIC.

WITNESS MY HAND AND NOTARIAL SEAL THIS 23rd DAY OF October 2020

MY COMMISSION EXPIRES THE 2nd DAY OF November 2022

[Signature]
 Notary Public

CERTIFICATION OF TITLE AND ZONING
 I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE HAWKINS PROPERTY CONSOLIDATION PLAN IS IN THE NAME OF CROSSWAY CHURCH OF THE ASSEMBLIES OF GOD, INC AND IS RECORDED IN INSTRUMENT NO. 19991220033037.

WITNESS _____ PRESIDENT

NVR, INC., MORTGAGEE OF THE CROSSWAY CHURCH ASSEMBLIES OF GOD PROPERTY CONTAINED IN THE HAWKINS PROPERTY CONSOLIDATION PLAN CONSENTS TO THE RECORDING OF A PORTION OF THE PROPERTY BEING CONVEYED TO HAWKINS CREST AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

[Signature]
 V.P. Regional manager

SURVEYOR CERTIFICATION
 I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THAT THE SURVEY AND PLAN SHOWN HEREON CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED BY ME.

9/24/2020
 DATE

[Signature]
 SURVEYOR

20275518
 REGISTRATION NUMBER

MIDDLESEX TOWNSHIP SUPERVISORS
 APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX BY RESOLUTION NO. 11 OF 2020, EFFECTIVE THIS 25th DAY OF September 2020

[Signature]
 SECRETARY

MIDDLESEX TOWNSHIP PLANNING COMMISSION
 REVIEWED BY THE PLANNING COMMISSION OF MIDDLESEX, THIS 25th DAY OF September 2020

[Signature]
 SECRETARY

MIDDLESEX TOWNSHIP ENGINEER
 I, *[Signature]*, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER OF THE TOWNSHIP OF MIDDLESEX, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

9/25/2020
 DATE

PE 089312
 REG. NO.

BUTLER COUNTY PLANNING COMMISSION
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 18th DAY OF SEPT. 2019

[Signature]
 SECRETARY

BUTLER COUNTY RECORDER OF DEEDS
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 388 PAGE 15-17

GIVEN UNDER MY HAND AND SEAL THIS 23rd DAY OF October 2020

[Signature]
 BUTLER COUNTY RECORDER OF DEEDS

| PARCEL NO. | OWNER | ADDRESS | CITY, ST, ZIP | AREA |
|-------------------|-----------------------------------|--------------------------------|-------------------|-----------|
| 230-3F57-10-0000 | HAWKINS CREST, LLC | 12300 PERRY HIGHWAY, SUITE 300 | WEXFORD, PA 15090 | 30.00 AC. |
| 230-3F57-11A-0000 | CROSSWAY CHURCH ASSEMBLIES OF GOD | P O BOX 1290 | MARS PA 16046 | 17.74 AC. |
| 230-3F57-10B-0000 | HAWKINS CREST, LLC | 12300 PERRY HIGHWAY, SUITE 300 | WEXFORD, PA 15090 | 5.55 AC. |
| 230-3F57-11-0000 | HAWKINS CREST, LLC | 12300 PERRY HIGHWAY, SUITE 300 | WEXFORD, PA 15090 | 14.92 AC. |
| 230-3F57-10A-0000 | HAWKINS CREST, LLC | 12300 PERRY HIGHWAY, SUITE 300 | WEXFORD, PA 15090 | 3.08 AC. |

REGISTERED SURVEYOR: *[Signature]*
 MIDDLESEX TOWNSHIP ENGINEER: *[Signature]*
 MIDDLESEX TOWNSHIP PLANNING COMMISSION: *[Signature]*
 MIDDLESEX TOWNSHIP BOARD OF SUPERVISORS: *[Signature]*
 BUTLER COUNTY PLANNING COMMISSION: *[Signature]*
 BUTLER COUNTY RECORDER OF DEEDS: *[Signature]*

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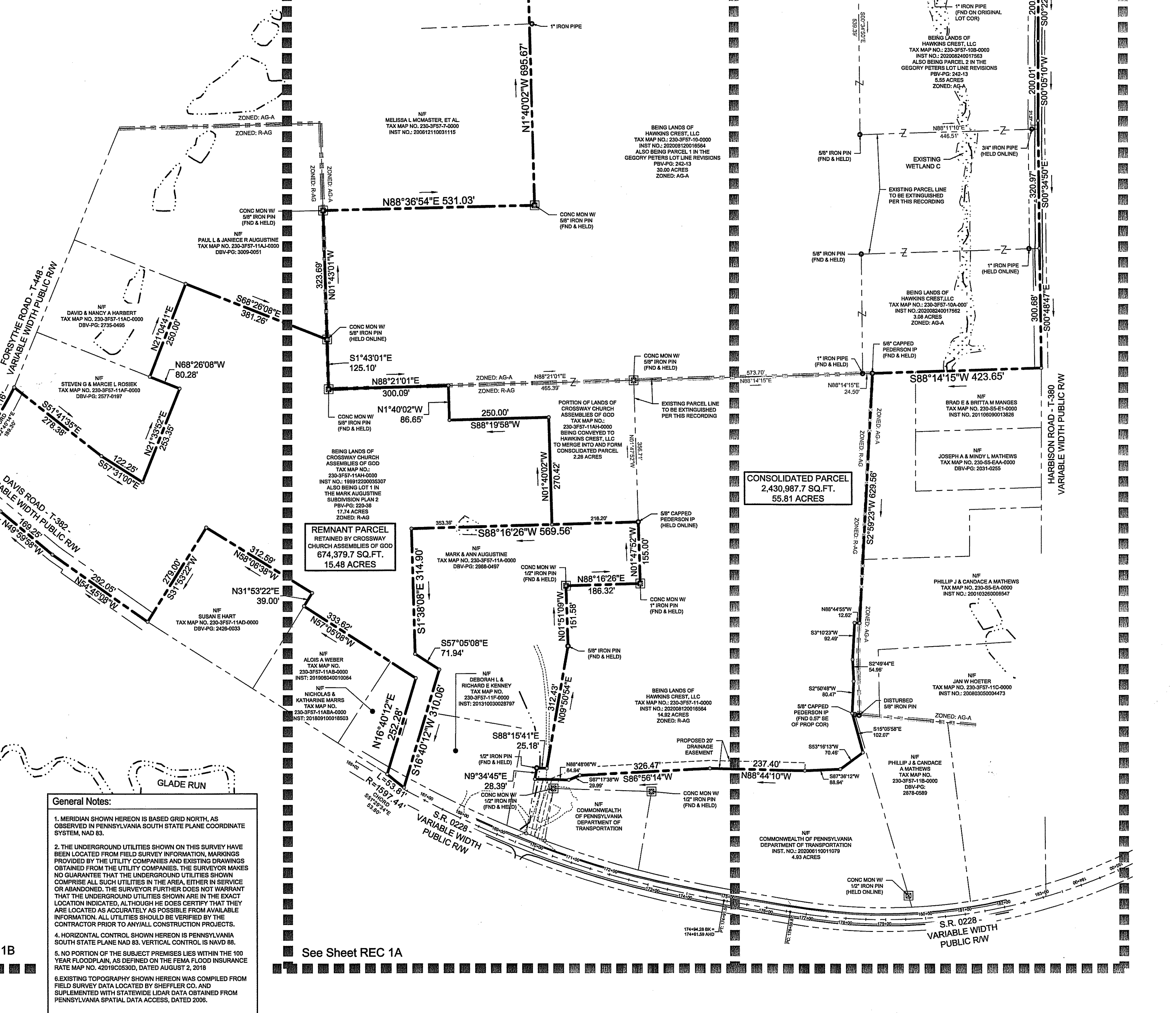
POCS SER. #: 20191201320

Horizontal Scale: 1 inch = 150 ft.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

- Document Reference List:**
- DEEDS
 - PAUL AUGUSTINE - DBV-PG: 3029-051
 - CROSSWAY CHURCH OF THE ASSEMBLIES OF GOD - INST: 19991220033037
 - MARK G. AUGUSTINE - DBV-PG: 2988-497
 - HAWKINS FAMILY FARM, LLC - INST: 20091020023340
 - MELISSA MCMASTER - INST: 200612110031115
 - GREGORY PETERS/JONATHAN EWING - INST: 201609100018496
 - MICHAEL B. INGRAM - INST: 2011113002942
 - GREGORY PETERSON - INST: 200205310016787
 - PHILIP MATHEWS - INST: 2003032600647
 - PHILIP JOHN MATHEWS - DBV-PG: 2876-589
 - JOSEPH MATHEWS - DBV-PG: 2031-255
 - ELLEN ANDREW - DBV-PG: 1055-420
 - CHESTER POSKEY - DBV-PG: 775-570
 - MARKWEST LIBERTY BLUESTONE LLC - INST: 201406200013753
 - RECORDED PLANS
 - MATHEWS PLAN NO. 2 - PBV-PG: 154-43
 - DAVID HENDERSON SUBDIVISION - PBV-PG: 200-47
 - MARK AUGUSTINE SUBDIVISION NO. 2 - PBV-PG: 220-36
 - EDWARD HONKUS LOT LINE REVISIONS - PBV-PG: 241-25
 - GREGORY PETERS LOT LINE REVISIONS - PBV-PG: 242-13
 - HAWKINS FAMILY FARM, LLC SUBDIVISION PLAN - PBV-PG: 320-36
 - MISCELLANEOUS DOCUMENTS
 - FEMA FLOOD INSURANCE RATE MAP NO. 4201803303
 - DEPARTMENT OF HIGHWAYS DRAWINGS FOR CONSTRUCTIONS AND CONDEMNATION OF RIGHT-OF-WAY ROUTE NO. 10010 SPUR "E" SECTION 2 [S.R. 0228], APPROVED JANUARY 1980.
 - MIDDLESEX TOWNSHIP ZONING MAP, DATED NOVEMBER 12, 2012

Instr: 202010020021787
 Page: 3 of 512.00
 10/27/2020 3:42 PM
 202010015602
 Butler County Recorder PA



General Notes:

- MERIDIAN SHOWN HEREON IS BASED GRID NORTH, AS OBSERVED IN PENNSYLVANIA SOUTH STATE PLANE COORDINATE SYSTEM, NAD 83.
- THE UNDERGROUND UTILITIES SHOWN ON THIS SURVEY HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, MARKINGS PROVIDED BY THE UTILITY COMPANIES AND EXISTING DRAWINGS OBTAINED FROM THE UTILITY COMPANIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. ALL UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION PROJECTS.
- HORIZONTAL CONTROL SHOWN HEREON IS PENNSYLVANIA SOUTH STATE PLANE NAD 83. VERTICAL CONTROL IS NAVD 83.
- NO PORTION OF THE SUBJECT PREMISES LIES WITHIN THE 100 YEAR FLOODPLAIN, AS DEFINED ON THE FEMA FLOOD INSURANCE RATE MAP NO. 4201803303, DATED AUGUST 2, 2018.
- EXISTING TOPOGRAPHY SHOWN HEREON WAS COMPILED FROM FIELD SURVEY DATA LOCATED BY SHEFFLER CO. AND SUPPLEMENTED WITH STATEWIDE LIDAR DATA OBTAINED FROM PENNSYLVANIA SPATIAL DATA ACCESS, DATED 2006.

Professional Seal: *[Signature]*

Prepared By: Sheffler & Company, Inc. ENGINEERING • SURVEYING
 1712 Mount Nebo Road, Sewickley, PA 15143
 Office Phone: 412-219-4509
 Email: Info@ShefflerCo.com

HAWKINS PROPERTY CONSOLIDATION PLAN NO. 2
 Prepared For: Hawkins Crest, LLC
 Situate In: Middlesex Township, Butler County, PA

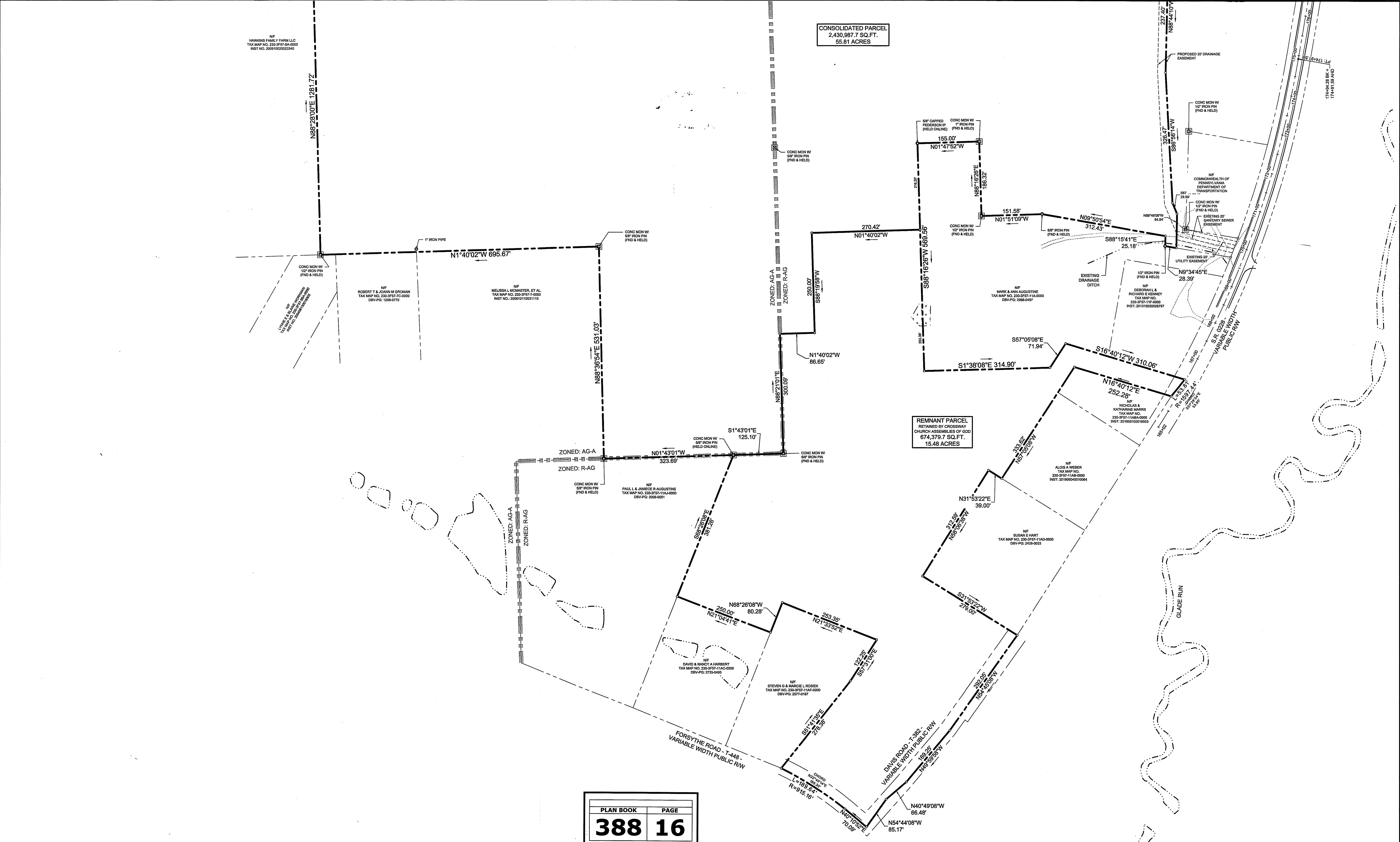
Being a consolidation of Tax Map Numbers 230-3F57-10B-000, recorded in Instrument No. 202008240017563, 230-3F57-10A-000, recorded in Instrument No. 202008240017562, 230-3F57-11A-000 and 230-3F57-11-000, recorded in Instrument No. 202008240017564, & subdivision of 230-3F57-11A-000, recorded in Instrument No. 19991220033037.

DRAWING SCALE: 1" = 150'
 DATE ISSUED: 8/27/2020
 PROJECT JOB#: 3713
 CADD#: REC2 - CONSOLIDATION PLAN.DWG

DRAFTED BY: AGM
 REVIEWED BY: GAS
 FIELD BOOK #: -

Hawkins Crest, LLC
 12300 Perry Highway, Suite 300
 Wexford, PA 15090

Sheet No. **REC 2**

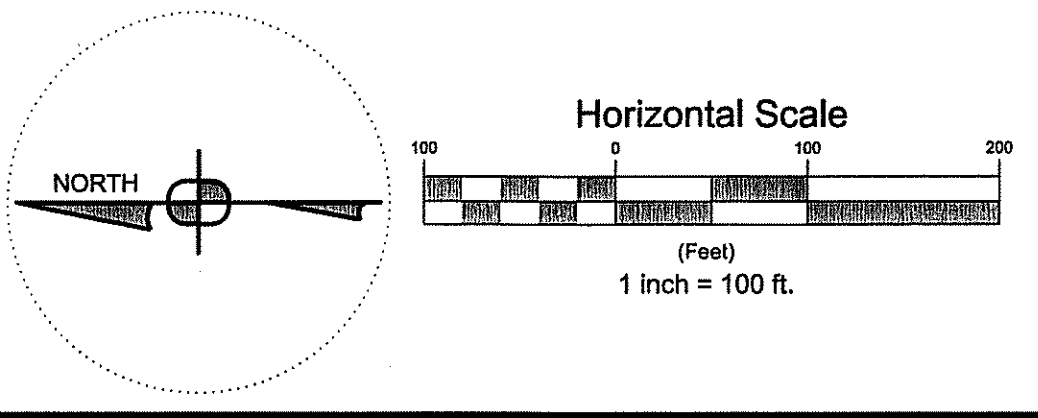


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| PLAN BOOK | PAGE |
| 388 | 16 |

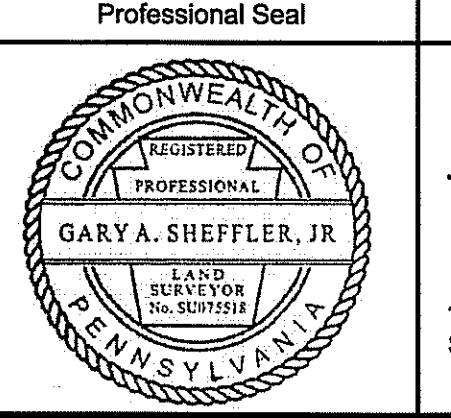
811 Know what's below. Call before you dig.

POCS SER. #: 20191201320

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



| Date: | Revision Description: | By: | Professional Seal |
|------------|-----------------------------|-----|-------------------|
| 08/10/2019 | HAWKINS TOWNSHIP SUBMISSION | GLF | |
| 07/29/2020 | ISSUED FOR CONSTRUCTION | RLS | |
| 08/17/2020 | UPDATED PROPERTY OWNERSHIP | AGM | |
| 08/27/2020 | UPDATED PROPERTY OWNERSHIP | AGM | |



Prepared By:

Sheffler & Company, Inc.
ENGINEERING • SURVEYING

1712 Mount Nebo Road
Sewickley, PA 15143

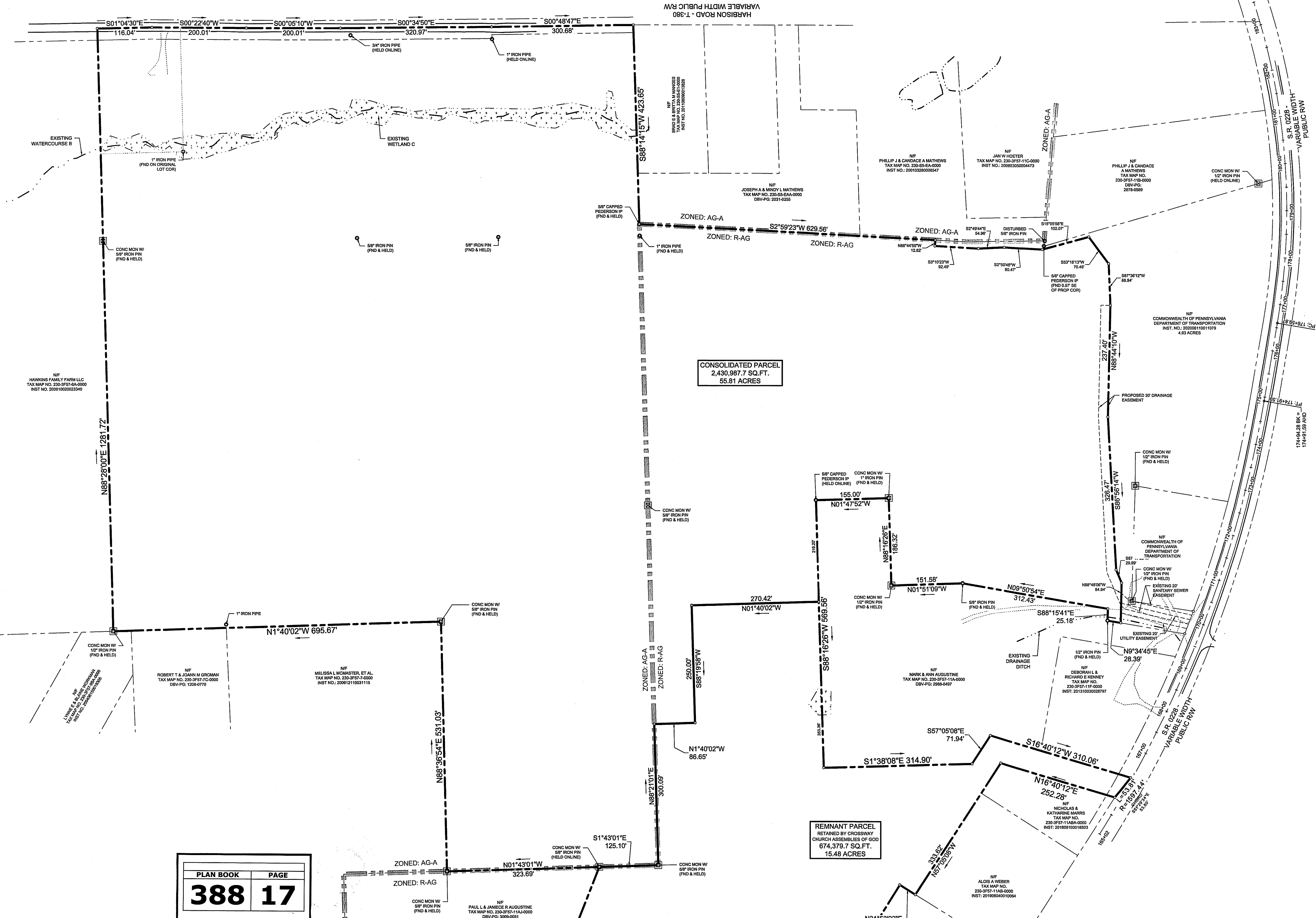
Office Phone: 412-219-4509
Email: info@shefflerco.com

HAWKINS PROPERTY CONSOLIDATION PLAN NO. 2

Prepared For:
Hawkins Crest, LLC

Situate In:
Middlesex Township, Butler County, PA

| | | |
|--|------------------|--|
| Being a consolidation of Tax Map Numbers 230-3F57-10B-000, recorded in Instrument No. 202008240017562, 230-3F57-10A-000, recorded in Instrument No. 202008240017563, 230-3F57-10-000 and 230-3F57-11-000, recorded in Instrument No. 202008120016554, & subdivision of 230-3F57-11A-000, recorded in Instrument No. 199912200035307. | | Hawkins Crest, LLC 12300 Perry Highway, Suite 300 Westford, PA 15090 |
| DRAWING SCALE: 1" = 100' | DRAFTED BY: AGM | Sheet No. |
| DATE ISSUED: 8/27/2020 | REVIEWED BY: GAS | REC 2B |
| PROJECT JOB#: 3713 | FIELD BOOK #: - | |
| CADD#: REC2 - CONSOLIDATION PLAN.DWG | | |

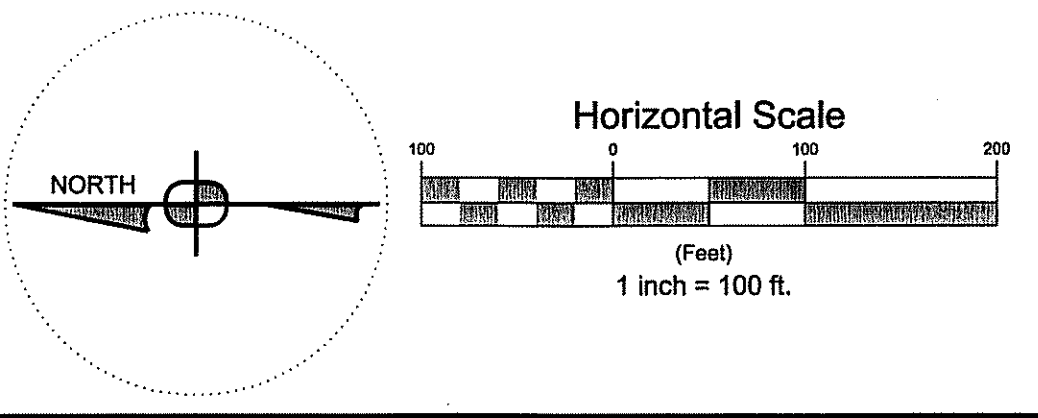


| | |
|------------|-----------|
| PLAN BOOK | PAGE |
| 388 | 17 |

811 Know what's below. Call before you dig.

POCS SER. #: 20191201320

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



| Date: | Revision Description: | By: |
|------------|------------------------------|-----|
| 09/10/2019 | HAWKINS, TOWNSHIP SUBMISSION | GLF |
| 07/29/2020 | ISSUED FOR CONSTRUCTION | GLS |
| 08/17/2020 | UPDATED PROPERTY OWNERSHIP | AGM |
| 08/27/2020 | UPDATED PROPERTY OWNERSHIP | AGM |

Professional Seal: **GARY A. SHEFFLER, JR.** REGISTERED PROFESSIONAL SURVEYOR No. 3679758 PA. STATE

Prepared By: **Sheffler & Company, Inc.** ENGINEERING • SURVEYING

1712 Mount Nebo Road Sewickley, PA 15143 Office Phone: 412-219-4509 Email: Info@ShefflerCo.com

HAWKINS PROPERTY CONSOLIDATION PLAN NO. 2

Prepared For: **Hawkins Crest, LLC**

Situate In: **Middlesex Township, Butler County, PA**

| | | |
|--|------------------|--|
| Being a consolidation of Tax Map Numbers 230-3F57-10B-000, recorded in Instrument No. 202008240017563, 230-3F57-10A-000, recorded in Instrument No. 202008240017562, 230-3F57-10-000 and 230-3F57-1-000, recorded in Instrument No. 202008120016554, & subdivision of 230-3F57-11A-000, recorded in Instrument No. 19991220003307. | | Hawkins Crest, LLC 12300 Perry Highway, Suite 300 Westford, PA 15090 |
| DRAWING SCALE: 1" = 100' | DRAFTED BY: AGM | Sheet No. |
| DATE ISSUED: 8/27/2020 | REVIEWED BY: GAS | REC 2A |
| PROJECT JOB#: 3713 | FIELD BOOK #: — | |
| CADD#: REC2 - CONSOLIDATION PLAN.DWG | | |

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT WE, DAVID A. DUKE, OF THE BOROUGH OF EAST BUTLER, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE BOROUGH OF EAST BUTLER, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND BOROUGH OF EAST BUTLER, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND BOROUGH OF EAST BUTLER, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 1st DAY OF October, 2020.

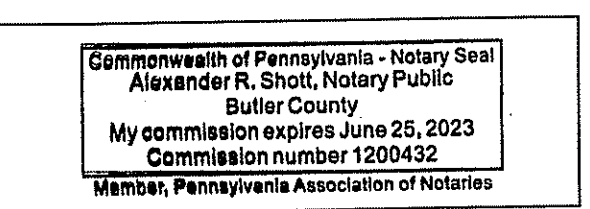
x David A. Duke x Katie A. Duke
 DAVID A. DUKE KATIE A. DUKE

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, DAVID A. AND KATIE A. DUKE, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 1st DAY OF October, 2020.

MY COMMISSION EXPIRES THE 25 DAY OF June, 2023.

x Alexander R. Sholt
 NOTARY PUBLIC



SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

10 SEPT 2020
 DATE
 x Stanley D. Graff
 REG. NO. SU-32061E



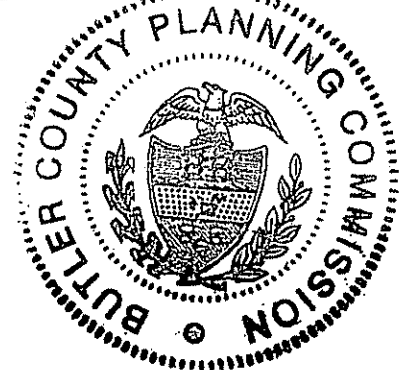
MUNICIPAL DECLARATIONS
 THE BOROUGH COUNCIL OF THE BOROUGH OF EAST BUTLER, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE BOROUGH OF EAST BUTLER ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN BOROUGH STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS
 APPROVED BY THE BOROUGH COUNCIL OF THE BOROUGH OF EAST BUTLER THIS 5 DAY OF October, 2020.

x Kelly M. Stephenson x John M. Plus
 SECRETARY PRESIDENT
 BOROUGH COUNCIL

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT
 APPROVED AND REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 16th DAY OF September, 2020.

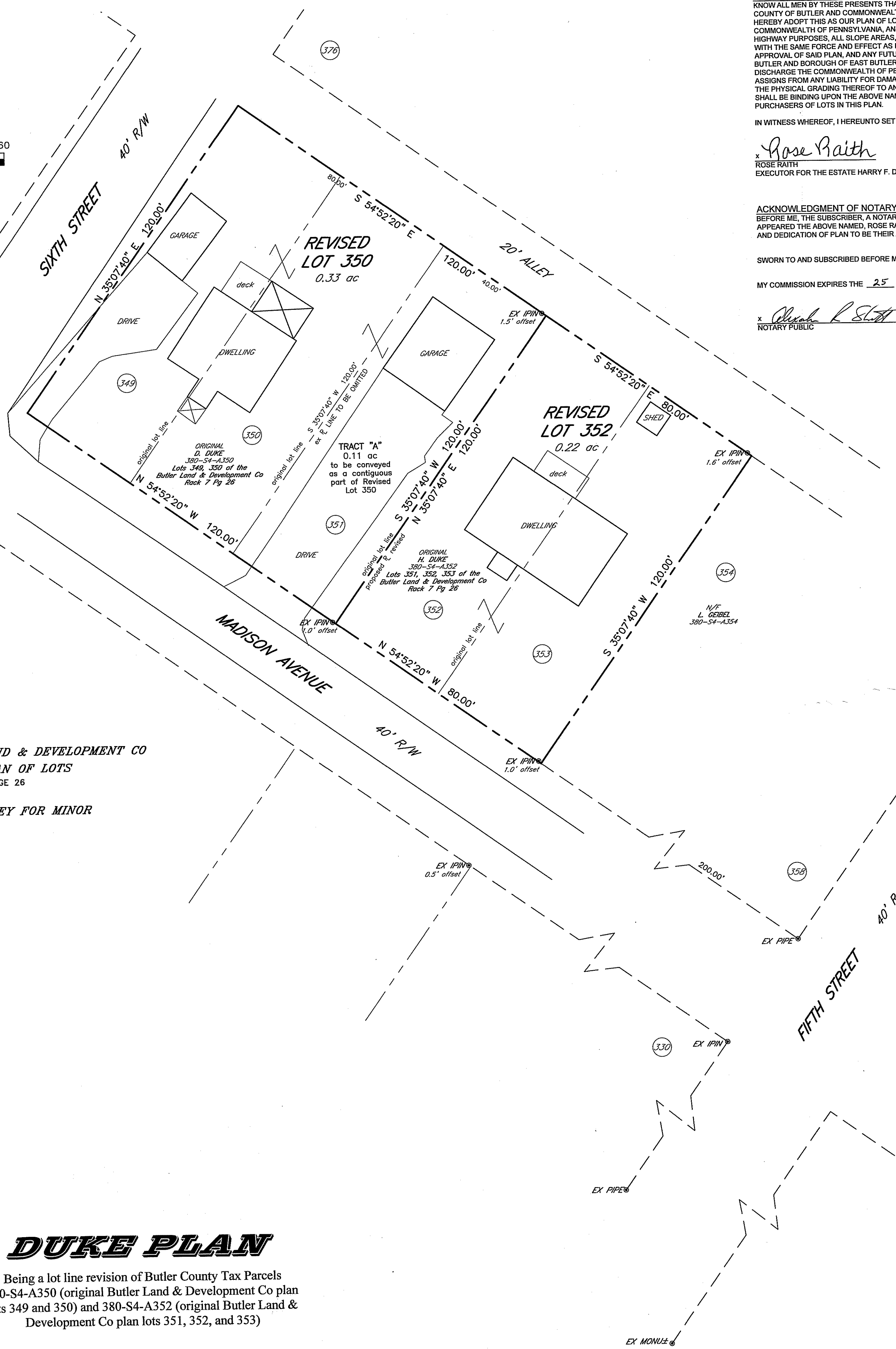
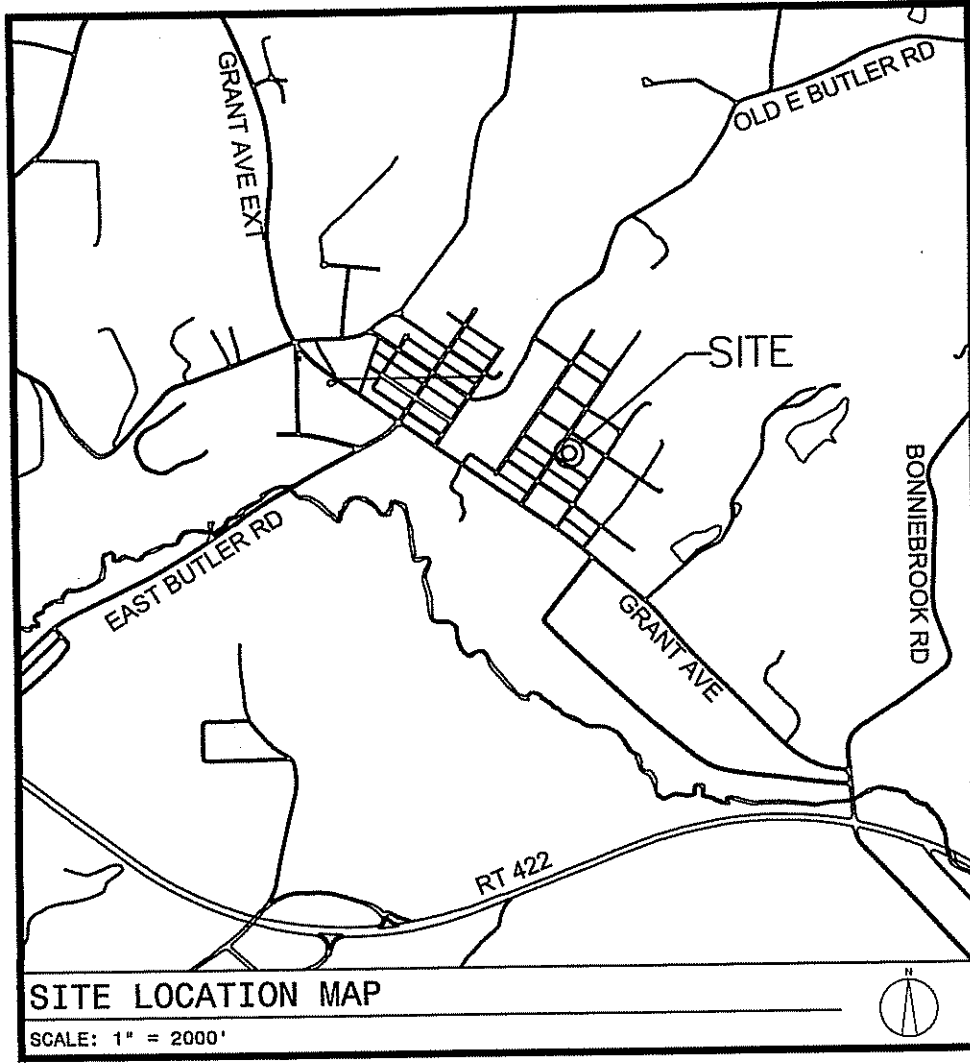
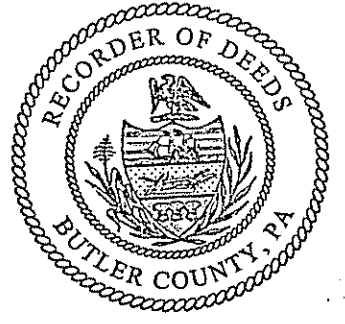
x R. Henshaw x J. Him
 SECRETARY CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION



PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 388, PAGE(S) 18

GIVEN UNDER MY HAND AND SEAL THIS 19 DAY OF October, 2020.

x Michele M. Mustello
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



REFERENCES:
 1906 BUTLER LAND & DEVELOPMENT CO
 EAST BUTLER PLAN OF LOTS
 RACK FILE 7 PAGE 26
 1994 LUCAS SURVEY FOR MINOR
 MAP #2-3146

DUKE PLAN
 Being a lot line revision of Butler County Tax Parcels 380-S4-A350 (original Butler Land & Development Co plan lots 349 and 350) and 380-S4-A352 (original Butler Land & Development Co plan lots 351, 352, and 353)

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT I, ROSE RATH, EXECUTOR FOR THE ESTATE OF HARRY F. DUKE, OF THE BOROUGH OF EAST BUTLER, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR MYSELF, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF MY PROPERTIES, SITUATE IN THE BOROUGH OF EAST BUTLER, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND BOROUGH OF EAST BUTLER, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND BOROUGH OF EAST BUTLER, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNER, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 1st DAY OF October, 2020.

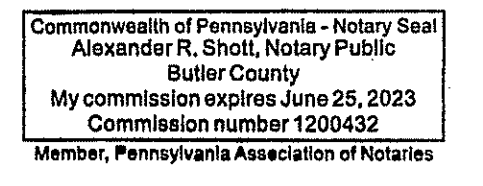
x Rose Rath
 ROSE RATH
 EXECUTOR FOR THE ESTATE HARRY F. DUKE

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, ROSE RATH, EXECUTOR FOR THE ESTATE OF HARRY F. DUKE, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 1st DAY OF October, 2020.

MY COMMISSION EXPIRES THE 25 DAY OF June, 2023.

x Alexander R. Sholt
 NOTARY PUBLIC



| REV | DESCRIPTION | BY | DATE |
|---|--------------------|----------|----------|
| GRAFF SURVEYING | | | |
| GRAFF SURVEYING LLC PO BOX 521 SAXONBURG, PA 16056 P: 724-352-3811 F: 724-352-1059 INFO@GRAFFSURVEYING.COM WWW.GRAFFSURVEYING.COM | | | |
| PROJECT DESCRIPTION | | | |
| DUKE PLAN BEING A LOT LINE REVISION FOR DAVID & KATIE DUKE AND THE ESTATE OF HARRY DUKE | | | |
| SITUATE | | | |
| EAST BUTLER BOROUGH BUTLER COUNTY, PENNSYLVANIA | | | |
| DATE | DRAWN | CHECKED | SCALE |
| 09/02/2020 | SDG | Sdg | 1" = 20' |
| PROJECT NO. | TAX PARCEL NO. | REVISION | |
| 20-125 | 380-S4-A350 & A352 | | |

| | |
|------------|-----------|
| RECORDED | 20 |
| PLAN BOOK | PAGE |
| 388 | 18 |
| SHEET | of |

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS: THAT LEICHER CONSTRUCTION LLC BY VIRTUE OF A RESOLUTION OF ITS BOARD OF DIRECTORS, DOES HEREBY ADOPT THIS PLAN OF SUBDIVISION OF ITS PROPERTY, SITUATE IN THE BOROUGH OF SAXONBURG, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVER ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY SAXONBURG BOROUGH, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA.

LEICHER CONSTRUCTION LLC HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE BOROUGH OF SAXONBURG, COUNTY OF BUTLER, ITS SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON CABOT RESOURCES CORPORATION ITS SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, THE SAID LIMITED LIABILITY CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE HAND OF ITS PRESIDENT AND SAME TO BE ATTESTED BY ITS SECRETARY
 THIS 7 DAY OF OCTOBER, 2020.

LEICHER CONSTRUCTION LLC
 NAME OF CORPORATION
 DATE 10-7-2020
 SEAL
 x Carl Leicher
 x Carl Leicher
 SECRETARY PRESIDENT

ACKNOWLEDGMENT OF NOTARY PUBLIC
 COMMONWEALTH OF PENNSYLVANIA
 COUNTY OF BUTLER
 ON THIS 7 DAY OF OCTOBER, 2020 BEFORE ME, NOTARY PUBLIC AND FOR SAID COUNTY OF COMMONWEALTH, PERSONALLY APPEARED CARL LEICHER
 PRESIDENT OF LEICHER CONSTRUCTION LLC, WHO BEING DULY SWORN, DEPOSES AND SAYS THAT HE WAS PERSONALLY PRESENT AT THE EXECUTION, RELEASE AND DEDICATION AND SAW THE COMMON AND CORPORATE SEAL OF THE SAID CORPORATION DULY SIGNED AND SEALED BY AND AS FOR THE ACT AND DEED OF THE SAID LEICHER CONSTRUCTION LLC FOR THE USES AND PURPOSES THEREIN MENTIONED, AND THAT THE NAME OF THIS DEPONENT SUBSCRIBED TO THE SAID RELEASED AND DEDICATION AS PRESIDENT OF SAID LIMITED LIABILITY CORPORATION, IN ATTESTATION OF THE DULY EXECUTION AND DELIVERY OF SAID RELEASE AND DEDICATION OF THIS DEPONENT'S OWN AND PROPER AND RESPECTIVE HANDWRITING.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 7 DAY OF OCTOBER, 2020
 MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 20 20
 x Debra L. Jaffcoat
 NOTARY PUBLIC

SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

23 SEPT 2020
 DATE
 x Stanley D. Graff
 STANLEY D. GRAFF
 REG. NO. SU-030162

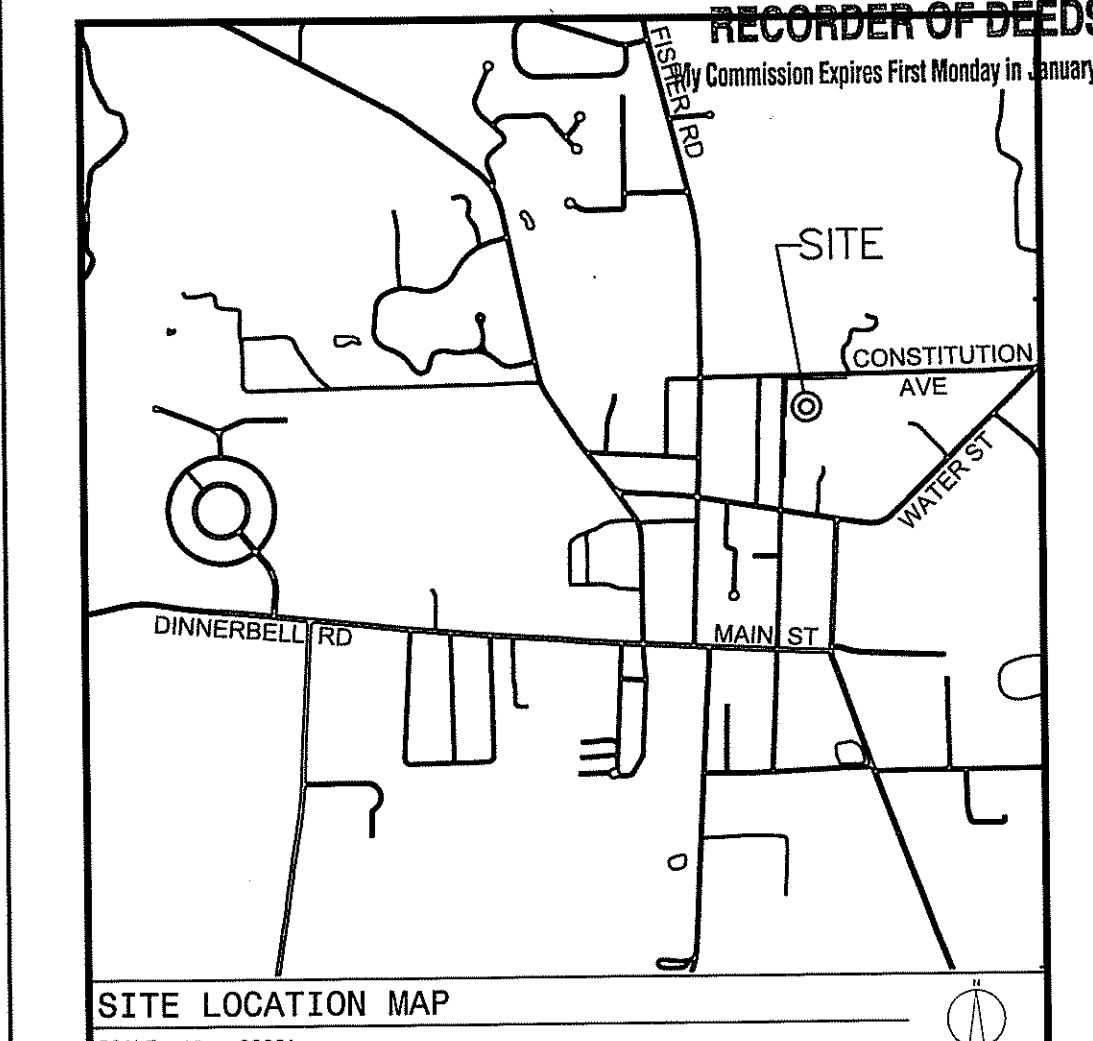
MUNICIPAL DECLARATIONS
 THE BOROUGH COUNCIL OF SAXONBURG BOROUGH, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS BOROUGH STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN BOROUGH STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS
 REVIEWED BY THE BOROUGH OF SAXONBURG PLANNING COMMISSION THIS 2nd DAY OF September, 2020.
 x Carol J. Mubert
 SECRETARY CHAIRPERSON
 PLANNING COMMISSION

APPROVED BY THE BOROUGH COUNCIL OF SAXONBURG BOROUGH THIS 15th DAY OF September, 2020.
 x Shirley Weingard
 SECRETARY CHAIRPERSON
 BOROUGH COUNCIL

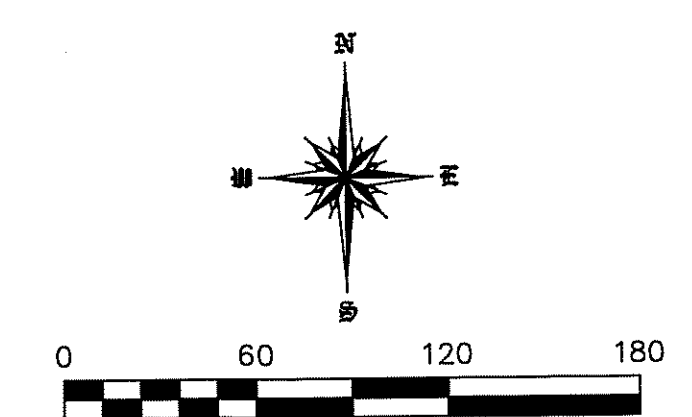
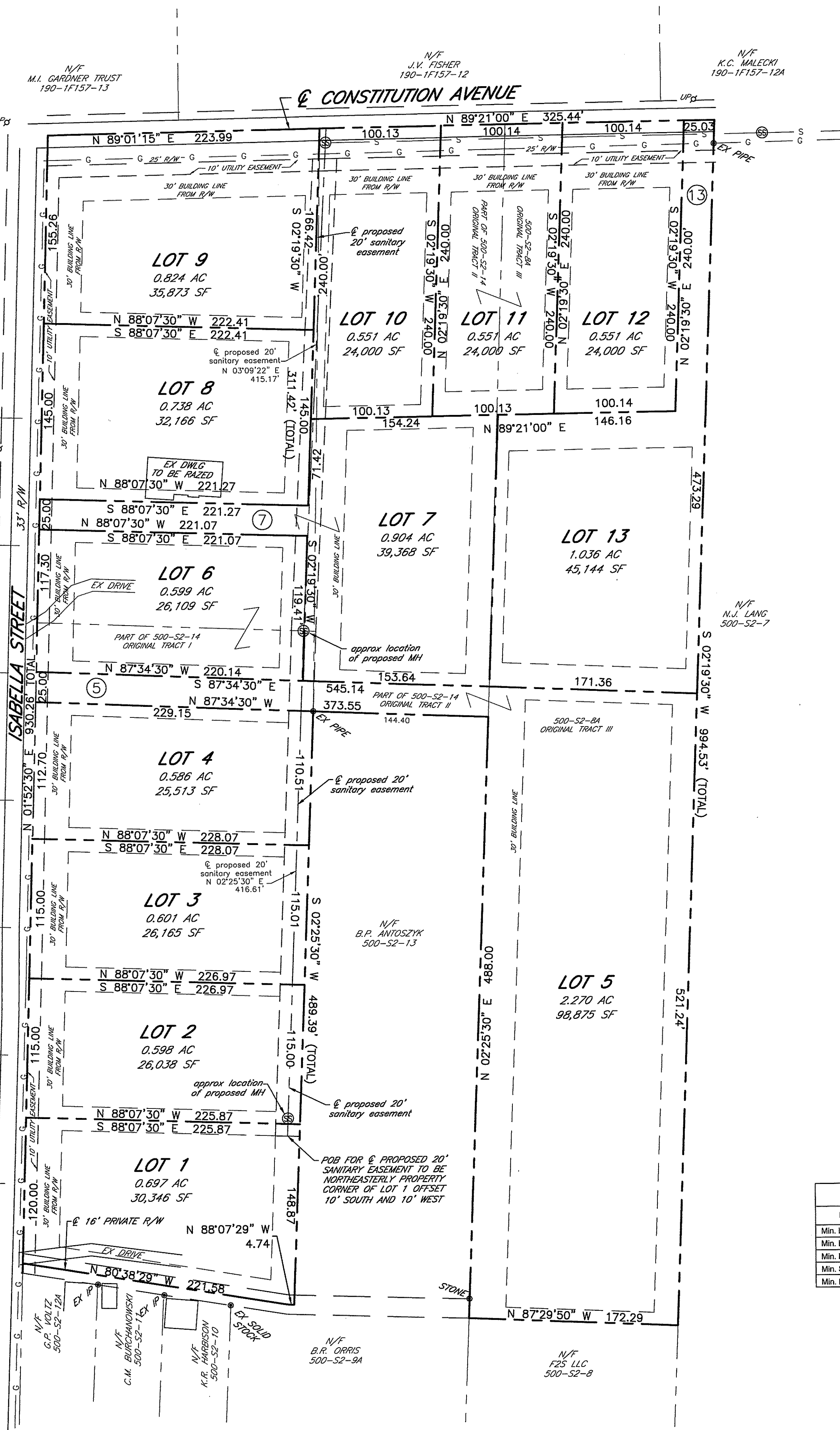
BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 16th DAY OF September, 2020.
 x R. Ham
 SECRETARY CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION
 Butler Co. Plan # 20191

PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 388, PAGE(S) 19
 GIVEN UNDER MY HAND AND SEAL THIS 9th DAY OF October, 2020.
 x Michele M. Mustello
 RECORDER OF DEEDS



NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

INSTR: 20201009022545
 10/9/2020 3:16 PM
 Page 1 of 545.80
 Michele Mustello
 Butler County Recorder PA



| SAXONBURG BOROUGH R-1 DISTRICT | |
|-----------------------------------|--------------------|
| Dimension | All Permitted Uses |
| Min. Lot Area | 15,000 sq ft |
| Min. Lot Width | 100 feet |
| Min. Front Yard Depth | 30 feet |
| Min. Side Yard Depth | 10 feet |
| Min. Rear Yard Depth | 20 feet |

LEICHER CONSTRUCTION PLAN

Being a subdivision of Butler County Tax
 Parcels 500-S2-8A and 500-S2-14

| | |
|------------|-----------|
| RECORDED | 20 |
| PLAN BOOK | PAGE |
| 388 | 19 |
| SHEET | of |

| REV | DESCRIPTION | BY | DATE |
|-----|-------------|----|------|
| | | | |

GRAFF SURVEYING

GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION
LEICHER CONSTRUCTION PLAN
 BEING A
SUBDIVISION
 FOR
LEICHER CONSTRUCTION LLC

SITUATE
 BOROUGH OF SAXONBURG
 BUTLER COUNTY, PENNSYLVANIA

| DATE | DRAWN | CHECKED | SCALE |
|----------|-------|---------|----------|
| 10/11/16 | SDG | Sdg | 1" = 60' |

| PROJECT NO. | TAX PARCEL NO. | REVISION |
|-------------|----------------|----------|
| 20-099 | 500-S2-8A & 14 | - |

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT WE, BRIAN P. THOMA & TIMOTHY R. THOMA, PARTNERS, T/D/B/A THOMA'S MEAT MARKET OF SAXONBURG, PENNSYLVANIA OF THE TOWNSHIP OF JEFFERSON, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF JEFFERSON, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF JEFFERSON, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF JEFFERSON, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 6 DAY OF OCTOBER, 2020.

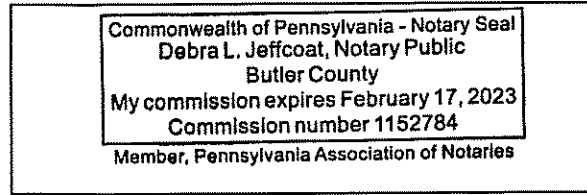
Brian P. Thoma
 BRIAN P. THOMA
Timothy R. Thoma
 TIMOTHY R. THOMA

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, BRIAN P. THOMA & TIMOTHY R. THOMA, PARTNERS, T/D/B/A THOMA'S MEAT MARKET OF SAXONBURG, PENNSYLVANIA, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 6 DAY OF OCTOBER, 2020.

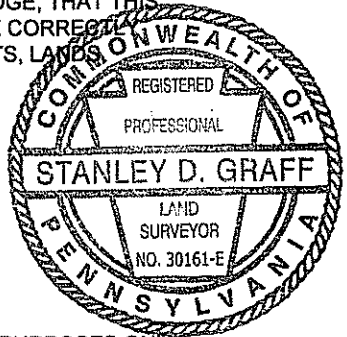
MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023

Debra L. Jeffcoat
 NOTARY PUBLIC



SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LINES, STREETS OR ROADS AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

DATE 1 October 2020
Stanley D. Graff
 STANLEY D. GRAFF
 REG. NO. 30001019-E



MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF JEFFERSON, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF JEFFERSON ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS
 APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF JEFFERSON THIS 14th DAY OF SEPTEMBER, 2020.

Kristi Fenell
 SECRETARY
Heather Cyprien
 CHAIRPERSON
 BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF JEFFERSON THIS 17th DAY OF AUGUST, 2020.

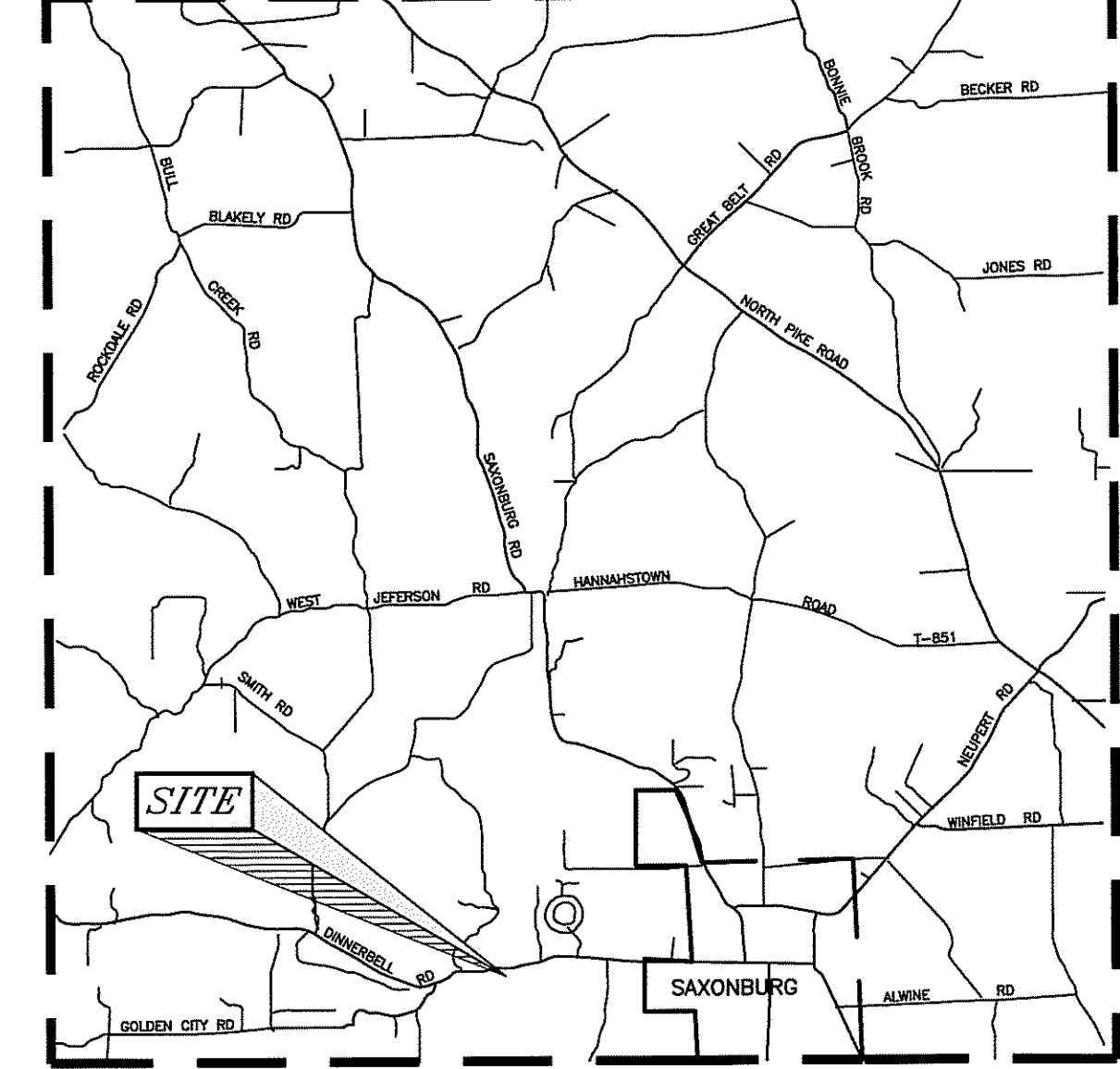
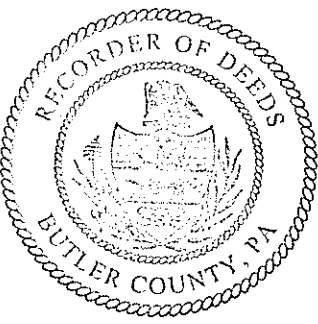
Evelyn M. Heasler
 SECRETARY
L. J. Runko
 CHAIRPERSON
 PLANNING COMMISSION

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 19th DAY OF August

R. Hamm
 SECRETARY
J. Hamm
 CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION

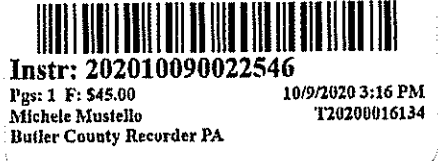
PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 388, PAGE(S) 20
 GIVEN UNDER MY HAND AND SEAL THIS 9th DAY OF October, 2020.

Michele M. Mustello
 MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2026

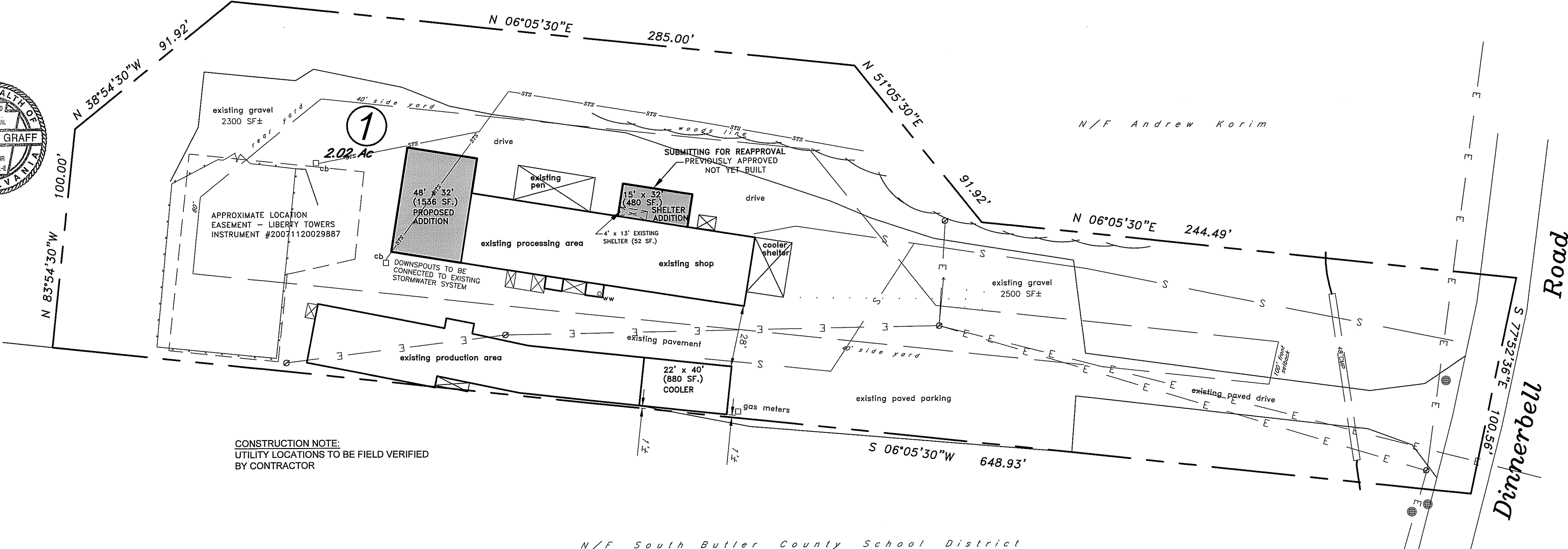
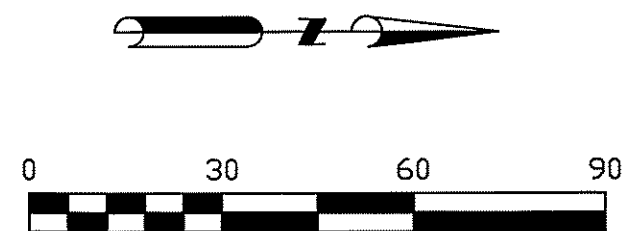


OWNER'S ACCEPTANCE OF RESPONSIBILITY FOR PROVIDING STORMWATER DRAINAGE FACILITIES AND CONTROL OF STORMWATER DRAINAGE
 KNOW ALL MEN BY THESE PRESENTS THAT WE, BRIAN P. THOMA & TIMOTHY R. THOMA, PARTNERS, T/D/B/A THOMA'S MEAT MARKET OF SAXONBURG, PENNSYLVANIA, OF THE TOWNSHIP OF JEFFERSON, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, AND FOR OUR GRANTEES AND THEIR SUBSEQUENT PURCHASERS, DO HEREBY ACCEPT FULL AND COMPLETE RESPONSIBILITY, LIABILITY, EXPENSE AND PROVISION OF FACILITIES FOR THE CONTROL OF STORMWATER DRAINAGE OVER, ACROSS AND THROUGH THIS LAND UNTIL SUCH TIME AS WE, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS CONSTRUCT STORMWATER DRAINAGE FACILITIES IN ACCORDANCE WITH TOWNSHIP SPECIFICATIONS AND REQUIREMENTS AND THE SAME IS OFFICIALLY ACCEPTED BY ACTION OF THE BOARD OF SUPERVISORS AND UNTIL SUCH FORMAL ACCEPTANCE FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS DO HEREBY RELEASE THE TOWNSHIP OF JEFFERSON FROM ANY RESPONSIBILITY IN CONNECTION HEREWITH. THIS ACCEPTANCE OF RESPONSIBILITY SHALL BE BINDING UPON BRIAN P. THOMA & TIMOTHY R. THOMA, PARTNERS, T/D/B/A THOMA'S MEAT MARKET OF SAXONBURG, PENNSYLVANIA, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, AND ALL PURCHASERS OF LOTS IN THIS SITE PLAN.

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.



N/F Andrew Korim



N/F South Butler County School District

- GENERAL NOTES:**
- OWNERS: BRIAN P. THOMA & TIMOTHY R. THOMA, PARTNERS, T/D/B/A THOMA'S MEAT MARKET OF SAXONBURG, PENNSYLVANIA
 - REFERENCES
 - CURRENT DEEDS OF RECORD
 - PREVIOUSLY RECORDED PLANS
 - KORIM/THOMA PLAN PLAN BOOK 256 PG 4
 - 2010 SD GRAFF SURVEY FOR BRIAN & TIMOTHY THOMA PROJECT #10039 DATED 3/24/10

| REV | DESCRIPTION | BY | DATE |
|-----|--|-----|-----------|
| B | REVISIONS PER TOWNSHIP SUPERVISOR REVIEW | SDG | 9/16/2020 |
| A | REVISIONS PER TOWNSHIP REVIEW | SDG | 9/10/2020 |



GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION
THOMA'S MEAT MARKET NO. 2
 BEING A
PROPOSED BUILDING ADDITION
 FOR
BRIAN P. THOMA
TIMOTHY R. THOMA

SITUATE
 JEFFERSON TOWNSHIP
 BUTLER COUNTY, PENNSYLVANIA

| RECORDED | 20 |
|------------|-----------|
| PLAN BOOK | PAGE |
| 388 | 20 |
| SHEET | of |

| DATE | DRAWN | CHECKED | SCALE |
|-------------|----------------|----------|----------|
| 07/27/2020 | BAG | Sdg | 1" = 30' |
| PROJECT NO. | TAX PARCEL NO. | REVISION | |
| 20-126 | 190-1F157-18A | B | |

THOMA'S MEAT MARKET NO. 2

Being a proposed building addition to be constructed on Jefferson Township tax parcel 190-1F157-18A over existing impervious drive.

KNOW ALL MEN BY THESE PRESENTS, THAT GEORGE E. & SUSAN L. HOLTZ, DOES HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN SLIPPERY ROCK TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF SLIPPERY ROCK, GEORGE E. & SUSAN L. HOLTZ, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF SLIPPERY ROCK, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON GEORGE E. & SUSAN L. HOLTZ MY SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 1st DAY OF September, 2020.

ATTEST:
George E. Holtz Susan L. Holtz
 OWNER OWNER

COMMONWEALTH OF PENNSYLVANIA) SS:
 COUNTY OF Butler)
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED GEORGE E. & SUSAN L. HOLTZ AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.
 WITNESS MY HAND AND SEAL THIS 1st DAY OF September, 2020.
 MY COMMISSION EXPIRES THE 26th DAY OF July, 2023.

Commonwealth of Pennsylvania - Notary Seal
 Vonnie J. Hogg, Notary Public
 Butler County
 My commission expires July 26, 2023
 Commission number 1235484
 Member, Pennsylvania Association of Notaries

Vonnie J. Hogg
 NOTARY PUBLIC

APPROVED BY THE SLIPPERY ROCK TOWNSHIP PLANNING COMMISSION THIS 28th DAY OF September, 2020.

Vonnie J. Hogg Shayne Steiner
 SECRETARY CHAIRMAN

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF SLIPPERY ROCK HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF SLIPPERY ROCK ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS, OR ROADS, OR GRADES, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF SLIPPERY ROCK, THIS 28th DAY OF September, 2020.

Aileen Connell Paul G. Dickey
 SECRETARY CHAIRMAN, BOARD OF SUPERVISORS

Terri Deen
 SUPERVISOR

I, JEFFREY A. SHUTY, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS AND OR AGENTS.

8/20/2020
 DATE REG. NO. SU075509

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 19th DAY OF August, 2020.

