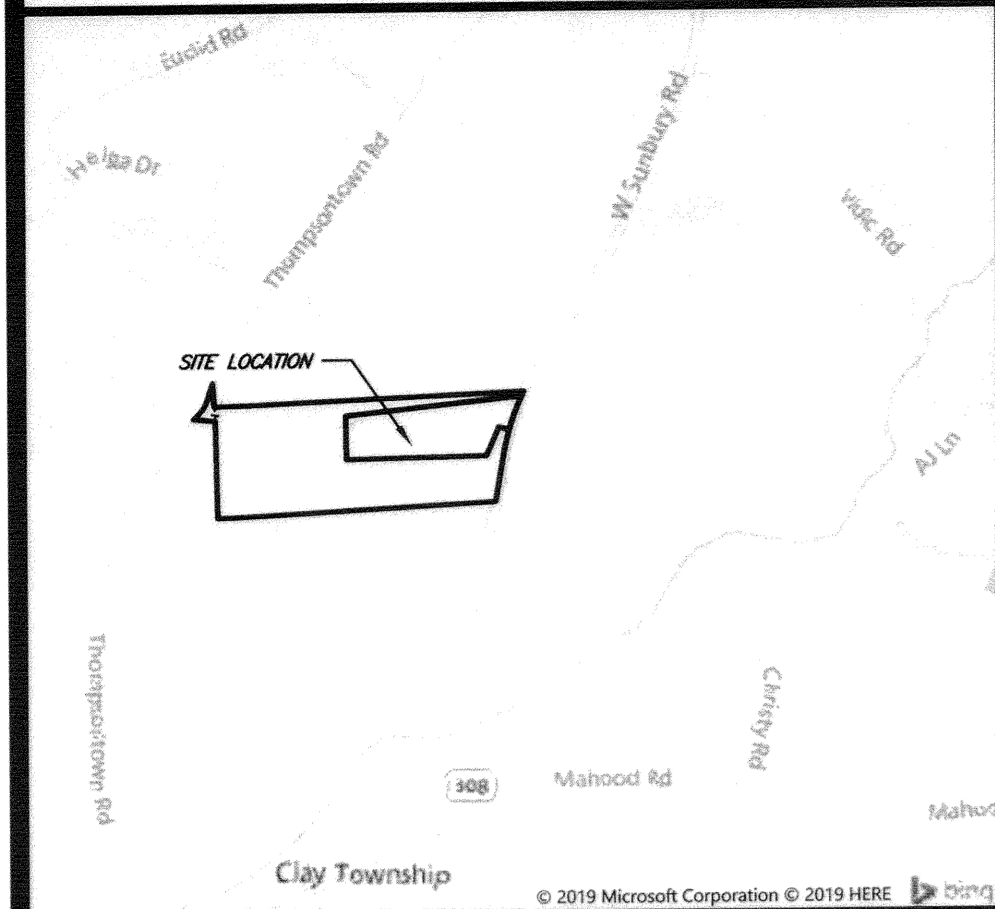


Site Location Map: 1" = 2000'



Instr: 201906030009940
Pg 2 of 2
Michele Mustello
Butler County Recorder PA

OWNERS ADOPTION
KNOW ALL MEN BY THESE PRESENTS, That we Kathleen E. Fabian of the Township of Clay, County of Butler, Commonwealth of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this plan as my Plan of Lots of my property, situate in Township of Clay, Butler County, Pennsylvania, and for divers advantage accruing to me, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler, and Township of Clay, I hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Clay, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof at any grades that may be established hereafter at any time.
This dedication and release shall be binding upon Kathleen E. Fabian, my heirs, executors, administrators and assigns and purchasers of lots in this plan.
IN WITNESS WHEREOF, I hereunto set my hand and seal this 28th day of May, 2019.

Approved by owner: Kathleen E. Fabian

Before me, the undersigned Notary Public in and for the Commonwealth of Pennsylvania and County of Butler, personally appeared the above-named Kathleen E. Fabian, and acknowledged the foregoing adoption and dedication to be her act.

Witness my hand and notarial seal this 28th day of May, 2019.

My commission expires the 23rd day of Aug, 2021
Notary Public

TITLE CLAUSE

I, Kathleen E. Fabian and Richard P. Fabian owner of the "Minor Subdivision Plan for Kathleen E. Fabian, Recording Plan of Lots" is in the name of Kathleen E. Fabian, as recorded in Deed Book Volume 2540, Page 683 Recorder of Deeds Office. I further certify that there is no mortgage, lien or encumbrance against this property.

Witness
Kathleen E. Fabian

SURVEYOR'S CERTIFICATION:

I, Jon P. Myers, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan correctly represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.

Date of Plan: April 11, 2019
By: Jon P. Myers, PLS PA Registration No. SU051238

CLAY TOWNSHIP BOARD OF SUPERVISORS APPROVAL

The Board of Supervisors of the Township of Clay hereby gives public notice that in approving this plan for recording purposes only, the Township of Clay assumes no obligations, legal or otherwise, expressed or implied either to accept said streets as Township streets or road or grade, pave and curb the streets in said plan, or to construct sewers herein or to install any other such service ordinarily installed in Township streets or roads.

Approved by the Board of Supervisors of the Township of Clay this 27th day of April, 2019.

Secretary: Joan Blake
Chairman of Board: David X. Beacham

CLAY TOWNSHIP PLANNING COMMISSION REVIEW

Reviewed by the Planning Commission of the Township of Clay this 25th day of April, 2019.

Secretary: Joan Blake
Chairman: Robert H. Geyer

COUNTY PLANNING COMMISSION REVIEW

Reviewed by the County Planning Commission of the County of Butler this 6th day of Feb., 2019.

Secretary: Cora Jean
Chairman: F. Cal Jan

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER }

Recorded in the Recorder's Office for the recording of deeds, plans, etc., in said County in Plan Book Volume 378, Page 12

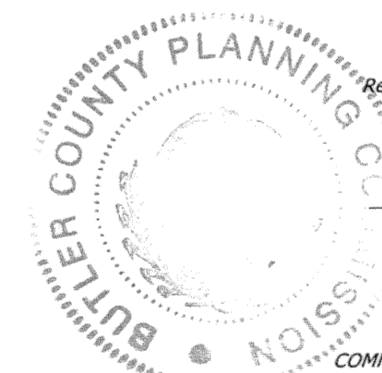
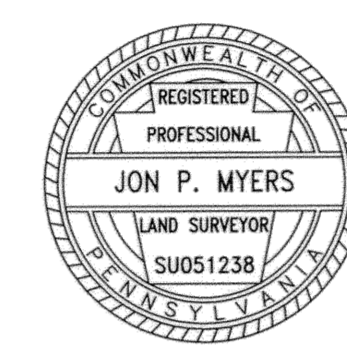
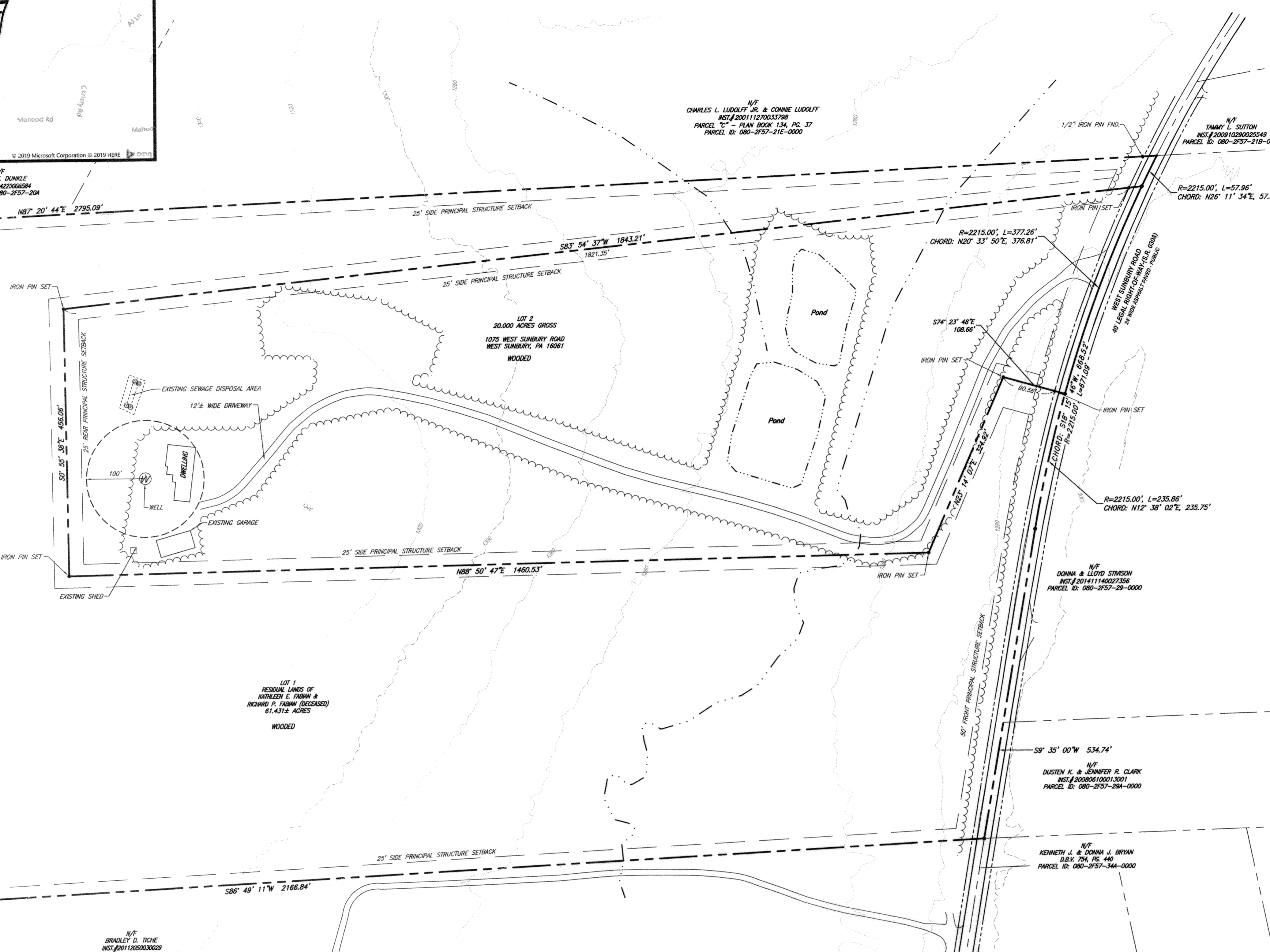
Given under my hand and seal this 3rd day of June, 2019.

Recorder: Michele M. Mustello

PA DEP NON-BUILDING WAIVER

As of the date of this deed/plot plan recording, the property/subdivision described herein is and shall be dedicated for the express purpose of silviculture use. No portion of this property/subdivision is approved by Clay Township or the Department of Environmental Protection (DEP) for the installation of any sewage disposal facility. No permit will be issued for the installation, construction, connection to or use of any sewage collection, conveyance, treatment or disposal system (except for repairs to existing systems) unless the municipality and DEP have both approved sewage facilities Act (35 P.S. Sections 750.1 et seq.) and regulations promulgated thereunder. Prior to signing, executing, implementing or recording any sales contract or subdivision plan, any purchaser or subdivisor of any portion of this property should contact appropriate officials of Clay Township, who are charged with administering the Sewage Facilities Act to determine the form of sewage facilities planning required and the procedure and requirements for obtaining appropriate permits or approvals.

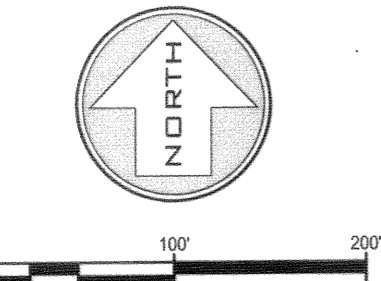
MATCH LINE A - SEE SHEET 2



MINOR SUBDIVISION PLAN NO. 1
for
KATHLEEN E. FABIAN

LEGEND:

- SUBJECT PROPERTY
- PRINCIPAL STRUCTURE SETBACK
- PROPERTY ADJOINER
- MAJOR CONTOUR
- MINOR CONTOUR
- ROAD CENTERLINE
- ROAD RIGHT-OF-WAY
- ASPHALT PAVEMENT
- PROPERTY CORNER
- STREAM
- TREELINE



SITE DATA

OWNER: KATHLEEN E. FABIAN & RICHARD P. FABIAN (DECEASED)
PARCEL ID: 080-2957-208
DEED: D.B.V. 2540, PG. 683
PROPERTY ADDRESS: 1075 WEST SUNBURY ROAD
WEST SUNBURY, PA 16061
EXISTING TOTAL ACREAGE: LOT 1 - 61.4314 ACRES
LOT 2 - 20.000 ACRES
EXISTING USE: SILVICULTURE WITH SINGLE FAMILY DWELLING
PROPOSED USE: LOT 1 - SILVICULTURE
LOT 2 - SILVICULTURE WITH SINGLE FAMILY HOME
MINIMUM LOT AREA: 43,560 SQ. FT. (1 ACRE) PER DWELLING UNIT
MINIMUM YARD WIDTH AT BUILDING LINE: 100 FEET
PRINCIPAL STRUCTURE SETBACKS:
FRONT: 50 FEET
SIDE: 25 FEET
REAR: 50 FEET
ACCESSORY STRUCTURE SETBACKS:
FRONT: N/A
SIDE: 5 FEET
REAR: 5 FEET
CONTOUR DATUM: LIDAR FROM PASDA DATED: 2006

GENERAL NOTES:

- MERIDIAN SHOWN HEREON IS BASED ON GRID NORTH PER GPS OBSERVATIONS CONDUCTED IN PENNSYLVANIA SOUTH STATE PLANE AND IS AN INTERIOR ANGLE FOR THE EXISTING PROPERTIES SHOWN HEREON ARE BASED UPON DEEDS OF RECORD.
- HORIZONTAL CONTROL SHOWN HEREON IS PENNSYLVANIA SOUTH STATE PLANE AND IS.
- NO WATER WELL OR SEWAGE DISPOSAL BEING PROPOSED BY THIS PLAN. NO LAND DEVELOPMENT IS PROPOSED.
- THE DEED DESCRIBING LANDS OF KATHLEEN E. FABIAN AND RICHARD P. FABIAN IS BOUNDED BY DESCRIPTION, NO METES AND BOUNDS ARE CALLED FOR AND IS STATED TO CONTAINING 82 ACRES MORE OR LESS.
- A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO §409 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW" BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED.

DATE ISSUED:	FEBRUARY 8, 2019
PLAN REVISIONS	
DATE	DESCRIPTION
1	02/12/2019 Revisions per Township Review
2	02/25/2019 Revised drawing scale and rear setback
3	04/11/2019 Added Notary Acknowledgement
4	
5	
6	
7	
8	

Waterfront Corporate Park III, Suite 101
2000 Georgetown Drive
Switzkey, PA 15140
P: 724-444-1100
F: 724-444-1104
www.pve-fcon.com

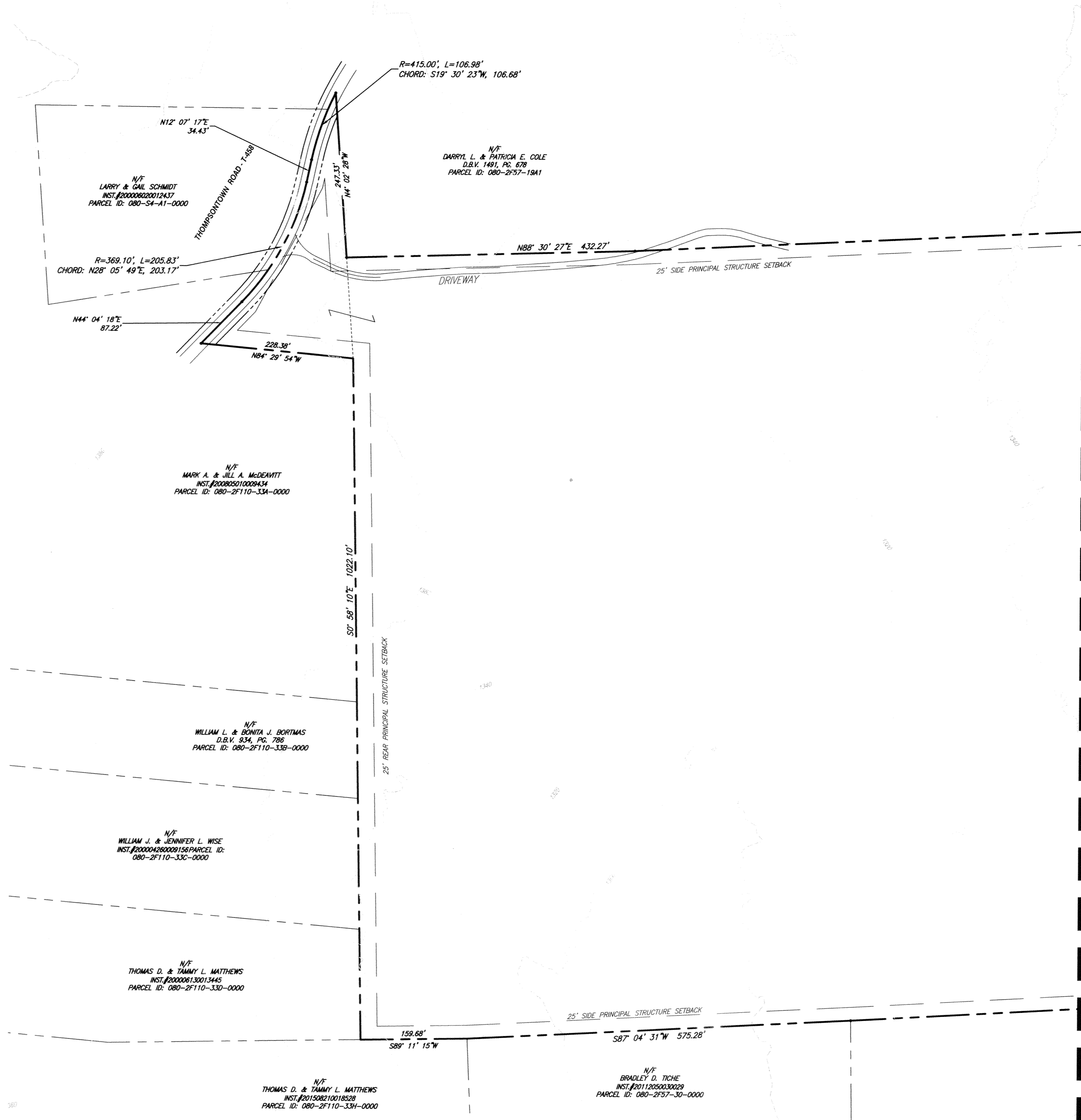
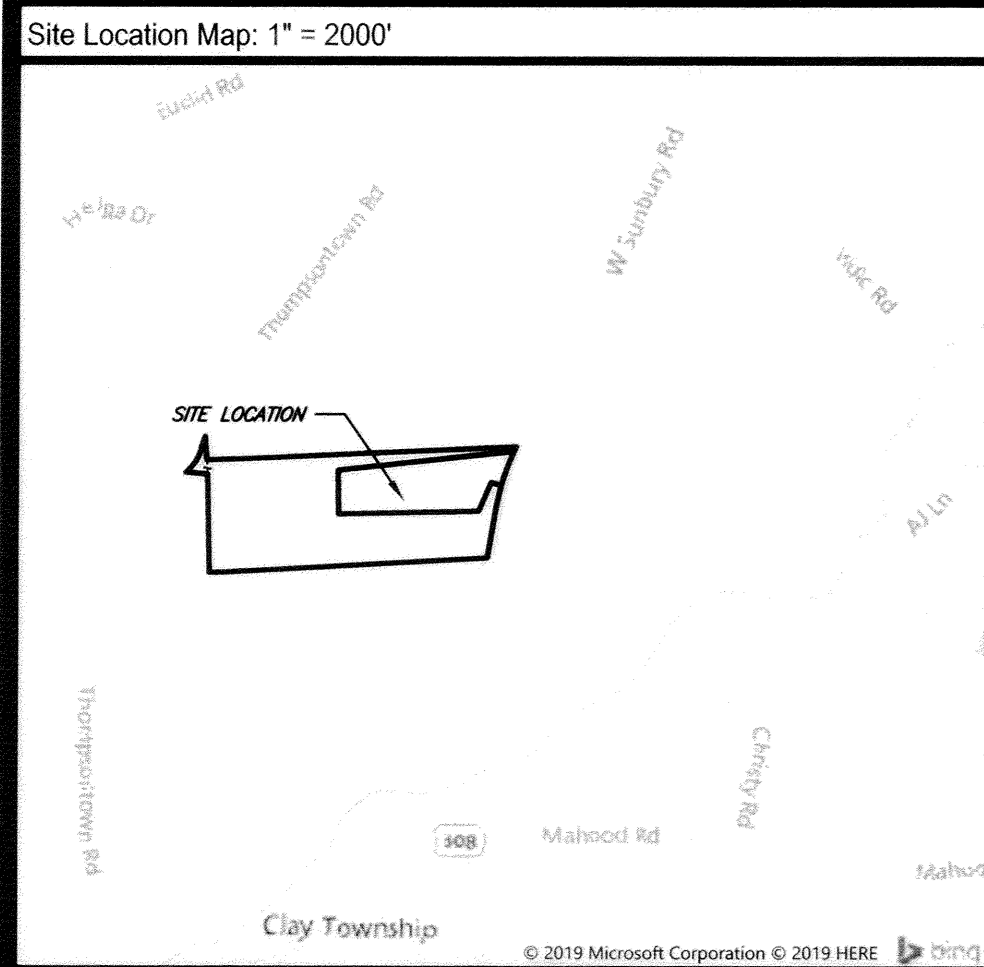
Civil Engineering | Land Development | Structure Design
Land Planning | Landscape Architecture | Environmental

RECORDING PLAN OF LOTS
prepared for
BRADLEY D. TICHE
situate in
Clay Township, Butler County, Pennsylvania

Date: **01/31/2019** Project No: **161541** Drawing No: **1 of 2**

RECORDED	PLAN BOOK	PAGE
	378	1

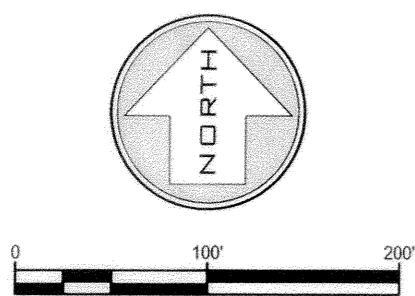
N:\Project Files\161541 - Tiche - Farm Survey\Survey\161541 Tiche Farm Survey Base.dwg, 4/12/2019 9:41:43 AM, jphiller



MATCH LINE A - SEE SHEET 1

LEGEND:

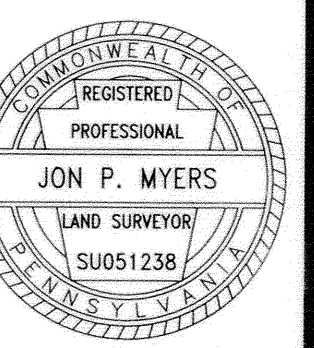
- SUBJECT PROPERTY
- - - - PRINCIPAL STRUCTURE SETBACK
- - - - PROPERTY ADJONER
- - - - MAJOR CONTOUR
- - - - MINOR CONTOUR
- - - - ROAD CENTERLINE
- - - - ROAD RIGHT-OF-WAY
- - - - ASPHALT PAVEMENT
- PROPERTY CORNER
- ~ ~ ~ ~ STREAM
- TREELINE



GENERAL NOTES:

1. MERIDIAN SHOWN HEREON IS BASED ON GRID NORTH PER GPS OBSERVATIONS CONDUCTED IN PENNSYLVANIA SOUTH STATE PLANE HAD 83. INTERIOR ANGLES FOR THE EXISTING PROPERTIES SHOWN HEREON ARE BASED UPON DEEDS OF RECORD.
2. HORIZONTAL CONTROL SHOWN HEREON IS PENNSYLVANIA SOUTH STATE PLANE HAD 83.
4. NO WATER WELL OR SEWAGE DISPOSAL BEING PROPOSED BY THIS PLAN. NO LAND DEVELOPMENT IS PROPOSED.
5. THE DEED DESCRIBING LANDS OF KATHLEEN E. FABIAN AND RICHARD D. FABIAN IS 4 REVISED BY DESCRIPTION. NO METES AND BOUNDS ARE CALLED FOR AND IS STATED TO CONTAINING 92 ACRES MORE OR LESS.
6. A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SEEN OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW" BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED.

MINOR SUBDIVISION PLAN NO. 1
for
KATHLEEN E. FABIAN



DATE ISSUED: FEBRUARY 8, 2019	
PLAN REVISIONS	
DATE	DESCRIPTION
1 02/12/2019	Revisions per Township Review
2 02/25/2019	Revised drawing scale and rear setback
3	
4	
5	
6	
7	
8	

Valefront Corporate Park III, Suite 101
2000 Georgetowne Drive
Sewickley, PA 15143

Civil Engineering | Land Development | Structure Design
Land Planning | Landscape Architecture | Environmental

P: 724-444-1100
F: 724-444-1104
www.pve-llc.com

RECORDING PLAN OF LOTS		
prepared for BRADLEY D. TICHE situate in Clay Township, Butler County, Pennsylvania		
Date: 01/31/2019	Project No: 161541	Drawing No: 2 of 2

RECORDED	
PLAN BOOK	PAGE
378	2

N:\Project Files\161541 - Tiche - Farm Survey\SURVEY\161541 - Tiche Farm Survey Base.dwg, 2/26/2019 4:28:12 PM, jpheller

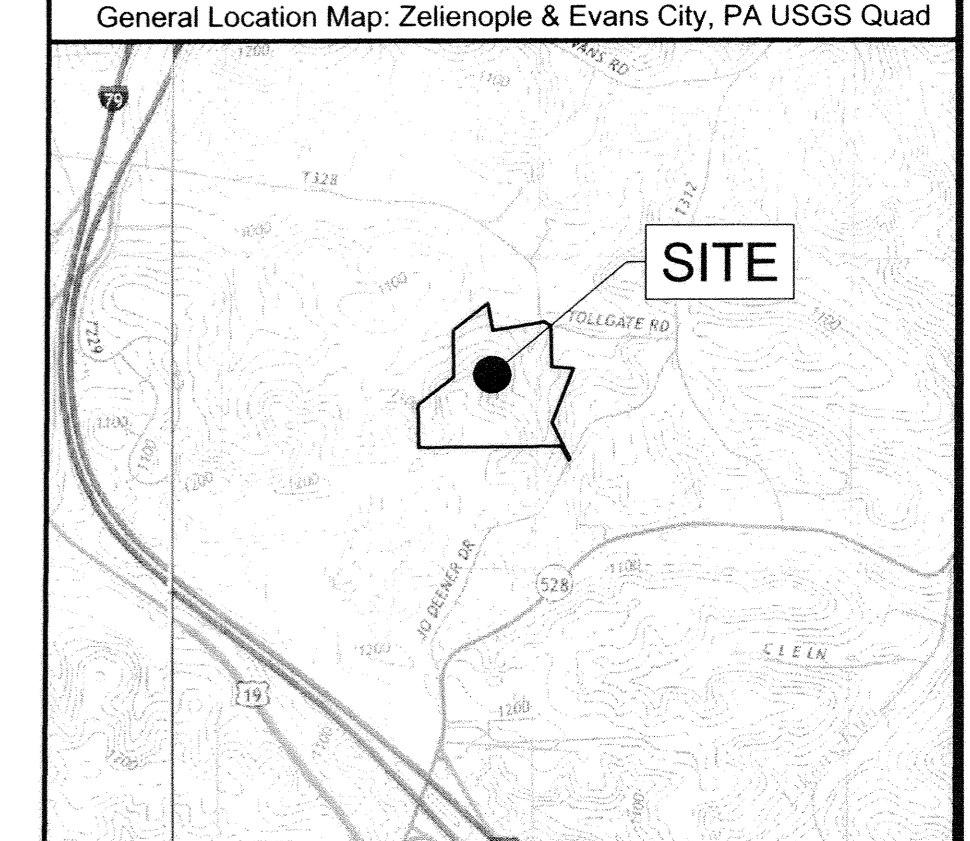
OWNERS ADOPTION FOR PARTNERSHIP (JACKSON TOWNSHIP)
 THE WR DEVELOPMENT COMPANY, OWNER OF THE LAND SHOWN ON REVISION NO. 1 TO THE WALNUT RIDGE PLAN OF LOTS, HEREBY ADOPTS THIS PLAN AS ITS LAND DEVELOPMENT AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE JACKSON TOWNSHIP. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE PARTNERSHIP AND UPON ITS HEIRS, EXECUTORS, AND ASSIGNS.
 IN WITNESS WHEREOF, TO THIS I SET MY HAND AND SEAL THIS 16 DAY OF May, 2019
 ATTEST:
Paula K. Rouda
 NOTARY PUBLIC SIGNATURE OF GENERAL PARTNER
ACKNOWLEDGMENT OF PARTNERSHIP ADOPTION AND DEDICATION (JACKSON TOWNSHIP)
 BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED Paula K. Rouda GENERAL PARTNER IN THE FIRM OF WR DEVELOPMENT COMPANY, AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE THE ACT OF THE PARTNERSHIP.
 WITNESS MY HAND AND NOTARIAL SEAL THIS 16 DAY OF May, 2019
 MY COMMISSION EXPIRES THE 15 DAY OF August, 2021
Paula K. Rouda
 NOTARY PUBLIC
CERTIFICATION OF TITLE AND CONCURRENCE OF MORTGAGE
 I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN REVISION NO. 1 TO THE WALNUT RIDGE PLAN OF LOTS IS IN THE NAME OF THE WR DEVELOPMENT COMPANY, AND IS RECORDED IN INSTRUMENT(S) 20180905016199.
Paula K. Rouda
 WITNESS
OWNER
Commonwealth Bank
 MORTGAGEE OF THE PROPERTY CONTAINED IN REVISION NO. 1 TO THE WALNUT RIDGE PLAN OF LOTS. I HEREBY CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.
Paula K. Rouda
STEVAN W. SHAMONIAN
 VICE PRESIDENT

OWNERS ADOPTION FOR CORPORATIONS (JACKSON TOWNSHIP)
 BY A RESOLUTION APPROVED ON THE 16 DAY OF May, 2019, THE BOARD OF DIRECTORS OF MARONDA HOMES, INC., INCORPORATED IN THE STATE OF PENNSYLVANIA, OWNER OF THE LAND SHOWN ON REVISION NO. 1 TO THE WALNUT RIDGE PLAN OF LOTS ADOPTED THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATED ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO JACKSON TOWNSHIP. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE CORPORATION AND UPON ITS HEIRS, EXECUTORS, AND ASSIGNS.
 IN WITNESS WHEREOF, TO THIS I SET MY HAND AND SEAL THIS 16 DAY OF May, 2019
 ATTEST:
Paula K. Rouda
 NOTARY PUBLIC SIGNATURE OF GENERAL PARTNER
ACKNOWLEDGMENT OF CORPORATE ADOPTION AND DEDICATION (JACKSON TOWNSHIP)
 BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED ROBERT MIHOK, EXECUTIVE VICE PRESIDENT OF MARONDA HOMES, INC., WHO STATED THAT HE IS AUTHORIZED TO EXECUTE THE ABOVE ADOPTION AND DEDICATION ON BEHALF OF THE CORPORATION AND WAS PRESENT AT THE MEETING AT WHICH THE ACTION OF THE CORPORATION WAS TAKEN TO ADOPT THE PLAN AND DEDICATED PUBLIC PROPERTY CONTAINED THEREIN TO JACKSON TOWNSHIP.
 WITNESS MY HAND AND NOTARIAL SEAL THIS 16 DAY OF May, 2019
 MY COMMISSION EXPIRES THE 23 DAY OF March, 2021
Paula K. Rouda
 NOTARY PUBLIC
CERTIFICATION OF TITLE AND NO MORTGAGE
 I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN REVISION NO. 1 TO THE WALNUT RIDGE PLAN OF LOTS IS IN THE NAME OF THE MARONDA HOMES, INC., AND IS RECORDED IN INSTRUMENT(S) 20180503008841. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN, OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.
Paula K. Rouda
 WITNESS
OWNER
Maronda Homes, Inc.
 ROBERT MIHOK, EXECUTIVE VICE PRESIDENT

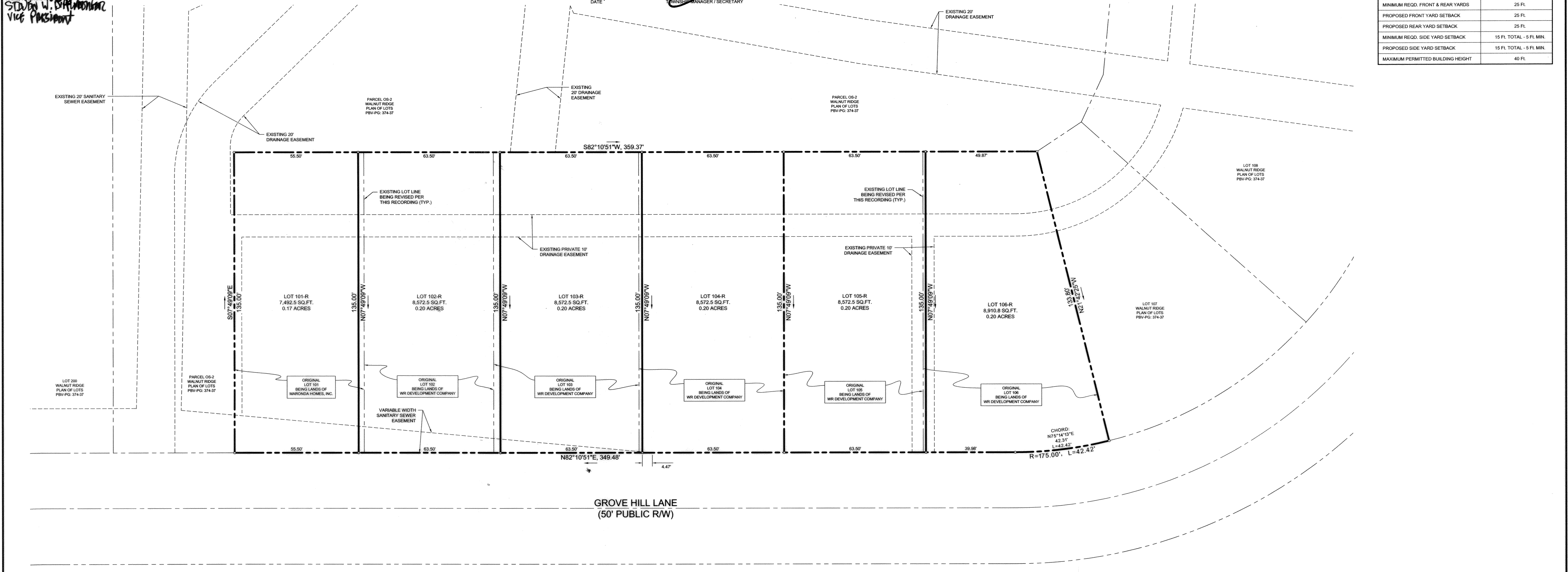
SURVEYORS CERTIFICATION
 I HEREBY CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF THE SURVEY, AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED BY THE ORDINANCES OF JACKSON TOWNSHIP.
5/16/19
GARY A. SHEFFLER, JR., P.L.S.
ENGINEER CERTIFICATION
 A. **ENGINEERING REQUIREMENTS**
 I HEREBY CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF THE PLAN SHOWN HEREON IS TRUE AND CORRECT TO THE ACCURACY AND ENGINEERING STANDARDS REQUIRED BY THE ORDINANCES OF JACKSON TOWNSHIP.
5/16/19
GRAHAM LEE FERRY - REG NO. PE074237
 B. **STORMWATER MANAGEMENT REQUIREMENTS**
 I HEREBY CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF, THE STORM DRAINAGE FACILITIES SHOWN AND DESCRIBED HEREON ARE TRUE AND CORRECT TO THE ACCURACY AND STANDARDS REQUIRED BY THE ORDINANCES OF JACKSON TOWNSHIP.
5/16/19
GRAHAM LEE FERRY - REG NO. PE074237
TOWNSHIP ENGINEER'S CERTIFICATION
 THIS PLAN WAS REVIEWED BY THE TOWNSHIP ENGINEER FOR CONFORMANCE WITH THE JACKSON TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND OTHER APPLICABLE TOWNSHIP ORDINANCES.
6/3/19
Benjamin L. Gilbert
 NAME
 REGISTRATION NUMBER
PE074237
 TOWNSHIP MANAGER / SECRETARY
NO BUILDING PERMITS WITHOUT APPROVED SEWAGE FACILITIES
 JACKSON TOWNSHIP AGREES NOT TO ISSUE BUILDING PERMITS UNTIL THE "PLANNING MODULE FOR LAND DEVELOPMENT" HAS BEEN APPROVED IN ACCORDANCE WITH THE REGULATION OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
6/3/19
Benjamin L. Gilbert
 TOWNSHIP MANAGER / SECRETARY

JACKSON TOWNSHIP BOARD OF SUPERVISORS APPROVAL CERTIFICATE
 APPROVED BY THE BOARD OF SUPERVISORS OF JACKSON TOWNSHIP ON THE 15th DAY OF May, 2019, SUBJECT TO CERTAIN CONDITIONS REFERENCED IN THE TOWNSHIP DECISION LETTER DATED May 19, 2019. THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF JACKSON GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, JACKSON TOWNSHIP ASSUMES NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.
 SIGNED AND NOTED AS APPROVED THIS DAY 3rd DAY OF June, 2019.
Benjamin L. Gilbert
 TOWNSHIP SECRETARY CHAIRPERSON
JACKSON TOWNSHIP PLANNING DIRECTOR APPROVAL
 APPROVED BY THE PLANNING DIRECTOR OF JACKSON TOWNSHIP ON THE 15th DAY OF May, 2019 PURSUANT TO CHAPTER 22, SUBDIVISION AND LAND DEVELOPMENT OF THE CODE OF JACKSON TOWNSHIP, AS AMENDED AND SUBJECT TO
 CERTAIN CONDITIONS REFERENCED IN THE TOWNSHIP DECISION LETTER DATED May 15, 2019. THE PLANNING DIRECTOR OF JACKSON TOWNSHIP GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, JACKSON TOWNSHIP ASSUMES NO OBLIGATION TO ACCEPT THE DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.
 SIGNED AND NOTED AS APPROVED THIS 4th DAY OF June, 2019.
Benjamin L. Gilbert
 TOWNSHIP SECRETARY
 THIS PLAN WAS DELIVERED TO WR DEVELOPMENT COMPANY BY JACKSON TOWNSHIP ON THE 4th DAY OF June, 2019.
Benjamin L. Gilbert
 TOWNSHIP MANAGER/SECRETARY

BUTLER COUNTY PLANNING COMMISSION REVIEW CERTIFICATE
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 3rd DAY OF May, 2019.
Chuck Davies CHAIRPERSON
Frank E. LUK
PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA
 IN PLAN BOOK VOLUME 378 PAGE(S) 3
 GIVEN UNDER MY HAND AND SEAL THIS 5 DAY OF June, 2019.
Michelle W. Mustello
 RECORDER OF DEEDS



SITE DATA CHART	
ZONING DISTRICT CLASSIFICATION	RESIDENTIAL (R)
PROPOSED LAND USE	SINGLE FAMILY DETACHED
MINIMUM PERMITTED LOT SIZE	7,200 SF.
MINIMUM PERMITTED LOT WIDTH	55 FT.
MINIMUM REAR FRONT & REAR YARDS	25 FT.
PROPOSED FRONT YARD SETBACK	25 FT.
PROPOSED REAR YARD SETBACK	25 FT.
MINIMUM REAR SIDE YARD SETBACK	15 FT. TOTAL - 5 FT. MIN.
PROPOSED SIDE YARD SETBACK	15 FT. TOTAL - 5 FT. MIN.
MAXIMUM PERMITTED BUILDING HEIGHT	40 FT.



REGISTERED SURVEYOR: **GARY A. SHEFFLER, JR.**
 REGISTERED ENGINEER: **GRAHAM LEE FERRY**
 TOWNSHIP ENGINEER: **BENJAMIN L. GILBERT**
 BUTLER COUNTY RECORDER OF DEEDS: **MICHELE W. MUSTELLO**
 JACKSON TOWNSHIP PLANNING COMMISSION: **BENJAMIN L. GILBERT**
 JACKSON TOWNSHIP BOARD OF SUPERVISORS: **BENJAMIN L. GILBERT**
 NOTARY PUBLIC: **PAULA K. ROUDA**
 BUTLER CO. PLANNING COMMISSION: **MICHELE W. MUSTELLO**

PLAN BOOK	PAGE
378	3

811 Know what's below. Call before you dig.
 POCs SER. #. 2017
 The locations of existing underground utilities are shown in an approximate way only and have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work and agrees to be fully responsible for any and all damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.

Horizontal Scale
 1 inch = 20 ft.

Date:	Revision Description:	By:	Professional Seal:	Prepared By:

Sheffler & Company, Inc.
 ENGINEERING • SURVEYING
 1712 Mount Nebo Road, Sewickley, PA 15143
 Office Phone: 412-219-4509
 Email: info@shefflerco.com

REVISION NO. 1 TO THE WALNUT RIDGE PLAN OF LOTS
 Prepared For: **WR Development Co.**
 Situate In: **Jackson Township, Butler County, PA**

Being a lotline revision to Lots 101, 102, 103, 104, 105 & 106 in the Walnut Ridge Plan of Lots, recorded in Plan Book Volume 374, Pages 37-39.

DRAWING SCALE:	DESIGNED BY:	SHEET NO.
1" = 20'	AGM	Sheet No.
DATE ISSUED:	REVIEWED BY:	REC 1
5/16/2019	GAS	
PROJECT JOB#:	FIELD BOOK #:	
3681	---	
CADD#:	3681 - WALNUT RIDGE - LN2 - AMEND.DWG	

WR Development Co.
 1272 Mars-Evans City Rd # 101
 Evans City, PA 16033
 Phone: 724-432-2101

SITE PLAN NOTES:

- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES.
- ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
- LABELLED DIMENSIONS OVERRIDE SCALED DIMENSIONS.
- ALL NEW MATERIALS AND CONSTRUCTION METHODS MUST MEET PADOT PUBLICATION 408 STANDARDS.
- CONTRACTOR TO WORK AROUND EXISTING UTILITIES, IF ADJUSTMENTS ARE NECESSARY, WORK WILL BE CONSIDERED INCIDENTAL.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE NECESSARY SAFETY MEASURES TO SECURE THE SITE DURING CONSTRUCTION ACTIVITIES.
- THE GATEWAY ENGINEERS, INC. IS NOT RESPONSIBLE TO INSPECT PROJECT SITES TO ENSURE COMPLIANCE WITH OCCUPATIONAL SAFETY HEALTH ADMINISTRATION (OSHA) STANDARDS.
- TACK COAT SHALL BE REQUIRED IF PAVING LIFTS ARE NOT COMPLETED WITHIN 3 DAYS OF EACH OTHER. TACK COAT VERTICAL SURFACES ALONG SAW CUT LIMITS.
- ALL NON-LANDSCAPED AREAS SHALL BE PAINTED WITH STRIPES 4" WIDE, AT 45° AND 2 FEET O.C., UNLESS OTHERWISE SPECIFIED. USE ALKYD-RESIN TYPE, READY MIX COMPLYING WITH AASHTO M248, TYPE I COLOR WHITE.