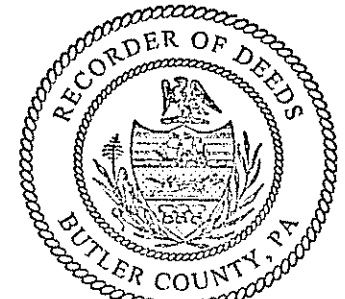
R. Ann GRM J. Ann GRM
 SECRETARY CHAIRMAN

COMMONWEALTH OF PENNSYLVANIA) SS:
 COUNTY OF BUTLER)

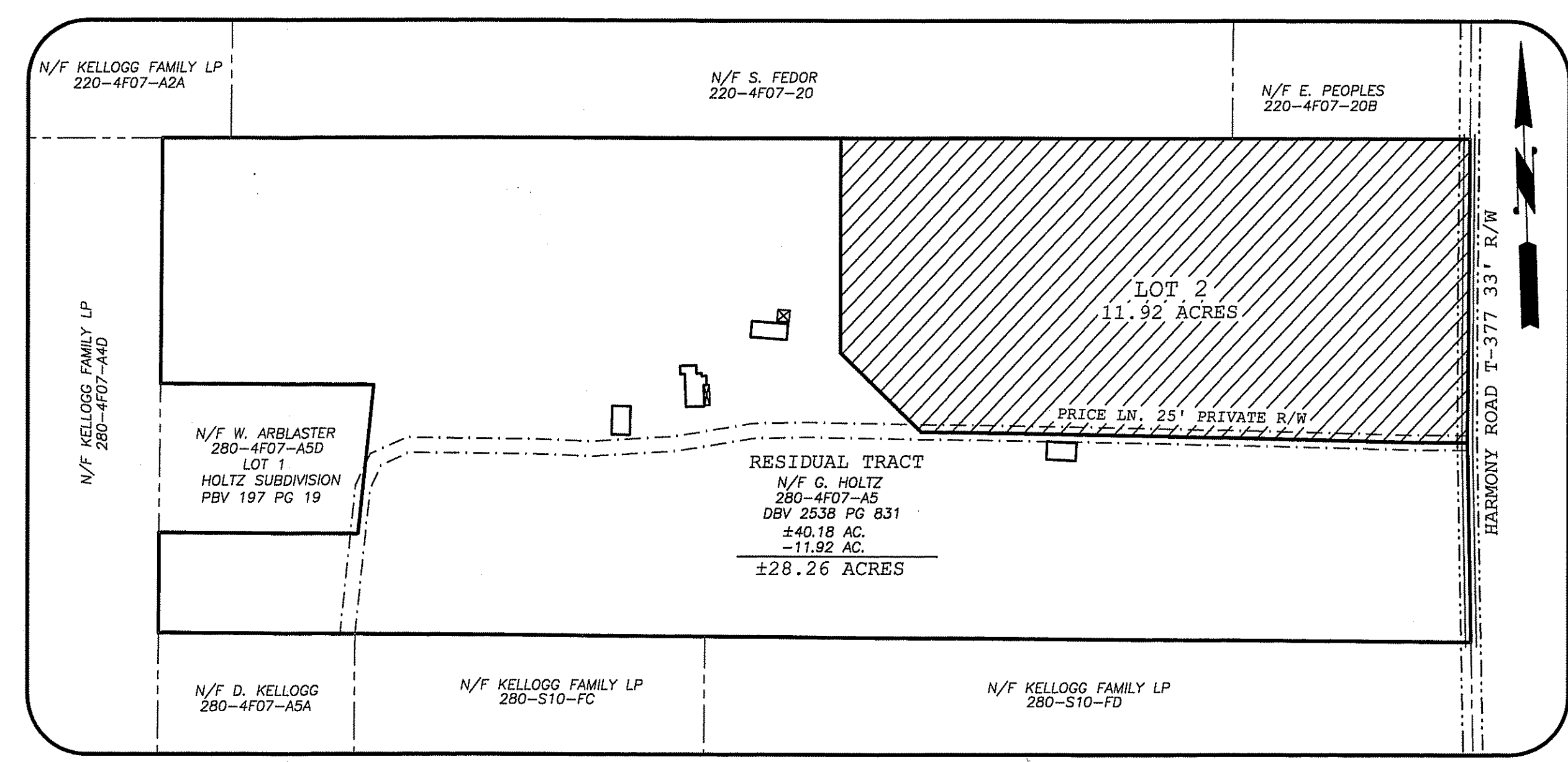
RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN SAID COUNTY IN PLAN BOOK VOLUME 388, PAGE 21

GIVEN UNDER MY HAND AND SEAL THIS 14th DAY OF October, 2020

Michele M. Mustello

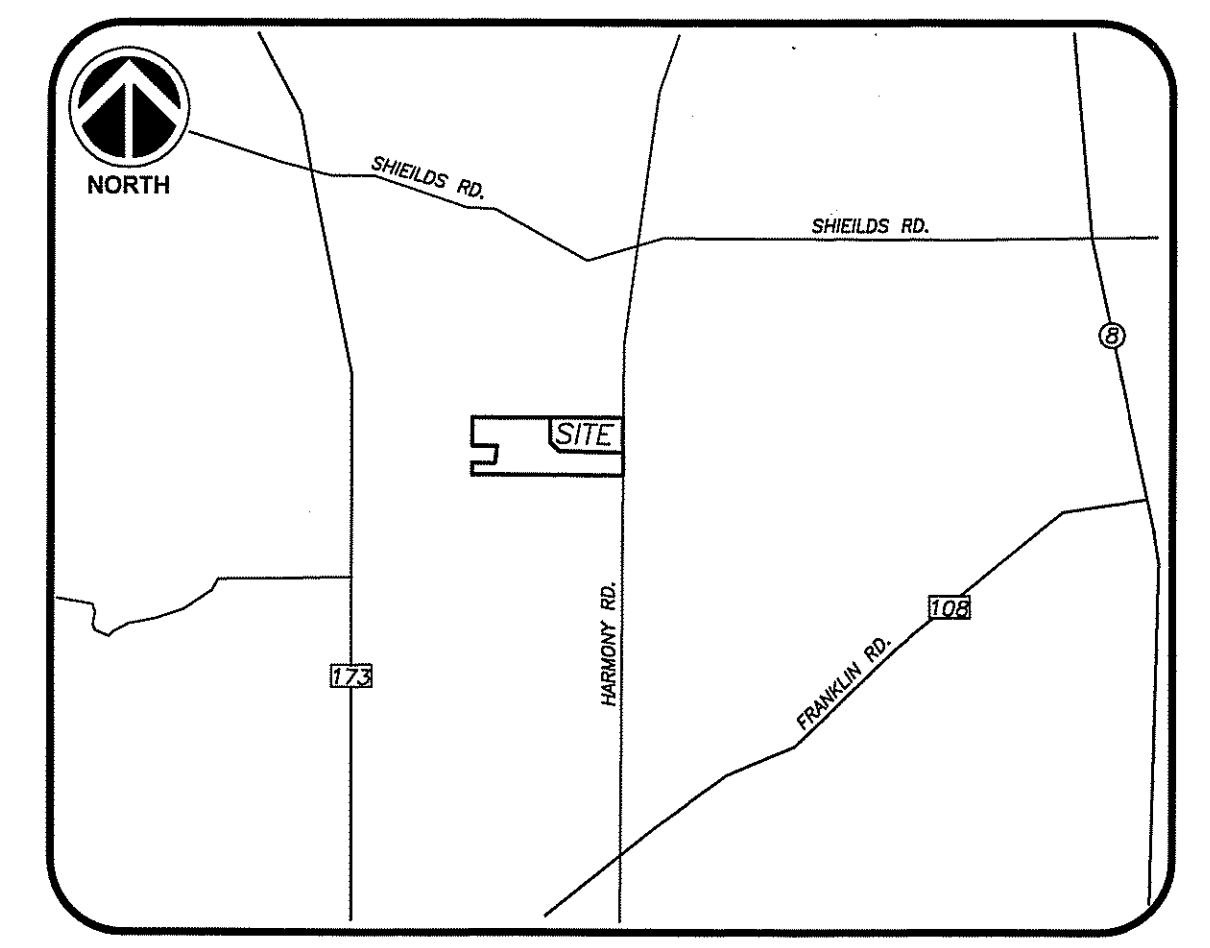


MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024

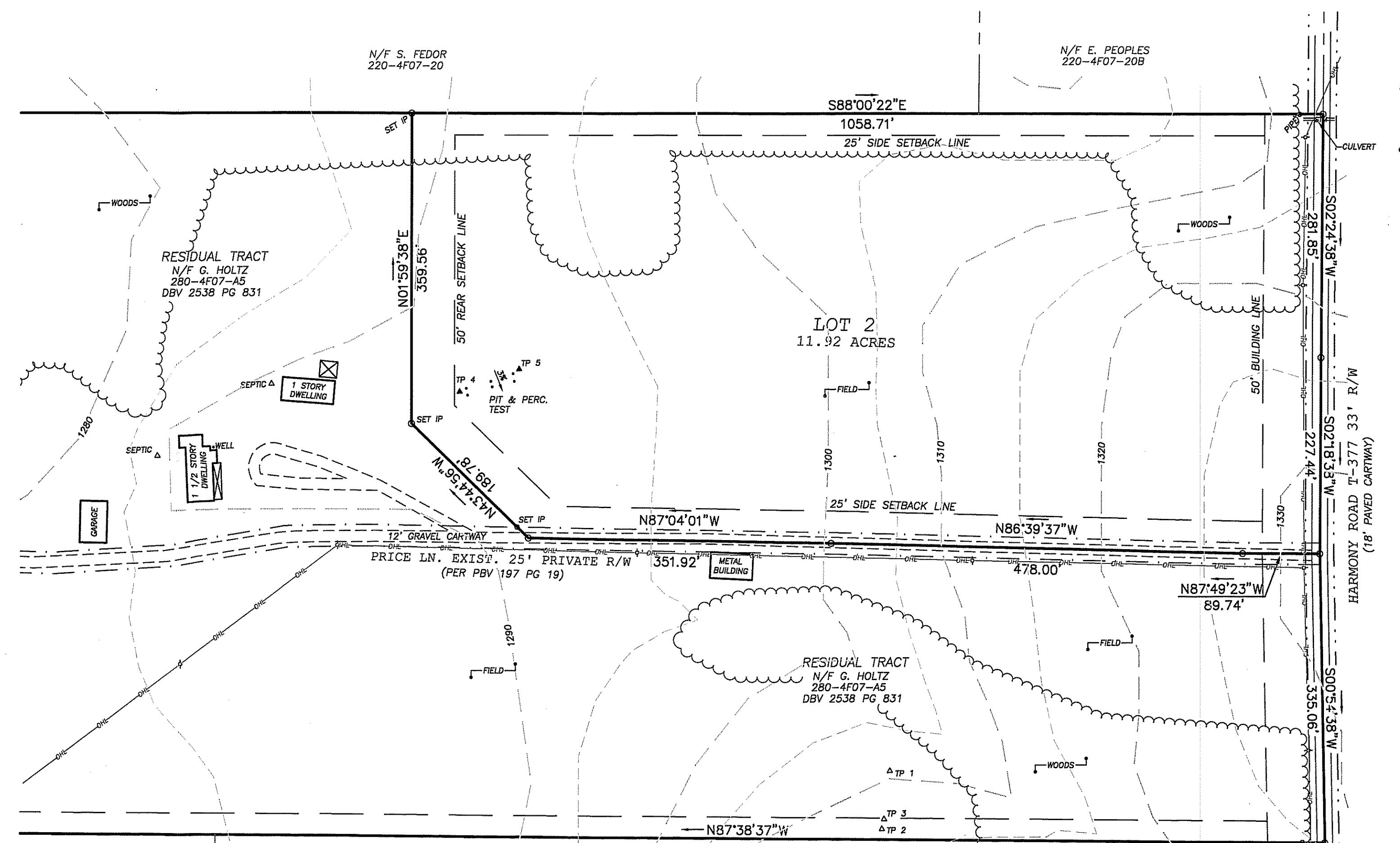


RESIDUAL MAP
 1" = 200'

Instr: 202010140022772
 Pg: 1 of 14800
 Michele Mustello
 Butler County Recorder PA
 10/4/2020 10:40 AM
 12020016304



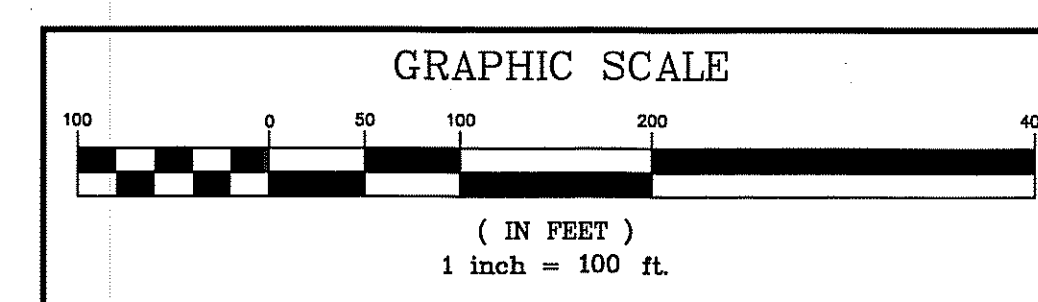
VICINITY MAP
 NOT TO SCALE



PRICE LANE - 25' PRIVATE RIGHT OF WAY

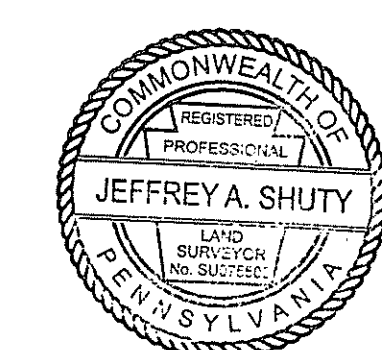
All conveyances under this plan are subject to the grantees shared responsibility of costs and expenses of maintaining any and all right-of-ways/roadways of this plan in good repair. The use by grantees of said right-of-ways/roadways shall be limited to ingress, egress, and regress and no use shall be expanded or modified without prior written consent of any and all landowner, shown on this plan and having interest in the right of way shown.

| |
|------------------------------|
| TOTAL PLAN AREA ±40.18 ACRES |
| RESIDUAL TRACT ±28.26 AC. |
| LOT 2 11.92 AC. |



| | |
|---|--|
| OWNER: GEORGE E. & SUSAN L. HOLTZ 130 PRICE LANE SLIPPERY ROCK, PA 16057 724-967-2334 | ZONING - RC-1 RURAL CONSERVATION |
| PARCEL ID: 280-4F07-A5 DEED REF: DBV 2538 PG 831 PBV 197 PG 19 | MIN. LOT AREA 1 ACRE MIN. LOT WIDTH 150' FRONT YARD 50' SIDE YARD 25' REAR YARD 50' MAX. BLDG. HT. 35' MAX. COVERAGE 15% |

| | |
|------------|-----------|
| PLAN BOOK | PAGE |
| 388 | 21 |



NORTHERN
 SURVEYORS AND ASSOCIATES
 137 LINK LANE
 SLIPPERY ROCK, PA 16057
 (724)530-6889
 northernsurveyor@gmail.com

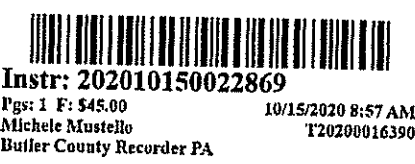
| | | |
|-----------------|---|------------------------------|
| Scale 1" = 100' | Date July 10, 2020 | Holtz Subdivision |
| Job No. 3301 | Situate in Slippery Rock Township Butler County, Pa. | Prepared For George Holtz |
| | | Sheet No. 1 of 1 |

PURPOSE:
TO TRANSFER A TRIANGULAR PIECE OF PROPERTY FROM TAX ID. NO.'S 10-S6-ASD1 AND 10-S6-ASA TO TAX ID. NO. 10-S6-AA.

OWNERS:
PAUL FRIEDLINE
TENACITY TRAIL NORTHWEST OF WRIGHT ROAD
PHONE # (724) 625-0022

DIANE REDDINGER
115 TENACITY TRAIL, ADAMS TWP., BUTLER COUNTY, PA

KEITH BUTERBAUGH
124 TENACITY TRAIL, ADAMS TWP., BUTLER COUNTY, PA



AREA TABULATIONS:

| PARCEL ID. | OLD LOT AREA sq.ft. | acreage | R/W DEDICATION sq.ft. | acreage | NEW LOT AREA sq.ft. | acreage |
|--------------|---------------------|---------------|-----------------------|--------------|---------------------|--------------|
| 10-S6-AA | 339,386.32 | 7.791 | 1,970.11 | 0.045 | 359,326.56 | 8.249 |
| 10-S6-ASD1 | 55,155.53 | 1.266 | 12,929.67 | 0.297 | 27,305.30 | 0.627 |
| 10-S6-ASA | 68,180.83 | 1.566 | 12,547.47 | 0.288 | 48,643.57 | 1.117 |
| TOTAL | 462,722.68 | 10.623 | 27,447.25 | 0.630 | 435,275.43 | 9.993 |

UNDERGROUND UTILITY NOTE:

ALL UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE IN LOCATION AND ARE SHOWN FOR GRAPHICAL PURPOSES ONLY. CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES BEFORE ANY TYPE OF EXCAVATION BEGINS. PA ONE CALL SYSTEM, INC. TO BE NOTIFIED AT LEAST 3 DAYS PRIOR TO CONSTRUCTION TO ASSIST IN THE FIELD LOCATION OF UNDERGROUND UTILITIES.

FOR MULTI-LOT SUBDIVISION:

REVIEWED WITH OR WITHOUT COMMENTS BY THE BUTLER COUNTY PLANNING COMMISSION AT A MEETING HELD THIS 15TH DAY OF JULY, A.D. 2020
LETTER TO ADAMS TOWNSHIP BOARD OF SUPERVISORS DATED 7/16
A.D. 2020

Robert M. & SUE E. PELLES
TAX ID. 10-S6-A6
D.B. 2194/PG. 133

TOWNSHIP PLANNING COMMISSION RECOMMENDATION FOR APPROVAL:

THIS PLAT OF SUBDIVISION HAS BEEN RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWNSHIP OF ADAMS, BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA ON THIS 2ND DAY OF SEPTEMBER, A.D. 2020

Secretary: [Signature]
Chairman: [Signature]

TOWNSHIP ENGINEER'S CERTIFICATION:

I, [Signature], A REGISTERED PROFESSIONAL ENGINEER FOR THE TOWNSHIP OF ADAMS, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS SUBDIVISION PLAN OR LAND DEVELOPMENT MEETS ALL OF THE ENGINEERING REQUIREMENTS SET FORTH IN THE ADAMS TOWNSHIP ZONING ORDINANCE, SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, AND THE PUBLIC AND PRIVATE IMPROVEMENT CODE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.
DATE: Sept. 28, 2020
REG. NO. 26400 E
SIGNATURE: [Signature]

APPROVAL BY THE TOWNSHIP OF ADAMS:

THE TOWNSHIP BOARD OF SUPERVISORS OF THE TOWNSHIP OF ADAMS, BUTLER COUNTY, PENNSYLVANIA, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN OF SUBDIVISION FOR RECORDING PURPOSES ONLY, THE APPROVAL OF THIS SUBDIVISION PLAN BY THE TOWNSHIP OF ADAMS DOES NOT CONSTITUTE AN ACCEPTANCE OF THE ROADS, STREETS, ALLEYS, STORMWATER AND SANITARY SEWAGE DRAINAGE FACILITIES, EASEMENTS OR RIGHTS-OF-WAY, WATER MAINS OR ANY OTHER SERVICES OR IMPROVEMENTS SHOWN ON THIS PLAN NOR AN ASSUMPTION OF MAINTENANCE RESPONSIBILITY, NOR WILL THE SAME BE ACCEPTED OR MAINTAINED UNTIL CONSTRUCTED IN ACCORDANCE WITH ALL TOWNSHIP SPECIFICATIONS AND REQUIREMENTS AND OFFICIALLY ACCEPTED BY THE ACTION OF THE TOWNSHIP BOARD OF SUPERVISORS.

THIS PLAT OF SUBDIVISION APPROVED BY ACTION OF THE TOWNSHIP BOARD OF SUPERVISORS OF THE TOWNSHIP OF ADAMS, BUTLER COUNTY, PENNSYLVANIA ON THIS 23RD DAY OF SEPT. A.D. 2020

Secretary of Board of Supervisors: [Signature]
Chairman of Board of Supervisors: [Signature]

INDIVIDUAL ADOPTION:

KNOW ALL MEN BY THESE PRESENTS, THAT I PAUL A. FRIEDLINE, OF THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, STATE OF PENNSYLVANIA, FOR MYSELF, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS MY LOT LINE REVISION PLAN OF MY PROPERTY, SITUATE IN THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO ME, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE TOWNSHIP OF ADAMS, I PAUL A. FRIEDLINE HEREBY AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF ADAMS, ITS SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON PAUL A. FRIEDLINE MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL
THIS 23RD DAY OF SEPT. A.D. 2020

Attest: [Signature]
Notary Public

MY COMMISSION EXPIRES THE 10 DAY OF JUNE, A.D. 2023

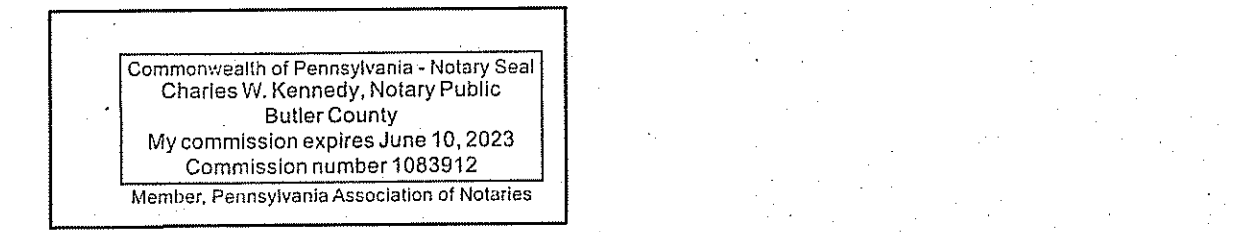
THE FOREGOING ADOPTION AND DEDICATION IS MADE BY PAUL A. FRIEDLINE WITH THE FULL UNDERSTANDING AND AGREEMENT THAT THE APPROVAL OF THE TOWNSHIP BOARD OF SUPERVISORS OF THE TOWNSHIP OF ADAMS, IF HERETO ATTACHED, WILL BECOME NULL AND VOID UNLESS THIS PLAN IS RECORDED IN THE RECORDER OF DEEDS OFFICE OF BUTLER COUNTY, COUNTY COURT HOUSE, BUTLER, PENNSYLVANIA, WITHIN NINETY (90) DAYS OF DATE OF SAID APPROVAL.

INDIVIDUAL ACKNOWLEDGMENT:

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUTLER
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH PERSONALLY APPEARED THE ABOVE NAMED PAUL A. FRIEDLINE WHO ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN OF LOT LINE REVISION TO BE HIS ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 23RD DAY OF SEPT. 2020

My Commission Expires the 10 Day of June, 2023



TITLE CLAUSE (NO MORTGAGE):

I, PAUL A. FRIEDLINE, OWNER OF THE PROPERTY SHOWN ON THIS PLAN, DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF PAUL A. FRIEDLINE AS RECORDED IN DEED BOOK VOLUME 2750, PAGE 551, RECORDER OF DEEDS OFFICE. I FURTHER CERTIFY THAT THERE ARE NO MORTGAGES, LIENS OR ENCUMBRANCES AGAINST THESE PROPERTIES.

Witness: [Signature]
Owner: [Signature]

SURVEYOR'S NOTES:

THE PROPERTIES DELINEATED HEREON ARE UNDER AND SUBJECT TO ALL EXCEPTIONS, RESERVATIONS, COVENANTS, CONDITIONS, RESTRICTIONS AND CONVEYANCES WHICH APPEAR IN THE INSTRUMENTS WHICH FORM THE RECORD CHAIN OF TITLE OR WHICH ARE VISIBLE ON THE PREMISES.

THIS PLAT DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISUAL USES OF THE LAND, HOWEVER THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO EASEMENTS EXIST.

THESE PROPERTIES DELINEATED HEREON ARE LOCATED ON THE BUTLER COUNTY TAX ASSESSMENT MAP No. 2:
• 10-S6-AA RECORDED AT DBV 2750, Pg. 552 IN THE NAME OF PAUL A. FRIEDLINE;
• 10-S6-ASD1 RECORDED AT INSTR. #201201240002130 IN THE NAME OF KEITH D. BUTERBAUGH, ETAL;
• 10-S6-ASA RECORDED AT INSTR. #201403310006616 IN THE NAME OF DIANE B. REDDINGER

BEARINGS ARE TO PENNSYLVANIA STATE PLANE SOUTH COORDINATES. (DEED BEARINGS ARE SHOWN IN PARENTHESES.)

FLOOD ZONE:
ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. FEMA FIRM MAP No. 42019C0508D, EFFECTIVE DATE AUG. 2, 2018.

PROFESSIONAL LAND SURVEYOR CERTIFICATE:

I, PAUL J. NEFF, A REGISTERED LAND SURVEYOR FOR THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.
DATE: 07/31/20
SIGNATURE: [Signature]
PAUL J. NEFF, P.L.S. REG. NO. SU051242

PROOF OF RECORDING:

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUTLER
RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, PLATS, ETC., IN SAID COUNTY IN PLAN BOOK VOLUME 388 PAGE(S) 22
GIVEN UNDER MY HAND AND SEAL THIS 15 DAY OF OCTOBER, A.D. 2020

Recorder of Deeds: [Signature]

INDIVIDUAL ADOPTION:

KNOW ALL MEN BY THESE PRESENTS, THAT I DIANE B. REDDINGER, OF THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, STATE OF PENNSYLVANIA, FOR MYSELF, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS MY LOT LINE REVISION PLAN OF MY PROPERTY, SITUATE IN THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO ME, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE TOWNSHIP OF ADAMS, I DIANE B. REDDINGER HEREBY AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF ADAMS, ITS SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON DIANE B. REDDINGER MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL
THIS 18TH DAY OF SEPTEMBER, A.D. 2020

Attest: [Signature]
Notary Public

My Commission Expires the 12 Day of January, A.D. 2024

THE FOREGOING ADOPTION AND DEDICATION IS MADE BY DIANE B. REDDINGER WITH THE FULL UNDERSTANDING AND AGREEMENT THAT THE APPROVAL OF THE TOWNSHIP BOARD OF SUPERVISORS OF THE TOWNSHIP OF ADAMS, IF HERETO ATTACHED, WILL BECOME NULL AND VOID UNLESS THIS PLAN IS RECORDED IN THE RECORDER OF DEEDS OFFICE OF BUTLER COUNTY, COUNTY COURT HOUSE, BUTLER, PENNSYLVANIA, WITHIN NINETY (90) DAYS OF DATE OF SAID APPROVAL.

INDIVIDUAL ACKNOWLEDGMENT:

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUTLER
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH PERSONALLY APPEARED THE ABOVE NAMED DIANE B. REDDINGER WHO ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN OF LOT LINE REVISION TO BE HER ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 18 DAY OF SEPTEMBER, 2020

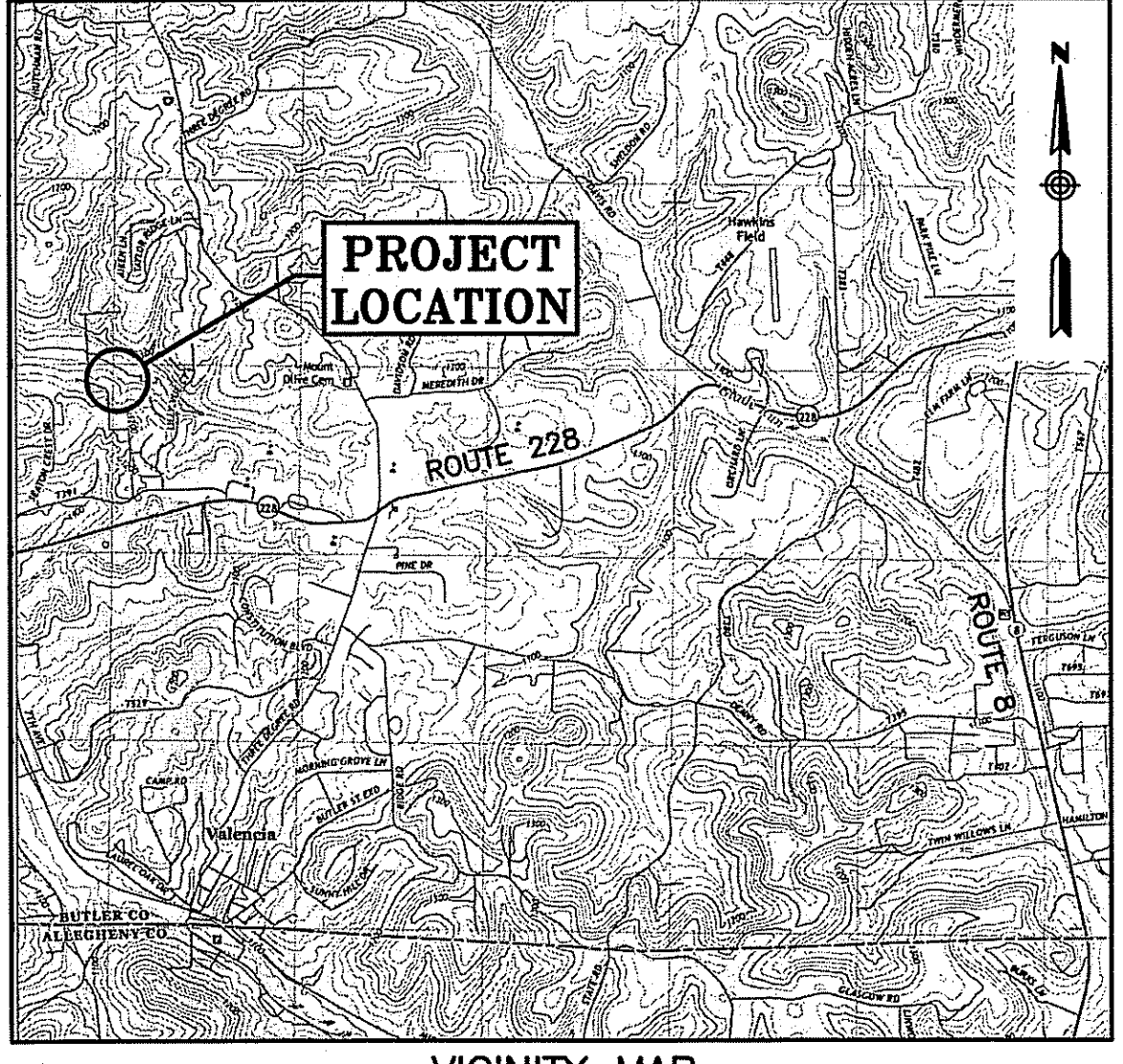
My Commission Expires the 12 Day of January, 2024



TITLE CLAUSE (NO MORTGAGE):

I, DIANE B. REDDINGER, OWNER OF THE PROPERTY SHOWN ON THIS PLAN, DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF DIANE B. REDDINGER AS RECORDED IN INSTR. #201403310006616, RECORDER OF DEEDS OFFICE. I FURTHER CERTIFY THAT THERE ARE NO MORTGAGES, LIENS OR ENCUMBRANCES AGAINST THESE PROPERTIES.

Witness: [Signature]
Owner: [Signature]



VICINITY MAP
SCALE: 1"=200'
SOURCE: U.S.G.S. TOPOGRAPHICAL QUADRANGLE, VALENCIA, PENNSYLVANIA 7.5 MINUTE SERIES, 2016.

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

Notary: [Signature]

INDIVIDUAL ADOPTION:
KNOW ALL MEN BY THESE PRESENTS, THAT I KEITH D. BUTERBAUGH, OF THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, STATE OF PENNSYLVANIA, FOR MYSELF, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS MY LOT LINE REVISION PLAN OF MY PROPERTY, SITUATE IN THE TOWNSHIP OF ADAMS, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO ME, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE TOWNSHIP OF ADAMS, I KEITH D. BUTERBAUGH HEREBY AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF ADAMS, ITS SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON KEITH D. BUTERBAUGH MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL
THIS 22ND DAY OF SEPT. A.D. 2020

Attest: [Signature]
Notary Public

My Commission Expires the 10 Day of June, A.D. 2023

THE FOREGOING ADOPTION AND DEDICATION IS MADE BY KEITH D. BUTERBAUGH WITH THE FULL UNDERSTANDING AND AGREEMENT THAT THE APPROVAL OF THE TOWNSHIP BOARD OF SUPERVISORS OF THE TOWNSHIP OF ADAMS, IF HERETO ATTACHED, WILL BECOME NULL AND VOID UNLESS THIS PLAN IS RECORDED IN THE RECORDER OF DEEDS OFFICE OF BUTLER COUNTY, COUNTY COURT HOUSE, BUTLER, PENNSYLVANIA, WITHIN NINETY (90) DAYS OF DATE OF SAID APPROVAL.

INDIVIDUAL ACKNOWLEDGMENT:

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUTLER
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH PERSONALLY APPEARED THE ABOVE NAMED KEITH D. BUTERBAUGH WHO ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN OF LOT LINE REVISION TO BE HIS ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 22ND DAY OF SEPT. 2020

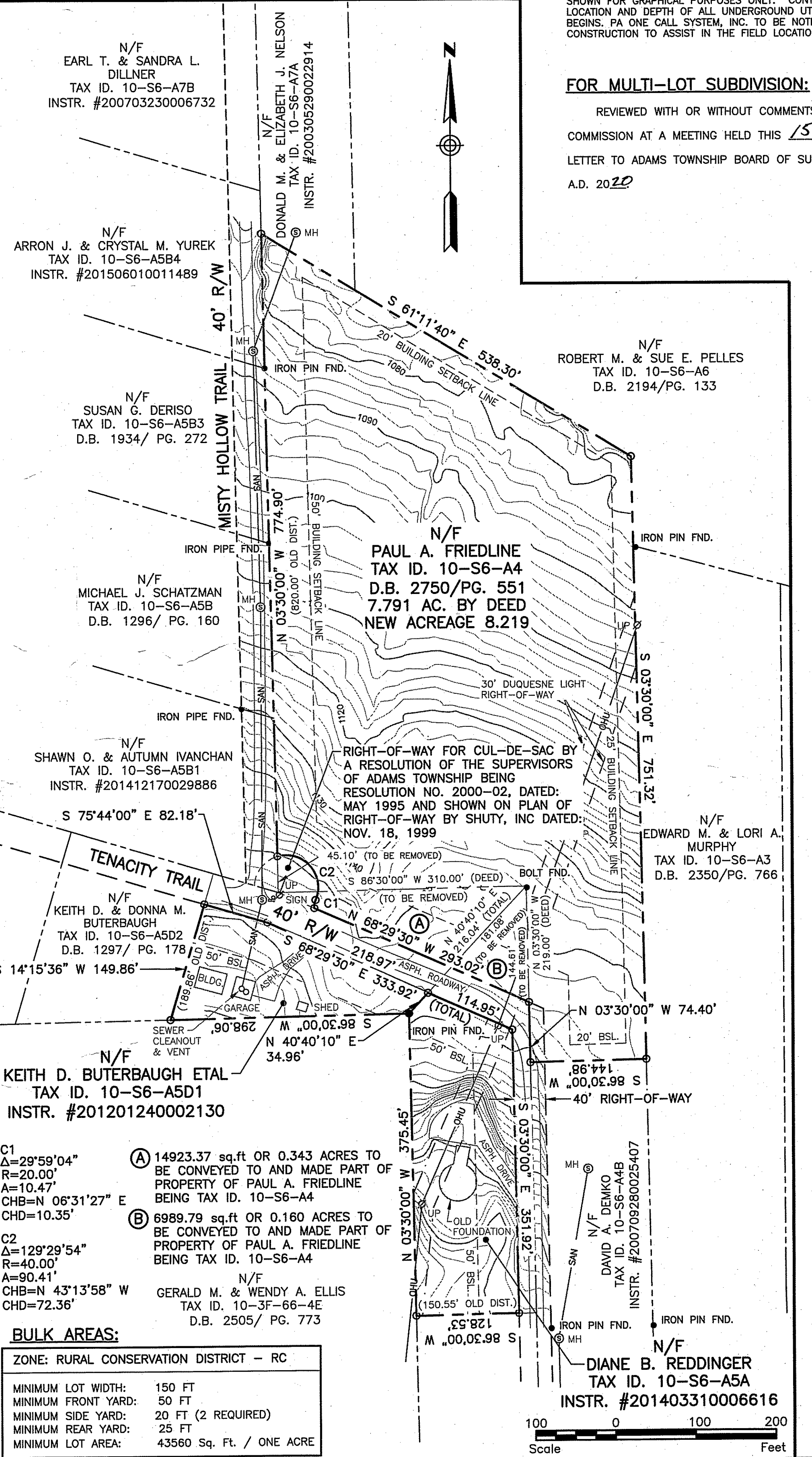
My Commission Expires the 10 Day of June, 2023



TITLE CLAUSE (NO MORTGAGE):

I, KEITH D. BUTERBAUGH, OWNER OF THE PROPERTY SHOWN ON THIS PLAN, DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF KEITH D. BUTERBAUGH AS RECORDED IN INSTR. #201201240002130, RECORDER OF DEEDS OFFICE. I FURTHER CERTIFY THAT THERE ARE NO MORTGAGES, LIENS OR ENCUMBRANCES AGAINST THESE PROPERTIES.

Witness: [Signature]
Owner: [Signature]



BULK AREAS:
ZONE: RURAL CONSERVATION DISTRICT - RC

| | |
|---------------------|--------------------------|
| MINIMUM LOT WIDTH: | 150 FT |
| MINIMUM FRONT YARD: | 50 FT |
| MINIMUM SIDE YARD: | 20 FT (2 REQUIRED) |
| MINIMUM REAR YARD: | 25 FT |
| MINIMUM LOT AREA: | 43560 Sq. Ft. / ONE ACRE |

REFERENCES

| REF. # | DESCRIPTION | SHT. # |
|--------|---|--------|
| 1 | MCKNIGHT MANOR PLAN, PLAN BOOK 74/PAGE 21, DATED: JAN. 1978 | |
| 2 | MARKET PLAN, PLAN BOOK 76/PAGE 12, DATED: DEC. 1978 | |
| 3 | MCKNIGHT MANOR PLAN-REVISION NO. 2, PLAN BOOK 77/PAGE 34, DATED: MARCH 1979 | |
| 4 | PLAN OF SUBDIVISION FOR WAGNER, PLAN BOOK 78/PAGE 43, DATED: MARCH 1979 | |
| 5 | REVISED PLAN OF SUBDIVISION FOR WAGNER, PLAN BOOK 80/PAGE 50, DATED: MARCH 1979 | |
| 6 | HEINAVER PLAN, PLAN BOOK 80/PAGE 44, DATED: SEPT. 1979 | |

REVISIONS

| REV. | REVISION DESCRIPTION | DATE | BY | CHKD | APPR |
|------|---|----------|-----|------|------|
| 1 | REVISED PER M.E.S.A., INC. COMMENT LETTER, DATED: JULY 23, 2020 | 07/28/20 | JAL | PJN | PJN |

RHEA ENGINEERS & CONSULTANTS, INC.
441 MARS-VALENCIA ROAD, VALENCIA, PA 16059
www.rhea.us
724-443-4111 (main)
724-443-4187 (fax)

CLIENT: PAUL A. FRIEDLINE
1305 THREE DEGREE ROAD, VALENCIA, PA 16059

PROJECT: REVISION OF LOT LINES

DATE: 07/31/20

SCALE: 1"=100'

ISSUE DATE: 07/31/20

CHECKED: PJN

APPROVED: PJN

DATE: 07/01/20

PLAN BOOK: 388

PAGE: 22

REVISIONS: 1

DWG #: LR-1

SHEET: 1 of 1

KNOW ALL MEN BY THESE PRESENTS; THAT JOHN E. & MARGARET BENNETT, OF THE TOWNSHIP OF MERCER, COUNTY OF BUTLER, STATE OF PENNSYLVANIA FOR MYSELF, MY HEIRS, EXECUTORS THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN MERCER TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF MERCER, JOHN E. & MARGARET BENNETT, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF MERCER, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON JOHN E. & MARGARET BENNETT, OUR SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 1st DAY OF September 2020.

ATTEST:
Lynn L. McQuiston WITNESS
John E. Bennett OWNER
Margaret Bennett OWNER

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER) Venango
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED JOHN E. & MARGARET BENNETT AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.
WITNESS MY HAND AND SEAL THIS 1st DAY OF Sept. 2020.
MY COMMISSION EXPIRES THE 25th DAY OF January 2023.

Lynn L. McQuiston
NOTARY PUBLIC
Commonwealth of Pennsylvania - Notary Seal
Lynn L. McQuiston, Notary Public
Venango County
My commission expires January 25, 2023
Commission number 1230563
Member, Pennsylvania Association of Notaries

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MERCER HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF MERCER ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS, OR ROADS, OR GRADES, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MERCER, THIS 21st DAY OF September 2020.
Sam L. Stuber SECRETARY
Richard W. Stuber CHAIRMAN, BOARD OF SUPERVISORS
Ed W. Hare SUPERVISOR

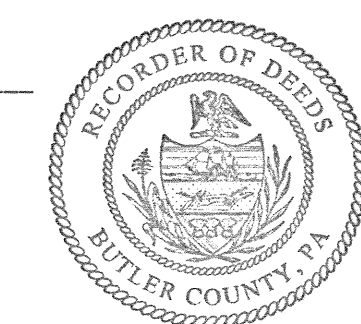
I, JEFFREY A. SHUTY, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS AND OR AGENTS.

8/20/2020
DATE
[Signature]
REG. NO. SU075509

APPROVED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 19th DAY OF August 2020.
R. Han SECRETARY
J. Han CHAIRMAN
Butler Co. Plan # 20158

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER)
RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN SAID COUNTY IN PLAN BOOK VOLUME 388 PAGE 23
GIVEN UNDER MY HAND AND SEAL THIS 19th DAY OF October 2020

Michele M. Mustello
RECORDER
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



KNOW ALL MEN BY THESE PRESENTS; THAT E. Ronald Albert and Crystal Albert OF THE TOWNSHIP OF MERCER, COUNTY OF BUTLER, STATE OF PENNSYLVANIA FOR MYSELF, MY HEIRS, EXECUTORS THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN MERCER TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF MERCER, E. Ronald Albert and Crystal Albert, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF MERCER, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON E. Ronald Albert and Crystal Albert OUR SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

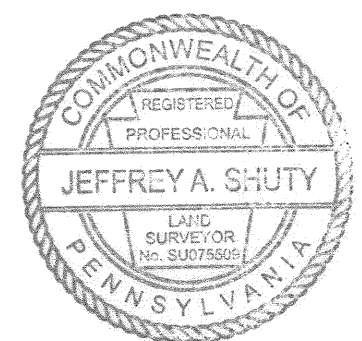
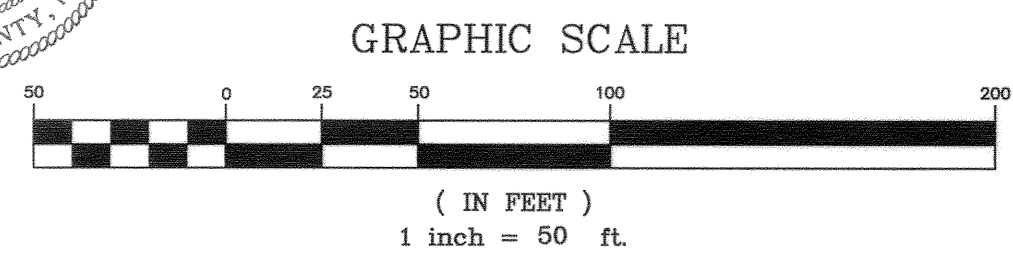
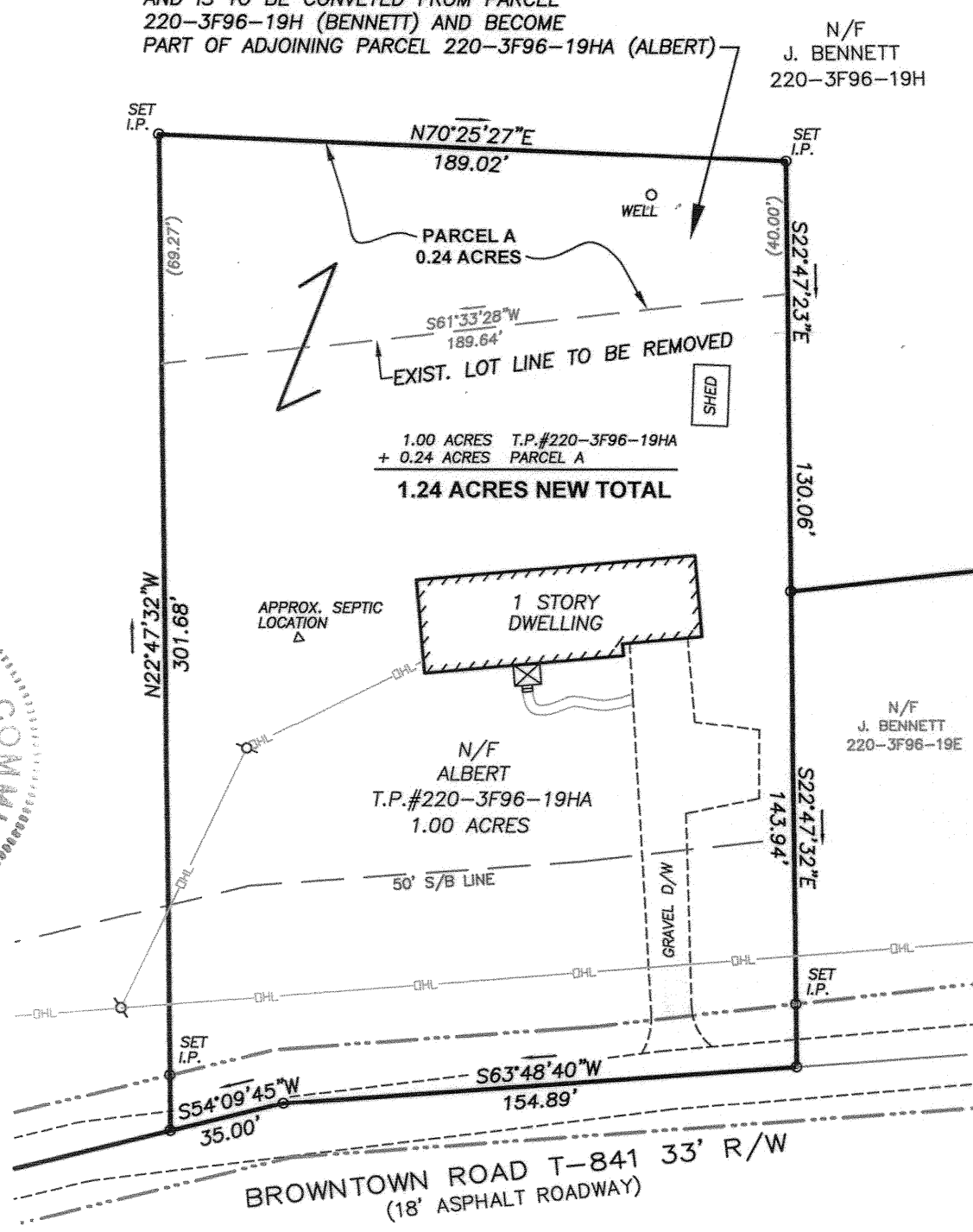
IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 09 DAY OF September 2020.

ATTEST:
Melissa S. Krenzer WITNESS
E. Ronald Albert OWNER
Crystal Albert OWNER

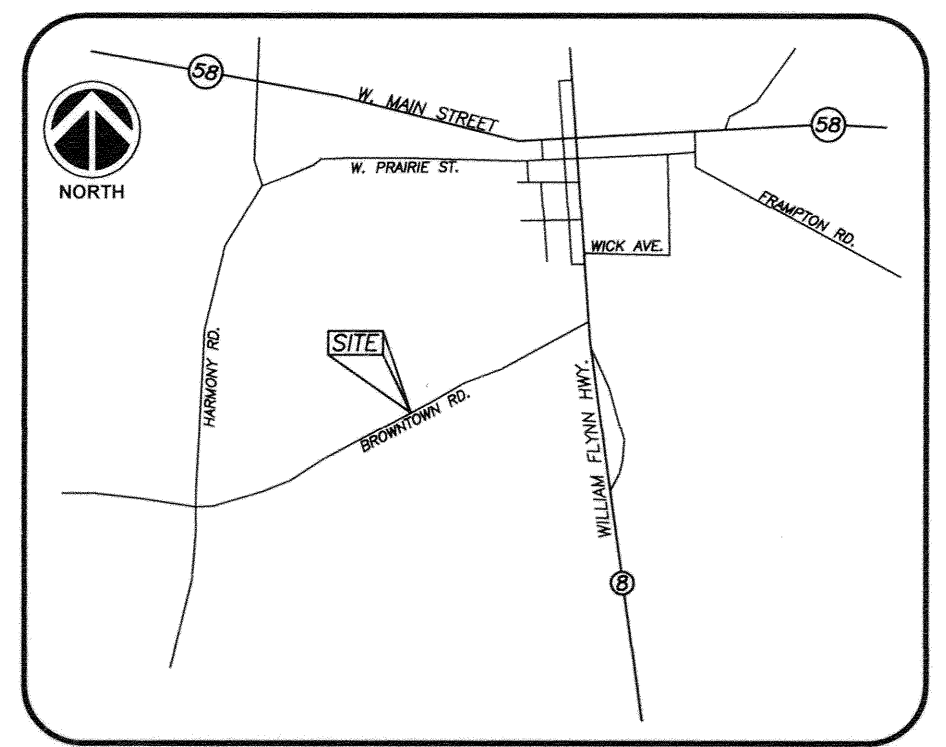
COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER) Mercer
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED E. Ronald Albert and Crystal Albert AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.
WITNESS MY HAND AND SEAL THIS 09 DAY OF September 2020.
MY COMMISSION EXPIRES THE 20 DAY OF October 2022.
Melissa S. Krenzer
NOTARY PUBLIC
Commonwealth of Pennsylvania - Notary Seal
Melissa S. Krenzer, Notary Public
Mercer County
My commission expires October 20, 2022
Commission number 1228203
Member, Pennsylvania Association of Notaries

NOTE:
PARCEL "A" IS NOT A SEPARATE BUILDING LOT AND IS TO BE CONVEYED FROM PARCEL 220-3F96-19H (BENNETT) AND BECOME PART OF ADJOINING PARCEL 220-3F96-19HA (ALBERT)

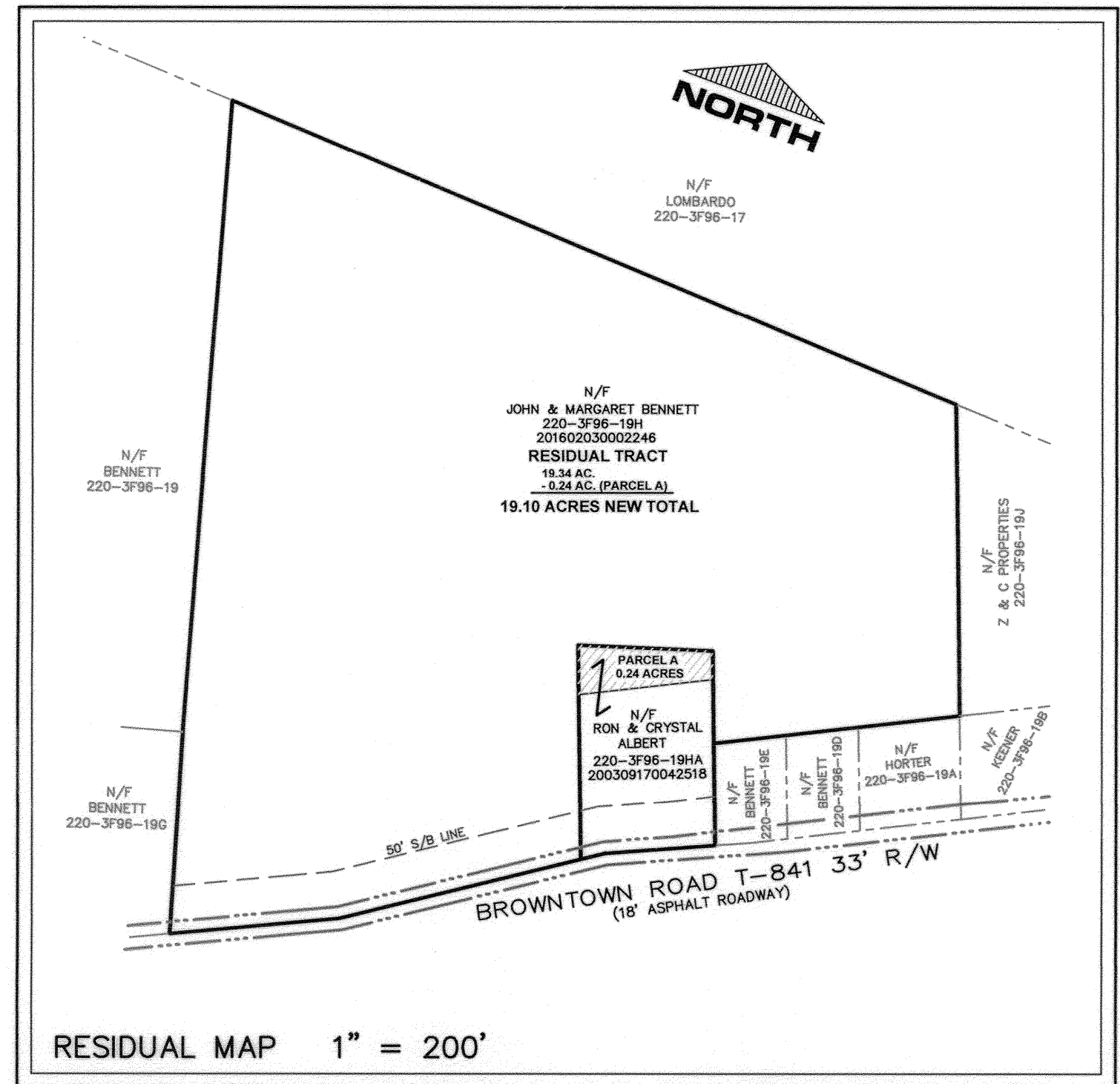


Instr: 202010190023275
Pgs: 1 F: \$45.00
Michele Mustello
Butler County Recorder PA
10/19/2020 12:52 PM
T2020016686



| | |
|------------|-----------|
| PLAN BOOK | PAGE |
| 388 | 23 |

VICINITY MAP
NOT TO SCALE



RESIDUAL MAP 1" = 200'

TOTAL PLAN AREA 20.34 ACRES
RESIDUAL TRACT 19.10 ACRES
PARCEL A 0.24 ACRES
220-3F96-19HA 1.00 ACRES

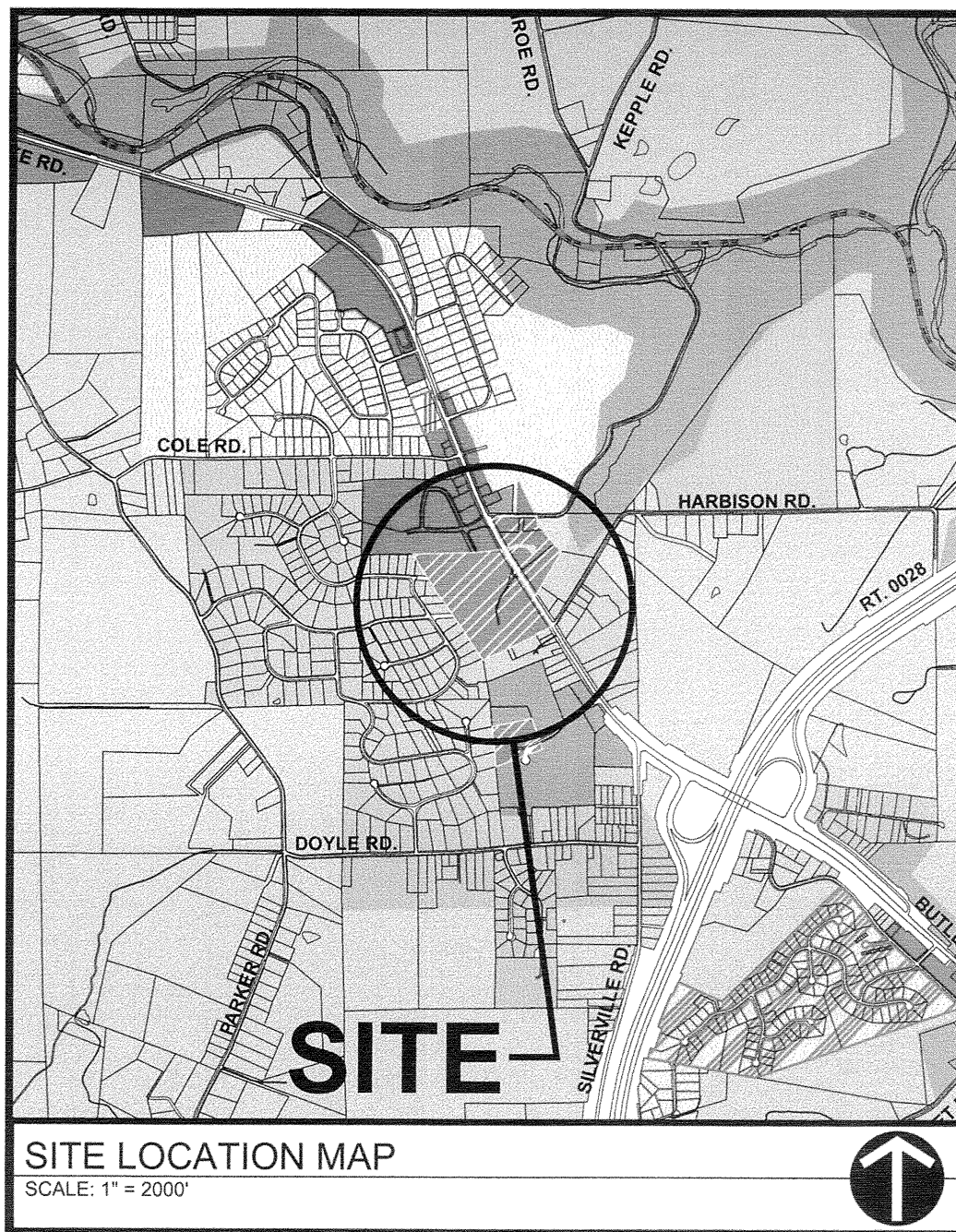
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INSTR: 201602030002246
PLAN REF: BK. 352 PG. 46

TAX ID: 220-3F96-19HA
INSTR: 200309170042518
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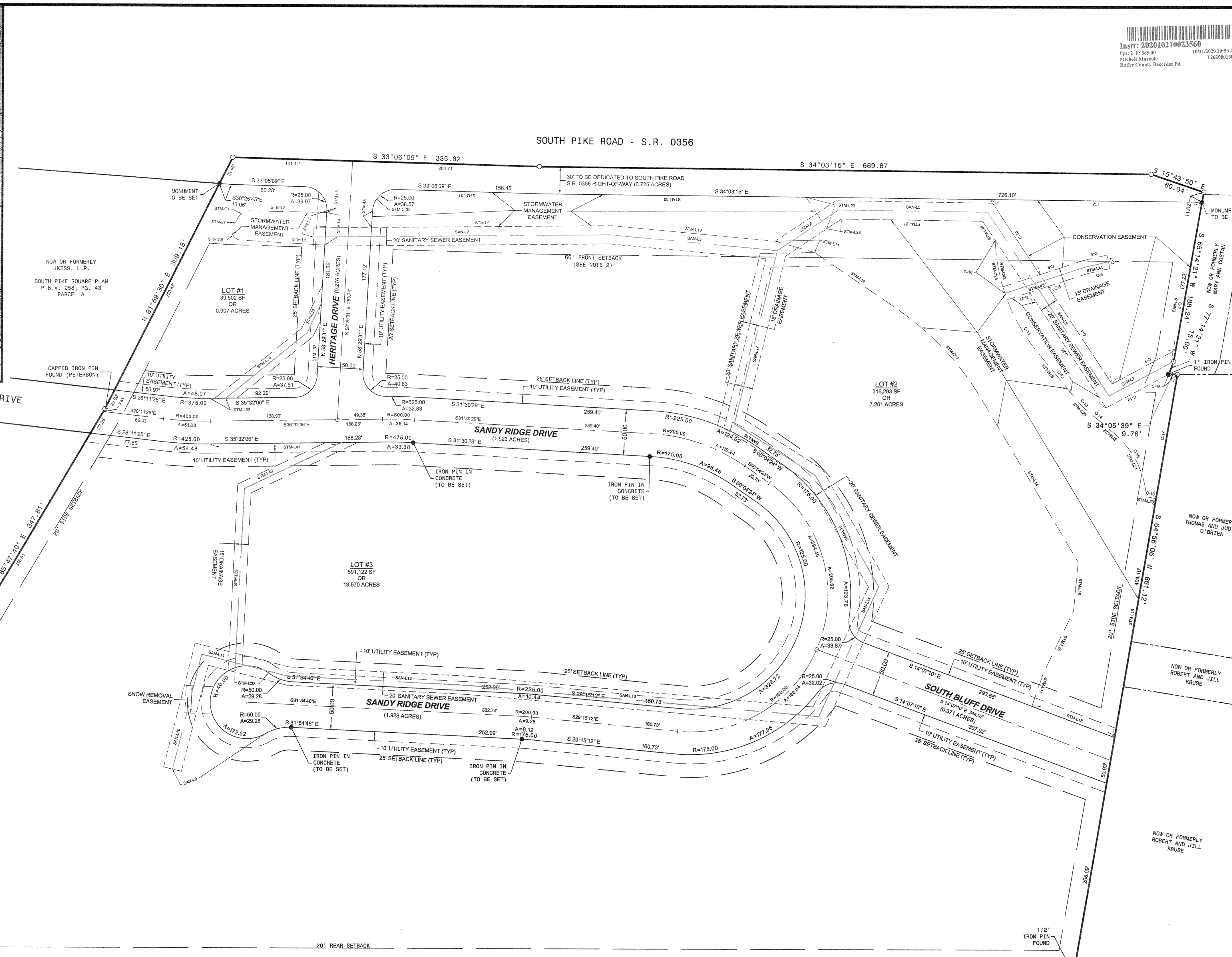
OWNER:
JOHN E. & MARGARET BENNETT
227 BROWNTOWN RD.
HARRISVILLE, PA 16038
724-967-5554

OWNER:
E. RONALD & CRYSTAL ALBERT
245 BROWNTOWN RD.
HARRISVILLE, PA 16038

| | | |
|--|--|--|
| NORTHERN SURVEYORS AND ASSOCIATES 137 LINK LANE SLIPPERY ROCK, PA 16057 (724)530-6889 | Scale 1" = 50' | BENNETT LOT LINE REVISION No. 2 Situate in Mercer Township Butler County, Pa. |
| | Date AUG. 2, 2020 | |
| Job No. 2788 | Prepared For JOHN E. BENNETT | Sheet No. 1 of 1 |



SITE LOCATION MAP
SCALE: 1" = 2000'



Inst: 202010210023560
Fig: 2 of 585.00
Michele Mustello
Butler County Recorder PA

OWNERS ADOPTION
HERITAGE CROSSINGS PARTNERS, LP, A PENNSYLVANIA LIMITED PARTNERSHIP BY: HERITAGE CROSSINGS PARTNERS GP, LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER, OWNER OF LANDS AS SHOWN ON THE HERITAGE CROSSING PLAN OF LOTS HEREBY ADOPTS THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON ITS SUCCESSORS AND ASSIGNS.
WITNESS: *William J. Weaver*
WILLIAM J. WEAVER, PRESIDENT
DATE: 01-24-2020

ACKNOWLEDGMENT
BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED WILLIAM J. WEAVER, PRESIDENT OF HERITAGE CROSSINGS PARTNERS, LP, A PENNSYLVANIA LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER, AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE THE ACT OF THE PARTNERSHIP.
WITNESS MY HAND AND NOTARIAL SEAL THIS 24th DAY OF Sept. 2020

Notary Public Seal for Jennifer L. Miron, Notary Public, Butler County, Commission expires October 1, 2022, Commission number 1341482.

CERTIFICATION OF TITLE (WITH MORTGAGE):
WE, HERITAGE CROSSINGS PARTNERS, LP, A PENNSYLVANIA LIMITED PARTNERSHIP BY: HERITAGE CROSSINGS PARTNERS GP, LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY, ITS GENERAL PARTNER OWNERS OF THE PLAN, DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF HERITAGE CROSSINGS PARTNERS, LP, A PENNSYLVANIA LIMITED PARTNERSHIP AS RECORDED IN INSTRUMENT NO. 202006160011390 AT THE BUTLER COUNTY RECORDER OF DEEDS OFFICE.

SECRETARY
WE, *SAT Bank*, FIRST LIEN HOLDER (MORTGAGEE) OF THE PROPERTY EMBRACED IN THIS PLAN, DO HEREBY CONSENT TO THE RECORDING OF SAID PLAN IN THE RECORDER OF DEEDS OFFICE OF BUTLER COUNTY, PENNSYLVANIA, AND TO THE DEDICATIONS AND COMMENTS APPEARING HEREON.
WITNESS: *Tommy Oye*
BANK REPRESENTATIVE

PROFESSIONAL LAND SURVEYOR CERTIFICATE:
I, MICHAEL ALLEN OGIN, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES, AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS AS SHOWN ON THE PLAN HAVE BEEN, OR WILL BE SET, AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

Michael Allen Ogin, PLS, REG. NO. SJ-075298, DATE 8-7-20

BUTLER COUNTY PLANNING COMMISSION APPROVAL:
REVIEWED AND APPROVED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 17th DAY OF July, 2019.

SEE COMMENTS ON FILE AT THE BUTLER COUNTY PLANNING COMMISSION PLAN NUMBER 19120

BUFFALO TOWNSHIP PLANNING COMMISSION APPROVAL:
APPROVED BY THE BUFFALO TOWNSHIP PLANNING COMMISSION THIS 17th DAY OF October, 2020

Municipal Approval: *Juan Garcia*, Chairman

REVIEWED AND APPROVED (OR REVIEWED WITH COMMENTS) BY THE BUFFALO TOWNSHIP BOARD OF SUPERVISORS THIS 14th DAY OF November, 2020

Proof of Recording: *Janice V. Galvin*, Secretary

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, PLATS AND PLANS IN SAID COUNTY, IN PLAN BOOK VOLUME 388 PAGE(S) 24-25

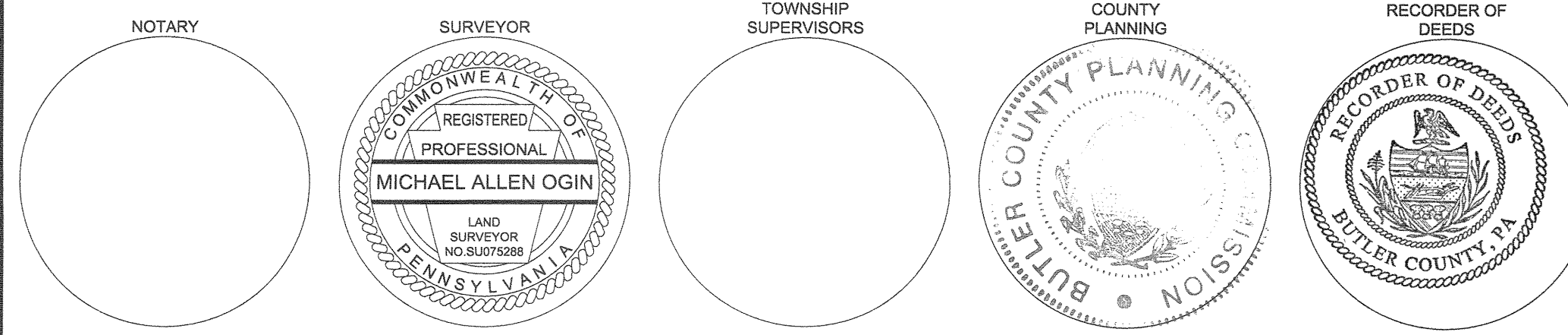
GIVEN UNDER MY HAND AND SEAL THIS 24th DAY OF October, 2020
Michele M. Mustello
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

NOTE:
1. REFER TO SHEET 2 OF 2 FOR BEARING AND DISTANCE CHARTS.
2. SOUTH PIKE ROAD FRONT SETBACK:
FOR THIS PROJECT THE FRONT SETBACK ALONG SOUTH PIKE ROAD HAS BEEN BASED ON THE AVERAGE SETBACK OF THE ADJOINING LOTS.
GETGO CAR WASH FRONT SETBACK = 60'
RESIDENTIAL LOT TO THE SOUTH FRONT SETBACK = 72'
AVERAGE SETBACK = 66'

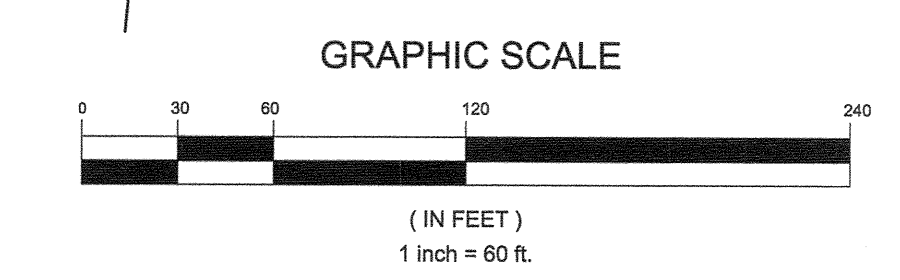
TOTAL AREA OF RECORDING = 1,090,441 SF OR 25.033 ACRES
The Gateway Engineers, Inc.
Full-Service Civil Engineering & Surveying
100 McMorris Road, Pittsburgh, PA 15205
gatewayengineers.com 855-634-9284

HERITAGE CROSSING PLAN OF LOTS
SITUATE IN
BUFFALO TOWNSHIP
BUTLER COUNTY
MADE FOR
HERITAGE CROSSINGS PARTNERS, LP

Path & Filename: R:\Projects\38000039114_Heritage_Crossing\0001_Land_Development\Drawings\38000039114_0001_RP_Base_and_Sheets.dwg
Save Date: 9/11/2020 11:20 AM



| PLAN BOOK | PAGE |
|-----------|------|
| 388 | 24 |



NOTE: ALL SIGNATURES MUST BE MADE WITH A NAVY BLUE INK FELT TIP PEN.


| LINE # | DIRECTION | LENGTH | DESCRIPTION |
|--------|-----------------|--------|-------------|
| C-1 | S 34° 03' 15" E | 231.66 | E'SMT EDGE |
| C-2 | S 65° 14' 21" W | 163.94 | E'SMT EDGE |
| C-3 | N 63° 11' 51" W | 79.20 | E'SMT EDGE |
| C-4 | N 21° 46' 30" E | 128.03 | E'SMT EDGE |
| C-5 | S 52° 53' 51" E | 45.28 | E'SMT EDGE |
| C-6 | S 47° 34' 51" E | 25.72 | E'SMT EDGE |
| C-7 | N 42° 29' 09" E | 15.00 | E'SMT EDGE |
| C-8 | N 47° 34' 51" W | 26.42 | E'SMT EDGE |
| C-9 | N 52° 53' 51" W | 50.06 | E'SMT EDGE |
| C-10 | N 21° 46' 30" E | 98.58 | E'SMT EDGE |
| C-12 | S 15° 56' 29" W | 70.25 | E'SMT EDGE |
| C-14 | S 05° 05' 35" W | 37.99 | E'SMT EDGE |
| C-16 | S 25° 03' 54" E | 10.84 | E'SMT EDGE |
| C-17 | N 64° 56' 06" E | 138.00 | E'SMT EDGE |
| C-18 | N 34° 05' 39" W | 9.67 | E'SMT EDGE |
| C-19 | N 63° 11' 51" W | 77.77 | E'SMT EDGE |
| C-20 | N 21° 46' 30" E | 151.83 | E'SMT EDGE |
| C-21 | N 52° 53' 51" W | 25.83 | E'SMT EDGE |

| CURVE # | RADIUS | LENGTH | CHORD BEARING | CHORD DISTANCE | DESCRIPTION |
|---------|--------|--------|-----------------|----------------|-------------|
| C-11 | 205.00 | 66.48 | S 25° 13' 55" W | 66.19 | E'SMT EDGE |
| C-13 | 75.00 | 14.20 | S 10° 31' 02" W | 14.18 | E'SMT EDGE |
| C-15 | 100.00 | 80.55 | S 28° 10' 08" W | 78.39 | E'SMT EDGE |

| LINE # | DIRECTION | LENGTH | DESCRIPTION |
|---------|-----------------|--------|-------------|
| SAN-L1 | N 82° 24' 52" E | 32.25 | E'SMT TIE |
| SAN-L2 | S 35° 15' 43" E | 325.85 | E'SMT CL |
| SAN-L3 | S 29° 20' 24" E | 183.34 | E'SMT CL |
| SAN-L4 | S 68° 26' 05" E | 80.53 | E'SMT CL |
| SAN-L5 | S 33° 53' 34" E | 163.09 | E'SMT CL |
| SAN-L6 | S 21° 46' 30" W | 241.31 | E'SMT CL |
| SAN-L7 | S 63° 11' 51" E | 80.42 | E'SMT CL |
| SAN-L8 | N 65° 14' 21" E | 176.71 | E'SMT TIE |
| SAN-L9 | S 55° 54' 00" E | 108.87 | E'SMT TIE |
| SAN-L10 | N 69° 21' 33" E | 130.13 | E'SMT CL |
| SAN-L11 | S 20° 38' 27" E | 97.32 | E'SMT CL |
| SAN-L12 | S 31° 54' 46" E | 195.88 | E'SMT CL |
| SAN-L13 | S 29° 43' 28" E | 387.03 | E'SMT CL |
| SAN-L14 | N 79° 54' 45" E | 156.57 | E'SMT CL |
| SAN-L15 | N 25° 34' 07" E | 140.76 | E'SMT CL |
| SAN-L16 | N 02° 18' 04" W | 105.13 | E'SMT CL |
| SAN-L17 | N 69° 06' 08" E | 195.75 | E'SMT CL |

| LINE # | DIRECTION | LENGTH | DESCRIPTION |
|---------|-----------------|--------|-------------|
| STM-L2 | S 33° 38' 35" E | 84.31 | E'SMT EDGE |
| STM-L3 | N 58° 29' 31" E | 1.81 | E'SMT TIE |
| STM-L4 | N 58° 29' 31" E | 35.82 | E'SMT EDGE |
| STM-L5 | S 31° 27' 53" E | 92.20 | E'SMT EDGE |
| STM-L7 | N 83° 40' 01" E | 11.43 | E'SMT EDGE |
| STM-L8 | S 58° 29' 31" W | 18.10 | E'SMT EDGE |
| STM-L9 | S 35° 15' 43" E | 262.50 | E'SMT EDGE |
| STM-L10 | S 29° 20' 24" E | 180.31 | E'SMT EDGE |
| STM-L11 | S 18° 58' 06" E | 45.14 | E'SMT EDGE |
| STM-L12 | S 00° 21' 30" E | 108.95 | E'SMT EDGE |
| STM-L14 | S 24° 33' 46" W | 207.54 | E'SMT EDGE |
| STM-L15 | S 60° 22' 06" W | 53.95 | E'SMT EDGE |
| STM-L16 | S 61° 00' 43" W | 74.82 | E'SMT EDGE |
| STM-L17 | S 74° 21' 27" W | 39.39 | E'SMT EDGE |
| STM-L18 | S 14° 07' 10" E | 96.77 | E'SMT EDGE |
| STM-L19 | N 64° 56' 06" E | 266.10 | E'SMT EDGE |
| STM-L20 | S 25° 03' 54" E | 10.84 | E'SMT EDGE |
| STM-L22 | N 05° 05' 35" E | 37.99 | E'SMT EDGE |
| STM-L24 | N 15° 56' 29" E | 70.25 | E'SMT EDGE |
| STM-L26 | N 21° 46' 30" E | 25.05 | E'SMT EDGE |
| STM-L27 | N 33° 53' 34" W | 154.70 | E'SMT EDGE |
| STM-L28 | N 68° 26' 05" W | 19.07 | E'SMT EDGE |
| STM-L29 | N 21° 33' 55" E | 41.46 | E'SMT EDGE |
| STM-L30 | N 34° 03' 15" W | 292.62 | E'SMT EDGE |
| STM-L31 | N 33° 06' 08" W | 156.45 | E'SMT EDGE |
| STM-L33 | S 35° 32' 06" E | 17.16 | E'SMT TIE |
| STM-L34 | S 73° 54' 07" E | 114.67 | E'SMT CL |
| STM-L35 | N 80° 42' 55" E | 35.69 | E'SMT CL |
| STM-L36 | NA | NA | NOT USED |
| STM-L37 | N 58° 29' 31" E | 80.14 | E'SMT TIE |
| STM-L39 | N 58° 05' 14" E | 197.17 | E'SMT CL |
| STM-L40 | S 60° 13' 34" E | 117.64 | E'SMT CL |
| STM-L41 | S 35° 32' 06" E | 143.22 | E'SMT TIE |
| STM-L43 | S 52° 53' 51" E | 92.40 | E'SMT CL |
| STM-L44 | S 47° 34' 51" E | 26.07 | E'SMT CL |

| CURVE # | RADIUS | LENGTH | DELTA | CHORD BEARING | CHORD DISTANCE | DESCRIPTION |
|---------|--------|--------|-------|-----------------|----------------|-------------|
| STM-C1 | 14.00 | 15.32 | 063 | N 64° 59' 16" W | 14.57 | E'SMT EDGE |
| STM-C6 | 9.98 | 20.10 | 115 | S 25° 58' 41" W | 16.87 | E'SMT EDGE |
| STM-C13 | 315.00 | 137.01 | 025 | N 12° 06' 08" E | 135.93 | E'SMT EDGE |
| STM-C21 | 100.00 | 80.55 | 046 | S 28° 10' 08" W | 78.39 | E'SMT EDGE |
| STM-C23 | 75.00 | 14.20 | 011 | S 10° 31' 02" W | 14.18 | E'SMT EDGE |
| STM-C25 | 205.00 | 133.11 | 037 | S 34° 32' 37" W | 130.79 | E'SMT EDGE |
| STM-C32 | 25.00 | 38.57 | 088 | N 77° 18' 19" W | 34.86 | E'SMT EDGE |
| STM-C38 | 40.00 | 38.55 | 085 | S 25° 58' 04" E | 37.08 | E'SMT TIE |
| STM-C42 | 205.00 | 59.13 | 017 | N 44° 52' 57" E | 58.93 | E'SMT TIE |



GATEWAY[®]

The Gateway Engineers, Inc.
 Full-Service Civil Engineering & Surveying
 100 McMorris Road, Pittsburgh, PA 15205
 gatewayengineers.com 855-634-9284

**HERITAGE CROSSING
 PLAN OF LOTS**

SITUATE IN
**BUFFALO TOWNSHIP
 BUTLER COUNTY**

MADE FOR
HERITAGE CROSSINGS PARTNERS, LP

PM: MAO DR: LPW CB: MAO SCALE: N.T.S.

Date: 2020-02-25
 Job Number: C-39114
 Dwg No: 2 OF 2

Path & Filename: R:\Projects\39000039114 Heritage Crossing\0001 Land Development\01-Base\039114-001 RP Base and Sheets.dwg
 Save Date: 8/11/2020 11:23 AM User: A. Gutz

Instr: 202010210023700
 Pg 1 of 545.00
 Michèle Mustello
 Butler County Recorder PA

KNOW ALL MEN BY THESE PRESENTS, that I, Nina L. Manuel, Trustee of the Nina L. Manuel Trust, of the Township of Concord, of the County of Butler, Commonwealth of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this plan as my Plan of Lots of my property, situate in Concord Township, Butler County, Pennsylvania, and for divers advantages accruing to me, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Township of Concord, I hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Concord, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Nina L. Manuel, Trustee of the Nina L. Manuel Trust, my heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 17 day of September, 2020.

ATTEST:
 David C. Harkins
 NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA)SS:
 COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Nina L. Manuel, Trustee of the Nina L. Manuel Trust, and acknowledged the foregoing release and dedication and plan to be her act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day.

WITNESS MY HAND AND NOTARIAL SEAL this 17 day of September, 2020.

My Commission expires the 04 day of June, 2022.

SEAL
 David C. Harkins
 NOTARY PUBLIC

I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.

DATE September 1, 2020
 REG. NO. 31-32490-E

The Board of Supervisors of the Township of Concord hereby gives public notice that in approving this plan for recording purposes only, the Township of Concord assumes no obligation, legal or otherwise, expressed or implied, either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

Approved by the Supervisors of the Township of Concord this 13 day of October, 2020.

Approved by the Butler County Planning Commission this 16 day of SEPT., 2020.

Recorded in the Recorder's Office for the recording of deeds, plans, etc. in said County in Plan Book Volume 388 page 26.

Given under my hand and seal this 21 day of October, 2020.

SEAL
 MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024

N/F NINA L. MANUEL TRUST
 REMNANT
 91.23 ACRES +/-
 (NOT SURVEYED AT THIS TIME)
 -5.00 ACRES LOT 2
 86.23 ACRES +/- TOTAL
 AFTER CONVEYANCE

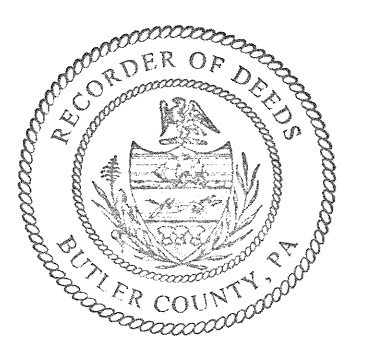
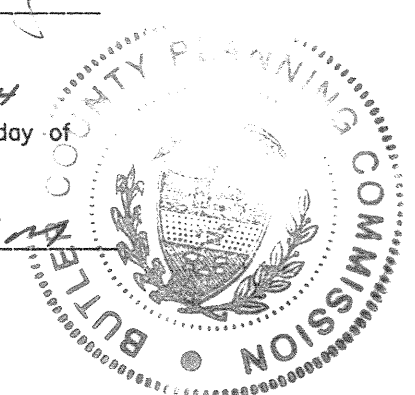
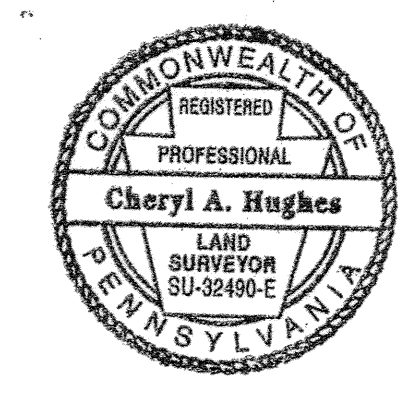
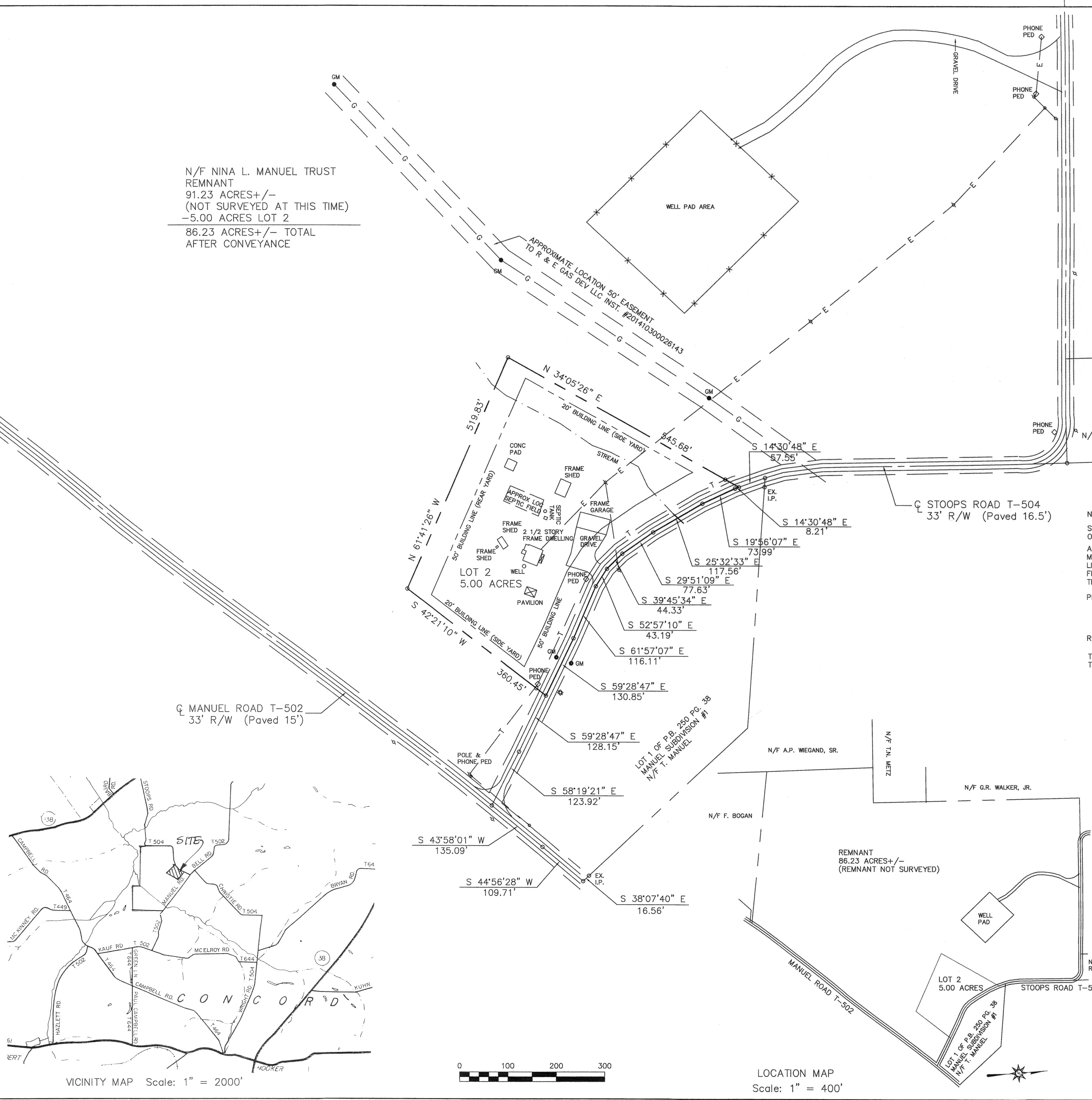
AS OF THE DATE OF THIS DEED/PLOT PLAN/DEED NOTICE RECORDING, THE PROPERTY/SUBDIVISION DESCRIBED HEREON IS AND SHALL BE DEDICATED FOR THE EXPRESS PURPOSE OF AGRICULTURAL USE. THIS WAIVER APPLIES TO REMNANT OF THE PLAN, AS SHOWN HEREON. NO PORTION OF THIS PROPERTY/SUBDIVISION HAS BEEN APPROVED BY CONCORD TOWNSHIP OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES. NO SEWAGE PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE COLLECTION, CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM (EXCEPT FOR REPAIRS TO EXISTING SYSTEMS) UNLESS THE MUNICIPALITY AND THE DEP HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR THE PROPERTY/SUBDIVISION HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT (35 P.S. SECTIONS 750.1 ET SEQ.) AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR SUBDIVIDER OF ANY PORTION OF THIS REMNANT SHOULD CONTACT APPROPRIATE OFFICIALS OF CONCORD TOWNSHIP, WHICH IS CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO DETERMINE WHAT SEWAGE FACILITIES PLANNING IS REQUIRED AND THE PROCEDURE AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR APPROVALS.

NOTES:
 SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.
 ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS AREA, LOT 2 LIES IN ZONE X - AREA OF MINIMAL FLOOD HAZARD DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

PROPERTY OWNER: NINA L. MANUEL
 673 HICKORY HILL
 LADY LAKE, FL 32159

REF: MANUEL SUBDIVISION #1, P.B. 250 PG. 38.

THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE THE EXISTING DWELLING ON ITS OWN LOT.



PLAN BOOK
388

PAGE
26

| | |
|---|--|
| L S J | Land Surveyors, Inc. 523 North Main Street P.O. Box 1061 Butler, PA 16003-1061 (724) 287-8865 Cheryl A. Hughes, PLS Owner |
| MANUEL SUBDIVISION #1 FOR: NINA L. MANUEL Trustee of the NINA L. MANUEL TRUST | |
| SITUATE: CONCORD TWP., BUTLER CO., PA | |
| Date 09/01/2020 | Scale 1" = 100' |
| Down By BEC | Ckd By CAH |
| Parcel No. 110-2F2B-A8 | Instrument # 201907300014437 |
| Address 240 STOOPS ROAD | Service No. 20-118 |

ACKNOWLEDGMENT OF CORPORATE ADOPTION AND DEDICATION

BY A RESOLUTION APPROVED ON THE 17th DAY OF September 2020, THE BOARD OF DIRECTORS OF THE BUNCHER COMPANY, INCORPORATED IN THE STATE OF PENNSYLVANIA...

(SEAL) SIGNATURE AND TITLE OF OFFICER WITNESS: Joseph M. Jackson, THE BUNCHER COMPANY SIGNATURE AND TITLE OF AUTHORIZED OFFICER: [Signature]

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF ALLEGHENY, PERSONALLY APPEARED THE ABOVE-NAMED THOMAS J. BALESTRIERI, PRESIDENT/CEO OF THE BUNCHER COMPANY...

WITNESS MY HAND AND NOTARIAL SEAL THIS 9th DAY OF September 2020. MY COMMISSION EXPIRES THE 29th DAY OF July 2022.

NOTARY PUBLIC: Melave Zimmerman, Commonwealth of Pennsylvania - Notary Seal, My commission expires July 31, 2022.

CERTIFICATION OF TITLE AND NO MORTGAGE: I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE JACKSON'S POINTE PHASE 3 RECORDING PLAN IS IN THE NAME OF THE BUNCHER COMPANY...

WITNESS: Joseph M. Jackson, SIGNATURE OF AUTHORIZED AGENT: [Signature]

STORMWATER MANAGEMENT FACILITIES: THIS PLAN IS SUBJECT TO EASEMENTS REGARDING THE STORMWATER MANAGEMENT FACILITIES SHOWN ON THIS PLAN AS SET FORTH IN THE STORMWATER OPERATIONS AND MAINTENANCE AGREEMENT DATED September 9, 2020...

SURVEYORS CERTIFICATION: I, JON MYERS, HEREBY CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF, THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED BY THE ORDINANCES OF JACKSON TOWNSHIP...

DATE: 9/11/20, (SEAL) JON MYERS, P.E.S., REGISTRATION # SU 51236

ENGINEERS REQUIREMENTS: I HEREBY CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF, THE PLAN SHOWN HEREON IS TRUE AND CORRECT TO THE ACCURACY AND ENGINEERING STANDARDS REQUIRED BY THE ORDINANCES OF JACKSON TOWNSHIP.

DATE: 9/11/20, (SEAL) ROCCO PAUL MAGRINO, ENGINEER, REGISTRATION NUMBER: PE076487

MUNICIPAL PLANNING COMMISSION REVIEW CERTIFICATE: REVIEWED BY THE PLANNING COMMISSION OF JACKSON TOWNSHIP THIS 4th DAY OF December 2020.

TOWNSHIP SECRETARY: [Signature], CHAIRPERSON: [Signature]

STORMWATER MANAGEMENT REQUIREMENTS: I HEREBY CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF, THE STORM DRAINAGE FACILITIES SHOWN AND DESCRIBED HEREON ARE TRUE AND CORRECT TO THE ACCURACY AND STANDARDS REQUIRED BY THE ORDINANCES OF JACKSON TOWNSHIP.

DATE: 9/11/20, (SEAL) [Signature], REGISTRATION NUMBER: PE076487

TOWNSHIP ENGINEER'S CERTIFICATION: THIS PLAN WAS REVIEWED BY THE TOWNSHIP ENGINEER FOR CONFORMANCE WITH THE JACKSON TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND OTHER APPLICABLE TOWNSHIP ORDINANCES.

DATE: 9/23/2020, (SEAL) [Signature], REGISTRATION NUMBER: PE 077527

TOWNSHIP BOARD OF SUPERVISORS APPROVAL CERTIFICATE: APPROVED BY THE BOARD OF SUPERVISORS OF JACKSON TOWNSHIP THIS 10th DAY OF December 2020.

TOWNSHIP SECRETARY: [Signature], CHAIRPERSON: [Signature], DATE: 9/22/2020

TOWNSHIP PLANNING DIRECTOR APPROVAL CERTIFICATE: APPROVED BY THE PLANNING DIRECTOR OF JACKSON TOWNSHIP THIS 14th DAY OF December 2020.

TOWNSHIP SECRETARY: [Signature], PLANNING DIRECTOR: [Signature]

BUTLER COUNTY PLANNING COMMISSION REVIEW CERTIFICATE: REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 21st DAY OF Oct. 2020.

WITNESS: [Signature], CHAIRPERSON: [Signature]

THIS PLAN WAS DELIVERED TO THE DEVELOPER BY JACKSON TOWNSHIP ON THE DAY OF: Oct 7, 2020

PROOF OF RECORDING: RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 388, PAGE 27.

GIVEN UNDER MY HAND AND SEAL THIS 22 DAY OF October 2020. MICHELE M. MUSTELLO, RECORDER OF DEEDS

My Commission Expires First Monday in January 2024. [Signature]

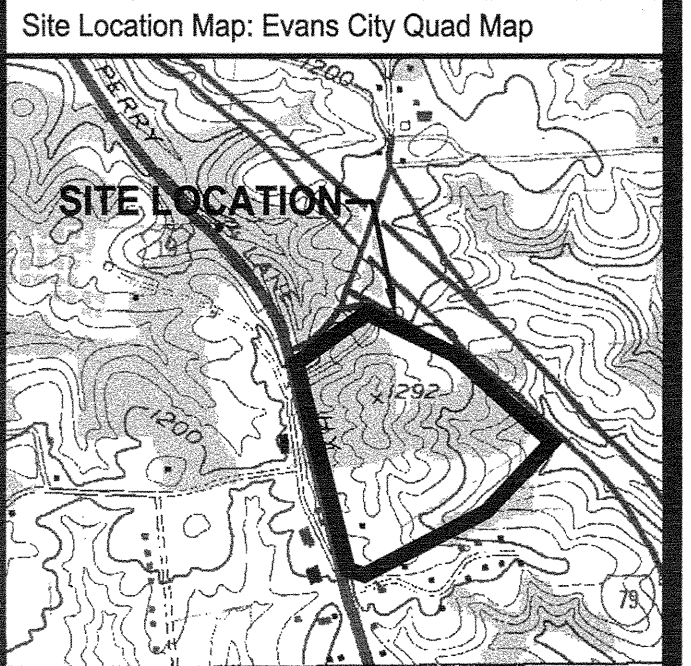
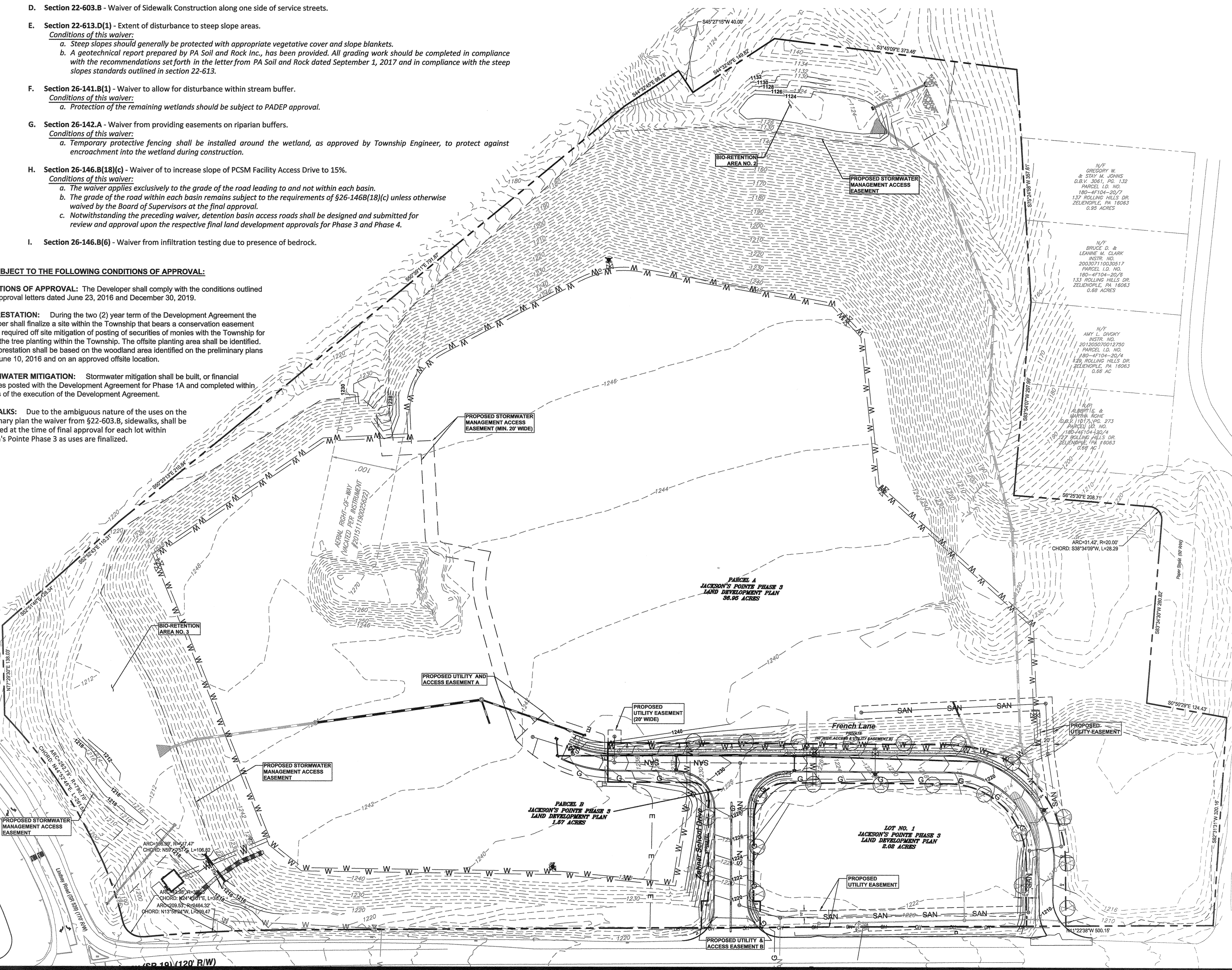
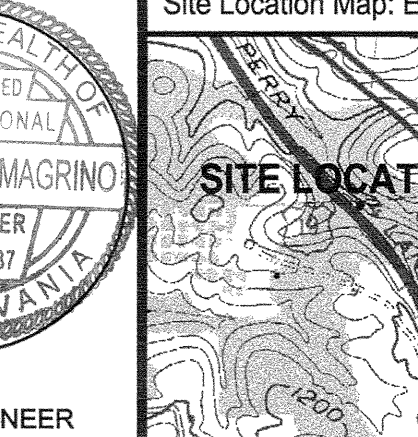
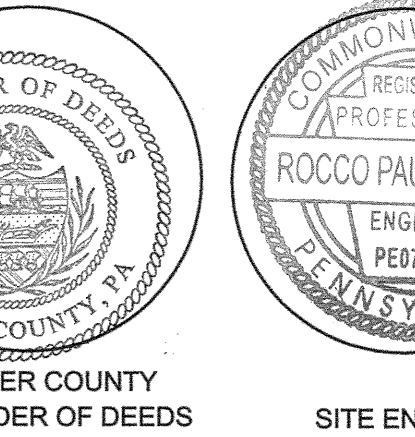
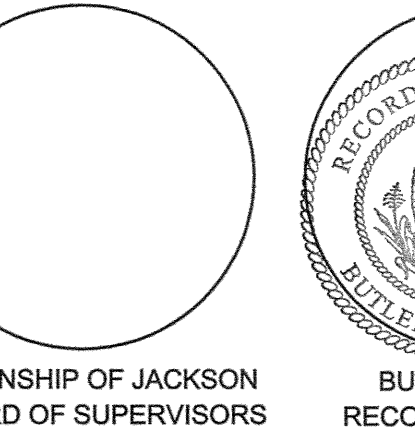
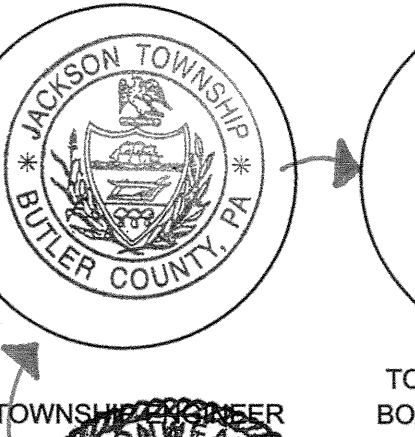
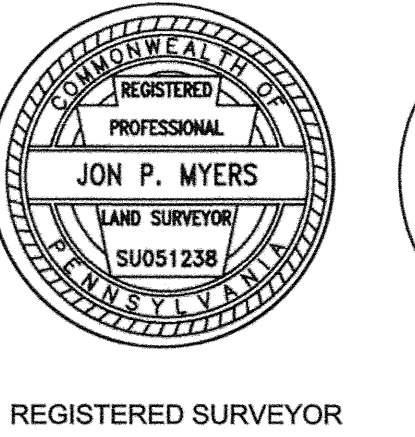
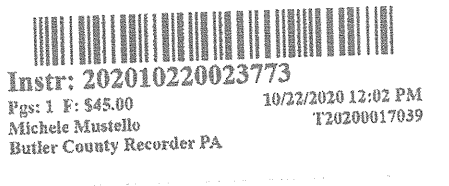
JACKSON TOWNSHIP APPROVED WAIVERS

The following waivers were conditionally approved as noted:

- A. Section 21-105.B.(1) - Waiver to permit the driveway (French Lane) within 300' of the intersection of Perry Highway.
B. Section 22-602(E)(3) & 22-602(K)(4) - Waiver to permit the French Lane intersection with Perry Highway in the proposed location pending Approval of a Highway Occupancy Permit.
C. Section 22-603.B - Waiver of Sidewalk Construction along State Route 19 (Perry Highway).
D. Section 22-603.B - Waiver of Sidewalk Construction along one side of service streets.
E. Section 22-613.D(1) - Extent of disturbance to steep slope areas.
F. Section 26-141.B(1) - Waiver to allow for disturbance within stream buffer.
G. Section 26-142.A - Waiver from providing easements on riparian buffers.
H. Section 26-146.B(18)(c) - Waiver of to increase slope of PCSM Facility Access Drive to 15%.
I. Section 26-146.B(6) - Waiver from infiltration testing due to presence of bedrock.

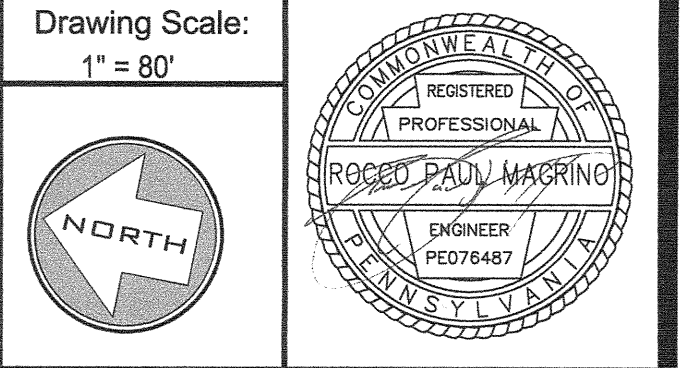
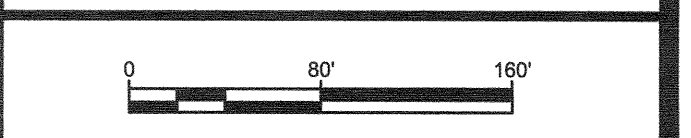
PLAN IS SUBJECT TO THE FOLLOWING CONDITIONS OF APPROVAL:

- CONDITIONS OF APPROVAL: The Developer shall comply with the conditions outlined in the approval letters dated June 23, 2016 and December 30, 2019.
REFORESTATION: During the two (2) year term of the Development Agreement the Developer shall finalize a site within the Township that bears a conservation easement and the required off site mitigation of posting of securities of monies with the Township for use for the tree planting within the Township.
STORMWATER MITIGATION: Stormwater mitigation shall be built, or financial securities posted with the Development Agreement for Phase 1A and completed within 90-days of the execution of the Development Agreement.
SIDEWALKS: Due to the ambiguous nature of the uses on the preliminary plan the waiver from §22-603.B, sidewalks, shall be evaluated at the time of final approval for each lot within Jackson's Pointe Phase 3 as uses are finalized.



General Notes: 1. HORIZONTAL CONTROL SHOWN HEREON IS PENNSYLVANIA SOUTH STATE PLANE NAD 83. VERTICAL CONTROL IS NAVD 88. 2. THE SUBJECT PREMISES LIE WITHIN FEMA FIRM MAP COMMUNITY PANEL NO. 22420005A...

PLAN BOOK 388, PAGE 27



ISSUED FOR CONSTRUCTION

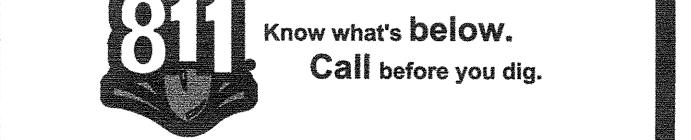
Waterfront Corporate Park II, Suite 101, 2000 Georgetown Drive, Sewickley, PA 15143. P: 724-444-1100, F: 724-444-1104, www.pve-ec.com



Civil Engineering | Land Development | Structure Design | Land Planning | Landscape Architecture | Environmental

Prepared For: The Buncher Company, 1300 Penn Avenue, Pittsburgh, PA 15222-4211

THIS PLAN HAS BEEN PREPARED SOLELY FOR THE BENEFIT OF THE PERSON(S) NAMED ABOVE AND FOR THE PROJECT SHOWN ON THIS DRAWING. THE USE OF THIS PLAN BY ANY THIRD PARTY, OR FOR ANY OTHER PURPOSE OTHER THAN SPECIFIED, IS PROHIBITED WITHOUT WRITTEN CONSENT FROM PVE ENGINEERING.



DATE ISSUED: JANUARY 3, 2020

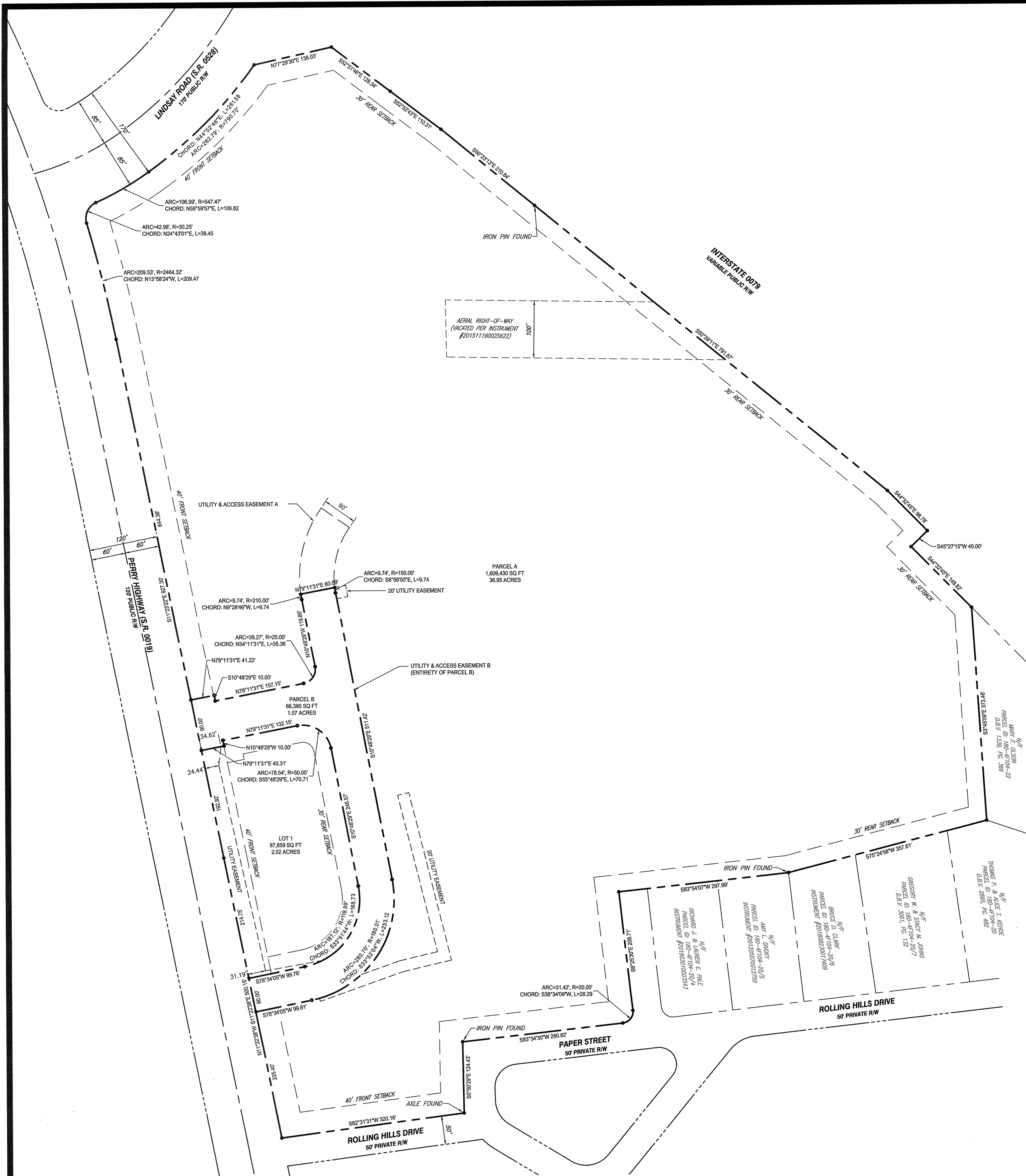
PLAN REVISIONS table with columns for DATE, DESCRIPTION, and REVISIONS.

Situate In: Jackson Township, Butler County, Pennsylvania

Project Name: JACKSON'S POINTE PHASE 3 INFRASTRUCTURE PACKAGE 1A

Drawing Name: RECORDING PLAN

Project No: 1610003, Drawing No: C-1200



Instr: 202010220023774
 Fig: 1 of 44-00
 10/22/2020 11:02 PM
 Stichele Mastello
 Butler County Recorder PA
 T2020017039

THE BUNCHER COMPANY ADOPTION

By resolution approved on the 9th day of September, 2020, the Board of Directors of The Buncher Company, incorporated in the Commonwealth of Pennsylvania, owner of the land shown on the "Jackson's Pointe Phase 3 - Subdivision Plan", adopted this plan as its Plan of Lots and irrevocably dedicated all streets and other property identified for dedication on the plan to Jackson Township.

Witness: Joseph M. Gubora Signature of Authorized Agent: Melanie C. Zimmerman
 Witness Signature Authorized Agent Signature

Before me, the undersigned Notary Public in and for the Commonwealth of Pennsylvania and County of Allegheny, personally appeared the above named Melanie C. Zimmerman, President of The Buncher Company, who stated that he is authorized to execute the above adoption and dedication on behalf of the corporation and was present at the meeting at which the action of the corporation was taken to adopt the plan and dedicate public property contained therein to Jackson Township.

Witness my hand and notarial seal this 9th day of September, 2020.
 My commission expires the 31st day of July, 2022.

Melanie C. Zimmerman
 Notary Public
 Commonwealth of Pennsylvania - Notary Seal
 Melanie C. Zimmerman, Notary Public
 Allegheny County
 My commission expires July 31, 2022
 Commission number 1224641
 Member, Pennsylvania Association of Notaries

THE BUNCHER COMPANY TITLE

We hereby certify that the title to the property contained in the "Jackson's Pointe Phase 3 - Subdivision Plan", is in the name of The Buncher Company and is recorded with the Butler County Recorder of Deeds, Instrument Numbers 200710040025954, 200709140024113, 201307110020218, and 201306070016536. We further certify that there is no mortgage, lien, or other encumbrance against this property.

Witness: Joseph M. Gubora Signature of Authorized Agent: Melanie C. Zimmerman
 Witness Signature Authorized Agent Signature

SURVEYOR'S CERTIFICATION

I, Jon P. Myers, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, certify to the best of my knowledge, the survey and plan shown hereon are correct and accurate to the standards required.

Date of Plan: June 25, 2020 By: Jon P. Myers
 Jon P. Myers, PLS PA Registration No. SU051238

JACKSON TOWNSHIP ENGINEER'S CERTIFICATION

The plan was reviewed by the Township Engineer for conformance with the Jackson Township Subdivision and Land Development Ordinance and other applicable township ordinances.

Benjamin J. Schmitt PE 077527
 Township Engineer Registration Number

JACKSON TOWNSHIP PLANNING COMMISSION REVIEW

Reviewed by the Planning Commission of Jackson Township this 4th day of December, 2019.

Secretary: Benjamin J. Schmitt Chairperson: Jon P. Myers
 9/22/2020

JACKSON TOWNSHIP BOARD OF SUPERVISORS APPROVAL

Approved by the Board of Supervisors of the Township of Jackson Township this 17th day of September, 2020. The Board of Supervisors of Jackson Township gives notice that in approving this plan for recording Jackson Township assumes no obligation to accept the dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

Secretary: Benjamin J. Schmitt Chairman, Board of Supervisors: Jon P. Myers
 9/17/2020 9/22/2020

JACKSON TOWNSHIP PLANNING DIRECTOR APPROVAL

Approved by the Planning Director of Jackson Township this 17th day of September, 2020, pursuant to Chapter 22, Subdivision and Land Development Ordinance, of the code of Jackson Township, as amended. The Planning Director of Jackson Township gives notice that in approving this plan for recording Jackson Township assumes no obligation to accept the dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

Secretary: Benjamin J. Schmitt Planning Director: Nikki Colton
 9/17/2020

BUTLER COUNTY PLANNING COMMISSION REVIEW

Reviewed by the Butler County Planning Commission on this 21st day of October, 2020.

Secretary: R. Hagen Chairman, Butler County Planning Commission: R. Hagen

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA } ss: **MICHELE M. MUSTELLO**
 COUNTY OF BUTLER } Recorder of Deeds
 My Commission Expires First Monday in January 2024

Recorded in the Recorder's Office for the recording of deeds, plans, etc., in said County in Plan Book Volume 388, Page 28.

Given under my hand and seal this 22 day of October, 2020.

Michele M. Mustello
 Recorder of Deeds

ZONING INFORMATION

ALL PARCELS LIE WITHIN THE COMMERCIAL CORRIDOR (CC) ZONING DISTRICT WITH THE HIGHWAY SIGNAGE OVERLAY.

| | |
|--|----------|
| MIN. LOT SIZE: | 1/4 ACRE |
| MAXIMUM LOT COVERAGE: | 80% |
| MIN. LOT WIDTH: | 100 FEET |
| MIN. FRONT SETBACK: | 40 FEET |
| MIN. REAR SETBACK: | 30 FEET |
| MIN. SIDEYARD SETBACK: | 15 FEET |
| MIN. SIDEYARD SETBACK ABUTTING RESIDENTIAL DISTRICT: | 30 FEET |

*The Highway Signage Overlay is instituted to provide for principal and accessory sign uses oriented to the I-79 corridor, particularly with respect to interchanges with I-79 and their relation to highway-oriented uses in the Township which rely, in part, upon regional traffic as a customer base.

LEGEND

| | |
|-----|---------------------------|
| --- | SUBJECT PROPERTY BOUNDARY |
| --- | ADJOINING BOUNDARY |
| --- | CENTERLINE |
| --- | RIGHT-OF-WAY |
| --- | BUILDING SETBACK |
| --- | EASEMENT |

| | |
|------------|-----------|
| PLAN BOOK | PAGE |
| 388 | 28 |

SURVEYOR: **JON P. MYERS** (SU051238)
 JACKSON TOWNSHIP BOARD OF SUPERVISORS
 JACKSON TOWNSHIP ENGINEER: **BENJAMIN L. GILBERTI** (PE077527)
 BUTLER COUNTY PLANNING COMMISSION
 BUTLER COUNTY RECORDER: **MICHELE M. MUSTELLO** (SU051238)

General Notes:

- MERIDIAN SHOWN HEREON IS BASED ON GRID NORTH PER GPS OBSERVATIONS CONDUCTED IN PENNSYLVANIA SOUTH STATE PLANE AND ALL INTERIOR ANGLES FOR THE EXISTING PROPERTIES SHOWN HEREON ARE BASED UPON DEEDS OF RECORD.
- SUBJECT PROMISES TAKEN FROM PVE SHEFFLER PLAN "JACKSON'S POINTE PHASE 3 - EXISTING CONDITIONS" SIGNED BY DAVID W. LAPEARLE, DATED JULY 17, 2013.
- A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1212, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW," BEFORE DRIVEWAY ACCESS TO THE STATE HIGHWAY IS PERMITTED.

Drawing Scale: 1" = 100'
 Drawing Title: **JACKSON'S POINTE PHASE 3**
 Surveyor: **JON P. MYERS** (SU051238)
 Township Engineer: **BENJAMIN L. GILBERTI** (PE077527)
 Planning Director: **NIKKI COLTON**
 Board of Supervisors Chairman: **JON P. MYERS**
 Butler County Planning Commission Secretary: **BENJAMIN L. GILBERTI**
 Recorder of Deeds: **MICHELE M. MUSTELLO** (SU051238)

Welford Corporate Park III, Suite 101
 2000 Georgelowne Drive
 Sewickley, PA 15143
 P: 724-444-1100
 F: 724-444-1104
 www.pve-llc.com

PVE
 Civil Engineering | Land Development | Structure Design
 Land Planning | Landscape Architecture | Environmental

Prepared For: **The Buncher Company**
 1300 Penn Avenue
 Pittsburgh, PA 15222-4211

This plan has been prepared solely for the benefit of the person(s) named above and for the project noted on this drawing. The use of this plan by any other party, or for any other purpose other than specified, is prohibited without written consent from PVE LLC.

811 Know what's below. Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

| | |
|----------------|--|
| DATE ISSUED: | JUNE 25, 2020 |
| PLAN REVISIONS | |
| 1 | 08-14-19 REVISED PER TOWNSHIP COMMENTS |
| 2 | 11-21-19 REVISED PER TOWNSHIP COMMENTS |
| 3 | 02-05-20 REVISED PER TOWNSHIP COMMENTS |
| 4 | 07-01-20 REVISED PER TOWNSHIP COMMENTS |
| 5 | 08-03-20 REVISED PER OWNER COMMENTS |
| 6 | 09-08-20 REVISED PER OWNER COMMENTS |
| 7 | |
| 8 | |
| 9 | |
| 10 | |

Situate In: Jackson Township, Butler County, PA
 Project Name: **Jackson's Pointe Phase 3**
 Drawing Name: **SUBDIVISION PLAN**
 Project No: **160003** Drawing No: **1 of 1**

Instr: 202010220023775
 Exp: 8: 14:58 AM 10/22/2020 12:42 PM
 Michele Mustello
 Butler County Recorder PA 12020017039

THE BUNCHER COMPANY ADOPTION

By resolution approved on the 9th day of September, 2020, the Board of Directors of The Buncher Company, incorporated in the Commonwealth of Pennsylvania, owner of the land shown on the "Jackson's Pointe Phase 3 - Lot Consolidation", adopted this plan as its Plan of Lots and irrevocably dedicated all streets and other property identified for dedication on the plan to Jackson Township.

Joseph M. Jackson Witness
Belinda Signature of Authorized Agent

Before me, the undersigned Notary Public in and for the Commonwealth of Pennsylvania and County of Allegheny, personally appeared the above named Thomas J. Palastieri, President of The Buncher Company, who stated that he is authorized to execute the above adoption and dedication on behalf of the corporation and was present at the meeting at which the action of the corporation was taken to adopt the plan and dedicate public property contained therein to Jackson Township.

Witness my hand and notarial seal this 9th day of September, 2020.
 My Commission expires the 31st day of July, 2022.

Melanie C. Zimmerman Notary Public
 Commonwealth of Pennsylvania - Notary Seal
 Melanie C. Zimmerman, Notary Public
 Allegheny County
 My Commission Expires July 31, 2022
 Commission Number: 1272441

We hereby certify that the title to the property contained in the "Jackson's Pointe Phase 3 - Lot Consolidation", is in the name of The Buncher Company and is recorded with the Butler County Recorder of Deeds, Instrument Numbers 200710040025954, 200709140024113, 201307110020218, and 201306070016536. We further certify that there is no mortgage, lien, or other encumbrance against this property.

Joseph M. Jackson Witness
Belinda Signature of Authorized Agent

SURVEYOR'S CERTIFICATION

I, Jon P. Myers, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, certify to the best of my knowledge, the survey and plan shown hereon are correct and accurate to the standards required.

Date of Plan: July 08, 2020 By: *Jon P. Myers*
 Jon P. Myers PLS PA Registration No. SU051238

JACKSON TOWNSHIP ENGINEER'S CERTIFICATION

The plan was reviewed by the Township Engineer for conformance with the Jackson Township Subdivision and Land Development Ordinance and other applicable township ordinances.

Virginia Z. Whit Township Engineer
 PE 077527 Registration Number

JACKSON TOWNSHIP PLANNING COMMISSION REVIEW

Reviewed by the Planning Commission of Jackson Township this December 16, 2019 day of December, 2020.

Secretary *Chairperson* 9/22/2020

JACKSON TOWNSHIP BOARD OF SUPERVISORS APPROVAL

Approved by the Board of Supervisors of the Township of Jackson Township this day of September, 2020. The Board of Supervisors of Jackson Township gives notice that in approving this plan for recording Jackson Township assumes no obligation to accept the dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

Secretary 9/17/2020 *Chairman, Board of Supervisors* 9/23/2020

JACKSON TOWNSHIP PLANNING DIRECTOR APPROVAL

Approved by the Planning Director of Jackson Township this 17th day of September, 2020, pursuant to Chapter 22, Subdivision and Land Development Ordinance, of the code of Jackson Township, as amended. The Planning Director of Jackson Township gives notice that in approving this plan for recording Jackson Township assumes no obligation to accept the dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

Secretary *Planning Director* 9/23/2020

BUTLER COUNTY PLANNING COMMISSION REVIEW

Reviewed by the Butler County Planning Commission on this 21st day of Oct., 2020.

Secretary *Chairman, Butler County Planning Commission*

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA } SS: **MICHELE M. MUSTELLO**
 RECORDER OF DEEDS
 COUNTY OF BUTLER } My Commission Expires First Monday in January 2024

Recorded in the Recorder's Office for the recording of deeds, plans, etc., in said County in Plan Book Volume 388, Page 29.

Given under my hand and seal this 22 day of October, 2020.

Michele M. Mustello Recorder of Deeds

| AREA TABULATION | | | |
|-------------------------|---------------------|----------------|--------------|
| PARCEL NUMBER | OWNER | PARCEL ID | AREA (ACRES) |
| ONE | THE BUNCHER COMPANY | 180-4F104-20B | 14.37 |
| TWO | THE BUNCHER COMPANY | 180-4F104-08 | 15.83 |
| THREE | THE BUNCHER COMPANY | 180-4F104-20B1 | 0.25 |
| FOUR | THE BUNCHER COMPANY | 180-4F104-20C | 1.65 |
| FIVE | THE BUNCHER COMPANY | 180-4F104-20D | 2.32 |
| SIX | THE BUNCHER COMPANY | 180-4F104-20E | 1.52 |
| SEVEN | THE BUNCHER COMPANY | 180-4F104-20F | 4.60 |
| TOTAL AREA CONSOLIDATED | | | 40.54 |

ZONING INFORMATION

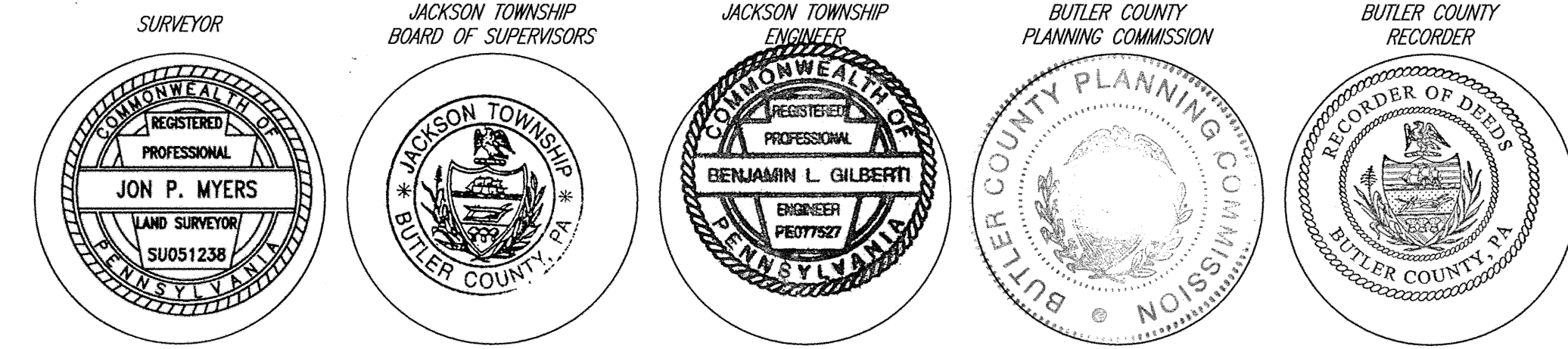
ALL PARCELS LIE WITHIN THE COMMERCIAL CORRIDOR (CC) ZONING DISTRICT WITH THE HIGHWAY SIGNAGE OVERLAY.

| | |
|--|----------|
| MIN. LOT SIZE: | 1/4 ACRE |
| MAXIMUM LOT COVERAGE: | 80% |
| MIN. LOT WIDTH: | 100 FEET |
| MIN. FRONT SETBACK: | 40 FEET |
| MIN. REAR SETBACK: | 30 FEET |
| MIN. SIDEYARD SETBACK: | 15 FEET |
| MIN. SIDEYARD SETBACK ABUTTING RESIDENTIAL DISTRICT: | 30 FEET |

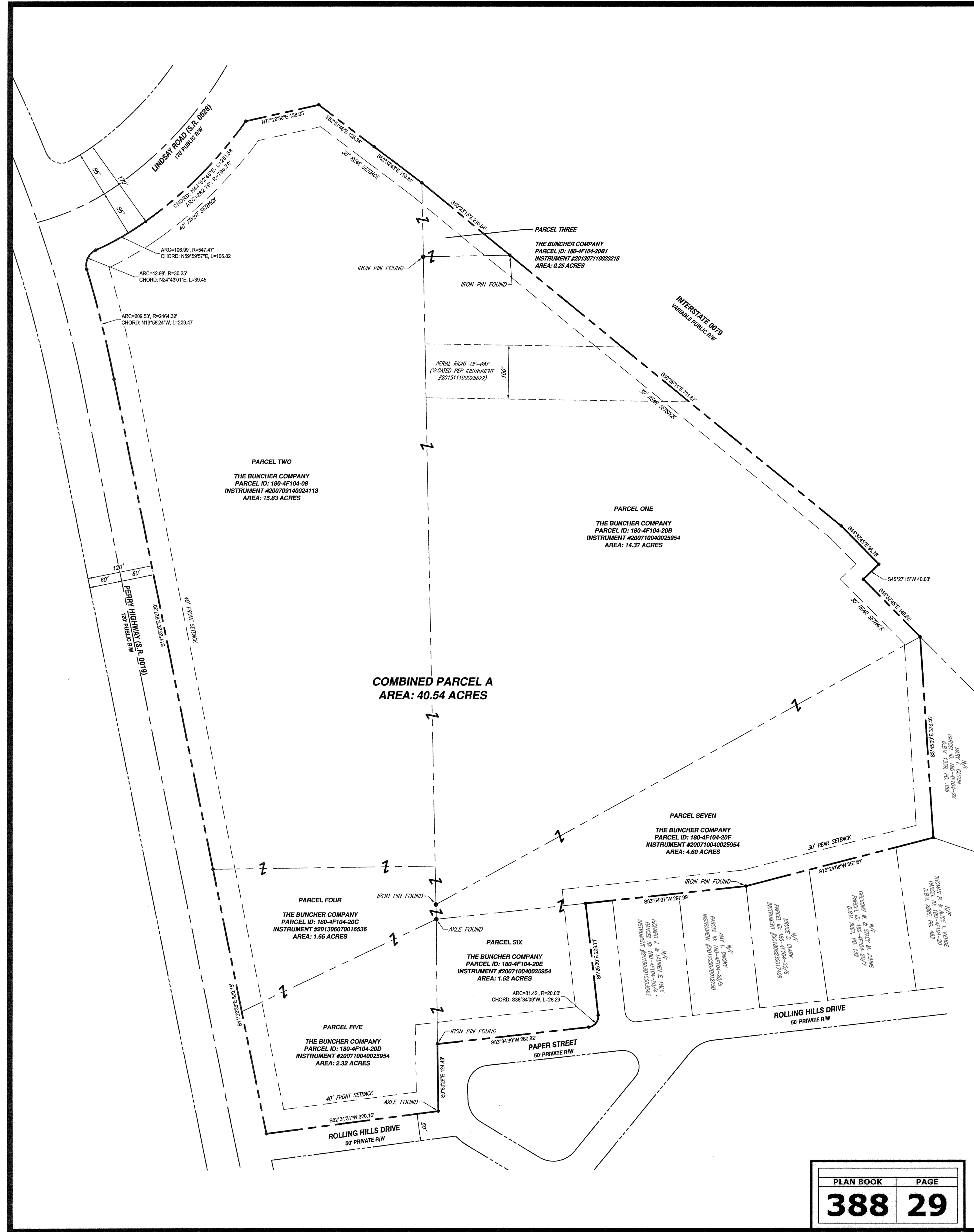
*The Highway Signage Overlay is instituted to provide for principal and accessory sign uses oriented to the I-79 corridor, particularly with respect to interchanges with I-79 and their relation to highway-oriented uses in the Township which rely, in part, upon regional traffic as a customer base.

LEGEND

| | |
|-----|---------------------------|
| --- | SUBJECT PROPERTY BOUNDARY |
| --- | ADJOINING BOUNDARY |
| --- | CENTERLINE |
| --- | RIGHT-OF-WAY |
| --- | BUILDING SETBACK |



PLAN BOOK **388** PAGE **29**



General Notes:

- MERIDIAN SHOWN HEREON IS BASED ON GRID NORTH PER GPS OBSERVATIONS CONDUCTED IN PENNSYLVANIA SOUTH STATE PLANE 1403. INTERIOR ANGLES FOR THE EXISTING PROPERTIES SHOWN HEREON ARE BASED UPON DEEDS OF RECORD.
- SUBJECT PREMISES TAKEN FROM PVE SHEFFLER PLAN "JACKSON'S POINTE PHASE 3 - EXISTING CONDITIONS", SIGNED BY DAVID W. LAPEARLE, DATED JULY 17, 2013.
- A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1212, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW," BEFORE DRIVEWAY ACCESS TO THE STATE HIGHWAY IS PERMITTED.

Drawing Scale: 1" = 100'

Professional seals for Jon P. Myers (Registered Professional Land Surveyor) and Virginia Z. Whit (Registered Professional Engineer).

PVE
 Civil Engineering | Land Development | Structure Design
 Land Planning | Landscape Architecture | Environmental

Prepared For: **The Buncher Company**
 1300 Penn Avenue
 Pittsburgh, PA 15222-4211

811 Know what's below. Call before you dig.

DATE ISSUED: **JULY 08, 2020**

| DATE | DESCRIPTION |
|------------|-------------------------------|
| 1 08-14-19 | REVISED PER TOWNSHIP COMMENTS |
| 2 11-21-19 | REVISED PER TOWNSHIP COMMENTS |
| 3 02-25-20 | REVISED PER TOWNSHIP COMMENTS |
| 4 07-01-20 | REVISED PER TOWNSHIP COMMENTS |
| 5 09-03-20 | REVISED PER OWNER COMMENTS |
| 6 09-08-20 | REVISED PER OWNER COMMENTS |
| 7 | |
| 8 | |
| 9 | |
| 10 | |

Situate In: Jackson Township, Butler County, PA
 Project Name: **Jackson's Pointe Phase 3**
 Drawing Name: **LOT CONSOLIDATION**
 Project No: **160003** Drawing No: **1 of 1**

KNOW ALL MEN BY THESE PRESENTS That We, Charles H. Allenberg and Donna Ann McCullough of the Township of Clinton, County of Butler and Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this as our plan of lots of our property, situate in the Township of Clinton, County of Butler and Commonwealth of Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever, for public use for highway purposes, all slope crests, drives, roads, streets, lanes and ways, and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in the consideration of the approval of said plan, and any future acceptance of said public highways by the Commonwealth of Pennsylvania, County of Butler and Township of Clinton, we hereby covenant and agree to and by these presents do release and forever discharge the Commonwealth of Pennsylvania, County of Butler and Township of Clinton, their successors and assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon the above named property owners, their heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 21 day of September 2020.

Charles H. Allenberg
Charles H. Allenberg

IN WITNESS WHEREOF, I hereunto set my hand and seal this 26 day of September 2020.

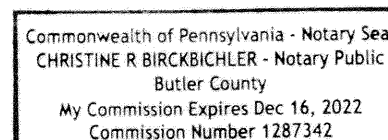
Donna Ann McCullough
Donna Ann McCullough

COMMONWEALTH OF PENNSYLVANIA : SS
COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally came Donna Ann McCullough and acknowledged the foregoing release and dedication and plan to be their act and deed and desired the same to be recorded as such.

WITNESS MY HAND AND NOTARIAL SEAL this 21st day of September 2020.

Christine Birkbichler
Christine Birkbichler
Notary Public

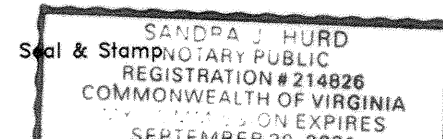


COMMONWEALTH OF VIRGINIA : SS
City of Virginia Beach

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally came Charles H. Allenberg and acknowledged the foregoing release and dedication and plan to be their act and deed and desired the same to be recorded as such.

WITNESS MY HAND AND NOTARIAL SEAL this 21st day of September 2020.

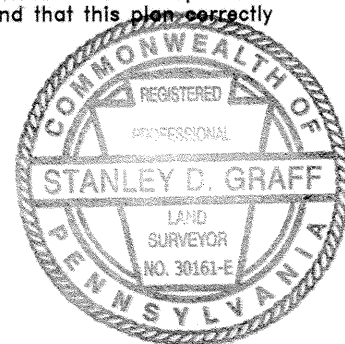
Sandra J. Hurd
Sandra J. Hurd
Notary Public



I, Stanley D. Graff, a Registered Professional Surveyor of the Commonwealth of Pennsylvania, do hereby certify, to the best of my knowledge, that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan accurately represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.

5 Sept. 20
Date

Stanley D. Graff
Stanley D. Graff
Professional Surveyor
No. 30161-E



The Board of Supervisors of the Township of Clinton, hereby gives public notice that in approving this plan for recording purposes only, the Township of Clinton assumes no obligations, legal or otherwise, expressed or implied either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

Approved by the Supervisors of the Township of Clinton this 12 day of October 2020.

Spencer K. Hargen
Spencer K. Hargen
Secretary

Kevin H. Conn
Kevin H. Conn
Chairman

Approved by the Clinton Township Planning Commission this 12 day of October 2020.

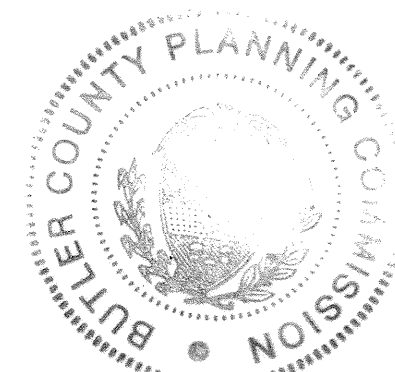
Kevin H. Conn
Kevin H. Conn
Secretary

Kevin H. Conn
Kevin H. Conn
Chairman

Reviewed by the Butler County Planning Commission this 21st day of OCT. 2020.