- WITHIN THE LIMITS OF THE PROPOSED DRIVEWAYS THE CONTRACTOR SHALL SAW CUT AND REMOVE THE EXISTING PAVEMENT AND THE EXISTING CURBS AND SHOULDERS. THE PROPOSED CURBS SHALL MATCH INTO THE EXISTING PAVEMENT AT ALL DRIVEWAY LOCATIONS. THE CONTRACTOR SHALL CLEAN CONTACT SURFACES OF ALL EXISTING PAVEMENTS BEFORE PLACEMENT OF PROPOSED ADJACENT PAVEMENT. ALL JOINTS SHALL BE SEALED WITH A 4-INCH STRIP OF PG 64-22.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH PA DOT PUBLICATION 215 "WORK ZONE TRAFFIC CONTROL" (LATEST REVISION), AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
- ALL SIDEWALKS, CURB RAMPS, ADA PARKING SPACES, AND ADA ACCESS ROUTES MUST BE INSTALLED TO MEET THE MOST CURRENT FEDERAL AND STATE REQUIREMENTS AND MUST BE IN ACCORDANCE WITH ACCESSIBILITY GUIDELINES OF THE AMERICANS WITH DISABILITIES ACT (ADA):

- SIDEWALKS SHALL NOT EXCEED A 2% CROSS-SLOPE.
- NO PORTION OF AN ADA PARKING SPACE SHALL EXCEED 2% SLOPE.
- CURB RAMPS SHALL NOT EXCEED 8.3% LONGITUDINAL SLOPE.
- ACCESSIBLE ROUTES WILL BE PROVIDED FROM ALL ACCESSIBLE PARKING SPACES TO THE PROPOSED CARWASH IN ACCORDANCE WITH THE STATEWIDE BUILDING CODE (ICC ANSI A 117.1).

MODIFICATIONS:

- SECTION 27-412.5 B(3) WHICH REQUIRES THAT SIDE AND REAR YARDS SHALL BE NOT LESS THAN 30 FEET. PROPOSING - TO SET THE PROPOSED WESTERN BUILDING LINE IN THE SAME LOCATION AS THE EXISTING BUILDING ON THE PROPERTY. JUSTIFICATION - IN ORDER TO MEET THE EXISTING CONDITIONS OF THE PROPERTY, THE DEVELOPER WISHES TO PLACE THE BUILDING IN THE SAME LOCATION AS THE EXISTING STRUCTURE. THIS WILL ALSO ENSURE THE EXISTING SHARED ACCESS CAN REMAIN IN THE SAME LOCATION, AS WELL AS MAINTAINING THE CHARACTER OF THE OTHER AUTOMOTIVE USES WITHIN THE AREA.
- SECTION 27-412.6 WHICH REQUIRES THAT NO COMBINATION OF STRUCTURES AND IMPERVIOUS SURFACES, INCLUDING ASPHALT OR CONCRETE, PAVED AREAS FOR PARKING, ACCESS DRIVEWAYS, PEDESTRIAN ACCESS WAYS AND ROCK LINED STORMWATER DETENTION FACILITIES, SHALL EXCEED 60% OF THE LOT AREA OR SITE AREA OF THE LOT OR PARCEL UPON WHICH SAID IMPROVEMENTS ARE INSTALLED. PROPOSING - TO PROVIDE 65.1% IMPERVIOUS AREA. JUSTIFICATION - IN ORDER TO PROVIDE AND MAINTAIN JOINT ACCESS TO THE PARCEL TO THE EAST AN ADDITIONAL 5.1% IMPERVIOUS AREA IS REQUESTED.
- SECTION 27-319.1 C WHICH REQUIRES SERVICE BAYS AND GARAGE DOORS USED TO SERVICE ALL USES LIKE, BUT NOT LIMITED TO, AUTOMOTIVE TYPE USES SHALL NOT FACE ANY PUBLIC STREET. PROPOSING - TO DEVELOP THE SITE SUCH THAT THE EXIT OF THE CAR WASH FACES OLD FREEDOM ROAD AND PROVIDE ADDITIONAL LANDSCAPE SCREENING ALONG THE BASE OF THE PROPOSED RETAINING WALL. JUSTIFICATION - THE WIDTH OF THE PARCEL DOES NOT ALLOW FOR THE PROPERTY TO BE DEVELOPED FOR THIS TYPE OF USE AND MEET THE REQUIREMENT. IN ADDITION, THE EXISTING SHARED ACCESS IS TO REMAIN FOR THE PROPOSED PARCEL AND THE EXISTING GOODYEAR ESTABLISHMENT, WHICH ALSO INHIBITS THE ABILITY TO DEVELOP THE PARCEL.

Instr: 201906050010185
 Page 2 of 588.00
 6/3/2019 10:04:53 AM
 120190009187
 Butler County Recorder PA

OWNER'S ADOPTION - CORPORATION

The BRP3, LLC owner of the land shown on the Cranberry Carwash LD Site Plan for Recording hereby adopts this plan as its land development and irrevocably dedicates all streets and other property identified for dedication on the plan to the public. This adoption and dedication shall be binding upon the partnership and upon its heirs, executors, and assigns.

[Signature]
 Signature of Witness
 5/27/19
 Date

ACKNOWLEDGMENT OF NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA
 COUNTY OF BUTLER
 Before me, the undersigned notary public in and for the Commonwealth of Pennsylvania and County of Butler, personally appeared *[Signature]*, the **MANAGING DIRECTOR** of BRP3, LLC, and acknowledged the foregoing adoption and dedication to be the act of the corporation.
 2019
 Witness My hand and notarial seal this 27 day of March, 2019.

Commonwealth of Pennsylvania - Notary Seal
 Elena H. Gomola, Notary Public
 Butler County
 My commission expires March 12, 2022
 Commission number: 1231576
 Member, Pennsylvania Association of Notaries

[Signature]
 Notary Public

MUNICIPAL DECLARATIONS

The Board of Supervisors of the Township of Cranberry, hereby gives notice that in approving this plan for recording, the Township of Cranberry has not accepted dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

[Signature]
 Chairman, Board of Supervisors

STORMWATER MANAGEMENT DECLARATIONS

I, Jonathan Garcezowski, hereby certify that the Stormwater Management Plan meets all Design Standards and Criteria of the Cranberry Township Stormwater Management Ordinance.

[Signature]
 Jonathan Garcezowski
 Reg: 079459-PE
 Date: 2019-03-19

BRP3, LLC, owner of the land shown on the Cranberry Carwash Land Development plan hereby acknowledge that stormwater management BMP's are fixtures that cannot be altered or removed without prior approval by Cranberry Township.

[Signature]
 Township Engineer
 Date: 4/12/19

APPROVAL BY THE CRANBERRY TOWNSHIP BOARD OF SUPERVISORS

This statement certifies only that action was taken by the Board of Supervisors granting final approval.

Approved by the Board of Supervisors of the Township of Cranberry by *[Signature]* Resolution No. *[Signature]* on the 27th day of *[Signature]* 2019.

[Signature]
 Chairman, Board of Supervisors

APPROVAL BY THE TOWNSHIP MANAGER

I, *[Signature]* Township Manager for the Township of Cranberry, certify that the conditions for final approval outlined in *[Signature]* Resolution No. *[Signature]* have been met in accordance with Sections 22-305 and 22-307 of the Township of Cranberry Code of Ordinances.

[Signature]
 Township Manager
 Date: 4/12/19

MUNICIPAL ENGINEER'S CERTIFICATE

I, JASON M. KRATSAS, a Registered Professional Engineer, the Township Engineer of the Township of Cranberry, do hereby certify that this Subdivision Plan meets all the engineering and design requirements of the Township Subdivision and Zoning Ordinance except as departures have been authorized by the approval authority.

[Signature]
 DATE: 4/12/19 REG. NO. PEST135 SIGNATURE

BUTLER COUNTY PLANNING COMMISSION

Reviewed by the Butler County Planning Commission at a meeting held on the 27th day of *[Signature]* 2019.

[Signature]
 Secretary
 Chairman, Planning Commission

PROOF OF RECORDING

Recorded in the Office for the Recording of Deeds, Plats, etc., in Butler County, in Plan Book Volume 378, Page 5-2.
 Given under my hand and seal this 5th day of June, 2019.

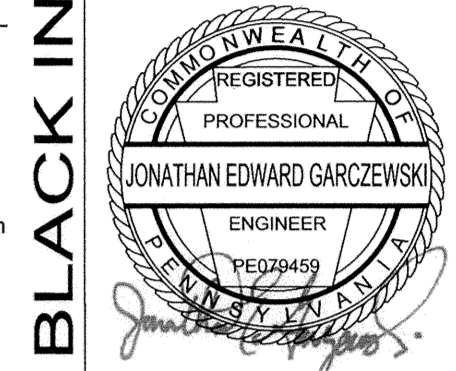
[Signature]
 Recorder of Deeds

[Signature]
 Recorder of Deeds

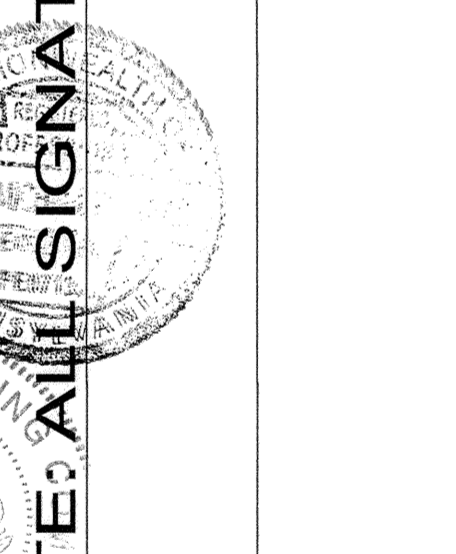
MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2020



GATEWAY
 The Gateway Engineers, Inc.
 Full-Service Civil Engineering & Surveying
 Pittsburgh, PA
 gatewayengineers.com
 652-634-9284



Date	No.	REVISION RECORD
2016-06-10	01	REVISED PER TOWNSHIP DEVELOPMENT REPORT DATED 2016-06-06
2016-06-07	02	REVISED PER TOWNSHIP DEVELOPMENT REPORT DATED 2016-06-24
2018-11-07	03	REVISED PER TOWNSHIP AS PER RESOLUTION LETTER DATED 2018-10-15
2018-01-31	04	REVISED PER TOWNSHIP DEVELOPMENT REPORT DATED 2018-11-29
2018-03-13	05	REVISED PER BUILDING AND LAYOUT EDITS
	06	
	07	
	08	



CRANBERRY CARWASH LD
 1335 OLD FREEDOM ROAD
 CRANBERRY TOWNSHIP, PA 16066
 PREPARED FOR:
BRP3, LLC
 234 REICHHOLD ROAD
 WEXFORD, PA 15090

SITE PLAN FOR RECORDING
 Project Number: C-19979-0002
 Drawing Scale: 1" = 20'
 Date Issued: JULY 2018
 Index Number: 403.772
 Drawn By: BWH/MTT
 Checked By: JEG
 Project Manager: JEG
C101

ZONING REQUIREMENTS

SITE ZONING: C-1 COMMERCIAL ZONING DISTRICT
 USE: CARWASH

TOWNSHIP STANDARD	REQUIRED	PROVIDED
BUILDING HEIGHT	50'	30'
MAX. IMPERVIOUS AREA	60%	65.1% (MODIFICATION)
MIN. LOT AREA	1.0 ACRES	1.061 ACRES
MIN. PARKING GREENSPACE	10%	12.3%

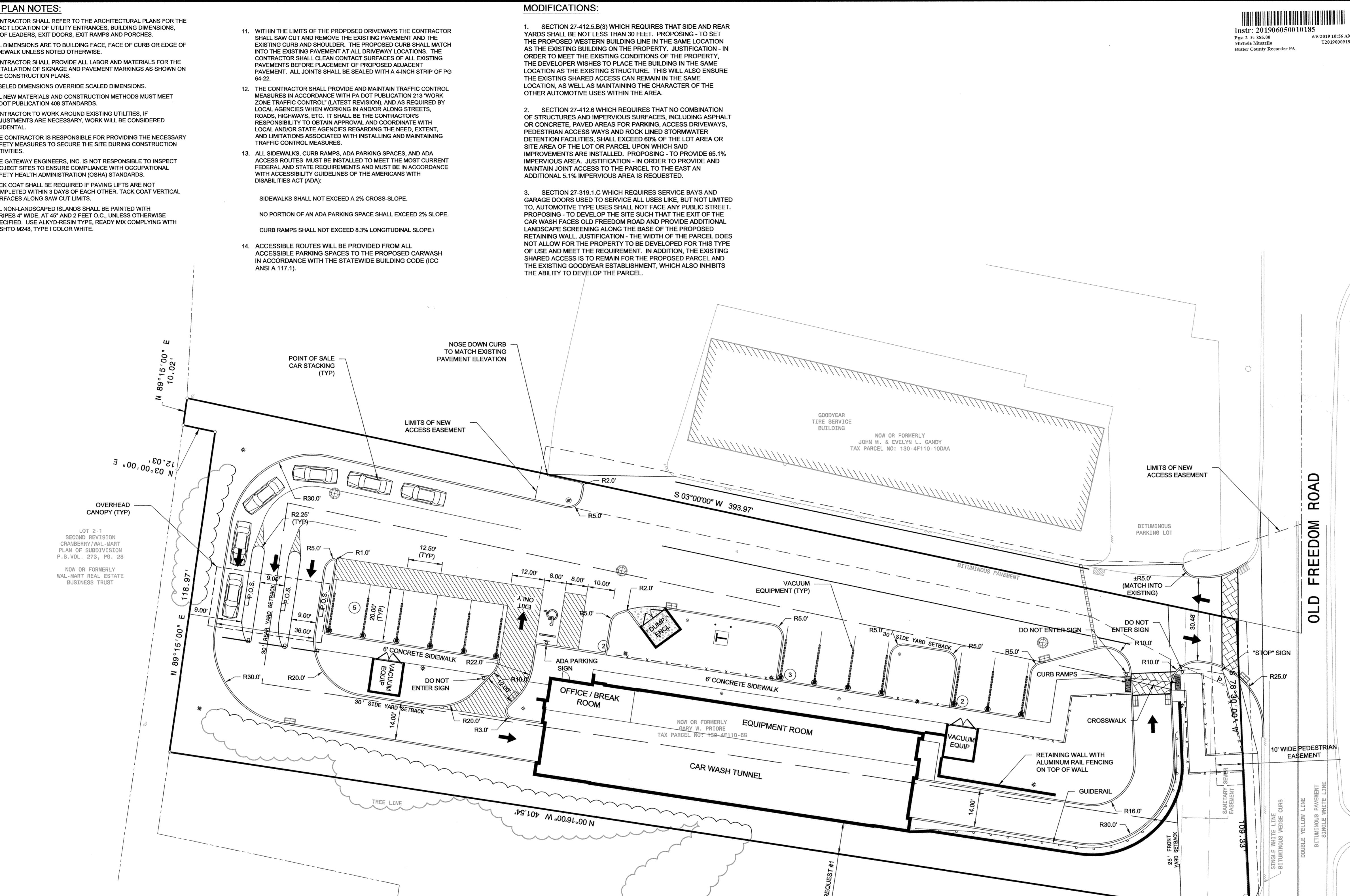
SETBACKS

	REQUIRED	PROVIDED
FRONT YARD	25 FEET	25 FEET
REAR YARD	30 FEET	30 FEET
SIDE YARD	30 FEET	12 FEET (MODIFICATION)

PARKING*

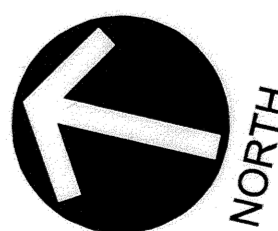
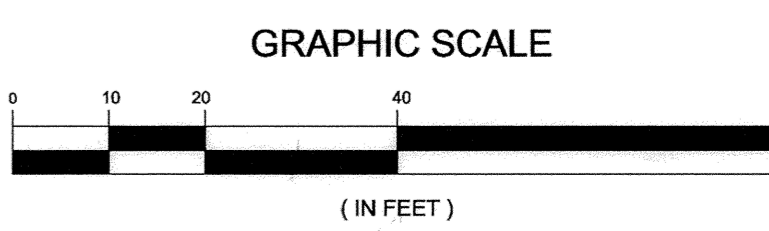
	REQUIRED	PROVIDED
TOTAL	2	2
ADA ACCESSIBLE	1	1

*PARKING REQUIREMENTS:
 VEHICLE WASHING FACILITIES: 1 SPACE PER EMPLOYEE
 1 EMPLOYEE = 1 REQUIRED SPACE, 2 SPACES PROVIDED



PLAN BOOK	PAGE
378	5

811
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 Serial No. 20181400465



THIS PLAN IS FOR POST-CONSTRUCTION STORMWATER MANAGEMENT PURPOSES ONLY

CONSTRUCTION OF POST-CONSTRUCTION BMP'S

- PRIOR TO THE INSTALLATION OF THE UNDERGROUND BMP'S, TRIBUTARY AREAS MUST REACH THE STABILIZATION STANDARDS AS FOLLOWS; STABILIZATION OF THE SITE SHALL BE ACHIEVED WHEN VEGETATION AREA ACHIEVE A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OVER THE ENTIRE DISTURBED AREA.
- EARTHWORK ACTIVITIES FOR THE CONSTRUCTION OF THE UNDERGROUND DETENTION SYSTEM SHALL BEGIN ONCE THE STANDARDS AS MET FOR VEGETATION AS STATED ABOVE. THE CONTRACTOR SHALL FOLLOW ALL MANUFACTURER RECOMMENDATIONS FOR INSTALLATION SEQUENCING. THE INSTALLATION OF THE STORMWATER MANAGEMENT SYSTEMS HAVE BEEN IDENTIFIED AS A CRITICAL STAGE OF CONSTRUCTION FOR WHICH A LICENSED PROFESSIONAL OR DESIGNER SHALL BE PRESENT DURING CONSTRUCTION.
 - IF POSSIBLE, INSTALL UNDERGROUND DETENTION SYSTEM DURING LATER PHASES OF SITE CONSTRUCTION TO PREVENT SEDIMENTATION AND OR DAMAGE FROM CONSTRUCTION ACTIVITY. AFTER INSTALLATION, PREVENT SEDIMENT LADEN WATER FROM ENTERING INLETS AND PIPES.
 - INSTALL AND MAINTAIN PROPER EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. EXCAVATE UNDERGROUND DETENTION SYSTEM BOTTOM TO A UNIFORM, LEVEL SUBGRADE, FREE FROM ROCKS AND DEBRIS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE BED AREA OF UNDERGROUND DETENTION SYSTEM. CARE SHALL BE TAKEN AS TO MINIMIZE ALL COMPACTION OF THESE SURFACES IN ORDER TO PROTECT AREAS.
 - PLACE NON-WOVEN GEOTEXTILE ALONG BOTTOM AND SIDES OF TRENCH. FOLD BACK AND SECURE EXCESS GEOTEXTILE DURING STONE PLACEMENT.
 - INSTALL UPSTREAM AND DOWNSTREAM CONTROL STRUCTURES, MANHOLES, INSPECTION PORTS, ETC.
 - PLACE UNIFORMLY GRADED, CLEAN WASHED AGGREGATE IN 8-INCH LIFTS, LIGHTLY COMPACTING BETWEEN LIFTS.
 - INSTALL PIPE AS INDICATED ON PLANS. BACKFILL WITH UNIFORMLY GRADED, CLEAN WASHED AGGREGATE IN 6-INCH LIFTS, LIGHTLY COMPACTING BETWEEN LIFTS.
 - FOLD AND SECURE NON-WOVEN GEOTEXTILE OVER UNDERGROUND DETENTION SYSTEMS WITH MINIMUM OVERLAP OF 16-INCHES.
 - DO NOT REMOVE INLET PROTECTION OR OTHER EROSION AND SEDIMENT CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED.
 - ANY SEDIMENT THAT ENTERS INLETS DURING CONSTRUCTION IS TO BE REMOVED WITHIN 24 HOURS.

01	CONSTRUCTION SEQUENCE FOR POST-CONSTRUCTION STORMWATER MANAGEMENT BMP'S
C701	

STORMWATER MANAGEMENT SYSTEM MAINTENANCE SCHEDULE

OWNER AND RESPONSIBLE MAINTENANCE PARTY: BRP3, LLC

THE STORMWATER MANAGEMENT SYSTEM, WHICH INCLUDES CLEANOUTS, MANHOLES, WATER QUALITY INLETS, STORM SEWERS, OUTLET STRUCTURES, AND UNDERGROUND DETENTION SYSTEMS, SHOULD BE INSPECTED APRIL 15 AND NOVEMBER 15 OF EACH YEAR, PERIODICALLY, AND AFTER HEAVY RAINFALL EVENTS. THE STORMWATER MANAGEMENT SYSTEM IS A PRIVATELY OWNED SYSTEM AND IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO PERFORM THESE INSPECTIONS, MAKE ALL NECESSARY REPAIRS, AND KEEP A RECORD OF THE FINDINGS AND RESULTS OF THE INSPECTIONS AVAILABLE FOR REVIEW BY CRANBERRY TOWNSHIP.

THE FOLLOWING MAINTENANCE SHALL BE PERFORMED AS SOON AS PRACTICAL FOLLOWING AN INSPECTION:

CLEANOUTS - THE STRUCTURES SHALL BE MAINTAINED SO AS NOT TO ALLOW ANY SEDIMENT OR DEBRIS TO PREVENT THE FLOW OF WATER THROUGH THE STRUCTURES. ANY OBSTRUCTIONS TO THE PIPE SHOULD BE REMOVED.

MANHOLES / WATER QUALITY INLETS - THE MANHOLES AND WATER QUALITY INLET SUMPS SHALL BE INSPECTED AND CLEANED AT A MINIMUM OF FOUR TIMES PER YEAR. ALL SEDIMENT, DEBRIS/TRASH SHALL BE PROPERLY HANDLED AND DISPOSED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL GUIDELINES AND REGULATIONS. INSPECT INLET HOODS/SCREENS TO MAKE SURE NO SEDIMENT OR DEBRIS BUILD-UP HAS OCCURRED THAT MIGHT RESTRICT THE FLOW OF WATER INTO THE STORM SEWER PIPING.

STORM SEWER PIPES - ALL STORM SEWER PIPING SHOULD BE INSPECTED TO MAKE SURE NO SEDIMENT OR DEBRIS BUILD-UP HAS OCCURRED THAT MIGHT RESTRICT THE FLOW OF WATER THROUGH THEM. IF BUILD-UP HAS OCCURRED, THE PIPES SHOULD BE FLUSHED AND CLEANED.

OUTLET CONTROL STRUCTURE - THE OUTLET CONTROL STRUCTURE SHOULD BE INSPECTED TO MAKE SURE NO OBSTRUCTIONS ARE PREVENTING THE ORIFICE OPENING(S) FROM PASSING WATER INTO THE OUTLET PIPE. ANY OBSTRUCTION PREVENTING THE PRIMARY SPILLWAY FROM FUNCTIONING PROPERLY MUST BE REMOVED.

DETENTION TANK - THE DETENTION TANKS SHOULD BE INSPECTED TO MAKE SURE THERE IS NO BUILDUP OF DEBRIS OR SILT IN THE VESSELS. DISPOSE OF SEDIMENT, DEBRIS/TRASH, AND ANY OTHER WASTE MATERIAL REMOVED FROM THE SYSTEM. THE FACILITY SHOULD BE INSPECTED AT LEAST 4 TIMES A YEAR, AS WELL AS AFTER EVERY STORM EXCEEDING 1 INCH.

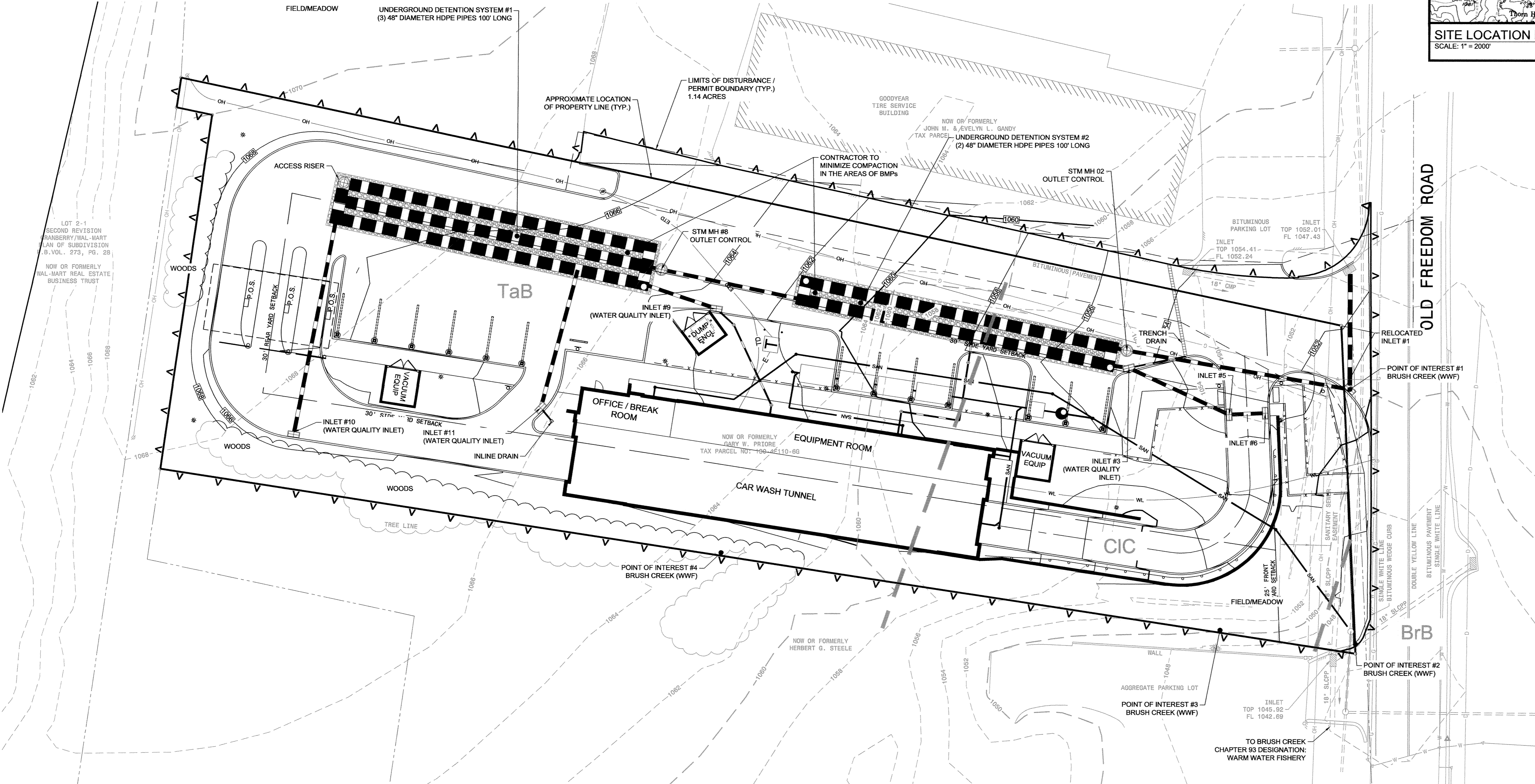
STREET SWEEPING - STREET SWEEPING SHALL BE CONDUCTED EVERY MONTH FROM APRIL THROUGH OCTOBER. IF WEATHER CONDITIONS RESTRICT A SCHEDULED DAY THAT STREET SWEEPING IS TO OCCUR, THE PROCESS SHOULD BE RESCHEDULED AS SOON AS POSSIBLE WHEN WEATHER ALLOWS STREET SWEEPING TO BE ACCOMPLISHED.

IN ADDITION TO THESE MEASURES, ALL MAINTENANCE REQUIREMENTS OF THE CRANBERRY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE MUST BE FOLLOWED.

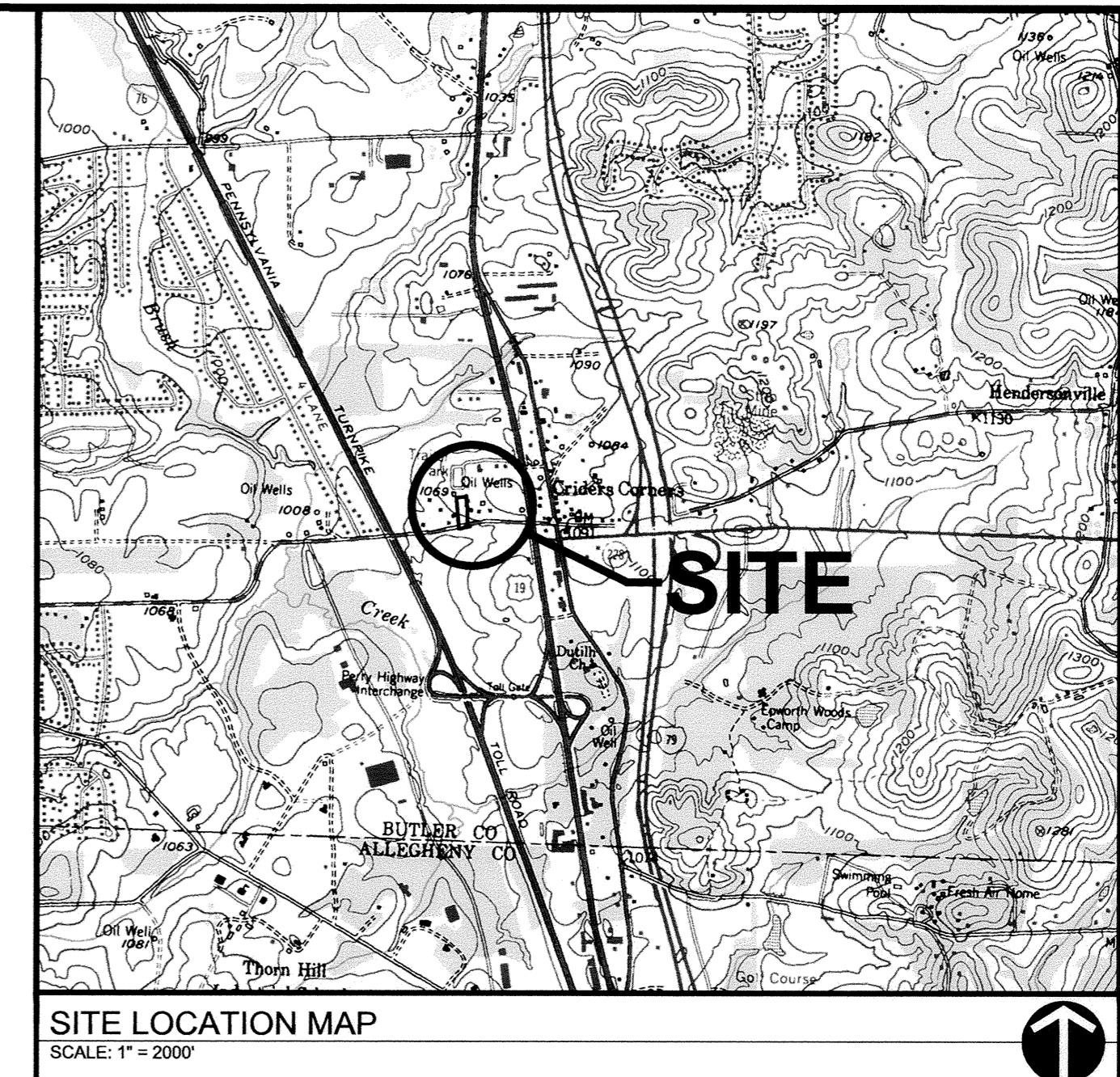
MAINTENANCE RESPONSIBILITY FOR THE STORMWATER MANAGEMENT SYSTEM SHALL REMAIN WITH THE OWNER AND THEIR SUCCESSOR IN TITLE. ALL STORMWATER MANAGEMENT FACILITIES AND EROSION CONTROL FACILITIES WILL BE MAINTAINED BY THE DEVELOPER. THE EROSION CONTROL FACILITIES ARE TO BE INSPECTED AFTER EACH RAINFALL AND ONCE DAILY DURING CONSTRUCTION. ANY CONTROLS WHICH ARE FOUND TO BE DAMAGED ARE TO BE FIXED WITHIN TWENTY-FOUR HOURS.

ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED, THE DEVELOPER IS TO INSPECT THE STORMWATER MANAGEMENT FACILITIES FOUR TIMES PER YEAR. A RECOMMENDED SCHEDULE IS AS FOLLOWS: JANUARY 3, APRIL 3, JULY 3, OCTOBER 3

02	POST-CONSTRUCTION STORMWATER MANAGEMENT OPERATIONS AND MAINTENANCE FOR BMP'S
C701	



- ADDITIONAL NOTES**
- AS PER THE APPROVED STORMWATER MANAGEMENT PLAN, THE TOWNSHIP SHALL HAVE RIGHT OF ACCESS TO THE ON-SITE DETENTION FACILITY FOR THE RIGHT OF MAINTENANCE, MONITORING, AND/OR SAMPLING, IN THE EVENT THE OWNER, ASSIGNS OR HEIRS DO NOT ADEQUATELY MAINTAIN OR MONITOR THE FACILITY. THE OWNER, ASSIGNS OR HEIRS SHALL REIMBURSE THE TOWNSHIP FOR ALL COSTS ASSOCIATED WITH SAID MAINTENANCE. THE AFOREMENTIONED RIGHTS GRANTED TO THE TOWNSHIP IN NO WAY DIMINISH THE RESPONSIBILITY OF THE OWNER, ASSIGNS OR HEIRS OF SAID MAINTENANCE AND MONITORING, AND NO LIABILITY WILL BE ASSUMED BY THE TOWNSHIP ASSOCIATED WITH REQUIRED ACCESS FOR MAINTENANCE OR MONITORING PURPOSES.
 - IT SHALL BE UNLAWFUL TO ALTER OR REMOVE ANY PERMANENT STORMWATER BMP REQUIRED BY AN APPROVED SWM SITE PLAN OR TO ALLOW THE PROPERTY TO REMAIN IN A CONDITION THAT DOES NOT CONFORM TO AN APPROVED SWM SITE PLAN, UNLESS THE TOWNSHIP GRANTS AN EXCEPTION IN WRITING.
 - NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, OR ALTER ANY EXISTING STORMWATER BMP, FACILITIES, AREAS, OR STRUCTURES, UNLESS IT IS PART OF AN APPROVED MAINTENANCE PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE TOWNSHIP.
 - MUNICIPAL LIABILITY DISCLAIMER: APPROVAL OF A STORMWATER MANAGEMENT PLAN BY THE TOWNSHIP SHALL NOT BE CONSTRUED AS AN INDICATION THAT SAID PLAN COMPLIES WITH THE REQUIREMENTS, LAWS, OR STANDARDS OF ANY AGENCY OF THE COMMONWEALTH WHICH MAY OR MAY NOT GOVERN SAID ACTIVITY.
 - AT THE COMPLETION OF THE PROJECT AND AS A PREREQUISITE FOR THE RELEASE OF THE FINANCIAL GUARANTEE, THE APPLICANT SHALL PROVIDE A CERTIFICATION OF COMPLETION FROM AN ENGINEER, ARCHITECT, SURVEYOR OR OTHER QUALIFIED PERSON VERIFYING THAT ALL PERMANENT FACILITIES HAVE BEEN CONSTRUCTED ACCORDING TO THE SWM SITE PLAN AND REPORT AND APPROVED REVISIONS THERETO.



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- POST-CONSTRUCTION STORMWATER MANAGEMENT CONTROL NOTES:**
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF THE BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
 - BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PENNSYLVANIA ONE CALL SYSTEMS, INC AT 1-800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER MANHOLES, INLETS, AND DETENTION SYSTEMS.
 - AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
 - ALL STORM PIPE SHALL BE HDPE, SMOOTH INTERIOR, CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED. ALL STORM SEWER CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS. ALL JOINTS SHALL BE WATERTIGHT.
 - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
 - THE CONTRACTOR SHALL ASSURE THAT THERE IS POSITIVE DRAINAGE TO THE INLETS UPON PLACEMENT OF NEW PAVEMENT.

POST-CONSTRUCTION STORMWATER MANAGEMENT CONTROL LEGEND

NOTE: CONTRACTOR TO REFER TO STORM SEWER PROFILES ON SHEETS C500 FOR ADDITIONAL INFORMATION.

PROJECT AREAS

TOTAL PERMIT AREA = 1.14 ACRES
DISTURBED AREA = 1.14 ACRES

GRAPHIC SCALE

0 10 20 40 80
(IN FEET)
1 inch = 20 ft.

PLAN BOOK

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	6

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The Gateway Engineers, Inc.
Full-Service Civil Engineering & Surveying
Pittsburgh, PA
gatewayengineers.com

CRANBERRY CARWASH LD
1335 OLD FREEDOM ROAD
CRANBERRY TOWNSHIP, PA 16066

PREPARED FOR:
BRP3, LLC
234 REICHHOLD ROAD
WEXFORD, PA 15090

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

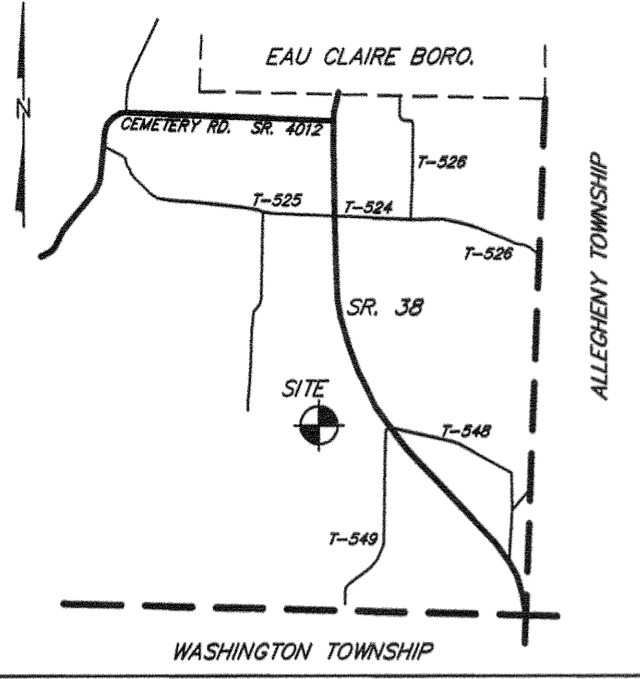
Project Number: C-19979-0002
Drawing Scale: 1"=20'
Date Issued: JULY 2018
Index Number: 403,772
Drawn By: BWH/MTT
Checked By: JEG
Project Manager: JEG

C701

REVISION RECORD

No.	Date	Description
01	2018-08-10	REVISED PER TOWNSHIP DEVELOPMENT REPORT DATED 2018-08-06
02	2018-08-07	REVISED PER TOWNSHIP DEVELOPMENT REPORT DATED 2018-08-24
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04	2019-01-31	REVISED PER TOWNSHIP DEVELOPMENT REPORT DATED 2018-11-29
05	2019-03-13	REVISED PER BUILDING AND LAYOUT EDITS
06	-	-
07	-	-
08	-	-

P:\m & F\managers\Projects\19001\19019 BRP3 Carwash Cranberry\0002 Final LDD\02\02_Sheet\19019_0002_C400 ES PCSM.dwg
She Date=3/18/2019 10:44 AM
Plot Date=3/18/2019 10:44 AM



NOTE: NO ABSTRACT OF TITLE, NOR TITLE COMMITMENT, NOR RESULTS OF A TITLE SEARCH WERE FURNISHED TO THE SURVEYOR THERE MAY EXIST OTHER DOCUMENTS OF RECORD THAT WOULD AFFECT THIS SURVEYED PARCEL.

SUBJECT TO :
EASEMENTS, SERVITUDES, RIGHTS-OF-WAY,
LEASES, EXCEPTIONS, RESERVATIONS,
RESTRICTIONS, ECT., IF ANY THAT MAY
APPEAR EITHER RECORDED OR UNRECORDED.

BUILDING SETBACK LINES:
FRONT 50' FROM R/W
SIDE 20'
REAR 50'

Instr: 201906100010543
Pg: 1 F: \$45.00 ©10/2019 3:26 PM
Michele Mustello T20190009449
Butler County Recorder PA

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF ~~BUTLER~~ BEAVER

Before me, the subscriber, a Notary Public in and for said County and Commonwealth personally appeared the above named Joyce Hamburg who acknowledged the foregoing release and dedication and plan of subdivision to be her act and deed and desired the same to be recorded as such.

WITNESS MY HAND AND SEAL this 13 day of MAY 2019

Richard G. Pavelick
Notary Public

COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
Richard G. Pavelick, Notary Public
Chippewa Twp., Beaver County
My Commission Expires Oct. 28, 2020
MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES

My Commission Expires the _____ day of _____ 20____

OWNERS ADOPTION

Know all men by these presents, that I Joyce Hamburg of Venango Twp., Butler Co., Pennsylvania for myself, my heirs, executors, administrators and assign, do hereby adopt this as my Plan of Subdivision of my property situated in Venango Twp., Butler Co., Pennsylvania, and for diver advantages accruing to me, do hereby dedicate forever, for public use for highway, drainage, sewage and utility purposes, all drives, roads, lands, rights-of-ways, easements ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings and in consideration of the approval of said plan and any future acceptance of said public highways, rights-of-way and easements by the Venango Twp., Butler Co. I hereby agree to and by these presents do release and forever discharge the Venango Twp., Butler Co. their successors or assigns from any liability for damages arising and to arise from the appropriation of said ground for public highways, and other public uses and the physical grading thereof to any grades that may be established. This dedication and release shall be binding upon my heirs, executors, administrators, and assigns and purchasers of the lots in this plan.

In Witness Whereof, I hereunto set my hand and seal this

ATTEST
13 day of MAY AD 20 19

Joyce Hamburg
Owner
Richard G. Pavelick
Notary public

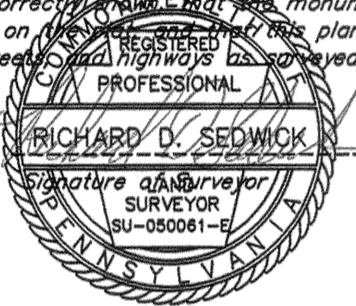
LOCATION MAP

Certification by Professional Land Surveyor

I, Richard D. Sedwick, a Professional Land Surveyor, registered by the Commonwealth of Pennsylvania, do hereby certify that the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown and that the monuments and markers have been set as shown on this plan and that this plan correctly represents the lots, land, streets and highways as surveyed.

APRIL 2019
DATE

SEAL

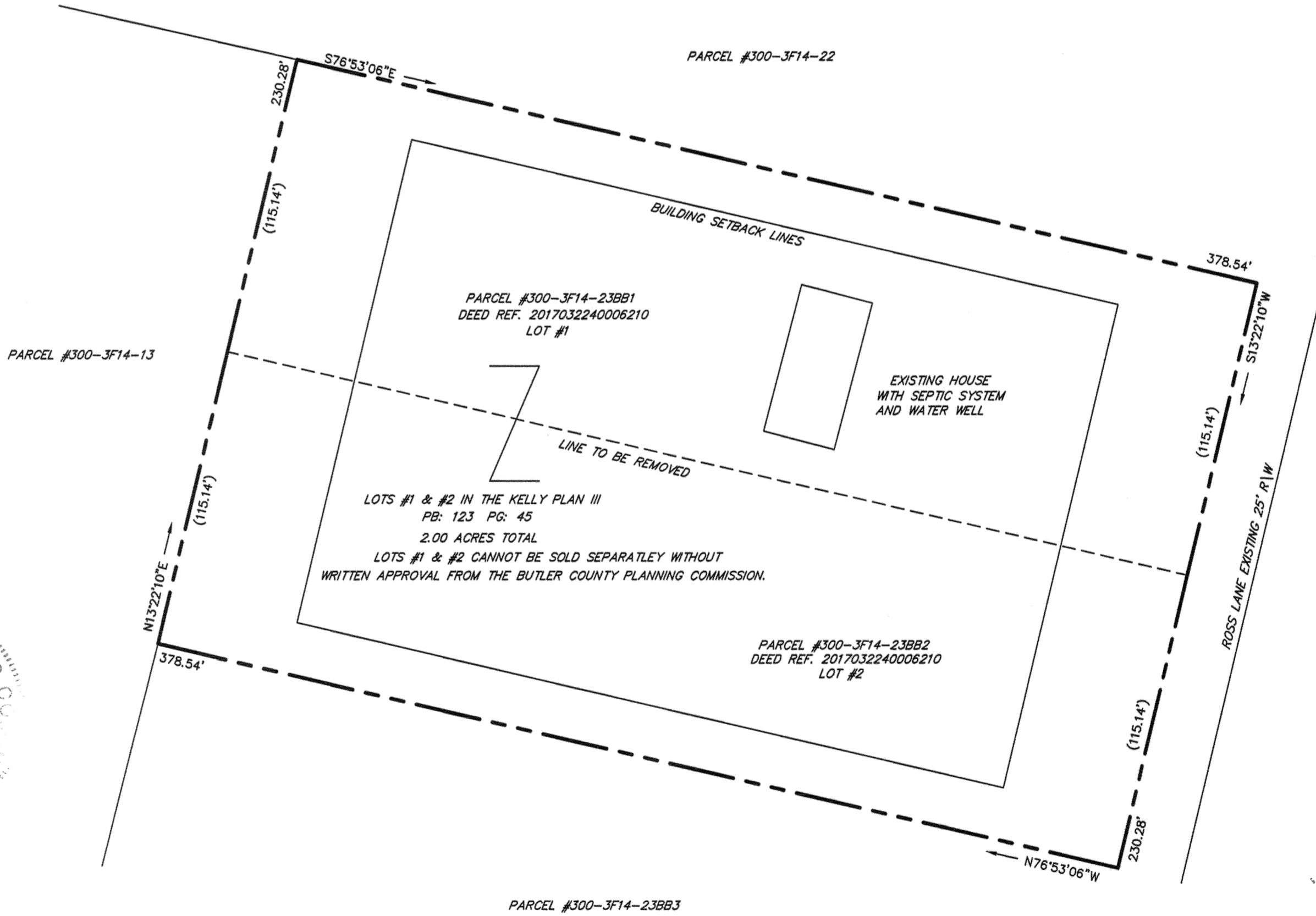


Reviewed by Venango Township

this 7th day of MAY 2019
Susan Klingler Secretary
[Signature] Chairman

Approved by the Butler County Planning Commission

this 28th day of MAY 2019
[Signature] Secretary
[Signature] Chairman



COMMONWEALTH OF PENNSYLVANIA COUNTY OF BUTLER
Recording Certificate

Recorded this 10th day of June 2019 in the

Register and Recorder of Deeds office, in Plan Book, Vol. 378, Page 8, INST NUMBER 201906100010543

Michele M. Mustello
Recorder of Deeds

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2020



PLAN BOOK	PAGE
378	8

DRAWN BY:
R.D.S.
CHECKED BY
D.R.D.
SCALE:
1"=40'
DATE:
APRIL 2019
DRAWING NO:
300-3F14-23BB1

LOT CONSOLIDATION PLAN	
MADE FOR JOYCE HAMBURG	
VENANGO TWP	BUTLER CO.
R.D.SEDWICK P.L.S.	KITTANNING, PA. 724-355-9302

CORPORATE ADOPTION (TAX PARCEL 60-S17-A16A & MARGATE COURT)

KNOW ALL MEN BY THESE PRESENTS THAT D & D BEBLO, INC. BY VIRTUE OF A RESOLUTION OF THE BOARD OF DIRECTORS, THEREOF DOES HEREBY ADOPT THIS AS ITS PLAN OF SUBDIVISION OF ITS PROPERTY, SITUATE IN THE TOWNSHIP OF CENTER, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DOES HEREBY DEDICATE FOREVER FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE, AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANES, RIGHTS-OF-WAY, EASEMENTS, WAYS, AND OTHER PUBLIC WAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY, AND EASEMENTS BY SAID COUNTY OF BUTLER OR TOWNSHIP OF CENTER, D & D BEBLO, INC. HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COUNTY OF BUTLER OR SAID TOWNSHIP OF CENTER, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED, THIS DEDICATION AND RELEASE SHALL BE BINDING UPON D & D BEBLO, INC., ITS SUCCESSORS AND ASSIGNS, AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE HAND OF ITS PRESIDENT AND SAME TO BE ATTESTED BY ITS SECRETARY, THIS 02nd DAY OF November, 2018.

ATTEST: Charolette M. Beblo SECRETARY
D & D Beblo Inc CORPORATION
Dennis G. Beblo PRESIDENT

THE FOREGOING ADOPTION AND DEDICATION IS MADE BY D & D BEBLO, INC. WITH FULL UNDERSTANDING AND AGREEMENT THAT THE APPROVAL OF THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CENTER, IF HERETO ATTACHED, WILL BECOME NULL AND VOID UNLESS THIS PLAN IS RECORDED IN THE RECORDER OF DEEDS OFFICE OF BUTLER COUNTY, COUNTY COURT HOUSE, BUTLER, PENNSYLVANIA, WITHIN NINETY (90) DAYS OF DATE OF SAID APPROVAL.

D & D Beblo, Inc CORPORATION
Dennis G. Beblo PRESIDENT

CORPORATE ACKNOWLEDGEMENT

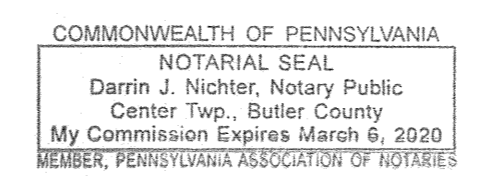
COMMONWEALTH OF PENNSYLVANIA }
 COUNTY OF Butler } SS:

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY PERSONALLY APPEARED DENNIS G. BEBLO, PRESIDENT OF D & D BEBLO, INC., WHO BEING DULY SWORN, DEPOSETH AND SAITH THAT HE WAS PERSONALLY PRESENT AT THE EXECUTION OF THE ADOPTION, RELEASE, AND DEDICATION, AND SAW THE COMMON AND CORPORATE SEAL OF THE SAID CORPORATION DULY SIGNED AND SEALED BY AND AS FOR THE ACT AND DEED OF THE SAID D & D BEBLO, INC., FOR THE USES AND PURPOSES THEREIN MENTIONED AND THAT THE NAME OF THIS DEPONENT SUBSCRIBED TO THE SAID RELEASE AND DEDICATION AS PRESIDENT OF D & D BEBLO, INC., IN ATTESTATION OF THE DUE EXECUTION AND DELIVERY OF SAID RELEASE AND DEDICATION OF THIS DEPONENT'S OWN AND PROPER AND RESPECTIVE HANDWRITING.

Dennis G. Beblo
 DENNIS G. BEBLO, PRESIDENT

SWORN TO AND SUBSCRIBED BEFORE ME THIS DAY, 02nd DAY OF November, 2018.

Darin J. Nichter
 NOTARY PUBLIC



MY COMMISSION EXPIRES THE 08th DAY OF March, 2020.

INDIVIDUAL ADOPTION (TAX PARCELS 60-S17-A13, A14, A15 & A16)

KNOW ALL MEN BY THESE PRESENTS THAT WE, DENNIS G. BEBLO AND CYNTHIA C. BEBLO OF THE TOWNSHIP OF CENTER, COUNTY OF BUTLER, AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS, AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF SUBDIVISION OF OUR PROPERTY, SITUATE IN THE TOWNSHIP OF CENTER, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE, AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANES, RIGHTS-OF-WAY, EASEMENTS, WAYS, AND OTHER PUBLIC WAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY, AND EASEMENTS BY SAID COUNTY OF BUTLER OR TOWNSHIP OF CENTER, WE, DENNIS G. BEBLO AND CYNTHIA C. BEBLO HEREBY AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COUNTY OF BUTLER OR SAID TOWNSHIP OF CENTER, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED, THIS DEDICATION AND RELEASE SHALL BE BINDING UPON OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS, AND ASSIGNS, AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE HERETO SET OUR HANDS AND SEALS THIS 02nd DAY OF November, 2018.

ATTEST: Dennis G. Beblo DENNIS G. BEBLO
Cynthia C. Beblo CYNTHIA C. BEBLO

THE FOREGOING ADOPTION AND DEDICATION IS MADE BY DENNIS G. BEBLO AND CYNTHIA C. BEBLO WITH FULL UNDERSTANDING AND AGREEMENT THAT THE APPROVAL OF THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CENTER, IF HERETO ATTACHED, WILL BECOME NULL AND VOID UNLESS THIS PLAN IS RECORDED IN THE RECORDER OF DEEDS OFFICE OF BUTLER COUNTY, COUNTY COURT HOUSE, BUTLER, PENNSYLVANIA, WITHIN NINETY (90) DAYS OF DATE OF SAID APPROVAL.

Dennis G. Beblo DENNIS G. BEBLO
Cynthia C. Beblo CYNTHIA C. BEBLO

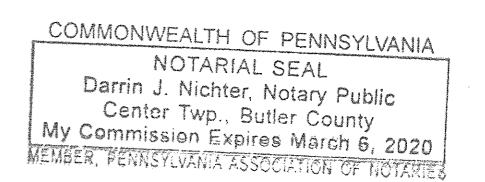
INDIVIDUAL ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA }
 COUNTY OF Butler } SS:

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED THE ABOVE NAMED DENNIS G. BEBLO AND CYNTHIA C. BEBLO AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN OF SUBDIVISION TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 02nd DAY OF November, 2018.

Darin J. Nichter
 NOTARY PUBLIC



MY COMMISSION EXPIRES THE 08th DAY OF MARCH, 2020.

SURVEYOR CERTIFICATION

I, RONALD OLSEN, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, ALLEYS, RIGHTS-OF-WAY, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS, DEVELOPERS, OR AGENTS.

10-29-18 DATE
Ronald Olsen RONALD OLSEN PLS # SU-963-A



BUTLER COUNTY PLANNING COMMISSION

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 5th DAY OF Nov, 2018.

ATTEST: Craig SECRETARY
F. Williams CHAIRMAN



TOWNSHIP PLANNING COMMISSION

THIS PLAT OF SUBDIVISION HAS BEEN APPROVED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF CENTER, BUTLER COUNTY, PENNSYLVANIA ON THIS 26th DAY OF September, 2018.

ATTEST: Pat SECRETARY
Ronald E. Platt CHAIRMAN

BOARD OF SUPERVISORS

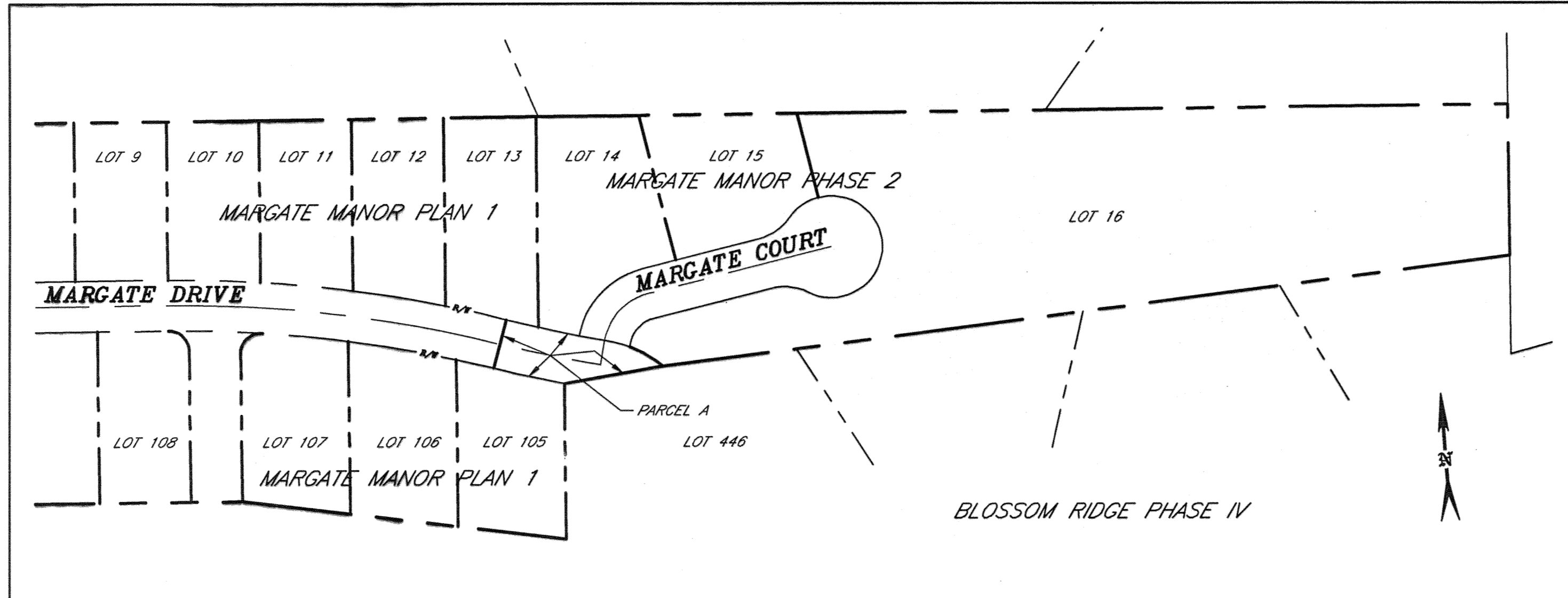
THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CENTER, BUTLER COUNTY, PENNSYLVANIA, HEREBY GIVES PUBLIC NOTICE THAT IT IS APPROVING THIS PLAN OF SUBDIVISION FOR RECORDING PURPOSES ONLY. THE APPROVAL OF THIS SUBDIVISION PLAN BY THE TOWNSHIP OF CENTER DOES NOT CONSTITUTE AN ACCEPTANCE OF THE ROADS, STREETS, ALLEYS, STORMWATER AND SANITARY SEWAGE DRAINAGE FACILITIES, EASEMENTS OR RIGHTS-OF-WAY, WATER MAINS, OR ANY OTHER SERVICES OR IMPROVEMENTS SHOWN ON THIS PLAN NOR AN ASSUMPTION OF MAINTENANCE RESPONSIBILITY, NOR WILL THE SAME BE ACCEPTED OR MAINTAINED UNTIL CONSTRUCTED IN ACCORDANCE WITH ALL TOWNSHIP SPECIFICATIONS AND REQUIREMENTS AND OFFICIALLY ACCEPTED BY ACTION OF THE BOARD OF SUPERVISORS.

THIS PLAT OF SUBDIVISION APPROVED BY RESOLUTION OF THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CENTER, BUTLER COUNTY, PENNSYLVANIA ON THIS 30th DAY OF April, 2018.

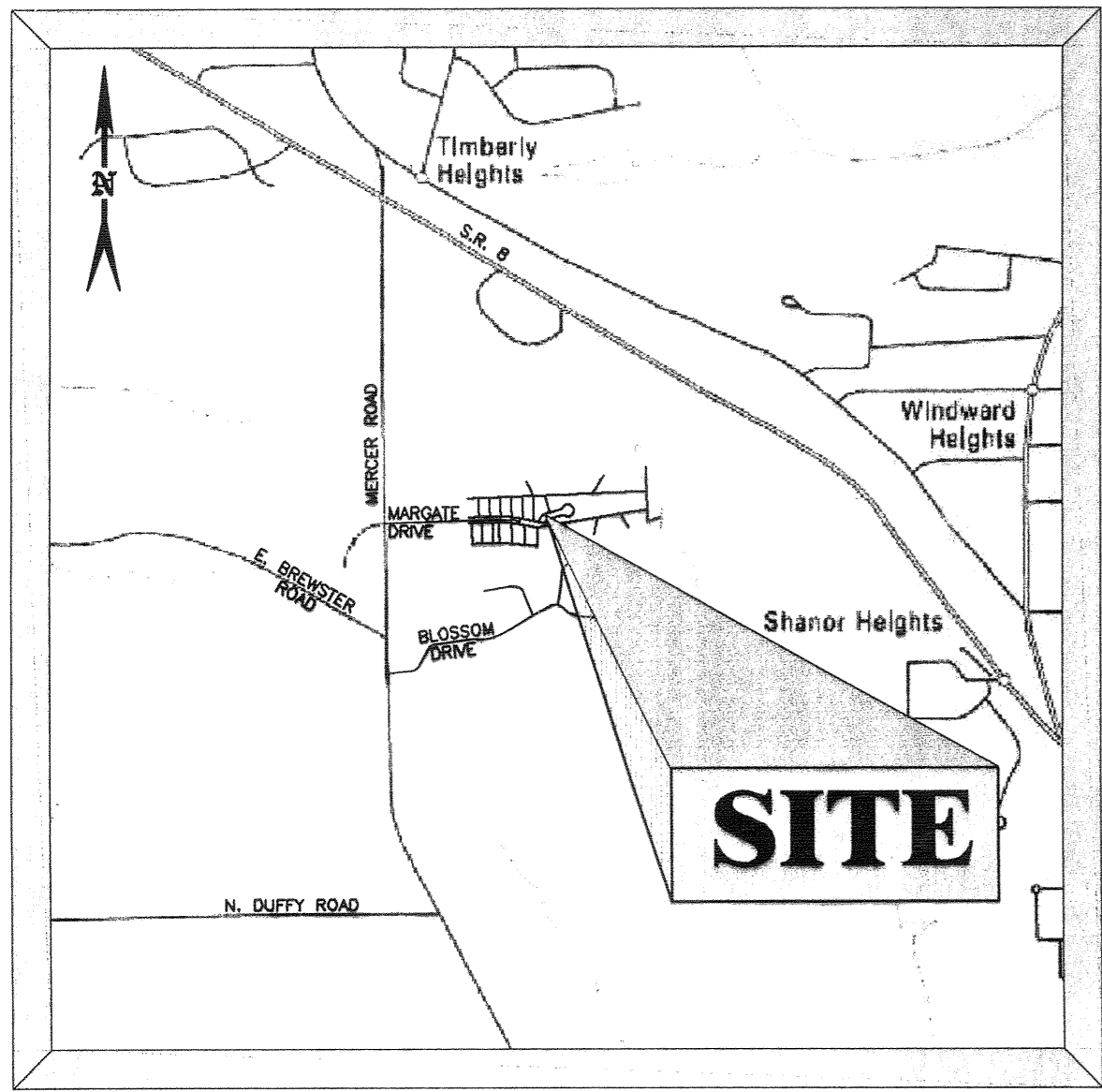
ATTEST: Richard Lee SECRETARY
Ronald E. Platt CHAIRMAN

THE FOLLOWING IS BEING DONE IN THIS SUBDIVISION & CONSOLIDATION PLAN:

- COMBINING LOTS 14, 15, & 16 FROM MARGATE MANOR PHASE 2 (RECORDED IN PB 79 PG 15). THESE PARCELS WILL BECOME PART OF A REVISED LOT 16R.
- ELIMINATING THE MARGATE COURT RIGHT-OF-WAY FROM MARGATE MANOR PHASE 2 (RECORDED IN PB 79 PG 15) AND THE LANDS CONTAINED THEREIN SHALL BECOME PART OF THE REVISED LOT 16R.
- MAINTAINING AN UNADOPTED PORTION OF MARGATE DRIVE AS A PRIVATE ROAD AND PUBLIC UTILITY RIGHT-OF-WAY.
- ESTABLISHING A SHARED MAINTENANCE AGREEMENT FOR THE PRIVATE DRIVEWAY SERVING TAX PARCELS 60-S17-A13 & 60-S17-105, AND REVISED LOT 16R.
- ELIMINATING PARCEL A IN THE BLOSSOM RIDGE LOT 446 LOT LINE REVISION (RECORDED IN PB 283 PG 33) (TAX PARCEL 60-S17-A16A) AND DIVIDING THIS LAND BETWEEN THE REVISED LOT 16R AND THE PRIVATE ROAD AND PUBLIC UTILITY EASEMENT.
- DEDICATING PUBLIC ROAD RIGHT-OF-WAY AND REVISING THE LOCATION OF THE END OF MARGATE DRIVE IN THE MARGATE MANOR PLAN 1 (RECORDED IN PB 62 PG 17).
- DEDICATING A DRAINAGE EASEMENT TO CENTER TOWNSHIP THAT IS LOCATED ON LOT 13 (TAX PARCEL 60-S17-A13) IN THE MARGATE MANOR PLAN 1 (RECORDED IN PB 62 PG 17) AND ON THE REVISED LOT 16R BEING CREATED BY THIS PLAN.



SITE REFERENCE MAP
 SCALE: 1" = 100'



SITE LOCATION MAP
 CENTER TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

PROPERTY OWNER INFORMATION

TAX PARCELS 60-S17-A13, 60-S17-A14, 60-S17-A15, & 60-S17-A16
 DENNIS G. BEBLO & CYNTHIA C. BEBLO
 131 MARGATE COURT
 BUTLER, PA 16001

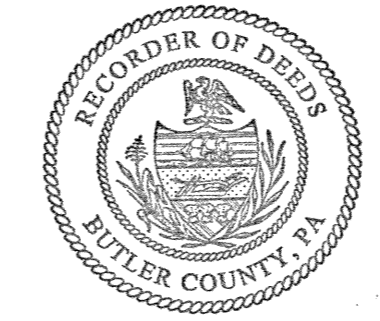
TAX PARCEL 60-S17-A16A & MARGATE COURT
 D & D BEBLO, INC.
 131 MARGATE COURT
 BUTLER, PA 16001

TAX PARCEL 60-S17-A105
 JAMES M. HORTERT, SR & DIANNA L. HORTERT
 124 MARGATE DRIVE
 BUTLER, PA 16001

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA }
 COUNTY OF BUTLER } SS:
 RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, PLATS, ETC.,
 IN SAID COUNTY IN PLAN BOOK 378, PAGE 912
 GIVEN UNDER MY HAND AND SEAL THIS 13th DAY OF JUNE, 2019.

Michele M. Mustello
 RECORDER



MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2020

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REV.	SUBMITTED FOR APPROVALS	CLH	RO	10-18-2018	1" = 100'	SCALE	CHKD. BY:	RO	DRAWN BY:	CLH	PROJECT NO.
0					0	100'					201504K

SHEET 1 OF 4

RECORDED:	PLAN BOOK	PAGE
	378	9

OLSEN CRAFT ASSOCIATES, LLC
 ENGINEERS-COMMUNITY PLANNERS-SURVEYORS-GRANTS WRITERS-PROJECT AND PERMIT ADMINISTRATORS
 126 S. MAIN STREET BUTLER PENNSYLVANIA 16001 (724) 282-4786 FAX (724) 282-7619 www.OlsenCraftAssociates.us

DENNIS G. & CYNTHIA C. BEBLO
 MARGATE MANOR
 SUBDIVISION & CONSOLIDATION PLAN
 CENTER TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

DATE: 10-18-2018
 SHEET NO. C050
 REV. 0

INDIVIDUAL ADOPTION (TAX PARCEL 60-517-A105)

KNOW ALL MEN BY THESE PRESENTS THAT WE, JAMES M. HORTERT, SR AND DIANNA L. HORTERT OF THE TOWNSHIP OF CENTER, COUNTY OF BUTLER, AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS, AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF SUBDIVISION OF OUR PROPERTY, SITUATE IN THE TOWNSHIP OF CENTER, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR OUR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE, AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANES, RIGHTS-OF-WAY, EASEMENTS, WAYS, AND OTHER PUBLIC WAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY, AND EASEMENTS BY SAID COUNTY OF BUTLER OR TOWNSHIP OF CENTER, WE, JAMES M. HORTERT, SR AND DIANNA L. HORTERT HEREBY AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COUNTY OF BUTLER OR SAID TOWNSHIP OF CENTER, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS, AND ASSIGNS, AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE HERETO SET OUR HANDS AND SEALS THIS 02nd DAY OF Novmbr, 2018.

ATTEST:

[Signature]

NOTARY PUBLIC

[Signature]
JAMES M. HORTERT, SR

[Signature]
DIANNA L. HORTERT

THE FOREGOING ADOPTION AND DEDICATION IS MADE BY JAMES M. HORTERT, SR AND DIANNA L. HORTERT WITH FULL UNDERSTANDING AND AGREEMENT THAT THE APPROVAL OF THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CENTER, IF HERETO ATTACHED, WILL BECOME NULL AND VOID UNLESS THIS PLAN IS RECORDED IN THE RECORDER OF DEEDS OFFICE OF BUTLER COUNTY, COUNTY COURT HOUSE, BUTLER, PENNSYLVANIA, WITHIN NINETY (90) DAYS OF DATE OF SAID APPROVAL.

[Signature]

NOTARY PUBLIC

[Signature]
JAMES M. HORTERT, SR

[Signature]
DIANNA L. HORTERT

INDIVIDUAL ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF Butler } SS:

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED THE ABOVE NAMED JAMES M. HORTERT, SR AND DIANNA L. HORTERT AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN OF SUBDIVISION TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 02nd DAY OF Novmbr, 2018.

[Signature]

NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
Darrin J. Nichter, Notary Public
Center Twp., Butler County
My Commission Expires March 5, 2020
MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES

MY COMMISSION EXPIRES THE 06th DAY OF MARCh, 2020.

MAINTENANCE AGREEMENT FOR PRIVATE DRIVEWAY

THE MAINTENANCE FOR THE PRIVATE DRIVEWAY LOCATED ON THE PRIVATE ROAD WILL BE SHARED BY THE OWNERS OF TAX PARCELS 60-517-A105 & 60-517-A13, AND REVISED LOT 16R. CURRENTLY, TAX PARCEL 60-517-A105 IS OWNED BY JAMES M. & DIANNA L. HORTERT, AND TAX PARCEL 60-517-A13 & REVISED LOT 16R ARE OWNED BY DENNIS G. & CYNTHIA C. BEBLO. THE MAINTENANCE COSTS FOR AREAS OF SHARED USAGE ARE TO BE SHARED EQUALLY BY THE CURRENT OWNERS AND THEIR SUCCESSORS. IF EITHER TAX PARCEL 60-517-A13 OR REVISED LOT 16R SHOULD COME UNDER SEPARATE OWNERSHIP, THEN THE MAINTENANCE COST SHARING WOULD BE RENEGOTIATED BETWEEN THE THEN OWNERS OF THE 3 PARCELS.

SHEET 2 OF 4

RECORDED:	
PLAN BOOK	PAGE
378	10

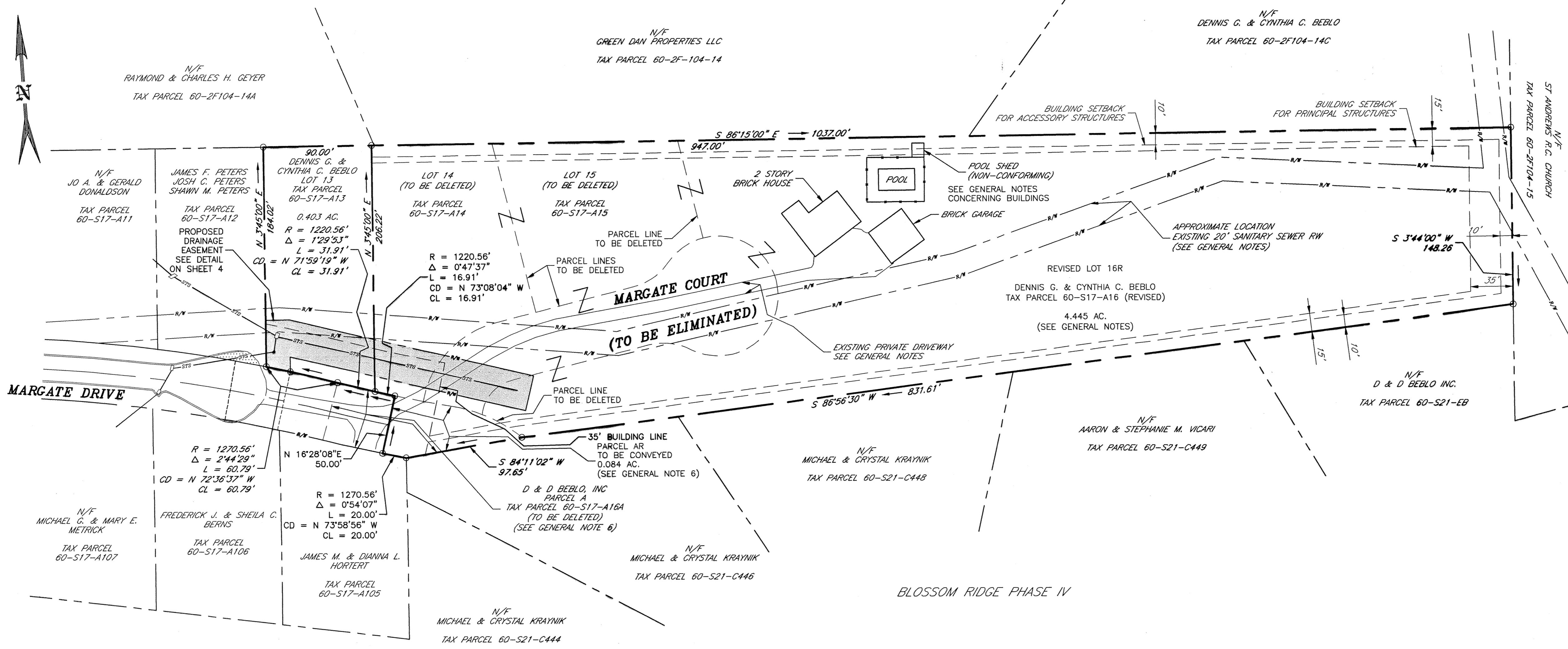
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0	SUBMITTED FOR APPROVALS	CLH	RO 10-18-2018
REV.	REVISION DESCRIPTION	REV BY	CHK BY DATE

OLSEN CRAFT ASSOCIATES, LLC
ENGINEERS • COMMUNITY PLANNERS • SURVEYORS • GRANTS WRITERS • PROJECT AND PERMIT ADMINISTRATORS
126 S. MAIN STREET BUTLER PENNSYLVANIA 16001 (724) 282-4788 FAX (724) 282-7619 www.OlsenCraftAssociates.us

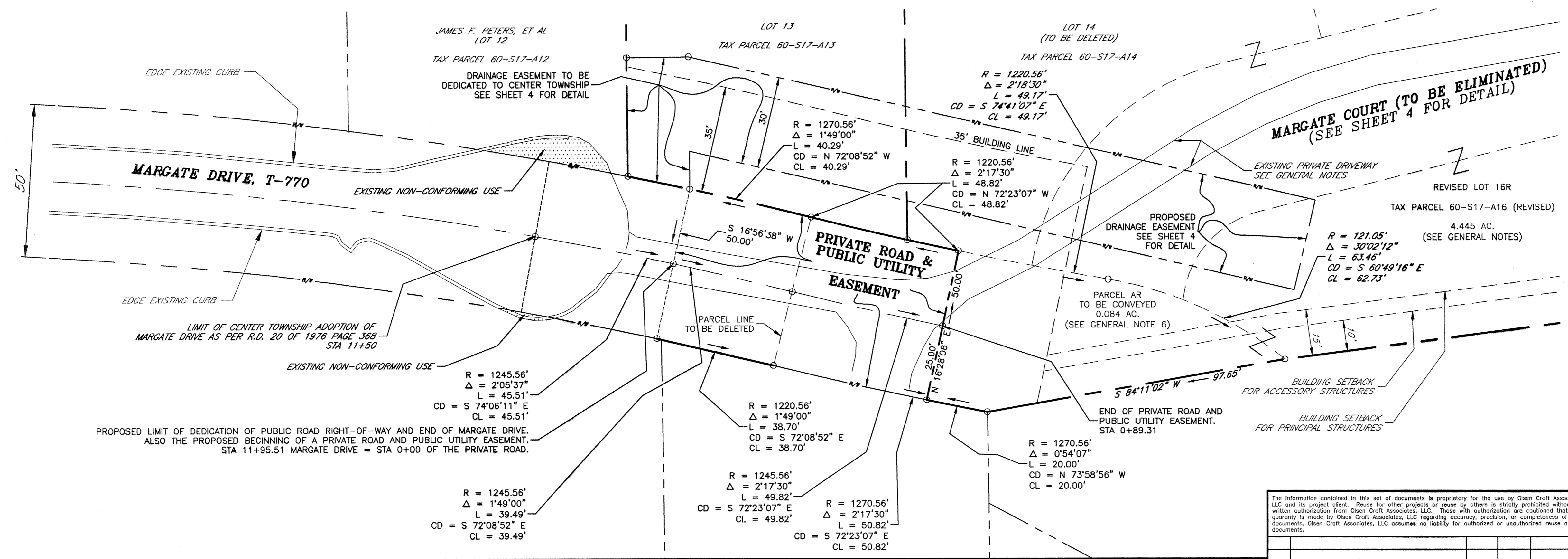
DENNIS G. & CYNTHIA C. BEBLO
MARGATE MANOR
SUBDIVISION & CONSOLIDATION PLAN
CENTER TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

DATE: 10-18-2018
SHEET NO. REV.
C0510

1" = XX'
SCALE 0 2X
CHKD. BY: RO DRAWN BY: CLH PROJECT NO. 201504K



OVERALL PLAN
SCALE: 1" = 50'



MARGATE DRIVE/PRIVATE ROAD DETAIL
SCALE: 1" = 20'

- GENERAL NOTES:**
1. THE LOCATION OF THE EXISTING 20' SANITARY SEWER RIGHT-OF-WAY IS FROM THE BUTLER AREA SEWER AUTHORITY MAP # 555-800.
 2. THE LOCATIONS AND DESCRIPTIONS OF THE BUILDINGS ON REVISED LOT 16R ARE TAKEN FROM THE BLOSSOM RIDGE PHASE IV, LOT 446, LOT LINE REVISION PLAN RECORDED IN PB 283, PG 33. THE LOCATIONS ARE APPROXIMATE. THE POOL SHED IS A NON-CONFORMING STRUCTURE.
 3. THE LOCATION OF THE EXISTING PRIVATE DRIVEWAY IS FIELD LOCATED FOR THE FIRST APPROXIMATELY 150' FROM THE EXISTING MARGATE DRIVE PAVEMENT. THE REST IS TAKEN FROM THE ABOVE MENTIONED PB 283, PG 33.
 4. MINOR MATHEMATICAL DISCREPANCIES WERE DISCOVERED IN MARGATE MANOR PHASE 2 WHICH WERE CORRECTED IN THIS PLAN.
 5. A PORTION OF MARGATE DRIVE WAS ADOPTED AS A PUBLIC ROAD BY CENTER TOWNSHIP IN 1976. AN INTENT OF THIS PLAN IS TO DEDICATE AN ADDITIONAL 45.51' OF MARGATE DRIVE AS SHOWN IN MARGATE MANOR PLAN 1 (RECORDED IN PB 62 PG 17) FOR PUBLIC HIGHWAY USE AND FOR CENTER TOWNSHIP TO ADOPT THE ADDITIONAL 45.51' OF MARGATE DRIVE AS A PUBLIC ROAD. THE EXISTING PRIVATE DRIVEWAY LOCATED WITHIN THIS ADDITIONAL ADOPTION AREA WILL REMAIN A PRIVATE DRIVEWAY.
 6. TAX PARCEL 60-S17-A16A (PARCEL A) IS BEING ELIMINATED. PARCEL AR IS TO BE CONVEYED TO DENNIS G. BEBLO AND CYNTHIA C. BEBLO FROM D & D BEBLO, INC AND IS TO BECOME PART OF THE REVISED LOT 16R (TAX PARCEL 60-S17-A16). THE REMAINDER OF PARCEL A IS TO BECOME PART OF THE PRIVATE ROAD AND PUBLIC UTILITY EASEMENT.
 7. DENNIS G. BEBLO AND CYNTHIA C. BEBLO OWN ALL THE LOTS IN MARGATE MANOR PHASE 2 (RECORDED IN PB 79 PG 15). THUS, THEY AND D & D BEBLO ARE THE ONLY PARTIES WITH AN INTEREST IN MARGATE COURT. IT IS THE INTENTION OF D & D BEBLO, INC. TO RELINQUISH ANY AND ALL RIGHTS AND TITLE TO THE LANDS CONTAINED WITHIN THE RIGHT-OF-WAY OF MARGATE COURT AND CONVEY THESE LANDS TO DENNIS G. BEBLO AND CYNTHIA C. BEBLO.
 8. REVISED LOT 16R IS TO BE COMPOSED OF THE FOLLOWING PARCELS: LOT 14 (0.488 AC.), LOT 15 (0.422 AC.), LOT 16 (3.036 AC.), PARCEL AR (0.084 AC.) AND MARGATE COURT (0.416 AC.). TOTAL AREA OF REVISED LOT 16R IS 4.445 AC.

SHEET 3 OF 4

RECORDED:	PLAN BOOK	PAGE
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0	SUBMITTED FOR APPROVALS	CLH	RO	10-18-2018
REV.	REVISION DESCRIPTION	REV BY	CHK BY	DATE

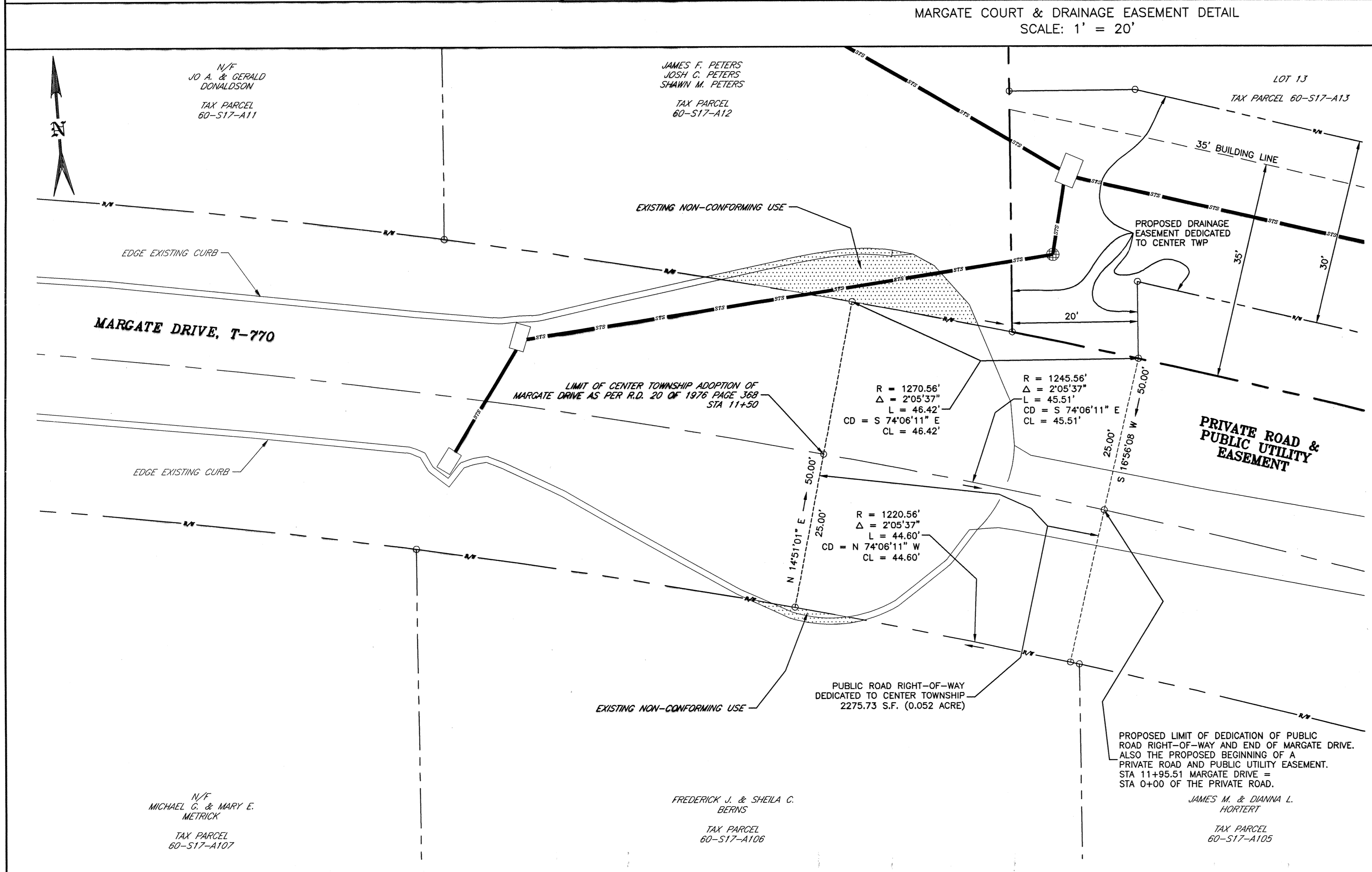
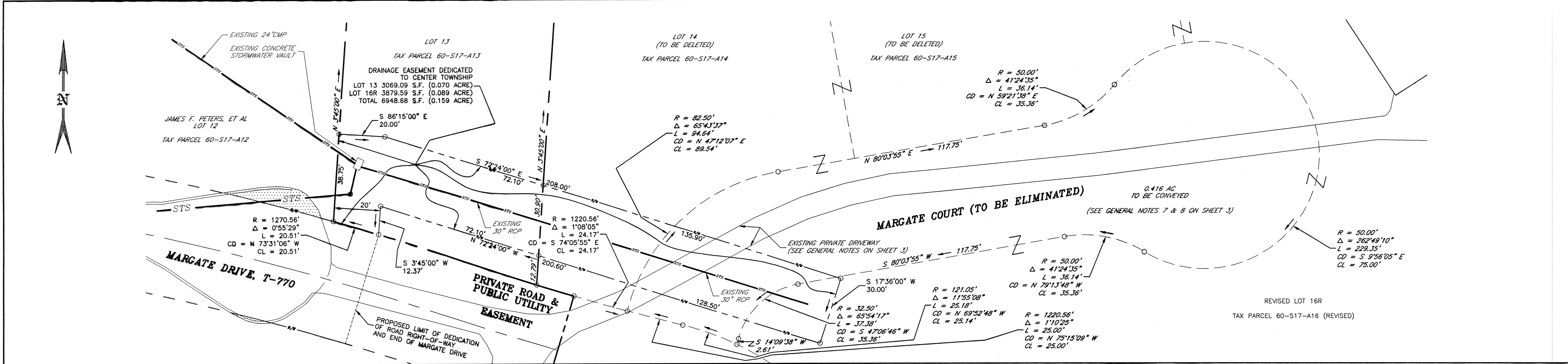
OLSEN CRAFT ASSOCIATES, LLC
ENGINEERS-COMMUNITY PLANNERS-SURVEYORS-GRANTS WRITERS-PROJECT AND PERMIT ADMINISTRATORS
126 S. MAIN STREET BUTLER PENNSYLVANIA 16001 (724) 282-4788 FAX (724) 282-7619 www.OlsenAndAssociates.us

DENNIS G. & CYNTHIA C. BEBLO
MARGATE MANOR
SUBDIVISION & CONSOLIDATION PLAN
CENTER TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

DATE: 10-18-2018
SHEET NO. REV.
C052 0

1" = 50'
SCALE 0 50' 100'

CHKD. BY: RO DRAWN BY: CLH PROJECT NO. 201504K



MARGATE COURT & DRAINAGE EASEMENT DETAIL
SCALE: 1' = 20'

MARGATE DRIVE RIGHT-OF-WAY DEDICATION DETAIL
SCALE: 1' = 10'

RECORDED:

PLAN BOOK	PAGE
378	12

SHEET 4 OF 4

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OLSEN CRAFT ASSOCIATES, LLC

ENGINEERS • COMMUNITY PLANNERS • SURVEYORS • GRANTS WRITERS • PROJECT AND PERMIT ADMINISTRATORS
128 S. MAIN STREET BUTLER, PENNSYLVANIA 15001 (724) 282-4765 FAX (724) 282-7619 www.OlsenCraftAssociates.us

DENNIS G. & CYNTHIA C. BEBLO		DATE: 10-18-2018	
MARGATE MANOR		SHEET NO. REV.	
SUBDIVISION & CONSOLIDATION PLAN		C053 0	
CENTER TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA		PROJECT NO. 201504K	
0 SUBMITTED FOR APPROVALS	CLH	RO	10-18-2018
REV. REVISION DESCRIPTION	REV BY	CHK BY	DATE

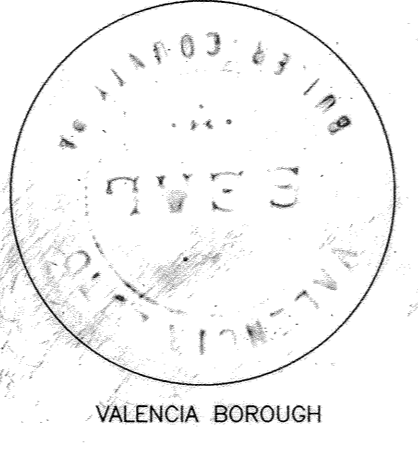
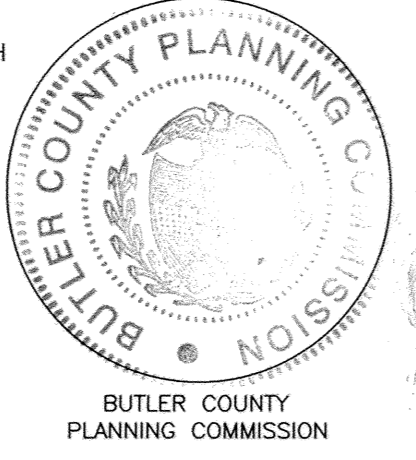
1" = 10'
SCALE 0 10' 20'

CHKD. BY: RO DRAWN BY: CLH

SIGN WITH BLACK FELT TIP PEN ONLY.