Spencer K. Hargen
Spencer K. Hargen
Secretary

Spencer K. Hargen
Spencer K. Hargen
Chairman



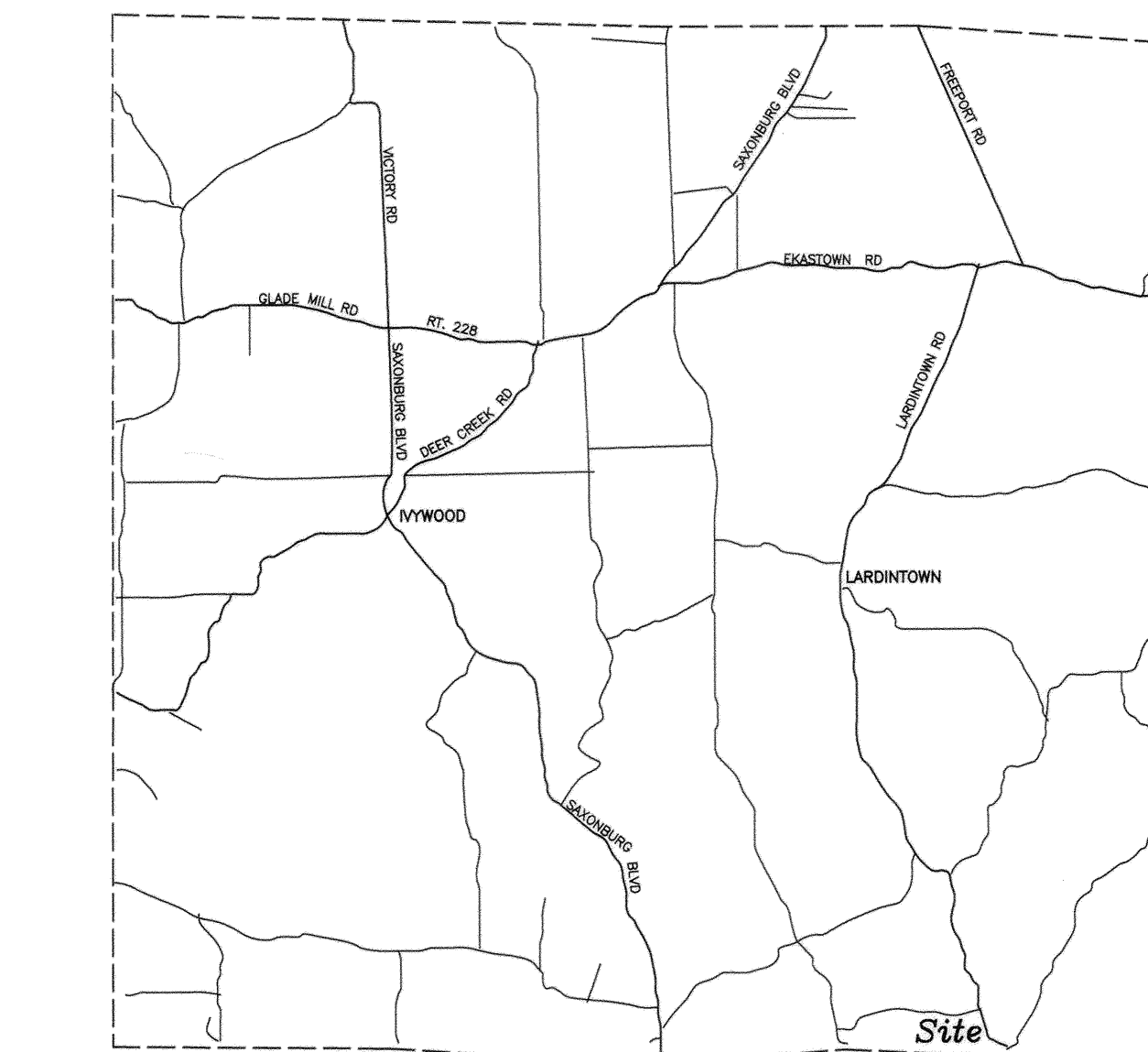
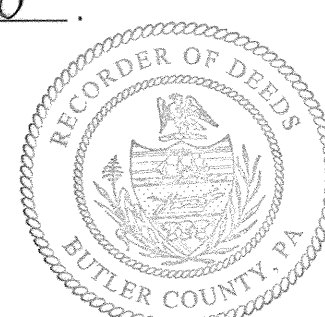
COMMONWEALTH OF PENNSYLVANIA : SS
COUNTY OF BUTLER

Recorded in the Recorder's Office for the recording of deeds, plans, etc., in said County in Plan Book Volume 388 Page 30.

Given under my hand and seal this 22nd day of OCTOBER 2020.

Michele M. Mustello
Michele M. Mustello
Recorder

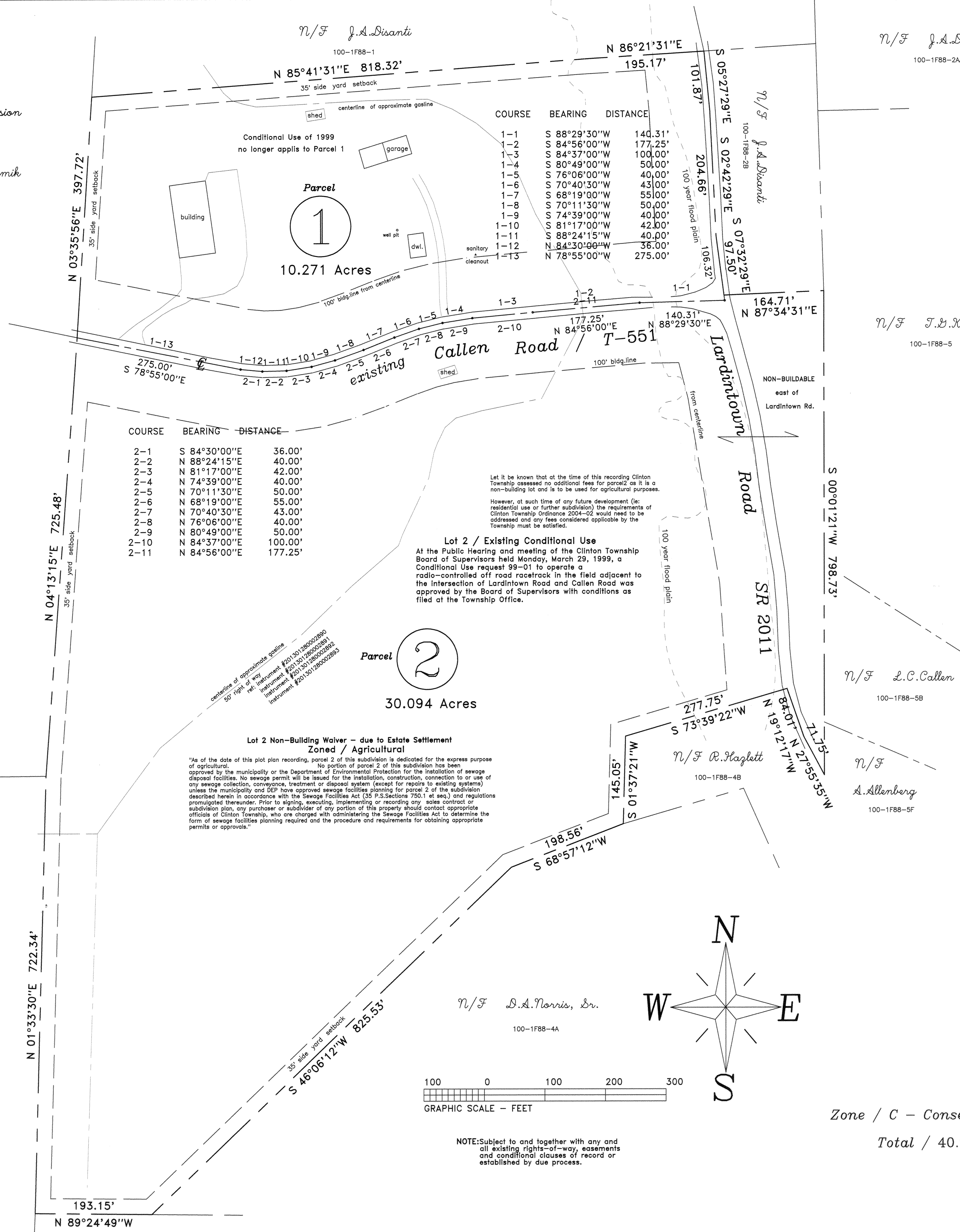
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024



Vicinity Map

N/F D.A. Norris

HIGHWAY OCCUPANCY PERMIT
A Highway Occupancy Permit is required pursuant to Section 420 of the State Highway Law (P.L. 1242, No. 429).



Altenberg / McCullough Plan

Subdivision to settle Estate

INSTR: 202010220023777
Page 1 of 548.00
Michele Mustello
Butler County Recorder PA
10/22/2020 12:13 PM
15090917041

GRAFF SURVEYING LLC
Saxenburg, PA 16056
P.O. Box 521
330 Fisher Road, Cabot, PA 16023
info@graffsurveying.com
724-352-3611 fax 724-352-1059

Donna Ann McCullough and Charles H. Allenberg
SUBDIVISION SURVEY
PROJECT No: 20011
SITUATE: CLINTON TOWNSHIP, BUTLER COUNTY, PA
DATE: 02/03/20 REV: 9/15/20 DWN:By: Sog CHK:By: Jot

| | |
|------------|-----------|
| RECORDED | 20 |
| PLAN BOOK | PAGE |
| 388 | 30 |
| SHEET | of |

Zone / C - Conservation District
Total / 40.365 Acres

Situate:
103 Callen Road
Sarver, PA 16055

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT I, THOMAS M. FERRARO, OF THE TOWNSHIP OF JEFFERSON, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR MYSELF, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS MY PLAN OF LOTS OF MY PROPERTIES, SITUATE IN THE TOWNSHIP OF JEFFERSON, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO ME, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF JEFFERSON, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF JEFFERSON, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNER, HIS HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HEREBY SET MY HAND AND SEAL THIS 15 DAY OF OCTOBER, 2020.

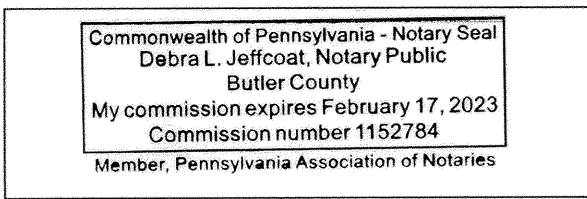
Thomas M. Ferraro
 THOMAS M. FERRARO

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, THOMAS M. FERRARO, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 15 DAY OF OCTOBER, 2020.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023.

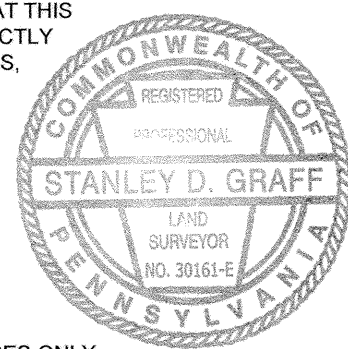
Debra L. Jeffcoat
 NOTARY PUBLIC



SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

8 Oct 2020
 DATE

Stanley D. Graff
 STANLEY D. GRAFF
 REG. NO. SJ-030161-E



MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF JEFFERSON, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF JEFFERSON ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF JEFFERSON THIS 12th DAY OF Oct., 2020.

Luis F. Fennell
 SECRETARY
John G. ...
 CHAIRPERSON
 BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF JEFFERSON THIS 17th DAY OF FEBRUARY, 2020.

Evelyn M. Haase
 SECRETARY
Lea ...
 CHAIRPERSON
 PLANNING COMMISSION

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 2nd DAY OF FEB., 2020.

R. ...
 SECRETARY
S. ...
 CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING

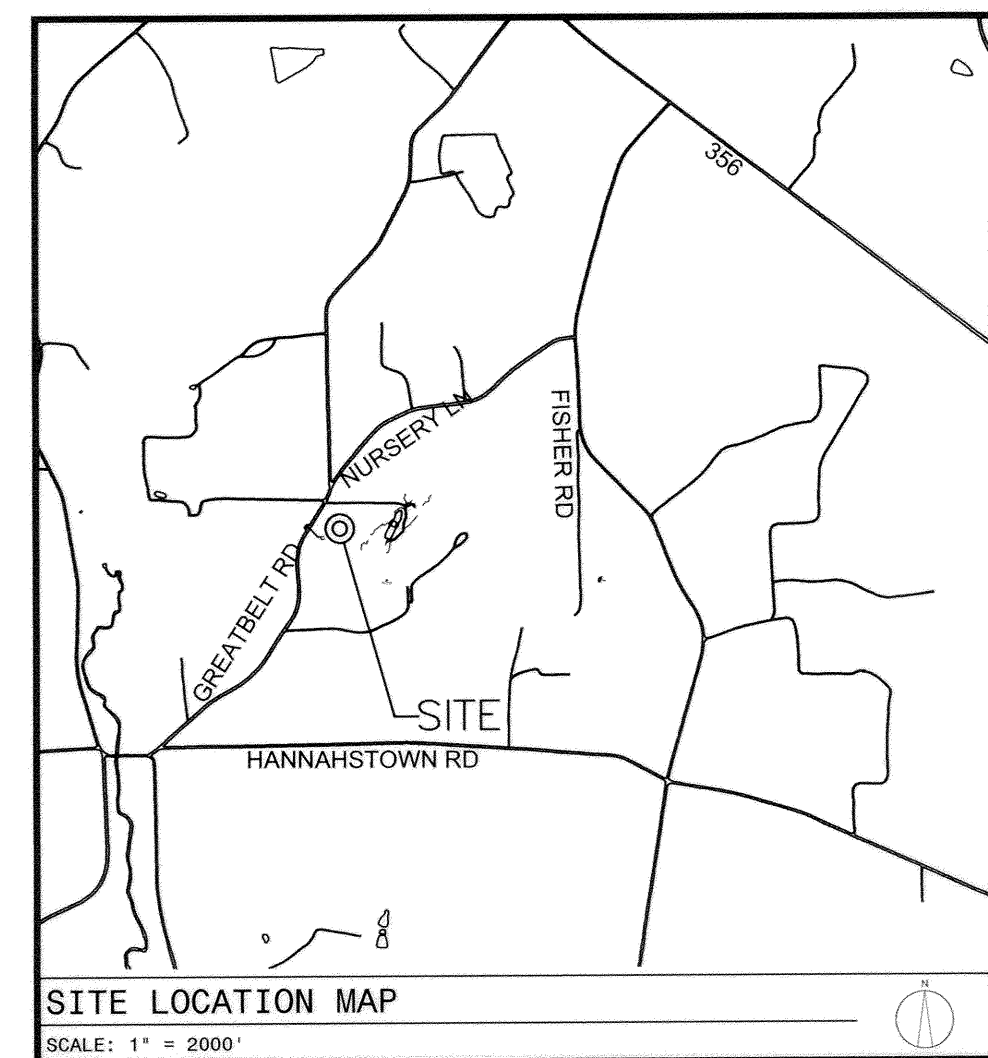
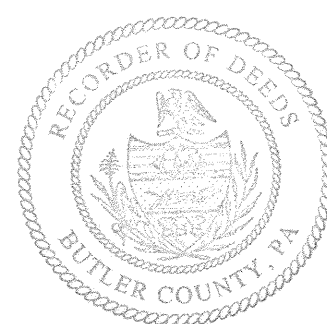
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN

PLAN BOOK VOLUME 388, PAGE(S) 31

GIVEN UNDER MY HAND AND SEAL THIS 22nd DAY OF OCT, 2020.

Michele M. Mustello
 RECORDER OF DEEDS

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



OWNER'S ACCEPTANCE OF RESPONSIBILITY FOR PROVIDING STORMWATER DRAINAGE FACILITIES AND CONTROL OF STORMWATER DRAINAGE
 KNOW ALL MEN BY THESE PRESENTS THAT I, THOMAS M. FERRARO, OF THE TOWNSHIP OF JEFFERSON, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, AND FOR OUR GRANTEEES AND THEIR SUBSEQUENT PURCHASERS, DO HEREBY ACCEPT FULL AND COMPLETE RESPONSIBILITY, LIABILITY, EXPENSE AND PROVISION OF FACILITIES FOR THE CONTROL OF STORMWATER DRAINAGE OVER, ACROSS AND THROUGH THIS SUBDIVISION OF LAND UNTIL SUCH TIME AS WE, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS CONSTRUCT STORMWATER DRAINAGE FACILITIES IN ACCORDANCE WITH TOWNSHIP SPECIFICATIONS AND REQUIREMENTS AND THE SAME IS OFFICIALLY ACCEPTED BY ACTION OF THE BOARD OF SUPERVISORS AND UNTIL SUCH FORMAL ACCEPTANCE FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS DO HEREBY RELEASE THE TOWNSHIP OF JEFFERSON FROM ANY RESPONSIBILITY IN CONNECTION THEREWITH. THIS ACCEPTANCE OF RESPONSIBILITY SHALL BE BINDING UPON THOMAS M. FERRARO, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, AND ALL PURCHASERS OF LOTS IN THIS PLAN OF SUBDIVISION.

ANY STORMWATER FACILITIES SHALL MAINTAIN SEPTIC ISOLATION DISTANCES

PLAN ORIENTATION NOTE: THE BASIS OF BEARINGS AND/OR COORDINATES SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM - SOUTH ZONE (PA-S) / NAD 1983 AS DETERMINED BY GPS STATIC COLLECTION AND OPUS SOLUTION.

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

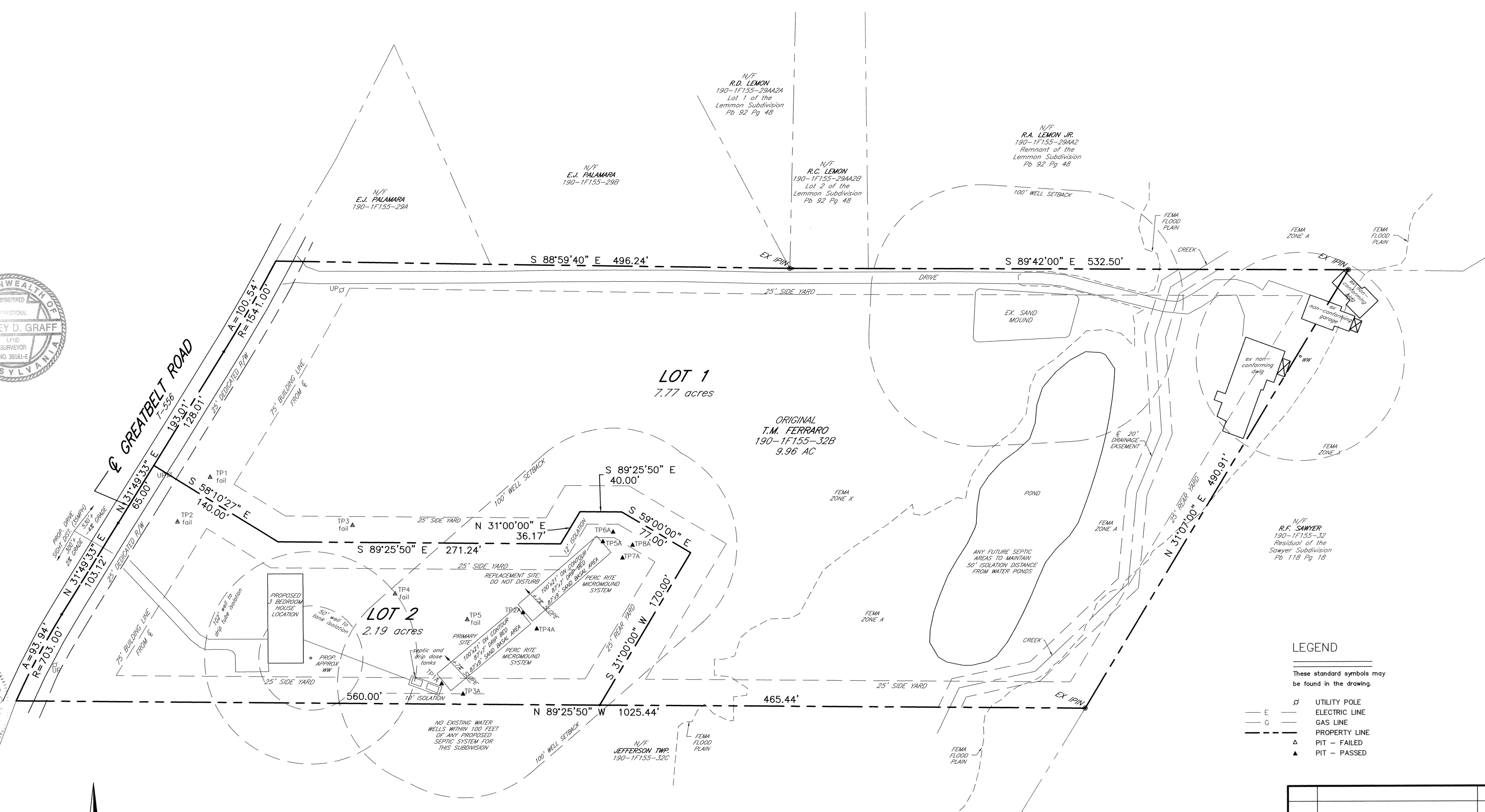
REPLACEMENT DISPOSAL SITE NOTE: THE REPLACEMENT DISPOSAL SITE IS RESERVED FOR A REPLACEMENT ABSORPTION AREA IN THE EVENT THE PRIMARY SYSTEM FAILS AND THE AREA MUST NOT BE DISTURBED.



T. FERRARO PLAN

Being a subdivision of Butler County Tax Parcel 190-1F155-32B

Index: 202010220023778
 Figs: 1 F: 645-80
 Michele Mustello
 Butler County Recorder PA
 10/22/2020 12:13 PM
 T2020017041



LEGEND

These standard symbols may be found in the drawing.

- U UTILITY POLE
- E ELECTRIC LINE
- G GAS LINE
- P PROPERTY LINE
- ▲ PIT - FAILED
- ▲ PIT - PASSED

GENERAL NOTES:

1. PROPERTY OWNER: THOMAS M. FERRARO
 2. TAX PARCEL ID: 190-1F155-32B
 3. FEMA FLOOD ZONE: PORTIONS OF LOT 1 LOCATED IN ZONE A AND ZONE X
 LOT 2 LOCATED WITHIN ZONE X - AREA OF MINIMAL FLOOD HAZARD
- FIRM: 42019C0440D
 FIRM EFFECTIVE DATE: 8/2/2018

| | |
|------------|-----------|
| RECORDED | 20 |
| PLAN BOOK | PAGE |
| 388 | 31 |
| SHEET | of |

| | | | |
|-----|--|-----|---------|
| B | REVISIONS PER DEP REQUIREMENTS | SDG | 6/25/20 |
| A | REVISIONS PER FOLLOWING TOWNSHIP PLANNING MEETING ON 2/17/2020 | SDG | 2/25/20 |
| REV | DESCRIPTION | BY | DATE |



GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION
T. FERRARO PLAN
 BEING A
 SUBDIVISION
 FOR
 THOMAS M.
 FERRARO

SITUATE

| | | | |
|---|----------------|----------|----------|
| JEFFERSON TOWNSHIP BUTLER COUNTY, PENNSYLVANIA | | | |
| DATE | DRAWN | CHECKED | SCALE |
| 01/01/2020 | BAG | Sdg | 1" = 60' |
| PROJECT NO. | TAX PARCEL NO. | REVISION | |
| 19-110 | 190-1F155-32B | B | |

NOTE: ALL SIGNATURES MUST BE MADE WITH A BLACK INK FELT TIP PEN !!!

OWNER'S ADOPTION - CORPORATION
CRANBERRY HILL PARTNERS, OWNER OF THE LAND SHOWN ON THE CRANBERRY HILL PARTNERS WAREHOUSE ADDITION SITE PLAN FOR RECORDING HEREBY ADOPTS THIS PLAN AS ITS LAND DEVELOPMENT AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC.

ACKNOWLEDGMENT OF NOTARY PUBLIC
COMMONWEALTH OF PENNSYLVANIA
COUNTY OF BUTLER

CERTIFICATION OF TITLE
I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE CRANBERRY HILL PARTNERS WAREHOUSE ADDITION SITE PLAN FOR RECORDING IS IN THE NAME OF CRANBERRY HILL PARTNERS AND IS RECORDED IN INSTRUMENT NUMBER 201307160020871.

MUNICIPAL DECLARATIONS
THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY, HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN, THE TOWNSHIP OF CRANBERRY HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

APPROVAL BY THE TOWNSHIP BOARD OF SUPERVISORS
THIS STATEMENT CERTIFIES ONLY THAT ACTION WAS TAKEN BY THE BOARD OF SUPERVISORS GRANTING FINAL APPROVAL.

APPROVED BY THE TOWNSHIP MANAGER
I, MICHELE M. MUSTELLO, TOWNSHIP MANAGER FOR THE TOWNSHIP OF CRANBERRY, CERTIFY THAT THE CONDITION FOR FINAL APPROVAL OUTLINED IN ORDINANCE/RESOLUTION NO. 2020-24, HAVE BEEN MET IN ACCORDANCE WITH SECTIONS 22-305 AND 22-307 OF THE TOWNSHIP CODE OF ORDINANCES.

MUNICIPAL ENGINEER'S CERTIFICATE
I, MICHELE M. MUSTELLO, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER OF THE TOWNSHIP OF CRANBERRY, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

BUTLER COUNTY PLANNING COMMISSION
REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION AT A MEETING HELD THIS 19th DAY OF February, 2020.

PROOF OF RECORDING
RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, PLATS, ETC., IN BUTLER COUNTY, IN PLAN BOOK VOLUME 388, PAGE 32.

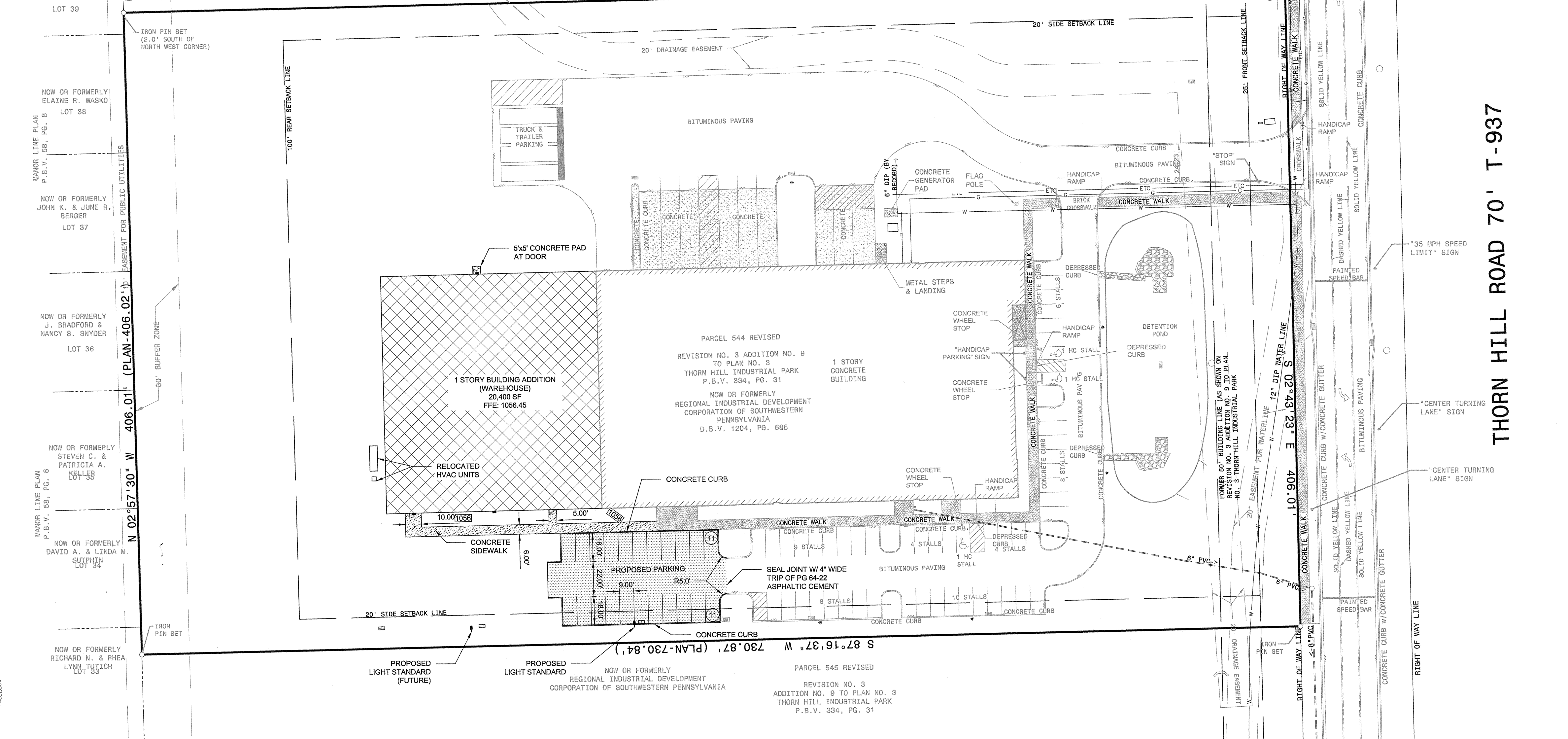
SITE PLAN NOTES:
1. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES.

STORMWATER MANAGEMENT DECLARATIONS
I, JONATHAN GARCEWSKI, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE CRANBERRY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

CRANBERRY HILL PARTNERS, OWNER OF THE LAND SHOWN ON THE HEIGHTS AT THORN HILL LAND DEVELOPMENT PLAN HEREBY ACKNOWLEDGE THAT STORMWATER MANAGEMENT BMP'S ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY CRANBERRY TOWNSHIP.

I, TIM SCHWARTZ, HAVE REVIEWED THIS STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF THE CRANBERRY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

MODIFICATIONS / WAIVERS:
1. SECTION 22-403.G(4) WHICH REQUIRES THAT A TRAFFIC STUDY BE SUBMITTED FOR THE PROPOSED DEVELOPMENT AS PART OF THE ENVIRONMENTAL IMPACT ASSESSMENT. PROPOSING - TO NOT SUBMIT THE TRAFFIC STUDY. JUSTIFICATION - THE NUMBER OF TRIPS BEING GENERATED BY THE PROPOSED USE DOES NOT WARRANT A TRAFFIC STUDY.



SITE LEGEND table with symbols for proposed type 'M' inlet, light standard, concrete sidewalk, standard duty bituminous pavement, and parking count.

PLAN BOOK 388 PAGE 32

Recorder of Deeds, Notary Public, Butler County Planning Commission, Cranberry Township Engineer, and Cranberry Township Board of Supervisors signatures and seals.

SITE DATA table showing zoning district (Special Growth District SP-1), proposed use (Distribution Warehouse Center), lot size (6.820 acres), and SP-1 district requirements for building setbacks and parking.

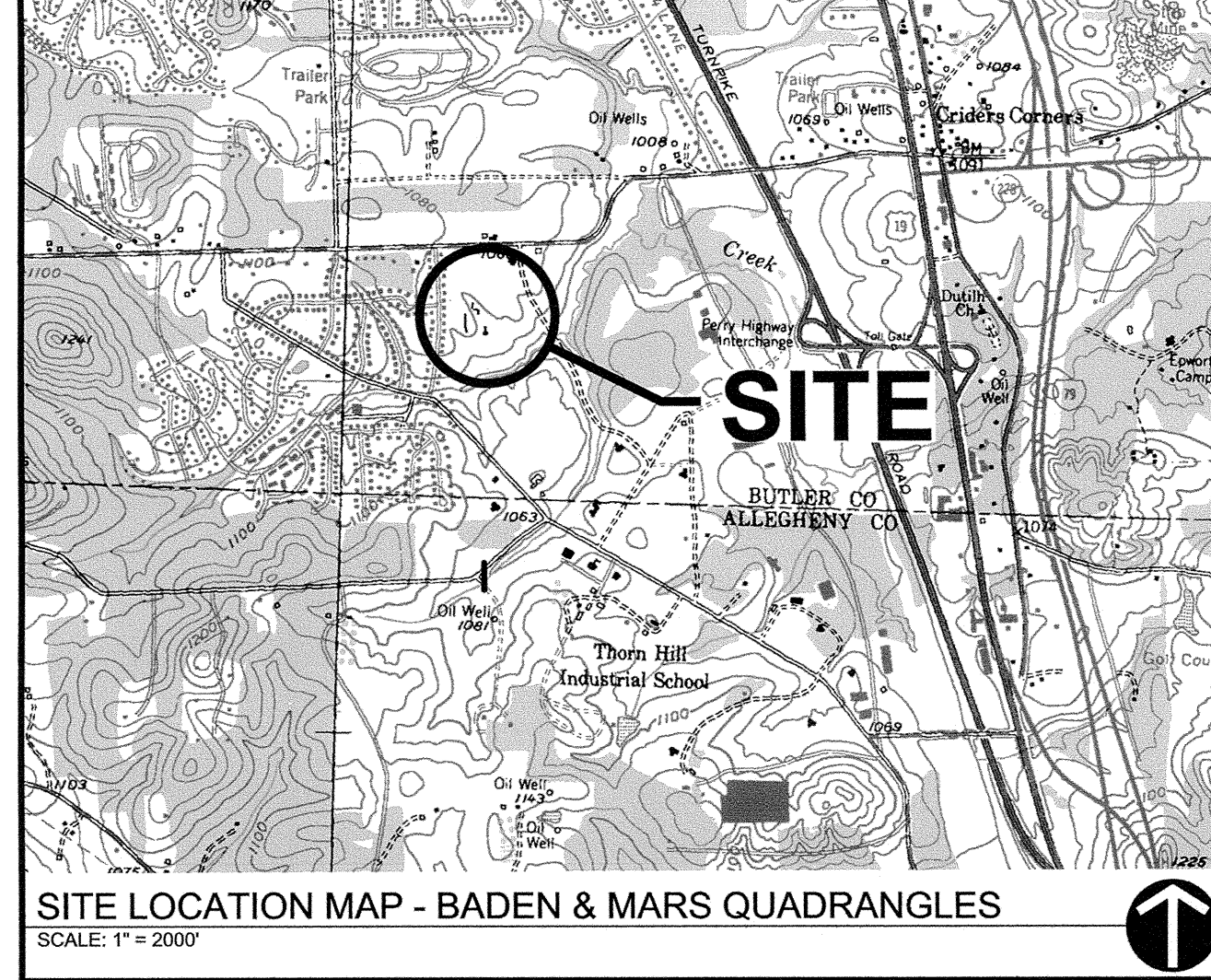
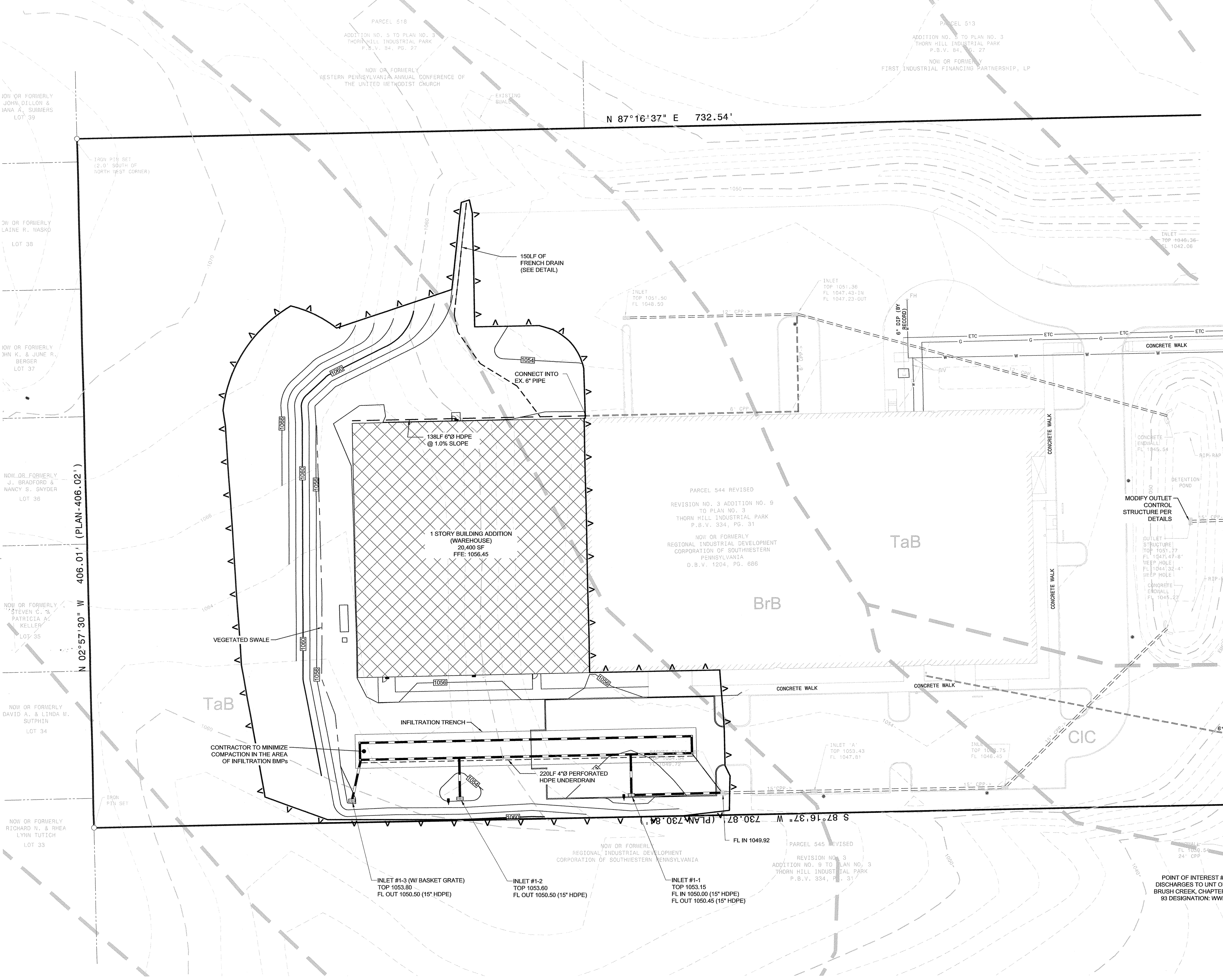
PARKING CALCULATIONS table showing required and actual parking spaces based on showrooms, warehouse, and storage.

GREENSPACE CALCULATION table showing required and actual greenspace percentage for parking lot.

North arrow, 811 logo, graphic scale (1 inch = 40 feet), and revision record table.

Vertical sidebar containing Gateway logo, professional engineer seal for Jonathan Edward Garcewski, and project information including drawing scale, date, and project manager.

THIS PLAN IS FOR POST-CONSTRUCTION STORMWATER MANAGEMENT PURPOSES ONLY



- PCSM NOTES:**
1. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1626 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF THE BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
 3. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PENNSYLVANIA ONE CALL SYSTEMS, INC. AT 1-800-242-1778. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
 4. CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER INLETS.
 5. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
 6. ALL STORM PIPE SHALL BE HDPE, SMOOTH INTERIOR, CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED. ALL STORM SEWER CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH FENDOT SPECIFICATIONS. ALL JOINTS SHALL BE WATERTIGHT.
 7. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
 8. THE CONTRACTOR SHALL ASSURE THAT THERE IS POSITIVE DRAINAGE TO THE INLETS UPON PLACEMENT OF NEW PAVEMENT.
 9. THE PERMIT BOUNDARY IS PART OF THE RIDG THORN HILL INDUSTRIAL PARK PROJECT, EXISTING PERMIT NUMBER PAC 100162.

GATEWAY
The Gateway Engineers, Inc.
Full-Service Civil Engineering & Surveying
Pittsburgh, PA
gatewayengineers.com

REGISTERED PROFESSIONAL ENGINEER
JONATHAN EDWARD GARCZEWSKI
No. 12074459

| NO. | DATE | REVISION |
|-----|------------|--|
| 01 | 2020-03-05 | REVISED PER TOWNSHIP LETTER DATED 2020-02-25 |
| 02 | 2020-06-02 | AS PER RESOLUTION SUBMISSION TO CRANBERRY TOWNSHIP |
| 03 | | |
| 04 | | |
| 05 | | |
| 06 | | |
| 07 | | |
| 08 | | |

CRANBERRY HILL PARTNERS WAREHOUSE ADDITION
THORN HILL ROAD - LOT 544
CRANBERRY TOWNSHIP, PA 16066

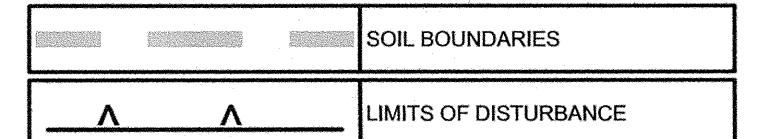
PREPARED FOR:
CRANBERRY HILL PARTNERS
26160 RICHMOND ROAD
BEDFORD HEIGHTS, OH 44146

POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN

Project Number: C-18397-0009
Drawing Scale: 1"=30'
Date Issued: 2020-02-04
Index Number: ---
Drawn By: VARIES
Checked By: JEG
Project Manager: JEG

C701

POST CONSTRUCTION STORMWATER MANAGEMENT LEGEND



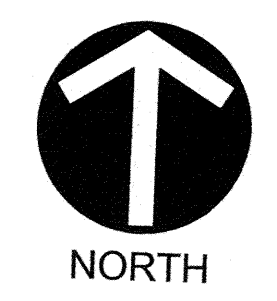
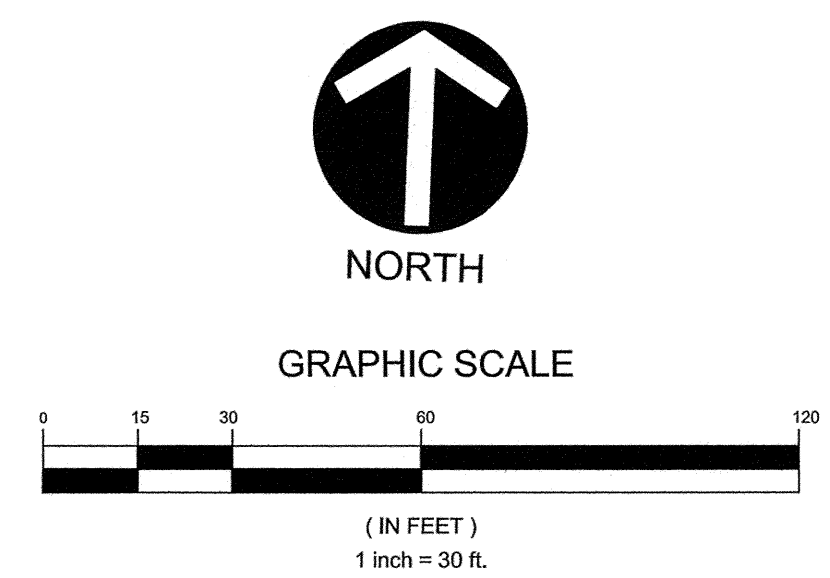
| PLAN BOOK | PAGE |
|------------|-----------|
| 388 | 33 |

PROJECT AREAS

TOTAL PERMIT AREA = 212 ACRES
DISTURBED AREA = 1.55 ACRES



Know what's below.
Call before you dig.
Serial No. 20200340774



I:\Plan & File\name-R:\Projects\18397 Thorn Hill-0009 Paha Windows Expansion\02-Sheet\18397-0009_C401 E&S & PCSM.dwg
18/02/2020 8:19 AM Jonathan E. Glazewski, P.E. Save Date: 2/20/20 8:19 AM

CONSTRUCTION OF POST CONSTRUCTION BMP

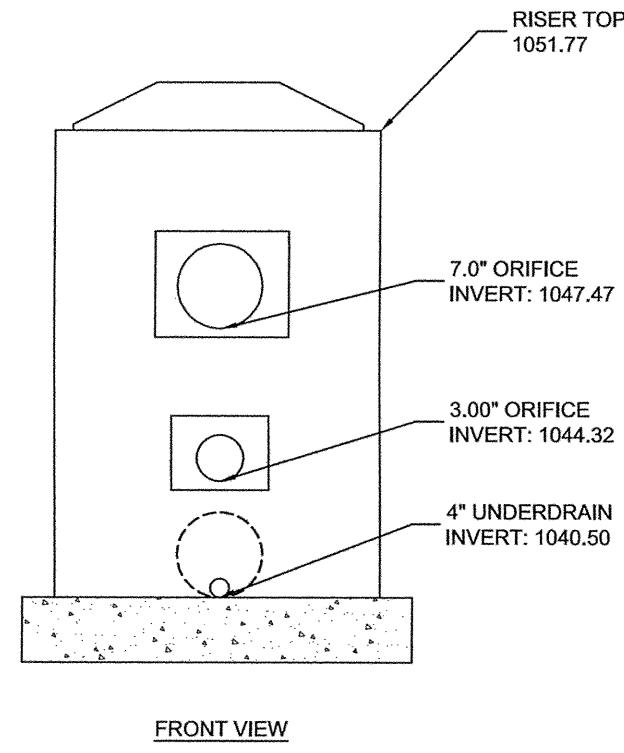
CRITICAL STAGES: A LICENSED PROFESSIONAL OR DESIGNER SHALL BE PRESENT ON SITE DURING CONSTRUCTION OF THE UNDERGROUND INFILTRATION TRENCH.

ALL POST CONSTRUCTION STORMWATER BEST MANAGEMENT PRACTICES SHALL BE INSTALLED WHEN A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION IS ESTABLISHED.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PCSM INFILTRATION BMP. CARE SHALL BE TAKEN AS TO MINIMIZE ALL COMPACTION OF THESE SURFACES AND TO ENSURE THAT SEDIMENT FROM STORMWATER RUNOFF DOES NOT ENTER THE PCSM INFILTRATION BMP IN ORDER TO PROTECT INFILTRATION AREAS.

UNDERGROUND INFILTRATION TRENCH

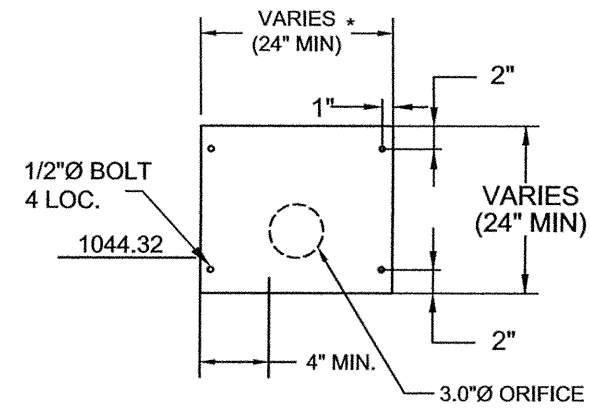
1. PROTECT UNDERGROUND INFILTRATION TRENCH AREA FROM COMPACTION PRIOR TO INSTALLATION
2. IF POSSIBLE, INSTALL UNDERGROUND INFILTRATION TRENCH DURING LATER STAGES OF SITE CONSTRUCTION TO PREVENT SEDIMENT AND/OR DAMAGE FROM CONSTRUCTION ACTIVITY. AFTER INSTALLATION, PREVENT SEDIMENT-LADEN WATER FROM ENTERING INLETS AND PIPES.
3. INSTALL AND MAINTAIN PROPER EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
4. EXCAVATE UNDERGROUND INFILTRATION TRENCH BOTTOM TO A UNIFORM LEVEL UNCOMPACTED SUBGRADE FREE FROM ROCKS AND DEBRIS. DO NOT COMPACT SUBGRADE!
5. PLACE NONWOVEN GEOTEXTILE ALONG BOTTOM AND SIDES OF TRENCH. FOLD BACK AND SECURE EXCESS GEOTEXTILE DURING STONE PLACEMENT
6. INSTALL UPSTREAM AND DOWNSTREAM CONTROL STRUCTURES.
7. INSTALL CONTINUOUSLY PERFORATED PIPES AS INDICATED ON PLANS.
8. BACKFILL WITH UNIFORMLY GRADED CLEAN WASHED AGGREGATE IN 8 INCH LIFTS, LIGHTLY COMPACTING BETWEEN LIFTS.
9. FOLD AND SECURE NONWOVEN GEOTEXTILE OVER UNDERGROUND INFILTRATION TRENCH WITH MINIMUM OVERLAP OF 16 INCHES.
10. DO NOT REMOVE INLET PROTECTION OR OTHER EROSION AND SEDIMENTATION CONTROL MEASURE UNTIL SITE IS FULLY STABILIZED.
11. ANY SEDIMENT THAT ENTERS INLETS DURING CONSTRUCTION IS TO BE REMOVED WITHIN 24 HOURS.



NOTES:

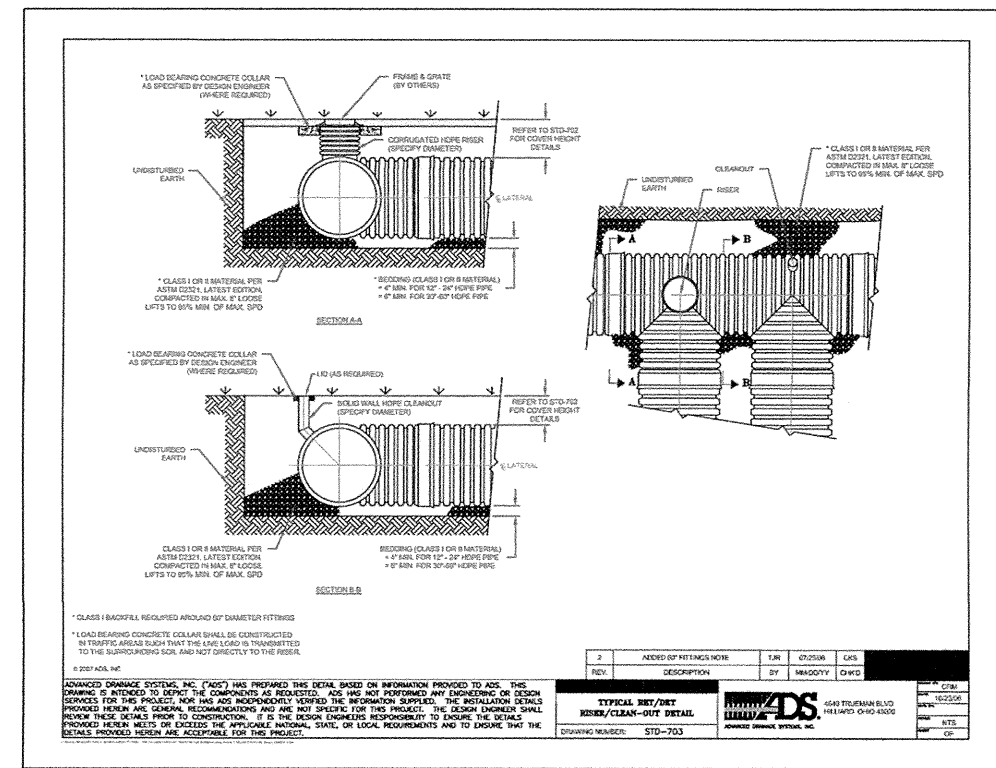
1. OUTLET PIPE, ORIFICES AND SLOT TO BE SIZED AND ARRANGED, BASED ON THE STORM WATER MANAGEMENT REPORT.
2. CONSTRUCT INLET IN ACCORDANCE WITH THESE SPECIFICATIONS AND PENN D.O.T. PUBLICATION 409, SECTION 605, FOR "CAST IN PLACE UNITS" AND SECTION 713.2 FOR "PRECAST CONCRETE UNITS".
3. INLET FRAMES AND GRATES TO BE EITHER GRAY, MALLEABLE OR DUCTILE IRON.
4. MANHOLE STEPS REQUIRED IN ALL STRUCTURES OVER 5' DEEP.

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| 03 | OUTLET CONTROL STRUCTURE WET POND SECTION A-A |
| C710 | |

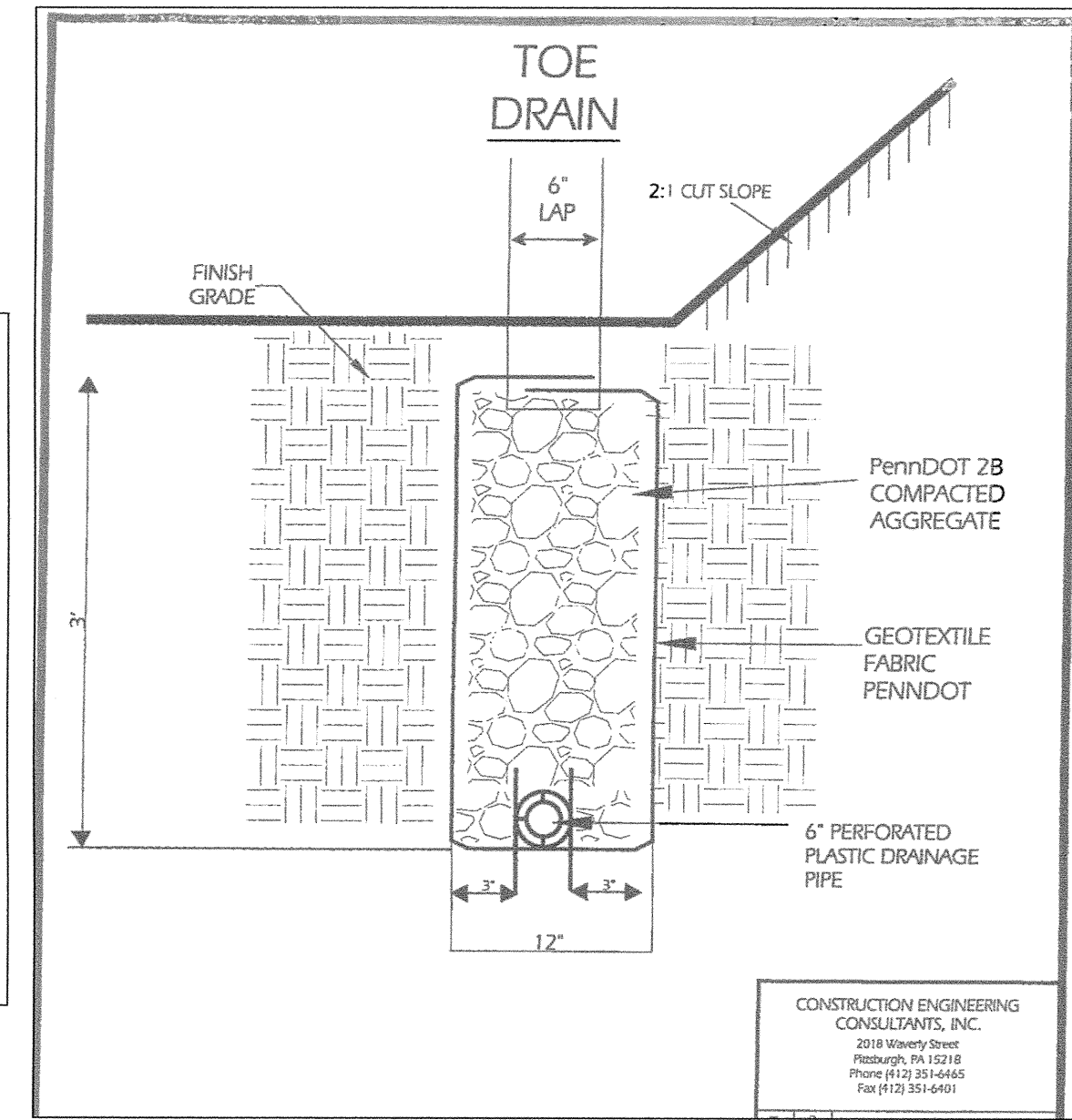


1. FABRICATE 10 GA. STEEL
2. INSTALL ON OUTLET STRUCTURE

| | |
|------|-----------------------|
| 04 | ORIFICE PLATE DETAILS |
| C710 | |



| | |
|------|---------------------------|
| 05 | CLEANOUT AND RISER DETAIL |
| C710 | |



| | |
|------|---------------------|
| 11 | FRENCH DRAIN DETAIL |
| C710 | |

EXISTING BASIN

1. CONTRACTOR SHALL INSTALL ORIFICE PLATES ON EXISTING OUTLET STRUCTURE PER DETAILS 03 AND 04 ON THIS SHEET.

| | |
|------|--|
| 01 | CONSTRUCTION SEQUENCE FOR POST-CONSTRUCTION STORMWATER MANAGEMENT BMPS |
| C710 | |

OPERATION AND MAINTENANCE OF STRUCTURAL BMP'S

A LICENSED PROFESSIONAL OR DESIGNER SHALL BE PRESENT ON SITE DURING CONSTRUCTION OF THE UNDERGROUND INFILTRATION TRENCH.

UNDERGROUND INFILTRATION TRENCH DURING CONSTRUCTION:

- CATCH BASINS AND UNDERGROUND INFILTRATION TRENCH SHALL BE INSPECTED FOR SEDIMENT WEEKLY AND AFTER EACH RAINFALL EVENT.

AFTER CONSTRUCTION:

TYPE OF MAINTENANCE ACTIVITIES:

INSPECTION OF THE UNDERGROUND INFILTRATION TRENCH FOR THE FOLLOWING:

- DAMAGE TO THE INLET AND OUTLET PIPES
- OBSTRUCTIONS IN THE SYSTEM, INLET PIPES, OR OUTLET PIPES
- EXCESSIVE ACCUMULATION OF FLOATABLES OR SEDIMENT OF MORE THAN 6" IN DEPTH
- DAMAGED JOINTS

PROBABLE FREQUENCIES OF CLEANING AND INSPECTION:

- INSPECTION OF THE SYSTEM SHALL OCCUR EVERY 6 MONTHS
- CLEANING OF THE SYSTEM WILL BE WHEN INSPECTION DETERMINES IT

STORMWATER CONVEYANCE SYSTEM

CATCH BASINS AND INLETS SHALL BE INSPECTED AND CLEANED AT LEAST 4 TIMES PER YEAR.

STREET SWEEPING

STREET SWEEPING SHALL BE CONDUCTED ON A SCHEDULED MONTHLY BASIS FROM MAY TO OCTOBER. IF WEATHER CONDITIONS RESTRICT A SCHEDULED DAY THAT STREET SWEEPING IS TO OCCUR, THE PROCESS SHOULD BE RESCHEDULED AS SOON AS POSSIBLE WHEN WEATHER ALLOWS STREET SWEEPING TO BE ACCOMPLISHED.

MAINTENANCE RESPONSIBILITY FOR THE UNDERGROUND INFILTRATION TRENCH SHALL REMAIN WITH THE OWNER AND THEIR SUCCESSOR IN TITLE. ALL STORMWATER MANAGEMENT FACILITIES WILL BE MAINTAINED BY THE OWNER.

ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED, THE DEVELOPER IS TO INSPECT THE STORMWATER MANAGEMENT FACILITIES FOUR TIMES PER YEAR. A RECOMMENDED SCHEDULE IS AS FOLLOWS:

JANUARY 3, APRIL 3, JULY 3, OCTOBER 3

VEGETATED SWALES

MAINTENANCE ACTIVITIES TO BE DONE ANNUALLY AND WITHIN 48 HOURS AFTER EVERY MAJOR STORM EVENT (>1 INCH RAINFALL DEPTH).

1. INSPECT AND CORRECT EROSION PROBLEMS, DAMAGE TO VEGETATION, AND SEDIMENT AND DEBRIS ACCUMULATION (ADDRESS WHEN >3 INCHES AT ANY SPOT OR COVERING VEGETATION.)
2. INSPECT VEGETATION ON SIDE SLOPES FOR EROSION AND FORMATION OF RILLS OR GULLIES. CORRECT AS NEEDED.
3. INSPECT FOR POOLS OF STANDING WATER, DEWATER AND DISCHARGE TO AN APPROVED LOCATION AND RESTORE TO DESIGN GRADE.
4. MOW AND TRIM VEGETATION TO ENSURE SAFETY, AESTHETICS, PROPER SWALE OPERATION, OR TO SUPPRESS WEEDS AND INVASIVE VEGETATION; DISPOSE OF CUTTINGS IN A LOCAL COMPOSTING FACILITY; MOW ONLY WHEN SWALE IS DRY TO AVOID RUTTING.
5. INSPECT FOR LITTER; REMOVE PRIOR TO MOWING.
6. INSPECT FOR UNIFORMITY IN CROSS SECTION AND LONGITUDINAL SLOPE, CORRECT AS NEEDED.
7. INSPECT SWALE INLET (CURB CUTS, PIPES, ETC.) AND OUTLET FOR SIGNS OF EROSION AND BLOCKAGE, CORRECT AS NEEDED.

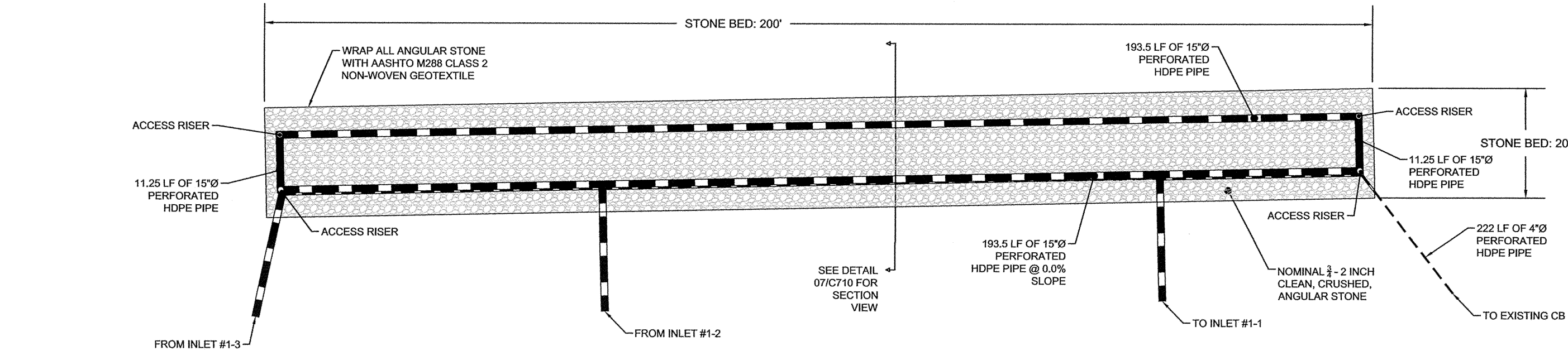
MAINTENANCE ACTIVITIES TO BE DONE AS NEEDED.

1. PLANT ALTERNATIVE GRASS SPECIES IN THE EVENT OF UNSUCCESSFUL ESTABLISHMENT.
2. RESEED BARE AREAS; INSTALL APPROPRIATE EROSION CONTROL MEASURES WHEN NATIVE SOIL IS EXPOSED OR EROSION CHANNELS ARE FORMING.
3. ROTOTILL AND REPLANT SWALE IF DRAW DOWN TIME IS MORE THAN 48 HOURS.
4. INSPECT AND CORRECT CHECK DAMS WHEN SIGNS OF ALTERED WATER FLOW (CHANNELIZATION, OBSTRUCTIONS, EROSION, ETC.) ARE IDENTIFIED.
5. WATER DURING DRY PERIODS, FERTILIZE, AND APPLY PESTICIDES ONLY WHEN ABSOLUTELY NECESSARY.
6. INSPECT SWALE IMMEDIATELY AFTER THE SPRING MELT. REMOVE RESIDUALS (E.G. SAND) AND REPLACE DAMAGED VEGETATION WITHOUT DISTURBING REMAINING VEGETATION.
7. IF ROADSIDE OR PARKING LOT RUNOFF IS DIRECTED TO SWALE, MULCHING AND/OR SOIL AERATION/MANIPULATION MAY BE REQUIRED IN THE SPRING TO RESTORE SOIL STRUCTURE AND MOISTURE CAPACITY AND TO REDUCE THE IMPACTS OF DEICING AGENTS.
8. USE NONTOXIC, ORGANIC DEICING AGENTS, APPLIED EITHER AS BLENDED, MAGNESIUM CHLORIDE BASED LIQUID PRODUCTS OR AS PRETREATED SALT.
9. USE SALT TOLERANT VEGETATION IN SWALES.

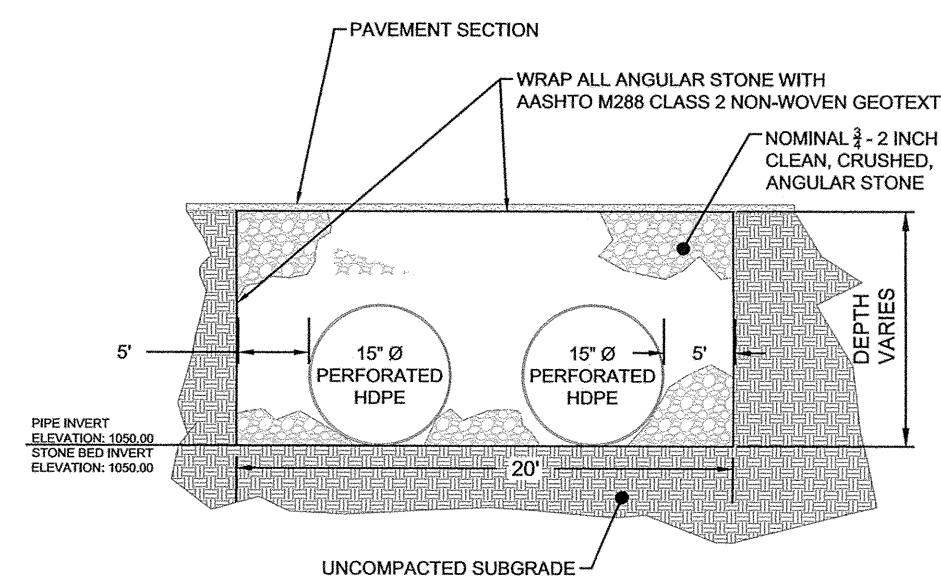
MINIMIZE TOTAL DISTURBED AREA

SOME MAINTENANCE ACTIVITIES SUCH AS FREQUENT LAWN MOWING CAN CAUSE CONSIDERABLE SOIL COMPACTION AFTER CONSTRUCTION AND SHOULD BE AVOIDED WHEREVER POSSIBLE. PLANTING LOW MAINTENANCE, NATIVE VEGETATION IS THE BEST WAY TO AVOID DAMAGE DUE TO MAINTENANCE.

| | |
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| 02 | POST-CONSTRUCTION STORMWATER MANAGEMENT OPERATIONS AND MAINTENANCE FOR BMPS |
| C710 | |



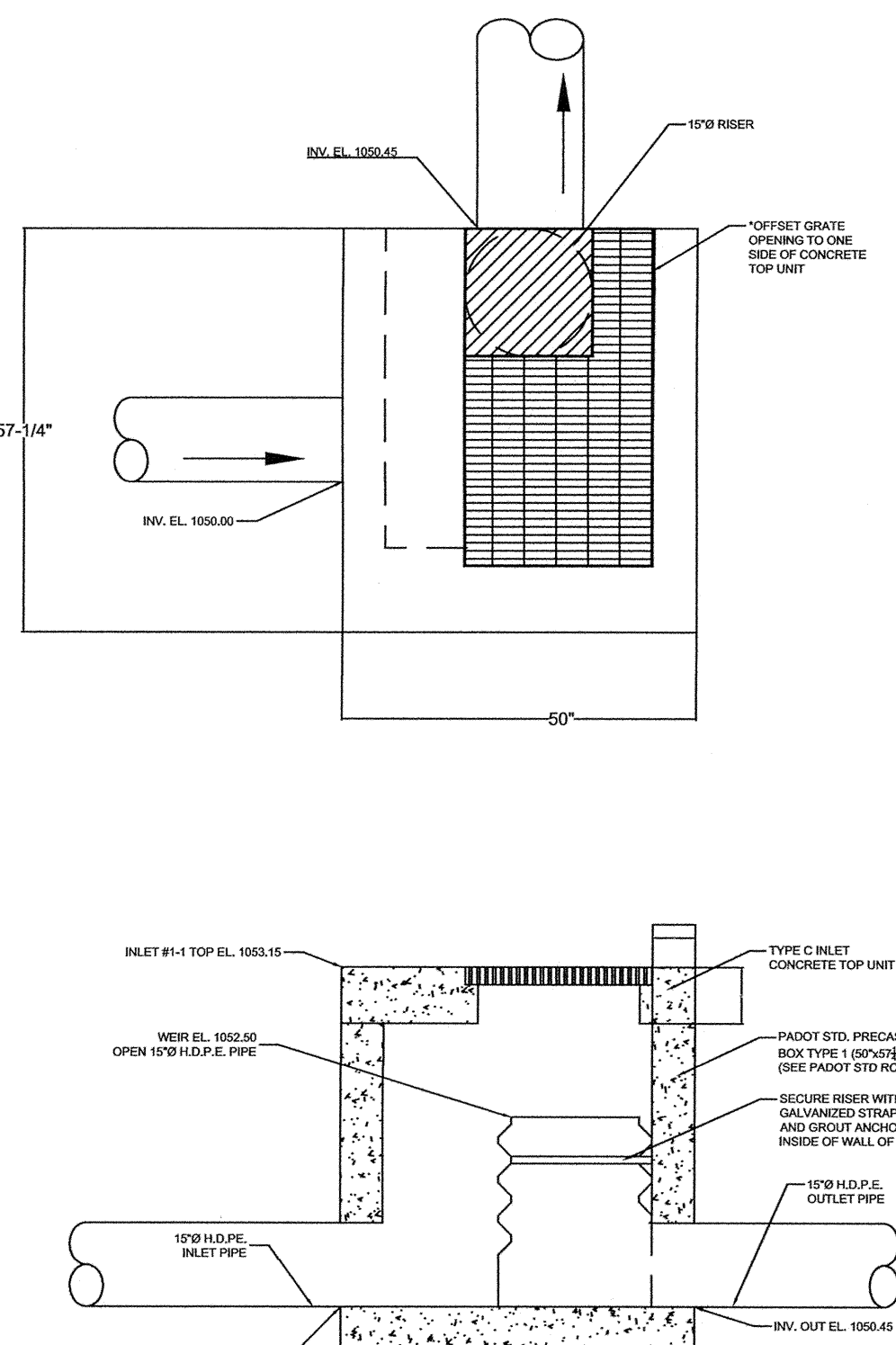
| | |
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| 06 | UNDERGROUND STORAGE SYSTEM |
| C710 | |



NOTES:

1. ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND OBSTRUCTIONS, EROSION, ETC.) ARE IDENTIFIED.
2. ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S INSTALLATION GUIDELINES.
3. MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL, WHEN REQUIRED. SEE ASTM D2321.
4. FILTER FABRIC, A GEOTEXTILE FABRIC MAY BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.
5. FOUNDATION, WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
6. BEDDING, SUITABLE MATERIAL SHALL BE CLASS I OR II. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE: 4" (100mm) FOR 4" (100mm) DIA. PERFORATED PIPE; 6" (150mm) FOR 6" (150mm) DIA. PERFORATED PIPE; 8" (200mm) FOR 8" (200mm) DIA. PERFORATED PIPE; 10" (250mm) FOR 10" (250mm) DIA. PERFORATED PIPE.
7. RETAIL BACKFILL, SUITABLE MATERIAL SHALL BE CLASS I OR II IN THE PIPE ZONE EXTENDING NOT LESS THAN 6' ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE RETALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
8. MINIMUM COVER, MINIMUM COVER OVER ALL RETENTION/DETENTION SYSTEMS IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM TOP OF PIPE TO SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER IS 12" UP TO 36" DIAMETER PIPE AND 24" OF COVER FOR 42" - 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

| | |
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| 07 | SECTION OF UNDERGROUND VOLUME STORAGE SYSTEM |
| C710 | |



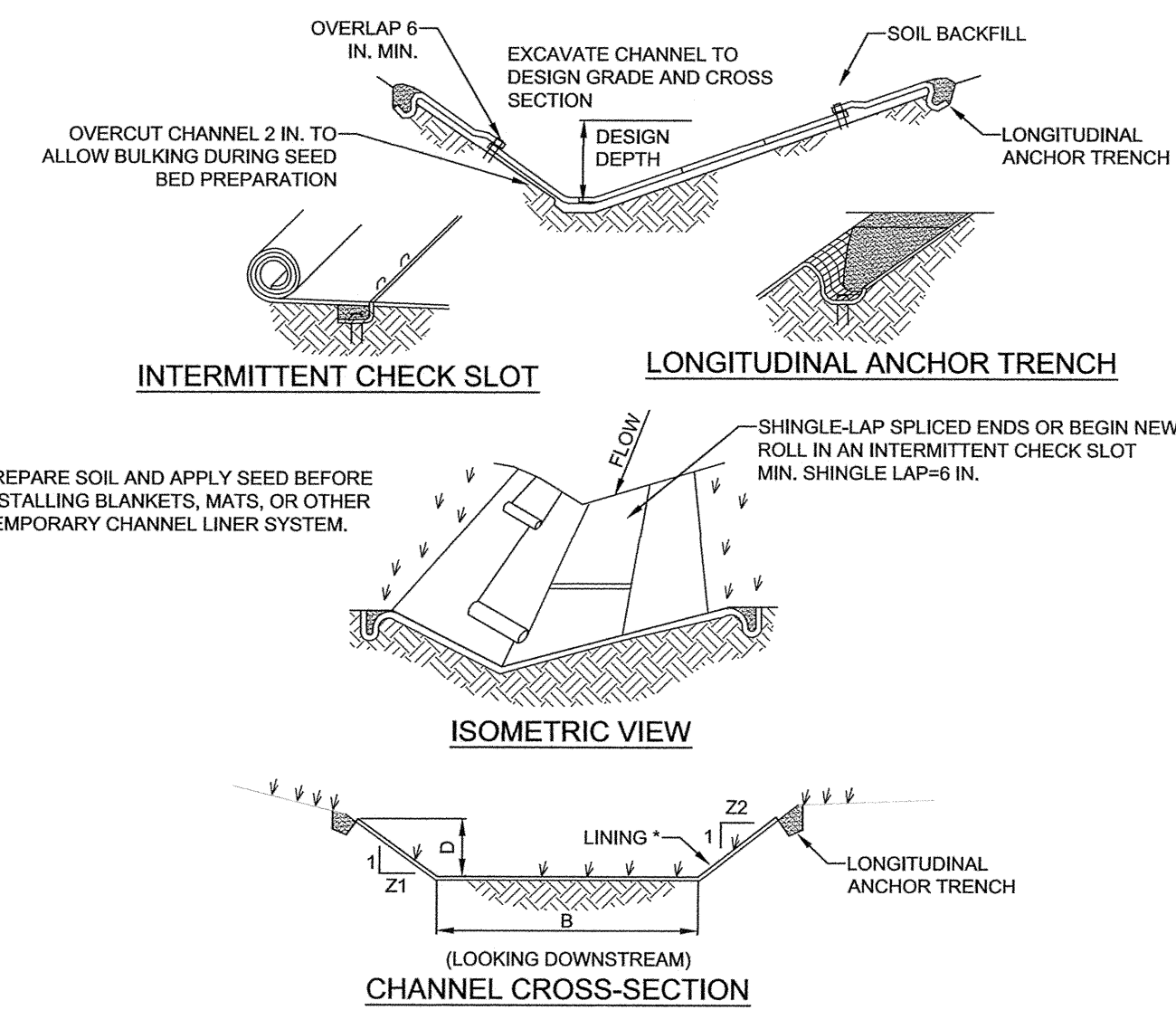
| | |
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| 08 | TOP VIEW AND SECTION OF INLET #1-1 |
| C710 | |

POST-CONSTRUCTION RECYCLING / DISPOSAL OF WASTE

UPON COMPLETION OF THE PROJECT, RECYCLING OR DISPOSAL OF ALL WASTE MATERIALS SHALL BE THE RESPONSIBILITY OF THE OWNER. POST-CONSTRUCTION WASTE INCLUDES, BUT IS NOT LIMITED TO, TRASH, SOLID WASTE, SOILS, SAND, ORGANIC MATERIALS, AND AGRICULTURAL WASTE OF ANY KIND.