REVIEWED

APPROVED WITH COMMENTS BY THE BUTLER COUNTY PLANNING COMMISSION IN LETTER TO THE VALENCIA BOROUGH COUNCIL DATED May 18 2019.



THIS PLAN OF SUBDIVISION HAS BEEN APPROVED BY THE PLANNING COMMISSION OF THE BOROUGH OF VALENCIA, BUTLER COUNTY, PENNSYLVANIA, ON THIS 10 DAY OF June 2019.

ATTEST: [Signatures]

Instr: 201906130010830

THE BOROUGH COUNCIL OF THE BOROUGH OF VALENCIA, BUTLER COUNTY, PENNSYLVANIA, HEREBY GIVES NOTICE THAT IT IS APPROVING THIS PLAN OF SUBDIVISION FOR RECORDING PURPOSES ONLY.

KNOW ALL MEN BY THESE PRESENTS THAT WE, MARGARET W. & DAVID S. CROUTHAMEL, OF THE BOROUGH OF VALENCIA, COUNTY OF BUTLER, AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF SUBDIVISION OF OUR PROPERTY SITUATED IN THE VALENCIA BOROUGH, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERSE ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE BOROUGH OF VALENCIA, WE, MARGARET W. & DAVID S. CROUTHAMEL, HEREBY AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID BOROUGH OF VALENCIA, THEIR SUCCESSORS OR ASSIGNS, FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON OURSELVES, OUR HEIRS, OUR EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

ATTEST: SECRETARY CHAIRMAN

WE, MARGARET W. & DAVID S. CROUTHAMEL, HEREBY CERTIFY THAT THE PROPERTY CONTAINED IN THIS SUBDIVISION KNOWN AS THE MARGARET W. & DAVID S. CROUTHAMEL LOT LINE REVISION PLAN, IS IN THE NAME OF MARGARET W. & DAVID S. CROUTHAMEL, AS RECORDED IN INSTR. NO. 201407230016926 & INSTR. NO. 201812240025922.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 10 DAY OF June 2019.

ATTEST: [Signatures] MARGARET W. CROUTHAMEL DAVID S. CROUTHAMEL

THIS FOREGOING ADOPTION AND DEDICATION IS MADE BY MARGARET W. & DAVID S. CROUTHAMEL WITH THE FULL UNDERSTANDING AND AGREEMENT THAT THE APPROVAL OF THE GOVERNING BODY OF THE BOROUGH OF VALENCIA, IF HERETO ATTACHED WILL BECOME NULL AND VOID UNLESS THIS PLAN IS RECORDED IN THE RECORDER OF DEEDS OFFICE OF BUTLER COUNTY, WITHIN NINETY (90) DAYS OF THE DATE OF SAID APPROVAL.

BUTLER COUNTY) PENNSYLVANIA)

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, PERSONALLY APPEARED MARGARET W. & DAVID S. CROUTHAMEL, THE ABOVE NAMED AND ACKNOWLEDGED THE FOREGOING ADOPTION, DEDICATION AND PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND SEAL THIS 10 DAY OF June 2019.

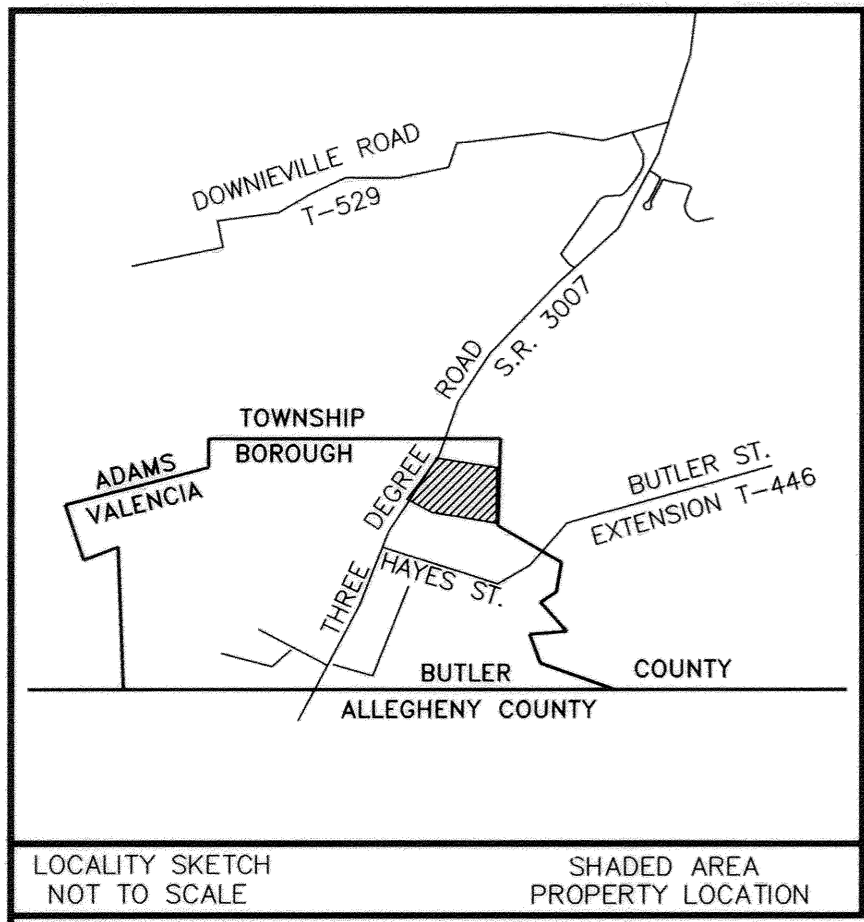
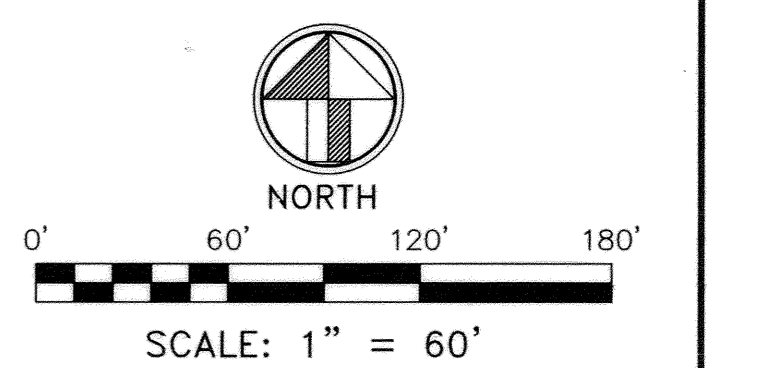
[Notary Seal and Signature]

BUTLER COUNTY) PENNSYLVANIA)

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, PLATS, ETC., IN SAID COUNTY, IN PLAN BOOK VOLUME 378, PAGE 13.

GIVEN UNDER MY HAND AND SEAL THIS 13 DAY OF June 2019.

[Recorder of Deeds Seal and Signature]



LOT 1 PLAN REFERENCE: RENFREW SUBDIVISION NO. 3 P.B.VOL. 332, PG. 21

N/F ST. BARNABAS LAND TRUST, INC. INSTR. NO. 201301290003111 TAX PARCEL# 520-S1-2-15

EX. POLE NPT 11315

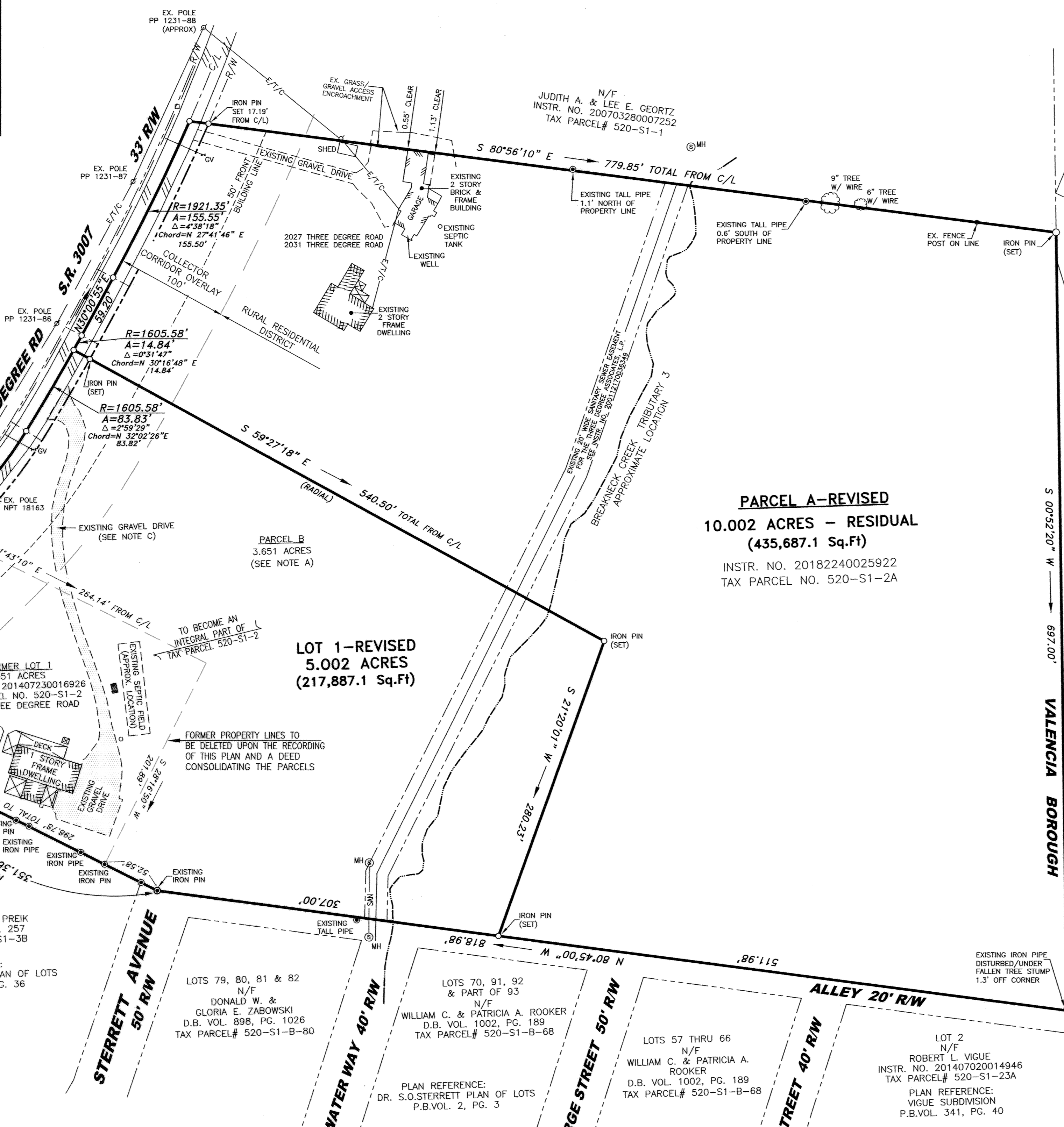
EX. POLE NPT 11314

EX. POLE NPT 11314

LOT 3 N/F FRED E. & RUTH E. PREIK D.B. VOL. 1368, PG. 257 TAX PARCEL# 520-S1-3B

PLAN REFERENCE: STERRETT NORTH - PLAN OF LOTS P.B.VOL. 297, PG. 36

REVISED LOT CALCULATIONS table with columns for Lot 1-Revised and Parcel A-Revised, showing existing and total areas.



PARCEL A-REVISED 10.002 ACRES - RESIDUAL (435,687.1 Sq.Ft) INSTR. NO. 20182240025922 TAX PARCEL NO. 520-S1-2A

NOTES:

- (A) PARCEL B IS TO BECOME AN INTEGRAL PART OF LOT 1-REVISED AND TAX PARCEL 520-S1-2... (B) THIS PROPERTY IS SUBJECT TO THE 100 YEAR FLOOD PLAN... (C) THE EXISTING 25' PRIVATE ACCESS EASEMENT... (D) A PENN DOT HIGHWAY OCCUPANCY PERMIT... (E) THIS SURVEY IS SUBJECT TO ALL EASEMENTS, COVENANTS, RESTRICTIONS AND AGREEMENTS OF PRIOR RECORD.

N/F DAVID & KAMI M. WALDROP INSTR. NO. 201409080021170 TAX PARCEL# 520-S1-24EA

N/F MICHAEL R. & BELINDA A. SIRIANNI INSTR. NO. 200206130020280 TAX PARCEL# 520-S1-24E

15.004 ACRES = TOTAL ACREAGE

OWNERS: MARGARET W. & DAVID S. CROUTHAMEL 2055 THREE DEGREE ROAD VALENCIA, PA 16059

DEED REFERENCE: INSTR. NO. 201407230016926 TAX PARCEL NO.: 520-S1-2 DEED REFERENCE: INSTR. NO. 201812240025922 TAX PARCEL NO.: 520-S1-2A

PLAN BOOK 378 PAGE 13

MARGARET W. CROUTHAMEL LOT LINE REVISION PLAN [LOT LINE REVISION OF LOT 1 & RESIDUAL PARCEL A OF THE WILLIAM R. WOODS SUBDIVISION PLAN (PBV 247, PG. 6)]

SITUATE: VALENCIA BOROUGH, BUTLER COUNTY, PA. DATE: APRIL 22, 2019 SCALE: 1" = 60'

SURVEY TECH & ASSOCIATES, LLC logo and contact information, including address, phone, fax, and registration details.

KNOW ALL MEN BY THESE PRESENTS, THAT GREGORY S. & LAURA M. WALTER, DO HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN CLEARFIELD TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF CLEARFIELD, GREGORY S. & LAURA M. WALTER, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF CLEARFIELD, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON GREGORY S. & LAURA M. WALTER OUR SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 4th DAY OF June 2019.

ATTEST: [Signature] OWNER
[Signature] OWNER

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER)
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED GREGORY S. & LAURA M. WALTER AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.
WITNESS MY HAND AND SEAL THIS 4th DAY OF June 2019
MY COMMISSION EXPIRES THE 22nd DAY OF March 2020

[Signature]
NOTARY PUBLIC
COMMONWEALTH OF PENNSYLVANIA
Notarial Seal
Sharon M. Higgins, Notary Public
Butler Township, Butler County
My Commission Expires March 22, 2020

KNOW ALL MEN BY THESE PRESENTS, THAT RONALD W. & MELISSA A. PAULE, DO HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN CLEARFIELD TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF CLEARFIELD, RONALD W. & MELISSA A. PAULE, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF CLEARFIELD, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON RONALD W. & MELISSA A. PAULE OUR SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 5th DAY OF June 2019.

ATTEST: [Signature] OWNER
[Signature] OWNER

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER)
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED RONALD W. & MELISSA A. PAULE AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.
WITNESS MY HAND AND SEAL THIS 5th DAY OF June 2019
MY COMMISSION EXPIRES THE 22nd DAY OF March 2020

[Signature]
NOTARY PUBLIC
COMMONWEALTH OF PENNSYLVANIA
Notarial Seal
Sharon M. Higgins, Notary Public
Butler Township, Butler County
My Commission Expires March 22, 2020

APPROVED BY THE CLEARFIELD TOWNSHIP PLANNING COMMISSION THIS 3 DAY OF June 2019.

[Signature] SECRETARY
[Signature] CHAIRMAN

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLEARFIELD HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF CLEARFIELD ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS, OR ROADS, OR GRADES, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

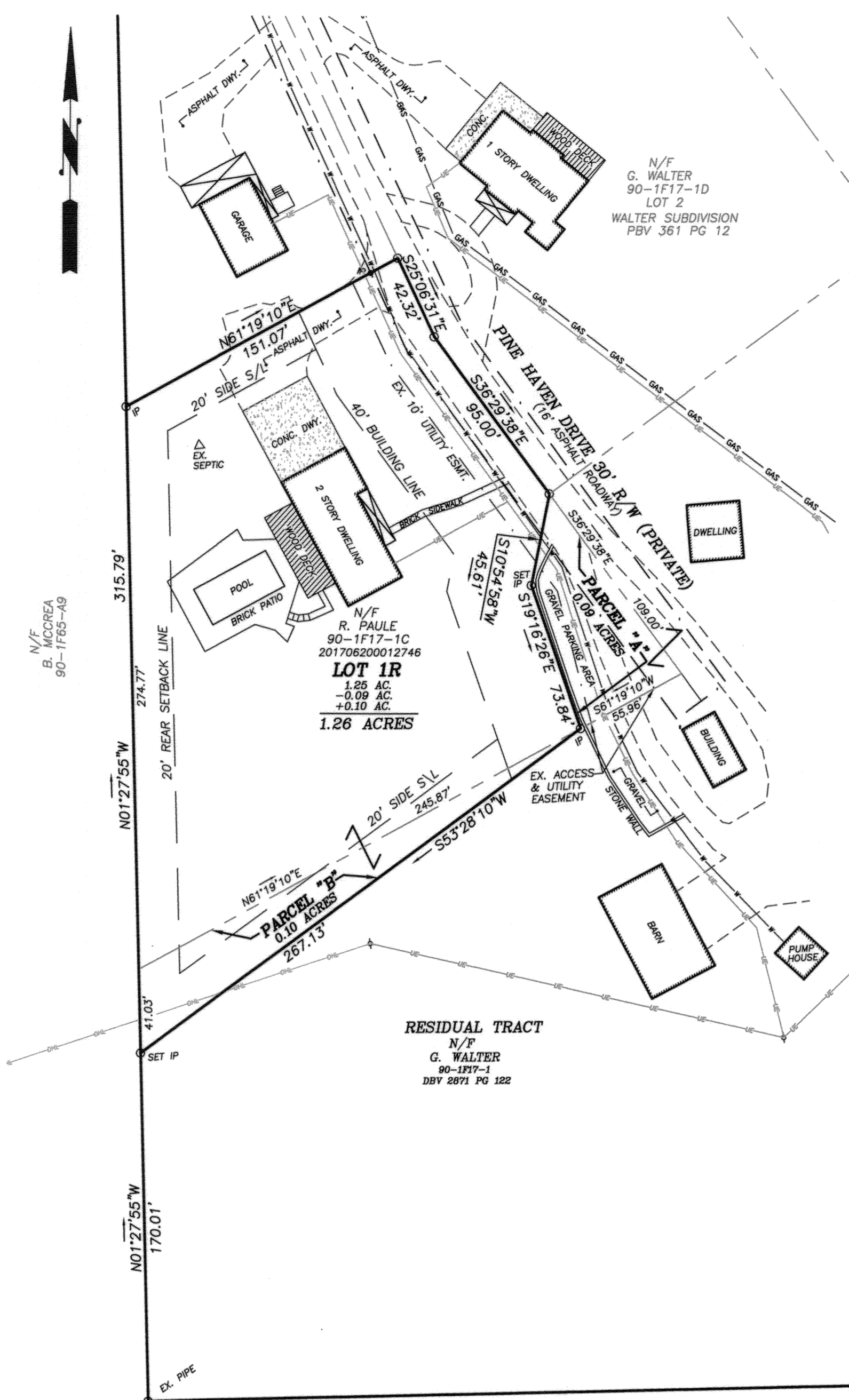
APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLEARFIELD, THIS 10th DAY OF June 2019.

[Signature] SECRETARY
[Signature] CHAIRMAN, BOARD OF SUPERVISORS
[Signature] SUPERVISOR

I, JEFFREY A. SHUTY, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS AND OR AGENTS.
5/21/19 DATE
[Signature] REG. NO. SUD76509

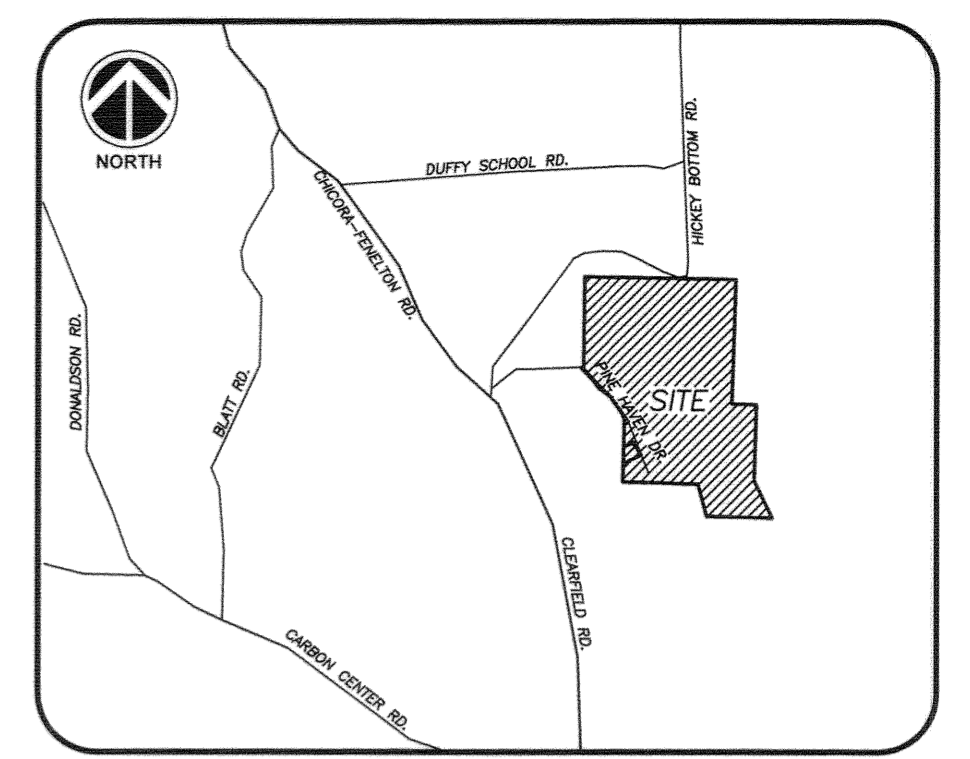
Inst: 201906130010855
Page 1 of 348.00
Michele Mustello
Butler County Recorder PA
618.2819.2117 Pbx
2281900087

PRIVATE 30' RIGHT OF WAY
All conveyances under this plan are subject to the grantees (Lot 1R) and grantors responsibility of costs and expenses of maintaining any and all right-of-ways/roadways of this plan in good repair. The use by grantees of said right-of-ways/roadways shall be limited to ingress, egress, and regress and no use shall be expanded or modified without prior written consent of any and all landowner, shown on this plan and having interest in the right of way shown.

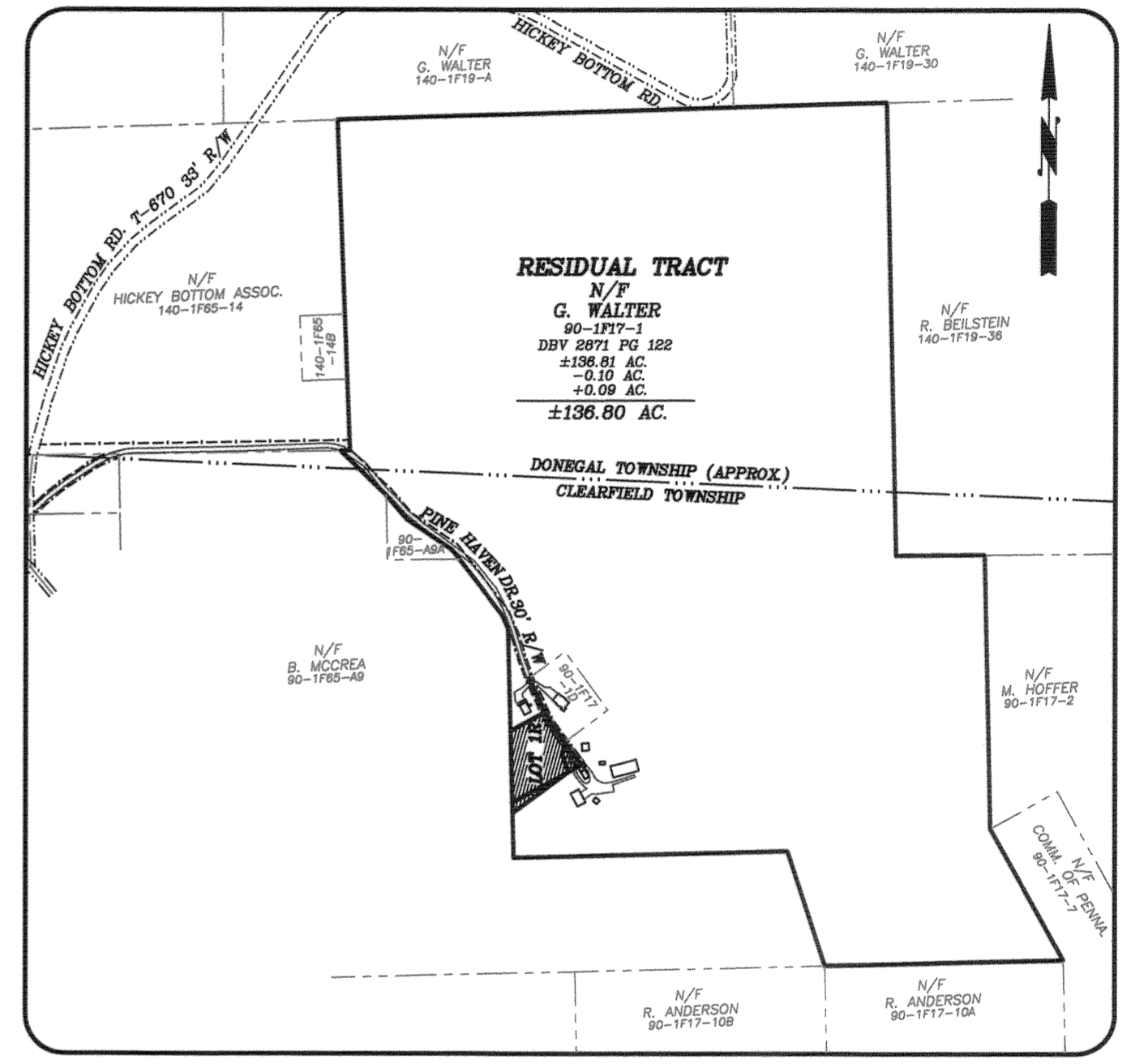


NON-BUILDING WAIVER
RESIDUAL TRACT
As of the date of this deed/plot plan recording, the property/subdivision described herein is and shall be dedicated for the express purpose of AGRICULTURE use. No portion of this residual tract property/subdivision has been approved by CLEARFIELD TOWNSHIP (Municipality) or the Department of Environmental Protection (DEP) for the installation of sewage disposal facilities. No sewage permit will be issued for the installation, construction, connection to or use of any sewage collection, conveyance, treatment or disposal system (except for repairs to existing systems) unless the municipality and DEP have both approved sewage facilities planning for the property/subdivision described herein in accordance with the Pennsylvania Sewage Facilities Act (35 P.S. Sections 750.1 et seq.) and regulations promulgated thereunder. Prior to signing, executing, implementing or recording any sales contract or subdivision plan, any purchaser or subdivider of any portion of this property should contact appropriate officials of CLEARFIELD TOWNSHIP (municipality), which is charged with administering the Sewage Facilities Act to determine what sewage facilities planning is required and the procedure and requirements for obtaining appropriate permits or approvals.

- NOTES:
1. PARCEL "A" IS NOT A SEPARATE BUILDING LOT AND IS TO BE CONVEYED FROM PARCEL 90-1F17-1C (PAULE) AND BECOME PART OF ADJOINING PARCEL 90-1F17-1 (WALTER).
 2. PARCEL "B" IS NOT A SEPARATE BUILDING LOT AND IS TO BE CONVEYED FROM PARCEL 90-1F17-1 (WALTER) AND BECOME PART OF ADJOINING PARCEL 90-1F17-1C (PAULE) TO CREATE LOT 1R.
 3. LOT 1R IS SERVICED BY EXISTING PRIVATE WATERLINE.

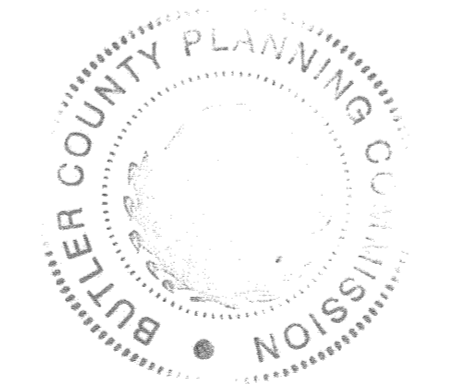


VICINITY MAP
NOT TO SCALE



RESIDUAL MAP
1" = 600'

REVIEWED/APPROVED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 23rd DAY OF May 2019.
[Signature] SECRETARY
[Signature] CHAIRMAN

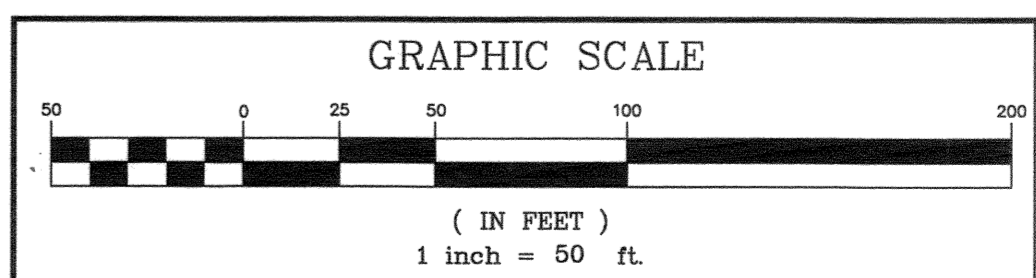
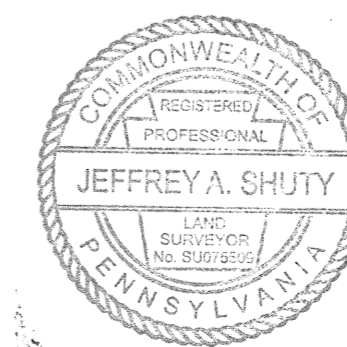


COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER)
RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN SAID COUNTY IN PLAN BOOK VOLUME 378 PAGE 14
GIVEN UNDER MY HAND AND SEAL THIS 13 DAY OF June 2019.

[Signature] RECORDER
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2020



PLAN BOOK **378** PAGE **14**



TOTAL PLAN AREA	±138.06 ACRES
LOT 1	1.26 ACRES
RESIDUAL TRACT	±136.80 ACRES
CLEARFIELD TOWNSHIP BUILDING LINES	
FRONT	40'
SIDE	20'
REAR	20'

Scale 1" = 50'
Date May 15, 2019
NORTHERN
SURVEYORS AND ASSOCIATES
137 LINK LANE
SLIPPERY ROCK, PA 16057
(724)530-6889

Walter/Paule Lot Line Revision
Situates in Clearfield Township
Butler County, Pa.
Prepared For
Gregory Walter
Job No. 2880
Sheet No. 1 of 1

ZONING ORDINANCE REQUIREMENTS:

ZONING DISTRICT : TLI, TRANSITIONAL LIGHT INDUSTRIAL
 ZONING USE: MINI WAREHOUSE / SELF STORAGE (CONDITIONAL USE)

	REQUIRED	PROPOSED	COMPLY
YARD REQUIREMENTS			
MINIMUM FRONT YARD SETBACK	25 FEET	104 FEET	YES
MINIMUM SIDE YARD SETBACK	25 FEET	37 FEET	YES
MINIMUM REAR YARD SETBACK	50 FEET	54 FEET	YES
LOT REQUIREMENTS			
MINIMUM LOT WIDTH	100 FEET	235 FEET	YES
MINIMUM LOT SIZE	1 ACRES	2.23 ACRES	YES
BUILDING REQUIREMENTS			
MAXIMUM BUILDING HEIGHT	40 FEET & 3 STORIES	35 FEET & 3 STORIES	YES
PARKING REQUIREMENTS			
OFF STREET PARKING (1,200 SF OFFICE)	1 SPACE / 350 SF OFFICE (1,200 / 350 = 4 SPACES REQ.)	9 (INCLUDES 2 ADA)	YES
IMPERVIOUS (LANDSCAPING)	10% OF PARKING	12.50% OF PARKING (INCLUDES ISLANDS AND PERIMETER)	YES
IMPERVIOUS REQUIREMENTS			
SITE IMPERVIOUS (FULL BUILDOUT)	60%	57.50%	YES
NO PAVE SETBACK	25 FEET	52 FEET	YES

SITE ACREAGE:

	AREA
PROJECT AREA	2.23 ACRES
DISTURBED AREA	1.99 ACRES
OPEN SPACE AREA	0.24 ACRES

REQUIRED CERTIFICATIONS:TOWNSHIP OF CRANBERRY, APPENDIX 2

1. OWNER'S ADOPTION
 NUVO CRANBERRY STORAGE, LLC, OWNER OF THE LAND SHOWN ON THE SUBDIVISION PLAN HEREBY ADOPTS THIS PLAN AS ITS LAND DEVELOPMENT AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE PARTNERSHIP AND UPON ITS HEIRS, EXECUTORS, AND ASSIGNS.

SIGNATURE OF WITNESS: [Signature]
 DATE: 5/16/19
 SIGNATURE OF OWNER(S): [Signature]
 PRINTED NAME OF OWNER (GENERAL PARTNER): GARY CARDAMONE

2. ACKNOWLEDGMENT OF NOTARY PUBLIC

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, GARY CARDAMONE, OF THE FIRM OF NUVO CRANBERRY STORAGE, LLC, AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE THE ACT OF THE PARTNERSHIP.

WITNESS MY HAND AND NOTARIAL SEAL THIS 16 DAY OF May, 2019

(SEAL) [Notary Seal] NOTARY PUBLIC

3. CERTIFICATION OF TITLE

WE HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CRANBERRY EAGLE - SELF STORAGE FACILITY IS IN THE NAME OF NUVO CRANBERRY STORAGE, LLC, AND IS RECORDED AS INSTRUMENTS 201902150002877 BUTLER COUNTY RECORDER OF DEEDS OFFICE.

WITNESS OWNER (GENERAL PARTNER)

4. SURVEYOR'S CERTIFICATION

EVERY PLAN FOR RECORDING MUST BE PREPARED BY OR UNDER THE SUPERVISION OF A REGISTERED SURVEYOR, WHO MUST CERTIFY THE ACCURACY OF THE SURVEY AND AFFIX HIS SEAL. I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

DATE: 01/11/2019
 HARRY J. HIBBARD
 SU 075167
 REGISTRATION NUMBER



5. MUNICIPAL DECLARATIONS

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY, HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF CRANBERRY HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

SECRETARY: [Signature] BOARD OF SUPERVISORS

THE TOWNSHIP OF CRANBERRY AGREES NOT TO ISSUE BUILDING PERMITS UNTIL THE "PLANNING MODULE FOR LAND DEVELOPMENT" HAS BEEN APPROVED IN ACCORDANCE WITH THE REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

DATE: 6-7-19 SECRETARY: [Signature]

MODIFICATIONS/WAIVERS:

SECTION	REQUIREMENT	JUSTIFICATION
22-503.C.2.b	REQUIRES SIDEWALKS ALONG EXISTING STREETS ADJACENT TO ALL LAND DEVELOPMENTS.	PROPOSED: TO NOT PROVIDE SIDEWALK ALONG THE FRONTAGE, IN LIEU OF A FEE CONTRIBUTION TO CONSTRUCT A NEW SIDEWALK IN COMMUNITY PARK. JUSTIFICATION: THROUGH CONVERSATION WITH TOWNSHIP STAFF, AND DUE TO TOPOGRAPHY ISSUES ON NEARBY PARCELS, AN ENHANCED PEDESTRIAN NETWORK WILL BE COMPLETED WITHIN COMMUNITY PARK, WHICH ULTIMATELY RESULTS IN A SUPERIOR PEDESTRIAN NETWORK SYSTEM IN THIS AREA.

7. REQUIRED MUNICIPAL REVIEW AND APPROVAL STATEMENTS.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY BY RESOLUTION NO. 2018-60 ON THE 14th DAY OF June, 2019.

SECRETARY: [Signature] CHAIRMAN, BOARD OF SUPERVISORS: [Signature]

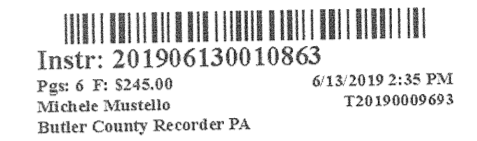
TOWNSHIP MANAGER: [Signature] TOWNSHIP MANAGER FOR THE TOWNSHIP OF CRANBERRY, CERTIFY THAT THE CONDITIONS FOR FINAL APPROVAL OUTLINED IN RESOLUTION NO. 2018-60 HAVE BEEN MET IN ACCORDANCE WITH SECTIONS 22-305 AND 22-307 OF THE TOWNSHIP OF CRANBERRY CODE OF ORDINANCES.

8. REQUIRED COUNTY PLANNING COMMISSION REVIEW STATEMENT.

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 22nd DAY OF JUNE, 2019

SECRETARY CHAIRMAN: [Signature] BUTLER COUNTY PLANNING COMMISSION: [Signature]

(SEAL)



9. PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 378, PAGE(S) 15-20

GIVEN UNDER MY HAND AND SEAL THIS 13th DAY OF June, 2019.

(SEAL) [Signature] RECORDER OF DEEDS: [Signature]

10. THE FOLLOWING SIGNATURE BLOCK CERTIFIES THAT A REGISTERED PROFESSIONAL HAS PREPARED THE STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH TOWNSHIP DESIGN STANDARDS:

I, [Signature] HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE CRANBERRY TOWNSHIP STORMWATER ORDINANCE.