POST-CONSTRUCTION WASTE MATERIALS SHALL BE DISPOSED ACCORDING TO CURRENT REGULATIONS.

| | |
|------|--------------------------------|
| 09 | RECYCLING / DISPOSAL OF WASTES |
| C710 | |



* SEE MANUFACTURER'S LINING INSTALLATION DETAIL FOR STAPLE PATTERNS, VEGETATIVE STABILIZATION FOR SOIL AMENDMENTS, SEED MIXTURES AND MULCHING INFORMATION

| CHANNEL NO. | STATIONS | BOTTOM WIDTH B (FT) | DEPTH D (FT) | TOP WIDTH W (FT) | Z1 (FT) | Z2 (FT) | LINING * |
|----------------------|-------------|---------------------|--------------|------------------|---------|---------|----------|
| PERMANENT CHANNEL #1 | 0+00 - 1+00 | 0 | 1.0 | 17 | 3 | 17 | SC250 |

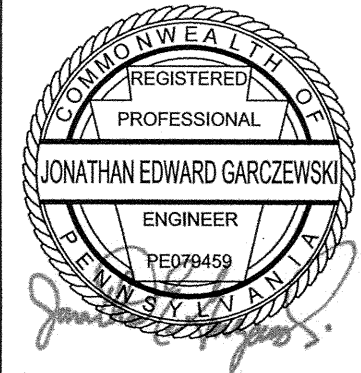
NOTES:

ANCHOR TRENCHES SHALL BE INSTALLED AT BEGINNING AND END OF CHANNEL IN THE SAME MANNER AS LONGITUDINAL ANCHOR TRENCHES.

CHANNEL DIMENSIONS SHALL BE CONSTANTLY MAINTAINED. CHANNEL SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 25% AT ANY LOCATION. SEDIMENT DEPOSITS SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS SOIL CONDITIONS PERMIT ACCESS TO CHANNEL WITHOUT FURTHER DAMAGE. DAMAGED LINING SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCOVERY.

NO MORE THAN ONE THIRD OF THE SHOOT (GRASS LEAF) SHALL BE REMOVED IN ANY MOWING. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED. EXCESS VEGETATION SHALL BE REMOVED FROM PERMANENT CHANNELS TO ENSURE SUFFICIENT CHANNEL CAPACITY.

| | |
|------|---|
| 10 | STANDARD CONSTRUCTION DETAIL #6-1 VEGETATED CHANNEL |
| C710 | |



REVISION RECORD

| No | Date | Description |
|----|------------|--|
| 01 | 2020-02-06 | REVISED PER TOWNSHIP LETTER DATED 2020-02-25 |
| 02 | 2020-06-02 | AS PER RESOLUTION SUBMISSION TO CRANBERRY TOWNSHIP |
| 03 | | |
| 04 | | |
| 05 | | |
| 06 | | |
| 07 | | |
| 08 | | |

CRANBERRY HILL PARTNERS WAREHOUSE ADDITION

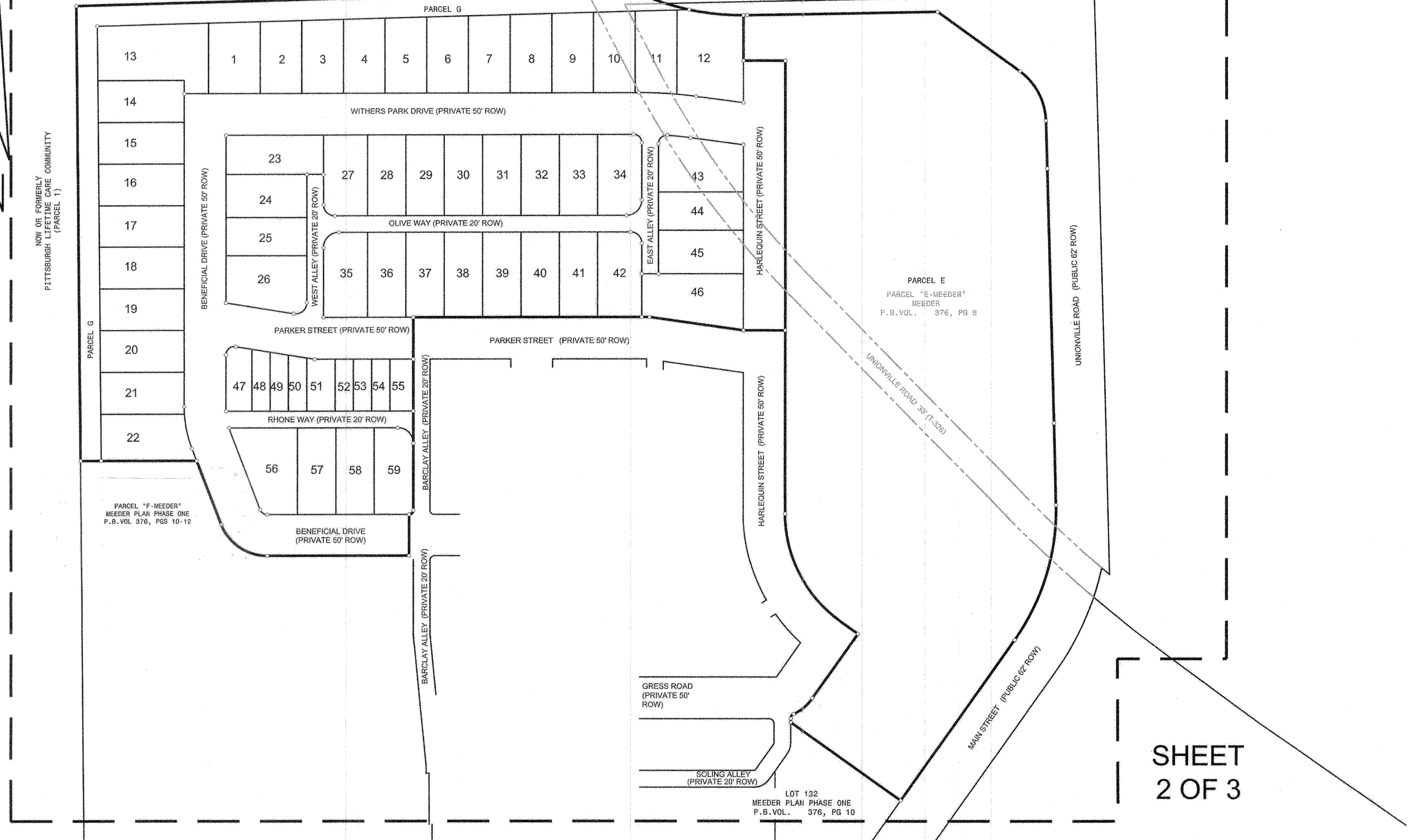
THORN HILL ROAD - LOT #544
CRANBERRY TOWNSHIP, PA 15066
PREPARED FOR:
CRANBERRY HILL PARTNERS
26150 RICHMOND ROAD
BEDFORD HEIGHTS, OH 44146

Project Number: C-18397-0009
Drawing Scale: AS NOTED
Date Issued: 2020-02-04
Index Number:
Drawn By: VJRIES
Checked By: JEG
Project Manager: JEG

NOW OR FORMERLY
ALCOA COMMERCIAL WINDOWS, LLC
INSTRUMENT NO. 201008020016925

OGLEVIEW ROAD T-305 (UNIONVILLE ROAD)
EXISTING PUBLIC ROADWAY

Instr: 202010220023783
Pg: 4 of 4: 8:58:59 10/22/2020 12:57 PM
Michele Mustello
Butler County Recorder PA 170200017046



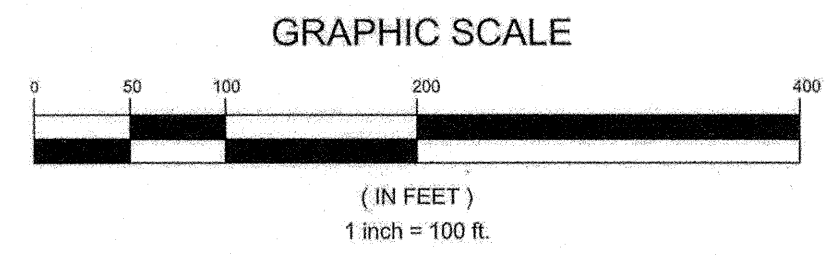
SHEET
2 OF 3

- LEGEND
- - - - - PROPERTY/ROW LINE
 - - - - - EASEMENT LINES
 - - - - - SETBACK LINES
 - PROPERTY CORNER
 - RIGHT OF WAY
 - R RADIUS
 - A ARC LENGTH
 - TYP TYPICAL

NOTES:

1. REFER TO SHEET 3 FOR UTILITY EASEMENTS LOCATED WITHIN PRIVATE PROPERTY OR RIGHT OF WAYS.
2. PROPOSED LOTS 1-59 LIE WITHIN THE PREVIOUS PARCEL "E-MEEDER" DEFINED IN "MEEDER P.B.VOL. 376 PG 8". THIS INFORMATION IS NOT SHOWN ON THE PLAN FOR CLARITY.
3. ALL FRONT, SIDE, AND REAR YARD SETBACKS ARE LOCATED 6' FROM THE PROPERTY LINE UNLESS OTHERWISE NOTED ON PLANS.
4. THE SUBJECT PROPERTY LIES IN AREA ZONE X, AREA OF MINIMAL FLOOD-HAZARD, & ZONE AE WHICH ARE AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 0.1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE / FUTURE CONDITIONS 1% ANNUAL CHANCE FLOOD HAZARD AS DEPICTED ON FLOOD INSURANCE RATE MAP NUMBER 42019C0503D, MAP REVISED AUGUST 2, 2018.
5. ALL STORM SEWERS DEPICTED IN THE PUBLIC RIGHT-OF-WAYS DEPICTED IN THIS PLAN SHALL BE OWNED AND MAINTAINED BY CRANBERRY TOWNSHIP. ALL STORM SEWERS WITHIN THE "PUBLIC UTILITY EASEMENTS" AND UNDER PRIVATE STREETS AND ALLEYS DEPICTED IN THIS PLAN SHALL BE OWNED AND MAINTAINED BY THE MEEDER NEIGHBORHOOD ASSOCIATION. NO STORM SEWERS SHALL BE RE-LOCATED ANYWHERE IN THIS PLAN WITHOUT PRIOR APPROVAL OF CRANBERRY TOWNSHIP.
6. ALL SANITARY EASEMENTS DEPICTED ON THIS PLAN SHALL BE GRANTED AT THE BENEFIT OF THE CRANBERRY TOWNSHIP SEWER AUTHORITY.
7. ALL WATERLINE EASEMENTS DEPICTED ON THIS PLAN SHALL BE GRANTED AT THE BENEFIT OF THE CRANBERRY TOWNSHIP WATER AUTHORITY.
8. PUBLIC ACCESS IS HEREBY GRANTED OVER THE PRIVATE RIGHT OF WAYS ON THIS PLAN.

OWNER:
ROCHESTER ROAD INVESTMENT CO.
1190 DILLERVILLE ROAD
LANCASTER, PA 17601
PHONE: 717-560-1400



| Lot | Area (Sq Ft) | Area (ac) |
|-------|--------------|-----------|
| 1 | 5,254 | 0.121 |
| 2 | 4,308 | 0.099 |
| 3 | 4,372 | 0.100 |
| 4 | 4,436 | 0.102 |
| 5 | 4,500 | 0.103 |
| 6 | 4,564 | 0.105 |
| 7 | 4,627 | 0.106 |
| 8 | 4,691 | 0.108 |
| 9 | 4,754 | 0.109 |
| 10 | 4,819 | 0.111 |
| 11 | 4,912 | 0.113 |
| 12 | 8,117 | 0.186 |
| 13 | 9,337 | 0.214 |
| 14 | 5,189 | 0.119 |
| 15 | 5,166 | 0.119 |
| 16 | 5,143 | 0.118 |
| 17 | 5,120 | 0.118 |
| 18 | 5,097 | 0.117 |
| 19 | 5,074 | 0.116 |
| 20 | 5,051 | 0.116 |
| 21 | 5,028 | 0.115 |
| 22 | 5,936 | 0.136 |
| 23 | 5,499 | 0.126 |
| 24 | 5,044 | 0.116 |
| 25 | 4,462 | 0.102 |
| 26 | 6,170 | 0.142 |
| 27 | 5,102 | 0.117 |
| 28 | 4,462 | 0.102 |
| 29 | 4,462 | 0.102 |
| 30 | 4,462 | 0.102 |
| 31 | 4,462 | 0.102 |
| 32 | 4,462 | 0.102 |
| 33 | 4,462 | 0.102 |
| 34 | 5,046 | 0.116 |
| 35 | 5,332 | 0.122 |
| 36 | 4,692 | 0.108 |
| 37 | 4,692 | 0.108 |
| 38 | 4,692 | 0.108 |
| 39 | 4,692 | 0.108 |
| 40 | 4,692 | 0.108 |
| 41 | 4,692 | 0.108 |
| 42 | 5,367 | 0.123 |
| 43 | 6,393 | 0.147 |
| 44 | 4,684 | 0.108 |
| 45 | 5,295 | 0.122 |
| 46 | 7,229 | 0.166 |
| 47 | 2,338 | 0.054 |
| 48 | 1,588 | 0.036 |
| 49 | 1,512 | 0.035 |
| 50 | 1,435 | 0.033 |
| 51 | 2,115 | 0.049 |
| 52 | 1,364 | 0.031 |
| 53 | 1,364 | 0.031 |
| 54 | 1,364 | 0.031 |
| 55 | 1,736 | 0.040 |
| 56 | 6,505 | 0.149 |
| 57 | 4,784 | 0.110 |
| 58 | 4,784 | 0.110 |
| 59 | 4,808 | 0.110 |
| TOTAL | 271,739 | 6.238 |

LLC OWNERS ADOPTION

CRANBERRY MEEDER PARTNERS, LLC, A LIMITED LIABILITY COMPANY FORMED IN PENNSYLVANIA OWNER OF THE LAND SHOWN ON THE MEEDER PLAN PHASE 7, 10, & 11 HEREBY ADOPTS THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO CRANBERRY TOWNSHIP. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE COMPANY AND ITS SUCCESSORS AND ASSIGNS.

IN WITNESS OF WHICH, TO THIS I SET MY HAND AND SEAL THIS 20 DAY OF September 2020

ATTEST: [Signature] CRANBERRY MEEDER PARTNERS, LLC.
NOTARY PUBLIC PRINTED NAME OF SIGNATORY
Michele Mustello Mgr. PARTNER

ACKNOWLEDGMENT

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER PERSONALLY APPEARED, MICHELE MUSTELLO, THE ABOVE NAMED REPRESENTATIVE OF CRANBERRY MEEDER PARTNERS, LLC, AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE THE ACT OF THE CORPORATION.

WITNESS MY HAND AND NOTARIAL SEAL THIS 20 DAY OF September 2020

MY COMMISSION EXPIRES THE 2 DAY OF December 2022

CERTIFICATION OF TITLE (NO MORTGAGE)

I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE MEEDER PLAN PHASE 7, 10, & 11 IS IN THE NAME OF CRANBERRY MEEDER PARTNERS, LLC, AND IS RECORDED IN INSTRUMENT NO. 201909102014051. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN, OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

[Signatures of witnesses and owner]
WITNESS OWNER
Michele Mustello Mgr. PARTNER

SURVEYOR'S CERTIFICATION

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

DATE: 10-7-20
PATRICK T. COOPER, P.L.S.
REG. NO. SJ-040392-E

OWNER STORMWATER MANAGEMENT CERTIFICATION

IT SHALL BE UNLAWFUL TO ALTER OR REMOVE ANY PERMANENT STORMWATER BMP REQUIRED BY AN APPROVED STORMWATER MANAGEMENT PLAN OR ALLOW THE PROPERTY TO REMAIN IN A CONDITION WHICH DOES NOT CONFORM TO AN APPROVED STORMWATER MANAGEMENT PLAN, UNLESS THE TOWNSHIP GRANTS AN EXCEPTION IN WRITING.

[Signature] DATE: 9/30/20

ENGINEERS STORMWATER MANAGEMENT CERTIFICATION

I, David M. Heath, HEREBY ACKNOWLEDGE THAT THE STORMWATER BMPs ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY THE TOWNSHIP.

[Signature] DATE: 9/30/20

10. THE FOLLOWING SIGNATURE BLOCK CERTIFIES THAT A REGISTERED PROFESSIONAL HAS PREPARED THE STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH TOWNSHIP DESIGN STANDARDS.

[Signature] DATE: 9/30/20

11. THE FOLLOWING SIGNATURE BLOCK CERTIFIES THAT THE TOWNSHIP ENGINEERS HAS REVIEWED THE STORMWATER MANAGEMENT PLAN.

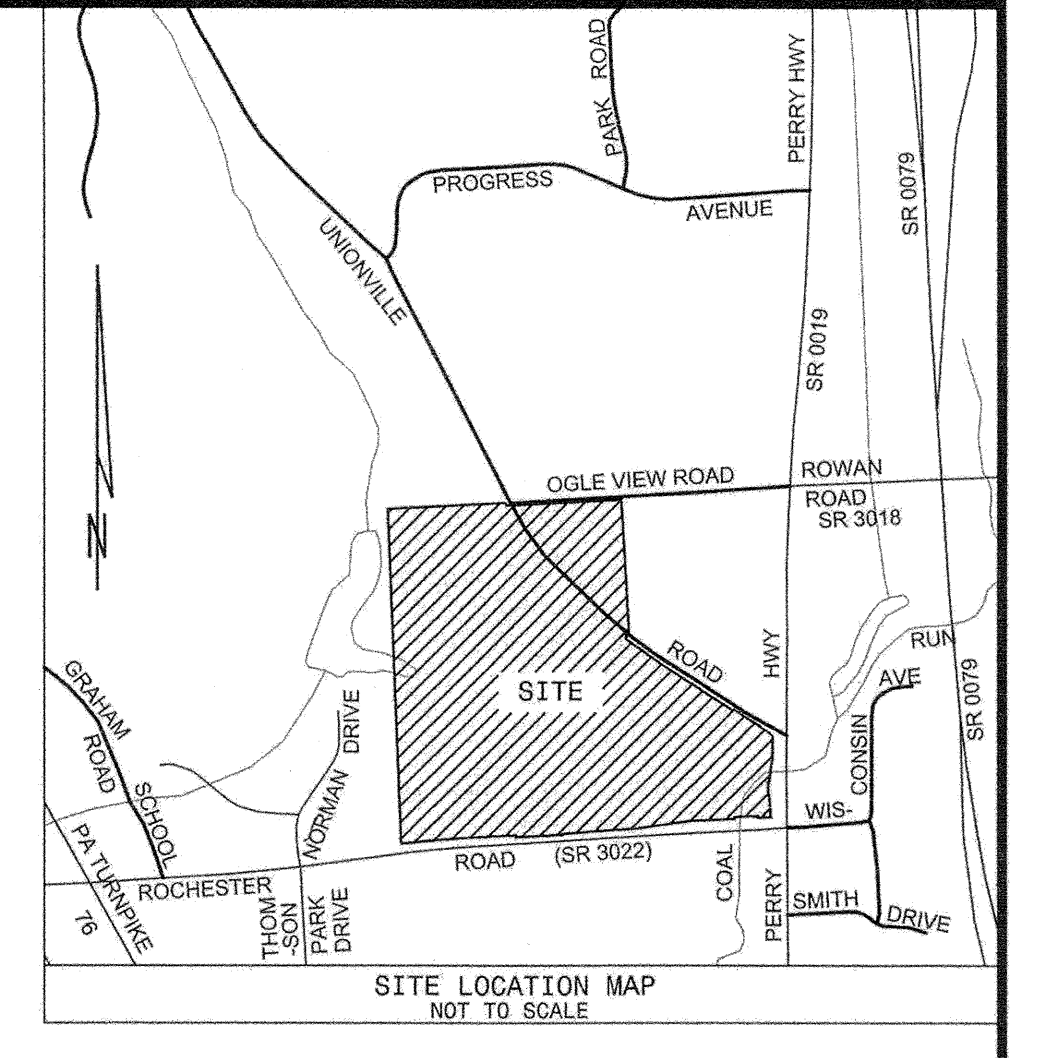
[Signature] DATE: 10/22/2020

It shall be unlawful to alter or remove any permanent stormwater BMP required by an approved stormwater management plan or allow the property to remain in a condition which does not conform to an approved stormwater management plan, unless the Township grants an exception in writing.

[Signature] DATE: 10/21/2020

| Lot | Area (Sq Ft) | Area (ac) |
|--|----------------|---------------|
| Previous Parcel "E-MEEDER" | 672,309 | 15.434 |
| Rescinded ROW Unionville/Main Street* | 2,559 | 0.059 |
| Total: | 674,868 | 15.493 |
| Parcel E | 257,725 | 5.917 |
| Parcel G | 30,440 | 0.699 |
| Proposed Lots 1-59 | 271,739 | 6.238 |
| ROW Dedication | 114,275 | 2.623 |
| ROW Dedication Unionville/Main Street* | 689 | 0.016 |
| Total: | 674,868 | 15.493 |

*NOTE: Right of way (2,559 Sq Ft) belonging to Mainstreet/Unionville road has been rescinded and added to Parcel E, Parcel G, Lot 11, and Lot 12. Right of way (689 Sq Ft) has also rededicated back to Mainstreet/Unionville Road along portions of parcel E.



I, P.E. HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE CRANBERRY TOWNSHIP STORMWATER ORDINANCE.

SIGNATURE DATE
MUNICIPAL DECLARATIONS

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY, HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF CRANBERRY HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

[Signature] RICHARD M. HEDLEY
CHAIRMAN, BOARD OF SUPERVISORS

THE TOWNSHIP OF CRANBERRY AGREES NOT TO ISSUE BUILDING PERMITS UNTIL THE "PLANNING MODULE FOR LAND DEVELOPMENT" HAS BEEN APPROVED IN ACCORDANCE WITH THE REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

[Signature] DATE: 10-22-2020
MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY BY ORDINANCE RESOLUTION 2020-21 ON THE 21 DAY OF October, 2020.

[Signature] RICHARD M. HEDLEY
CHAIRMAN, BOARD OF SUPERVISORS

CRANBERRY ANDREE TOWNSHIP MANAGER FOR THE TOWNSHIP OF CRANBERRY, CERTIFY THAT THE CONDITIONS FOR FINAL APPROVAL OUTLINED IN RESOLUTION NO. 2020-21 HAVE BEEN MET IN ACCORDANCE WITH SECTIONS 22-305 AND 22-307 OF THE TOWNSHIP OF CRANBERRY CODE OF ORDINANCES.

[Signature] DATE: 10/22/20
TOWNSHIP ENGINEER

[Signature] DATE: 10/22/20
TOWNSHIP ENGINEER
REG. NO. 21-07720

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 19 DAY OF April, 2020

[Signature] SECRETARY BC Pla # 20079 [Signature] CHAIRMAN, BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 388, PAGE(S) 35-38

GIVEN UNDER MY HAND AND SEAL, THIS 22 DAY OF October, 2020
[Signature] MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

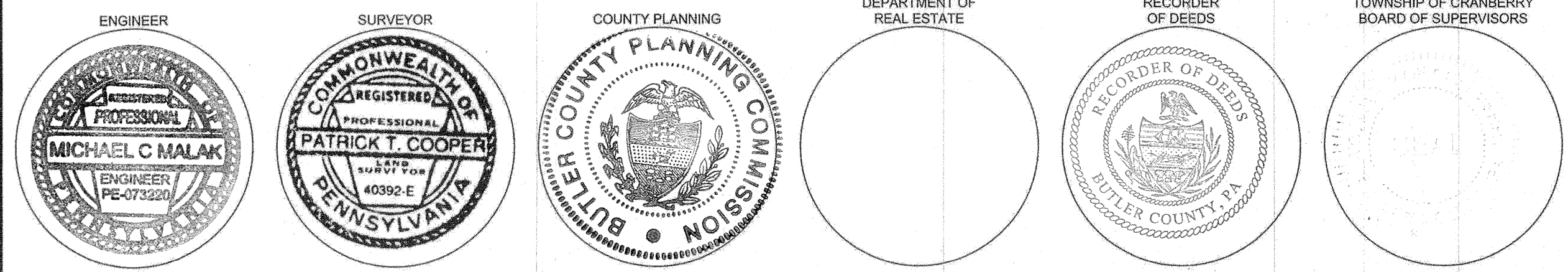
TOTAL PLAN AREA: 674,094 SQ. FT OR 15.475 ACRES

GATEWAY
The Gateway Engineers, Inc.
Full-Service Civil Engineering & Surveying
100 McMorris Road, Pittsburgh, PA 15205
gatewayengineers.com 855-634-9284

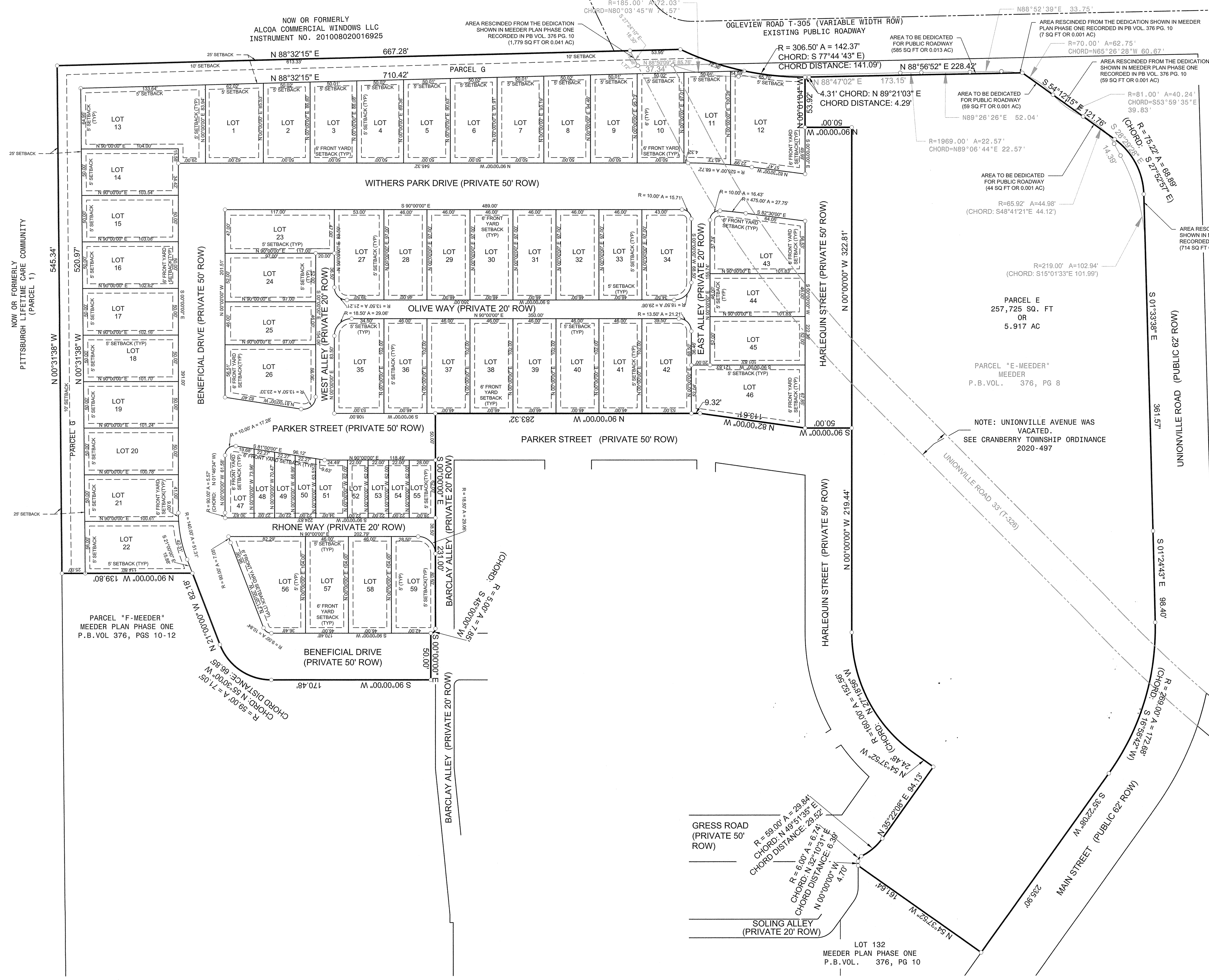
MEEDER PLAN PHASE 7, 10, & 11
BEING A SUBDIVISION OF PARCEL "E-MEEDER", AS RECORDED IN P.B.V. 376, PG 8, AND PORTIONS OF UNIONVILLE MAIN STREET RIGHT OF WAY, AS RECORDED IN P.B.V. 376 PG. 10
SITUATE IN
**CRANBERRY TOWNSHIP
BUTLER COUNTY, PA**
MADE FOR
CRANBERRY MEEDER PARTNERS, LLC.

| PLAN BOOK | PAGE |
|------------|-----------|
| 388 | 35 |

File: C:\Projects\1800018807 Coventry Town Center\048 Phase 5-11 Plat Plan\Drawings\Sheet\01 Plat Plan VSD.dwg
 Plot Date: 10/22/2020 12:11 PM Nicholas Fowler
 15.03



P:\m\ & Filenames\GIS\Projects\1800018807\County_Town_Center\0406 Phase 5-11 Plat Plans\02-Sheet\101 Plat Plans_VSD.dwg
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 15.03



LEGEND

| | |
|--|--------------------------|
| | RIGHT-OF-WAY DEDICATIONS |
|--|--------------------------|

- NOTES:**
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| PLAN BOOK | PAGE |
|------------|-----------|
| 388 | 36 |

LEGEND

- PROPERTY/ROW LINE
- EASEMENT LINES
- SETBACK LINES
- PROPERTY CORNER
- RIGHT OF WAY
- RADIUS
- ARC LENGTH
- TYPICAL

GRAPHIC SCALE

0 25 50 100 150 200
 (IN FEET)
 1 inch = 50 ft.

GATEWAY[®]

The Gateway Engineers, Inc.
 Full-Service Civil Engineering & Surveying
 100 McMorris Road, Pittsburgh, PA 15205
 gatewayengineers.com 855-634-9284

MEEDER PLAN PHASE 7, 10, & 11

BEING A SUBDIVISION OF PARCEL "E-MEEDER", AS RECORDED IN P.B.V. 376, PG. 8, AND PORTIONS OF UNIONVILLE MAIN STREET RIGHT OF WAY, AS RECORDED IN P.B.V. 376 PG. 10

SITUATE IN
CRANBERRY TOWNSHIP
BUTLER COUNTY, PA

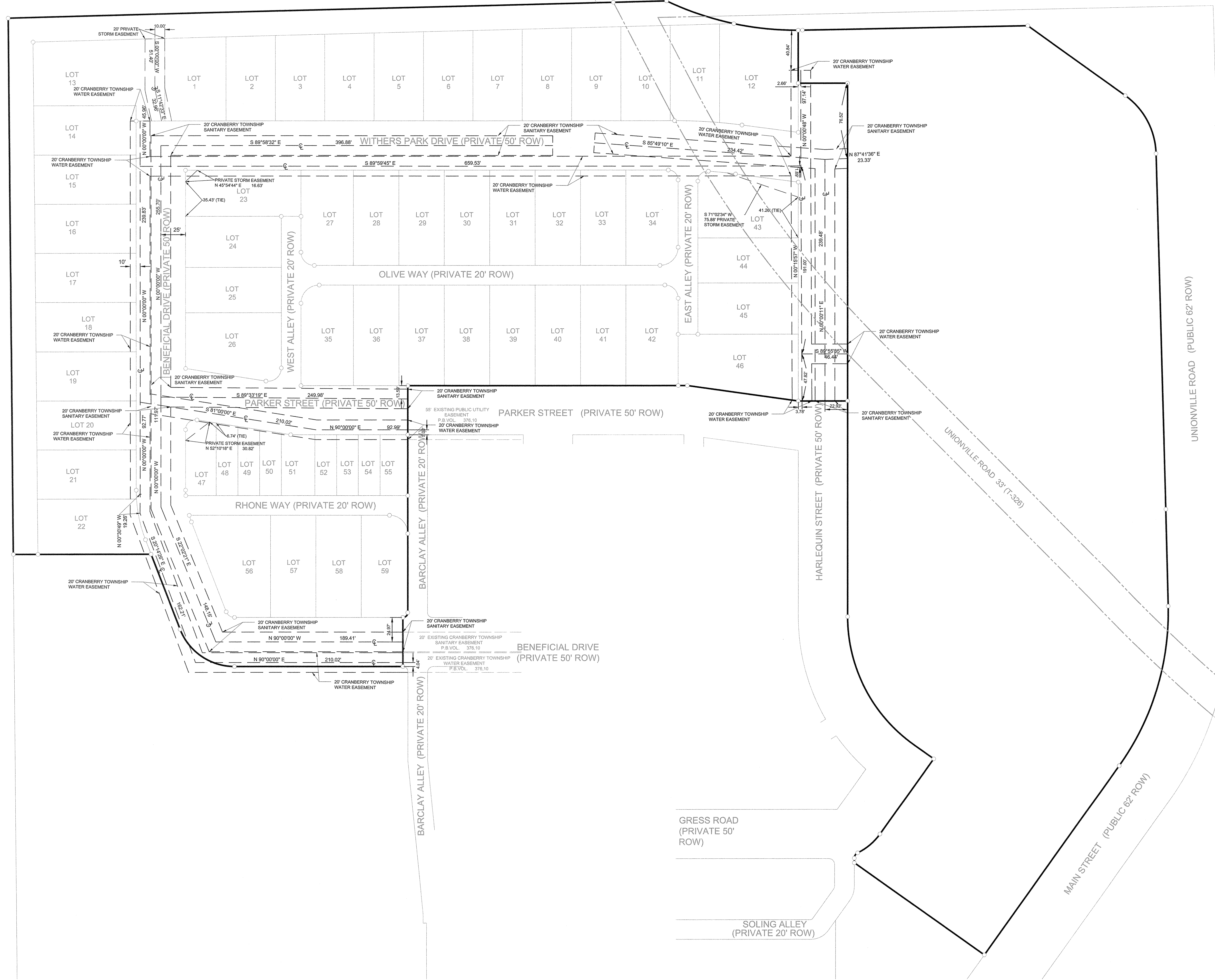
MADE FOR
CRANBERRY MEEDER PARTNERS, LLC.

| | | |
|---------------------------------|---------------------------------|---------------|
| Date: <u>SEPTEMBER 23, 2020</u> | Job Number: <u>C-18807-0046</u> | SHEET: 2 OF 3 |
| PM: DMH | DB: AMJ | CR: KPH |
| SCALE: 1" = 50' | | |

NOW OR FORMERLY
ALCOA COMMERCIAL WINDOWS LLC
INSTRUMENT NO. 201008020016925

OGLEVIEW ROAD T-305 (VARIABLE WIDTH ROW)
EXISTING PUBLIC ROADWAY

NOW OR FORMERLY
PITTSBURGH LIFETIME CARE COMMUNITY
(PARCEL 1)



THE PURPOSE OF THIS SHEET IS TO
DEPICT UTILITY EASEMENTS LOCATED
WITHIN PRIVATE PROPERTY OR RIGHT
OF WAY

- NOTES:
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 Save Date: 10/17/2020 1:03 PM


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|------------|-----------|
| PLAN BOOK | PAGE |
| 388 | 37 |

LEGEND

- PROPERTY/ROW LINE
- - - EASEMENT LINES
- SETBACK LINES
- PROPERTY CORNER
- ROW - RIGHT OF WAY
- R - RADIUS
- A - ARC LENGTH
- TYP - TYPICAL

GRAPHIC SCALE

0 25 50 100 200
(IN FEET)
1 inch = 50 ft.



GATEWAY[®]

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MEEDER PLAN PHASE 7, 10, & 11

BEING A SUBDIVISION OF PARCEL "E-MEEDER", AS RECORDED IN P.B.V. 376, PG. 8,
AND PORTIONS OF UNIONVILLE MAIN STREET RIGHT OF WAY, AS RECORDED IN P.B.V. 376 PG. 10

SITUATE IN
**CRANBERRY TOWNSHIP
BUTLER COUNTY, PA**

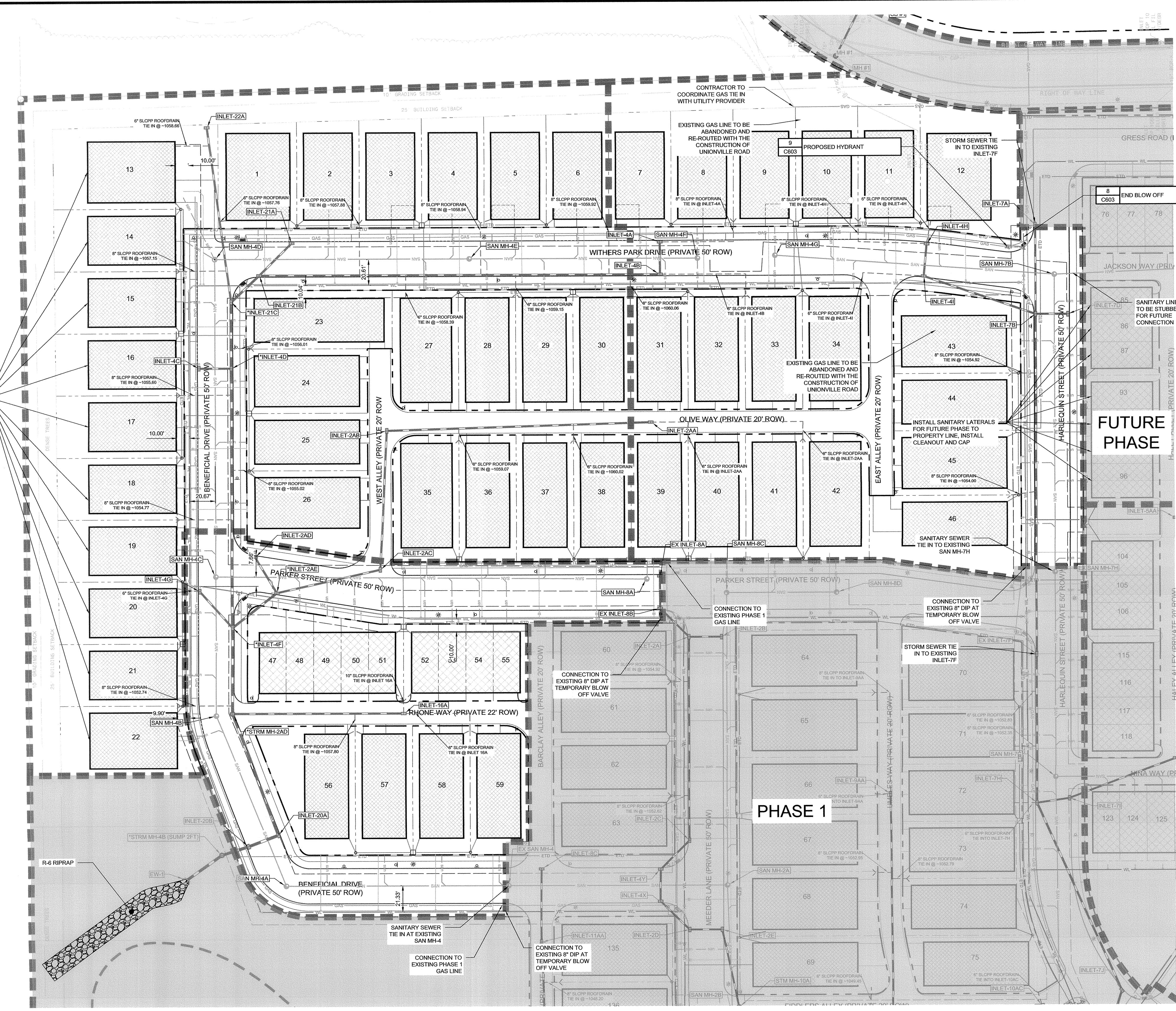
MADE FOR
CRANBERRY MEEDER PARTNERS, LLC.

PM: DMH DB: AMU CB: KPH

SCALE: 1" = 50'

Date: **SEPTEMBER 29, 2020**
Job Number: **C-18807-0046**
Dwg No: **403.967** SHEET: 3 OF 3

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 Save Date: 01/19/2020 6:38 PM
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UTILITY LEGEND

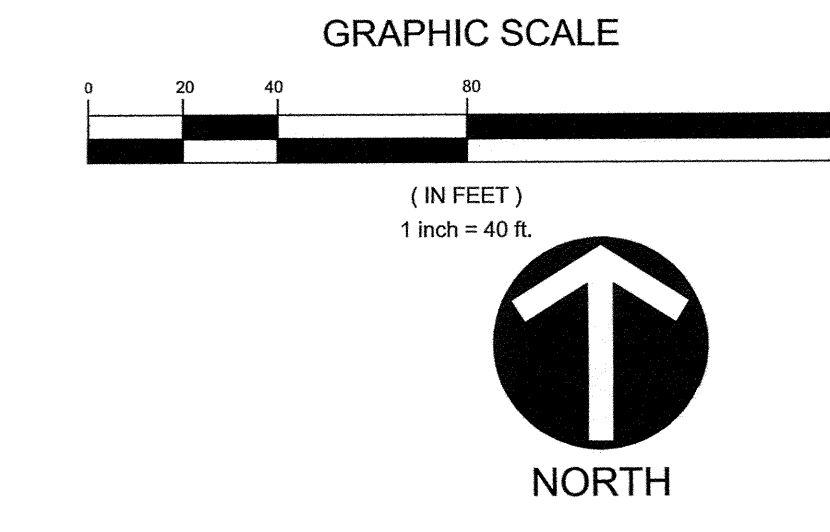
| | | |
|--|---------------------|--|
| | VARIABLES C605-8 | PROPOSED ALLEY AND PARKING LOT BITUMINOUS PAVING |
| | VARIABLES C605-8 | PROPOSED MASONRY PAVERS OR STAMPED CONCRETE |
| | SAN | PROPOSED STORM LINE |
| | SAN | PROPOSED SANITARY LINE |
| | | PROPOSED 1 PHASE LOOP ELECTRIC CONDUIT |
| | | PROPOSED TRANSFORMER |
| | | PROPOSED PEDESTAL |
| | | PROPOSED GAS LINE |
| | | PROPOSED SANITARY LATERAL CONNECTION |
| | | PROPOSED ROOF DRAINS |
| | | UTILITY EASEMENT |
| | | PROPOSED WATER LINE |
| | | PROPOSED WATER LATERAL CONNECTION |
| | | PROPOSED WATER VALVE |
| | 9 C603 | PROPOSED HYDRANT |
| | 8 C603 | END BLOW OFF |

UTILITY ABBREVIATIONS

| | |
|-----|------------------|
| STM | STORM |
| SAN | SANITARY |
| MH | MANHOLE |
| OS | OUTLET STRUCTURE |
| CO | CLEANOUT |
| RD | ROOF DRAIN |
| HW | HEADWALL |
| EW | ENDWALL |

UTILITY PLAN NOTES:

- THE WATERLINE SHALL HAVE A MINIMUM OF 48" OF COVER AND HAVE AT LEAST 18" OF VERTICAL SEPARATION AND 10" HORIZONTAL SEPARATION FROM OTHER UTILITIES, UNLESS OTHERWISE NOTED ON THESE PLANS. REFER TO WATER PLAN PROFILES FOR DETAILS OF WATERLINE CONSTRUCTION.
 - ALL ROOF DRAINS ARE TO BE 6" SLOPPY AT A MINIMUM 2% SLOPE UNLESS OTHERWISE NOTED.
 - GAS LINES SHOWN ON PLAN ARE PRELIMINARY AND SUBJECT TO DESIGN REVISIONS BY PROVIDERS ONCE SELECTED.
 - ELECTRIC, TELEPHONE, AND DATA SERVICE SHOWN ON PLAN ARE PRELIMINARY AND SUBJECT TO DESIGN REVISIONS BY INDIVIDUAL PROVIDERS ONCE SELECTED.
 - ALL SANITARY SEWER LATERALS ARE ASSUMED TO BE AS SHOWN ON TOWNSHIP DETAIL SW-29 (TYPE I) UNLESS OTHERWISE NOTED.
 - REFER TO SANITARY PROFILES ON SHEETS C410-C411 FOR ALL SANITARY SEWER LATERAL INFORMATION.
 - ALL SANITARY SEWER LATERALS HAVE CLEANOUTS AT RIGHT-OF-WAY LINE. REFER TO DETAIL 7C411 FOR CONNECTION TO BUILDINGS.
 - ALL TRANSFORMERS AND PEDESTALS TO BE MOVED TO PROPERTY LINEBACK OF SIDEWALK.
 - FOR ELEVATION INFORMATION, PIPE TYPE, SLOPES, AND CROSSING INFORMATION, REFER TO SANITARY, STORM, AND WATER PROFILES SHEETS C400-C409.
 - ELECTRIC LINE DESIGN PER PENNPOWER DRAWING DATED NOVEMBER 26, 2018.
 - GAS LINE DESIGN PER PEOPLES NATURAL GAS DRAWING DATED MARCH 16, 2020, PEOPLES NATURAL GAS TO PROVIDE SIZING AND DETAILS.
 - CONTRACTOR TO SIZE STORM STRUCTURE APPROPRIATELY PRIOR TO INSTALLATION.
- EASEMENT NOTES:**
- THE SUBJECT PROPERTY LIES IN AREA ZONE X, AREA OF MINIMAL FLOOD HAZARD, & ZONE AE WHICH ARE AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 0.1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE / FUTURE CONDITIONS 1% ANNUAL CHANCE FLOOD HAZARD AS DEPICTED ON FLOOD INSURANCE RATE MAP NUMBER 42019C05030, MAP REVISED AUGUST 2, 2018.
 - ALL STORM SEWERS DEPICTED IN THE PUBLIC RIGHT-OF-WAYS DEPICTED IN THIS PLAN SHALL BE OWNED AND MAINTAINED BY CRANBERRY TOWNSHIP. ALL STORM SEWERS WITHIN THE "PUBLIC UTILITY EASEMENTS" AND UNDER PRIVATE STREETS AND ALLEYS DEPICTED IN THIS PLAN SHALL BE OWNED AND MAINTAINED BY THE MEEDER NEIGHBORHOOD ASSOCIATION. NO STORM SEWERS SHALL BE RELOCATED ANYWHERE IN THIS PLAN WITHOUT PRIOR APPROVAL OF CRANBERRY TOWNSHIP.
 - ALL SANITARY EASEMENTS DEPICTED ON THIS PLAN SHALL BE GRANTED AT THE BENEFIT OF CRANBERRY TOWNSHIP.
 - ALL WATERLINE EASEMENTS DEPICTED ON THIS PLAN SHALL BE GRANTED AT THE BENEFIT OF CRANBERRY TOWNSHIP.
 - PUBLIC ACCESS IS HEREBY GRANTED OVER THE PRIVATE RIGHT OF WAYS ON THIS PLAN.



| PROFILE REFERENCE | |
|-------------------|------------|
| STORM | SHEET C400 |
| SANITARY | SHEET C410 |

| | |
|------------|-----------|
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The Gateway Engineers, Inc.
Full-Service Civil Engineering & Surveying
Pittsburgh, PA
gatewayengineers.com

| REVISION RECORD | No. | Date | Description |
|-----------------|-----|------------|--------------------------|
| 2020-04-09 | 01 | 2020-04-09 | CRANBERRY TWP REVISIONS |
| 2020-06-08 | 02 | 2020-06-08 | CRANBERRY TWP REVISIONS |
| 2020-06-30 | 03 | 2020-06-30 | CRANBERRY TWP SUBMISSION |
| | 04 | | |
| | 05 | | |
| | 06 | | |
| | 07 | | |
| | 08 | | |

MEEDER
Cranberry Township/Pittsburgh, PA

MEEDER PHASES 7, 10, & 11
ROCHESTER ROAD
CRANBERRY TOWNSHIP, PA 15066
PREPARED FOR:
ROCHESTER ROAD INVESTMENT CO.
1190 DILLERVILLE ROAD
LANCASTER, PA 17601

UTILITY PLAN

Project Number: C-18807-0044
Drawing Scale: 1" = 40'
Date Issued: MAR 2020
Index Number: -
Drawn By: -
Checked By: JMS/JMG
Project Manager: DMH

811
Know what's below.
Call before you dig.
Serial No. 20200510611

C301

PRELIMINARY/ FINAL LAND DEVELOPMENT PLAN FOR SENECA VALLEY SCHOOL DISTRICT K-6 SCHOOL CRANBERRY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA JULY 2020 AS PER RESOLUTION SET

Instr: 202010220023784
Pg: 6 of 3248-00
Michael Mustello
Butler County Recorder PA

| Sheet List Table | | |
|------------------|-------------------|---|
| Sheet Number | Sheet Description | Sheet Title |
| COVER | | |
| 01 | C0110 | OVERALL EXISTING CONDITIONS PLAN |
| 02 | C0111 | EXISTING CONDITIONS PLAN |
| 03 | C0112 | EXISTING CONDITIONS PLAN |
| 04 | C0113 | EXISTING CONDITIONS PLAN |
| 05 | C0114 | EXISTING CONDITIONS PLAN |
| 06 | C0120 | OVERALL DEMOLITION PLAN |
| 07 | C0121 | DEMOLITION PLAN |
| 08 | C0122 | DEMOLITION PLAN |
| 09 | C0123 | DEMOLITION PLAN |
| 10 | C0130 | OVERALL SITE LAYOUT PLAN |
| 11 | C0131 | SITE LAYOUT PLAN |
| 12 | C0132 | SITE LAYOUT PLAN |
| 13 | C0133 | SITE LAYOUT PLAN |
| 14 | C0134 | SITE LAYOUT PLAN |
| 15 | C0135 | SIGNING AND PAVEMENT MARKING PLAN |
| 16 | C0136 | SIGNING AND PAVEMENT MARKING PLAN |
| 17 | C0137 | FIRE TRUCK TURNING TEMPLATES |
| 18 | C0138 | SVSD SCHOOL BUS TURNING TEMPLATES |
| 19 | C0139 | TRUCK TURNING TEMPLATES |
| 20 | C0140 | OVERALL UTILITY PLAN |
| 21 | C0141 | UTILITY PLAN |
| 22 | C0142 | UTILITY PLAN |
| 23 | C0143 | UTILITY PLAN |
| 24 | C0150 | OVERALL GRADING & DRAINAGE PLAN |
| 25 | C0151 | GRADING & DRAINAGE PLAN |
| 26 | C0152 | GRADING & DRAINAGE PLAN |
| 27 | C0153 | GRADING & DRAINAGE PLAN |
| 28 | C0154 | GRADING & DRAINAGE PLAN |
| 29 | C0154 | SITE STEEP SLOPE ANALYSIS SHEET |
| 30 | C0301 | STORM PROFILES |
| 31 | C0302 | STORM PROFILES |
| 32 | C0303 | STORM PROFILES |
| 33 | C0304 | SANITARY SEWER PROFILES |
| 34 | C0305 | WATERLINE PROFILES |
| 35 | C0306 | WATERLINE PROFILES |
| 36 | C0310 | DRIVEWAY PROFILE |
| 37 | C0311 | DRIVEWAY PROFILE |
| 38 | C0400 | MUNICIPAL DETAILS |
| 39 | C0401 | MUNICIPAL DETAILS |
| 40 | C0402 | SITE DETAILS |
| 41 | C0403 | SITE DETAILS |
| 42 | C0500 | OVERALL EROSION & SEDIMENT CONTROL PLAN |
| 43 | C0501 | EROSION & SEDIMENT CONTROL PLAN |
| 44 | C0502 | EROSION & SEDIMENT CONTROL PLAN |
| 45 | C0503 | EROSION & SEDIMENT CONTROL PLAN |
| 46 | C0504 | EROSION & SEDIMENT CONTROL PLAN |
| 47 | C0505 | EROSION & SEDIMENT CONTROL NOTES |
| 48 | C0506 | EROSION & SEDIMENT CONTROL NOTES |
| 49 | C0507 | EROSION & SEDIMENT CONTROL DETAILS |
| 50 | C0508 | EROSION & SEDIMENT CONTROL DETAILS |
| 51 | C0509 | EROSION & SEDIMENT CONTROL DETAILS |
| 52 | C0510 | EROSION & SEDIMENT CONTROL DETAILS |
| 53 | C0511 | EROSION & SEDIMENT CONTROL DETAILS |
| 54 | C0512 | OVERALL PCSM PLAN |
| 55 | C0513 | SITE PCSM PLAN |
| 56 | C0514 | SITE PCSM PLAN |
| 57 | C0515 | SITE PCSM PLAN |
| 58 | C0516 | SITE PCSM PLAN |
| 59 | C0517 | PCSM NOTES |
| 60 | C0518 | PCSM NOTES |
| 61 | C0519 | PCSM DETAILS |
| 62 | C0520 | PCSM DETAILS |
| 63 | C0521 | PCSM DETAILS |
| 64 | C0522 | PCSM DETAILS |
| 65 | C0200 | LARGE SCALE SITE LAYOUT PLAN |
| 66 | C0201 | LARGE SCALE SITE LAYOUT PLAN |
| 67 | C0202 | LARGE SCALE GRADING PLAN |
| 68 | C0203 | LARGE SCALE GRADING PLAN |

BOARD OF SUPERVISORS APPROVAL
APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY BY
ORDINANCE/RESOLUTION NO. 2019-02 ON THE 14th DAY OF October, 2020.

Jagan SECRETARY
Richard M. Hadley CHAIRMAN, BOARD OF SUPERVISORS

TOWNSHIP MANAGER APPROVAL
I, Jerry D. Daddell TOWNSHIP MANAGER FOR THE TOWNSHIP OF CRANBERRY, CERTIFY THAT THE CONDITIONS FOR FINAL APPROVAL OUTLINED IN ORDINANCE/RESOLUTION NO. 2019-02 HAVE BEEN MET IN ACCORDANCE WITH SECTIONS 22-305 AND 22-307 OF THE TOWNSHIP OF CRANBERRY CODE OF ORDINANCES.

Jagan TOWNSHIP MANAGER

MUNICIPAL ENGINEER'S CERTIFICATE
I, MICHAEL C. MALAK A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER FOR CRANBERRY TOWNSHIP, DO HEREBY CERTIFY THAT THIS LAND DEVELOPMENT PLAN MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP ORDINANCES EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE CRANBERRY TOWNSHIP BOARD OF SUPERVISORS.

Michael C. Malak SIGNATURE
PE-073220 REGISTRATION NUMBER
07/20/20 DATE

COUNTY PLANNING COMMISSION REVIEW STATEMENT
REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 20th DAY OF November, 2019.

R. Han SECRETARY
BC Plan # 19225
J. Hines CHAIRMAN, BUTLER COUNTY PLANNING COMMISSION

Continued Sheet List Table

| Sheet Number | Sheet Title |
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| C0170 | LANDSCAPING PLAN |
| C0171 | LANDSCAPING PLAN |
| C0172 | LANDSCAPING PLAN |
| C0173 | LANDSCAPE DETAILS |
| C0174 | LANDSCAPE DETAILS |
| C0175 | LANDSCAPE AMENITIES |
| C0176 | LANDSCAPE AMENITIES |
| E0701 | SITE ELECTRICAL PHOTOMETRIC PLAN - NORTH |
| E0702 | SITE ELECTRICAL PHOTOMETRIC PLAN - SOUTH |
| E0703 | SITE ELECTRICAL PHOTOMETRIC PLAN - ROUNDABOUT, FIXTURE SCHEDULED AND DETAILS |
| E0704 | FIXTURE CUTS 1 |
| E0705 | FIXTURE CUTS 2 |
| E0706 | FIXTURE CUTS 3 |
| E0707 | FIXTURE CUTS 4 |
| E0708 | FIXTURE CUTS 5 |
| E0709 | FIXTURE CUTS 6 |
| E0710 | FIXTURE CUTS 7 |
| E0711 | FIXTURE CUTS 8 |
| E0712 | FIXTURE CUTS 9 |
| S0301 | TYPICAL RETAINING WALL DETAIL |

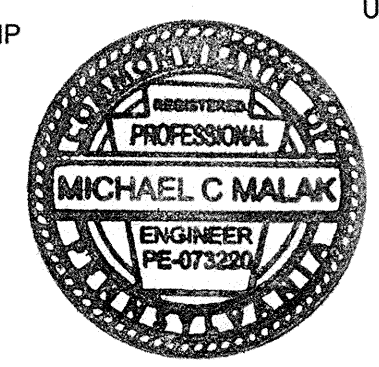
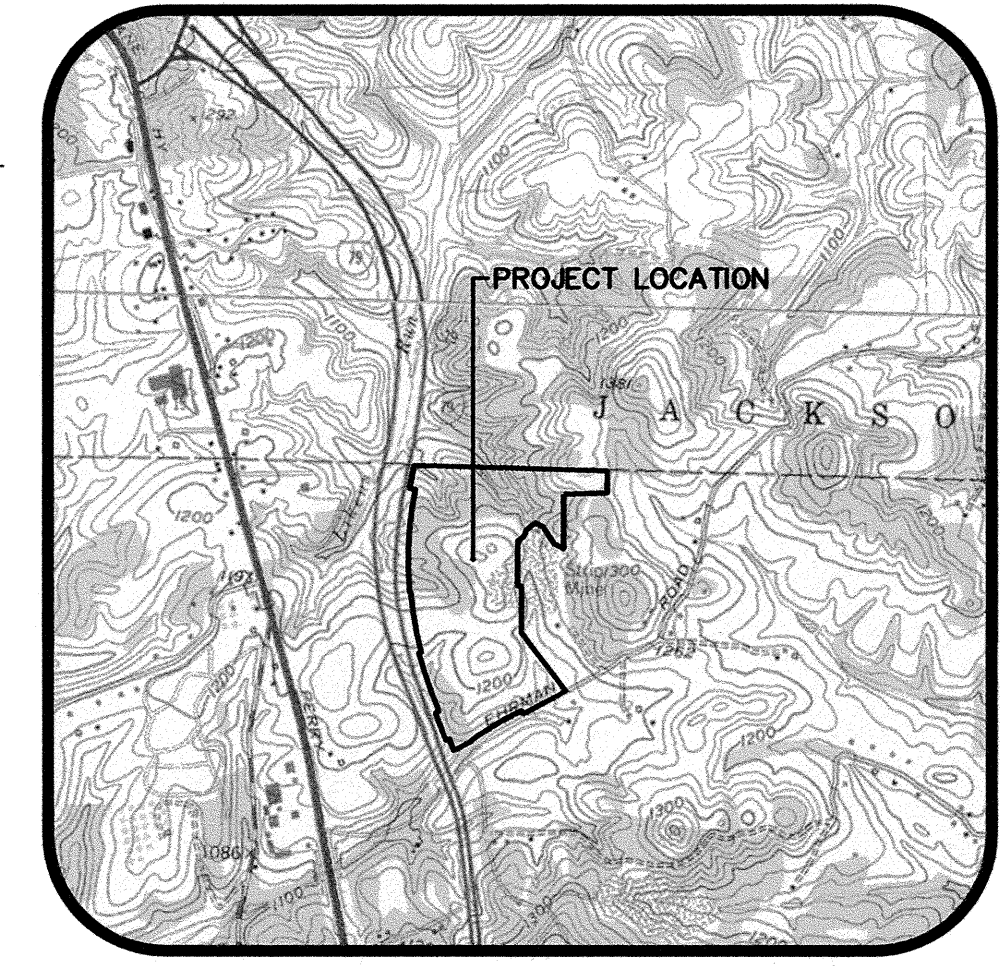
Roundabout Sheet List Table

| Sheet Number | Sheet Title |
|--------------|--|
| C0600 | ROUNDABOUT GENERAL NOTES |
| C0601 | ROUNDABOUT TYPICAL SECTIONS |
| C0602 | ROUNDABOUT TYPICAL SECTIONS |
| C0603 | ROUNDABOUT DETAILS |
| C0604 | ROUNDABOUT DETAILS |
| C0605 | ROUNDABOUT ISLAND DETAIL |
| C0606 | ROUNDABOUT INTERSECTION GRADING PLAN |
| C0607 | ROUNDABOUT CONSTRUCTION PLAN |
| C0608 | ROUNDABOUT PROFILES |
| C0609 | ROUNDABOUT PROFILES |
| C0610 | ROUNDABOUT SIGNING AND PAVEMENT MARKING PLAN |
| C0611 | ROUNDABOUT TRAFFIC CONTROL GENERAL NOTES |
| C0618 | ROUNDABOUT STORM PROFILES |

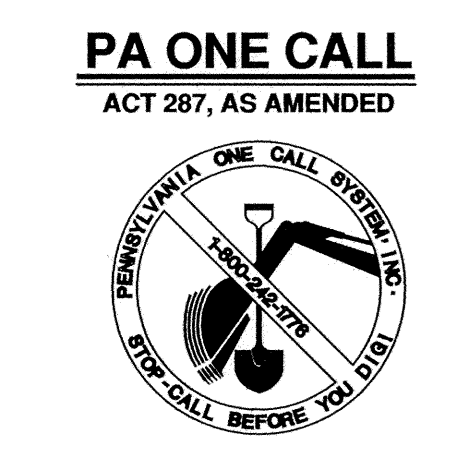
OWNER
SENECA VALLEY SCHOOL DISTRICT
124 SENECA SCHOOL ROAD
HARMONY, PA 16037

SITE ENGINEER
HERBERT, ROWLAND & GRUBIC, INC.
200 WEST KENSINGER DRIVE, SUITE 400
CRANBERRY TOWNSHIP, PA 16066
CONTACT: VIRGINIA R. LOANEY, RLA
PHONE: (724) 779-4777
FAX: (724) 779-4711
EMAIL: vloaney@hr-g-inc.com

SURVEYOR
LAND SURVEYORS, INC.
523 NORTH MAIN STREET, P.O. BOX 1061
BUTLER, PA 16003-1061
PHONE: (724) 287-6865



UNITED STATES GEOLOGICAL SURVEY, PENNSYLVANIA
EVANS CITY & MARS QUADRANGLE
LOCATION MAP
SCALE: 1"=2000'



OWNERS ADOPTION - CORPORATION
BY RESOLUTION APPROVED ON THE 12th DAY OF December, 2019, THE BOARD OF DIRECTORS OF THE Seneca Valley School District, INCORPORATED IN THE STATE OF PENNSYLVANIA, whereby OF THE LAND SHOWN ON THE Seneca Valley School District K-6 School ADOPTED THIS PLAN AS ITS LAND DEVELOPMENT AND IRREVOCABLY DEDICATED ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE CORPORATION AND UPON ITS SUCCESSORS AND ASSIGNS.