11. THE FOLLOWING SIGNATURE BLOCK CERTIFIES THAT THE TOWNSHIP ENGINEER HAS REVIEWED THE STORMWATER MANAGEMENT PLAN:

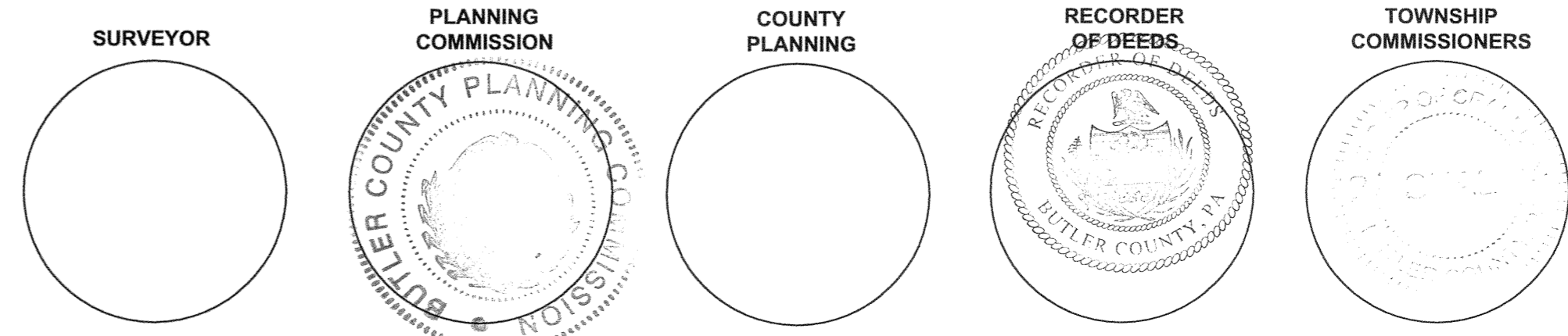
I, [Signature] HAVE REVIEWED THIS STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF THE CRANBERRY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

TOWNSHIP ENGINEER: [Signature]

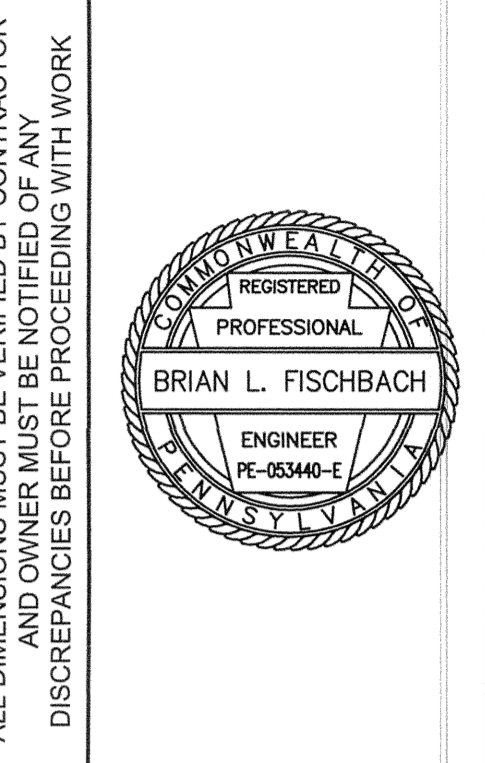
12. THE FOLLOWING SIGNATURE BLOCK CERTIFIES THAT THE TOWNSHIP ENGINEER HAS REVIEWED THE DEVELOPMENT PLAN:

I, [Signature] REGISTERED PROFESSIONAL ENGINEER OF THE TOWNSHIP OF CRANBERRY, DO HEREBY CERTIFY THAT THIS DEVELOPMENT PLAN MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE, EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

TOWNSHIP ENGINEER: [Signature]



PLAN BOOK	PAGE
378	15



NUVO - SELF STORAGE FACILITY
 20709 ROUTE 19
 CRANBERRY TOWNSHIP, PA 16066
GENERAL NOTES
 NUVO CRANBERRY STORAGE, LLC
 200 EAST NEW ENGLAND AVE., SUITE 110
 WINTER PARK, FL 32789

NO.	DATE	REVISIONS
2	03/06/2019	AS PER RESOLUTION FINAL PLANS
1	07/06/2018	LAND DEVELOPMENT & NPDES SUBMISSION #2

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PROJECT	NUVOX17004
DATE	2019-03-06
DRAWING SCALE	AS SHOWN
DRAWN BY	TLR
APPROVED BY	JJA
CS0101	

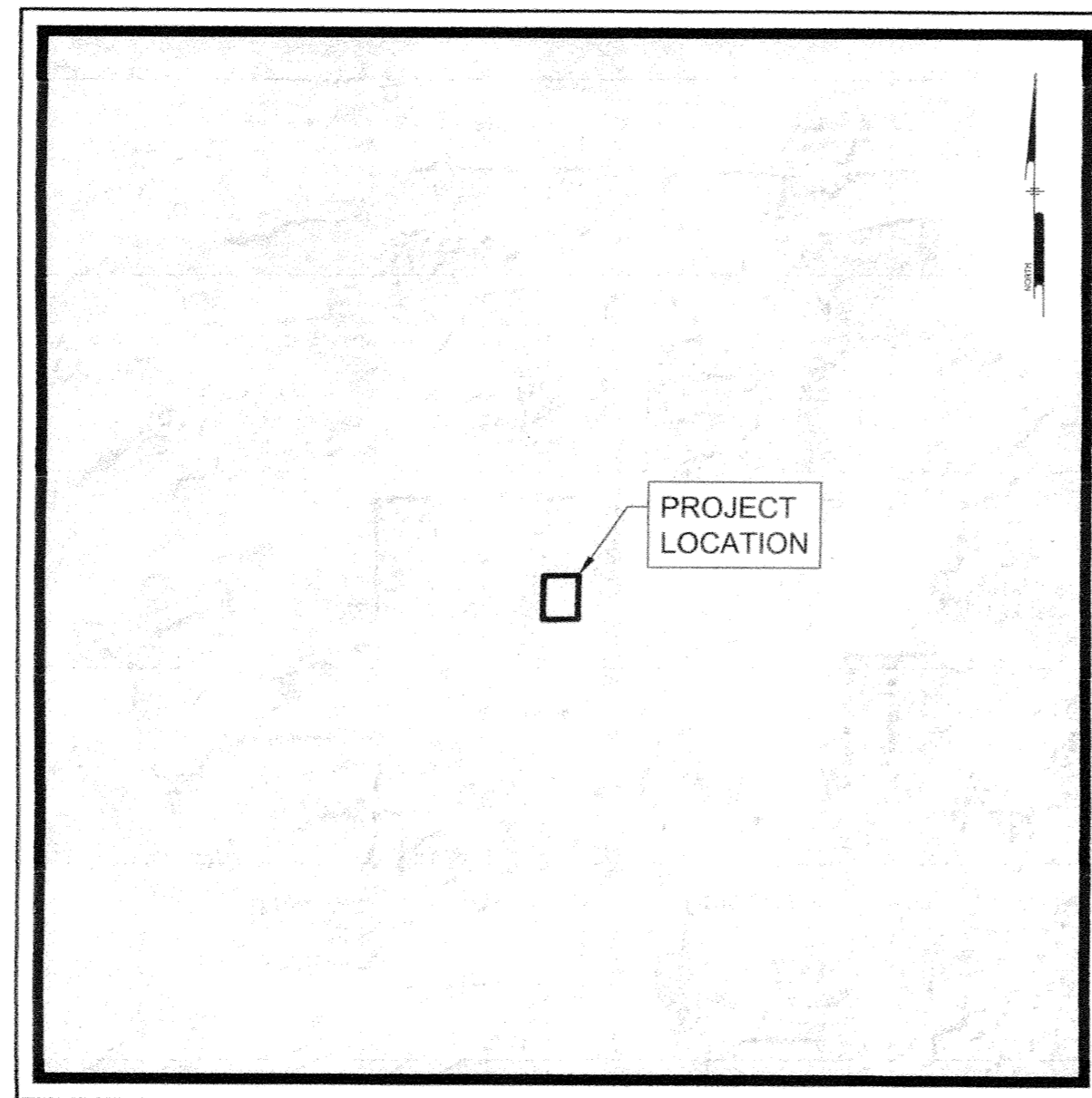
NUVO - SELF STORAGE FACILITY

AS PER RESOLUTION FINAL PLANS

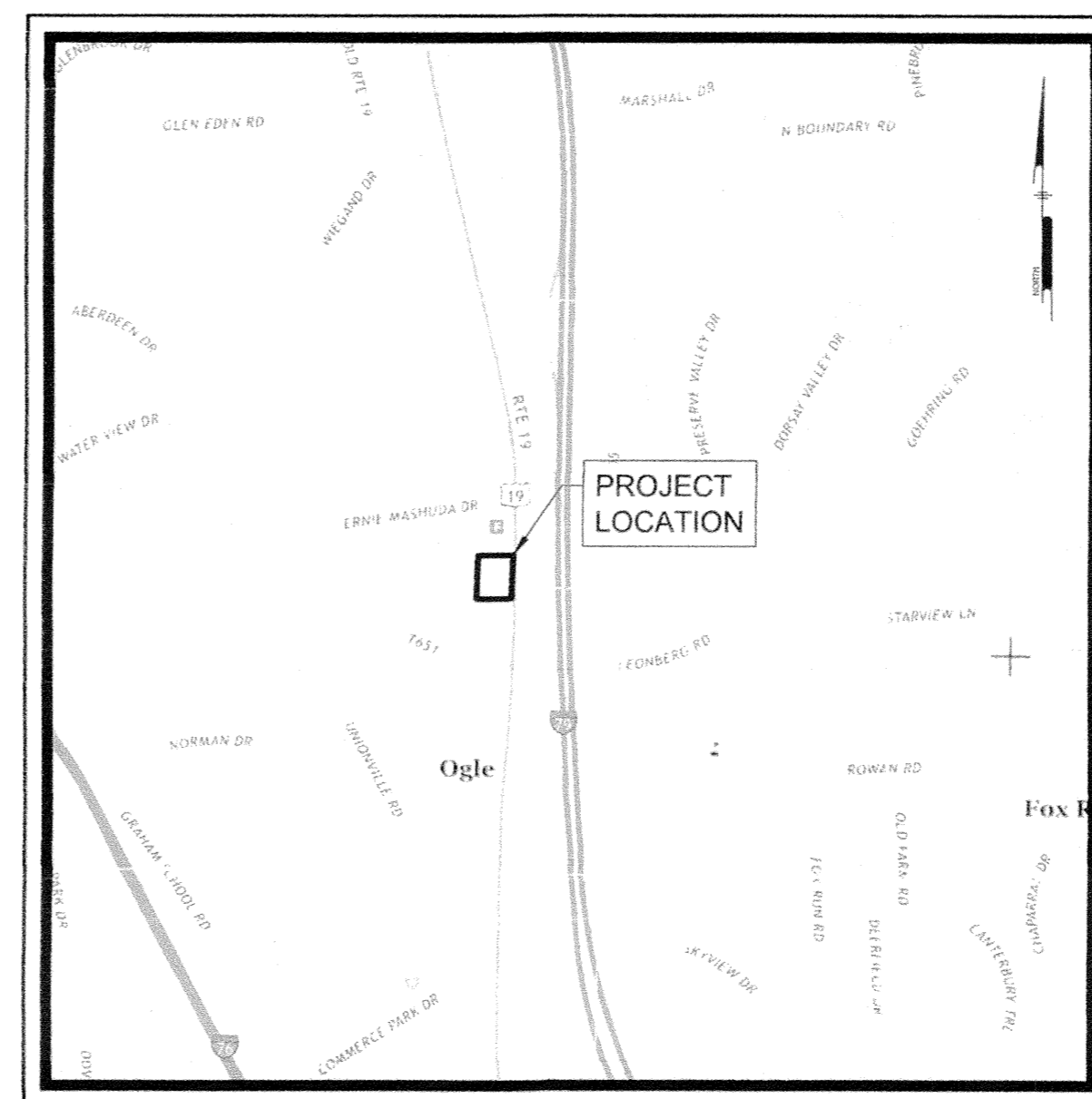
BUTLER COUNTY, PENNSYLVANIA
MARCH 6, 2019

PREPARED FOR:
OWNER/DEVELOPER
NUVO CRANBERRY STORAGE, LLC
200 EAST NEW ENGLAND AVE., SUITE 110
WINTER PARK, FL 32789
321-972-9838

SHEET LIST TABLE	
PAGE	SHEET TITLE
CS0001	COVER SHEET
CS0101	GENERAL NOTES
CS0201	EXISTING CONDITIONS PLAN
CS0301	TRUCK TURNING PLAN
CS0501	DEMOLITION PLAN
CS1001	SITE PLAN
CS1010	SIGNAGE & PAVEMENT MARKING PLAN
CS1501	GRADING PLAN
CS1701	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
CS1801	UTILITY PLAN
CS2001	LANDSCAPE PLAN
CS4001-CS4002	STORMWATER MANAGEMENT PROFILES
CS4501	UTILITY PROFILES
CS6001-CS6003	SITE DETAILS
CS6021-CS6024	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
CS6041	UTILITY DETAILS
CS8001	EROSION AND SEDIMENTATION CONTROL PLAN - STAGE 1
CS8002	EROSION AND SEDIMENTATION CONTROL PLAN - STAGE 2
CS8501-CS8503	EROSION & SEDIMENTATION CONTROL DETAILS
CS9001	PRE-DEVELOPMENT WATERSHED MAP
CS9002	POST-DEVELOPMENT WATERSHED MAP
CS9003	SEDIMENT TRAP AREA

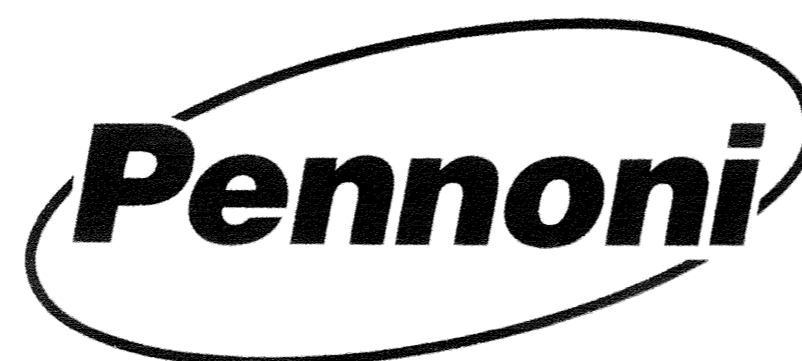


LOCATION MAP
Scale: 1" = 2000'



USGS MAP
Scale: 1" = 2000'

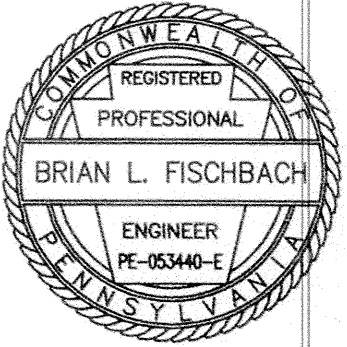
PREPARED BY:
PENNONI ASSOCIATES INC.



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PLAN BOOK	PAGE
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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

NUVO - SELF STORAGE FACILITY
20709 ROUTE 10
CRANBERRY TOWNSHIP, PA 16066

COVER SHEET
NUVO CRANBERRY STORAGE, LLC
200 EAST NEW ENGLAND AVE., SUITE 110
WINTER PARK, FL 32789

NO.	DATE	REVISIONS	BY
2	03.06.2019	AS PER RESOLUTION FINAL PLANS	EJF
1	07.06.2018	LAND DEVELOPMENT & NPDES SUBMISSION #2	JJA

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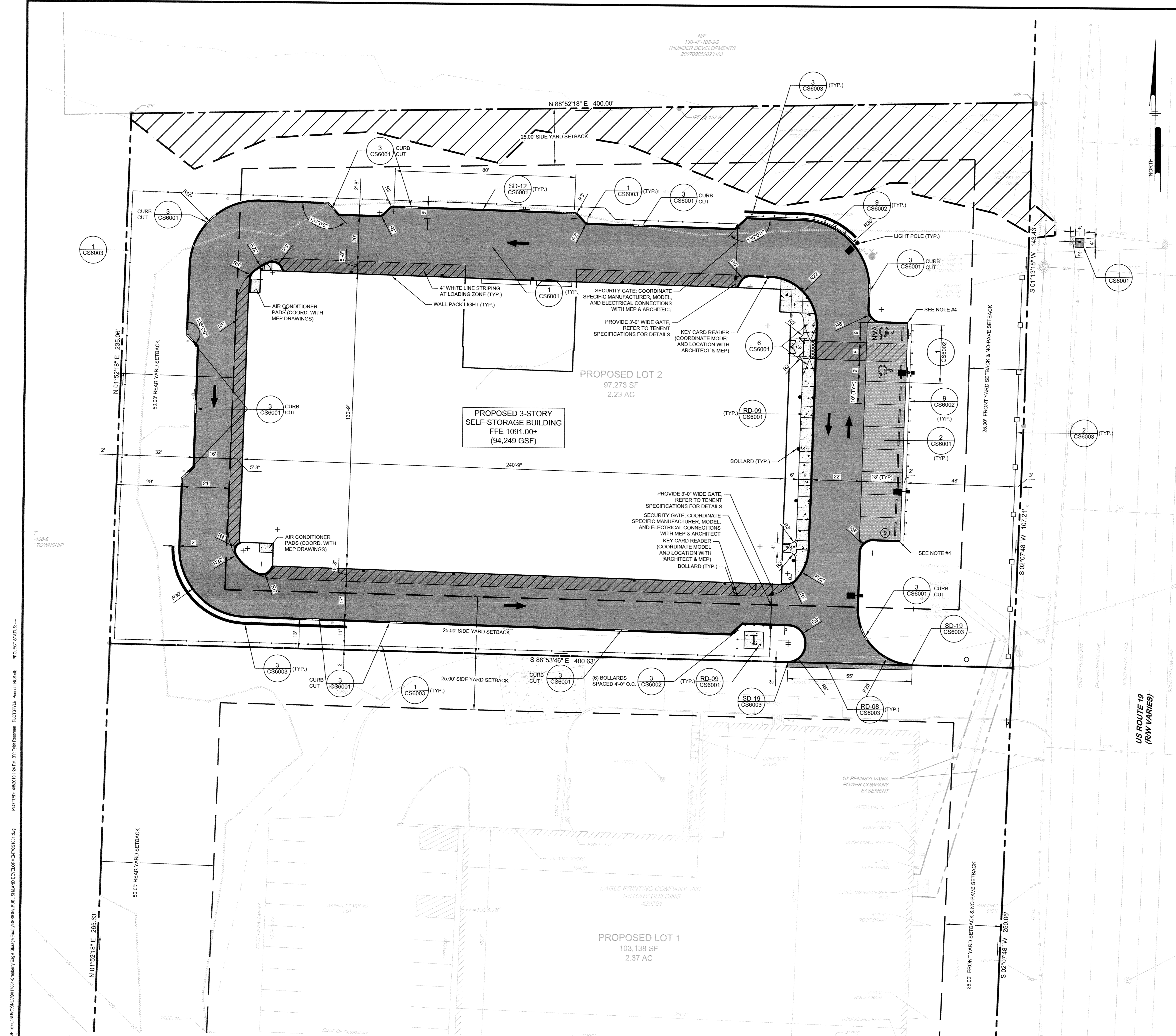
PROJECT: NUVOX17004
DATE: 2019-03-06
DRAWING SCALE: AS SHOWN
DRAWN BY: TLR
APPROVED BY: JJA

CS0001

J:\Projects\NUVOX17004\Cranberry Storage Facility\DESIGN_PUBLISHING\LAND DEVELOPMENT\SUBMISSION\20190306.dwg PLOTTED: 4/8/2019 12:21 PM BY: Tyler Reardon - PLOTSTYLE: Pennoni.ncs.sh PROJECT STATUS: ---



CALL BEFORE YOU DIG
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
CALL 1-800-242-1776
PA. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC. SERIAL NUMBER(S):



LEGEND

- PROPERTY LINE
- PROTECTED AREA / NO DISTURBANCE / LIMITS OF WETLAND DELINEATION
- BITUMINOUS PAVING (HEAVY DUTY) 1 CS6001
- CONCRETE PAVING (REGULAR DUTY) RD-09 CS6001
- PERVIOUS ASPHALT 2 CS6001
- STANDARD CONCRETE CURB SD-12 CS6001
- SCORE JOINT CONCRETE PAVING RD-09 CS6001
- EXPANSION JOINT
- DETAIL NUMBER 3 CS6001
- DRAWING NUMBER 1 CS6001
- SIGNS 4 CS6002
- WHEEL STOPS 4 CS6001
- PARKING SPACE COUNT 10
- PAINTED DIRECTIONAL ARROW MARKINGS
- 6" DIA. STEEL BOLLARDS 3 CS6002
- LIGHT POLE 1 CS6003
- 8" HEIGHT OPAQUE SECURITY FENCE AND GATE 1 CS6003
- TYPE 2 STRONGPOST GUIDERAIL 9 CS6002

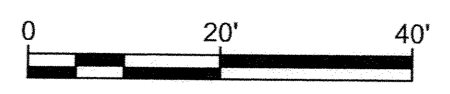
PARKING COUNT

PROPOSED ADA = 2 SPACES
 PROPOSED REGULAR = 8 SPACES
 TOTAL SPACES = 10 SPACES

SITE PLAN GENERAL NOTES:

1. ALL DIMENSIONS TO CURB ARE TO CURB FACE.
2. ACT 287 - 1974, OR AS AMENDED IN COMPLIANCE WITH ACT 287 PRIOR TO EXCAVATION, THE CONTRACTOR MUST CALL THIS NUMBER AND NOTIFY ALL UTILITY COMPANIES OF HIS INTENTION TO EXCAVATE NO LESS THAN THREE (3) WORKING DAYS PRIOR TO EXCAVATION. LOCAL PHONE NUMBER IS 412-323-7100. STATEWIDE PHONE NUMBER IS 1-800-242-1776.
3. PROVIDE CONTINUOUS EXPANSION JOINT AND SEALANT AT INTERFACE OF ALL CONCRETE PAVING AND WALLS, CURBS, AND BUILDING FACES (TYP.)
4. PROVIDE TRANSITION FROM 6" CURB HEIGHT TO FLUSH CONDITION IN 4'-0" HORIZONTAL.
5. ALL CURB RADII 6' UNLESS NOTED.
6. CURB CUTS TO BE 2'-0" WIDE; FLUSH CONDITION. PROVIDE TRANSITION FROM 6" CURB HEIGHT TO FLUSH CONDITION IN 2'-0" HORIZONTAL. REFER TO DETAIL 3/CS6001.
7. ACCESSIBLE ROUTES HAVE BEEN PROVIDED IN ACCORDANCE WITH THE 2012 INTERNATIONAL BUILDING CODE, ICC/ANSI A117.1.
8. ALL TRAFFIC CONTROL SIGNS (OTHER THAN STREET NAME SIGNS) MUST USE A GALVANIZED TWO-INCH SQUARE POST BREAKAWAY SYSTEM OR OTHER SYSTEM AS APPROVED BY ENGINEER. REFER TO DETAILS 4/CS6002 & SD-11/CS6003.
9. SUBJECT PREMISES IS LOCATED ON FLOOD INSURANCE RATE MAPS NUMBER 4200170010B PANEL 10 OF 10 EFFECTIVE APRIL 1, 1982. LOCATED INSIDE ZONE C (AREA OF MINIMAL FLOODING).

PLAN BOOK	PAGE
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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

NUVO - SELF STORAGE FACILITY
 20709 ROUTE 19
 CRANBERRY TOWNSHIP, PA 16006

SITE PLAN

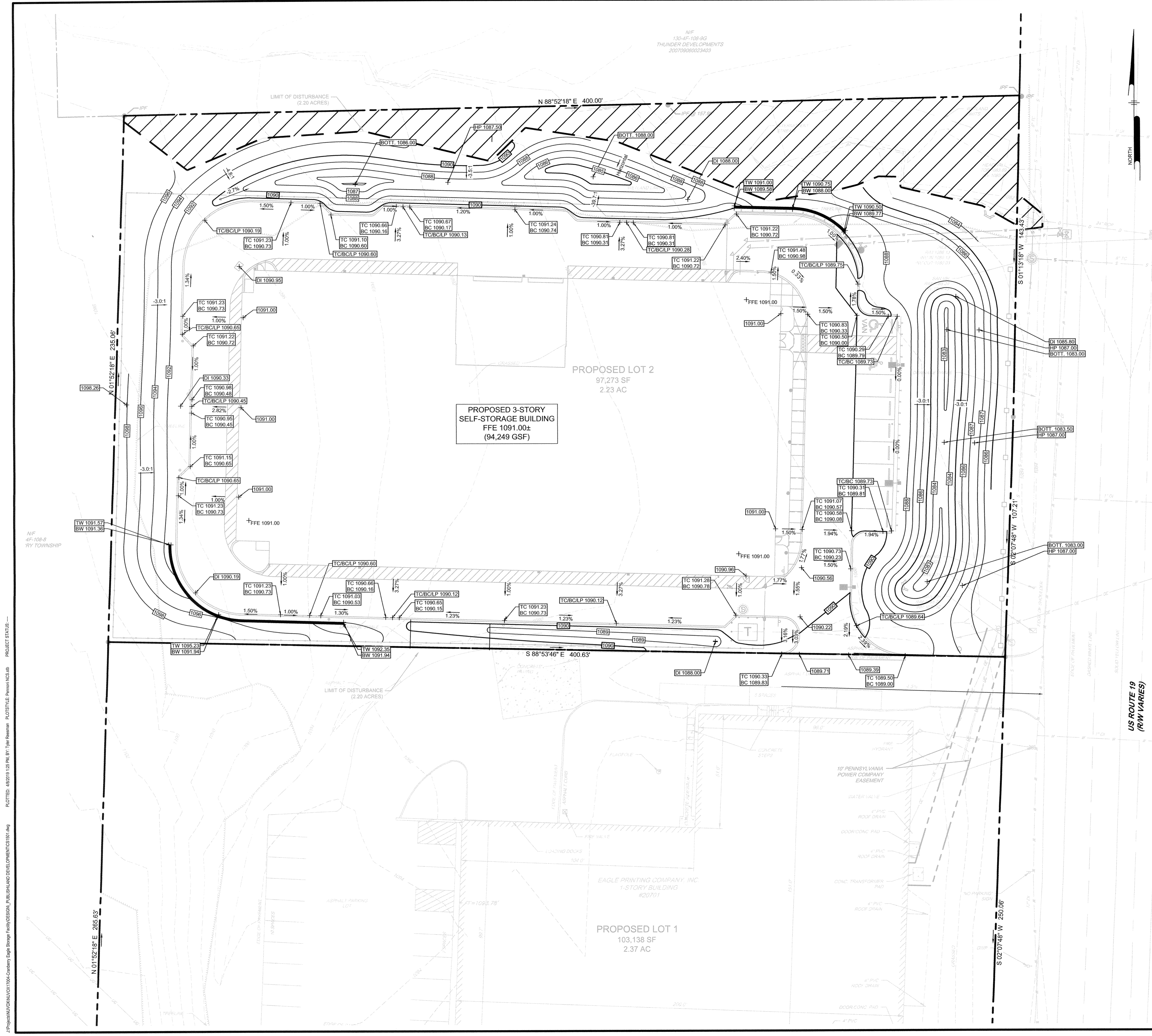
NUVO CRANBERRY STORAGE, LLC
 200 EAST NEW ENGLAND AVE., SUITE 110
 WINTER PARK, FL 32789

NO.	DATE	REVISIONS	BY
2	03.06.2019	AS PER RESOLUTION FINAL PLANS	EJF
1	07.06.2018	LAND DEVELOPMENT & NPDES SUBMISSION #2	JJA

PROJECT	NUVO17004
DATE	2019-03-06
DRAWING SCALE	1"=20'
DRAWN BY	TLR
APPROVED BY	JJA

CS1001

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 PLOTTED: 4/8/2019 12:41 PM BY: Tyler Reisman
 PROJECT STATUS: ---
 F:\108-8 TOWNSHIP



LEGEND

	PROPERTY LINE
	PROTECTED AREA / NO DISTURBANCE / LIMITS OF WETLAND DELINEATION
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	SPOT ELEVATION
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	TOP OF CURB ELEVATION
	BOTTOM OF CURB ELEVATION
	PROPOSED SLOPE

GRADING PLAN GENERAL NOTES:

- ACT 287 - 1974, OR AS AMENDED IN COMPLIANCE WITH ACT 287 PRIOR TO EXCAVATION, THE CONTRACTOR MUST CALL THIS NUMBER AND NOTIFY ALL UTILITY COMPANIES OF HIS INTENTION TO EXCAVATE NO LESS THAN THREE (3) WORKING DAYS PRIOR TO EXCAVATION. LOCAL PHONE NUMBER IS 412-323-7100. STATEWIDE PHONE NUMBER IS 1-800-242-1776.
- THE EXACT LOCATION AND DEPTH OF ALL UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- COORDINATE PAVING LAYOUT WITH CS1001.
- CURB CUTS TO BE 2'-0" WIDE; FLUSH CONDITION. PROVIDE TRANSITION FROM 6" CURB HEIGHT TO FLUSH CONDITION IN 2'-0" HORIZONTAL. REFER TO DETAIL 3/CS6001.
- ACCESS ROUTE FROM SITE TO ROUTE 19 DOES NOT EXCEED 1:20 SLOPE.
- SLOPE AT ACCESSIBLE DOORS DOES NOT EXCEED 1:48 SLOPE.

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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND LOCATIONS BEFORE PROCEEDING WITH WORK

NUVO - SELF STORAGE FACILITY
 20709 ROUTE 19
 CRANBERRY TOWNSHIP, PA 16066

GRADING PLAN

NUVO CRANBERRY STORAGE, LLC
 200 EAST NEW ENGLAND AVE., SUITE 110
 WINTER PARK, FL 32789

NO.	DATE	BY	REVISIONS
1	07/06/2018	JJA	LAND DEVELOPMENT & NPDES SUBMISSION #2
2	03/06/2019	EJF	AS PER RESOLUTION FINAL PLANS

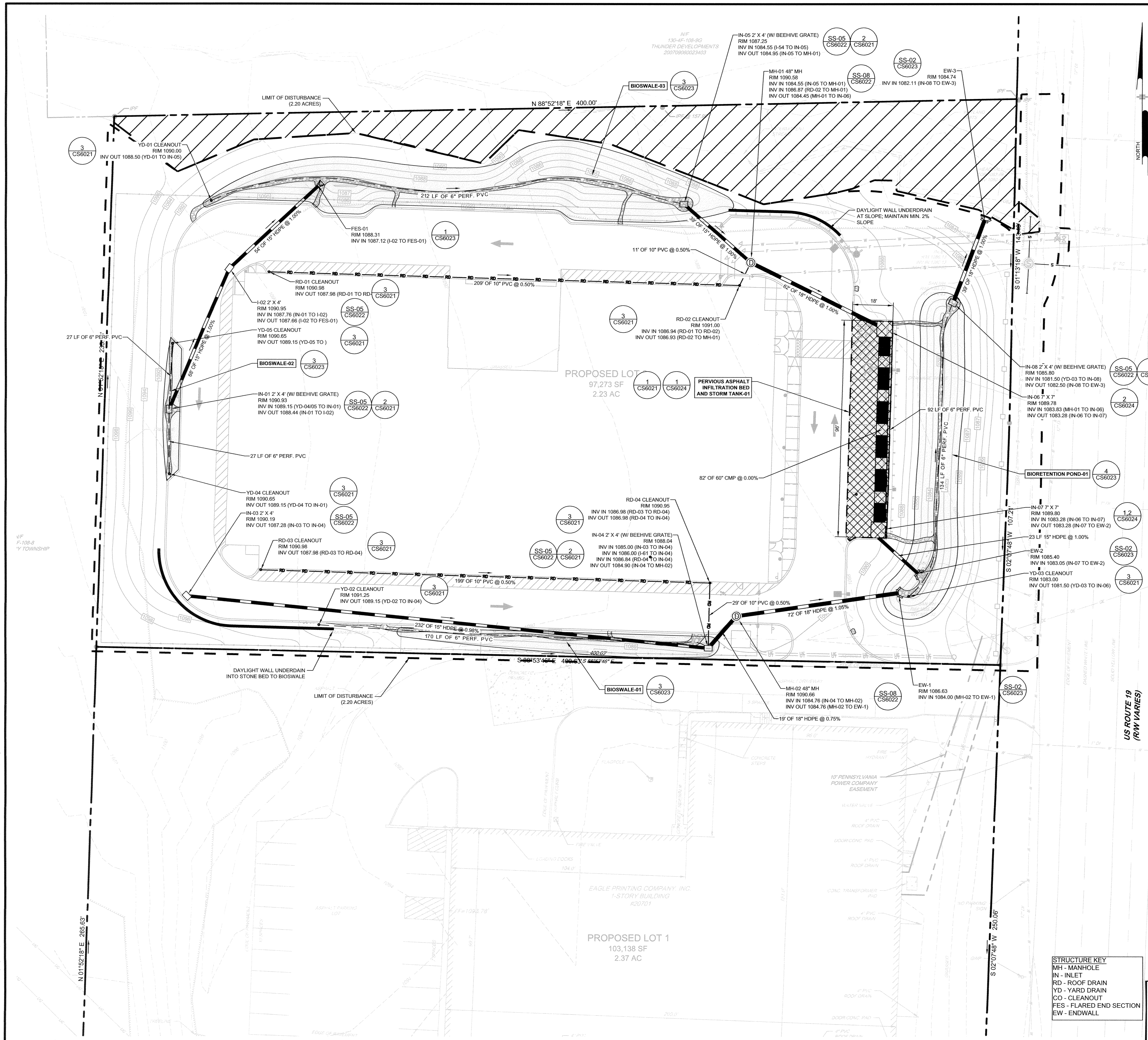
PLAN BOOK	PAGE
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PROJECT: **NUVOX17004**
 DATE: 2019-03-06
 DRAWING SCALE: 1"=20'
 DRAWN BY: TLR
 APPROVED BY: JJA

CS1501

PLOTTED: 4/8/2019 12:28 PM BY: TWR/Berman - PLOTSTYLE: Pennoni NCS.ctb
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LEGEND

- PROPERTY LINE
- PROTECTED AREA / NO DISTURBANCE / LIMITS OF WETLAND DELINEATION
- LIMIT OF DISTURBANCE
- STORM DRAIN MANHOLE
- STORM CLEAN OUT
- 2' X 4' PRECAST INLET (PENNDOT TYPE 'M')
- HEADWALL/ENDWALL
- STORM PIPE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- ROOF PVC DRAIN
- 6' PERF. PVC UNDERDRAIN
- RIVER ROCK AT CURB CUTS; 4'-6" DIAMETER, ROUND, WHOLE, CLEAN ROCK; 12" DEPTH (MIN.)
- BIOSWALE/BIORETENTION AREAS
- PERVIOUS PAVING

NPDES LIMIT = 2.20 ACRES
 LOD = 2.20 ACRES
 APPLICANT: IP NUVO DEVELOPMENT, LLC
 LAND COVER: LAWN, POROUS PAVEMENT, SELF-STORAGE FACILITY, PARKING LOT
 CHAPTER 93 WATERSHED: U.N.T. TO BRUSH CREEK - CONNOQUESSING CREEK (WARM WATER FISHES, WWF)

STORMWATER MANAGEMENT PLAN GENERAL NOTES:

1. IP NUVO DEVELOPMENT, LLC HEREBY ACKNOWLEDGES THAT THE STORMWATER BEST MANAGEMENT PRACTICES (BMPs) ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY THE BUTLER COUNTY CONSERVATION DISTRICT.
2. AS-BUILT RECORD DRAWINGS SHALL BE PREPARED BY THE CONTRACTOR FOR ALL SWM FACILITIES. THE CONTRACTOR SHALL PROVIDE THIS DOCUMENTATION TO TOWNSHIP OF CRANBERRY'S PRIOR TO OCCUPANCY, OR THE RELEASE OF THE SURETY BOND.
3. THE FOLLOWING SIGNATURE BLOCK CERTIFIES THAT A REGISTERED PROFESSIONAL HAS PREPARED THE STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH TOWNSHIP OF CRANBERRY'S AND BUTLER COUNTY CONSERVATION DISTRICT DESIGN STANDARDS.

_____, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE TOWNSHIP OF CRANBERRY'S AND BUTLER COUNTY CONSERVATION DISTRICT STORMWATER MANAGEMENT ORDINANCE.
4. THE FOLLOWING SIGNATURE BLOCK CERTIFIES THAT CRANBERRY TOWNSHIP HAS REVIEWED THE STORMWATER MANAGEMENT PLAN:

_____, HAVE REVIEWED THIS STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF TOWNSHIP OF CRANBERRY'S AND BUTLER COUNTY CONSERVATION DISTRICT STORMWATER MANAGEMENT ORDINANCE.
5. ANY WORK DONE OUTSIDE OF THE PROPOSED LIMIT OF DISTURBANCE BOUNDARY SHOWN ON THE EROSION AND SEDIMENTATION (E/S) CONTROL PLANS MAY REQUIRE THE CONTRACTOR TO COMPLETE AND SUBMIT REVISIONS TO THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT.
6. BY RECORD OF THIS PLAN, THE TOWNSHIP OF CRANBERRY OR ITS DESIGNEE IS HEREBY GRANTED ACCESS TO ALL PROPOSED STORMWATER MANAGEMENT FACILITIES, STORM INLETS AND PIPES, AS WELL AS TO ALL DRAINAGE WAYS. INGRESS SHALL BE TAKEN FROM THE NEAREST PUBLIC RIGHT-OF-WAY.
7. AS PER THE APPROVED STORMWATER MANAGEMENT PLAN, THE TOWNSHIP OF CRANBERRY SHALL HAVE RIGHT OF ACCESS TO THE ON-SITE DETENTION FACILITY FOR THE RIGHT OF MAINTENANCE, MONITORING AND/OR SAMPLING. IN THE EVENT THE OWNER, ASSIGNS OR HEIRS DO NOT ADEQUATELY MAINTAIN OR MONITOR THE FACILITY, THE OWNER, ASSIGNS OR HEIRS SHALL REIMBURSE THE TOWNSHIP FOR ALL COSTS ASSOCIATED WITH SAID MAINTENANCE. THE AFOREMENTIONED RIGHTS GRANTED THE TOWNSHIP IN NO WAY DIMINISH THE RESPONSIBILITY OF THE OWNER, ASSIGNS OR HEIRS OF SAID MAINTENANCE AND MONITORING, AND NO LIABILITY WILL BE ASSUMED BY THE TOWNSHIP ASSOCIATED WITH REQUIRED ACCESS FOR MAINTENANCE OR MONITORING PURPOSES.
8. STORM CONVEYANCE FACILITIES INCLUDING STORM SEWERS, INLETS AND THE VEGETATED SWALE SHALL BE PERIODICALLY MAINTAINED AS DESCRIBED IN MAINTENANCE AND OPERATIONS NOTES ON THE POST CONSTRUCTION STORMWATER MANAGEMENT (PCSM) DETAILS PAGE OF THIS DRAWING SET.
9. MUNICIPAL LIABILITY DISCLAIMER. APPROVAL OF A STORMWATER MANAGEMENT PLAN BY THE TOWNSHIP SHALL NOT BE CONSTRUED AS AN INDICATION THAT SAID PLAN COMPLIES WITH THE REQUIREMENTS, LAWS, OR STANDARDS OF ANY AGENCY OF THE COMMONWEALTH WHICH MAY OR MAY NOT GOVERN SAID ACTIVITY.
10. PROVIDE A CERTIFICATION OF COMPLETION FROM AN ENGINEER, ARCHITECT, SURVEYOR OR OTHER QUALIFIED PERSON VERIFYING THAT ALL PERMANENT FACILITIES HAVE BEEN CONSTRUCTED ACCORDING TO THE SWM SITE PLAN AND REPORT AND APPROVED REVISIONS THERETO.
11. ALL UNDERDRAINS IN GRAVEL BEDS TO BE SCH-40 PVC.
12. ALL UNDERDRAINS IN RETAINING WALLS TO BE HDPE.

STRUCTURE KEY

- MH - MANHOLE
- IN - INLET
- RD - ROOF DRAIN
- YD - YARD DRAIN
- CO - CLEANOUT
- FES - FLARED END SECTION
- EW - ENDWALL

PLAN BOOK 378 PAGE 19

0 20' 40'

Pennoni
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 Pittsburgh, PA 15220
 T 412.521.3000
 F 412.521.1206

REGISTERED PROFESSIONAL
 BRIAN L. FISCHBACH
 ENGINEER
 PE-5346-E

NUVO - SELF STORAGE FACILITY
 20709 ROUTE 19
 CRANBERRY TOWNSHIP, PA 16066
 POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

NUVO CRANBERRY STORAGE, LLC
 200 EAST NEW ENGLAND AVE., SUITE 110
 WINTER PARK, FL 32789

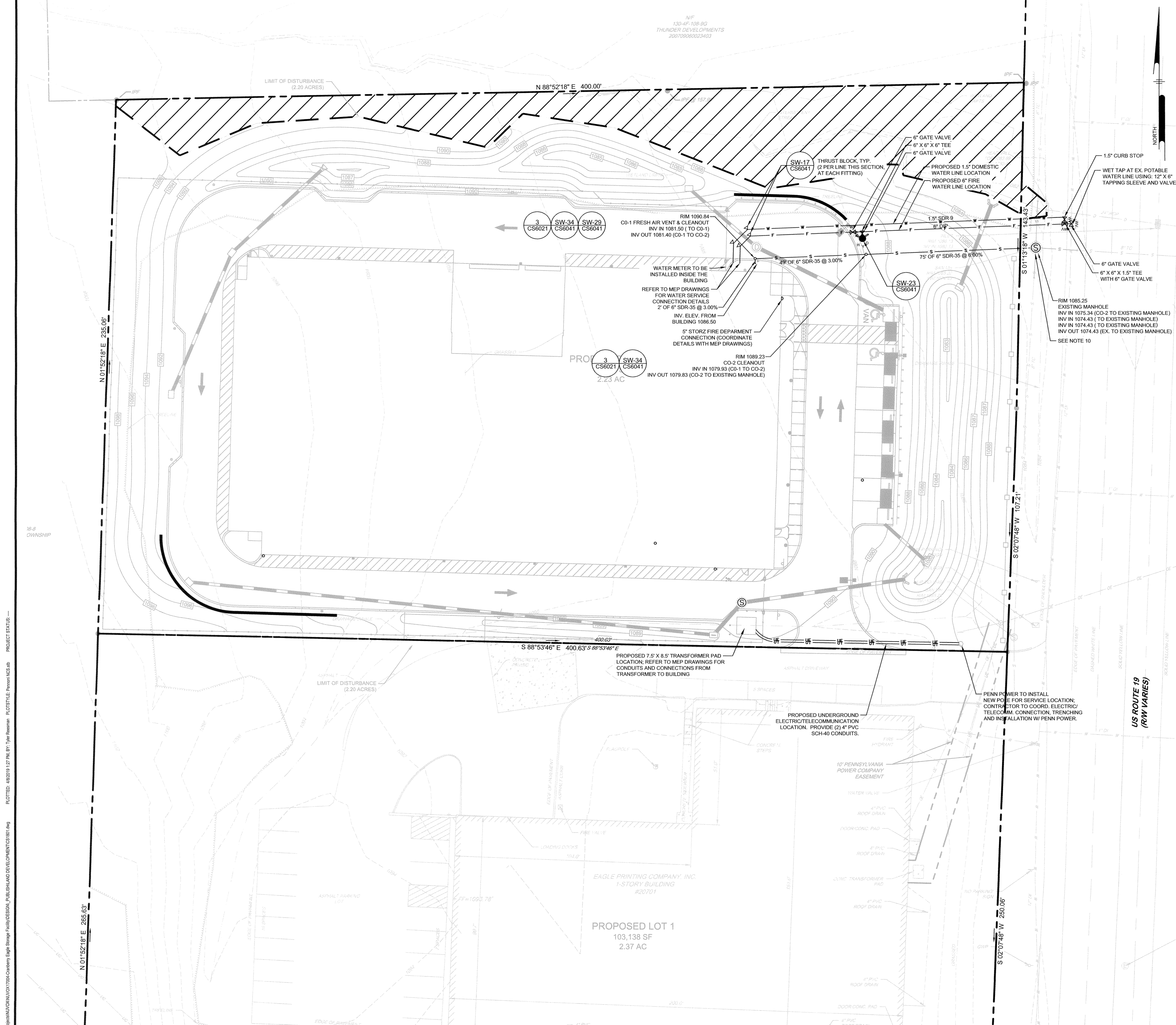
NO.	DATE	REVISIONS	BY
1	07/06/2018	LAND DEVELOPMENT & NPDES SUBMISSION #2	JJA
2	03/06/2019	AS PER RESOLUTION FINAL PLANS	EJF

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PROJECT: NUVOX17004
 DATE: 2019-03-06
 DRAWING SCALE: 1"=20'
 DRAWN BY: TLR
 APPROVED BY: JJA

CS1701

J:\Projects\NUVOX17004\Cranberry Eagle Storage\Public\Drawings\PCSM\CS1701.dwg PLOTTED: 4/20/19 1:28 PM BY: Tyler Reuter - PLOTTED: Pennoni US, Inc. PROJECT STATUS: ---



LEGEND

- PROPERTY LINE
- PROTECTED AREA / NO DISTURBANCE / LIMITS OF WETLAND DELINEATION
- 2 x 4 PRECAST INLET (PENNDOT TYPE M)
- SANITARY SEWER CLEANOUT
- WATER VALVE
- TELECOMMUNICATIONS
- WATER LINE
- FIRE LINE
- SANITARY SEWER
- ELECTRIC
- STORM PIPE
- FIRE HYDRANT
- ROOF DRAIN PIPE
- CONCRETE THRUST BLOCK

**UTILITY PLAN
GENERAL NOTES:**

1. INSTALL ALL PROPOSED UTILITY STRUCTURES FLUSH WITH PROPOSED FINISH GRADES; COORDINATE WITH GRADING PLAN AS REQUIRED.
2. ACT 287 - 1974, OR AS AMENDED IN COMPLIANCE WITH ACT 287, PRIOR TO EXCAVATION, THE CONTRACTOR MUST CALL THIS NUMBER AND NOTIFY ALL UTILITY COMPANIES OF HIS INTENTION TO EXCAVATE NO LESS THAN THREE (3) WORKING DAYS PRIOR TO EXCAVATION. STATEWIDE TELEPHONE NUMBER IS 1-800-242-1776.
3. THE EXACT LOCATION AND DEPTH OF ALL UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
4. ALL ON-SITE SERVICE LINE UTILITIES ARE TO BE REMOVED UNLESS OTHERWISE NOTED.
5. ALL PUBLIC UTILITY SERVICE TO THE POINT OF PROPOSED CONNECTION SHALL REMAIN.
6. UTILITY CONNECTION TO THE NEW FACILITIES SHALL BE COORDINATED WITH THE UTILITY PROVIDER.
7. THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS OF THE PROPOSED PAVEMENT, UTILITIES AND CLOSED DRAINAGE SYSTEM.
8. ANY WORK DONE OUTSIDE OF THE PROPOSED LIMIT OF DISTURBANCE BOUNDARY SHOWN ON UTILITY PLANS MAY REQUIRE THE CONTRACTOR TO COMPLETE AND SUBMIT REVISIONS TO THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT.
9. ALL UTILITY EASEMENTS OUTSIDE OF THE PAVEMENT AREAS SHALL BE TWENTY (20) FEET WIDE AT A MINIMUM. AT THE TOWNSHIP OF CRANBERRY'S DISCRETION, THE CONTRACTOR SHALL PROVIDE LEGAL DESCRIPTIONS OF THE AS-BUILT UTILITY CONSTRUCTION CONDITIONS.
10. THE NEW CONNECTION TO THE EXISTING SEWER MANHOLE SHALL BE CORE-DRILLED. STEPS WILL BE INSTALLED WITH THE CONNECTION. MANHOLE SHALL PASS A VACUUM TEST AFTER INSTALLATION.
11. SEE SHEET CS1701 FOR COMPLETE STORMWATER MANAGEMENT DESIGN. ANY STORMWATER SHOWN ON THIS PLAN IS FOR COORDINATION ONLY.
12. CONTRACTOR TO COORDINATE TRENCHING, INSTALLATION, BACKFILLING, AND FINAL CONNECTIONS FOR ELECTRIC SERVICE WITH PENN POWER AND BUILDING MEP.
13. PROPOSED 6" FIRE LINE TO BE DUCTILE IRON PIPE. PROPOSED 1.5" DOMESTIC WATERLINE TO BE SCH-40 PVC.

Pennoni
PENNONI ASSOCIATES INC.
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 750 Holiday Drive, Suite 700
 Pittsburgh, PA 15220
 T 412.521.3000 F 412.521.1206

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

BRIAN L. FISCHBACH
 REGISTERED PROFESSIONAL ENGINEER
 PE-05340-E

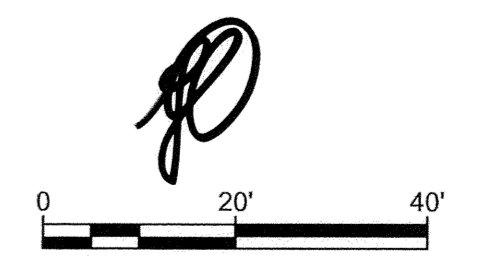
NUVO - SELF STORAGE FACILITY
 20709 ROUTE 19
 CRANBERRY TOWNSHIP, PA 16066

UTILITY PLAN

NUVO CRANBERRY STORAGE, LLC
 200 EAST NEW ENGLAND AVE., SUITE 110
 WINTERS PARK, FL 32789

NO.	DATE	REVISIONS	BY
2	03.06.2019	AS PER RESOLUTION FINAL PLANS	ELF
1	07.06.2018	LAND DEVELOPMENT & NPDES SUBMISSION #2	JJA

PLAN BOOK	PAGE
378	20



ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN PERMISSION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES. AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: **NUVOX17004**

DATE: 2019-03-06

DRAWING SCALE: 1"=20'

DRAWN BY: TLR

APPROVED BY: JJA

CS1801

J:\Project\NUVOX17004-Cranberry Eagle Storage Facility\DESIGN_Plan\LAND DEVELOPMENTS\CS1801.dwg
 PLOTTED: 4/8/2019 12:27 PM BY: Tyler Reisman PLOTSTYLE: Pennon MCT.sbt PROJECT STATUS: ---
 39-B OWNERSHIP

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT I, DAVID B. DEAN, SESSION MEMBER OF SUMMIT PRESBYTERIAN CHURCH, OF THE TOWNSHIP OF JEFFERSON, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF JEFFERSON, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US. DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF JEFFERSON, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF JEFFERSON, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 13 DAY OF JUNE, 2019.

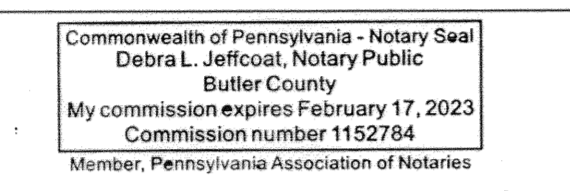
x *David B. Dean*
 DAVID B. DEAN
 SESSION MEMBER
 SUMMIT PRESBYTERIAN CHURCH

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE DAVID B. DEAN, SESSION MEMBER OF SUMMIT PRESBYTERIAN CHURCH, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 13 DAY OF JUNE, 2019.

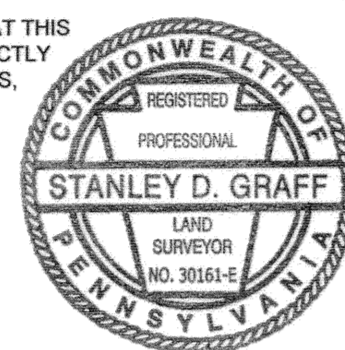
MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023.

x *Debra L. Jeffcoat*
 NOTARY PUBLIC



SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

16 May '19
 DATE
 x *Stanley D. Graff*
 STANLEY D. GRAFF
 REG. NO. SU-030107-E



MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF JEFFERSON, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF JEFFERSON ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS
 APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF JEFFERSON THIS 13th DAY OF May, 2019.

x *Kris J. Fennell*
 SECRETARY
 x *John W. Cohen*
 CHAIRPERSON
 BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF JEFFERSON THIS 15th DAY OF May, 2019.

x *Emily M. Gross*
 SECRETARY
 x *Jeffrey R. Lamm*
 CHAIRPERSON
 PLANNING COMMISSION

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 3rd DAY OF APRIL, 2019.

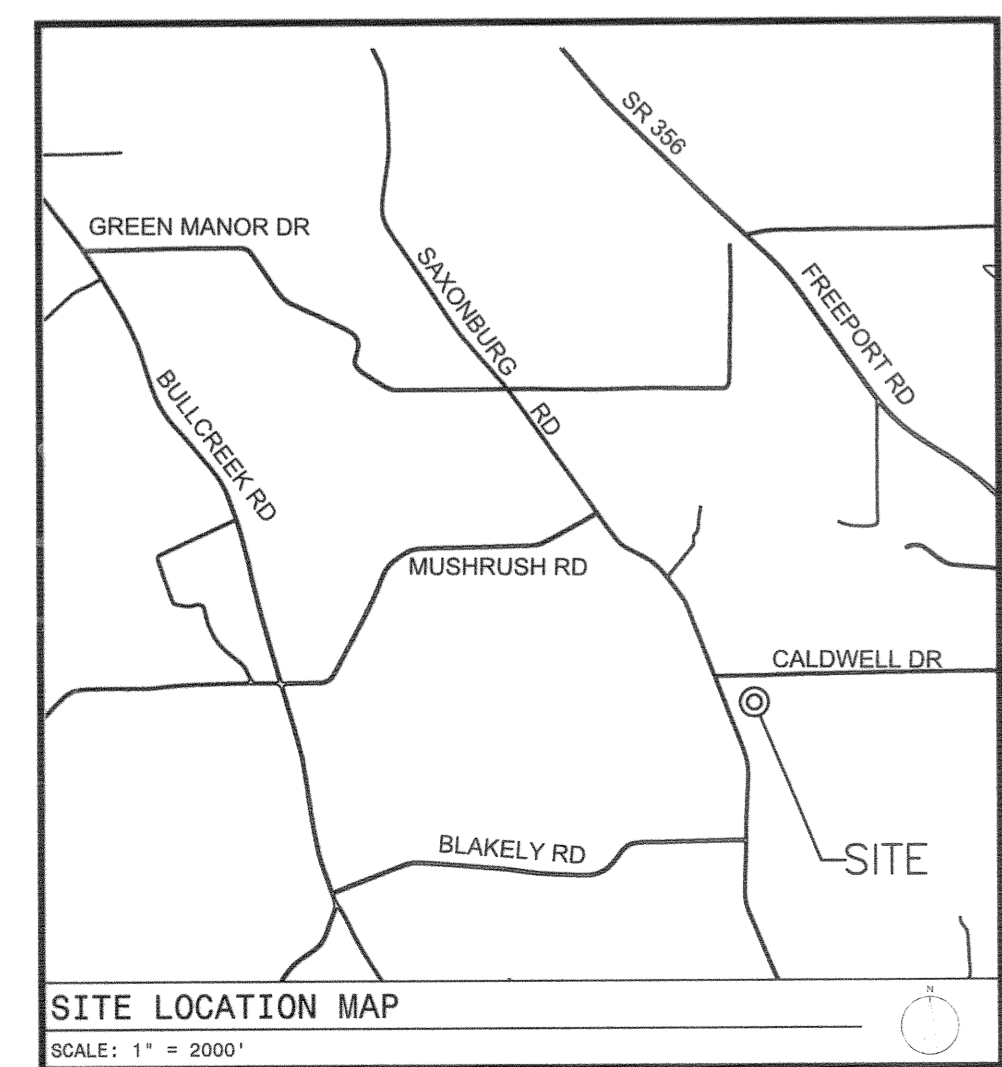
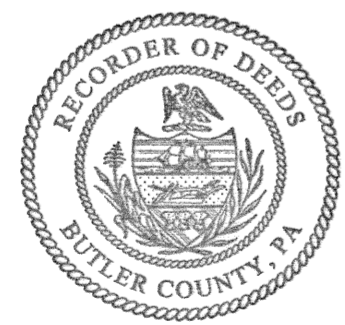
x *Gregory M. Ferguson*
 SECRETARY
 x *Fulgencio*
 CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 378, PAGE(S) 21.

GIVEN UNDER MY HAND AND SEAL THIS 19 DAY OF June, 2019.

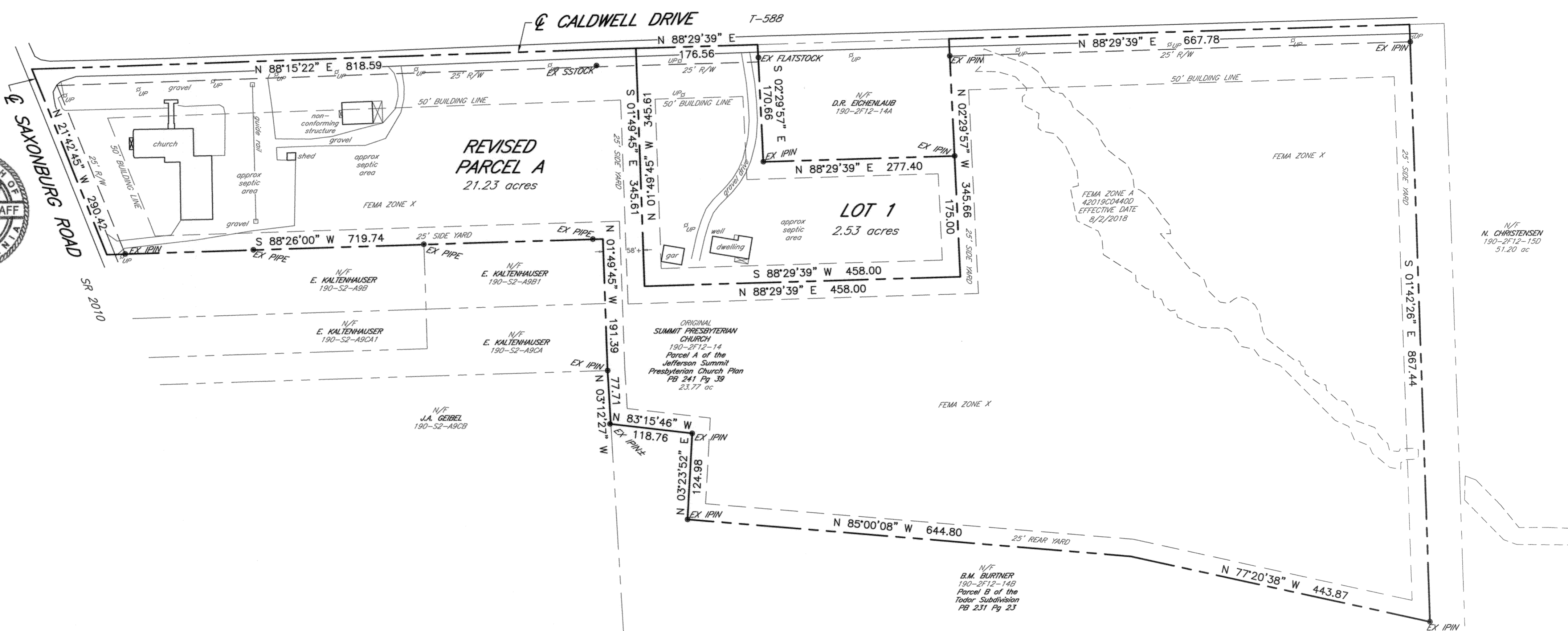
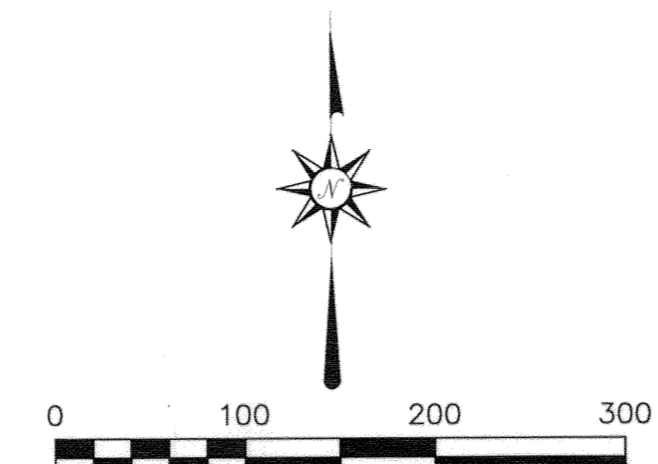
x *Michele M. Mustello*
 RECORDER OF DEEDS

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2025



HIGHWAY OCCUPANCY PERMIT:
 A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE STATE HIGHWAY LAW (P.L. 1242, NO. 428).

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.



OWNER'S ACCEPTANCE OF RESPONSIBILITY FOR PROVIDING STORMWATER DRAINAGE FACILITIES AND CONTROL OF STORMWATER DRAINAGE

KNOW ALL MEN BY THESE PRESENTS THAT I, DAVID B. DEAN, SESSION MEMBER OF SUMMIT PRESBYTERIAN CHURCH, OF THE TOWNSHIP OF JEFFERSON, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, AND FOR OUR GRANTEEES AND THEIR SUBSEQUENT PURCHASERS, DO HEREBY ACCEPT FULL AND COMPLETE RESPONSIBILITY, LIABILITY, EXPENSE AND PROVISION OF FACILITIES FOR THE CONTROL OF STORMWATER DRAINAGE OVER, ACROSS AND THROUGH THIS SUBDIVISION OF LAND UNTIL SUCH TIME AS WE, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS CONSTRUCT STORMWATER DRAINAGE FACILITIES IN ACCORDANCE WITH TOWNSHIP SPECIFICATIONS AND REQUIREMENTS AND THE SAME IS OFFICIALLY ACCEPTED BY ACTION OF THE BOARD OF SUPERVISORS AND UNTIL SUCH FORMAL ACCEPTANCE FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS DO HEREBY RELEASE THE TOWNSHIP OF JEFFERSON FROM ANY RESPONSIBILITY IN CONNECTION THEREWITH. THIS ACCEPTANCE OF RESPONSIBILITY SHALL BE BINDING UPON SUMMIT PRESBYTERIAN CHURCH, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, AND ALL PURCHASERS OF LOTS IN THIS PLAN OF SUBDIVISION.

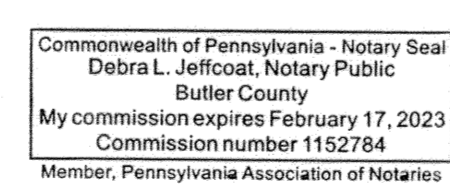
IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 13 DAY OF JUNE, 2019.

x *David B. Dean*
 DAVID B. DEAN
 SESSION MEMBER
 SUMMIT PRESBYTERIAN CHURCH

ACKNOWLEDGMENT OF NOTARY PUBLIC
 WITNESS MY HAND AND NOTARIAL SEAL THIS 13 DAY OF JUNE, 2019.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023.

x *Debra L. Jeffcoat*
 NOTARY PUBLIC



GENERAL NOTES:

- TAX ID: 190-2F12-14
- PROPERTY OWNER: SUMMIT PRESBYTERIAN CHURCH
- LOT REQUIREMENTS: 50' FRONT SETBACK, 25' SIDE AND REAR SETBACKS, ZONE A - AREA OF 100 YEAR FLOOD, BASE FLOOD ELEVATIONS (BFE) AND FLOOD HAZARD FACTORS NOT DETERMINED, FIRM: 42019C0400, FIRM EFFECTIVE: 9/2/2018
- FEMA FLOOD ZONE: ZONE X - AREA OF MINIMAL FLOOD HAZARD, FIRM: 42019C0400, FIRM EFFECTIVE: 9/2/2018
- REFERENCES: 5.1. CURRENT DEEDS OF RECORD, 5.2. PREVIOUSLY RECORDED PLANS, 5.2.1. JEFFERSON-SUMMIT PRESBYTERIAN CHURCH PLAN OF SUBDIVISION, PLAN BOOK 241 PG 39, 5.2.2. TODOR PLAN OF SUBDIVISION, PLAN BOOK 231 PG 23

REV	DESCRIPTION	BY	DATE
B	NON-CONFORMING SHED REMOVED	SDG	5/19/19
A	REVISIONS FOLLOWING TOWNSHIP PLANNING MEETING ON 4/15/19	SDG	4/22/19



GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION
SUMMIT PRESBYTERIAN CHURCH PLAN
 BEING A
 SUBDIVISION
 FOR
 SUMMIT PRESBYTERIAN CHURCH

SITUATE
 JEFFERSON TOWNSHIP
 BUTLER COUNTY, PENNSYLVANIA

DATE	DRAWN	CHECKED	SCALE
12/19/18	SDG	Sdg	1" = 100'
PROJECT NO.	TAX PARCEL NO.	REVISION	
18-284	190-2F12-14	B	

RECORDED	20
PLAN BOOK	PAGE
378	21
SHEET	of

SUMMIT PRESBYTERIAN CHURCH PLAN

Being a subdivision of Parcel A of Jefferson Summit Presbyterian Church Subdivision, PBV 241, Pg 39 and being Butler County Tax Parcel 190-2F12-14

Lot "A" containing 24,611.40 sq. ft. or 0.57 acre to be conveyed to Carl P. Slaughenhoup & Norma L. Slaughenhoup

PROPERTY OWNER/ADDRESS:
 HELIOS PARKER, LLC
 1277 LA BELL VUE ROAD
 VANDERGRIFT, PENNSYLVANIA 15690

PROPERTY OWNER/ADDRESS:
 CARL P. & NORMA L. SLAUGENHOUP
 2354 KITTANNING PIKE
 PARKER, PA. 16049

LOTS & BLOCKS-PARKER, LLC
 8 LORD STIRLING ROAD
 BASKING RIDGE, NEW JERSEY 07920

FKV PARKER, LLC
 227 BRYANT AVENUE
 GLEN ELLYN, ILLINOIS 60137

OWNERS ADOPTION Know All Men by these Presents, that We, Carl P. & Norma L. Slaughenhoup of the Parker Township, of Butler County, of the Pennsylvania, ourselves, our heirs, executors, administrators and assign, do hereby adopt this as our Plan of Subdivision of our property, situated in the Parker Township, County of Butler, Commonwealth of Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever, for public use for highway, drainage, sewage and utility purposes, all drives, roads, lands, rights-of-way, easements, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings and in consideration of the approval of said plan and any future acceptance of said public highways, rights-of-way and easements by the Parker Township, of Butler County, We, Carl P. & Norma L. Slaughenhoup, hereby agree to and by these presents do release and forever discharge the Parker Township, of Butler County, their successors or assigns from any liability for damages arising and to arise from the appropriation of said ground for public highways, and other public uses and the physical grading thereof to any grades that may be established. This dedication and release shall be binding upon our heirs, Carl P. & Norma L. Slaughenhoup executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, We hereunto set our hands and seal(s) this 17th day of June, A.D. 2019
 ATTEST: *[Signature]* (SEAL)
 Owner: *[Signature]* (SEAL)
 (Notary Public) *[Signature]*
 My Commission expires the 10th day of March, A.D. 2023

Commonwealth of Pennsylvania - Notary Seal
 Pamela J. Moore, Notary Public
 Clarion County
 My Commission expires March 10, 2023
 Commission number 1115099
 Member: Pennsylvania Association of Notaries

KNOW ALL MEN BY THESE PRESENTS THAT HELIOS PARKER LLC, LOTS & BLOCKS-PARKER LLC AND FKV PARKER LLC OF THE TOWNSHIP OF PARKER, COUNTY OF BUTLER AND STATE OF PENNSYLVANIA FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTY, SITUATE IN THE TOWNSHIP OF PARKER, COUNTY OF BUTLER AND STATE OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCORDING TO US DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND WHEREBY RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF PARKER, THEIR SUCCESSORS, AND AS-SIGN FROM ANY LIABILITY FOR DAMAGE CAUSED BY ANY GRADING THEREOF TO ANY GRADES HERE-AFTER AT ANY TIME THEREOF ACCORDING TO SUCH ESTABLISHED GRADES. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE NAMES PROPERTY OWNER(S) OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, HEREUNTO SET HAND(S) AND SEAL(S) THIS 22nd DAY OF MAY, 2019.

[Signature] SOLE MEMBER
 HELIOS PARKER, LLC (TITLE)

STATE OF Pennsylvania SS
 COUNTY OF Westmoreland

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY PERSONALLY CAME
[Signature] (TITLE)
 HELIOS PARKER, LLC

AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH WITNESS MY HAND AND NOTORIAL SEAL THIS 22nd DAY OF MAY, 2019.

[Signature]
 NOTARY SEAL
 Notary Public - State of Pennsylvania
 My Commission Expires 10/23/2019

KNOW ALL MEN BY THESE PRESENTS THAT HELIOS PARKER LLC, LOTS & BLOCKS-PARKER LLC AND FKV PARKER LLC OF THE TOWNSHIP OF PARKER, COUNTY OF BUTLER AND STATE OF PENNSYLVANIA FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTY, SITUATE IN THE TOWNSHIP OF PARKER, COUNTY OF BUTLER AND STATE OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCORDING TO US DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND WHEREBY RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF PARKER, THEIR SUCCESSORS, AND AS-SIGN FROM ANY LIABILITY FOR DAMAGE CAUSED BY ANY GRADING THEREOF TO ANY GRADES HERE-AFTER AT ANY TIME THEREOF ACCORDING TO SUCH ESTABLISHED GRADES. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE NAMES PROPERTY OWNER(S) OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, HEREUNTO SET HAND(S) AND SEAL(S) THIS 30th DAY OF MAY, 2019.

[Signature] MEMBER
 LOTS & BLOCKS-PARKER, LLC (TITLE)

STATE OF New Jersey SS
 COUNTY OF Somerset

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY PERSONALLY CAME
[Signature] MEMBER
 LOTS & BLOCKS-PARKER, LLC (TITLE)

AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH WITNESS MY HAND AND NOTORIAL SEAL THIS 30th DAY OF MAY, 2019.

MICHELE C STASSE
 Notary Public
 State of New Jersey
 My Commission Expires June 15, 2020
 I.D.# 2397358

[Signature]
 NOTARY SEAL

KNOW ALL MEN BY THESE PRESENTS THAT HELIOS PARKER LLC, LOTS & BLOCKS-PARKER LLC AND FKV PARKER LLC OF THE TOWNSHIP OF PARKER, COUNTY OF BUTLER AND STATE OF PENNSYLVANIA FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTY, SITUATE IN THE TOWNSHIP OF PARKER, COUNTY OF BUTLER AND STATE OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCORDING TO US DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND WHEREBY RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF PARKER, THEIR SUCCESSORS, AND AS-SIGN FROM ANY LIABILITY FOR DAMAGE CAUSED BY ANY GRADING THEREOF TO ANY GRADES HERE-AFTER AT ANY TIME THEREOF ACCORDING TO SUCH ESTABLISHED GRADES. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE NAMES PROPERTY OWNER(S) OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, HEREUNTO SET HAND(S) AND SEAL(S) THIS 20th DAY OF MAY, 2019.

[Signature] Sole Member
 FKV PARKER, LLC (TITLE)

STATE OF Illinois SS
 COUNTY OF DeKalb

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY PERSONALLY CAME
[Signature] Sole Member
 FKV PARKER, LLC (TITLE)

AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH WITNESS MY HAND AND NOTORIAL SEAL THIS 22nd DAY OF MAY, 2019.

[Signature]
 NOTARY SEAL

DOUGLAS J. HARRIS
 Official Seal
 Notary Public - State of Illinois
 My Commission Expires Nov 16, 2021

APPROVED BY THE COUNTY PLANNING COMMISSION OF THE COUNTY OF BUTLER THIS
 28th DAY OF MARCH, 2019.

[Signature] SECRETARY
[Signature] CHAIRMAN

REVIEWED/APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF PARKER THIS
 6 DAY OF June, 2019.

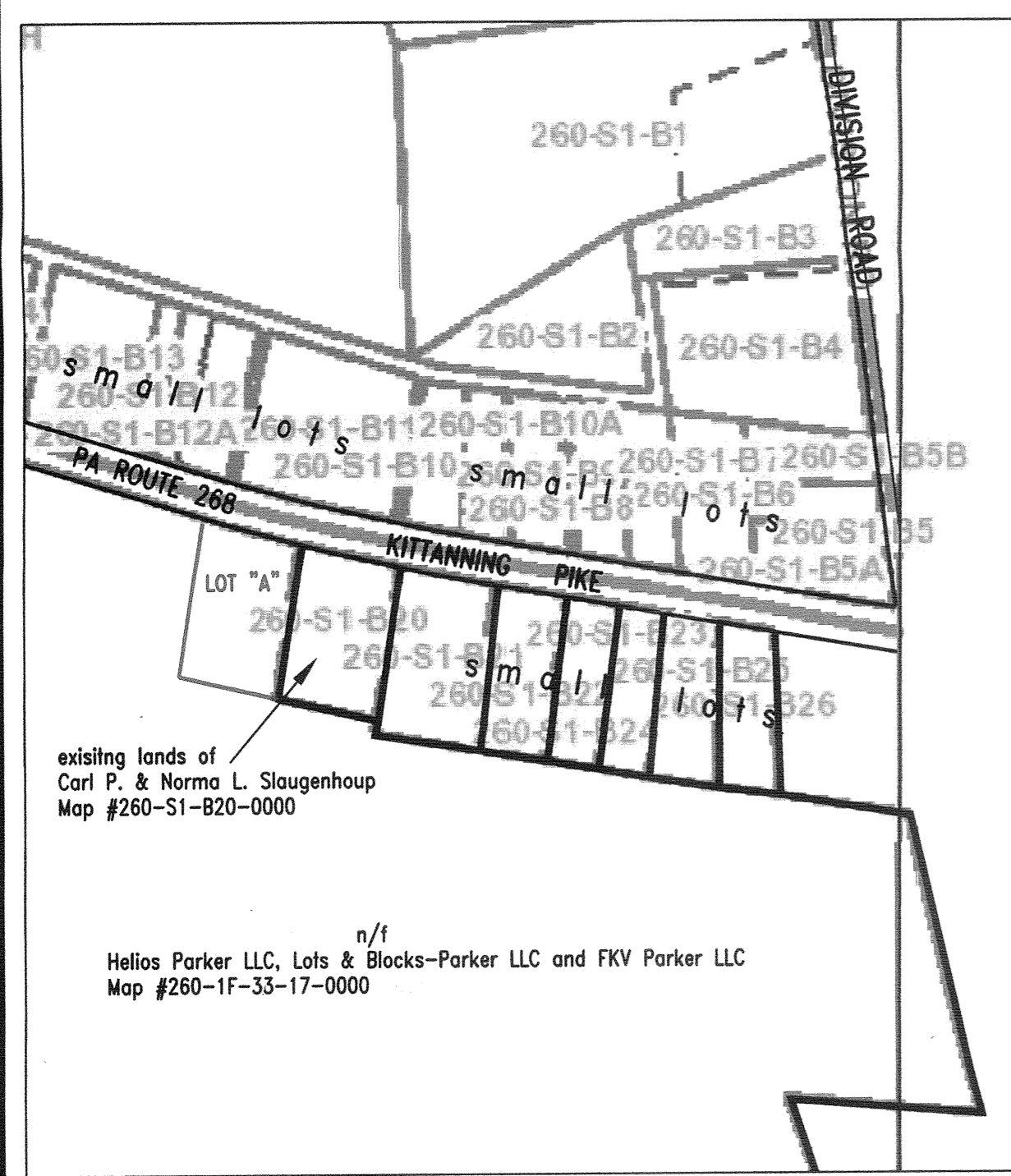
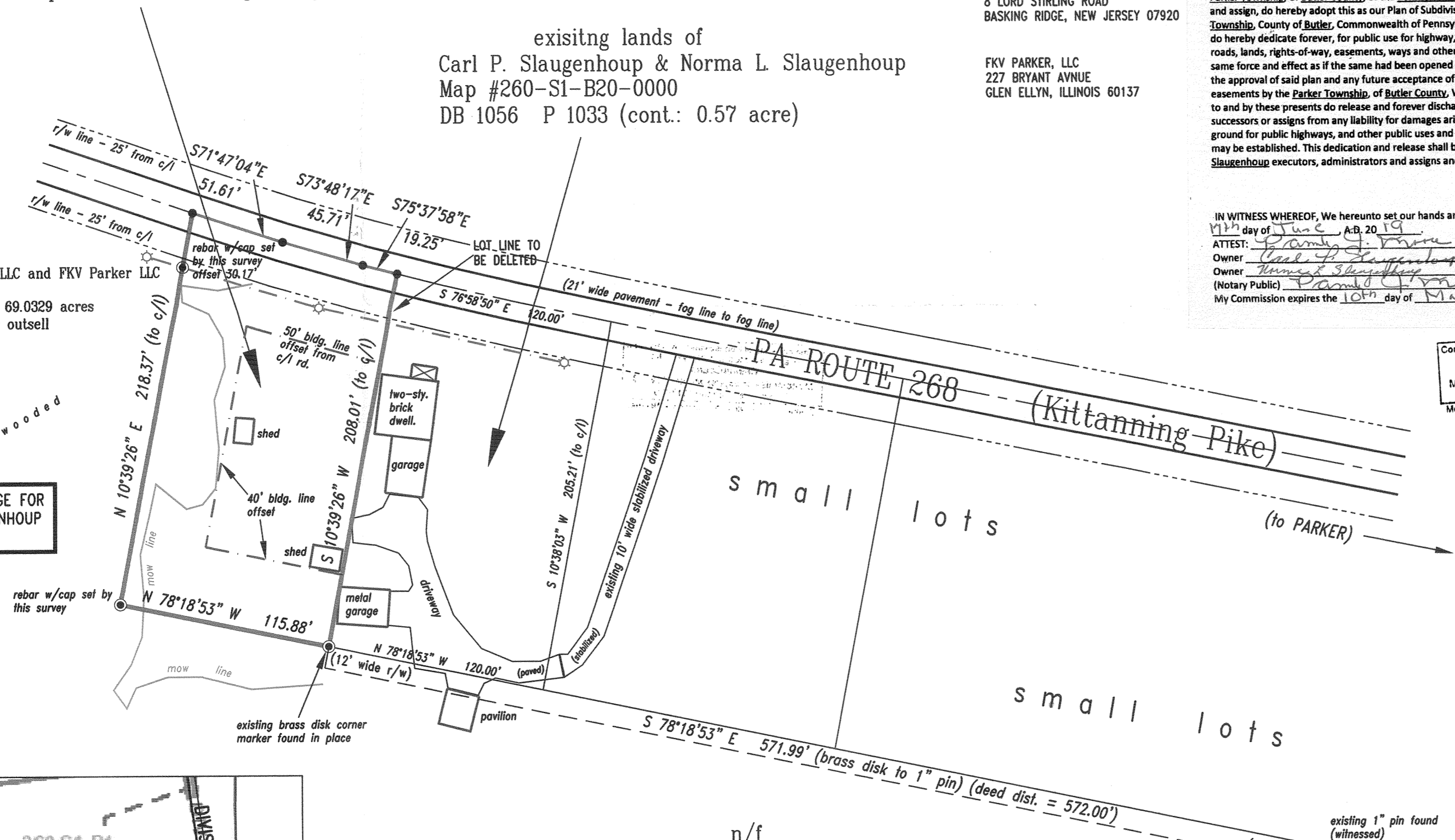
[Signature] SECRETARY
[Signature] CHAIRMAN

RECORDED:	PLAN BOOK	PAGE
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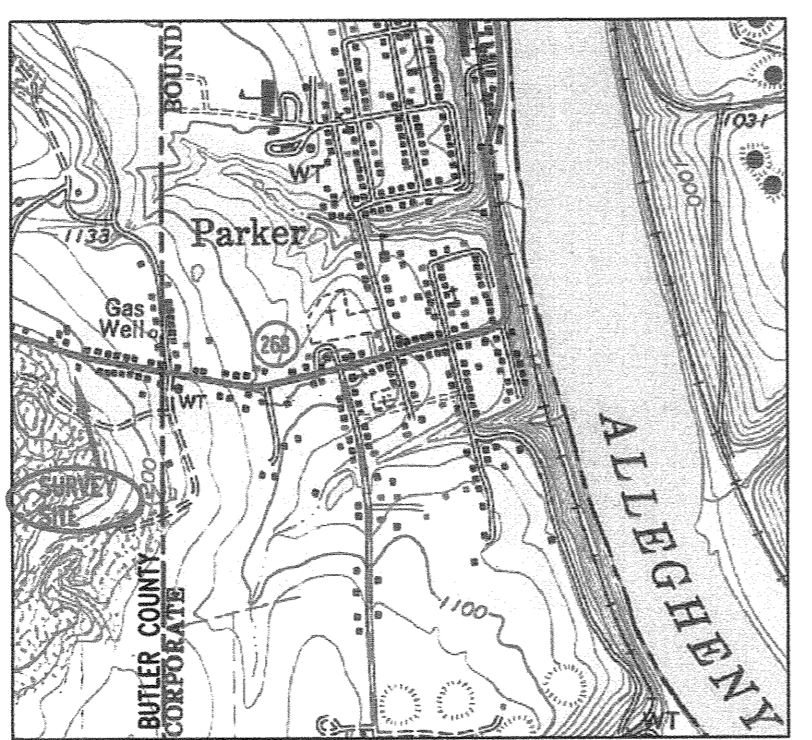
● Indicates reference point
 ☆ Indicates utility pole

n/f
 Helios Parker LLC, Lots & Blocks-Parker LLC and FKV Parker LLC
 Map #26-1F33-17-0000
 Instrument #2016-11020023105 Containing 69.0329 acres
 Leaving a residual of 68.4629 acres after outsell

NOTE: NEW TOTAL COMBINED ACREAGE FOR CARL P. & NORMA L. SLAUGENHOUP TO BE 1.14 ACRES.



n/f
 Helios Parker LLC, Lots & Blocks-Parker LLC and FKV Parker LLC
 Map #26-1F33-17-0000
 Instrument #2016-11020023105 Containing 69.0329 acres
 Leaving a residual of 68.4629 acres after outsell



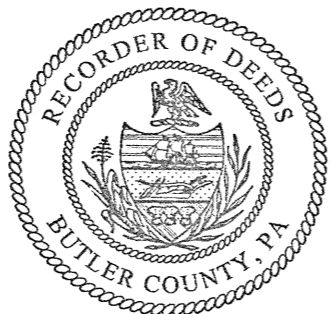
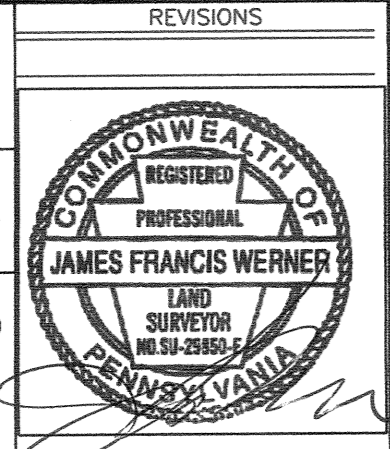
TOPOGRAPHIC MAP - NOT TO SCALE
 PARKER QUADRANGLE

NOTE: LOT NO. "A" IS TO BE JOINED TO THE EXISTING LANDS OF CARL P. & NORMA L. SLAUGENHOUP (MAP #260-S1-B20-0000) AND CANNOT BE BUILT UPON OR CONVEYED INDEPENDENTLY WITHOUT APPROVAL FROM THE BUTLER COUNTY PLANNING COMMISSION.

LOT LINE REVISION



Fike Associates, Inc.
 Surveying & Consulting
 22830 Route 68 Clarion, PA 16214
 MINOR SUBDIVISION PLAN PREPARED FOR
 HELIOS PARKER LLC, LOTS & BLOCKS-PARKER LLC and
 FKV PARKER LLC
 Showing Lands To Be Conveyed To
CARL P. & NORMA L. SLAUGENHOUP
 situated in
 PARKER TOWNSHIP BUTLER COUNTY
 PENNSYLVANIA
 Date: MARCH 26, 2019 Job No.: slaughenhoupcarl
 Scale: 1" = 50' Drawn By: JFW Date: 03.26.19



NOTE: THIS MAP MAY NOT SHOW ALL UTILITIES, EASEMENTS AND RIGHTS OF WAYS.

COMMONWEALTH OF PENNSYLVANIA }
 COUNTY OF BUTLER: }

RECORDED IN THE OFFICE FOR THE RECORDING OF DEED PLANS, ETC. IN SAID COUNTY IN

PLAN BOOK 378 VOLUME - PAGE 22
 GIVEN UNDER MY HAND AND SEAL THIS 19th DAY OF June, 2019.

[Signature]
 MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2020

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT I, WILLIAM L. FISHER, OF THE TOWNSHIP OF CONNOQUEENESS, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR MYSELF, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS MY PLAN OF LOTS OF MY PROPERTIES, SITUATE IN THE TOWNSHIP OF CONNOQUEENESS, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CONNOQUEENESS, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CONNOQUEENESS, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNER, HIS HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 7 DAY OF JUNE, 2019.

William L. Fisher
 WILLIAM L. FISHER

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, WILLIAM L. FISHER, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 7 DAY OF JUNE, 2019.

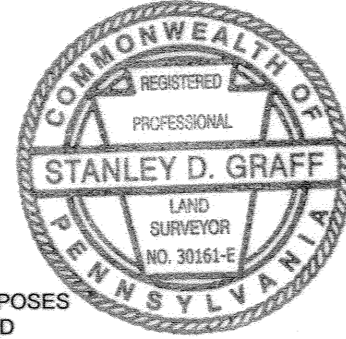
MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023.

Debra L. Jeffcoat
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
 Debra L. Jeffcoat, Notary Public
 Butler County
 My commission expires February 17, 2023
 Commission number 1152784
 Member, Pennsylvania Association of Notaries

SURVEYOR'S CERTIFICATION
 I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

DATE 7 MAY '19
Stanley D. Graff
 STANLEY D. GRAFF
 REG. NO. SU-000011E



MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CONNOQUEENESS, HEREBY APPROVES THIS PLAN OF SUBDIVISION FOR RECORDING PURPOSES ONLY. THIS APPROVAL BY THE TOWNSHIP OF CONNOQUEENESS DOES NOT CONSTITUTE AN ACCEPTANCE OF THE ROADS, STREETS, STORM AND SANITARY DRAINAGE FACILITIES, EASEMENTS OR RIGHTS-OF-WAY, WATER MAINS OR ANY OTHER SERVICES OR IMPROVEMENTS SHOWN ON THIS PLAN, NOR AN ASSUMPTION OF MAINTENANCE RESPONSIBILITY, NOR WILL THE SAME BE ACCEPTED OR MAINTAINED UNTIL CONSTRUCTED IN ACCORDANCE WITH ALL TOWNSHIP SPECIFICATIONS AND REQUIREMENTS AND OFFICIALLY ACCEPTED BY ACTION OF THE BOARD OF SUPERVISORS. THIS APPROVAL SHALL IN NO WAY BE DEEMED AN AUTHORIZATION TO COMMENCE CONSTRUCTION OR RELATED ACTIVITIES. THIS PLAN OF SUBDIVISION APPROVED BY RESOLUTION OF THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CONNOQUEENESS, BUTLER COUNTY, PENNSYLVANIA ON THIS 5th DAY OF June, 2019.

ATTEST:
Brenda Davis
 SECRETARY
Stanley D. Graff
 CHAIRPERSON
 BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF CONNOQUEENESS THIS 5th DAY OF June, 2019.

Debra L. Jeffcoat
 SECRETARY
Brenda Davis
 CHAIRPERSON
 PLANNING COMMISSION

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 6th DAY OF MAY, 2019.

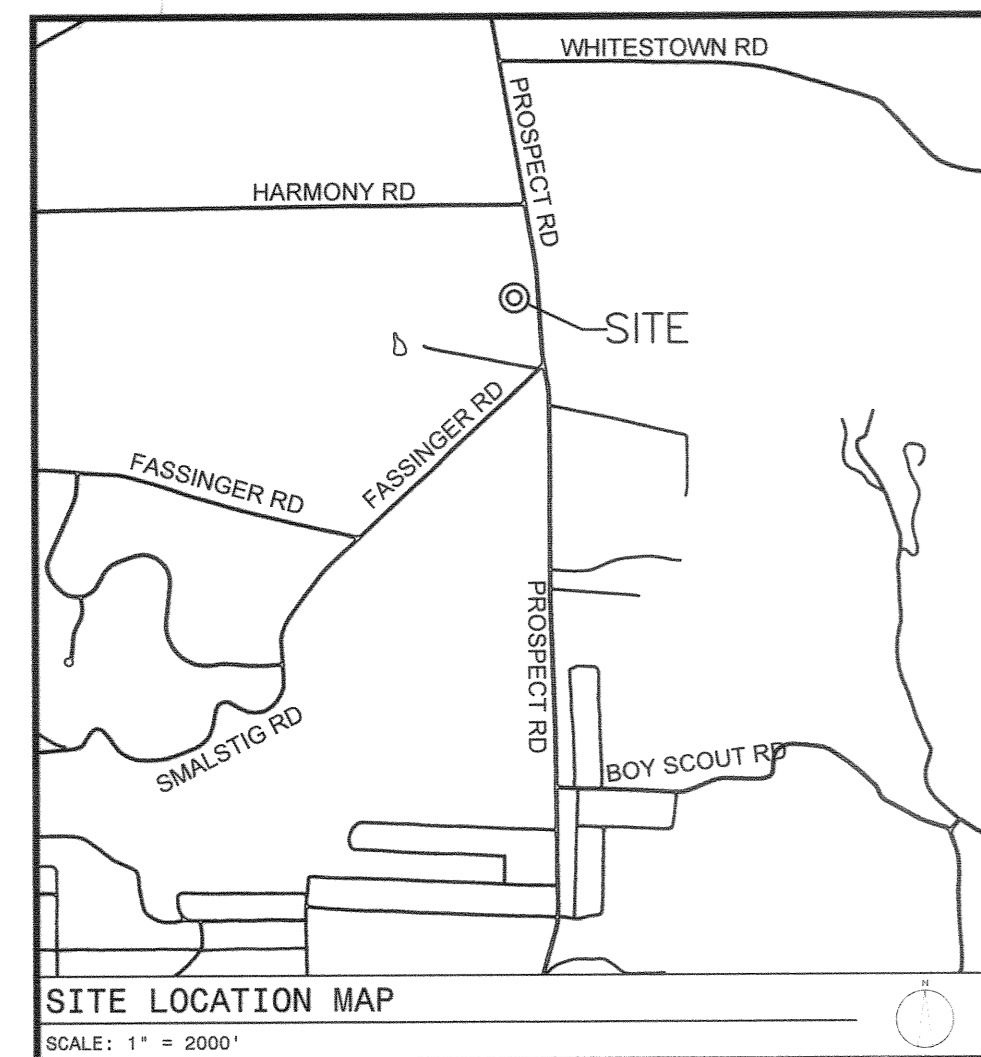
Michelle M. Mustello
 SECRETARY
Paul J. Rasmussen
 CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 378, PAGE(S) 23.
 GIVEN UNDER MY HAND AND SEAL THIS 21 DAY OF June, 2019.

Michele M. Mustello
 RECORDER OF DEEDS



MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2020



OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT WE, DOUGLAS R. AND LISA M. MEYER, OF THE TOWNSHIP OF CONNOQUEENESS, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF CONNOQUEENESS, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CONNOQUEENESS, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF CONNOQUEENESS, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNERS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 13 DAY OF JUNE, 2019.

Douglas R. Meyer
 DOUGLAS R. MEYER
Lisa M. Meyer
 LISA M. MEYER

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, DOUGLAS R. AND LISA M. MEYER, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 13 DAY OF JUNE, 2019.