Seneca Valley School District NAME OF CORPORATION
Jagan SCHOOL BOARD SECRETARY TITLE OF OFFICER WITNESSING
Lisa Mislau SIGNATURE OF OFFICER WITNESSING
Lisa Mislau PRINT NAME
8-20-2020 DATE

Seneca Valley School District SCHOOL BOARD PRESIDENT TITLE OF AUTHORIZED OFFICER
James P. Nickel SIGNATURE OF AUTHORIZED OFFICER
James P. Nickel PRINT NAME

CERTIFICATE OF ACCURACY (PLAN)
I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE CRANBERRY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

October 5, 2020 Virginia R. Loaney, RLA

SURVEYOR'S CERTIFICATION
I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

08-20-2020 DATE
James P. Nickel NAME OF SURVEYOR
REGISTRATION NUMBER

ACKNOWLEDGEMENT OF NOTARY PUBLIC
BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED James Nickel, President of the Seneca Valley School District WHO STATED THAT (HE/SHE) IS AUTHORIZED TO EXECUTE THE ABOVE ADOPTION AND DEDICATION ON BEHALF OF THE CORPORATION AND WAS PRESENT AT THE MEETING AT WHICH THE ACTION OF THE CORPORATION WAS TAKEN TO ADOPT THE PLAN AND DEDICATE PUBLIC PROPERTY CONTAINED THEREIN TO THE PUBLIC.

WITNESS MY HAND AND NOTARIAL SEAL THIS 20th DAY OF August, 2020

Antoinette M. Mersing NOTARY PUBLIC
Commonwealth of Pennsylvania - Notary Seal
ANTOINETTE M MERSING - Notary Public
Butler County
My Commission Expires Jun 25, 2023
Commission Number 1259323

NO ACCEPTANCE OF DEDICATION
THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY, HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF CRANBERRY HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

Jagan SECRETARY
Richard M. Hadley CHAIRMAN, BOARD OF SUPERVISORS

CERTIFICATION OF TITLE - NO MORTGAGE
(I/WE) HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE Seneca Valley School District K-6 School IS IN THE NAME OF Seneca Valley School District AND IS RECORDED IN DEED BOOK VOLUME 917 PAGE 1033. (I/WE) FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN, OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

Lisa Mislau WITNESS
James P. Nickel OWNER

PROOF OF RECORDING
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 388, PAGE(S) 39-44
GIVEN UNDER MY HAND AND SEAL THIS 22nd DAY OF October, 2020

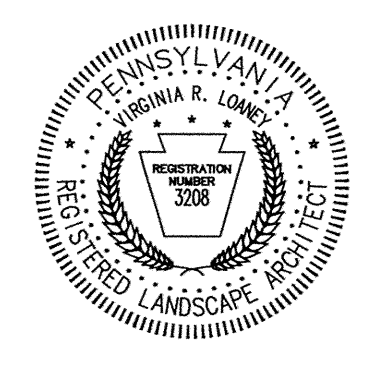
Michael Mustello RECORDER OF DEEDS

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024

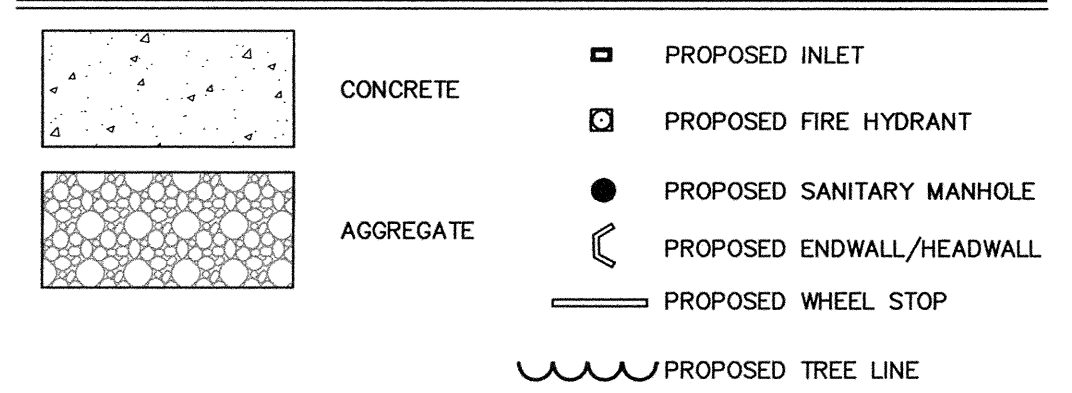
| PLAN BOOK | PAGE |
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Engineering & Related Services
AN EMPLOYEE-OWNED COMPANY

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Cranberry Township, PA 16066
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Fax (724) 779-4711
hr-g@hr-g-inc.com
www.hr-g-inc.com



LEGEND



GENERAL SITE PLAN NOTES:

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL & STATE REGULATIONS AND CODES AND OSHA STANDARDS.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURB, EDGE OF PAVING, OR EDGE OF BUILDING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF STRUCTURES. ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
- ALL CURBED RADII SHALL BE FIVE FEET UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS, EXACT LOCATION OF UTILITY ENTRANCES AND OTHER ARCHITECTURAL FEATURES (I.E. DOORS, ROOF LEADERS, PORCHES, ETC.)
- BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE FOR LAND DEVELOPMENT APPROVAL ONLY. MINOR CHANGES THAT DO NOT VIOLATE MUNICIPAL REGULATIONS MAY OCCUR AT THE FINAL BUILDING DESIGN PHASE OF THE PROJECT.
- CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO MAKING ANY FIELD CHANGES THAT DEVIATE FROM THE PLAN.
- THE CONTRACTOR SHALL NEATLY SAW CUT ALL JOINTS WHERE THE PROPOSED CONSTRUCTION MEETS EXISTING PAVING AND/OR CONCRETE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- THE CONTRACTOR IS ENCOURAGED TO OBTAIN COPIES AND BECOME FAMILIAR WITH THE TOWNSHIP ZONING ORDINANCE, SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, STORMWATER MANAGEMENT ORDINANCE AND STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE TO MEET THE REQUIREMENTS OF THESE ORDINANCES AND SPECIFICATIONS FOR VARIOUS PUBLIC IMPROVEMENTS.
- THE WETLANDS SHOWN ON THESE PLANS ARE BASED A WETLAND DELINEATION REPORT FOR SENECA VALLEY SCHOOL DISTRICT, PREPARED BY HERBERT, ROWLAND & GRUBIC, INC., DATED APRIL, 2018. THE PROPOSED WETLAND IMPACTS AS SHOWN ON THESE PLANS ARE PERMITTED BY DEP (PERMIT NUMBER E1006220-001) AND THE ARMY CORPS OF ENGINEERS (PERMIT NUMBER 2019-1014).
- THE 100-YEAR FLOODPLAIN BOUNDARY SHOWN ON THESE PLANS IS BASED UPON THE FEMA FLOOD INSURANCE RATE MAP #42019C0501D DATED NOVEMBER, 2019.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH PENNDOT STANDARDS, AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.
- PARKING ISLAND DIMENSIONS SHALL BE 12' MINIMUM FOR INTERIOR PLANTING SPACE, PER ORDINANCE.
- CURB TYPE VARIES AS NOTED. PAVEMENT EDGE TO BE FLUSH WHERE DRAINAGE FLOWS TO ISLANDS.
- AN ACCESSIBLE ROUTE IS REQUIRED FROM THE DESIGNATED ACCESSIBLE PARKING SPACES TO THE SOUTH ENTRY. ADDITIONAL ROUTES, MEETING ACCESSIBILITY GUIDELINES, SHALL BE PROVIDED FROM THE NORTH PARKING LOT AND VAN PARKING TO THE NORTHEAST ENTRIES, AS WELL AS THE DROP OFF ZONE AT THE SOUTH ENTRY PLAZA NEAR THE BOLLARDS. SEE GRADING PLAN FOR SLOPE AND CURB CONDITIONS.
- ALL SIDEWALKS WILL BE CONSTRUCTED IN ACCORDANCE TO PPIIC (CHAPTER 17) CONSTRUCTION STANDARD RD-09, TYPICAL SIDEWALK DETAIL, UNLESS OTHERWISE NOTED. SEE LARGE SCALE PLAN FOR SCORING PATTERN.
- CONCRETE CURB TRANSITIONS TO BE CONSTRUCTED IN ACCORDANCE WITH PPIIC (CHAPTER 17) CONSTRUCTION STANDARD SD-19, CONCRETE CURB TRANSITION DETAIL.
- CURB RAMPS WILL BE CONSTRUCTED IN ACCORDANCE WITH THE ACCESSIBILITY GUIDELINES OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND BE CONSTRUCTED IN ACCORDANCE WITH PPIIC (CHAPTER 17) CONSTRUCTION STANDARD SD-10.
- CROSSWALKS WILL BE CONSTRUCTED IN ACCORDANCE WITH PPIIC (CHAPTER 17) CONSTRUCTION STANDARD RD-27, TYPICAL CROSS SECTION 8-FOOT CONCRETE CROSSWALK, UNLESS OTHERWISE NOTED.
- REFER TO STRUCTURAL DRAWINGS FOR WALL DETAILING.

BUILDING AREA

LEVEL 01: 114,018 SF
 LEVEL 02: 85,318 SF

TOTAL: 199,336 SF

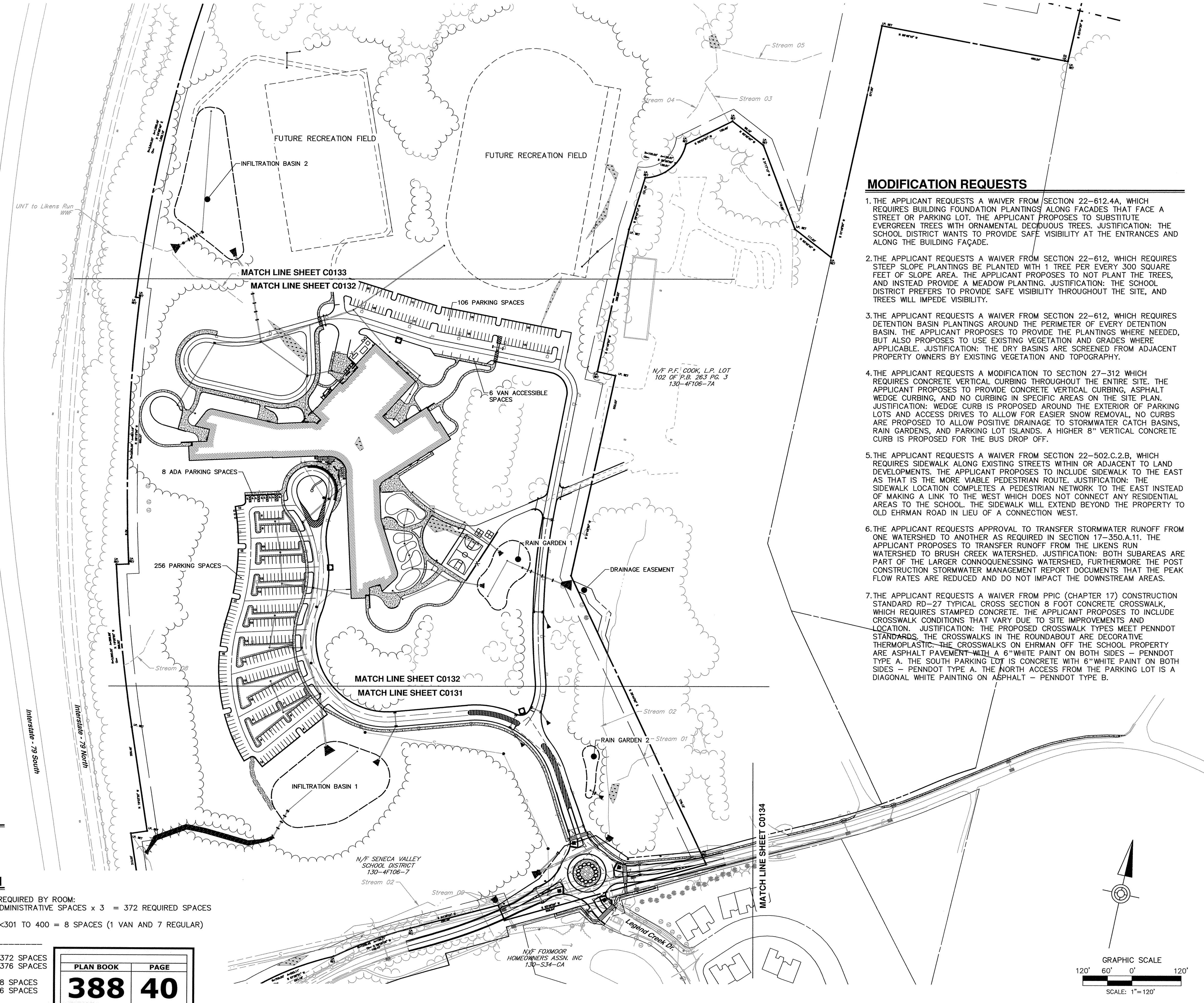
PARKING TABULATION

CRANBERRY TOWNSHIP ORDINANCE REQUIRED BY ROOM:
 89 INSTRUCTIONAL SPACES + 35 ADMINISTRATIVE SPACES x 3 = 372 REQUIRED SPACES
 ADA REQUIRED SPACES REQUIRED: <301 TO 400 = 8 SPACES (1 VAN AND 7 REGULAR)

TOTAL:
 PARKING REQUIRED: 372 SPACES
 TOTAL PROVIDED ON SITE: 376 SPACES
 INCLUDES:
 ADA SPACES: 8 SPACES
 6 VAN ACCESSIBLE SPACES: 6 SPACES

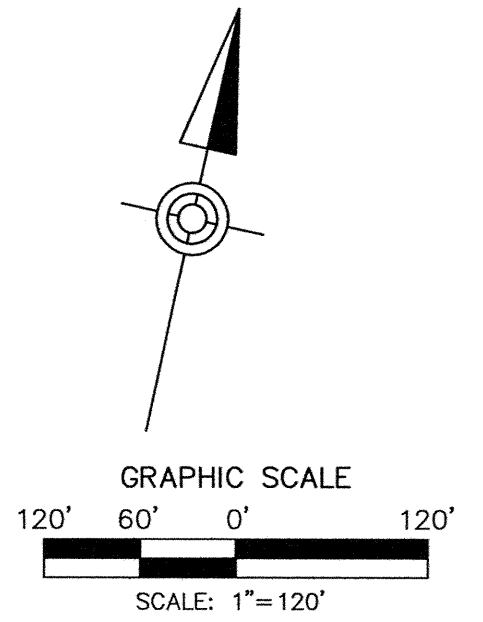
| PLAN BOOK | PAGE |
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| ZONE | SITE DATA | |
|--|----------------|-----------------|
| | REQUIRED | PROPOSED |
| MINIMUM LOT AREA | 1 AC. | 150.6 A.C. |
| MINIMUM FRONT YARD SETBACK | 25 FT. | 816 FT. |
| MINIMUM SIDE YARD SETBACK | 25 FT. | 150-359 FT. |
| MINIMUM REAR YARD SETBACK | 50 FT. | NA |
| BUILDING SETBACK FROM RESIDENTIAL | 100 FT. | 810 FT. |
| MAXIMUM BUILDING HEIGHT | 60 FT. | 33'-4" FT. |
| MAXIMUM LOT COVERAGE | 60% | 8% |
| SOUTH PARKING LOT INTERIOR IMPERVIOUS AREA | 10% (8,714 SF) | 35% (30,586 SF) |
| NORTH PARKING LOT INTERIOR IMPERVIOUS AREA | 10% (3,942 SF) | 36% (12,691 SF) |

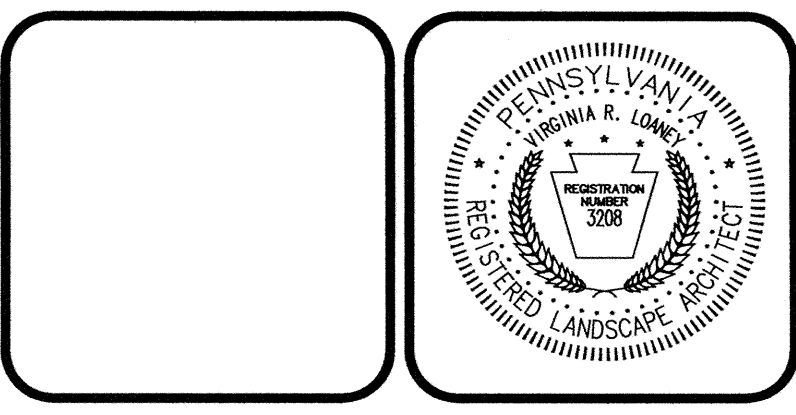


MODIFICATION REQUESTS

- THE APPLICANT REQUESTS A WAIVER FROM SECTION 22-612.4A, WHICH REQUIRES BUILDING FOUNDATION PLANTINGS ALONG FACADES THAT FACE A STREET OR PARKING LOT. THE APPLICANT PROPOSES TO SUBSTITUTE EVERGREEN TREES WITH ORNAMENTAL DECIDUOUS TREES. JUSTIFICATION: THE SCHOOL DISTRICT WANTS TO PROVIDE SAFE VISIBILITY AT THE ENTRANCES AND ALONG THE BUILDING FAÇADE.
- THE APPLICANT REQUESTS A WAIVER FROM SECTION 22-612, WHICH REQUIRES STEEP SLOPE PLANTINGS BE PLANTED WITH 1 TREE PER EVERY 300 SQUARE FEET OF SLOPE AREA. THE APPLICANT PROPOSES TO NOT PLANT THE TREES, AND INSTEAD PROVIDE A MEADOW PLANTING. JUSTIFICATION: THE SCHOOL DISTRICT PREFERS TO PROVIDE SAFE VISIBILITY THROUGHOUT THE SITE, AND TREES WILL IMPEDE VISIBILITY.
- THE APPLICANT REQUESTS A WAIVER FROM SECTION 22-612, WHICH REQUIRES DETENTION BASIN PLANTINGS AROUND THE PERIMETER OF EVERY DETENTION BASIN. THE APPLICANT PROPOSES TO PROVIDE THE PLANTINGS WHERE NEEDED, BUT ALSO PROPOSES TO USE EXISTING VEGETATION AND GRADES WHERE APPLICABLE. JUSTIFICATION: THE DRY BASINS ARE SCREENED FROM ADJACENT PROPERTY OWNERS BY EXISTING VEGETATION AND TOPOGRAPHY.
- THE APPLICANT REQUESTS A MODIFICATION TO SECTION 27-312 WHICH REQUIRES CONCRETE VERTICAL CURBING THROUGHOUT THE ENTIRE SITE. THE APPLICANT PROPOSES TO PROVIDE CONCRETE VERTICAL CURBING, ASPHALT WEDGE CURBING, AND NO CURBING IN SPECIFIC AREAS ON THE SITE PLAN. JUSTIFICATION: WEDGE CURB IS PROPOSED AROUND THE EXTERIOR OF PARKING LOTS AND ACCESS DRIVES TO ALLOW FOR EASIER SNOW REMOVAL. NO CURBS ARE PROPOSED TO ALLOW POSITIVE DRAINAGE TO STORMWATER CATCH BASINS, RAIN GARDENS, AND PARKING LOT ISLANDS. A HIGHER 8" VERTICAL CONCRETE CURB IS PROPOSED FOR THE BUS DROP OFF.
- THE APPLICANT REQUESTS A WAIVER FROM SECTION 22-502.C.2.B, WHICH REQUIRES SIDEWALK ALONG EXISTING STREETS WITHIN OR ADJACENT TO LAND DEVELOPMENTS. THE APPLICANT PROPOSES TO INCLUDE SIDEWALK TO THE EAST AS THAT IS THE MORE VIABLE PEDESTRIAN ROUTE. JUSTIFICATION: THE SIDEWALK LOCATION COMPLETES A PEDESTRIAN NETWORK TO THE EAST INSTEAD OF MAKING A LINK TO THE WEST WHICH DOES NOT CONNECT ANY RESIDENTIAL AREAS TO THE SCHOOL. THE SIDEWALK WILL EXTEND BEYOND THE PROPERTY TO OLD EHRMAN ROAD IN LIEU OF A CONNECTION WEST.
- THE APPLICANT REQUESTS APPROVAL TO TRANSFER STORMWATER RUNOFF FROM ONE WATERSHED TO ANOTHER AS REQUIRED IN SECTION 17-350.A.11. THE APPLICANT PROPOSES TO TRANSFER RUNOFF FROM THE LIKENS RUN WATERSHED TO BRUSH CREEK WATERSHED. JUSTIFICATION: BOTH SUBAREAS ARE PART OF THE LARGER CONNOQUENESSING WATERSHED. FURTHERMORE THE POST CONSTRUCTION STORMWATER MANAGEMENT REPORT DOCUMENTS THAT THE PEAK FLOW RATES ARE REDUCED AND DO NOT IMPACT THE DOWNSTREAM AREAS.
- THE APPLICANT REQUESTS A WAIVER FROM PPIIC (CHAPTER 17) CONSTRUCTION STANDARD RD-27 TYPICAL CROSS SECTION 8 FOOT CONCRETE CROSSWALK, WHICH REQUIRES STAMPED CONCRETE. THE APPLICANT PROPOSES TO INCLUDE CROSSWALK CONDITIONS THAT VARY DUE TO SITE IMPROVEMENTS AND LOCATION. JUSTIFICATION: THE PROPOSED CROSSWALK TYPES MEET PENNDOT STANDARDS. THE CROSSWALKS IN THE ROUNDABOUT ARE DECORATIVE THERMOPLASTIC—THE CROSSWALKS ON EHRMAN OFF THE SCHOOL PROPERTY ARE ASPHALT PAVEMENT WITH A 6" WHITE PAINT ON BOTH SIDES - PENNDOT TYPE A. THE SOUTH PARKING LOT IS CONCRETE WITH 6" WHITE PAINT ON BOTH SIDES - PENNDOT TYPE A. THE NORTH ACCESS FROM THE PARKING LOT IS A DIAGONAL WHITE PAINTING ON ASPHALT - PENNDOT TYPE B.



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SENECA VALLEY SCHOOL DISTRICT
 124 SENECA SCHOOL ROAD
 HARMONY PA, 16037

OVERALL SITE LAYOUT PLAN
 FOR
SVSD - NEW K-4/5-6 SCHOOL

CRANBERRY TOWNSHIP BUTLER COUNTY PENNSYLVANIA

PROJ. MGR. - VRL
 DESIGN- VRL/CAB
 CADD- VRL
 CHECKED-VRL/CAB
 SCALE- AS SHOWN
 DATE- JULY 2020

DRAWING NO.
C0130
 SHEET NO.
10 OF 68
 PROJECT R007637.0430

POST CONSTRUCTION STORMWATER MANAGEMENT LEGEND

- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED DITCH OR SWALE
- NPDES BOUNDARY
- LIMIT OF DISTURBANCE
- PROPOSED STORM SEWER & INLET
- Soil Boundaries
- Floodplain
- Existing Contour Major
- Existing Contour Minor
- Existing Stream Line

NOTES:

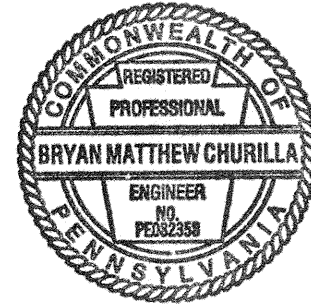
1. IT SHALL BE UNLAWFUL TO ALTER OR REMOVE ANY PERMANENT STORMWATER BMP REQUIRED BY AN APPROVED SWM SITE PLAN OR TO ALLOW THE PROPERTY TO REMAIN IN A CONDITION THAT DOES NOT CONFORM TO AN APPROVED SWM SITE PLAN, UNLESS THE TOWNSHIP GRANTS AN EXCEPTION IN WRITING.
2. AS PER THE APPROVED STORMWATER MANAGEMENT PLAN, THE TOWNSHIP SHALL HAVE RIGHT OF ACCESS TO THE ON-SITE DETENTION FACILITY FOR THE RIGHT OF MAINTENANCE, MONITORING, AND/OR SAMPLING, IN THE EVENT THE OWNER, ASSIGNS OR HEIRS DO NOT ADEQUATELY MAINTAIN OR MONITOR THE FACILITY. THE OWNER, ASSIGNS OR HEIRS SHALL REIMBURSE THE TOWNSHIP FOR ALL COSTS ASSOCIATED WITH SAID MAINTENANCE. THE AFOREMENTIONED RIGHTS GRANTED THE TOWNSHIP IN NO WAY DIMINISH THE RESPONSIBILITY OF THE OWNER, ASSIGNS OR HEIRS OF SAID MAINTENANCE AND MONITORING, AND NO LIABILITY WILL BE ASSUMED BY THE TOWNSHIP ASSOCIATED WITH REQUIRED ACCESS FOR MAINTENANCE OR MONITORING PURPOSES.
3. NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, OR ALTER ANY EXISTING STORMWATER BMP, FACILITIES, AREAS, OR STRUCTURES, UNLESS IT IS PART OF AN APPROVED MAINTENANCE PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE TOWNSHIP.
4. APPROVAL OF A STORMWATER MANAGEMENT PLAN BY THE TOWNSHIP SHALL NOT BE CONSTRUED AS AN INDICATION THAT SAID PLAN COMPLIES WITH THE REQUIREMENTS, LAWS, OR STANDARDS OF ANY AGENCY OF THE COMMONWEALTH WHICH MAY OR MAY NOT GOVERN SAID ACTIVITY.
5. CONTRACTOR OR OWNER TO PROVIDE CERTIFICATION OF COMPLETION FROM AN ENGINEER, ARCHITECT, SURVEYOR OR OTHER QUALIFIED PERSON VERIFYING THAT ALL PERMANENT FACILITIES HAVE BEEN CONSTRUCTED ACCORDING TO THE SWM SITE PLAN AND REPORT AND APPROVED REVISIONS THERETO.

POST CONSTRUCTION STORMWATER MANAGEMENT APPROVAL SIGNATURE BLOCKS

I, Bryan M. Churilla, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE CRANBERRY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

PROFESSIONAL ENGINEER
TITLE

SIGNATURE



I, Tim Schutzenberger, HAVE REVIEWED THIS STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF THE CRANBERRY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

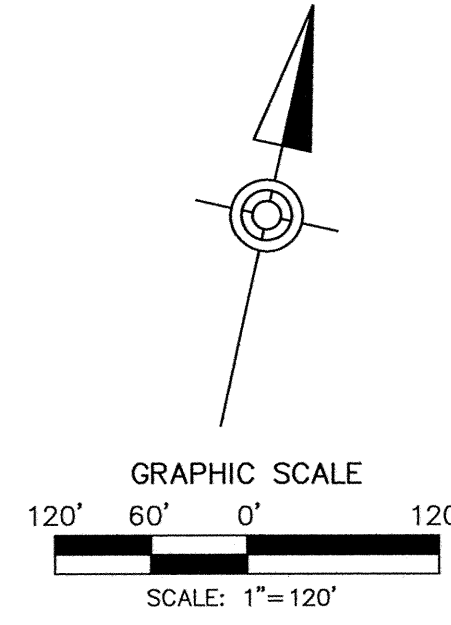
Water Works Coordinator
TITLE OF REVIEWER

SIGNATURE

AS THE LANDOWNER, I, James P. Nickel, ACKNOWLEDGE THAT THE STORMWATER BMPS ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY THE TOWNSHIP AND THAT THE OPERATIONS AND MAINTENANCE (O&M) AGREEMENT IS PART OF THE STORMWATER SITE PLAN.

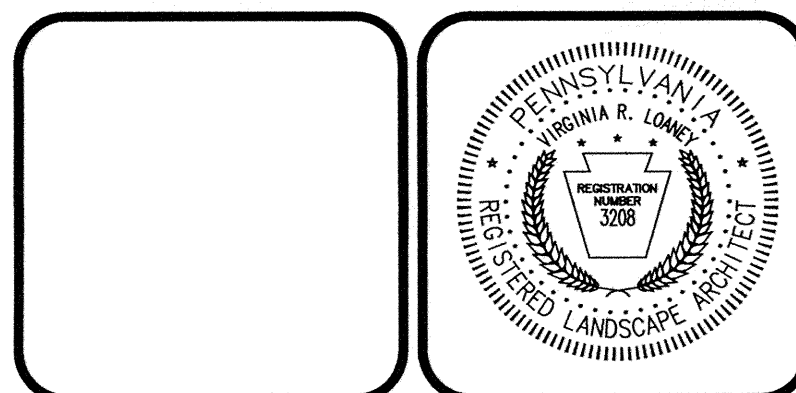
School Board President
LANDOWNER TITLE

SIGNATURE



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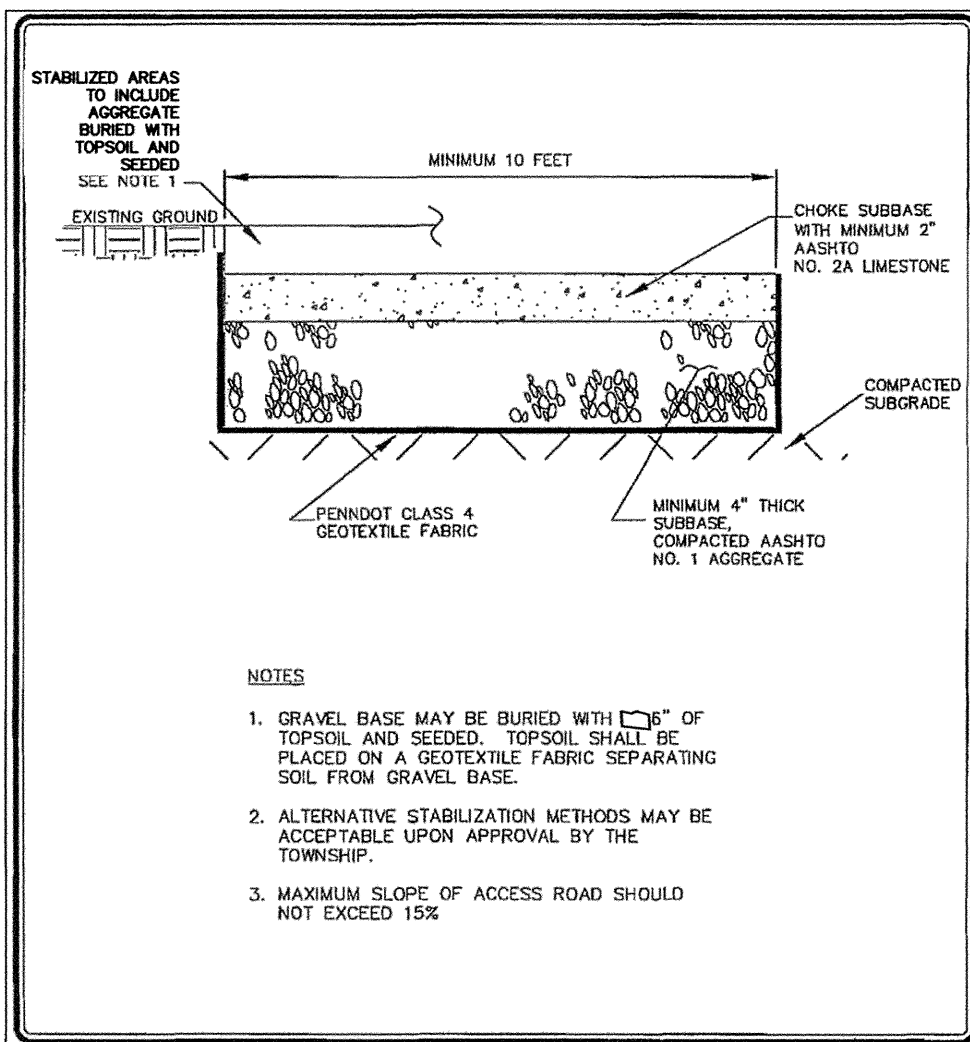
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OVERALL PCSM PLAN
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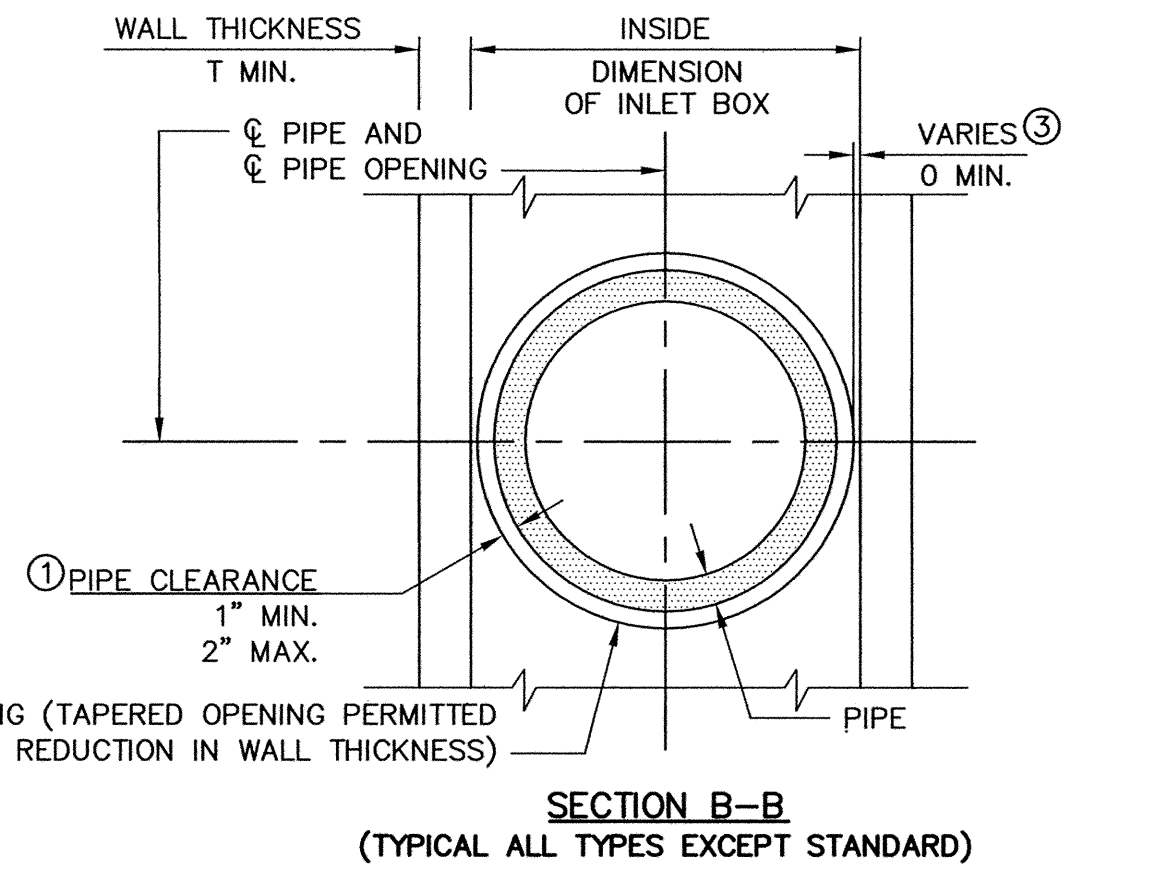
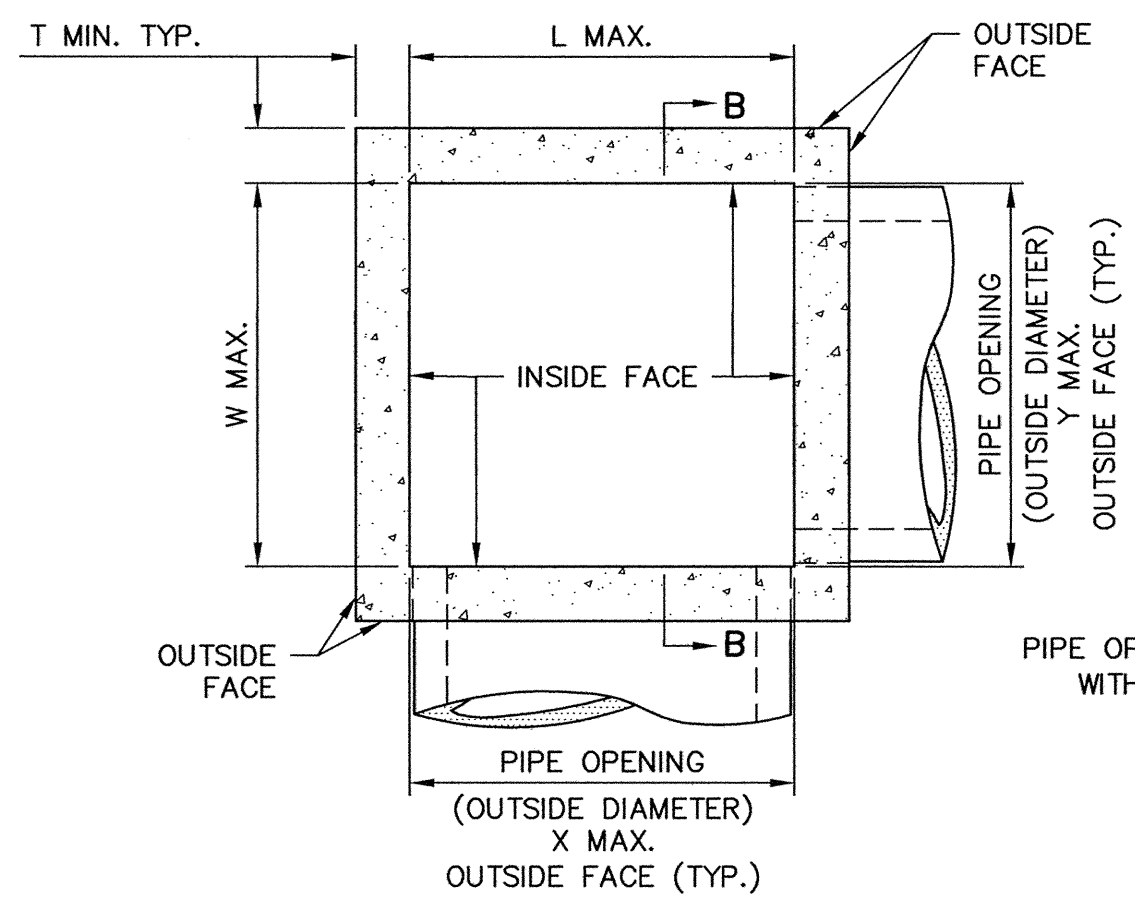
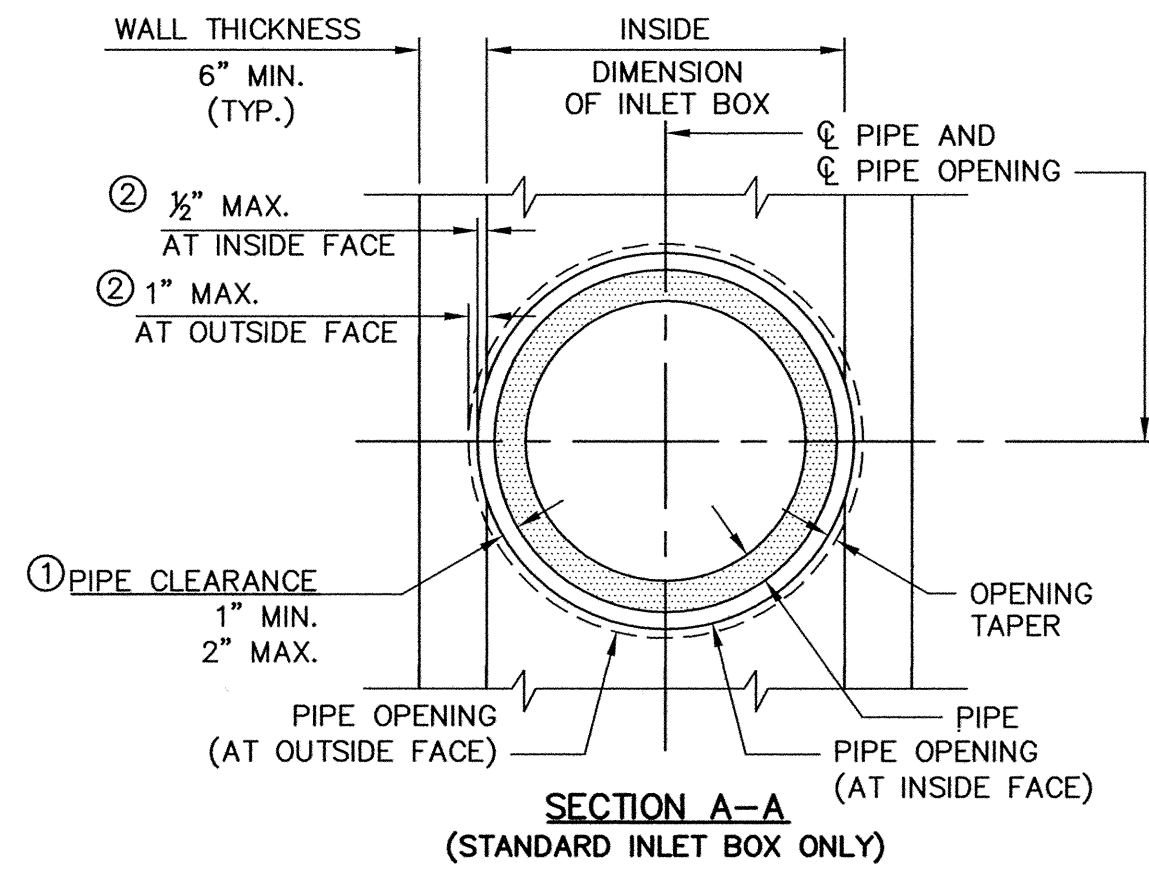
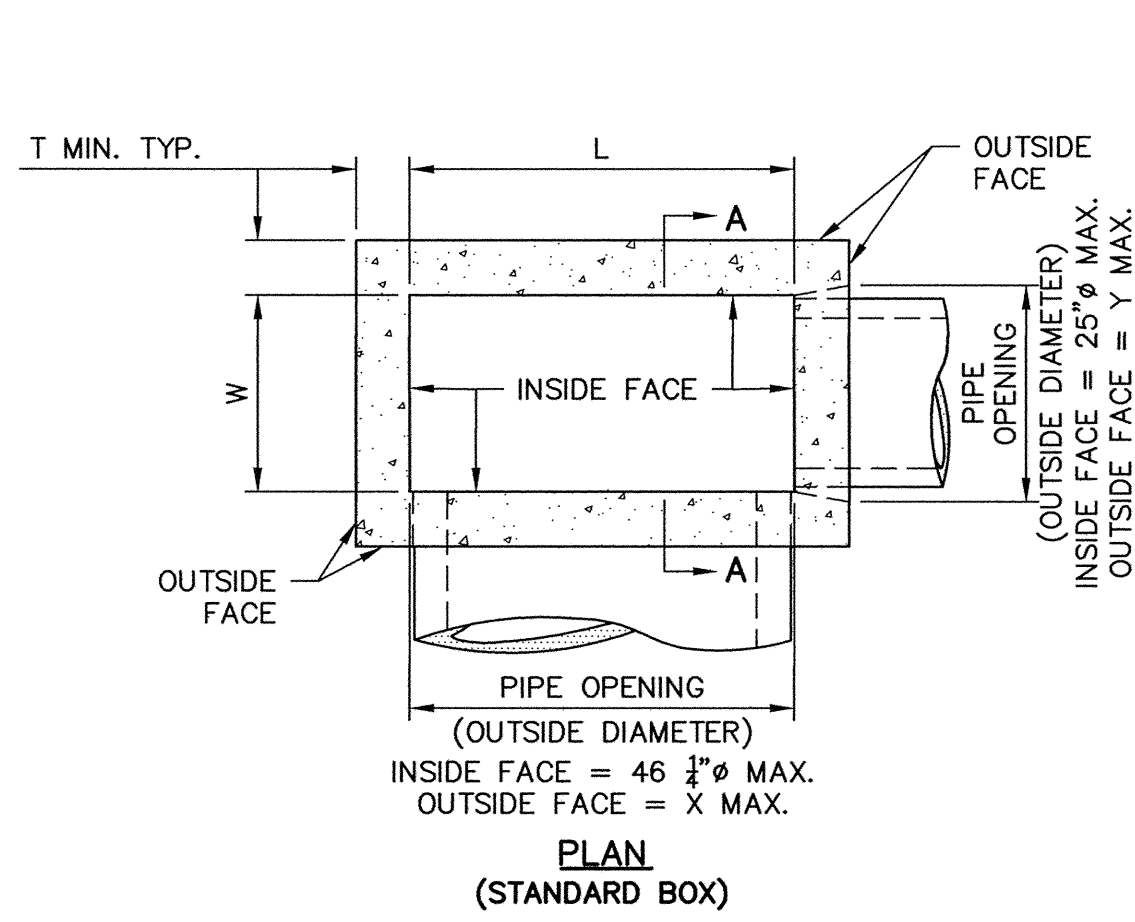
CRANBERRY TOWNSHIP BUTLER COUNTY PENNSYLVANIA

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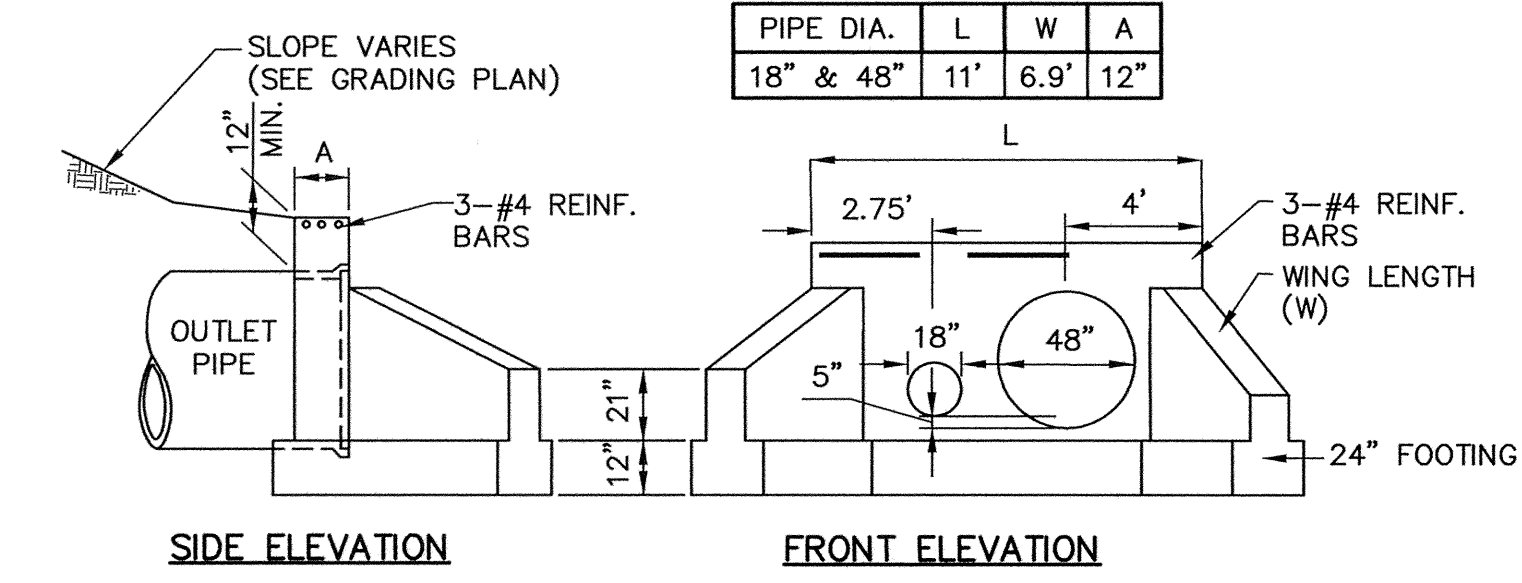


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| | | STABILIZED ACCESS ROAD | |
| | | | |



LEGEND

- ① OUTSIDE DIAMETER OF PIPE TO PIPE OPENING
- ② REDUCTION IN WALL THICKNESS DIMENSION
- ③ INSIDE FACE OF BOX WALL TO OUTSIDE DIAMETER OF PIPE OPENING

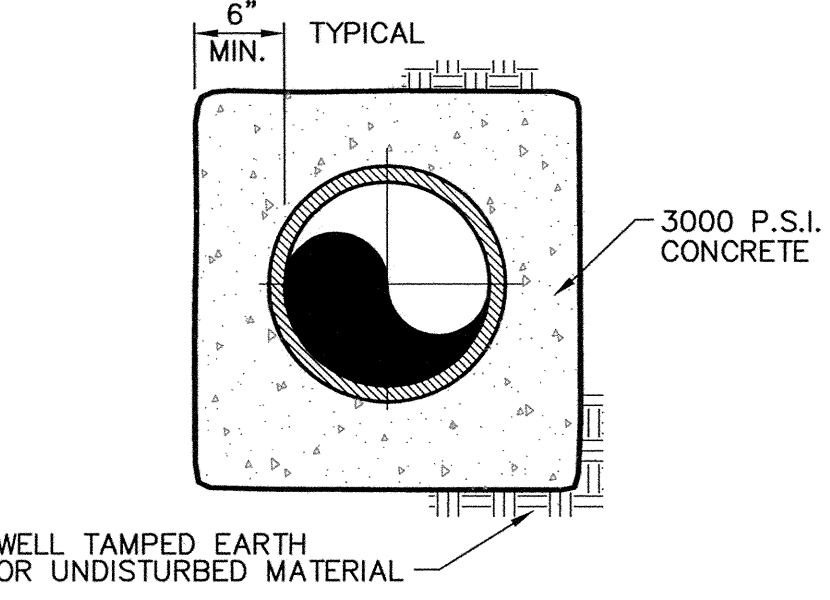


| PIPE DIA. | L | W | A |
|-----------|-----|------|-----|
| 18" & 48" | 11' | 6.9' | 12" |

- NOTES:**
- DETAIL FOR CUSTOM EW-(1)
 - CONSTRUCT IN ACCORDANCE WITH PENNDOT PUBLICATION 72 RC-31

CUSTOM ENDWALL DETAIL

NOT TO SCALE



CONCRETE ENCASEMENT DETAIL

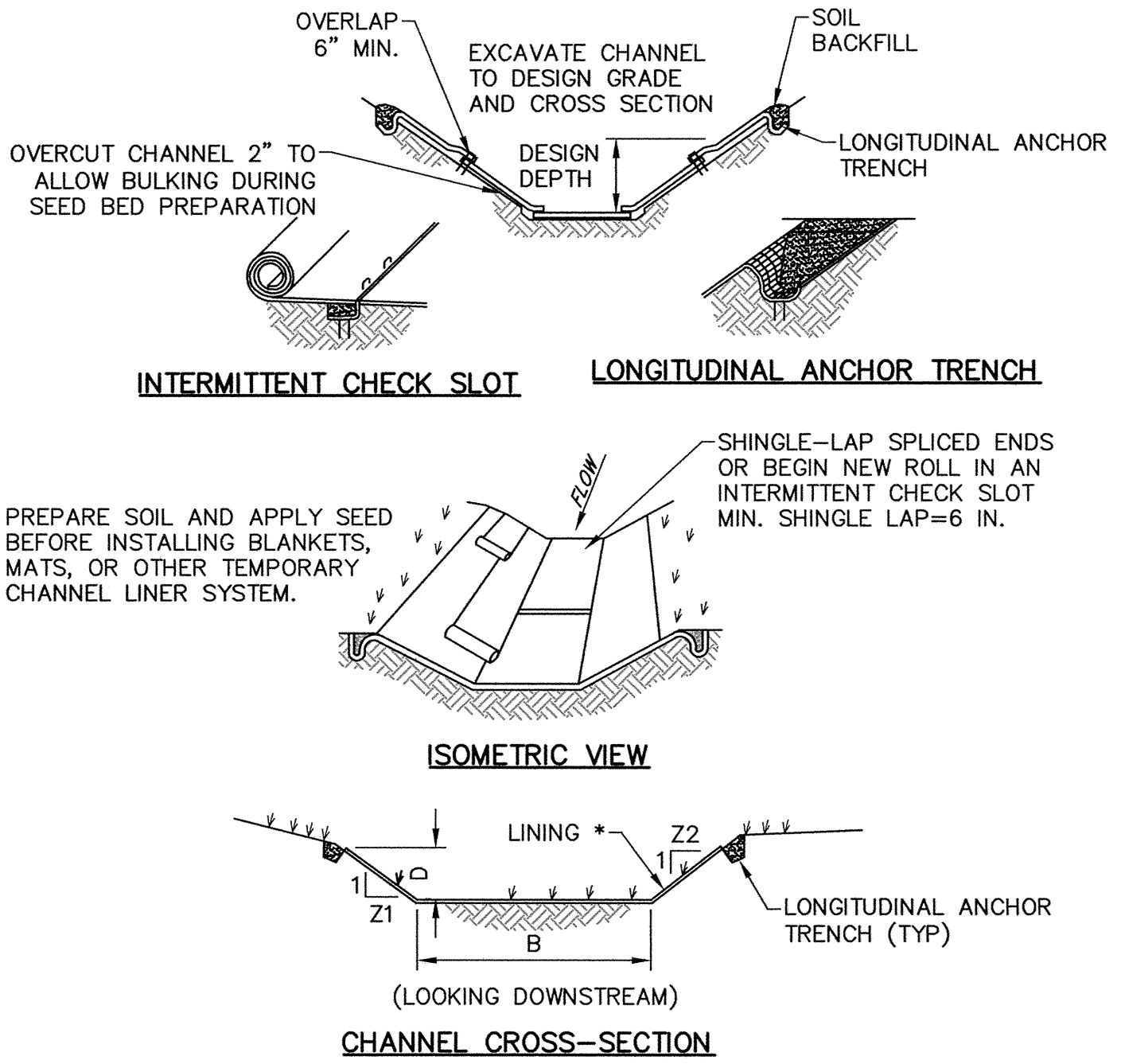
NOT TO SCALE

| BOX TYPE | INSIDE BOX DIMENSIONS | | WALL THICKNESS T | PIPE OPENING AT OUTSIDE FACE | |
|----------|-----------------------|-----------|------------------|------------------------------|------|
| | W | L | | X | Y |
| STANDARD | 2'-0" | 3'-9 1/4" | 6" | 47 1/2" | 26" |
| TYPE 4 | 4'-0" | 4'-0" | 6" | 48" | 48" |
| TYPE 5 | 5'-0" | 5'-0" | 6" | 60" | 60" |
| TYPE 6 | 6'-0" | 6'-0" | 6" | 72" | 72" |
| TYPE 7 | 7'-0" | 7'-0" | 8" | 84" | 84" |
| TYPE 8 | 8'-0" | 8'-0" | 8" | 96" | 96" |
| TYPE 9 | 9'-0" | 9'-0" | 8" | 108" | 108" |
| TYPE 10 | 10'-0" | 10'-0" | 8" | 120" | 120" |
| TYPE D-H | 2'-6" | 8'-3" | 6" | 99" | 30" |

- NOTES:**
- CONSTRUCT INLET BOXES IN ACCORDANCE WITH THE REQUIREMENTS OF PADOT PUB. 408, SECTION 714 AND PUB. 72M, RC-43M.
 - PERMIT ONLY PRECAST INLET BOXES SUPPLIED BY A MANUFACTURER LISTED IN PADOT BULLETIN 15. USE CLASS AA CEMENT CONCRETE FOR PRECAST BOXES.
 - SEE PADOT PUB 72M, RC-43M FOR CONCRETE TOP UNITS, TRANSITION SLABS, RISER SECTIONS AND GRADE ADJUSTMENT RINGS.
 - PROVIDE 2" DIAMETER WEEPHOLES IN THE WALLS WHEN THE DEPTH BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF THE SLAB ELEVATION IS GREATER THAN (10'-0").
 - VERTICAL PLACEMENT: 5'-0" MAXIMUM SPACING
 - HORIZONTAL PLACEMENT: PLACE WEEPHOLES IN THE SIDE WALLS THAT ARE PERPENDICULAR TO TRAFFIC.
 - LOCATE WEEPHOLES A MINIMUM OF 6" FROM PIPE OPENING OR JOINTS.
 - LOCATE WEEPHOLES A MINIMUM OF 1'-0" ABOVE OUTLET PIPE INVERT.
 - LOCATE PIPE OR PIPES, AS INDICATED, WITH THE INLET BOTTOM SHAPED TO CHANNEL THE FLOW TOWARD THE OUTLET PIPE. WHEN PROJECT CONDITIONS REQUIRE PIPE BLOCKOUTS TO BE FORMED WITHIN 4" FROM THE TOP OF THE INLET BOX, PROVIDE AN ADDITIONAL #3 REINFORCEMENT BAR LOCATED 1 5/8" FROM THE TOP OF THE INLET BASE, FULL WIDTH ALONG THE INLET FACE. REMOVE ANY VISIBLE PORTION OF THE BAR, IF REQUIRED DURING INSTALLATION AND PRIOR TO JOINING THE PIPE TO THE INLET. IF REINFORCED CONCRETE PIPE IS USED, THE PIPE BLOCKOUT MAY BE FORMED 'FLUSH' WITH THE INLET BASE. LIMIT PIPE BLOCKOUT OF WALL TO 1".
 - PLACE SUBBASE MATERIAL MEETING THE REQUIREMENTS OF PADOT PUB. 408, SECTION 350.2, TO A DEPTH OF 12", IN LAYERS 4" THICK, COMPACTED TO A DENSITY SATISFACTORY TO THE ENGINEER.
 - PROVIDE SUITABLE LIFTING DEVICES FOR HANDLING AND INSTALLATION. GALVANIZE METAL DEVICES AS SPECIFIED IN PADOT PUB. 408 SECTION 1105.
 - PROVIDE MANHOLE STEPS WHEN THE DEPTH BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF THE BOTTOM SLAB ELEVATION IS GREATER THAN 5'-0". SHALLOW RECESSES, ON THE INSIDE FACE OF THE INLET, NOT GREATER THAN 3/8" IN DEPTH, FORMED BY MAGNETIC STEP FORMERS ARE ACCEPTABLE AND DO NOT REQUIRE PATCHING. FOR DETAILS, REFER TO RC-39M.

PRECAST INLET BOXES

NOT TO SCALE



* SEE MANUFACTURER'S LINING INSTALLATION DETAIL FOR STAPLE PATTERNS, VEGETATIVE STABILIZATION SPECIFICATIONS FOR SOIL AMENDMENTS, SEED MIXTURES AND MULCHING INFORMATION

| CHANNEL NO. | BOTTOM WIDTH B (FT) | DEPTH D (FT) | TOP WIDTH W (FT) | Z1 (FT) | Z2 (FT) | LINING * |
|-------------|---------------------|--------------|------------------|---------|---------|------------|
| 1 | 2 | 2 | 12 | 3 | 2 | SC250 |
| 2 | 3 | 2 | 15 | 3 | 3 | SC250 |
| 3 | 2 | 2 | 10 | 2 | 2 | SC250 |
| 4 | 5 | 1 | 9 | 2 | 2 | R-6 RIPRAP |
| 5 | 2 | 1.5 | 11 | 3 | 3 | S75 |

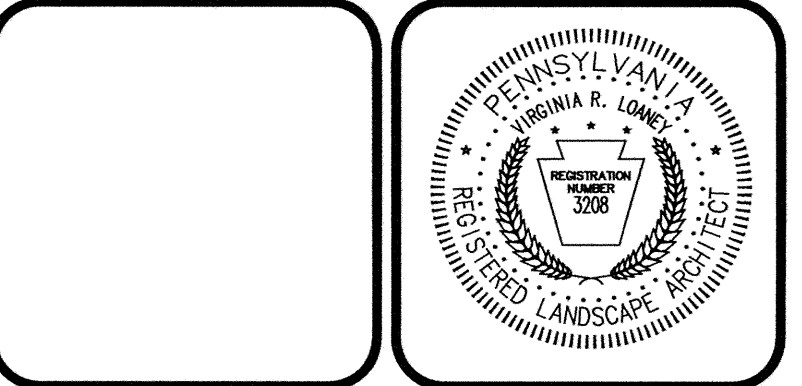
- NOTES:**
- ANCHOR TRENCHES SHALL BE INSTALLED AT BEGINNING AND END OF CHANNEL IN THE SAME MANNER AS LONGITUDINAL ANCHOR TRENCHES.
 - CHANNEL DIMENSIONS SHALL BE CONSTANTLY MAINTAINED. CHANNEL SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 25% AT ANY LOCATION. SEDIMENT DEPOSITS SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS SOIL CONDITIONS PERMIT ACCESS TO CHANNEL WITHOUT FURTHER DAMAGE. DAMAGED LINING SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCOVERY.
 - NO MORE THAN ONE THIRD OF THE SHOOT (GRASS LEAF) SHALL BE REMOVED IN ANY MOWING. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED. EXCESS VEGETATION SHALL BE REMOVED FROM PERMANENT CHANNELS TO ENSURE SUFFICIENT CHANNEL CAPACITY.

CONSTRUCTION DETAIL #6-1 VEGETATED CHANNEL

NOT TO SCALE

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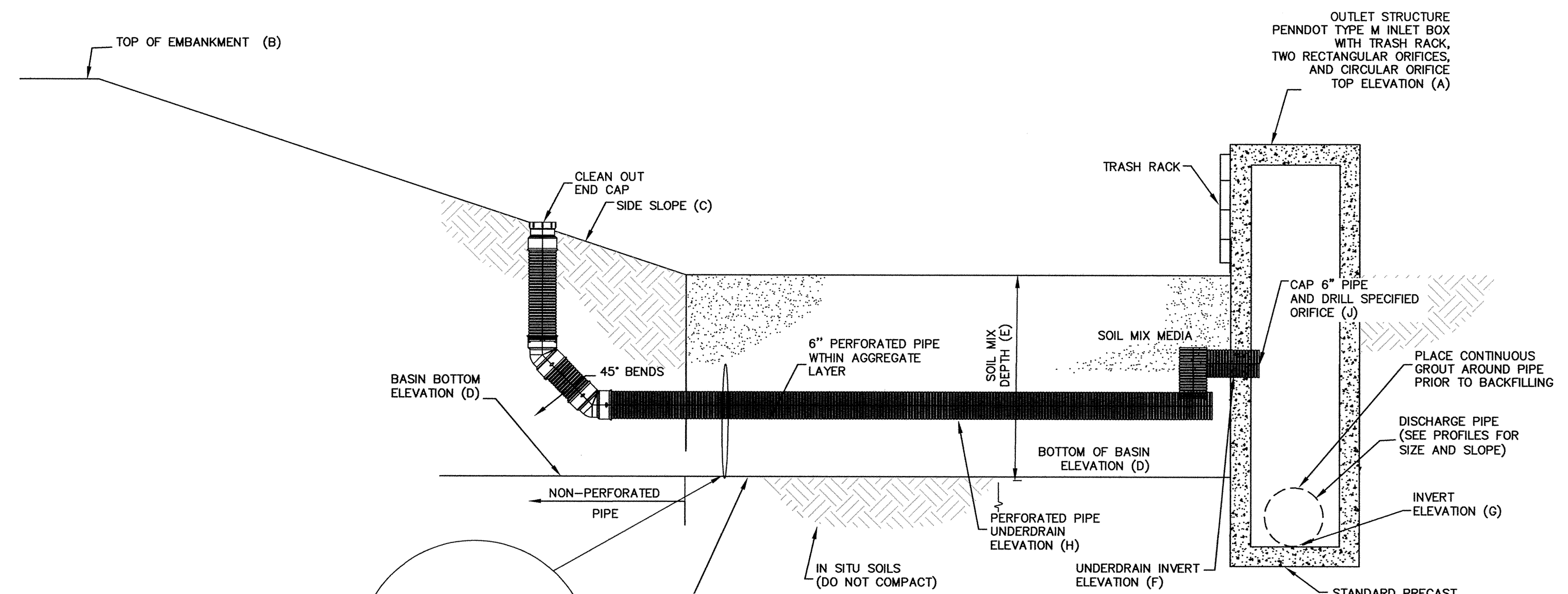
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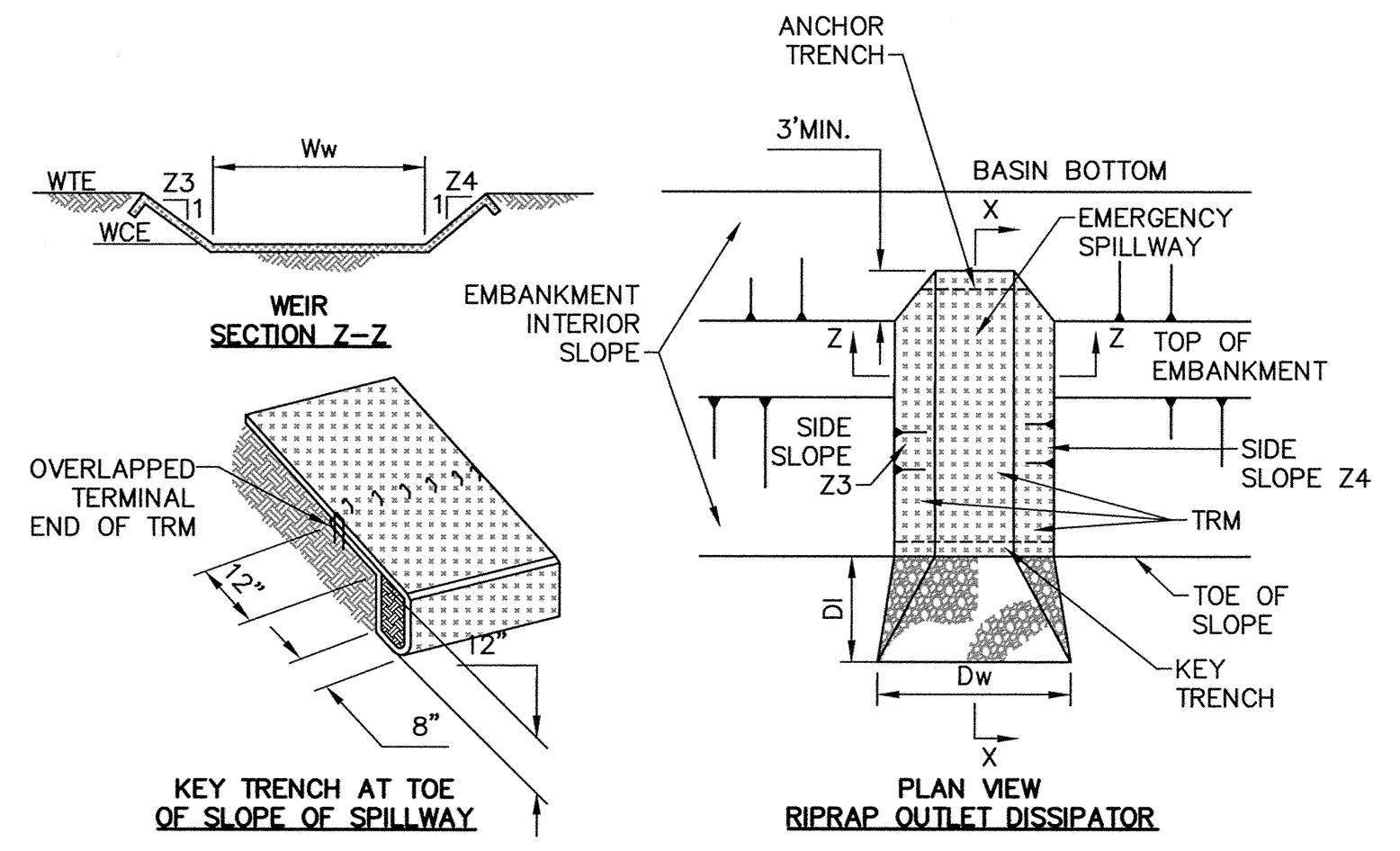
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| SCALE- AS SHOWN | PROJECT R007637.0430 |
| DATE- JULY 2020 | |



- NOTES:**
1. CONSTRUCT ONLY AFTER UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED OR DIVERT RUNOFF DURING CONSTRUCTION.
 2. EXCAVATE TO PROPOSED INVERT ELEVATION AND SCARIFY EXISTING SOILS, DO NOT COMPACT IN-SITU SOILS.
 3. INSTALL OVERFLOW (IF NOT ALREADY INSTALLED) UNDERDRAIN, BEDDING AND GEOTEXTILE FABRIC.
 4. INSTALL AMENDED SOIL MIX AS SPECIFIED BELOW. LIGHT HAND TAMPING IS ACCEPTABLE. OVERFILL AS REQUIRED TO ACCOUNT FOR SETTLEMENT.
 - 4.1. AMENDED SOIL MEDIA SHALL CONSIST OF 20% COMPOST, 20% SAND AND 60% TOPSOIL.
 6. COMPLETE FINAL GRADING, PLANT VEGETATION AND MULCH. PRESOAK PRIOR TO PLANTING
 7. BASINS TO BE SEEDED WITH ERNMX 180
 8. REFER TO GRADING PLAN AND LANDSCAPING PLAN FOR BASIN FACILITY SIZE, LOCATION, AND CONFIGURATION.
 9. REFER TO POST CONSTRUCTION STORMWATER MANAGEMENT REPORT FOR DESIGN CALCULATIONS.

| BASIN NUMBER | TOP ELEVATION (A) | TOP OF EMBANKMENT (FT.) (B) | SIDE SLOPE (C) | BOTTOM OF BASIN ELEVATION (FT.) (D) | SOIL MIX DEPTH (E) (FT.) | UNDERDRAIN INVERT ELEVATION (F) (FT.) | OUTLET PIPE INVERT ELEVATION (G) (FT.) | OUTLET STRUCTURE DIMENSIONS (FT.) | UNDERDRAIN ELEVATION (H) (FT.) | UNDERDRAIN ORIFICE (J) (INCHES) |
|--------------|-------------------|-----------------------------|----------------|-------------------------------------|--------------------------|---------------------------------------|--|-----------------------------------|--------------------------------|---------------------------------|
| 1 | 1191.3 | 1192.5 | 3 | 1186 | 4 | 1187.5 | 1182.7 | 2x2 | 1187 | 1 |
| 2 | 1158.4 | 1160 | 3 | 1153 | 4 | 1154.5 | 1138 | 2x2 | 1154 | 0.7 |

MRC BASINS 1 & 2 W/ PERFORATED UNDERDRAIN
NOT TO SCALE



| BASIN NO. | WEIR | | LINING | | CHANNEL | | DISSIPATOR | | | | | | |
|-----------|---------|---------|-------------------|---------------------|---------------|----------|----------------|---------|-----------------|----------------|---------------|---------------------|-----------------------|
| | Z3 (FT) | Z4 (FT) | TOP ELEV WTE (FT) | CREST ELEV WCE (FT) | WIDTH Ww (FT) | TRM TYPE | STAPLE PATTERN | Z5 (FT) | DEPTH H Cd (FT) | LENGTH DI (FT) | WIDTH Dw (FT) | RIPRAP SIZE (R-...) | RIPRAP THICK DRt (IN) |
| 1 | 3:1 | 3:1 | 1193 | 1191.3 | 50 | SC250 | E | 3 | 1.2 | 15 | 50 | 4 | 18 |
| 2 | 3:1 | 3:1 | 1160 | 1158.5 | 40 | SC250 | E | 3 | 1.5 | 15 | 40 | 4 | 18 |

- NOTES:**
1. HEAVY EQUIPMENT SHALL NOT CROSS OVER SPILLWAY WITHOUT PRECAUTIONS TAKEN TO PROTECT TRM LINING.
 2. DISPLACED LINER WITHIN THE SPILLWAY AND/OR OUTLET CHANNEL SHALL BE REPLACED IMMEDIATELY.
 3. RIPRAP AT TOE OF EMBANKMENT SHALL BE EXTENDED A SUFFICIENT LENGTH IN BOTH DIRECTIONS TO PREVENT SCOUR.
 4. THE USE OF BAFFLES THAT REQUIRE SUPPORT POSTS ARE RESTRICTED FROM USE IN BASINS REQUIRING IMPERVIOUS LINERS.

CONSTRUCTION DETAIL #7-13
EMERGENCY SPILLWAY WITH TRM LINING
NOT TO SCALE

NYOPLAST INLINE DRAIN
NOT TO SCALE

NYOPLAST DRAIN BASIN ADAPTOR MOUNTING ANGLE
NOT TO SCALE

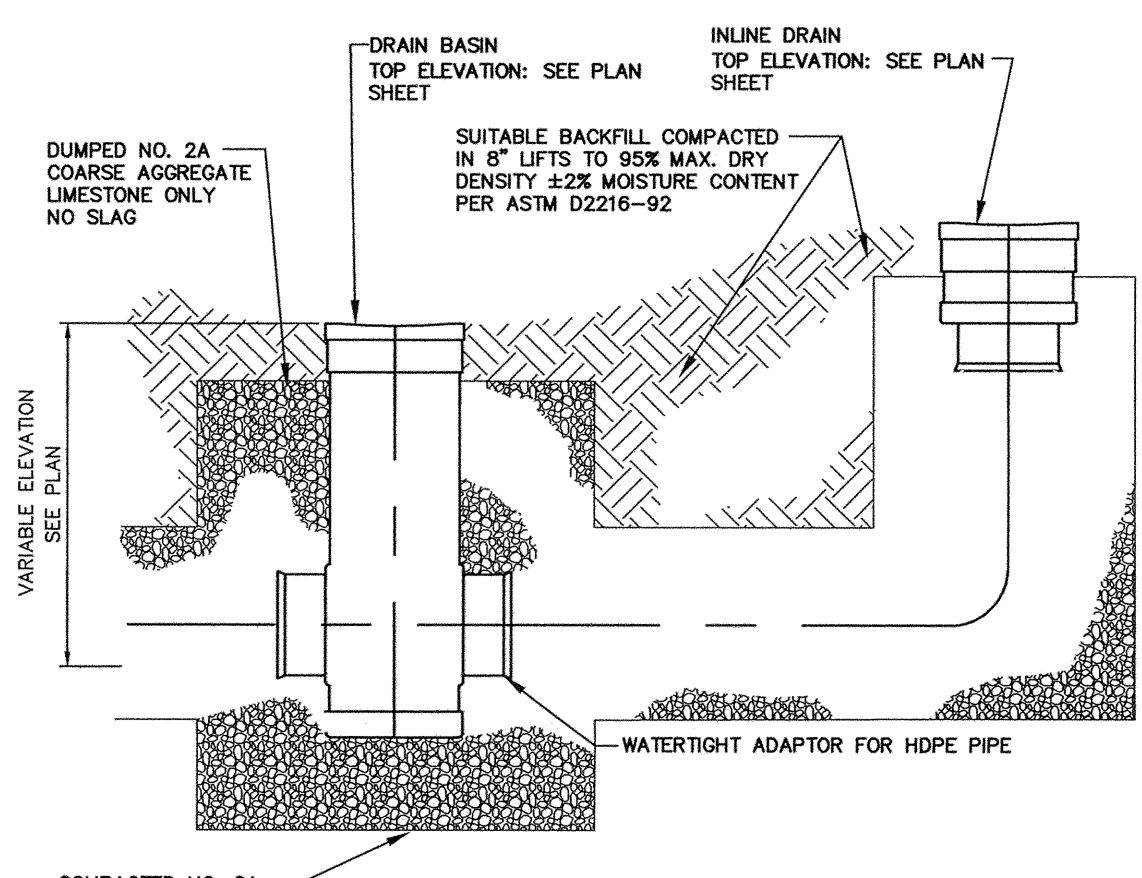
NYOPLAST DRAIN BASIN
NOT TO SCALE

PEDESTRIAN NYOPLAST GRATE
NOT TO SCALE

PROFILE OUTFALL

| LEVEL SPREADER | LENGTH (FT.) (A) | ELEVATION (FT.) (B) |
|----------------|------------------|---------------------|
| 1 | 30 | 1194.5 |
| 2 | 50 | 1120.3 |

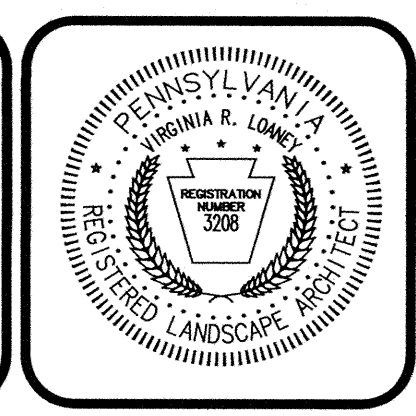
ROCK FILLED TRENCH LEVEL SPREADER OUTFALL DETAIL
NOT TO SCALE



TYPICAL YARD DRAIN INSTALLATION DETAIL FOR NYOPLAST INLINE DRAIN AND DRAIN BASIN WITH HDPE PIPE
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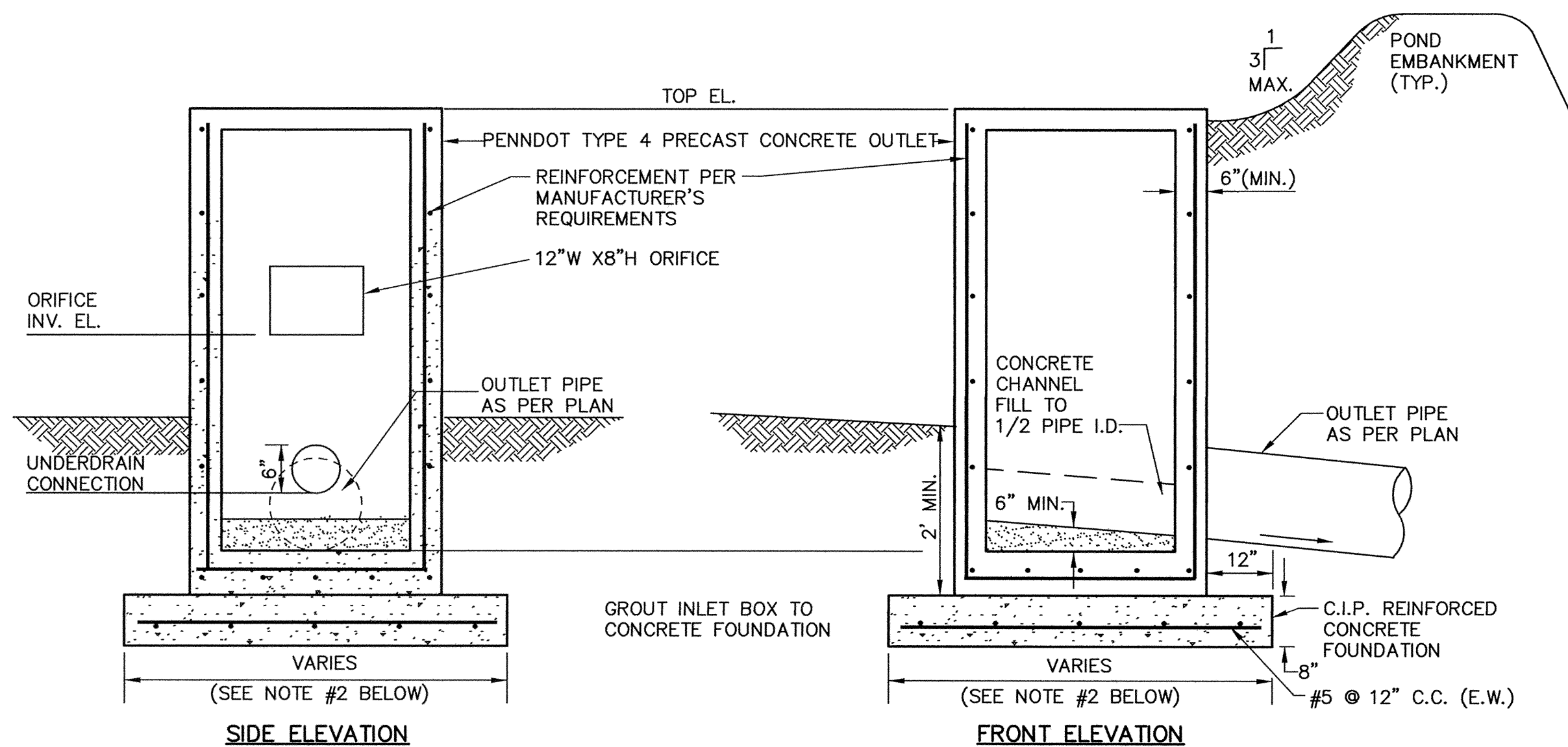
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MRC BASIN 1 OUTLET STRUCTURE DETAIL

| BASIN NUMBER | TOP ELEVATION | UNDERDRAIN ELEVATION | UNDERDRAIN CONNECTION ELEVATION | ORIFICE INV. ELEVATION | DIA. | OUTLET PIPE INVERT ELEVATION |
|--------------|---------------|----------------------|---------------------------------|------------------------|------|------------------------------|
| 1 | 1191.3 | 1186 | 1187.5 | 1190.20 | 15" | 1182.70 |

MRC BASIN 1 OUTLET STRUCTURE DETAIL

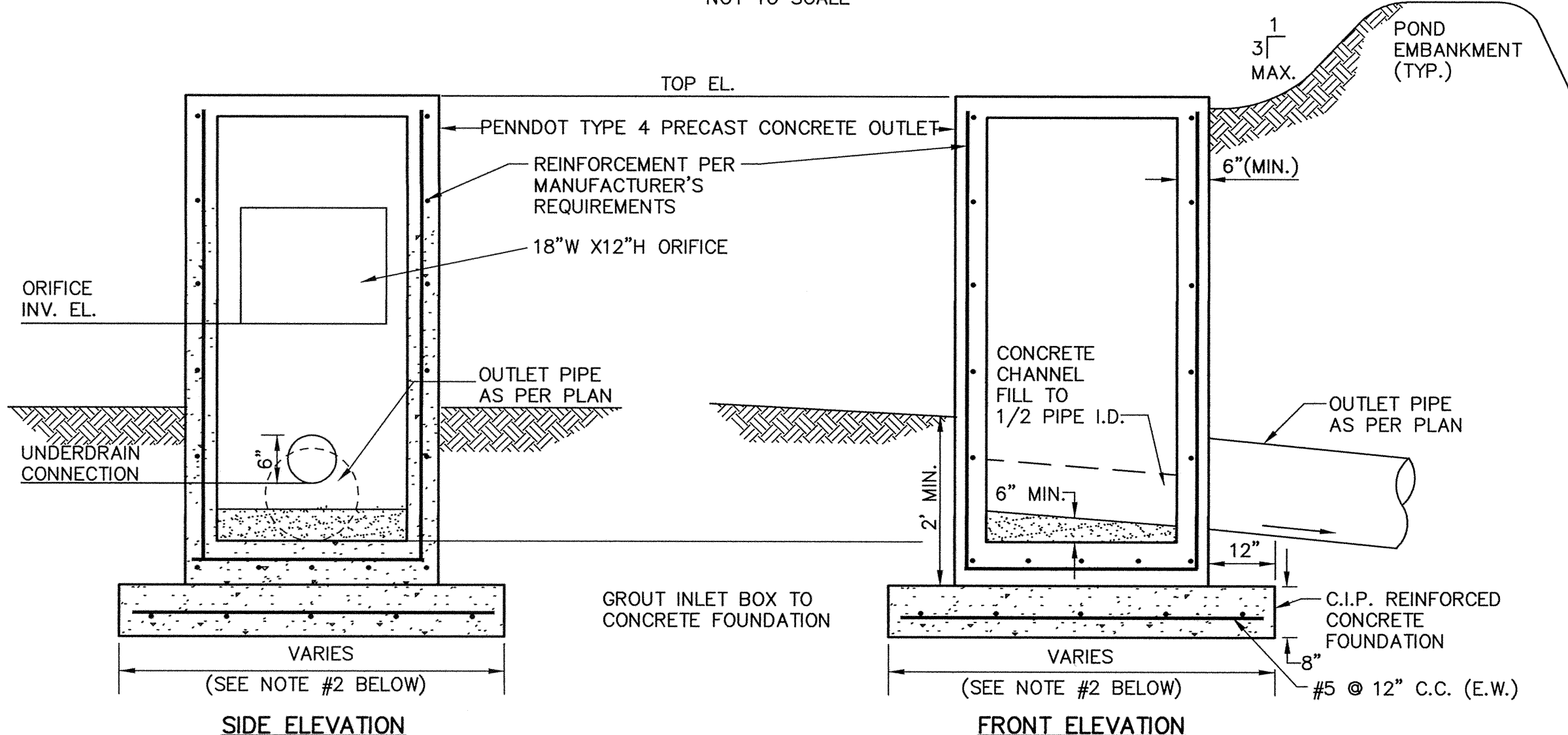
NOT TO SCALE

| OUTLET NO. | PIPE DIA Pd (IN) | RIPRAP | | APRON | | |
|------------|------------------|---------|----------------|----------------|------------------------|-------------------------|
| | | SIZE R- | THICK. Rt (IN) | LENGTH Ai (FT) | INITIAL WIDTH Aiw (FT) | TERMINAL WIDTH Atw (FT) |
| EW-A-1 | 18 | R-6 | 36 | 6 | 4 | 7 |
| EW-A-3 | 30 | R-5 | 27 | 19 | 8 | 27 |
| EW-B-1 | 15 | R-4 | 18 | 8 | 4 | 12 |
| EW-B-3 | 24 | R-5 | 27 | 12 | 6 | 18 |
| EW-C-1 | 15 | R-4 | 18 | 8 | 4 | 12 |
| EW-C-3 | 15 | R-4 | 18 | 8 | 4 | 12 |
| FES-E-2 | 15 | R-4 | 18 | 8 | 4 | 12 |
| FES-D-1 | 15 | R-3 | 9 | 6 | 4 | 12 |
| FES-D-4 | 15 | R-4 | 18 | 6 | 4 | 7 |
| FES-D-7 | 15 | R-4 | 18 | 6 | 4 | 7 |
| FES-E-11 | 18 | R-4 | 18 | 6 | 5 | 7 |
| CHANNEL 4 | 18 | R-6 | 36 | 6 | 5 | 7 |
| EW-(1) | 48 | R-8 | 63 | 17 | 12 | 19 |
| EW-(2) | 48 | R-6 | 36 | 17 | 12 | 19 |

- NOTES:**
- ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.
 - ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

**STANDARD CONSTRUCTION DETAIL #9-1
RIPRAP APRON AT PIPE OUTLET
WITH FLARED END SECTION OR ENDWALL**

NOT TO SCALE



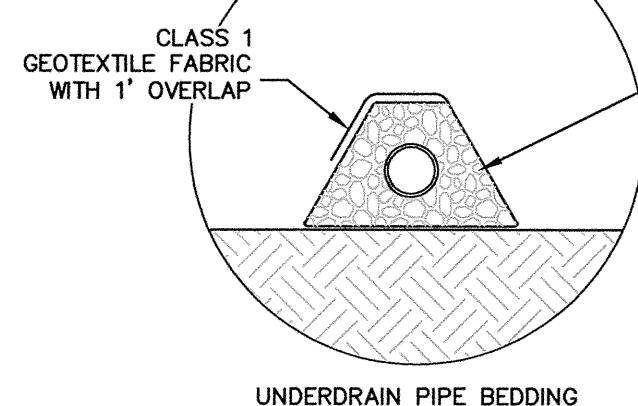
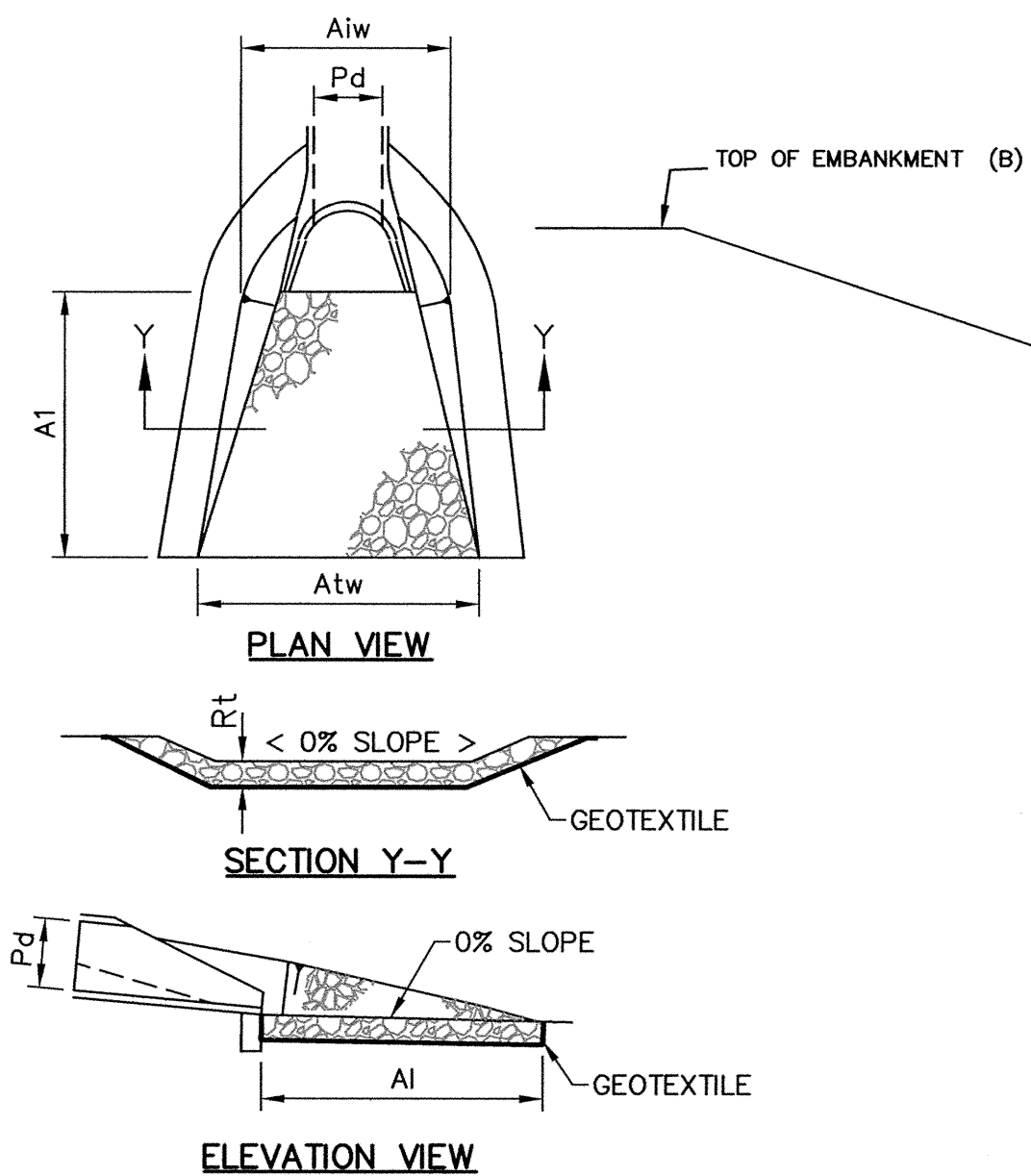
MRC BASIN 2 OUTLET STRUCTURE DETAIL

| BASIN NUMBER | TOP ELEVATION | UNDERDRAIN ELEVATION | UNDERDRAIN CONNECTION ELEVATION | ORIFICE INV. ELEVATION | DIA. | OUTLET PIPE INVERT ELEVATION |
|--------------|---------------|----------------------|---------------------------------|------------------------|------|------------------------------|
| 2 | 1158.4 | 1153 | 1154.5 | 1157.1 | 15" | 1151 |

MRC BASIN 2 OUTLET STRUCTURE DETAIL

NOT TO SCALE

| PLAN BOOK | PAGE |
|-----------|------|
| 388 | 44 |



UNDERDRAIN PIPE BEDDING

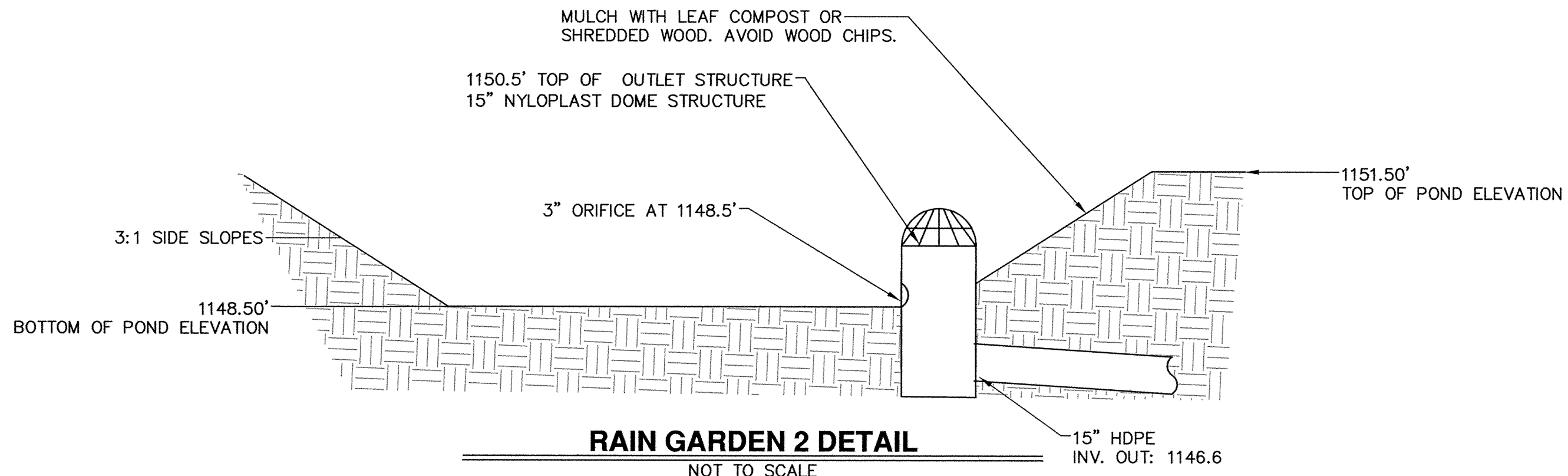
NOTES:

- CONSTRUCT ONLY AFTER UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED OR DIVERT RUNOFF DURING CONSTRUCTION.
- EXCAVATE TO PROPOSED INVERT ELEVATION AND SCARIFY EXISTING SOILS, DO NOT COMPACT IN-SITU SOILS.
- INSTALL OVERFLOW (IF NOT ALREADY INSTALLED) UNDERDRAIN, BEDDING AND GEOTEXTILE FABRIC.
- INSTALL AMENDED SOIL MIX AS SPECIFIED BELOW. LIGHT HAND TAMPING IS ACCEPTABLE. OVERFILL AS REQUIRED TO ACCOUNT FOR SETTLEMENT.
- AMENDED SOIL MIX SHALL CONSIST OF 20% COMPOST, 20% SAND, AND 60% TOPSOIL.
- COMPLETE FINAL GRADING, PLANT VEGETATION AND MULCH. PRESOAK PRIOR TO PLANTING
- RAIN GARDEN TO BE SEED WITH ERNMX 180
- REFER TO GRADING PLAN AND LANDSCAPING PLAN FOR BASIN FACILITY SIZE, LOCATION, AND CONFIGURATION.
- REFER TO POST CONSTRUCTION STORMWATER MANAGEMENT REPORT FOR DESIGN CALCULATIONS.

| RAIN GARDEN NUMBER | TOP ELEVATION (A) | TOP OF EMBANKMENT (FT.) (B) | SIDE SLOPE (C) | BOTTOM OF BASIN ELEVATION (FT.) (D) | SOIL MIX DEPTH (E) (FT.) | UNDERDRAIN INVERT ELEVATION (F) (FT.) | OUTLET PIPE INVERT ELEVATION (G) (FT.) | OUTLET STRUCTURE DIMENSIONS (FT.) | UNDERDRAIN ELEVATION (H) (FT.) | UNDERDRAIN ORIFICE (J) (INCHES) |
|--------------------|-------------------|-----------------------------|----------------|-------------------------------------|--------------------------|---------------------------------------|--|-----------------------------------|--------------------------------|---------------------------------|
| 1 | 1193.7 | 1195.5 | 3 | 1189.5 | 4 | 1191 | 1184.5 | 30" | 1190.5 | 0.5 |

MRC RAIN GARDEN 1 W/ PERFORATED UNDERDRAIN

NOT TO SCALE

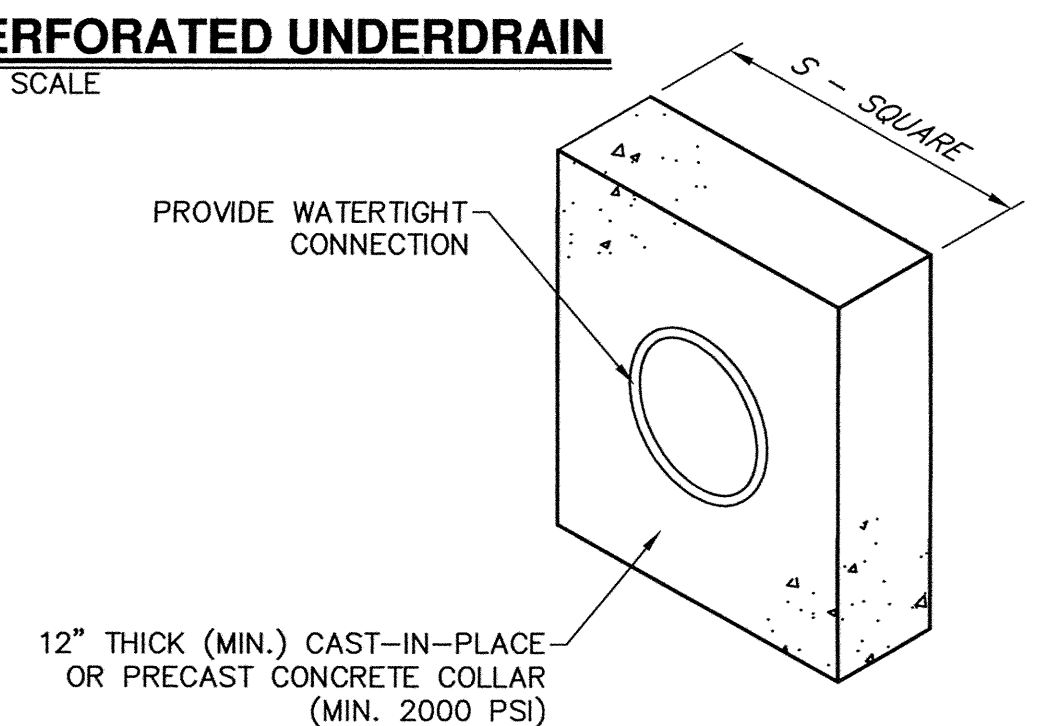


RAIN GARDEN 2 DETAIL

NOT TO SCALE

NOTES:

- COMPLETE FINAL GRADING, PLANT VEGETATION AND MULCH. PRESOAK PRIOR TO PLANTING
- RAIN GARDEN TO BE SEED WITH ERNMX 180
- REFER TO GRADING PLAN AND LANDSCAPING PLAN FOR FACILITY SIZE, LOCATION, AND CONFIGURATION.
- REFER TO POST CONSTRUCTION STORMWATER MANAGEMENT REPORT FOR DESIGN CALCULATIONS.



| BASIN OR TRAP NO. | PIPE SIZE (IN) | S (IN) | NO. OF COLLARS | RISER TO FIRST COLLAR (FT) | COLLAR SPACING (FT) |
|-------------------|----------------|--------|----------------|----------------------------|---------------------|
| BASIN 1 | 18" | 72" | 3 | 10 | 21 |
| BASIN 2 | 18" | 72" | 4 | 3 | 15 |
| RG 1 | 15" | 72" | 3 | 10 | 29 |
| RG 2 | 15" | 84" | 1 | 10 | - |

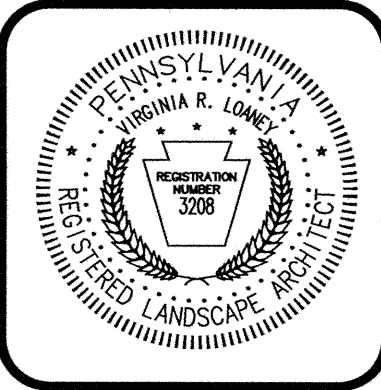
NOTES:

- ALL COLLARS SHALL BE INSTALLED SO AS TO BE WATERTIGHT.
- COLLAR SIZE AND SPACING SHALL BE AS INDICATED WITHIN TABLE.

**STANDARD CONSTRUCTION DETAIL #7-16
CONCRETE ANTI-SEEP COLLARS**

NOT TO SCALE

| NO. | REVISION | DATE | BY |
|-----|----------|------|----|
| | | | |
| | | | |
| | | | |



HRG
Herbert, Rowland & Grubic, Inc.
Engineering & Related Services
AN EMPLOYEE-OWNED COMPANY

200 West Kensing Drive, Suite 400
Cranberry Township, PA 16066
(724) 779-4777
Fax (724) 779-4711
hr@hr-ginc.com
www.hr-ginc.com

SENECA VALLEY SCHOOL DISTRICT
124 SENECA SCHOOL ROAD
HARMONY PA, 16037

PCSM DETAILS
FOR
SVSD - NEW K-4/5-6 SCHOOL

CRANBERRY TOWNSHIP BUTLER COUNTY PENNSYLVANIA

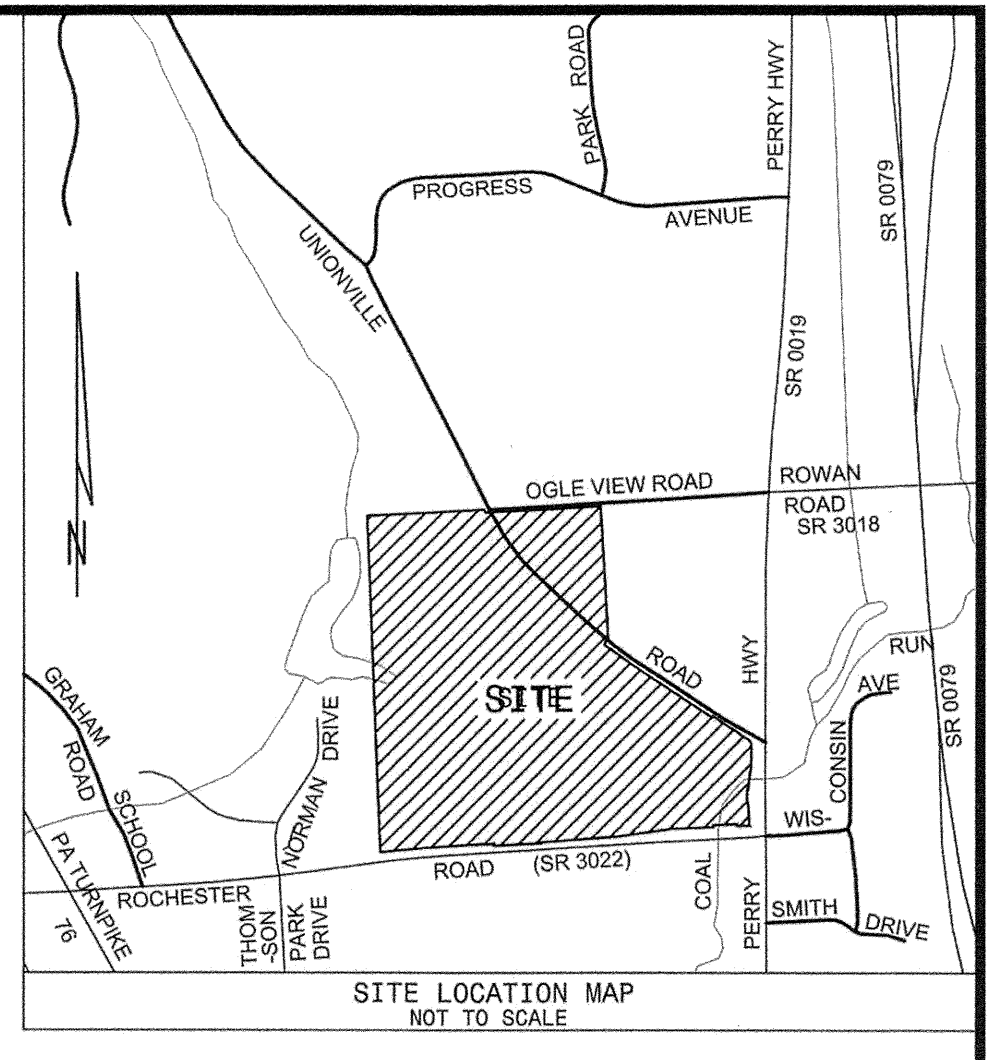
PROJ. MGR. - VRL
DESIGN - VRL/CAB
CADD - CRC
CHECKED - VRL/CAB
SCALE - AS SHOWN
DATE - JULY 2020

DRAWING NO.
C0522

SHEET NO.
64 OF 68

PROJECT R007637.0430

Inst: 20210220023785
 Fig: 1 of 1
 Michele Mustello
 Butler County Recorder PA



LLC OWNERS ADOPTION
 CRANBERRY MEEDER PARTNERS, LLC, A LIMITED LIABILITY COMPANY FORMED IN PENNSYLVANIA OWNER OF THE LAND SHOWN ON THE MEEDER PLAN PHASE 5 & 6 HEREBY ADOPTS THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO CRANBERRY TOWNSHIP. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE COMPANY AND ITS SUCCESSORS AND ASSIGNS.
 WITNESS MY HAND AND SEAL THIS 30th DAY OF Sept 2020
 ATTEST: [Signature] CRANBERRY MEEDER PARTNERS, LLC.
 NOTARY PUBLIC [Signature] PRINTED NAME OF SIGNATORY: Mgr Partner

MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY, HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF CRANBERRY HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS AND FACILITIES.
 [Signature] CHAIRMAN, BOARD OF SUPERVISORS
 TOWNSHIP OF CRANBERRY AGREES NOT TO ISSUE BUILDING PERMITS UNTIL THE "PLANNING MODULE FOR LAND DEVELOPMENT" HAS BEEN APPROVED IN ACCORDANCE WITH THE REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
 [Signature] DATE 10/22/2020
 MUNICIPAL REVIEW AND APPROVAL STATEMENTS
 APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY BY ORDINANCE/RESOLUTION NO. 2020-033 ON THE 23rd DAY OF October 2020.
 [Signature] CHAIRMAN, BOARD OF SUPERVISORS

ACKNOWLEDGMENT
 BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED [Signature], THE ABOVE NAMED REPRESENTATIVE OF CRANBERRY MEEDER PARTNERS, LLC, AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE THE ACT OF THE CORPORATION.
 WITNESS MY HAND AND NOTARIAL SEAL THIS 30th DAY OF Sept 2020
 MY COMMISSION EXPIRES THE 2nd DAY OF Dec 2022
 [Signature] NOTARY PUBLIC
 Commonwealth of Pennsylvania - Notary Seal
 LYNNCA BATESON - Notary Public
 Allegheny County
 My Commission Expires Dec 2, 2022
 Commission Number: 1259279

TOWNSHIP ENGINEER
 I, ANDREE TOWNSHIP MANAGER FOR THE TOWNSHIP OF CRANBERRY, CERTIFY THAT THE CONDITIONS FOR FINAL APPROVAL OUTLINED IN RESOLUTION NO. 2020-033 HAVE BEEN MET IN ACCORDANCE WITH SECTIONS 22-305 AND 22-307 OF THE TOWNSHIP OF CRANBERRY CODE OF ORDINANCES.
 [Signature] TOWNSHIP ENGINEER
 REG. NO. 12-07320
 DATE 10/22/20

CERTIFICATION OF TITLE (NO MORTGAGE)
 I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE MEEDER PLAN PHASE 5 & 6 IS IN THE NAME OF CRANBERRY MEEDER PARTNERS, LLC, AND IS RECORDED IN INSTRUMENT NO. 2020-033. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN, OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.
 [Signature] WITNESS
 [Signature] OWNER
 PRINT NAME: Mgr Partner

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 18th DAY OF March 2020
 [Signature] SECRETARY BC Plan # 20079
 [Signature] CHAIRMAN BUTLER COUNTY PLANNING COMMISSION

SURVEYOR'S CERTIFICATION
 I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.
 DATE 10-7-20
 [Signature] PATRICK T. COOPER, P.L.S.
 REG. NO. SU-040392-E

PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 388, PAGE(S) 45-46
 GIVEN UNDER MY HAND AND SEAL THIS 23rd DAY OF October 2020
 [Signature] RECORDER OF DEEDS
 MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024

OWNER STORMWATER MANAGEMENT CERTIFICATION
 IT SHALL BE UNLAWFUL TO ALTER OR REMOVE ANY PERMANENT STORMWATER BMP REQUIRED BY AN APPROVED STORMWATER MANAGEMENT PLAN OR ALLOW THE PROPERTY TO REMAIN IN A CONDITION WHICH DOES NOT CONFORM TO AN APPROVED STORMWATER MANAGEMENT PLAN, UNLESS THE TOWNSHIP GRANTS AN EXCEPTION IN WRITING.
 [Signature] OWNER SIGNATURE
 DATE 9/30/20

IT SHALL BE UNLAWFUL TO ALTER OR REMOVE ANY PERMANENT STORMWATER BMP REQUIRED BY AN APPROVED STORMWATER MANAGEMENT PLAN OR ALLOW THE PROPERTY TO REMAIN IN A CONDITION WHICH DOES NOT CONFORM TO AN APPROVED STORMWATER MANAGEMENT PLAN, UNLESS THE TOWNSHIP GRANTS AN EXCEPTION IN WRITING.
 [Signature] OWNER SIGNATURE
 DATE 10/21/2020

ENGINEERS STORMWATER MANAGEMENT CERTIFICATION
 I, David M. Heath, HEREBY ACKNOWLEDGE THAT THE STORMWATER BMPs ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY THE TOWNSHIP.
 [Signature] SIGNATURE
 DATE 9/30/2020

IT SHALL BE UNLAWFUL TO ALTER OR REMOVE ANY PERMANENT STORMWATER BMP REQUIRED BY AN APPROVED STORMWATER MANAGEMENT PLAN OR ALLOW THE PROPERTY TO REMAIN IN A CONDITION WHICH DOES NOT CONFORM TO AN APPROVED STORMWATER MANAGEMENT PLAN, UNLESS THE TOWNSHIP GRANTS AN EXCEPTION IN WRITING.
 [Signature] OWNER SIGNATURE
 DATE 10/21/2020

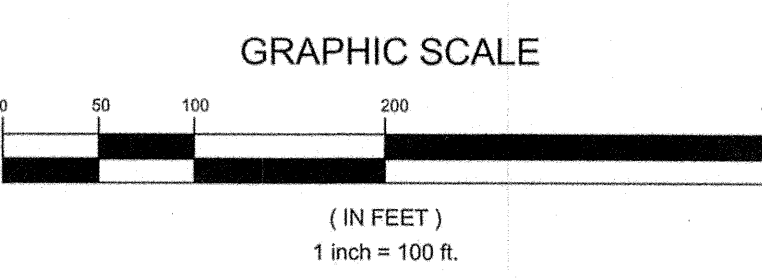
10. THE FOLLOWING SIGNATURE BLOCK CERTIFIES THAT A REGISTERED PROFESSIONAL HAS PREPARED THE STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH TOWNSHIP DESIGN STANDARDS.
 I, David M. Heath, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE CRANBERRY TOWNSHIP STORMWATER ORDINANCE.
 [Signature] SIGNATURE
 DATE 9/30/2020

11. THE FOLLOWING SIGNATURE BLOCK CERTIFIES THAT THE TOWNSHIP ENGINEERS HAS REVIEWED THE STORMWATER MANAGEMENT PLAN.
 I, Tom Szymanski, HAVE REVIEWED THIS STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF THE CRANBERRY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.
 [Signature] SIGNATURE
 DATE 10/29/2020

IT SHALL BE UNLAWFUL TO ALTER OR REMOVE ANY PERMANENT STORMWATER BMP REQUIRED BY AN APPROVED STORMWATER MANAGEMENT PLAN OR ALLOW THE PROPERTY TO REMAIN IN A CONDITION WHICH DOES NOT CONFORM TO AN APPROVED STORMWATER MANAGEMENT PLAN, UNLESS THE TOWNSHIP GRANTS AN EXCEPTION IN WRITING.
 [Signature] OWNER SIGNATURE
 DATE 10/21/2020

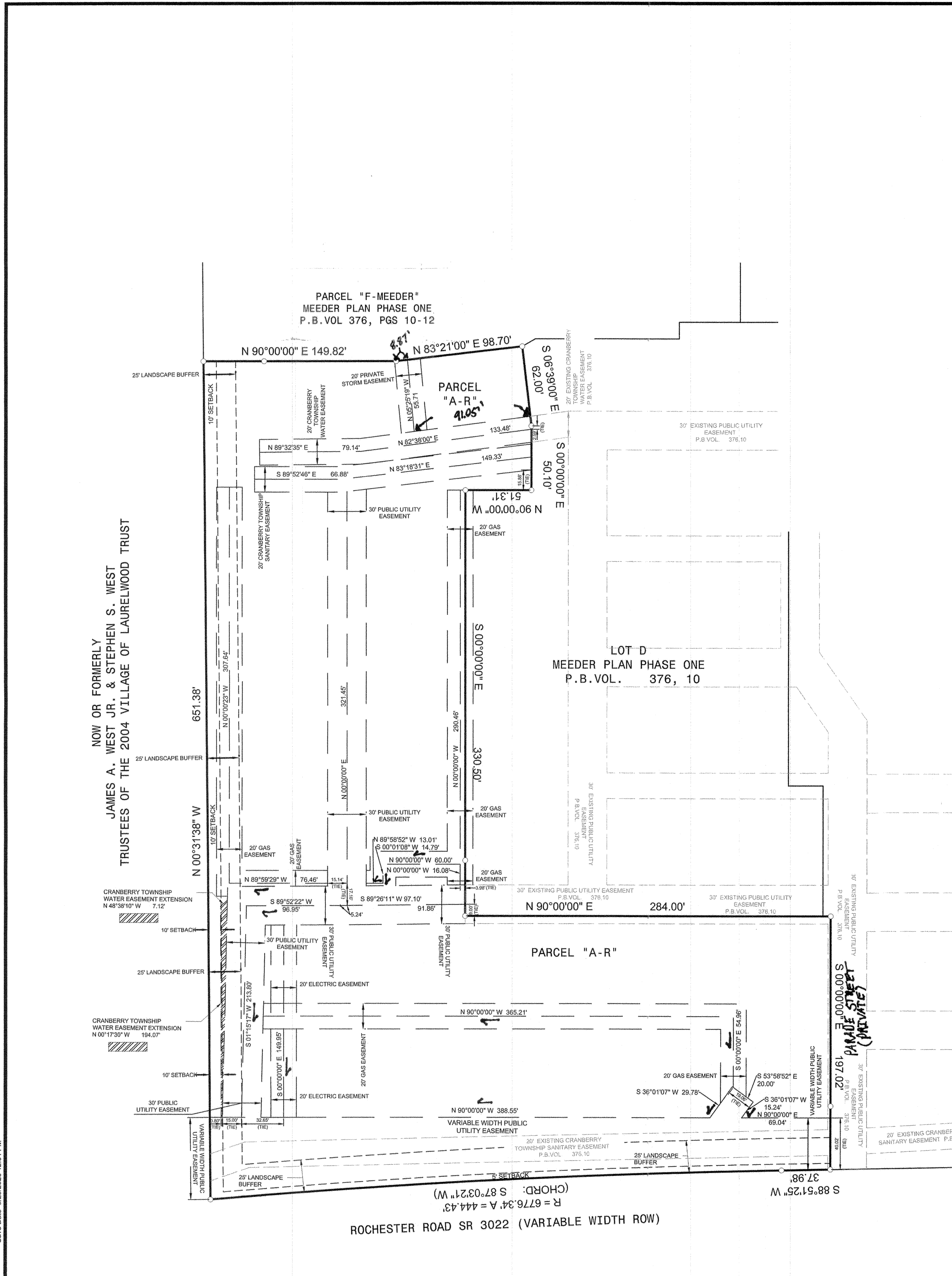
- LEGEND**
- - - - - PROPERTY/ROW LINE
 - - - - - EASEMENT LINES
 - - - - - SETBACK LINES
 - PROPERTY CORNER
 - RIGHT OF WAY
 - R RADIUS
 - A ARC LENGTH
 - TYP TYPICAL

- NOTES:**
- PARCEL "A-R" AS RECORDED IN P.B.V. 376, PG 10 HAS THE SAME BOUNDS AND AREA DATA AS PARCEL "A-R" AS DEFINED IN THIS PLAN. PARCEL "A-R" AREA: 191,946 SQ. FT. OR 4.406 ACRES. THIS PLAN IS FOR THE PURPOSE OF EASEMENTS AND SETBACKS WITHIN PARCEL "A-R".
 - ALL FRONT, SIDE, AND REAR YARD SETBACKS ARE LOCATED 6' FROM THE PROPERTY LINE UNLESS OTHERWISE NOTED ON PLANS.
 - THE SUBJECT PROPERTY LIES IN AREA ZONE X, AREA OF MINIMAL FLOOD HAZARD, & ZONE AE WHICH ARE AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 0.1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE / FUTURE CONDITIONS 1% ANNUAL CHANCE FLOOD HAZARD AS DEPICTED ON FLOOD INSURANCE RATE MAP NUMBER 42019C0303, MAP REVISED AUGUST 2, 2016.
 - ALL STORM SEWERS DEPICTED IN THE PUBLIC RIGHT-OF-WAYS DEPICTED IN THIS PLAN SHALL BE OWNED AND MAINTAINED BY CRANBERRY TOWNSHIP. ALL STORM SEWERS WITHIN THE "PUBLIC UTILITY EASEMENTS" AND UNDER PRIVATE STREETS AND ALLEYS DEPICTED IN THIS PLAN SHALL BE OWNED AND MAINTAINED BY THE MEEDER NEIGHBORHOOD ASSOCIATION. NO STORM SEWERS SHALL BE RE-LOCATED ANYWHERE IN THIS PLAN WITHOUT PRIOR APPROVAL OF CRANBERRY TOWNSHIP.
 - ALL SANITARY EASEMENTS DEPICTED ON THIS PLAN SHALL BE GRANTED AT THE BENEFIT OF THE CRANBERRY TOWNSHIP SEWERS AUTHORITY.
 - ALL WATERLINE EASEMENTS DEPICTED ON THIS PLAN SHALL BE GRANTED AT THE BENEFIT OF THE CRANBERRY TOWNSHIP WATER AUTHORITY.
 - PUBLIC ACCESS IS HEREBY GRANTED OVER THE PRIVATE RIGHT OF WAYS ON THIS PLAN.



OWNER:
 ROCHESTER ROAD INVESTMENT CO.
 1190 DILLERVILLE ROAD
 LANCASTER, PA 17601
 PHONE: 717-560-1400

| | |
|-----------|------|
| PLAN BOOK | PAGE |
| 388 | 45 |



ENGINEER: MICHAEL C. MALAK, PE-073220
 SURVEYOR: PATRICK T. COOPER, 40392-E
 COUNTY PLANNING: BUTLER COUNTY PLANNING COMMISSION
 DEPARTMENT OF REAL ESTATE
 RECORDER OF DEEDS: MICHELE M. MUSTELLO, BUTLER COUNTY, PA
 TOWNSHIP OF CRANBERRY BOARD OF SUPERVISORS

TOTAL PLAN AREA: 191,946 SQ. FT OR 4.406 ACRES

GATEWAY
 The Gateway Engineers, Inc.
 Full-Service Civil Engineering & Surveying
 100 McMorris Road, Pittsburgh, PA 15205
 gatewayengineers.com 855-634-9284

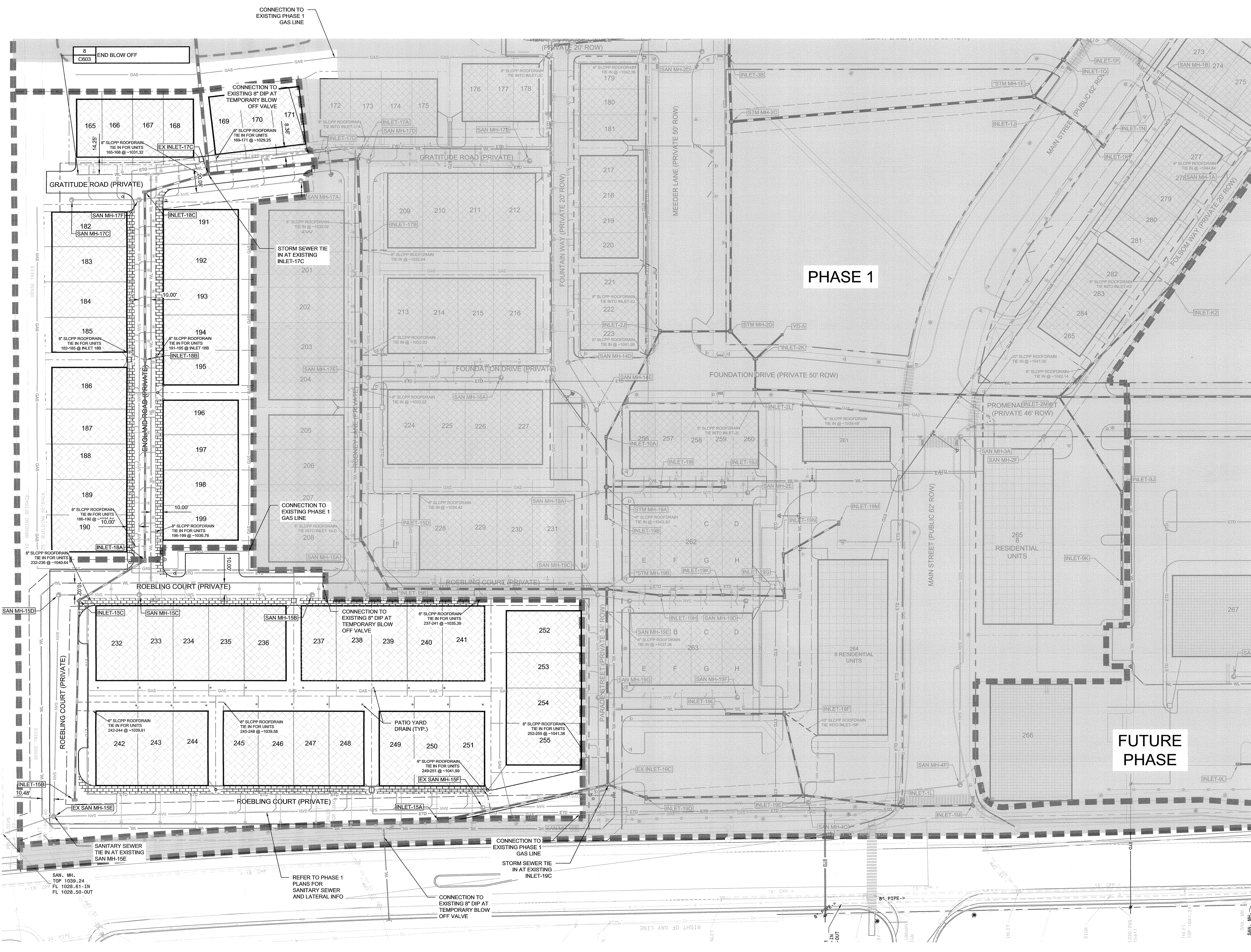
MEEDER PLAN PHASE 5 & 6
 PARCEL "A-R" IN MEEDER PLAN PHASE ONE, AS RECORDED IN P.B.V. 376, PG 10

SITUA IN
 CRANBERRY TOWNSHIP
 BUTLER COUNTY, PA
 MADE FOR
 CRANBERRY MEEDER PARTNERS, LLC.

Date: SEPTEMBER 29, 2020
 Job Number: C-18807-0046
 Dwg No: 403.957 SHEET: 1 OF 1

File Path: G:\Projects\1800018807\Town Center\0408 Phase 5-11 Plot Plan\DWG\02-SheetC101 Plot Plan_VSD.dwg
 Save Date: 9/29/2020 12:04 PM
 15.03

P:\In & Plan\meeders\Projects\1800018007_Cowberry_Town_Center\047_Phases 5 & 6 and 7 - 10.6.1_Submission\DWG\02-Sheet\Phases 5 & 6\C300_Utility_Plan.dwg
 Plot Date: 03/22/2023 10:53 AM
 User: JMS



UTILITY LEGEND

| | |
|--|--|
| | VARIABLES PROPOSED ALLEY AND PARKING |
| | VARIABLES PROPOSED MASONRY PAVERS |
| | VARIABLES PROPOSED STAMPED CONCRETE |
| | PROPOSED STORM LINE |
| | PROPOSED SANITARY LINE |
| | PROPOSED 1 PHASE LOOP ELECTRIC CONDUIT |
| | PROPOSED TRANSFORMER |
| | PROPOSED PEDESTAL |
| | PROPOSED GAS LINE |
| | PROPOSED SANITARY LATERAL CONNECTION |
| | PROPOSED ROOF DRAINS |
| | UTILITY EASEMENT |
| | PROPOSED WATER LINE |
| | PROPOSED WATER LATERAL CONNECTION |
| | PROPOSED WATER VALVE |
| | PROPOSED HYDRANT |
| | END BLOW OFF |

UTILITY ABBREVIATIONS

| | |
|-----|------------------|
| STM | STORM |
| SAN | SANITARY |
| MH | MANHOLE |
| OS | OUTLET STRUCTURE |
| CO | CLEANOUT |
| RD | ROOF DRAIN |
| HW | HEADWALL |
| EW | ENDWALL |

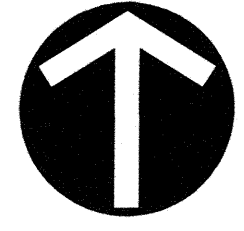
- UTILITY PLAN NOTES:**
- THE WATERLINE SHALL HAVE A MINIMUM OF 48" OF COVER AND HAVE AT LEAST 18" OF VERTICAL SEPARATION AND 10' HORIZONTAL SEPARATION FROM OTHER UTILITIES, UNLESS OTHERWISE NOTED ON THESE PLANS. REFER TO WATER PLAN PROFILES FOR DETAILS OF WATERLINE CONSTRUCTION.
 - ALL ROOF DRAINS ARE TO BE 6" SLOPPED AT A MINIMUM 2% SLOPE UNLESS OTHERWISE NOTED.
 - GAS LINES SHOWN ON PLAN ARE PRELIMINARY AND SUBJECT TO DESIGN REVISIONS BY PROVIDERS ONCE SELECTED.
 - ELECTRIC, TELEPHONE, AND DATA SERVICE SHOWN ON PLAN ARE PRELIMINARY AND SUBJECT TO DESIGN REVISIONS BY INDIVIDUAL PROVIDERS ONCE SELECTED.
 - ALL SANITARY SEWER LATERALS ARE ASSUMED TO BE AS SHOWN ON TOWNSHIP DETAIL SW-25 (TYPE I) UNLESS OTHERWISE NOTED.
 - REFER TO SANITARY PROFILES ON SHEETS C410-C411 FOR ALL SANITARY SEWER LATERAL INFORMATION.
 - ALL SANITARY SEWER LATERALS HAVE CLEANOUTS AT RIGHT-OF-WAY LINE. REFER TO DETAIL 7/C411 FOR CONNECTION TO BUILDINGS.
 - ALL TRANSFORMERS AND PEDESTALS TO BE MOVED TO PROPERTY LINEBACK OF SEWER/WALK.
 - FOR ELEVATION INFORMATION, PIPE TYPE, SLOPES, AND CROSSING INFORMATION, REFER TO SANITARY, STORM, AND WATER PROFILES SHEETS C400-C489.
 - ELECTRIC LINE DESIGN PER PENNPOWER DRAWING DATED NOVEMBER 26, 2018.
 - GAS LINE DESIGN PER PEOPLES NATURAL GAS DRAWING DATED MARCH 16, 2020. PEOPLES NATURAL GAS TO PROVIDE SIZING AND DETAILS.
 - CONTRACTOR TO SIZE STORM STRUCTURE APPROPRIATELY PRIOR TO INSTALLATION.

- EASEMENT NOTES:**
- THE SUBJECT PROPERTY LIES IN AREA ZONE X, AREA OF MINIMAL FLOOD HAZARD, & ZONE AE WHICH ARE AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 0.1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE / FUTURE CONDITIONS 1% ANNUAL CHANCE FLOOD HAZARD AS DEPICTED ON FLOOD INSURANCE RATE MAP NUMBER 42019050030, MAP REVISED AUGUST 2, 2018.
 - ALL STORM SEWERS DEPICTED IN THE PUBLIC RIGHT-OF-WAYS DEPICTED IN THIS PLAN SHALL BE OWNED AND MAINTAINED BY CRANBERRY TOWNSHIP. ALL STORM SEWERS WITHIN THE PUBLIC UTILITY EASEMENTS AND UNDER PRIVATE STREETS AND ALLEYS DEPICTED IN THIS PLAN SHALL BE OWNED AND MAINTAINED BY THE MEEDER NEIGHBORHOOD ASSOCIATION. NO STORM SEWERS SHALL BE RE-LOCATED ANYWHERE IN THIS PLAN WITHOUT PRIOR APPROVAL OF CRANBERRY TOWNSHIP.
 - ALL SANITARY EASEMENTS DEPICTED ON THIS PLAN SHALL BE GRANTED AT THE BENEFIT OF CRANBERRY TOWNSHIP.
 - ALL WATERLINE EASEMENTS DEPICTED ON THIS PLAN SHALL BE GRANTED AT THE BENEFIT OF CRANBERRY TOWNSHIP.
 - PUBLIC ACCESS IS HEREBY GRANTED OVER THE PRIVATE RIGHT OF WAYS ON THIS PLAN.



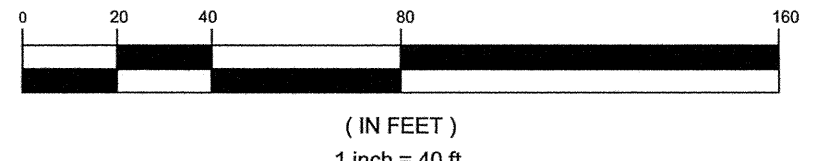
Know what's below.
Call before you dig.

Serial No. 20200510611



NORTH

GRAPHIC SCALE



PROFILE REFERENCE

| | |
|----------|------------|
| STORM | SHEET C401 |
| SANITARY | SHEET C411 |

PLAN BOOK PAGE

| | |
|-----|----|
| 388 | 46 |
|-----|----|

The Gateway Engineers, Inc.
Full-Service Civil Engineering & Surveying
Pittsburgh, PA
gatewayengineers.com

| REVISION RECORD | |
|-----------------|------------|
| No. | Date |
| 01 | 2020-04-09 |
| 02 | 2020-06-08 |
| 03 | 2020-06-30 |
| 04 | 2020-08-13 |
| 05 | 2022-02-10 |
| 06 | |
| 07 | |
| 08 | |

MEEDER
Cranberry Township/Pittsburgh, PA
CHARTERED ENGINEERS & SURVEYORS

UTILITY PLAN

MEEDER PHASES 5 & 6
ROCHESTER ROAD
CRANBERRY TOWNSHIP, PA 16066
PREPARED FOR:
ROCHESTER ROAD INVESTMENT CO.
1190 DILLERVILLE ROAD
LANCASTER, PA 17601

Project Number: C-18807-0044
Drawing Scale: 1" = 40'
Date Issued: MAR 2020
Index Number: -
Drawn By: -
Checked By: JMS/JMG
Project Manager: DMH

C302

OWNERS ADOPTION

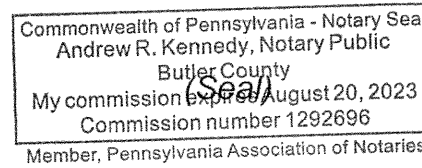
KNOW ALL MEN BY THESE PRESENTS:

That James Roach and Cassandra Roach, Owners, do hereby adopt this Plan of Development of their property situate in the Township of Adams, Butler County Pennsylvania. This dedication shall be binding to their successors, assigns and purchasers of this property, with full understand and agreement that the approval of the Adams Township Board of Supervisors, if hereto attached, will become null and void unless this plan is recorded in the recorder of deeds office of Butler County, Courthouse, Butler Pennsylvania within ninety (90) days of the date of said approval.

Signature [Signature] Signature [Signature]

Before me, the undersigned Notary Public in and for the Commonwealth of Pennsylvania and County of Butler, personally appeared the above named OWNERS, and acknowledged the foregoing adoption and dedication to be their act.

Witness my hand and notarial seal this 30th day of September, 2020



Notary Public [Signature]

MUNICIPAL ENGINEER'S CERTIFICATION

I, Ron Olson, a registered professional engineer, for the Township of Adams, do hereby certify to the best of my knowledge and belief, that this Land Development Plan meets all the engineering and design requirements set forth in the Adams Township Zoning Ordinance except as departures have been authorized by the approval authority.

Date 10-5-2020 Reg. No. 26400E SEAL Signature [Signature]

Township Planning Commission

Reviewed and recommended for approval by the Planning Commission of the Township of Adams, Butler County, Pennsylvania on this 3rd day of June, 2020.

Secretary [Signature] Chairman, Planning Commission [Signature]

Approval by Township of Adams

The Board of Supervisors of the Township of Adams, Butler Co. Pennsylvania, hereby gives notice that it is approving this plan for recording purposes only. The approval of this Plan does not constitute an acceptance of any roads, streets, alleys, stormwater and sanitary drainage facilities, easements, rights of way, water mains or other services or improvements shown on this plan, nor an assumption of maintenance, responsibility nor will the same be accepted or maintained until constructed in accordance with all Township specifications and requirements officially accepted by action of the Township Board of Supervisors.

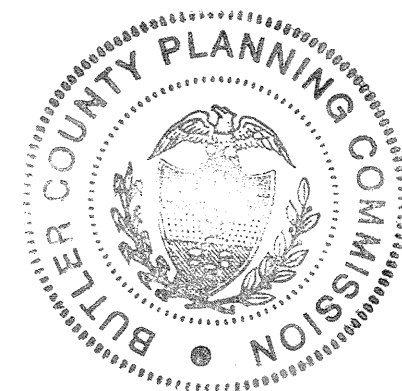
Approved by action of the Board of Supervisors of the Township of Adams, Butler County, Pennsylvania on this 24th day of August, 2020.

Secretary [Signature] Chairman, Board of Supervisors [Signature]
[Signature]
[Signature]
[Signature]

BUTLER COUNTY PLANNING COMMISSION

Reviewed by the Butler County Planning Commission on this 17th day of JUNE, 2020

Secretary [Signature] Chairman [Signature]



Proof of recording

Recorded in the office of the recorder of deeds of the County of Butler, Commonwealth of Pennsylvania, in plan book volume 388, page(s) 47.

Given under my hand and seal this 23rd day of October, 2020.



Recorder of Deeds [Signature]

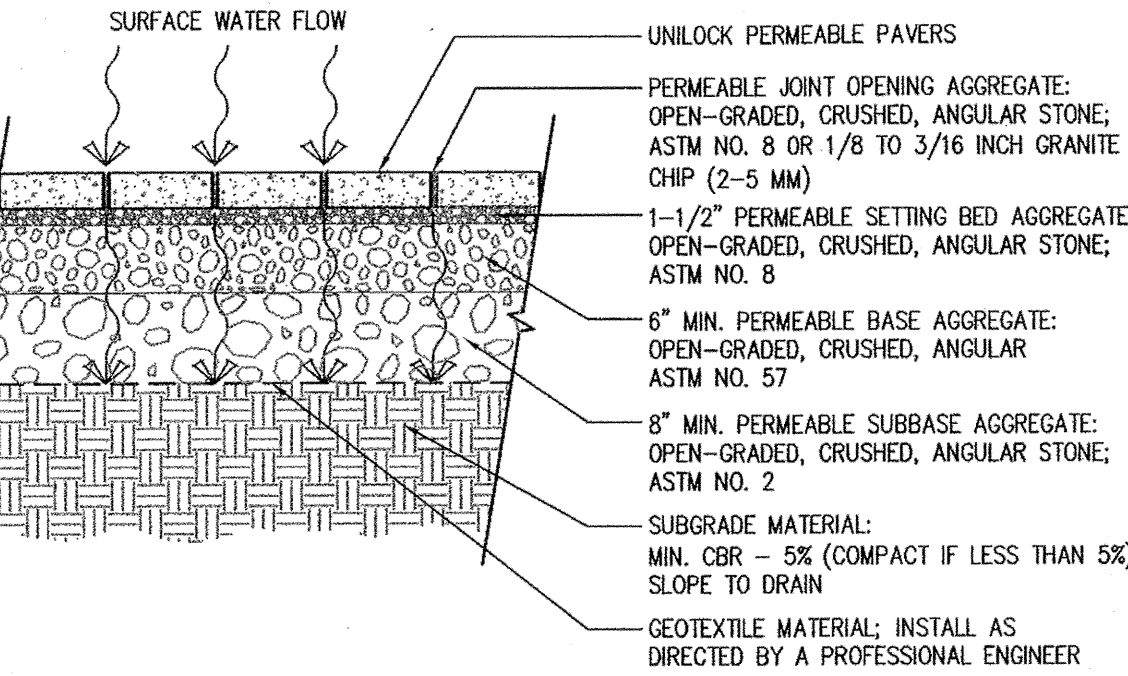
MICHELE M. MUSTELLO
RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024

ARCHITECT'S CERTIFICATION

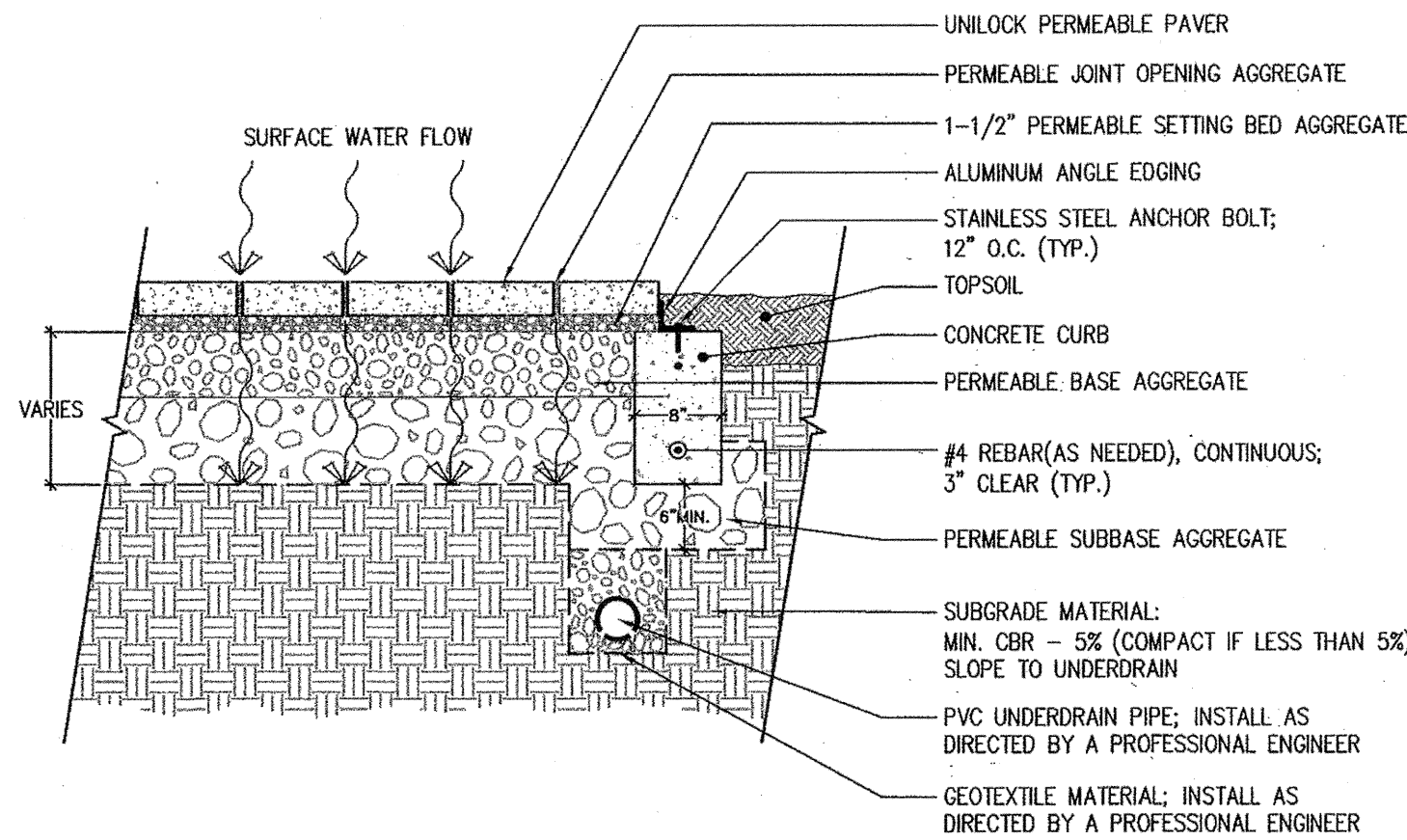
I certify that, to the best of my knowledge, the Existing Conditions Plan and the Design Plan and Details plan shown hereon, are correct and accurate to the best of my knowledge and belief, and that the same conform to the requirements of the applicable laws, codes, ordinances and regulations of the State of Pennsylvania.