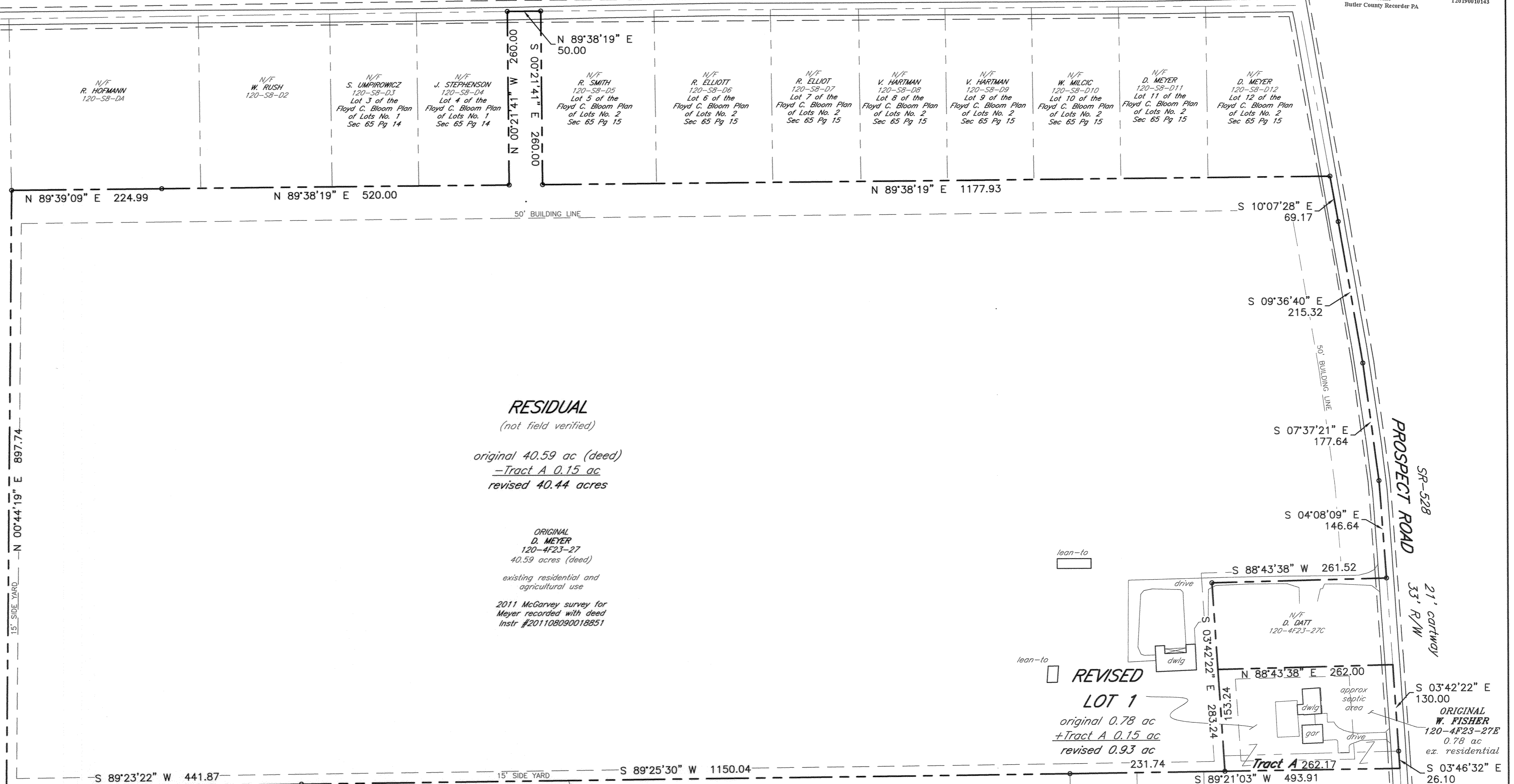
MY COMMISSION EXPIRES THE 17 DAY OF FEB, 2023.

Debra L. Jeffcoat
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
 Debra L. Jeffcoat, Notary Public
 Butler County
 My commission expires February 17, 2023
 Commission number 1152784
 Member, Pennsylvania Association of Notaries

Instr: 201906210011482
 Page 1 of 144-08
 Michele Mustello
 Butler County Recorder PA
 6212019 8:58 AM
 720190910143

T-831
 HARMONY ROAD
 18' cartway
 33' R/W



RESIDUAL
 (not field verified)
 original 40.59 ac (deed)
 - Tract A 0.15 ac
 revised 40.44 acres

ORIGINAL
 D. MEYER
 120-4F23-27
 40.59 acres (deed)
 existing residential and agricultural use

2011 McCarvey survey for Meyer recorded with deed Instr #201108090018851

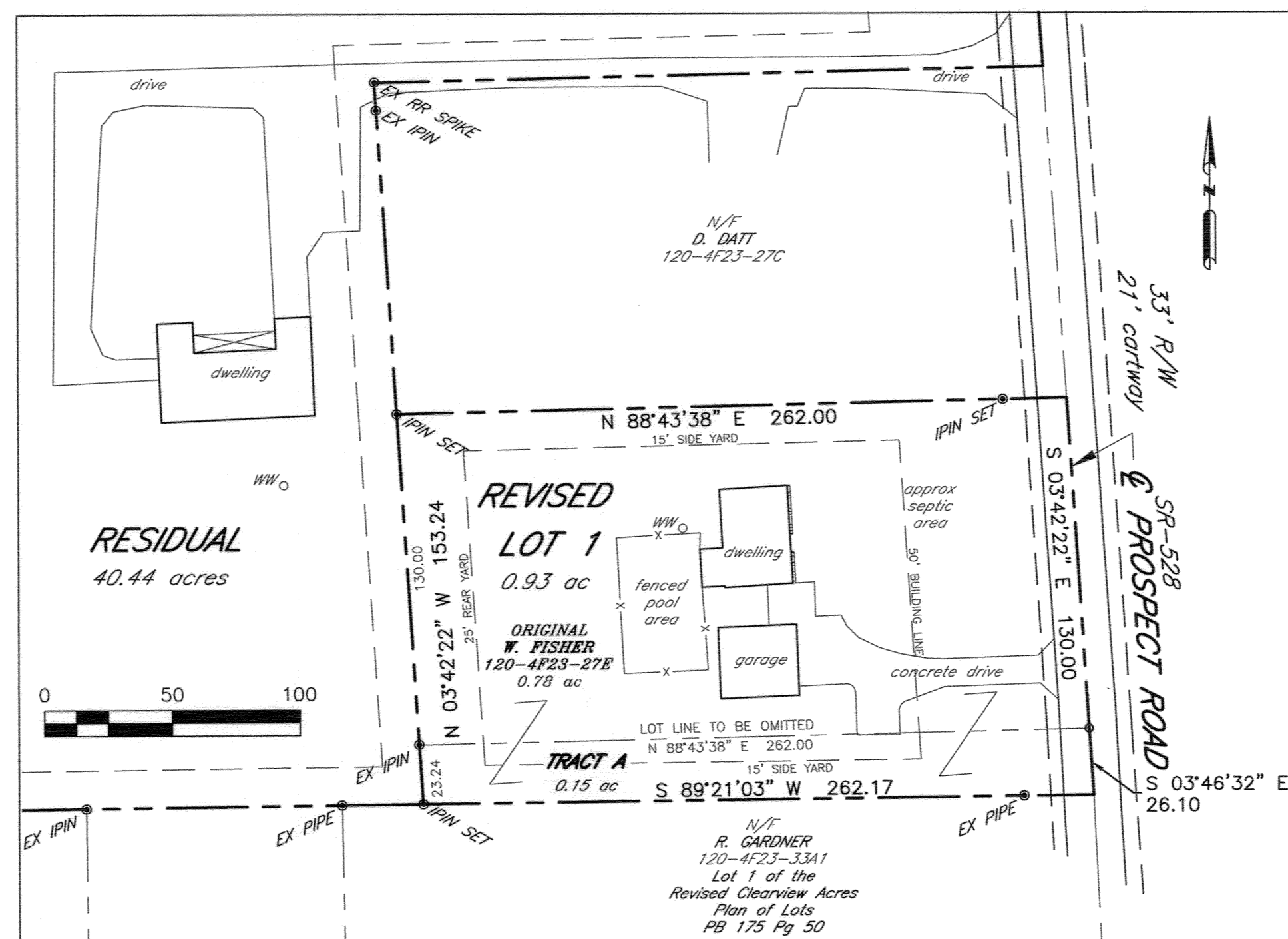
lean-to

lean-to

REVISED LOT 1
 original 0.78 ac
 - Tract A 0.15 ac
 revised 0.93 ac

*see enlargement

SITE ENLARGEMENT:



- GENERAL NOTES:**
- PROPERTY OWNERS: 120-4F23-27 DOUGLAS & LISA MEYER 1222 PROSPECT RD PROSPECT, PA 16052
 120-4F23-27E WILLIAM FISHER 1212 PROSPECT RD PROSPECT, PA 16052
 - RESIDUAL AND REVISED LOT ONE ARE BOTH SERVED BY ON-LOT SEPTIC SYSTEMS AND WATER WELLS
 - PLAN ORIENTATION IS BASED UPON PA STATE PLANE GRID-NAD 83
 - TRACT A TO BE CONVEYED AS A CONTIGUOUS PART OF 120-4F23-27E
 - REFERENCES
 - CURRENT DEEDS OF RECORD
 - PREVIOUS PLANS UNRECORDED 1969 FAIR SUBDIVISION SURVEY FOR BLOOM

HIGHWAY OCCUPANCY PERMIT:
 A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE STATE HIGHWAY LAW (P.L. 1242, NO. 428).

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

RECORDED	20
PLAN BOOK	PAGE
378	23
SHEET	of

REV	DESCRIPTION	BY	DATE
A	REVISIONS PER TOWNSHIP ENGINEER REVIEW LETTER DATED 5/6/19	SDG	5/6/2019

GRAFF SURVEYING
 GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

FISHER / MEYER PLAN
 BEING A
 LOT LINE REVISION
 OF ORIGINAL LOT 1
 FOR
 WILLIAM FISHER AND
 DOUGLAS & LISA MEYER

SITUATE
 CONNOQUEENESS TOWNSHIP
 BUTLER COUNTY, PENNSYLVANIA

DATE	DRAWN	CHECKED	SCALE
4/29/19	SDG	Sdg	VARIES
PROJECT NO.	TAX PARCEL NO.	REVISION	
19-077	120-4F23-27E & 27	A	

OWNERS ADOPTION FOR PARTNERSHIP (LANCASTER TOWNSHIP)
 THE ARDEN DEVELOPMENT PARTNERS, OWNER OF THE LAND SHOWN ON THE ARDEN WOOD PLAN OF CONSOLIDATION HEREBY ADOPTS THIS PLAN AS ITS LAND DEVELOPMENT AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO LANCASTER TOWNSHIP. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE PARTNERSHIP AND UPON ITS HEIRS, EXECUTORS, AND ASSIGNS.

IN WITNESS WHEREOF, I SET MY HAND AND SEAL THIS 20 DAY OF March 2019.

ATTEST: *[Signature]*
 NOTARY PUBLIC: DONALD B. ROGERS

ACKNOWLEDGMENT OF CORPORATE ADOPTION AND DEDICATION (LANCASTER TOWNSHIP)
 BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED DONALD B. ROGERS, PRESIDENT OF ARDEN DEVELOPMENT CORPORATION, AS GENERAL PARTNER IN ARDEN DEVELOPMENT PARTNERS, AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE THE ACT OF THE PARTNERSHIP.

WITNESS MY HAND AND NOTARIAL SEAL THIS 20 DAY OF March 2019.

MY COMMISSION EXPIRES THE 13 DAY OF September 2020.

NOTARIAL SEAL
 Kimberly May, Notary Public
 Cranberry Twp., Butler County
 My Commission Expires Sep. 13, 2020

CERTIFICATION OF TITLE AND CONCURRENCE OF MORTGAGE
 I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE ARDEN WOOD PLAN OF CONSOLIDATION IS IN THE NAME OF THE ARDEN DEVELOPMENT PARTNERS, A PENNSYLVANIA LIMITED PARTNERSHIP, AND IS RECORDED IN BOOK VOLUME 2205, PG. 068 AND INSTRUMENT NO. 2004F100-A160D.

WITNESS: *[Signature]*

OWNER: DONALD B. ROGERS

DOLLAR MORTGAGE OF THE PROPERTY CONTAINED IN THE ARDEN WOOD PLAN OF CONSOLIDATION CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

WITNESS: *[Signature]*

DATE: 3/13/19
 GARY A. SHEFFLER, JR., P.L.S.

ENGINEER CERTIFICATION
 A. ENGINEERING REQUIREMENTS
 I HEREBY CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF THE PLAN SHOWN HEREON IS TRUE AND CORRECT TO THE ACCURACY AND ENGINEERING STANDARDS REQUIRED BY THE ORDINANCES OF LANCASTER TOWNSHIP.

DATE: 3/15/19
 GRAHAM LEE FERRY - REG. NO. PE074237

B. STORMWATER MANAGEMENT REQUIREMENTS
 I HEREBY CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF, THE STORM DRAINAGE FACILITIES SHOWN AND DESCRIBED HEREON ARE TRUE AND CORRECT TO THE ACCURACY AND STANDARDS REQUIRED BY THE ORDINANCES OF LANCASTER TOWNSHIP.

DATE: 3/15/19
 GRAHAM LEE FERRY - REG. NO. PE074237

NO BUILDING PERMITS WITHOUT APPROVED SEWAGE FACILITIES
 LANCASTER TOWNSHIP AGREES NOT TO ISSUE BUILDING PERMITS UNTIL THE "PLANNING MODULE FOR LAND DEVELOPMENT" HAS BEEN APPROVED IN ACCORDANCE WITH THE REGULATION OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

DATE: 6/12/19
 TOWNSHIP SECRETARY

LANCASTER TOWNSHIP BOARD OF SUPERVISORS APPROVAL CERTIFICATE
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF LANCASTER HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF LANCASTER ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR TO GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE OR INSTALLATIONS IN TOWNSHIP STREETS OR ROADS.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF LANCASTER THIS 16TH DAY OF JUNE 2019.

[Signature]
 SECRETARY

LANCASTER TOWNSHIP PLANNING COMMISSION REVIEW CERTIFICATE
 REVIEWED BY THE PLANNING COMMISSION OF LANCASTER TOWNSHIP THIS 14 DAY OF JUNE 2019.

TOWNSHIP SECRETARY: *[Signature]*
 CHAIRPERSON

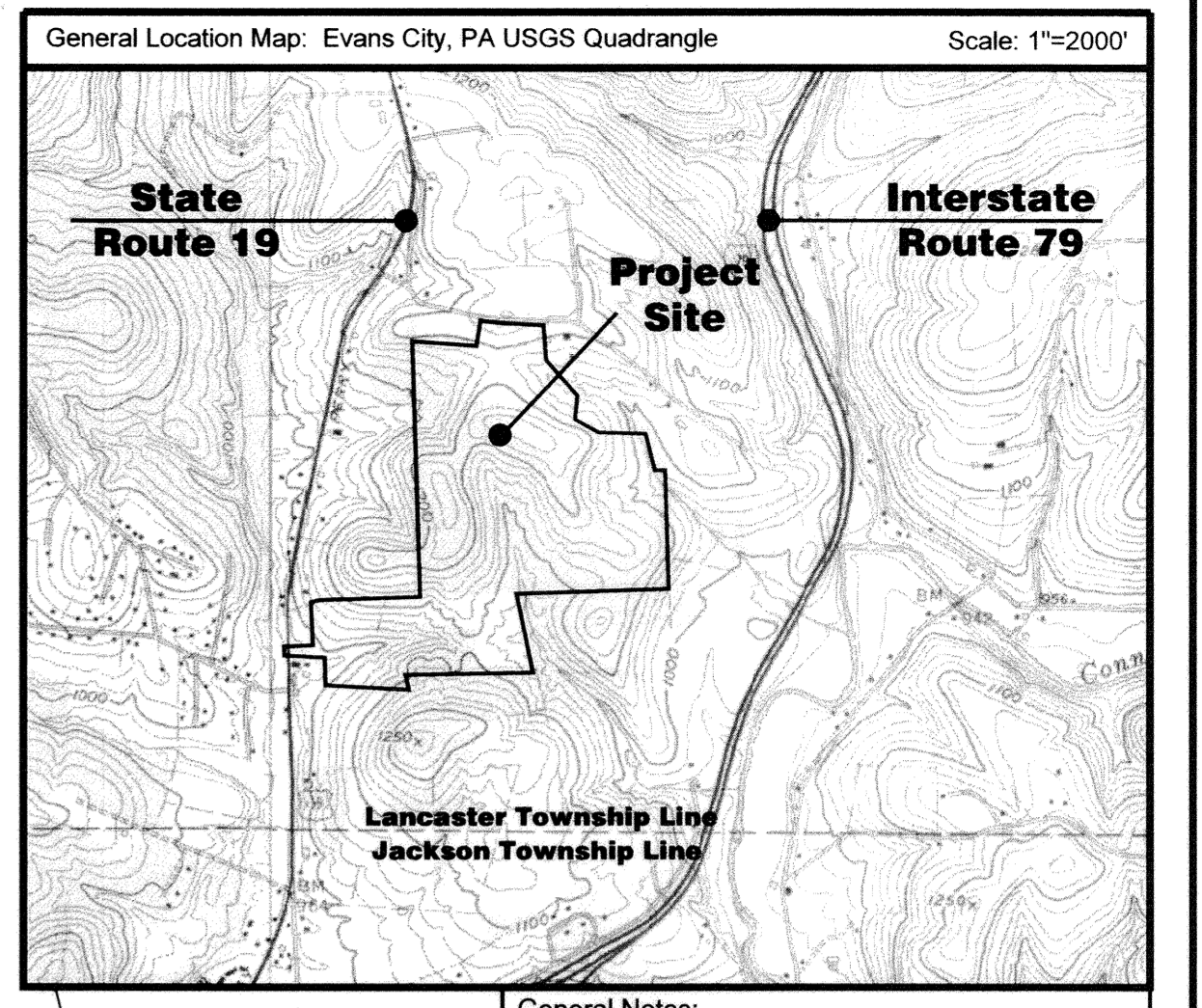
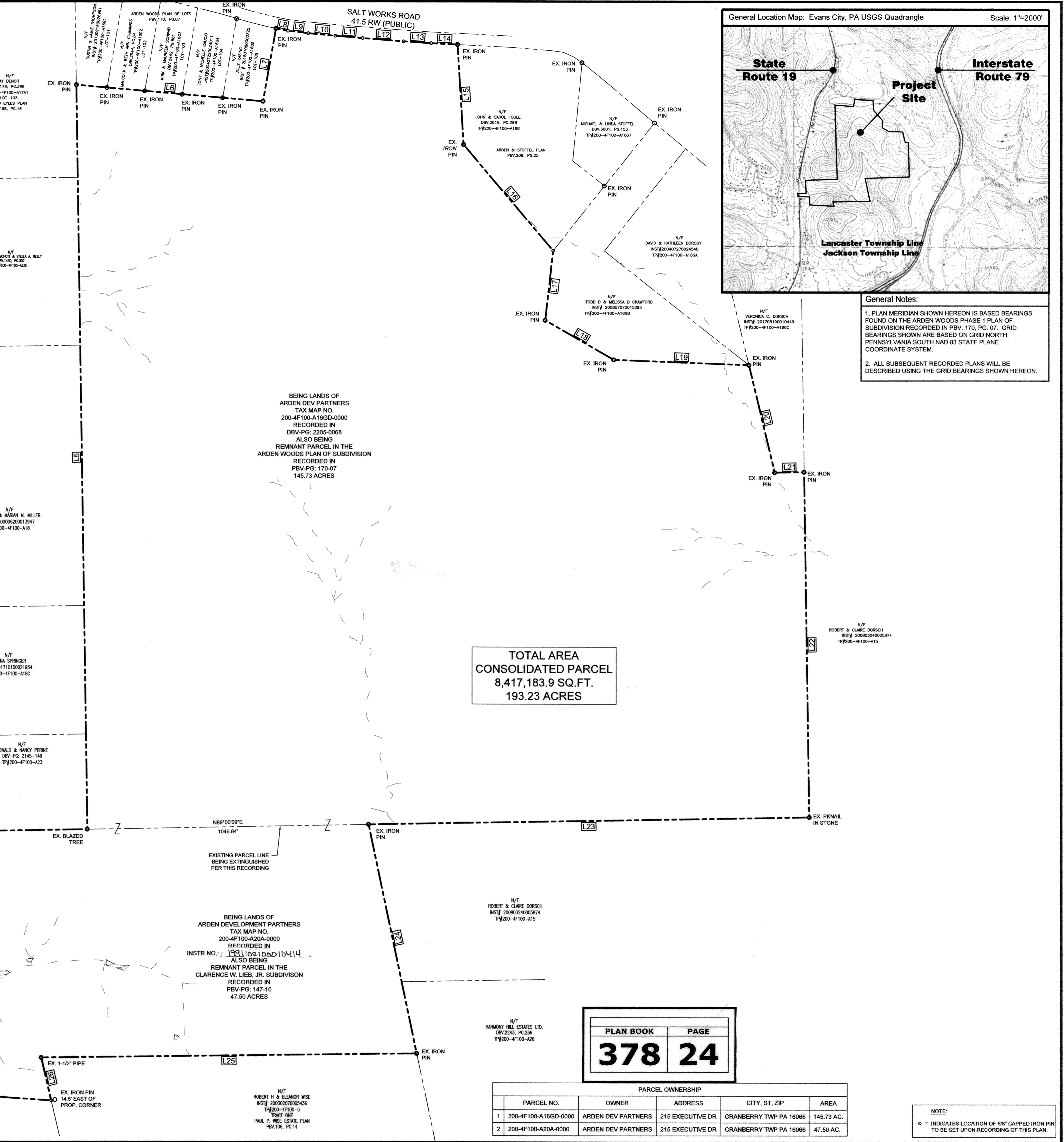
BUTLER COUNTY PLANNING COMMISSION REVIEW CERTIFICATE
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 16TH DAY OF JUNE 2019.

SECRETARY: *[Signature]*
 CHAIRPERSON

PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA
 IN PLAN BOOK VOLUME 378 PAGE(S) 24
 GIVEN UNDER MY HAND AND SEAL THIS 21 DAY OF June 2019.

RECORDER OF DEEDS: *[Signature]*

INSTR: 20190610011493
 Page 1 of 545.00
 6/21/2019 8:54 AM
 Michele Mustello
 Butler County Recorder PA



General Notes:
 1. PLAN MERIDIAN SHOWN HEREON IS BASED BEARINGS FOUND ON THE ARDEN WOODS PHASE 1 PLAN OF SUBDIVISION RECORDED IN PBV, 170, PG. 07. GRID BEARINGS SHOWN ARE BASED ON GRID NORTH, PENNSYLVANIA SOUTH NAD 83 STATE PLANE COORDINATE SYSTEM.
 2. ALL SUBSEQUENT RECORDED PLANS WILL BE DESCRIBED USING THE GRID BEARINGS SHOWN HEREON.

REGISTERED SURVEYOR: *[Seal]* GARY A. SHEFFLER, JR.
 REGISTERED ENGINEER: *[Seal]* GRAHAM LEE FERRY
 LANCASTER TOWNSHIP PLANNING COMMISSION
 LANCASTER TOWNSHIP BOARD OF SUPERVISORS
 BUTLER COUNTY RECORDER OF DEEDS

811 Know what's below. Call before you dig.
 POCS SER. #: 2017

Horizontal Scale
 1 inch = 200 ft.

POCS SER. #: 2017

Date:	Revision Description:	By:	Professional Seal:
05/16/2018	REVISIONS PER TWP ENGINEER COMMENTS DATED APRIL 11, 2018	AGM	
06/11/2018	LANCASTER TOWNSHIP RE-SUBMISSION	GLF	

Prepared By: *[Signature]*
 Sheffler & Company, Inc.
 ENGINEERING • SURVEYING
 1712 Mount Nebo Road, Sewickley, PA 15143
 Office Phone: 412-219-4509
 Email: Info@ShefflerCo.com

Arden Wood Plan of Consolidation
 Prepared For: Arden Development Partners
 Situate In: Lancaster Township, Butler County, Pennsylvania

PARCEL NO.	OWNER	ADDRESS	CITY, ST, ZIP	AREA
1	200-4F100-A160D-0000	ARDEN DEV PARTNERS	CRANBERRY TWP PA 16066	145.73 AC.
2	200-4F100-A20A-0000	ARDEN DEV PARTNERS	CRANBERRY TWP PA 16066	47.50 AC.

NOTE:
 0 = INDICATES LOCATION OF 5/8" CAPPED IRON PIN TO BE SET UPON RECORDING OF THIS PLAN.

LN-1

OWNERS ADOPTION FOR PARTNERSHIP (LANCASTER TOWNSHIP)
 THE ARDEN DEVELOPMENT PARTNERS, OWNER OF THE LAND SHOWN ON THE ARDEN WOOD RESIDENTIAL PLAN OF LOTS - PHASE 1 HEREBY ADOPTS THIS PLAN AS ITS LAND DEVELOPMENT AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO LANCASTER TOWNSHIP. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE PARTNERSHIP AND UPON ITS HEIRS, EXECUTORS, AND ASSIGNS.

IN WITNESS WHEREOF, TO THIS I SET MY HAND AND SEAL THIS 20 DAY OF March 2019.

ATTEST:
 NOTARY PUBLIC DONALD B. RODGERS

ACKNOWLEDGMENT OF CORPORATE ADOPTION AND DEDICATION (LANCASTER TOWNSHIP)
 BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED DONALD B. RODGERS, PRESIDENT OF ARDEN DEVELOPMENT CORPORATION, AS GENERAL PARTNER IN ARDEN DEVELOPMENT PARTNERS, AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE THE ACT OF THE PARTNERSHIP.

WITNESS MY HAND AND NOTARIAL SEAL THIS 20 DAY OF March 2019.

MY COMMISSION EXPIRES THE 13 DAY OF September 2020.

NOTARIAL SEAL
 Kimberly May, Notary Public
 Cranberry Twp., Butler County
 My Commission Expires Sep. 13, 2020
 Member, Pennsylvania Association of Notaries

CERTIFICATION OF TITLE AND CONCURRENCE OF MORTGAGE
 I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE ARDEN WOOD PLAN OF CONSOLIDATION AND IS RECORDED IN DEED BOOK VOLUME 2205, PG. 088 AND INSTRUMENT NO. 192211400-31167.

WITNESS
 OWNER

DOLLAR MORTGAGE
 I HEREBY CERTIFY THAT THE MORTGAGE OF THE PROPERTY CONTAINED IN THE ARDEN WOOD PLAN OF CONSOLIDATION CONFORMS TO THE RECORDS OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

WITNESS
 NAME, TITLE AND MORTGAGEE

SURVEYORS CERTIFICATION
 I HEREBY CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF THE SURVEY, AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED BY THE ORDINANCES OF LANCASTER TOWNSHIP.

DATE 3/13/19
 (SEAL) GARY A SHEFFLER, JR., P.E.S.

ENGINEER CERTIFICATION
 A. ENGINEERING REQUIREMENTS
 I HEREBY CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF THE PLAN SHOWN HEREON IS TRUE AND CORRECT TO THE ACCURACY AND ENGINEERING STANDARDS REQUIRED BY THE ORDINANCES OF LANCASTER TOWNSHIP.

DATE 3/13/19
 (SEAL) GRAHAM LEE FERRY - REG NO. PE074237

B. STORMWATER MANAGEMENT REQUIREMENTS
 I HEREBY CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF, THE STORM DRAINAGE FACILITIES SHOWN AND DESCRIBED HEREON ARE TRUE AND CORRECT TO THE ACCURACY AND STANDARDS REQUIRED BY THE ORDINANCES OF LANCASTER TOWNSHIP.

DATE 3/13/19
 (SEAL) GRAHAM LEE FERRY - REG NO. PE074237

NO BUILDING PERMITS WITHOUT APPROVED SEWAGE FACILITIES
 LANCASTER TOWNSHIP AGREES NOT TO ISSUE BUILDING PERMITS UNTIL THE "PLANNING MODULE FOR LAND DEVELOPMENT" HAS BEEN APPROVED IN ACCORDANCE WITH THE REGULATION OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

DATE 6/19/19
 TOWNSHIP ENGINEER / SECRETARY

LANCASTER TOWNSHIP PLANNING COMMISSION REVIEW CERTIFICATE
 REVIEWED BY THE PLANNING COMMISSION OF LANCASTER TOWNSHIP THIS 14 DAY OF JUNE 2019.

TOWNSHIP SECRETARY CHAIRPERSON

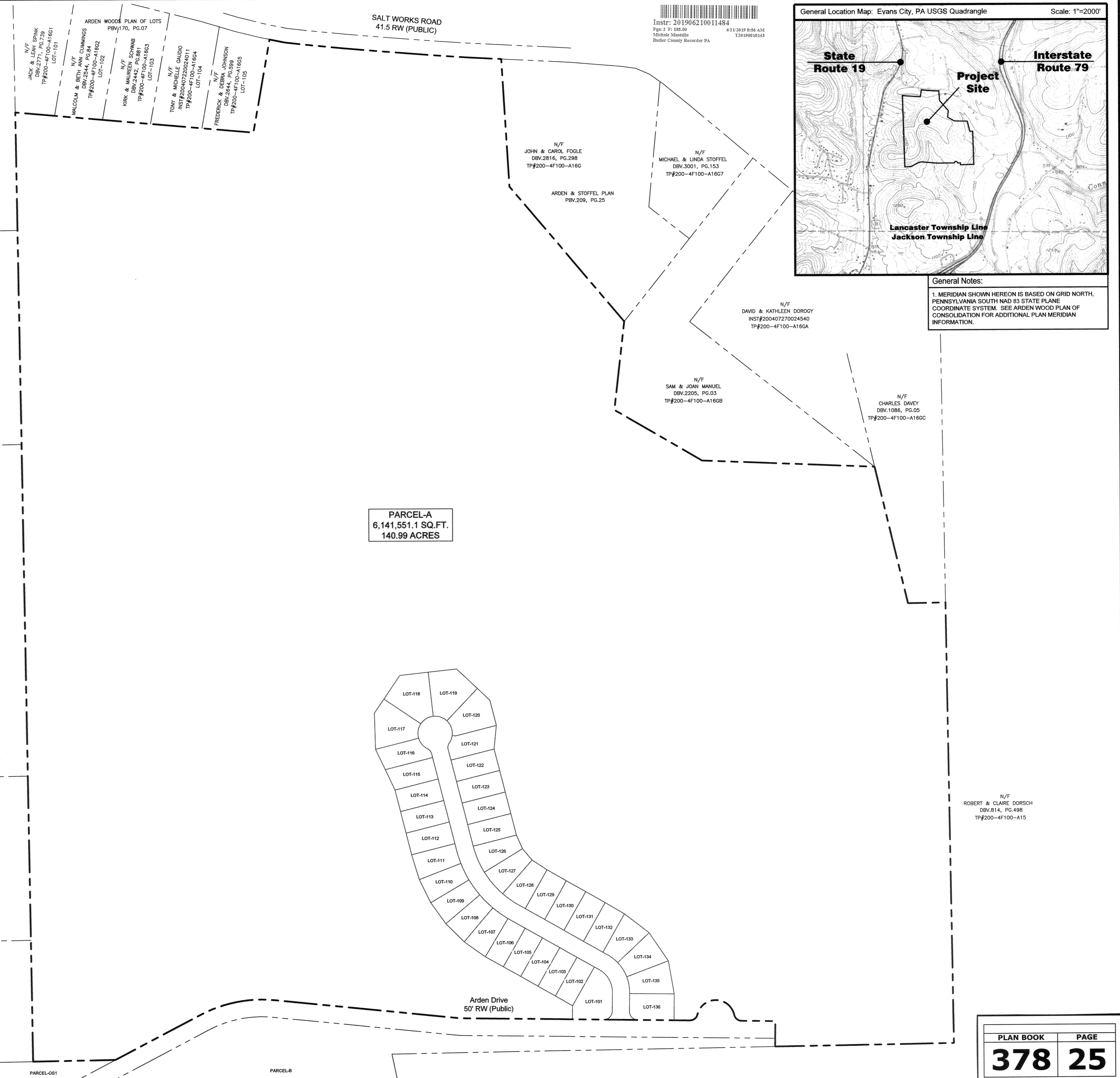
BUTLER COUNTY PLANNING COMMISSION REVIEW CERTIFICATE
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 16TH DAY OF MAY 2019.

SECRETARY CHAIRPERSON

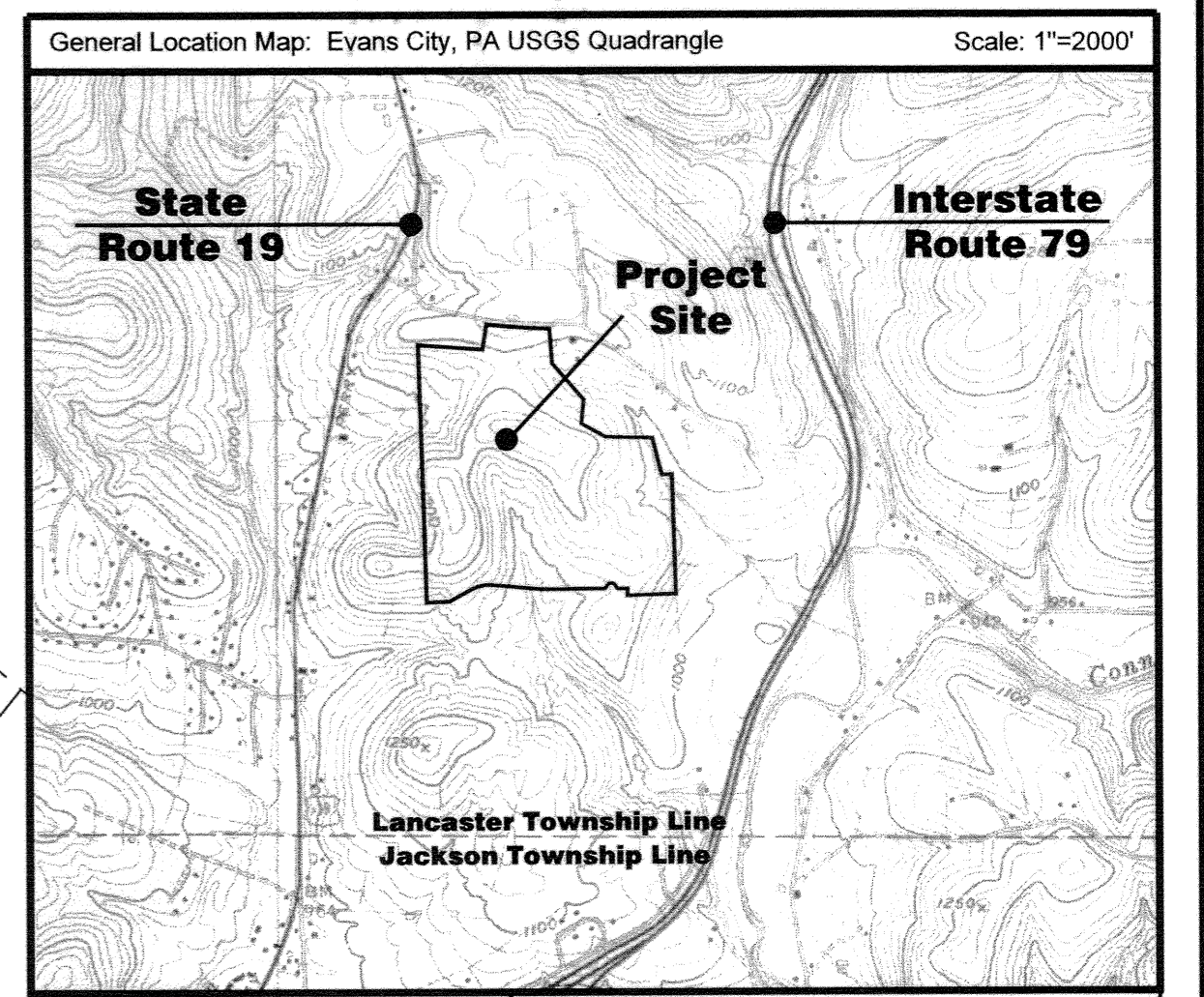
PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA
 IN PLAN BOOK VOLUME 378 PAGE(S) 25-26
 GIVEN UNDER MY HAND AND SEAL THIS 21 DAY OF JUNE 2019.

RECORDER OF DEEDS
 MICHELE M. MUSTELLO
 My Commission Expires First Monday in January 2020

N/F JAY BENDET DBV.1179, PG.398 TP#200-4F100-41741
 N/F CHARLES SCHOTT DBV.1430, PG.302 TP#200-4F100-432E
 N/F CHARLES DAHEY DBV.1086, PG.05 TP#200-4F100-416GC
 N/F ROBERT & CLAIRE DORSCH DBV.814, PG.498 TP#200-4F100-415
 N/F RICK SPRINGER INST#2003853038741 TP#200-4F100-418C
 N/F DONALD & NANCY PERNE INST#2001204028881 TP#200-4F100-423



Instr: 201906210011484
 Pg 2 of 385.00
 Michele Mustello
 Butler County Recorder PA



General Notes:
 1. MERIDIAN SHOWN HEREON IS BASED ON GRID NORTH, PENNSYLVANIA SOUTH NAD 83 STATE PLANE COORDINATE SYSTEM. SEE ARDEN WOOD PLAN OF CONSOLIDATION FOR ADDITIONAL PLAN MERIDIAN INFORMATION.

REGISTERED SURVEYOR
 COMMONWEALTH OF PENNSYLVANIA
 GARY A. SHEFFLER, JR.
 LAND SURVEYOR No. 1007318

BUTLER COUNTY RECORDER OF DEEDS

REGISTERED ENGINEER
 COMMONWEALTH OF PENNSYLVANIA
 GRAHAM LEE FERRY
 ENGINEER PE074237

LANCASTER TOWNSHIP PLANNING COMMISSION

LANCASTER TOWNSHIP BOARD OF SUPERVISORS

RECORDER OF DEEDS BUTLER COUNTY PA

CERTIFICATION THAT THE SWM BMPs WERE DESIGNED AND SHALL BE IMPLEMENTED, OPERATED, AND MAINTAINED TO MEET THE PURPOSES AND REQUIREMENTS OF THIS ORDINANCE AND TO MEET ALL REQUIREMENTS UNDER TITLE 25 OF THE PENNSYLVANIA CODE, THE CLEAN STREAMS LAW, AND THE STORM WATER MANAGEMENT ACT.

CERTIFICATION THAT THE DESIGN OF ALL STORMWATER MANAGEMENT FACILITIES SHALL INCORPORATE SOUND ENGINEERING PRINCIPLES AND PRACTICES AND SHALL NOT RESULT IN THE CREATION OR CONTRIBUTION OF ADVERSE HYDROLOGIC OR ADVERSE HYDRAULIC CONDITIONS WITHIN THE WATERSHED.

811 Know what's below. Call before you dig.

POCS SER. #: 2017

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Horizontal Scale
 1 inch = 150 ft.

Date:	Revision Description:	By:	Professional Seal	Prepared By:
05/16/2018	REVISIONS PER TWP ENGINEER COMMENTS DATED APRIL 11, 2018	AGM		Sheffler & Company, Inc. ENGINEERING • SURVEYING 1712 Mount Nebo Road Sewickley, PA 15143 Office Phone: 412-219-4509 Email: info@ShefflerCo.com
06/11/2018	LANCASTER TOWNSHIP PRE-SUBMISSION	GLF		
12/14/2018	REVISED SANITARY EASEMENTS PER WSCA COMMENTS	CEL		

Arden Wood Residential Plan of Lots - Phase 1

Prepared For:
 Arden Development Partners

Situate In:
 Lancaster Township, Butler County, Pennsylvania

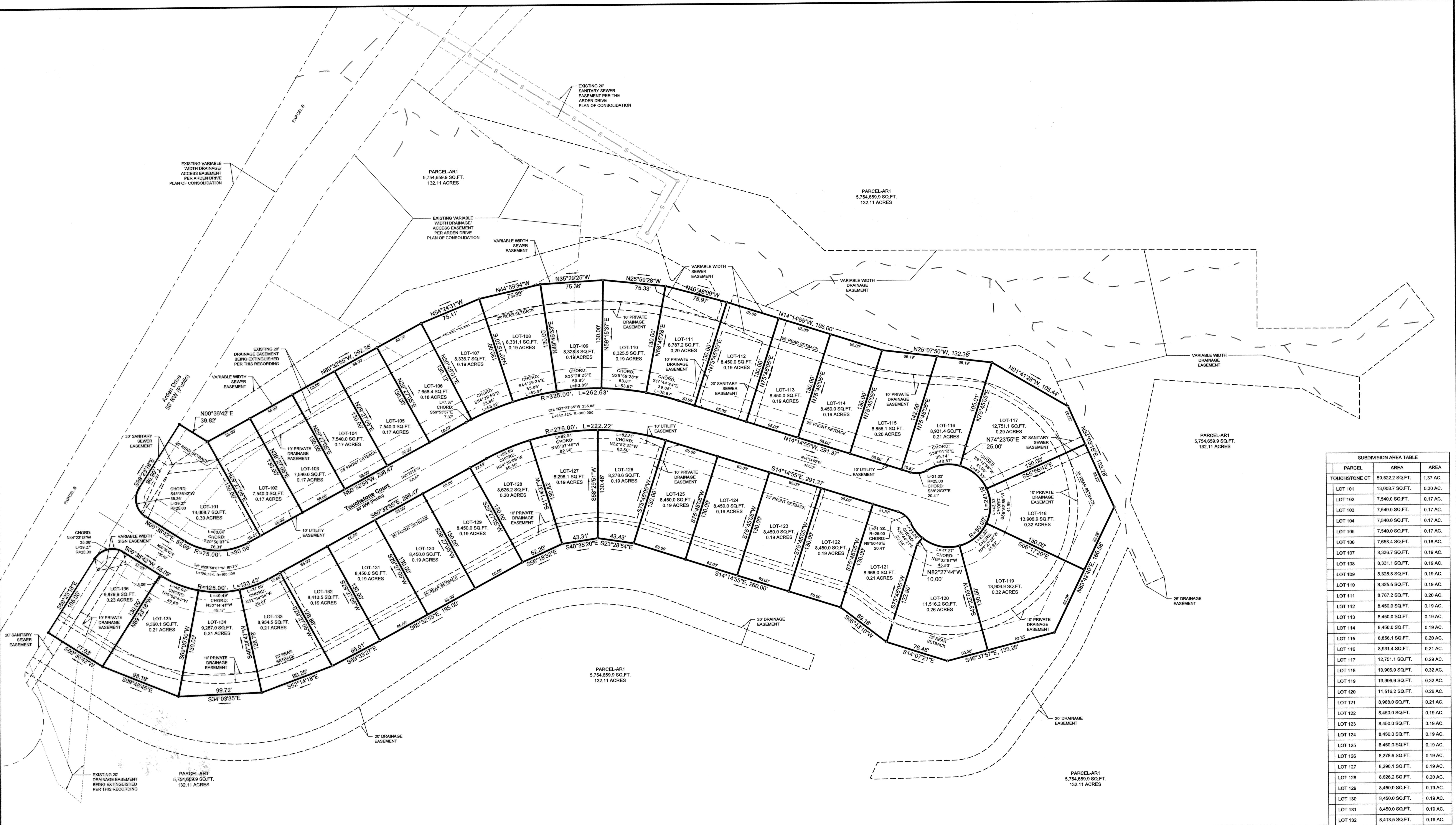
BEING A SUBDIVISION OF PARCEL-A IN THE ARDEN DRIVE PLAN OF LOTS, TO BE RECORDED.