Date Sept 20, 2020

[Signature]
 Frederick J. Baehr III R.A.
 PA Reg. No. Ex 9008

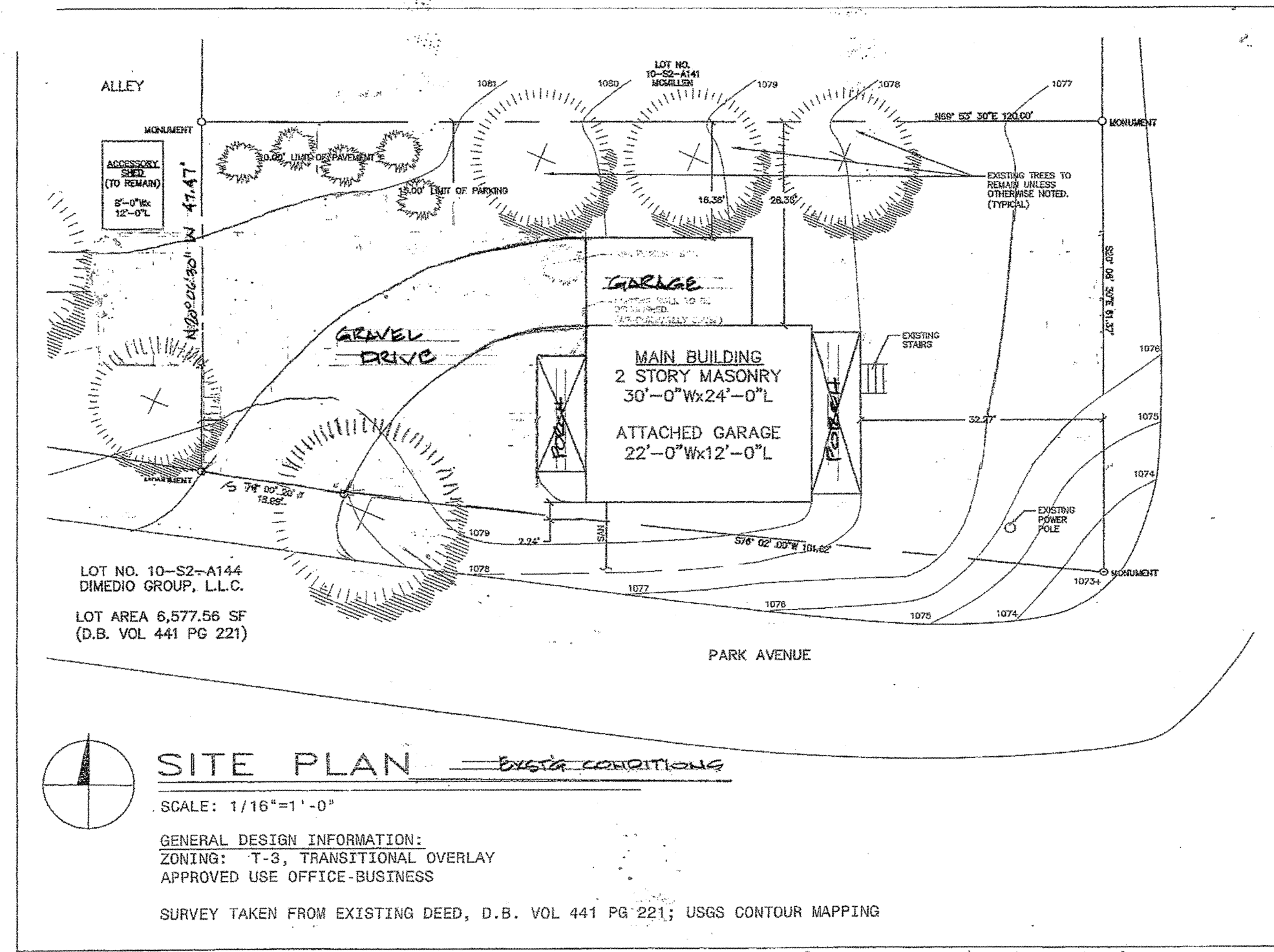


1 LD-High Infiltration Permeable Paver Section
 CS-COM-PERM-T1

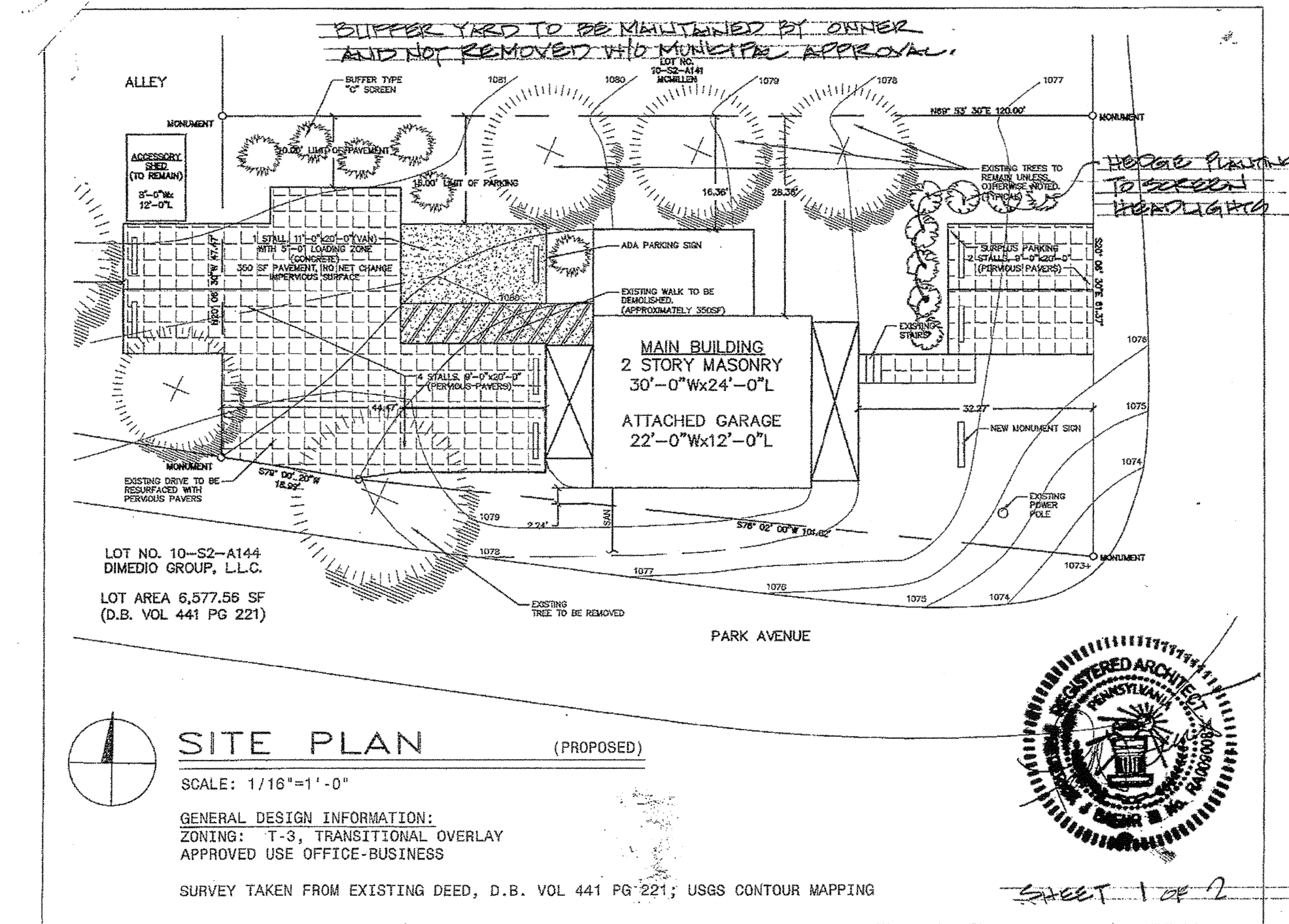


4 Permeable Pavers with Hidden Curb
 CS-COM-PERM-HIDDEN-UNDERDRAIN

Instr: 202010230023917
 Page 1 of 545.00
 Michele Mustello
 Butler County Recorder PA
 10/23/2020 9:52 AM
 T2029017134



REVISION BY F.J. BAHR ARCHITECTS, LLC 6-11-2020

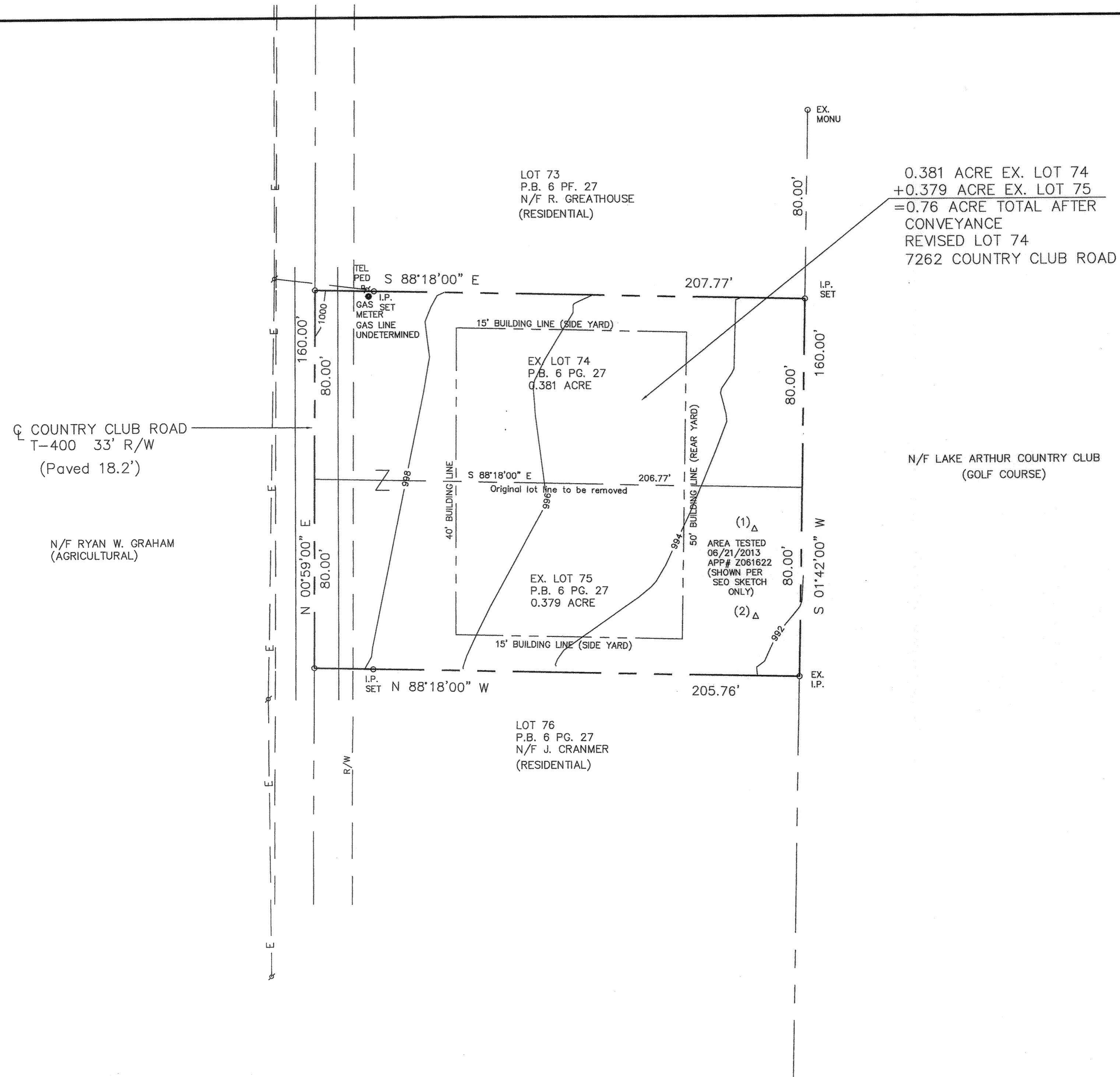


REVISION BY F.J. BAHR ARCHITECTS, LLC

| PLAN BOOK | PAGE |
|------------|-----------|
| 388 | 47 |

| | | | |
|---|---|----------------------|------------------|
| SITE PLAN AND RECORDING INFORMATION | | | |
| Project: Office and Apartment 100 Park Avenue Mars, PA 16001 Adams Township, Butler County | Developer: Wexford Contracting LLC 200 Halstead Blvd Zelienople, PA 16063 | Project Number: 2001 | Date: 7-29-20 |
| F.J. Baehr Architects, LLC 311 Thomson Park Drive, Cranberry Twp., PA 16066 412-364-4486 412-308-5621 fax | | Revisions: | Sheet: A1 |

Inst# 20210230024007
 Fig 1 of 546-00 10/23/2020 2:44 PM
 Michele Mustello
 Butler County Recorder PA T2020017201



0.381 ACRE EX. LOT 74
 +0.379 ACRE EX. LOT 75
 =0.76 ACRE TOTAL AFTER
 CONVEYANCE
 REVISED LOT 74
 7262 COUNTRY CLUB ROAD

COUNTRY CLUB ROAD
 T-400 33' R/W
 (Paved 18.2')

N/F LAKE ARTHUR COUNTRY CLUB
 (GOLF COURSE)

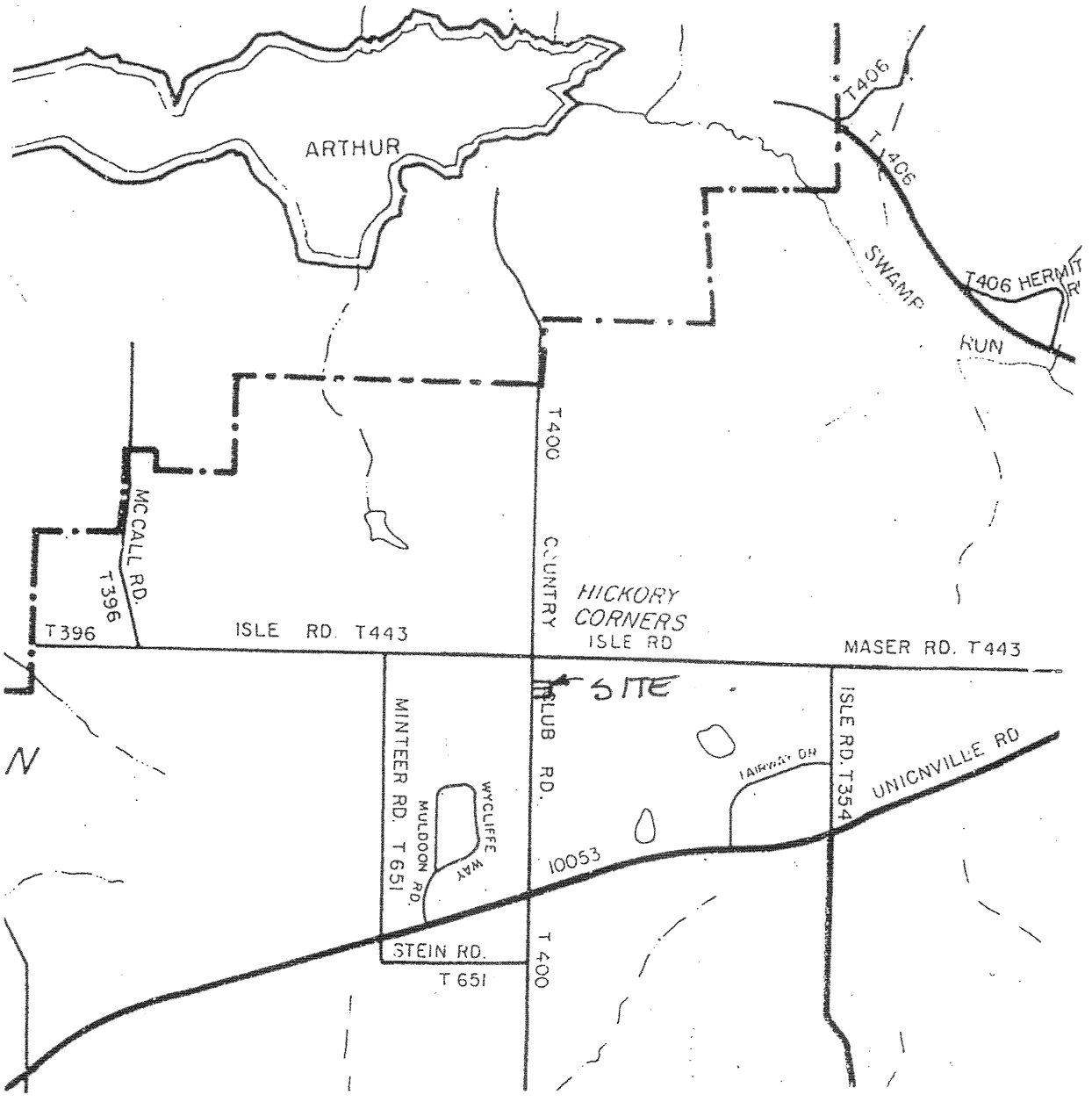
N/F RYAN W. GRAHAM
 (AGRICULTURAL)

LOT 73
 P.B. 6 PF. 27
 N/F R. GREATHOUSE
 (RESIDENTIAL)

EX LOT 74
 P.B. 6 PG. 27
 0.381 ACRE

EX LOT 75
 P.B. 6 PG. 27
 0.379 ACRE

LOT 76
 P.B. 6 PG. 27
 N/F J. CRANMER
 (RESIDENTIAL)



LEGEND
 I.P. IRON PIN
 R/W RIGHT-OF-WAY
 E ELECTRIC LINE
 # POLE

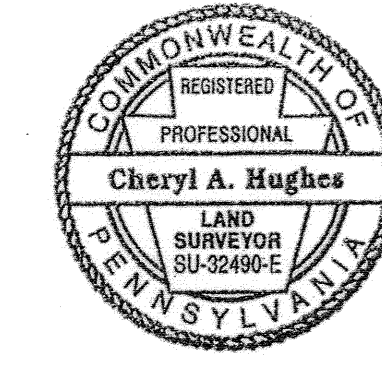
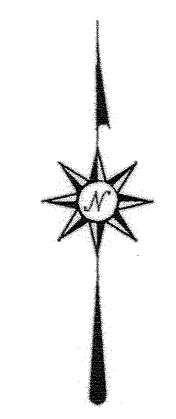
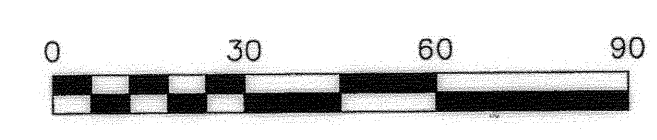
NOTES:
 SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.
 ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREA OF MINIMAL FLOOD HAZARD, DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

PROPERTY OWNER: PETER E. ARMSTRONG, SR.
 1001 NEW CASTLE ROAD
 PROSPECT, PA 16052

ZONING: R-1; RURAL RESIDENTIAL
 BUILDING REQUIREMENTS:
 40' FRONT SETBACK
 15' SIDE SETBACK
 50' REAR SETBACK
 MINIMUM LOT WIDTH: 100'
 MINIMUM LOT SIZE: 43,560 S.F.

THE PURPOSE OF THIS PLAN IS TO COMBINE LOTS 74 AND 75 INTO REVISED LOT 74.
 REF: LOTS 74 AND 75 OF WILLOW LAKE MANOR PLAN AS RECORDED IN R.F. 6 PG. 27.

PROPOSED WATER WELL TO SERVE THIS LOT IS TO BE LOCATED OUTSIDE OF THE 100' ISOLATION DISTANCE FROM THE SEPTIC SYSTEM TO BE BUILT.
 VERTICAL DATUM IS ASSUMED ELEVATION OF 1000.00 AT A PK NAIL AT THE WEST EDGE OF THE PROPERTY.
 NO EXISTING EASEMENTS ARE EVIDENT ON THE PROPERTY.
 NO EXISTING OR PROPOSED GAS WELLS ON THE PROPERTY.
 NO EXISTING WETLANDS ARE EVIDENT ON THE PROPERTY.



I, Peter E. Armstrong, Sr., trustee of Peter E. Armstrong, Sr. Revocable Trust, owner of the land shown on the Lot Line Revision for trustee of Peter E. Armstrong, Sr. Revocable Trust, hereby adopt this plan as my Plan of Lots and irrevocably dedicate all streets and other property identified for dedication on the plan to the public. Any future acceptance of said public streets or property by the Commonwealth of Pennsylvania, County of Butler and Township of Franklin, I hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Franklin, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public streets or property and the physical grading thereof to any grades that may be established. This adoption and dedication shall be binding upon Peter E. Armstrong, Sr., trustee of Peter E. Armstrong, Sr. Revocable Trust, our heirs, executors, assigns.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 29 day of September, 2020.

ATTEST:
 [Signature] Notary Public

COMMONWEALTH OF PENNSYLVANIA)SS:
 COUNTY OF BUTLER

This record was acknowledged before me September 29, 2020 by Peter E. Armstrong, Sr., Trustee of the Peter E. Armstrong, Sr. Revocable Trust, who represents that he is authorized to act on behalf of whom the record was executed.

WITNESS MY HAND AND NOTARIAL SEAL this 29 day of September, 2020.

My Commission expires the 19 day of January, 2024.

SEAL [Signature] Notary Public

I certify that, to the best of my knowledge, that the survey and plan shown hereon correctly represents the lots, lands streets and highways as surveyed and plotted by me.

DATE July 21, 2020 SEAL [Signature] REC. NO. SB-32490-E

The Board of Supervisors of the Township of Franklin hereby gives public notice that in approving this plan for recording purposes only, the Township of Franklin assumes no obligations, legal or otherwise, to accept all streets and other property identified for dedication on the plan.

Approved by the Board of Supervisors of the Township of Franklin by Resolution No. effective this 21st day of September, 2020.

[Signature] Herman W. Bauer
 CHAIRPERSON, BOARD OF SUPERVISORS

Reviewed by the Planning Commission of the Township of Franklin this 8th day of September, 2020.

[Signature] Robert W. Simpson
 CHAIRPERSON, PLANNING COMMISSION

On , 20 , a modification was granted by the Franklin Township Board of Supervisors to Ordinance Article Section Subsection to not delineate wetlands.

Reviewed by the Butler County Planning Commission this 19th day of August, 2020.

[Signature] R. H. Anderson
 CHAIRPERSON, BUTLER COUNTY PLANNING COMMISSION

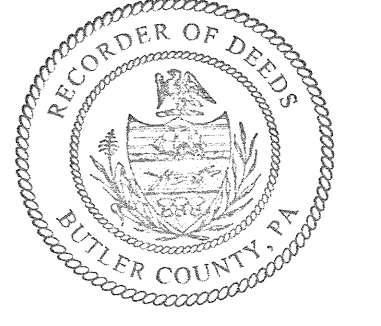
COMMONWEALTH OF PENNSYLVANIA)SS:
 COUNTY OF BUTLER)

Recorded in the Recorder's Office for the recording of deeds, plans, etc. in said County in Plan Book Volume 388 page 48

Given under my hand and seal this 23rd day of October, 2020.

SEAL [Signature] RECORDER

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2024



REVISED: 07/21/2020; TOWNSHIP REVIEW

| | | |
|--|--|-------------|
| L S J | Land Surveyors, Inc. 523 North Main Street P.O. Box 1061 Butler, PA 16003-1061 (724) 287-6865 Cheryl A. Hughes, PLS Owner | |
| | LOT LINE REVISION | |
| FOR: PETER E. ARMSTRONG, SR. REVOCABLE TRUST | | |
| SITUATE: FRANKLIN TOWNSHIP, BUTLER CO., PA | | |
| Date 05/06/2020 | Scale 1" = 30' | Dwn By BEC |
| Parcel No. 170-S3-A74 & A75 | Instrument # | Service No. |
| Address COUNTRY CLUB ROAD | 201006240013889 | 20-028 |

| | |
|------------|-----------|
| PLAN BOOK | PAGE |
| 388 | 48 |

OWNER'S ADOPTION
 Know all men by these Presents, That We Thomas M. Jr. & Lindsay R. Pie, of the Township of Forward, County of Butler and State of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this Plan as our Plan of our property situated in Forward Township and do hereby dedicate forever for public use for highway and utility purposes, all drives, roads, lanes, ways, rights-of-way and other public highways shown upon the plan, and we release, remise and discharge the Township of Forward, its successor or assigns, of and from all liability, courses of action, claims or damages arising from or pertaining to in any manner said roads and rights-of-way.

We further agree that said plan is approved by the Township of Forward for "Planning Purposes Only" and that said township shall not issue any "Building Permits" for lots contained herein, nor shall any lots be deeded until either all of said roads and improvements in accordance with Forward Township Ordinances have been completed and accepted by said township or until the township has approved a bond with sufficient surety to guarantee construction of the same.

IN WITNESS OF WHICH, to this We set our hand and seal this 22 day of October, 2020.

INSTR: 202010270024296
 Page 1 of 48.00
 10/27/2020 3:45 PM
 Michele Mustello
 Butler County Recorder PA
 T3020017464

ATTEST:
Sandray Everett
 Sandray Everett, Notary Public
 My commission expires June 29, 2023
 Commission number 1291688

Thomas M. Pie Jr.
 Thomas M. Pie Jr.
Lindsay R. Pie
 Lindsay R. Pie

INDIVIDUAL ACKNOWLEDGEMENT
 COMMONWEALTH OF PENNSYLVANIA) SS:
 COUNTY OF BUTLER)
 Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Thomas M. Jr. & Lindsay R. Pie, and acknowledged the foregoing release and dedication and plan to be their act and deed and desires the same to be recorded as such.

Sworn to and subscribed before me this 22 day of October, 2020.

My commission expires June 29, 2023
 Commission number 1291688

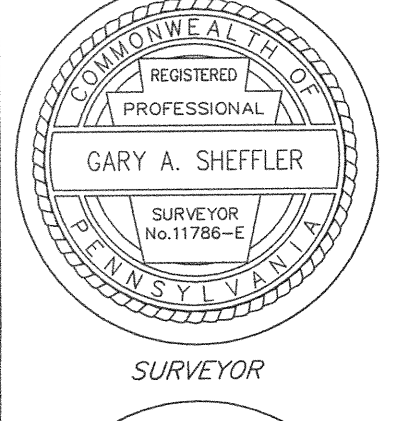
TITLE CLAUSE (MORTGAGE CLAUSE)
 We, Thomas M. Jr. & Lindsay R. Pie owners of the Pie Plan of Lots No. 1, do hereby certify that the title of this property is in the name of Thomas M. Jr. & Lindsay R. Pie as recorded in Instrument Number 202006180011288, Recorder of Deeds Office.

Sandray Everett
 Sandray Everett, Notary Public
 My commission expires June 29, 2023
 Commission number 1291688

Thomas M. Pie Jr.
 Thomas M. Pie Jr.
Lindsay R. Pie
 Lindsay R. Pie

We, *Archie Green Credit Union* by *Archie Green Credit Union* Mortgagee of the property embraced in this plan or subdivision, Pie Plan of Lots No. 1, do hereby consent to the recording of said plan in the Recorder's Office of Butler County, Pennsylvania and to the dedications and covenants appearing hereon.

Archie Green Credit Union
 Archie Green Credit Union
Archie Green Credit Union
 Archie Green Credit Union



SURVEYOR'S CERTIFICATION
 I, Gary A. Sheffler, a Registered Surveyor of the Commonwealth of Pennsylvania, do hereby certify that the plans shown herein are based upon actual field survey of the land described and that in my professional opinion all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan and that this plan correctly represents the lots, land, streets and highways as surveyed and plotted by me for the owners or agents.

Gary A. Sheffler
 Gary A. Sheffler, PLS Reg. No. 11786-E
 Date: 9/15/2020

LOCAL AUTHORITY STIPULATION
 The Board of Supervisors of the Township of Forward hereby gives public notice that in approving this plan for recording purposes only, the Township assumes no obligations, legal or otherwise, expressed or implied either to accept said streets as Township streets or roads, or to grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

Sandray Everett
 Sandray Everett, Secretary

LOCAL AUTHORITY STIPULATION
 Approved by the Board of Supervisors of the Township of Forward this 13 day of October, 2020.

Sandray Everett
 Sandray Everett, Secretary

LOCAL PLANNING COMMISSION APPROVAL
 Approved by the Forward Township Planning Commission this 22 day of October, 2020.

Bette D'Amico
 Bette D'Amico, Chairman

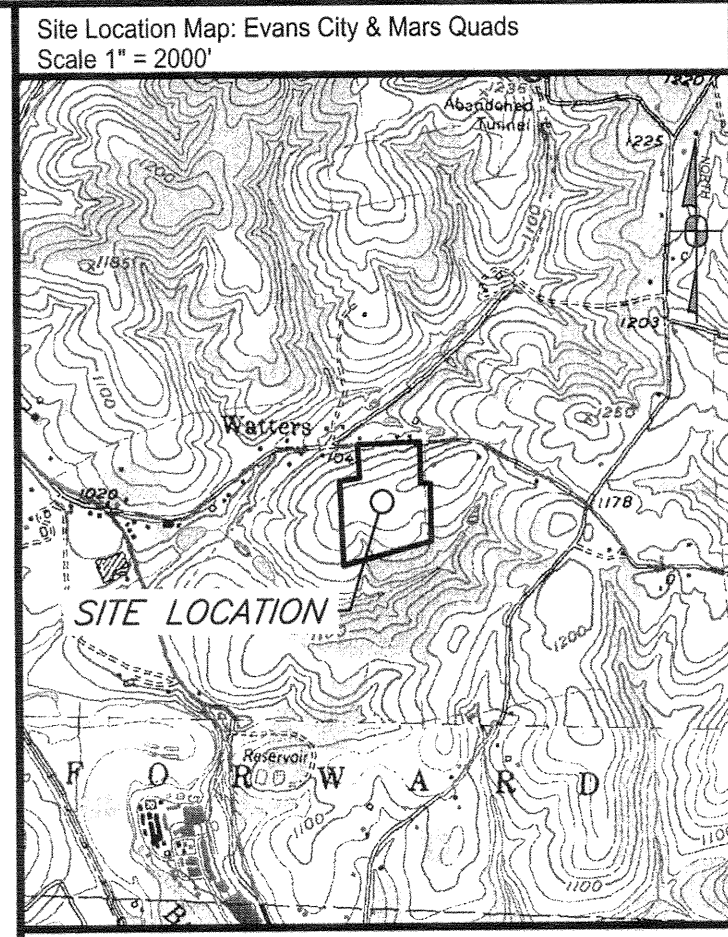
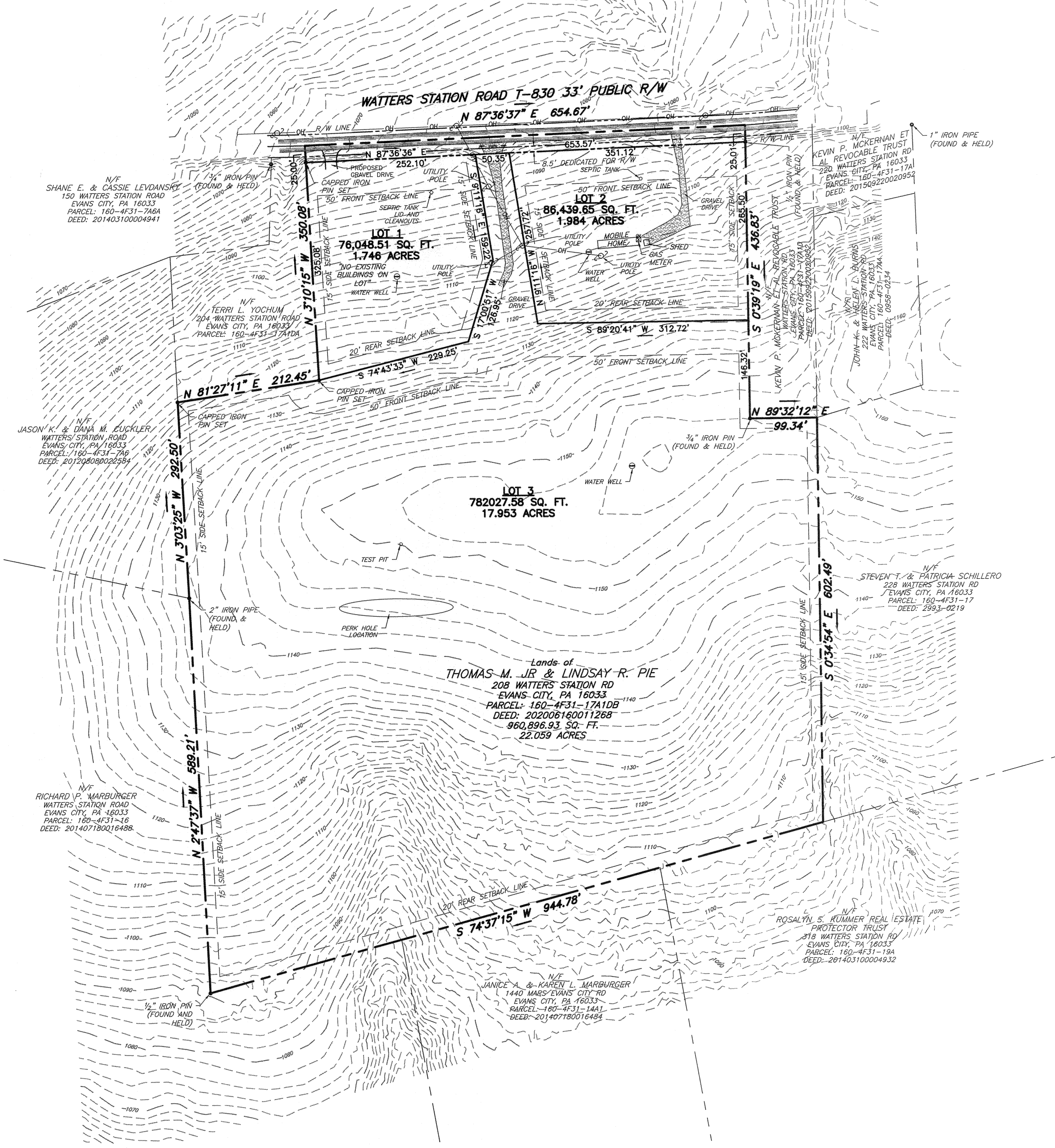
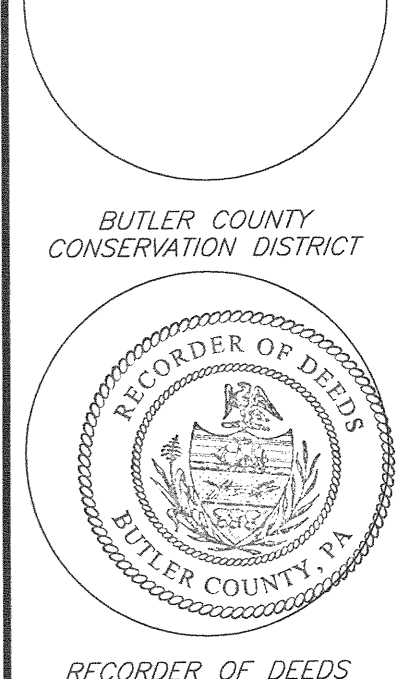
COUNTY PLANNING COMMISSION REVIEW
 Reviewed by the Butler County Planning Commission this 21st day of Oct., 2020.

R. H. ...
 R. H. ..., Chairman

PROOF OF RECORDING
 COMMONWEALTH OF PENNSYLVANIA) SS:
 COUNTY OF BUTLER)
 Recorded in the Recorder's Office for the recording of deeds, plans, etc., in said County in Plan Book Volume 388, page 49.

Given under my hand and seal this 27 day of October, 2020.

Michele M. Mustello
 Michele M. Mustello
 Recorder of Deeds
 My Commission Expires First Monday in January 2024



- General Notes:**
1. MERIDIAN SHOWN HEREON IS BASED ON GRID NORTH PER GPS OBSERVATIONS CONDUCTED IN PENNSYLVANIA SOUTH STATE PLANE 140183. INTERSECTION ANGLES FOR THE EXISTING PROPERTIES SHOWN HEREON ARE BASED UPON DEEDS OF RECORD.
 2. THE UNDERGROUND UTILITIES SHOWN ON THIS SURVEY HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, MARKINGS PROVIDED BY THE UTILITY COMPANIES AND EXISTING DRAWINGS OBTAINED FROM THE UTILITY COMPANIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. ALL UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY/ALL CONSTRUCTION PROJECTS.
 3. HORIZONTAL CONTROL, SHOWN HEREON IS PENNSYLVANIA SOUTH STATE PLANE 140183. VERTICAL CONTROL IS NAVD83.
 4. BY GRAPHIC PLOTTING ONLY, THE SUBJECT PREMISES LIES WITHIN FLOOD ZONE X, OTHER AREAS, AS SHOWN ON FEMA FIRM MAP COMMUNITY PANEL NO. 42010C03000 & 42010C03040, BEARING AN EFFECTIVE DATE OF 08/02/2016. ZONE X OTHER AREAS, DENOTES AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
 5. CONTOURS SHOWN HEREON ARE LIDAR CONTOURS TAKEN FROM PDS04. LIDAR CONTOURS AND ARE ONLY ACCURATE TO HALF THE CONTOUR INTERVAL.

LOT AND BLOCK REQUIREMENTS

FORWARD TOWNSHIP CURRENTLY HAS NO ZONING ORDINANCE THE FOLLOWING REQUIREMENTS ARE FROM § 22-407 LOT AND BLOCK REQUIREMENTS OF SUBDIVISION AND LAND DEVELOPMENT ORDINANCE

| | |
|------------------|---|
| MIN. LOT AREA: | 43660 SQUARE FEET FOR SECTIONS W/O COMMUNITY SEWAGE AND WATER |
| MIN. LOT WIDTH: | 100 FEET AT THE BUILDING LINE FOR SECTIONS W/O COMMUNITY SEWAGE AND WATER |
| MIN. FRONT YARD: | 50 FEET MEASURED FROM THE RIGHT OF WAY LINE |
| MIN. SIDE YARD: | 15 FEET |
| MIN. REAR YARD: | 20 FEET |

PROPOSED SUBDIVISION AREA

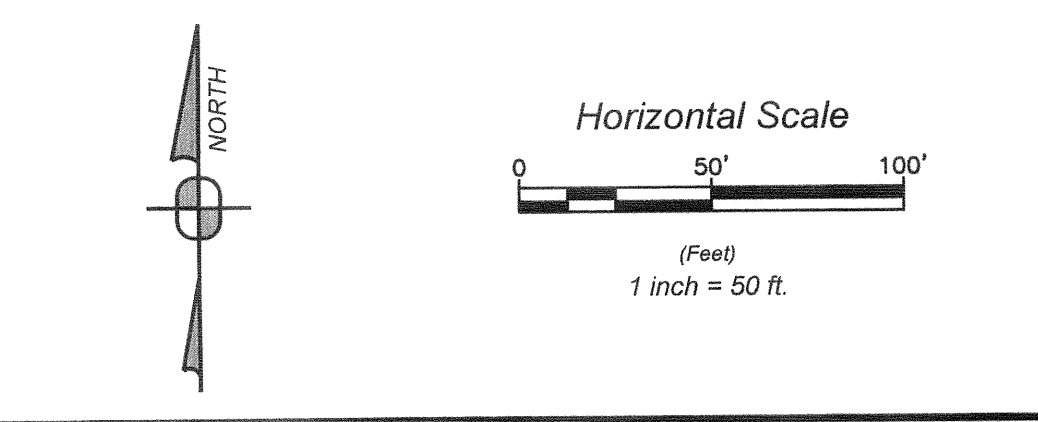
| ORG. | AREA | AREA |
|-------------------------|--------------------|------------|
| ORG. 160-4F31-17A1DB | 960,896.93 SQ. FT. | 22.059 AC. |
| LOT 1 | 76,048.51 SQ. FT. | 1.746 AC. |
| LOT 2 | 86,439.65 SQ. FT. | 1.984 AC. |
| LOT 3 | 782,027.58 SQ. FT. | 17.985 AC. |
| EX. R/W WITH PROPERTY | 10,796.01 SQ. FT. | 0.248 AC. |
| ADD. R/W FOR DEDICATION | 5,558.16 SQ. FT. | 0.128 AC. |

PLAN BOOK **388** PAGE **49**

811 Know what's below. Call before you dig.

POCS SER. # DESIGN - DIG -

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



| Date: | Revision Description: | By: | Professional Seal: | Prepared By: |
|------------|-----------------------|-----|--------------------|--------------|
| 09/15/2020 | Original Submittal | MWS | | |

Sheffler & Company, Inc.
 ENGINEERING • SURVEYING

1712 Mount Nebo Road
 Sewickley, PA 15143

Office Phone: 412-219-4509
 Email: info@shefflerco.com

Pie Plan of Lots No. 1

Prepared For:
Thomas M. Pie

Situate In:
Forward Township, Butler County, Pennsylvania

Being a 3 Lot Subdivision Plan of Butler County Tax Parcel 160-4F3117A1DB

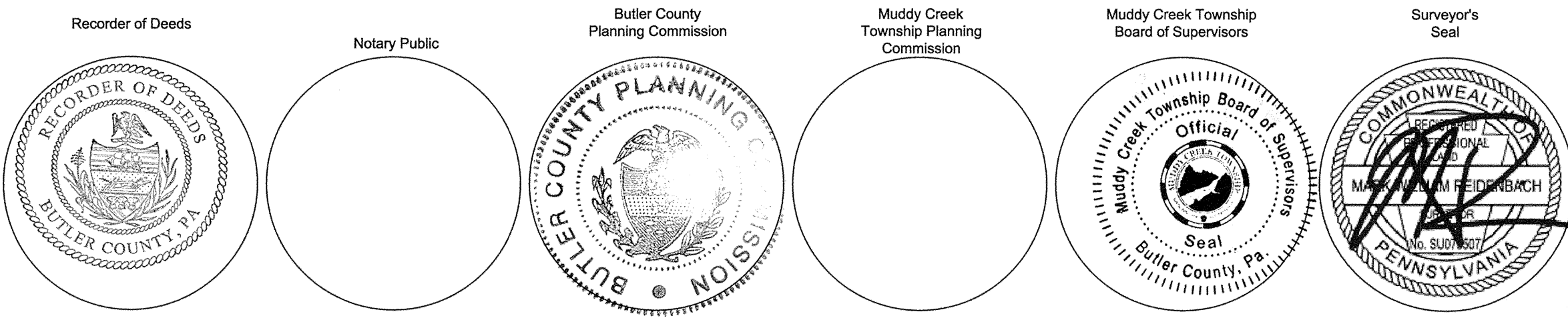
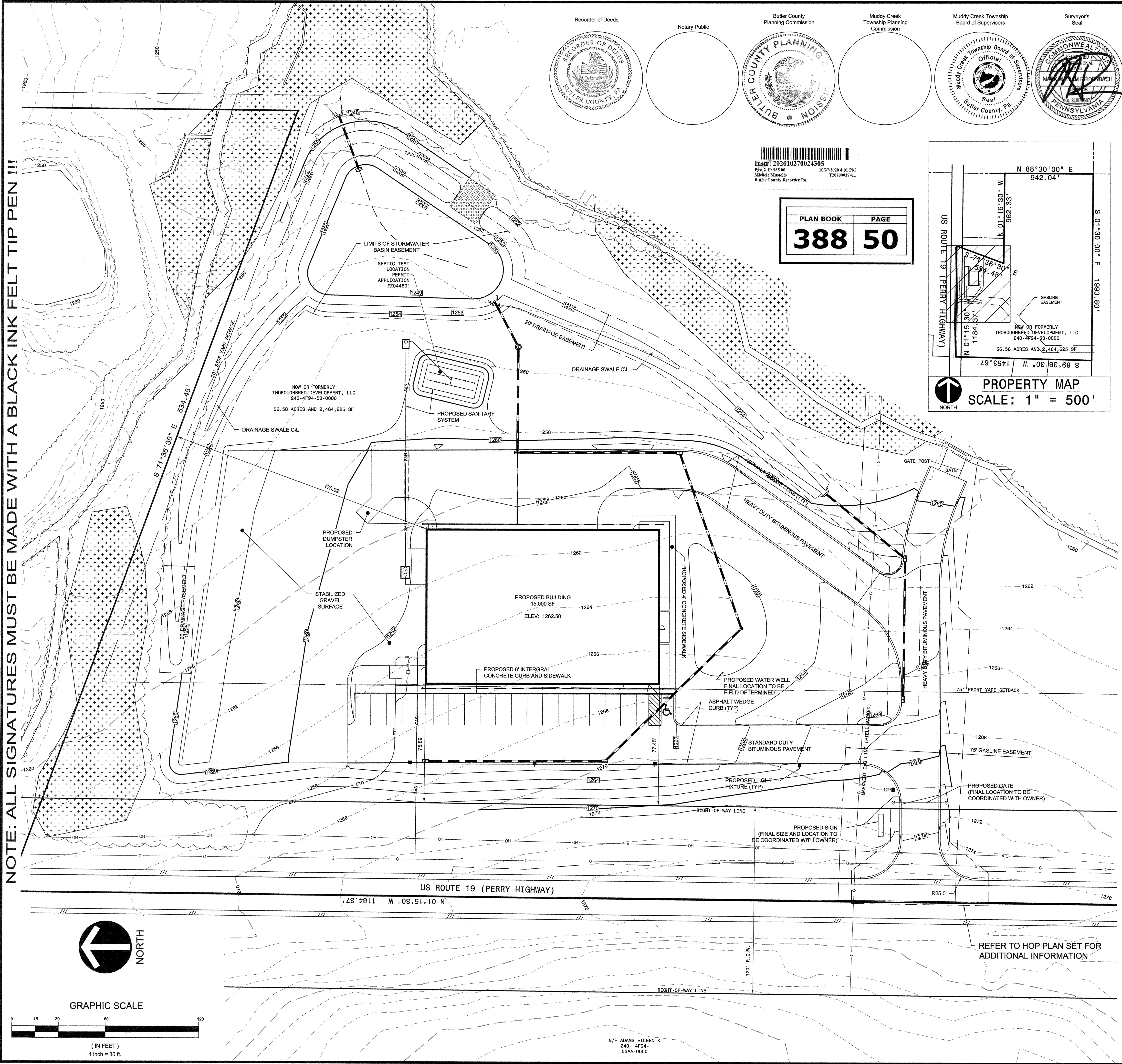
| | | | |
|----------------|---------------------------------------|---------------|------|
| DRAWING SCALE: | 1" = 100' | DESIGNED BY: | MWS |
| DATE ISSUED: | Sept. 15, 2020 | REVIEWED BY: | GAS |
| PROJECT JOB#: | 4079 | FIELD BOOK #: | #### |
| CADD#: | 4079 - Watters Station Rd - Sub-D.dwg | | |

Client Company Name
 Attn: Thomas M. Pie Jr.
 12 Kingsland Drive
 Pittsburgh, Pa 15202
 Phone: (740) 391-2780

Sheet No.
1 of 1

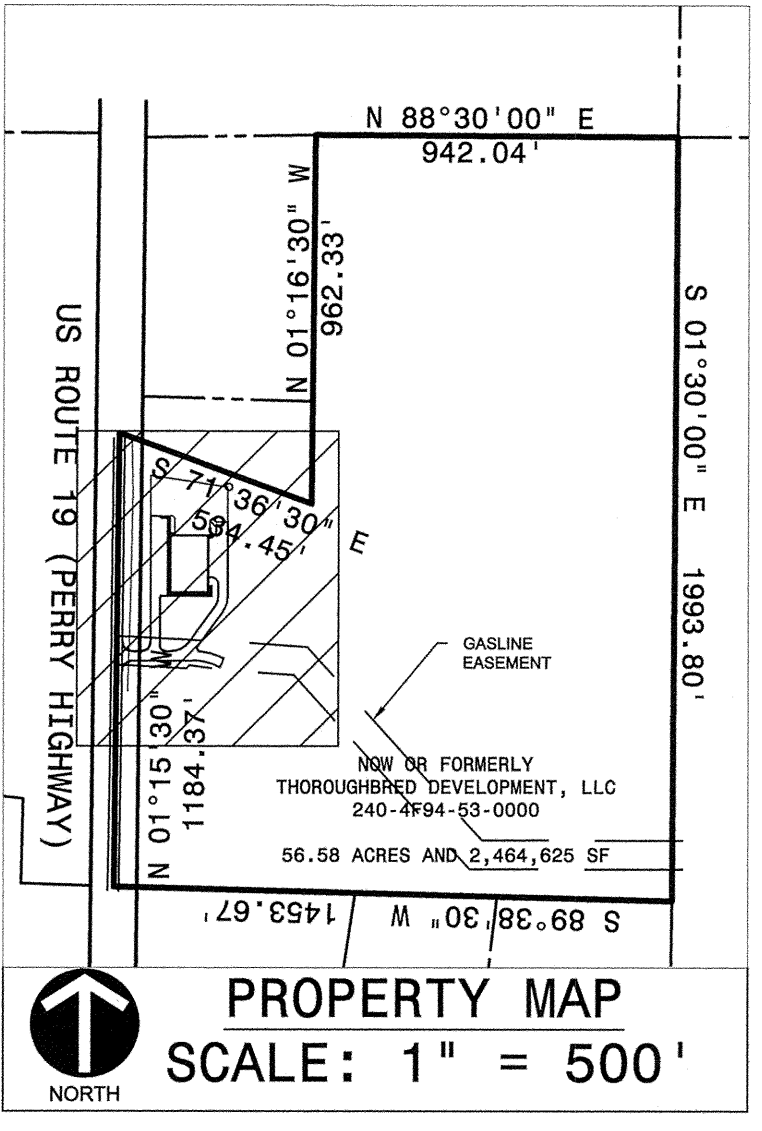
NOTE: ALL SIGNATURES MUST BE MADE WITH A BLACK INK FELT TIP PEN !!!

Plan & File Name: R:\Projects\3000039776_Thoroughbred Property\0000_Thoroughbred Bldg\DWG\22-06-2020_11:52 AM.dwg
User: JEG
Date: 2020-06-21 11:52 AM
Printer: E:\Garczewski, J.E.



Inst#: 202010270024305
Pg: 2 of 588.00
Michele Mustello
Butler County Recorder PA
10/27/2020 4:01 PM
120200917411

| PLAN BOOK | PAGE |
|-----------|------|
| 388 | 50 |



CORPORATION ADOPTION, DEDICATION AND RELEASE
KNOW ALL MEN BY THESE PRESENTS:
THAT THOROUGHMBRED DEVELOPMENT, LLC, A CORPORATION INCORPORATED UNDER THE LAW OF THE COMMONWEALTH OF PENNSYLVANIA, BY VIRTUE OF A RESOLUTION OF ITS BOARD OF DIRECTORS, DOES HEREBY ADOPT THIS PLAN AS ITS LAND DEVELOPMENT PLAN OF ITS PROPERTY SITUATE IN THE TOWNSHIP OF MUDDY CREEK, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY IRREVOCABLY DEDICATE, FOREVER, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL STREETS AND OTHER PUBLIC PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. ANY FUTURE ACCEPTANCE OF SAID PUBLIC STREETS OR PROPERTY BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER OR TOWNSHIP OF MUDDY CREEK, THOROUGHMBRED DEVELOPMENT, LLC, HERBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF MUDDY CREEK, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FROM DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND OTHER PUBLIC USES, AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON, THOROUGHMBRED DEVELOPMENT, LLC, ITS SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.
IN WITNESS WHEREOF, SAID CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE HAND OF ITS PRESIDENT AND SAME TO BE ATTESTED BY ITS SECRETARY, THIS 3rd DAY OF SEPTEMBER, 2020.

ATTEST:
Joseph P. Restelli
JOSEPH P. RESTELLI, SECRETARY
Joshua W. Reinert
JOSHUA W. REINERT, PRESIDENT

THOROUGHMBRED DEVELOPMENT, LLC FULLY UNDERSTANDS AND AGREES THAT THE APPROVAL OF THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MUDDY CREEK, IF HERETO ATTACHED, WILL BECOME NULL AND VOID UNLESS THIS PLAN IS RECORDED IN THE RECORDER OF DEEDS OFFICE OF BUTLER COUNTY, COURT HOUSE, BUTLER, PENNSYLVANIA, WITHIN NINETY (90) DAYS OF DATE OF SAID APPROVAL.

Joshua W. Reinert
JOSHUA W. REINERT, PRESIDENT

CORPORATION ACKNOWLEDGEMENT
COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER } SS:

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED JOSHUA W. REINERT, PRESIDENT OF THE THOROUGHMBRED DEVELOPMENT, LLC, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE CORPORATION IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT HE/SHE IS AUTHORIZED TO EXECUTE SAID PLAN ON BEHALF OF THE CORPORATION, THAT SAID PLAN IS THE ACT AND DEED OF THE CORPORATION, AND THAT THE CORPORATION DESIRES SAID PLAN TO BE RECORDED AS SUCH.

COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
Jonathan Quire Frangione, Notary Public
Corasopolis Boro, Allegheny County
My Commission Expires Sept. 19, 2021
MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES

Joshua W. Reinert
JOSHUA W. REINERT, PRESIDENT

SWORN TO AND SUBSCRIBED BEFORE ME THIS DAY.
WITNESS MY HAND AND NOTARIAL SEAL THIS 3rd DAY OF SEPTEMBER, 2020. *JEG*

CERTIFICATE OF TITLE - NO MORTGAGE
I/WE JOSHUA W. REINERT AND JOSEPH P. RESTELLI, DO HEREBY CERTIFY THAT THE TITLE OF THE PROPERTY SHOWN HEREON IS IN THE NAME OF THOROUGHMBRED DEVELOPMENT, LLC AND IS RECORDED IN INSTRUMENT NO. 202006170011516.

I/WE FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

WITNESS:
Joseph P. Restelli
JOSEPH P. RESTELLI, SECRETARY
Joshua W. Reinert
JOSHUA W. REINERT, PRESIDENT

TOWNSHIP PLANNING COMMISSION RECOMMENDATION FOR APPROVAL
THIS PLAN HAS BEEN RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWNSHIP OF MUDDY CREEK, BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA ON THIS 4th DAY OF AUGUST, 2020.

ATTEST:
James J. Joyce
SECRETARY
Chris A. ...
CHAIRMAN

BOARD OF SUPERVISORS FINAL APPROVAL CERTIFICATE
THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MUDDY CREEK HEREBY GIVES PUBLIC NOTICE THAT IT IS APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY. THE BOARD OF SUPERVISORS HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LANDS OR PUBLIC FACILITIES AND HAS NO OBLIGATION, LEGAL OR OTHERWISE, TO IMPROVE OR MAINTAIN SUCH STREETS, LANDS OR PUBLIC FACILITIES. THIS PLAN APPROVED BY ACTION OF THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MUDDY CREEK, BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA ON THIS 4th DAY OF AUGUST, 2020.

ATTEST:
Kelly ...
SECRETARY, BOARD OF SUPERVISORS
Del R. Kim
CHAIRMAN, BOARD OF SUPERVISORS

BUTLER COUNTY PLANNING COMMISSION CERTIFICATE #20112
REVIEWED WITH OR WITHOUT COMMENTS BY THE BUTLER COUNTY PLANNING COMMISSION THIS 17th DAY OF JUNE 2020.

Ron Henshaw
DIRECTOR - SEC
Casey ...
CHAIR

PROOF OF RECORDING
COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER } SS:

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, PLATS, ETC., IN SAID COUNTY, AT INSTRUMENT NUMBER 202006270024305
GIVEN UNDER MY HAND AND SEAL THIS 27th DAY OF OCTOBER, A.D. 2020.
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2024
Michele M. Mustello
RECORDER

PROFESSIONAL LAND SURVEYOR CERTIFICATE
I, MARK W. REIDENBACH, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES, AND COURSES ARE CORRECTLY SHOWN, AND TO THE BEST OF MY KNOWLEDGE THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

Mark W. Reidenbach
MARK W. REIDENBACH, PLS, SU075507

NOTICE OF THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION'S REQUIREMENT FOR A HIGHWAY OCCUPANCY PERMIT
A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW," BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED.

GATEWAY
The Gateway Engineers, Inc.
Full-Service Civil Engineering & Surveying
Pittsburgh, PA
gatewayengineers.com
655-634-9284



| REVISION RECORD | |
|-----------------|---|
| Date | Description |
| 2020-07-23 | 01 REVISED PER GANNETT FLEMING REVIEW LETTER DATED 2020-07-22 |
| 2020-06-21 | 02 ISSUED FOR CONSTRUCTION |
| | 03 |
| | 04 |
| | 05 |
| | 06 |
| | 07 |
| | 08 |

THOROUGHMBRED CONSTRUCTION BUILDING
1123 PERRY HIGHWAY
MUDDY CREEK TOWNSHIP, BUTLER COUNTY, PA
PREPARED FOR:
THOROUGHMBRED DEVELOPMENT, LLC
222 MAIN STREET
PROSPECT, PA 16052

SITE PLAN FOR RECORDING
Project Number: C-39776
Drawing Scale: 1" = 30'
Date Issued: JULY 2020
Index Number: -
Drawn By: MTT
Checked By: JEG
Project Manager: JEG
C102



Know what's below.
Call before you dig.
Serial No. 20200841131

THIS PLAN IS FOR PCSM PURPOSES ONLY

TOWNSHIP STORMWATER MANAGEMENT ORDINANCE NOTES AND STATEMENTS

Joshua Reiser, OWNER OF THOROUGHbred DEVELOPMENT, LLC AND THE LAND SHOWN ON THIS PLAN, HEREBY ACKNOWLEDGE THAT THE STORMWATER MANAGEMENT BMP'S ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY MUDDY CREEK TOWNSHIP. I ALSO ACKNOWLEDGE THAT THE OPERATION AND MAINTENANCE AGREEMENT IS PART OF THIS STORMWATER MANAGEMENT PLAN.

Jonathan E. Garcezowski
SIGNATURE DATE: 2020-08-19

Jonathan E. Garcezowski
SIGNATURE DATE: 2020-08-19

I, JONATHAN E. GARCEZOWSKI, P.E. HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE MUDDY CREEK TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

Thomas L. Thompson
SIGNATURE DATE: 8/20/2020

I, THOMAS L. THOMPSON, P.E. HAVE REVIEWED THIS STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF THE MUDDY CREEK TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

NOTE: AN AS-BUILT DRAWING OF THE STORMWATER MANAGEMENT FACILITIES WILL BE PROVIDED TO MUDDY CREEK TOWNSHIP PRIOR TO OCCUPANCY, OR THE RELEASE OF ANY SURETY BONDS.

| PLAN BOOK | PAGE |
|------------|-----------|
| 388 | 51 |

PCSM CONTROL LEGEND

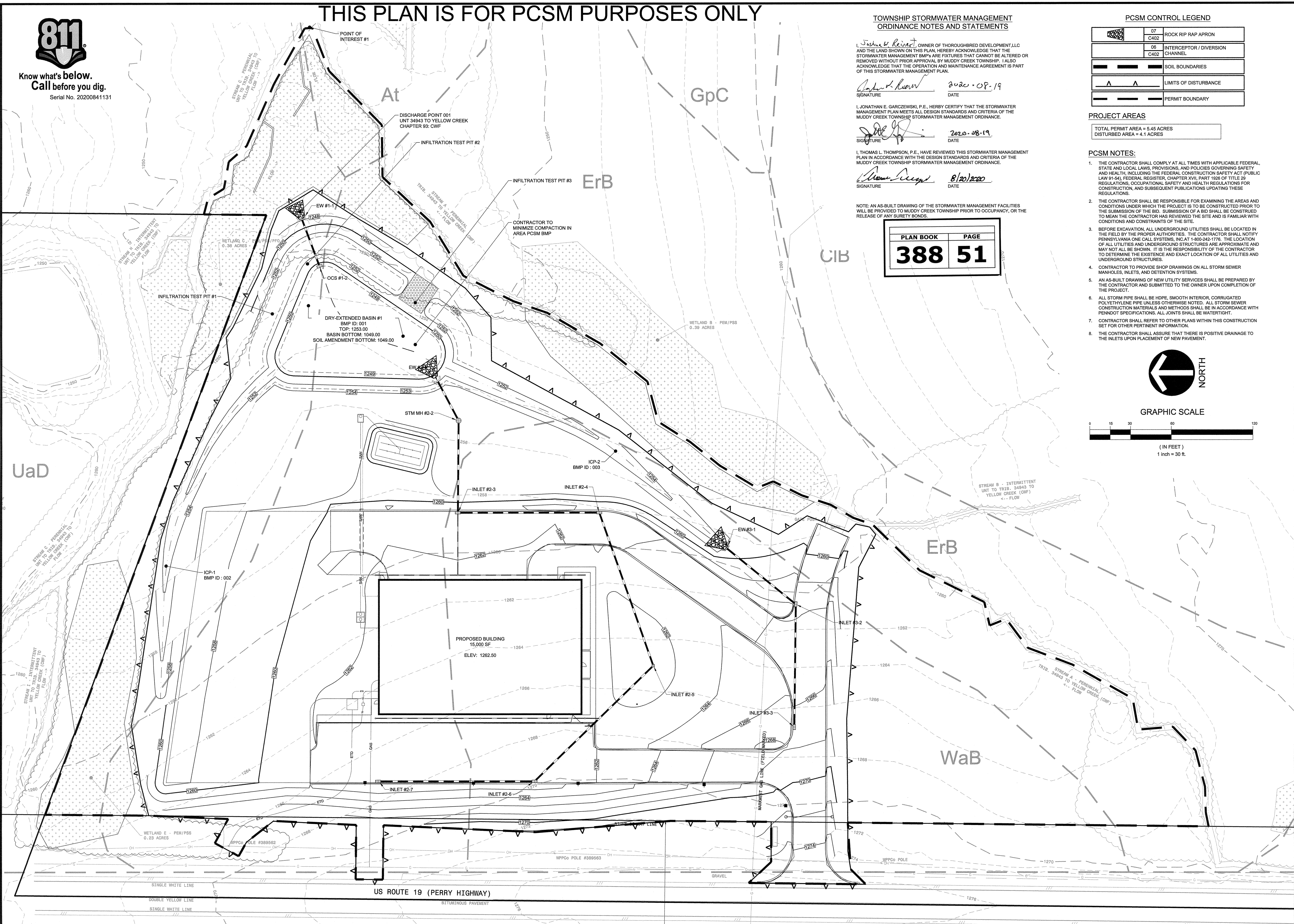
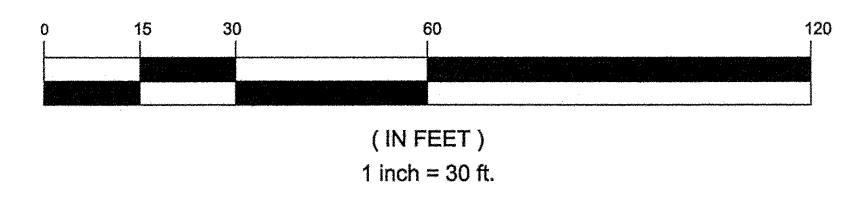
| | |
|--|------------------------------------|
| | 07 ROCK RIP RAP APRON |
| | 08 INTERCEPTOR / DIVERSION CHANNEL |
| | SOIL BOUNDARIES |
| | LIMITS OF DISTURBANCE |
| | PERMIT BOUNDARY |

PROJECT AREAS
TOTAL PERMIT AREA = 5.45 ACRES
DISTURBED AREA = 4.1 ACRES

- ### PCSM NOTES:
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF THE BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
 - BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PENNSYLVANIA ONE CALL SYSTEMS, INC AT 1-800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER MANHOLES, INLETS, AND DETENTION SYSTEMS.
 - AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
 - ALL STORM PIPE SHALL BE HDPE, SMOOTH INTERIOR, CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED. ALL STORM SEWER CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS. ALL JOINTS SHALL BE WATER TIGHT.
 - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
 - THE CONTRACTOR SHALL ASSURE THAT THERE IS POSITIVE DRAINAGE TO THE INLETS UPON PLACEMENT OF NEW PAVEMENT.



GRAPHIC SCALE



GATEWAY
The Gateway Engineers, Inc.
Full-Service Civil Engineering & Surveying
Pittsburgh, PA
gatewayengineers.com
855-634-9284

PROFESSIONAL ENGINEER
JONATHAN EDWARD GARCEZOWSKI
No. 10539
Exp. 12/31/2022
PA 0000001

REVISION RECORD

| No. | Date | Description |
|-----|------------|--|
| 01 | 2020-07-23 | REVISED PER GANNETT FLEMING REVIEW LETTER DATED 2020-07-22 |
| 02 | 2020-08-21 | ISSUED FOR CONSTRUCTION |
| 03 | - | - |
| 04 | - | - |
| 05 | - | - |
| 06 | - | - |
| 07 | - | - |
| 08 | - | - |

THOROUGHbred CONSTRUCTION BUILDING
1123 PERRY HIGHWAY
MUDDY CREEK TOWNSHIP, BUTLER COUNTY, PA
PREPARED FOR:
THOROUGHbred DEVELOPMENT, LLC
222 MAIN STREET
PROSPECT, PA 16052

POST-CONSTRUCTION STORMWATER MANAGEMENT CONTROL PLAN
Project Number: C-39778
Drawing Scale: 1" = 30'
Date Issued: JULY 2020
Index Number: --
Drawn By: MTT
Checked By: JEG
Project Manager: JEG

C700

I:\Path & Filename\Projects\0000\Thoroughbred Property\0000 Thoroughbred Building\02-Sheets\9778_PCSM Plan and Details.dwg
Save Date: 8/17/2020 4:53 PM
18.02