DRAWING SCALE: 1" = 150'
 DATE ISSUED: 3/15/2018
 PROJECT JOB#: 3275
 CADD#: 3275 - Arden Wood Sub - PH1.dwg

DESIGNED BY: BUD
 REVIEWED BY: GAS
 FIELD BOOK #: --

Arden Development Partners
 Attn: Don Rodgers
 215 Executive Drive, Suite 300
 Cranberry Township, PA 15066
 Phone: 724-776-2727
 Sheet No.
LN-1

PLAN BOOK **378** PAGE **25**



SUBDIVISION AREA TABLE		
PARCEL	AREA	AREA
TOUCHSTONE CT	59,522.2 SQ.FT.	1.37 AC.
LOT 101	13,008.7 SQ.FT.	0.30 AC.
LOT 102	7,540.0 SQ.FT.	0.17 AC.
LOT 103	7,540.0 SQ.FT.	0.17 AC.
LOT 104	7,540.0 SQ.FT.	0.17 AC.
LOT 105	7,540.0 SQ.FT.	0.17 AC.
LOT 106	7,658.4 SQ.FT.	0.18 AC.
LOT 107	8,336.7 SQ.FT.	0.19 AC.
LOT 108	8,331.1 SQ.FT.	0.19 AC.
LOT 109	8,328.8 SQ.FT.	0.19 AC.
LOT 110	8,325.5 SQ.FT.	0.19 AC.
LOT 111	8,787.2 SQ.FT.	0.20 AC.
LOT 112	8,450.0 SQ.FT.	0.19 AC.
LOT 113	8,450.0 SQ.FT.	0.19 AC.
LOT 114	8,450.0 SQ.FT.	0.19 AC.
LOT 115	8,856.1 SQ.FT.	0.20 AC.
LOT 116	8,931.4 SQ.FT.	0.21 AC.
LOT 117	12,751.1 SQ.FT.	0.29 AC.
LOT 118	13,906.9 SQ.FT.	0.32 AC.
LOT 119	13,906.9 SQ.FT.	0.32 AC.
LOT 120	11,516.2 SQ.FT.	0.26 AC.
LOT 121	8,968.0 SQ.FT.	0.21 AC.
LOT 122	8,450.0 SQ.FT.	0.19 AC.
LOT 123	8,450.0 SQ.FT.	0.19 AC.
LOT 124	8,450.0 SQ.FT.	0.19 AC.
LOT 125	8,450.0 SQ.FT.	0.19 AC.
LOT 126	8,278.6 SQ.FT.	0.19 AC.
LOT 127	8,296.1 SQ.FT.	0.19 AC.
LOT 128	8,626.2 SQ.FT.	0.20 AC.
LOT 129	8,450.0 SQ.FT.	0.19 AC.
LOT 130	8,450.0 SQ.FT.	0.19 AC.
LOT 131	8,450.0 SQ.FT.	0.19 AC.
LOT 132	8,413.5 SQ.FT.	0.19 AC.
LOT 133	8,954.5 SQ.FT.	0.21 AC.
LOT 134	9,287.0 SQ.FT.	0.21 AC.
LOT 135	9,360.1 SQ.FT.	0.21 AC.
LOT 136	9,879.9 SQ.FT.	0.23 AC.
PARCEL-A1	5,754,659.9 SQ.FT.	132.11 AC.

CERTIFICATION THAT THE SWM BMPs WERE DESIGNED AND SHALL BE IMPLEMENTED, OPERATED, AND MAINTAINED TO MEET THE PURPOSES AND REQUIREMENTS OF THIS ORDINANCE AND TO MEET ALL REQUIREMENTS UNDER TITLE 25 OF THE PENNSYLVANIA CODE, THE CLEAN STREAMS LAW, AND THE STORM WATER MANAGEMENT ACT.

CERTIFICATION THAT THE DESIGN OF ALL STORMWATER MANAGEMENT FACILITIES SHALL INCORPORATE SOUND ENGINEERING PRINCIPLES AND PRACTICES AND SHALL NOT RESULT IN THE CREATION OR CONTINUATION OF ADVERSE HYDROLOGIC OR ADVERSE HYDRAULIC CONDITIONS WITHIN THE WATERSHED.

NOTE:
 ○ = INDICATES LOCATION OF 5/8" CAPPED IRON PIN TO BE SET UPON RECORDING OF THIS PLAN.

Horizontal Scale

1 inch = 50 ft.

POCS SER. #: 2017

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Date:	Revision Description:	By:	Professional Seal:	Prepared By:
05/16/2018	REVISIONS PER TWP ENGINEER COMMENTS DATED APRIL 11, 2018	AGM		
06/11/2018	LANCASTER TOWNSHIP PRE-SUBMISSION	GLF		
12/14/2018	REVISED SANITARY EASEMENTS PER WCA COMMENTS	CEL		
12/27/2018	REVISED SANITARY EASEMENT PER WCA COMMENTS	ALB		

811 Know what's below.
Call before you dig.

Sheffler & Company, Inc.
ENGINEERING • SURVEYING

1712 Mount Nebo Road
Sewickley, PA 15143

Office Phone: 412-219-4509
Email: Info@ShefflerCo.com

Arden Wood Residential
Plan of Lots - Phase 1

Prepared For:
Arden Development Partners

Situate In:
Lancaster Township, Butler County, Pennsylvania

BEING A SUBDIVISION OF PARCEL-A IN THE ARDEN DRIVE PLAN OF LOTS, TO BE RECORDED.

DRAWING SCALE: 1" = 50'

DATE ISSUED: 3/15/2018

PROJECT JOB#: 3275

CADD#: 3275 - Arden Wood Sub - PH1.dwg

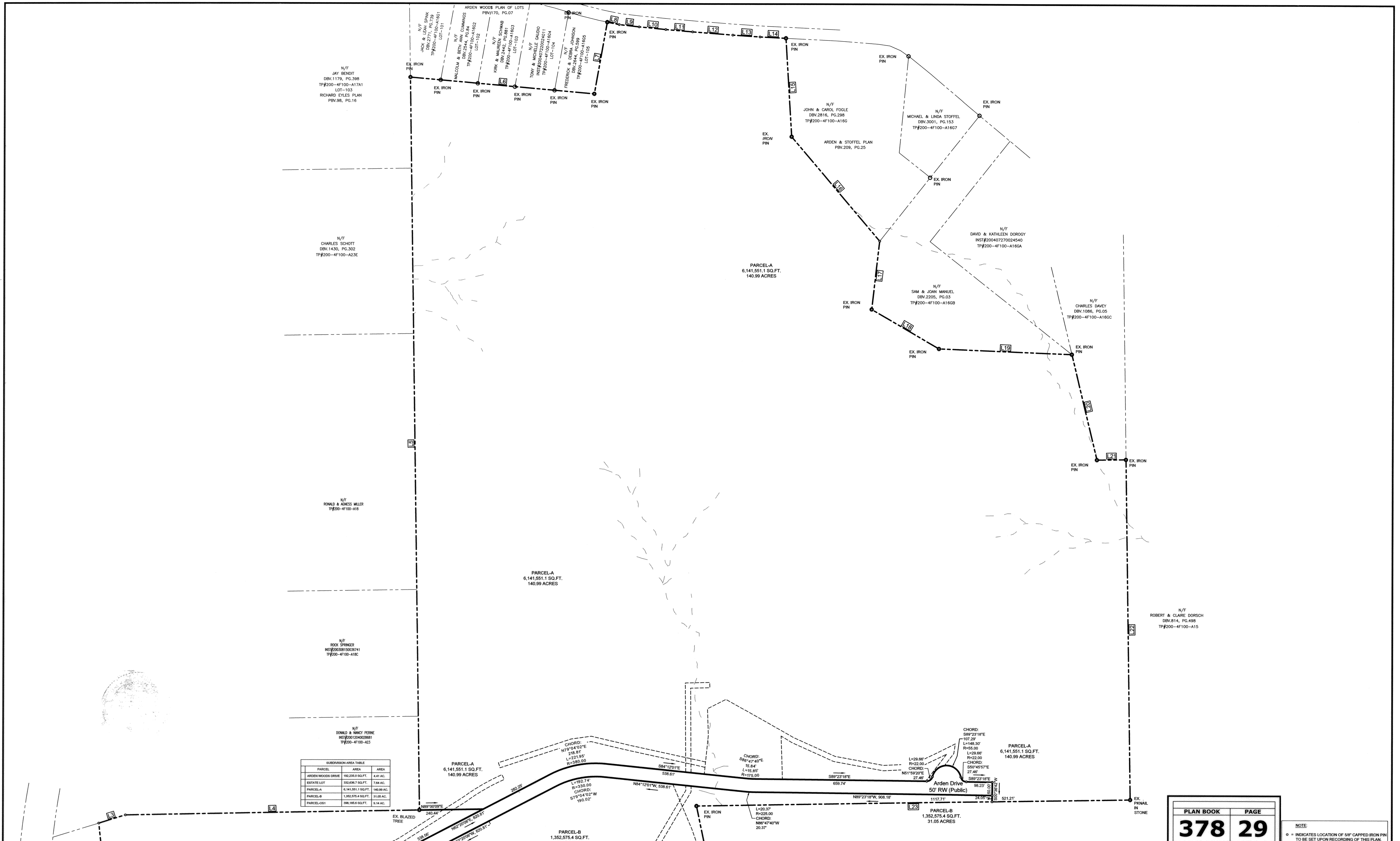
DESIGNED BY: BUD

REVIEWED BY: GAS

FIELD BOOK #: ---

Arden Development Partners
Attn: Don Rodgers
215 Executive Drive, Suite 300
Cranberry Township, PA 16066
Phone: 724-776-2727

Sheet No.
LN-2



SUBDIVISION AREA TABLE		
PARCEL	AREA	AREA
ARDEN WOODS DRIVE	192,235.9 SQ.FT.	4.41 AC.
ESTIMATE LOT	332,000.0 SQ.FT.	7.64 AC.
PARCEL-A	6,141,551.1 SQ.FT.	140.99 AC.
PARCEL-B	1,352,575.4 SQ.FT.	31.05 AC.
PARCEL-001	398,185.6 SQ.FT.	9.14 AC.

PLAN BOOK	PAGE
378	29

NOTE:
 ○ INDICATES LOCATION OF 5/8" CAPPED IRON PIN TO BE SET UP ON RECORDING OF THIS PLAN.

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POCS SER. #: 2017

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Horizontal Scale

1 inch = 150 ft.

Date:	Revision Description:	By:	Professional Seal:
05/16/2018	REVISIONS PER TWP ENGINEER COMMENTS DATED APRIL 11, 2018	AGM	
06/11/2018	LANCASTER TOWNSHIP RE-SUBMISSION	GLF	

Prepared By:

Sheffler & Company, Inc.
 ENGINEERING • SURVEYING

1712 Mount Nebo Road
 Sewickley, PA 15143

Office Phone: 412-219-4509
 Email: Info@ShefflerCo.com

**Arden Drive
 Plan of Lots**

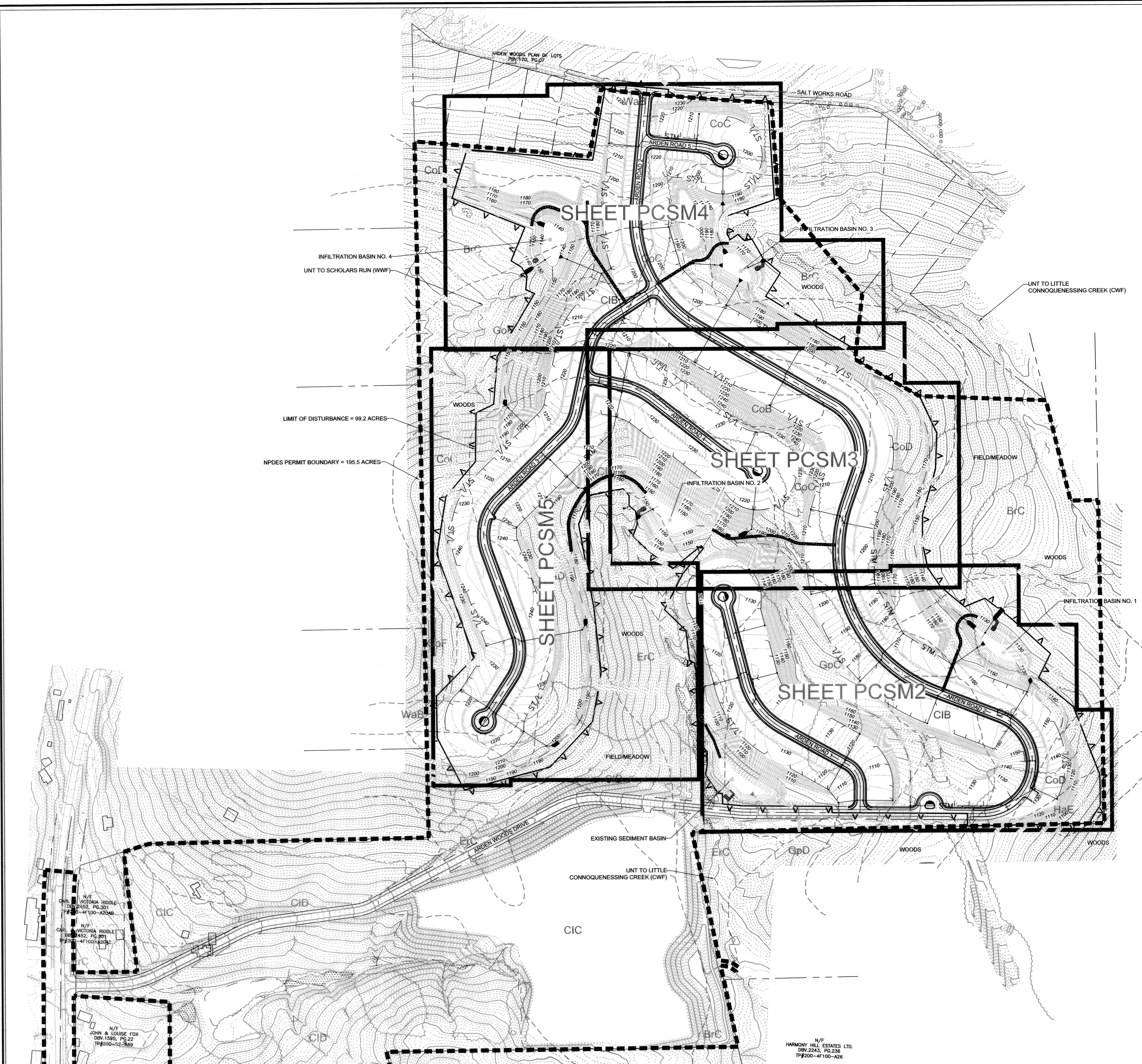
Prepared For:
Arden Development Partners

Situate In:
Lancaster Township, Butler County, Pennsylvania

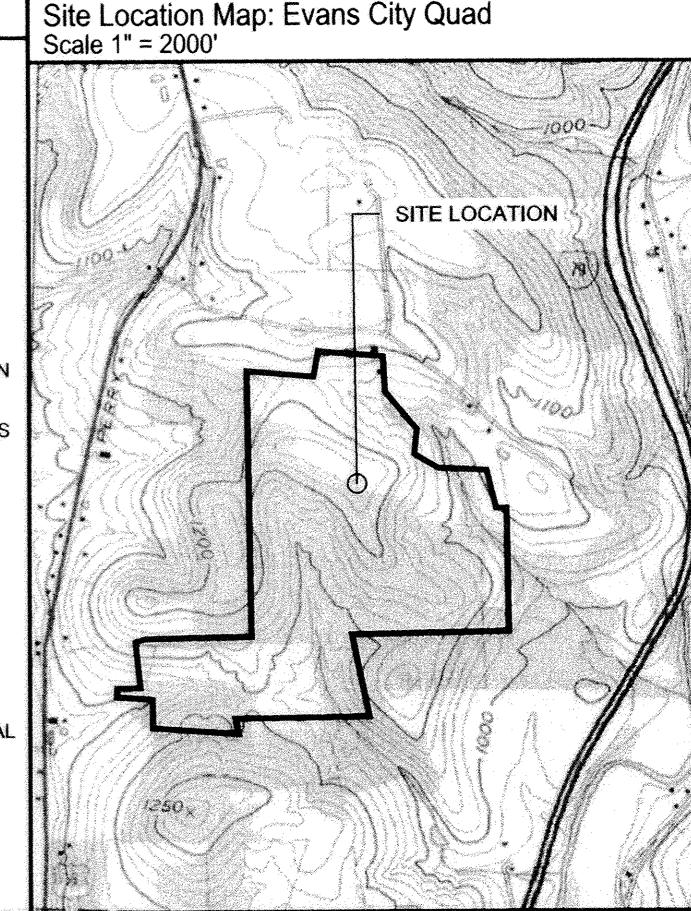
BEING A SUBDIVISION OF CONSOLIDATED PARCEL, IN THE ARDEN WOOD PLAN OF CONSOLIDATION, TO BE RECORDED.	
DRAWING SCALE: 1" = 150'	DESIGNED BY: BUD
DATE ISSUED: 3/15/2018	REVIEWED BY: GAS
PROJECT JOB#: 3275	FIELD BOOK #: --
CADD#: 3275 - Arden Wood Sub - PH0.dwg	

Arden Development Partners
 Attn: Don Rodgers
 215 Executive Drive, Suite 300
 Cranberry Township, PA 16066
 Phone: 724-776-2727

Sheet No.
LN-3



- Post Construction Stormwater Management Notes:**
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 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF THE BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
 3. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PENNSYLVANIA ONE CALL SYSTEMS, INC AT 1-800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
 4. ALL STORM PIPE SHALL BE N12-HIP UNLESS OTHERWISE NOTED. ALL STORM SEWER CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS.
 5. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
 6. THE OPERATION AND MAINTENANCE AGREEMENT IS PART OF THE PCSM PLAN AND IS THE RESPONSIBILITY OF THE OWNER(S).
 7. ALL CONTRACTORS ASSIGNED WITH INSTALLATION OF PCSM FACILITIES SHALL BE REQUIRED TO BECOME A CO-PERMITTEE ON NPDES PERMIT WITH THE OWNER.
 8. ALL PCSM FACILITIES MUST BE INSPECTED AS THEY ARE INSTALLED AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
 9. AN AS-BUILT DRAWING OF THE STORMWATER DETENTION FACILITY PREPARED AND SEALED BY A PROFESSIONAL LAND SURVEYOR IS REQUIRED TO BE SUBMITTED TO THE PROJECT ENGINEER.
 10. RECORD DRAWINGS AS WELL AS A COPY OF THE LEGAL INSTRUMENT REGISTERING THE PCSM FACILITIES WILL BE REQUIRED PRIOR TO OCCUPANCY OR RELEASE OF THE SURETY BOND AS WELL AS TERMINATING THE PERMIT.
 11. STORMWATER BMP'S ARE FIXTURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL BY THE TOWNSHIP.



PROJECT AREAS
TOTAL PERMIT AREA = 195.5 ACRES
DISTURBED AREA = 99.2 ACRES

POST CONSTRUCTION STORMWATER MANAGEMENT LEGEND

	INFILTRATION AREA
	LIMITS OF DISTURBANCE
	NPDES PERMIT BOUNDARY
	SOIL BOUNDARIES

PLAN BOOK	PAGE
378	30

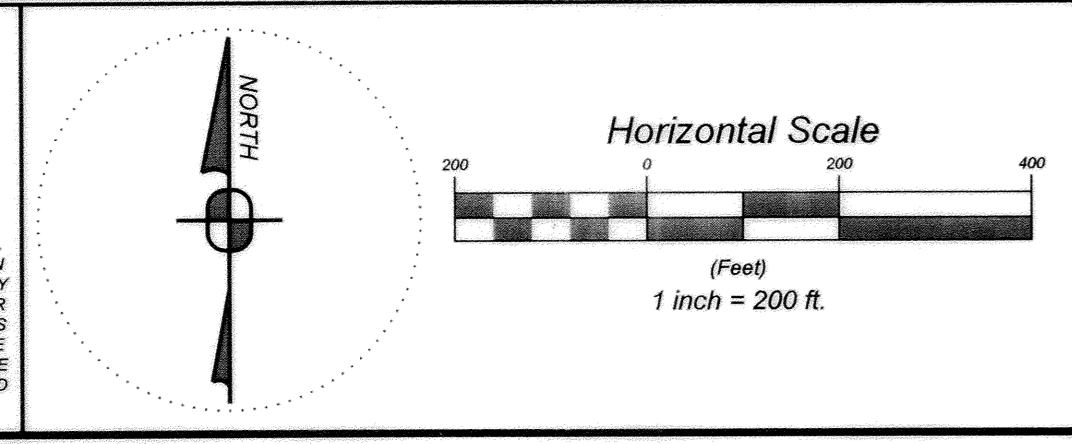
SITE SOIL TYPES:

SYMBOL	DESCRIPTION	SLOPE	LIMITATIONS	REMEDIAL ACTIONS
B/C	BRICKERTON SILT LOAM	8% - 15%	LIMITATIONS INCLUDE EASILY ERODIBLE, CUTBANKS	SOILS SUSCEPTIBLE TO HIGH WATER TABLES AND/OR PIPING AND SEEPING: * PROVIDE PUMPED WATER SEDIMENT REMOVAL FACILITIES * USE CLAY EMBANKMENT CORES * UTILIZE ANTI-SEEP COLLARS OR GRAVEL PACKS
CoB	COOKPORT LOAM	3% - 8%	CAVE, CORROSIVE TO CONCRETE AND STEEL, HIGH WATER TABLE, SUSCEPTIBLE TO LANDSLIDE, PIPING, A POOR SOURCE OF TOPSOIL, POTENTIALLY HYDRIC, AND SLOW PERCOLATION RATES	SOILS WITH LOW STRENGTH: * PREVENT SATURATION OR OVERLOADING OF SLOPES * PREVENT REMOVAL OF LATERAL SUPPORT * IMPORT ROAD FILL MATERIAL
CoC	COOKPORT LOAM	8% - 15%	LIMITATIONS INCLUDE EASILY ERODIBLE, CUTBANKS	SOILS SUSCEPTIBLE TO CUTBANKS CAVE: * PREVENT SATURATION OF SLOPES * PROVIDE ANCHORING OR RETAINING SYSTEMS * PROVIDE BENCHING TO CATCH FALLING DEBRIS * PROVIDE FRENCH BOXES FOR UTILITY INSTALLATION
CoD	COOKPORT LOAM	15% - 25%	CAVE, CORROSIVE TO CONCRETE AND STEEL, HIGH WATER TABLE, SUSCEPTIBLE TO LANDSLIDE, PIPING, POTENTIALLY HYDRIC, AND SLOW PERCOLATION RATES	SOILS CORROSIVE TO CONCRETE/STEEL: * MINIMIZE THE AMOUNT OF SOIL DISTURBANCE * PROVIDE PROTECTIVE COATING TO CONCRETE AND STEEL * PROVIDE EXTRA CONCRETE AND STEEL THICKNESS
CoE	ERNEST SILT LOAM	8% - 15%	LIMITATIONS INCLUDE EASILY ERODIBLE, CUTBANKS	SOILS THAT ARE POOR SOURCES OF TOPSOIL: * PERFORM SOIL TESTS TO DETERMINE PROPER APPLICATION OF SOIL AMENDMENTS AND TO DETERMINE THE PROPER MOISTURE CONTENT FOR PROPOSED VEGETATIVE COVER
WaB	WHARTON SILT LOAM	3% - 8%	CAVE, CORROSIVE TO CONCRETE AND STEEL, HIGH WATER TABLE, SUSCEPTIBLE TO LANDSLIDE, PIPING, POTENTIALLY HYDRIC, AND SLOW PERCOLATION RATES	SOILS THAT ARE HYDRIC: * EXISTING ON SITE WETLANDS AND STREAMS MUST BE DELINEATED * NO WORK SHALL BE PERFORMED WITHIN 100 FEET OF ANY WETLAND AREA * SOILS SUSCEPTIBLE TO MODERATE OR HIGH EROSION POTENTIAL: * LIMIT TIME OF EXPOSURE * UTILIZE EROSION CONTROL BLANKETS * SELECT SEED MIXTURES WITH RAPIDLY GERMINATING SPECIES * SODDING * USE OF SPECIAL STABILIZATION PRODUCTS * SOILS WITH SLOW PERCOLATION RATES: * SHOULD INFILTRATION FACILITIES BE USED AT THE SITE, INFILTRATION TESTS SHALL BE PERFORMED TO DETERMINE PROPER PERCOLATION RATES * SOIL WILL BE AMENDED ACCORDINGLY BASED ON THE RESULTS OF TESTING * SOILS SUSCEPTIBLE TO SLIPS AND LANDSLIDES: * PREVENT SATURATION OF SLOPES * PROVIDE BENCHING TO CATCH FALLING DEBRIS
CoB	CAVODE SILT LOAM	3% - 8%	LIMITATIONS INCLUDE EASILY ERODIBLE, CUTBANKS	
CoC	CAVODE SILT LOAM	8% - 15%	CAVE, CORROSIVE TO CONCRETE AND STEEL, HIGH WATER TABLE, SUSCEPTIBLE TO LANDSLIDE, PIPING, POTENTIALLY HYDRIC, AND SLOW PERCOLATION RATES	
CoD	CAVODE SILT LOAM	15% - 25%	CAVE, CORROSIVE TO CONCRETE AND STEEL, HIGH WATER TABLE, SUSCEPTIBLE TO LANDSLIDE, PIPING, POTENTIALLY HYDRIC, AND SLOW PERCOLATION RATES	
GpC	GILPIN-WEIKERT CHANNERY SILT LOAM	25% - 70%	LIMITATIONS INCLUDE EASILY ERODIBLE, CUTBANKS	
GpD	GILPIN-WHARTON SILT LOAM	8% - 15%	LANDSLIDE, PIPING, A POOR SOURCE OF TOPSOIL	
GpE	GILPIN-WHARTON COMPLEX	15% - 25%	POTENTIALLY HYDRIC, AND SLOW PERCOLATION RATES	
H/E	HAZLETON CHANNERY LOAM	25% - 35%	LIMITATIONS INCLUDE EASILY ERODIBLE, CUTBANKS	

NOTE:
A COMPETENT PERSON WILL REVIEW THE SOIL CAPABILITY OF THE SITE AND MAKE RECOMMENDATIONS TO THE OWNER. SOILS HAVING UNSTABLE COMPOSITION, SLIP AND LANDSLIDE POTENTIAL ARE NOT TO BE PLACED AS FILL MATERIAL AT AREAS HAVING 2:1 SLOPES OR NEAR PROXIMITY TO SUCH SLOPES. LOADING PLANES OF SUCH PLACED FILLS SHALL BEAR ON SUITABLE BEARING BASES REQUIRING THOSE SOILS TO BE EXCAVATED AND REPLACED WITH SUITABLE SOILS THAT DO NOT HAVE THE MENTIONED CHARACTERISTICS.

811 Know what's below. Call before you dig.
POCS SER. #: 2017

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Date:	Revision Description:	By:	Professional Seal:	Prepared By:
2/19/19	Re-issued for construction	GLF		

Sheffler & Company, Inc.
ENGINEERING • SURVEYING

1712 Mount Nebo Road
Sewickley, PA 15143
Office Phone: 412-219-4509
Email: info@ShefflerCo.com

Arden Woods
Single-Family Residential Development

Prepared For:
Arden Development Partners

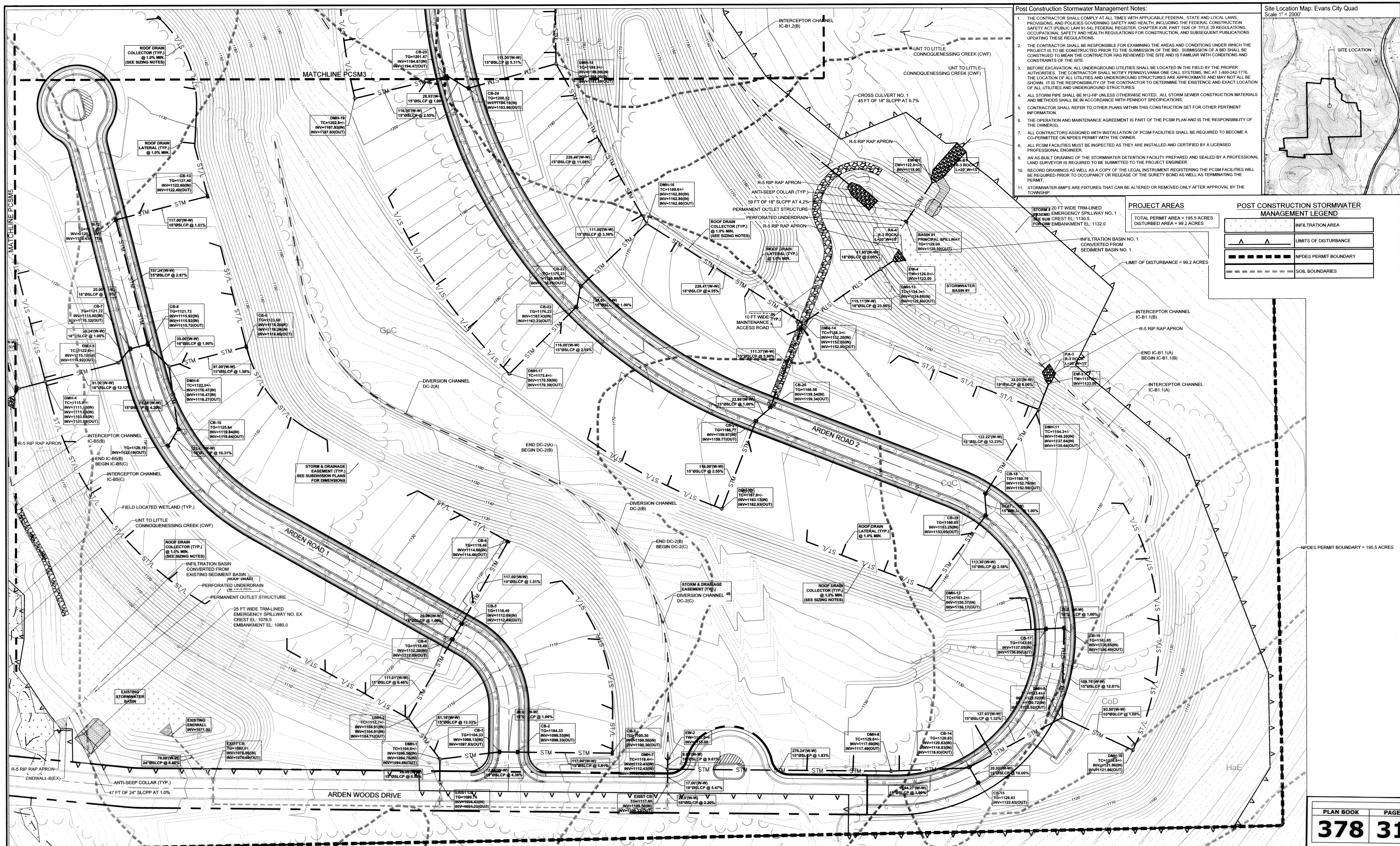
Situate In:
Lancaster Township, Butler County, Pennsylvania

OVERALL POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

DRAWING SCALE: 1" = 200'
DESIGNED BY: RME
DATE ISSUED: 04-2018
REVIEWED BY: ACJ
PROJECT JOB#: 3275
FIELD BOOK #: -

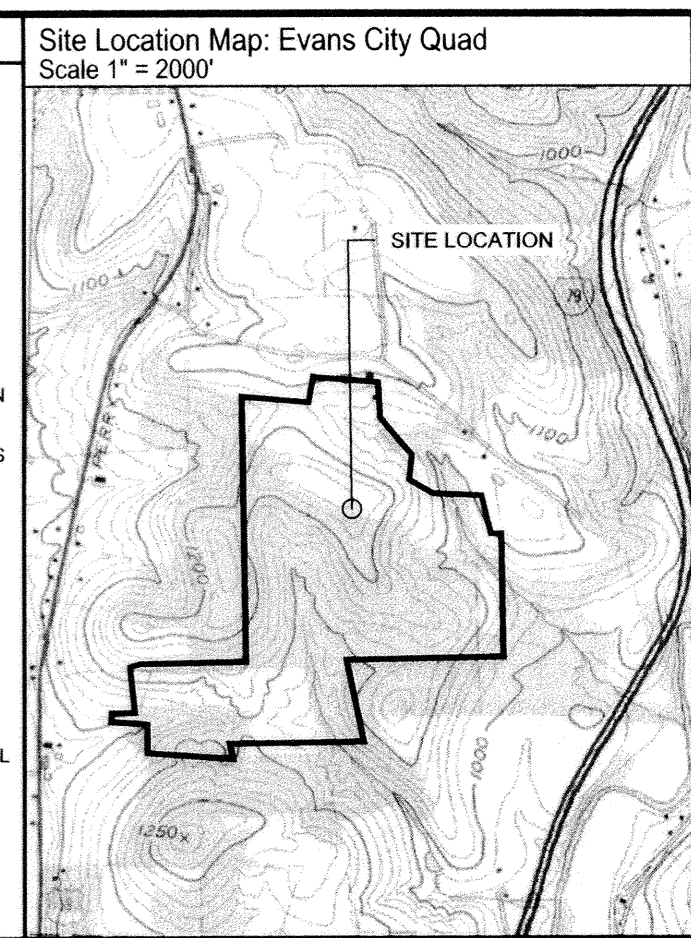
Arden Development Partners
Attn: Don Rodgers
215 Executive Drive, Suite 300
Cranberry Township, PA 16066
Phone: 724-276-2727

PCSM1



Post Construction Stormwater Management Notes:

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PROJECT AREAS
 TOTAL PERMIT AREA = 195.5 ACRES
 DISTURBED AREA = 99.2 ACRES

POST CONSTRUCTION STORMWATER MANAGEMENT LEGEND

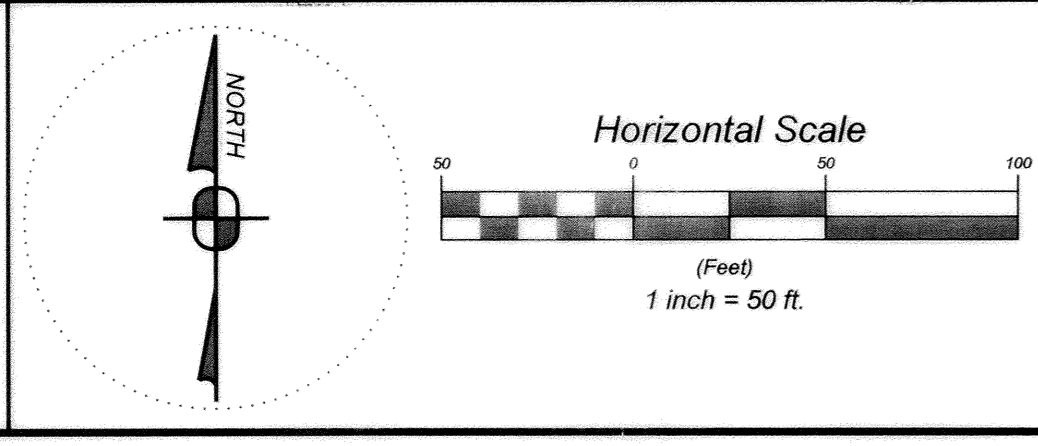
	INFILTRATION AREA
	LIMITS OF DISTURBANCE
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PLAN BOOK	PAGE
378	31

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2/19/19	Re-issued for construction	GLF		

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Arden Woods
 Single-Family Residential Development

Prepared For:
Arden Development Partners

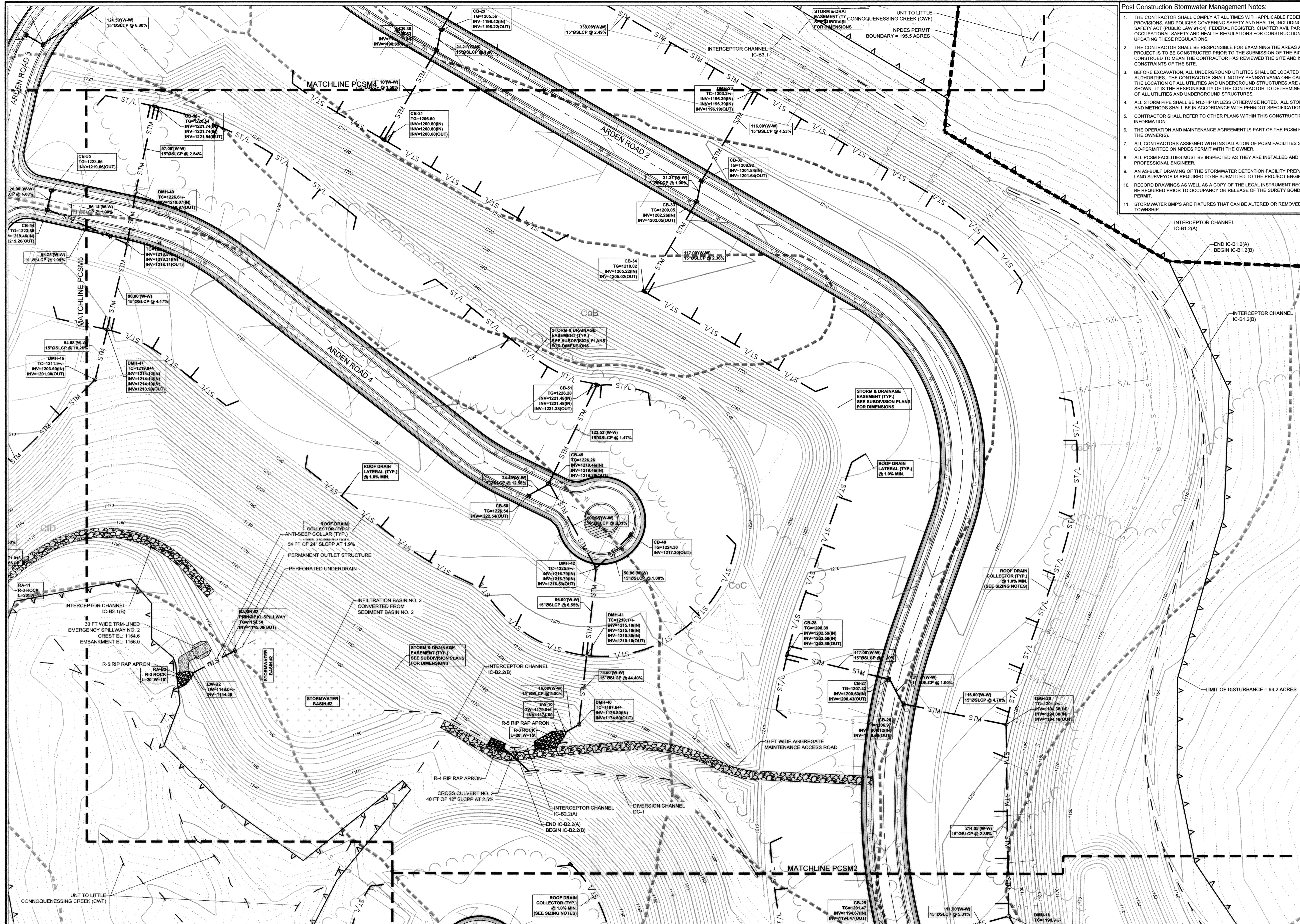
Situate In:
 Lancaster Township, Butler County, Pennsylvania

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

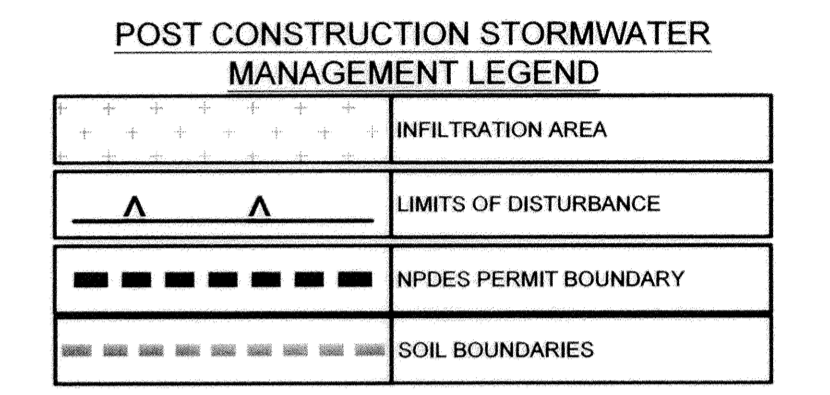
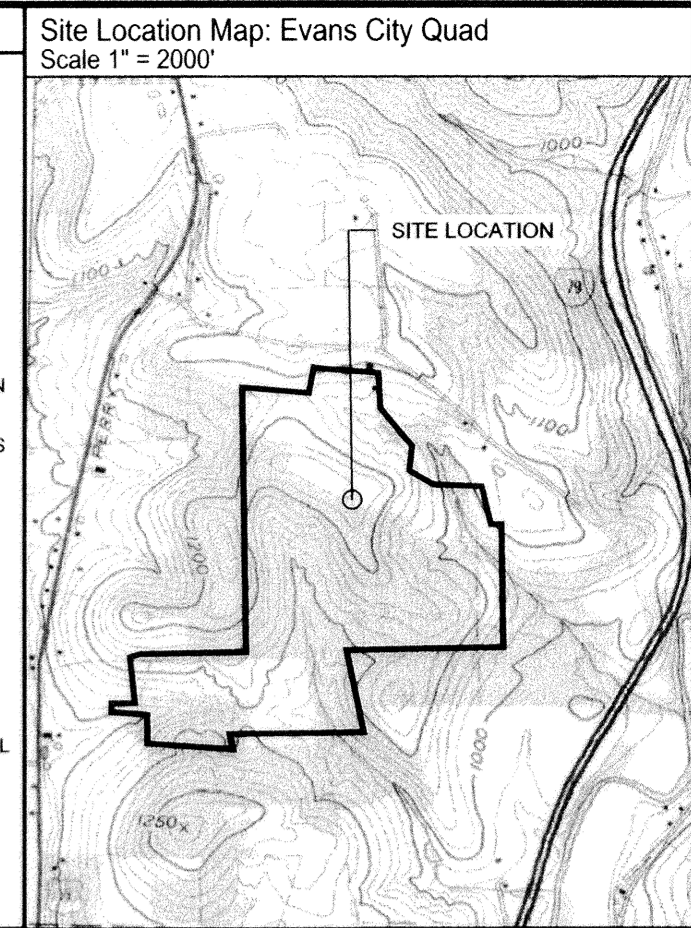
DRAWING SCALE: 1" = 50'
 DESIGNED BY: RME
 DATE ISSUED: 04-2018
 REVIEWED BY: ACJ
 PROJECT JOB#: 3275
 FIELD BOOK #: -

Arden Development Partners
 Attn: Don Rodgers
 215 Executive Drive, Suite 300
 Cranberry Township, PA 16066
 Phone: 724-776-2727

PCSM2



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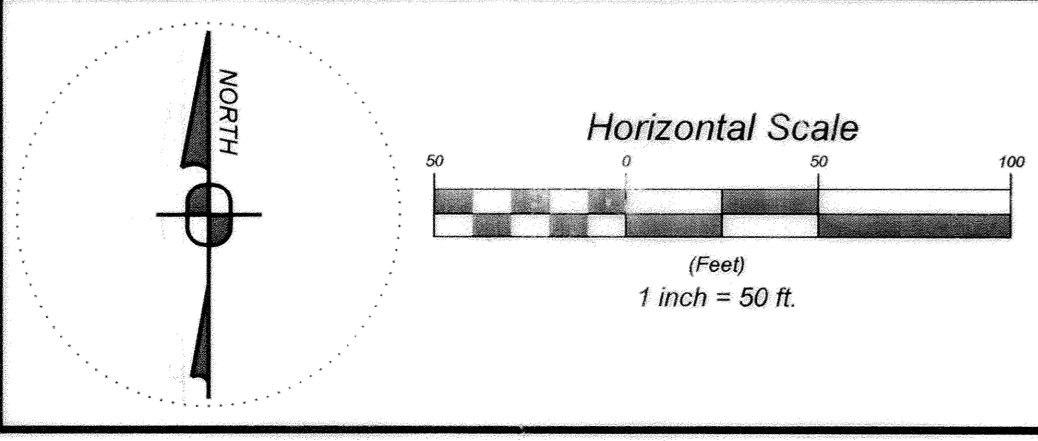


PROJECT AREAS
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PLAN BOOK	PAGE
378	32

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 POCs SER. #: 2017

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



Date:	Revision Description:	By:	Professional Seal:
2/19/19	Re-issued for construction	GLF	

Prepared By:
Sheffler & Company, Inc.
 ENGINEERING + SURVEYING

1712 Mount Nebo Road
 Sewickley, PA 15143

Office Phone: 412-219-4509
 Email: info@shefflerco.com

Arden Woods
 Single-Family Residential Development

Prepared For:
Arden Development Partners

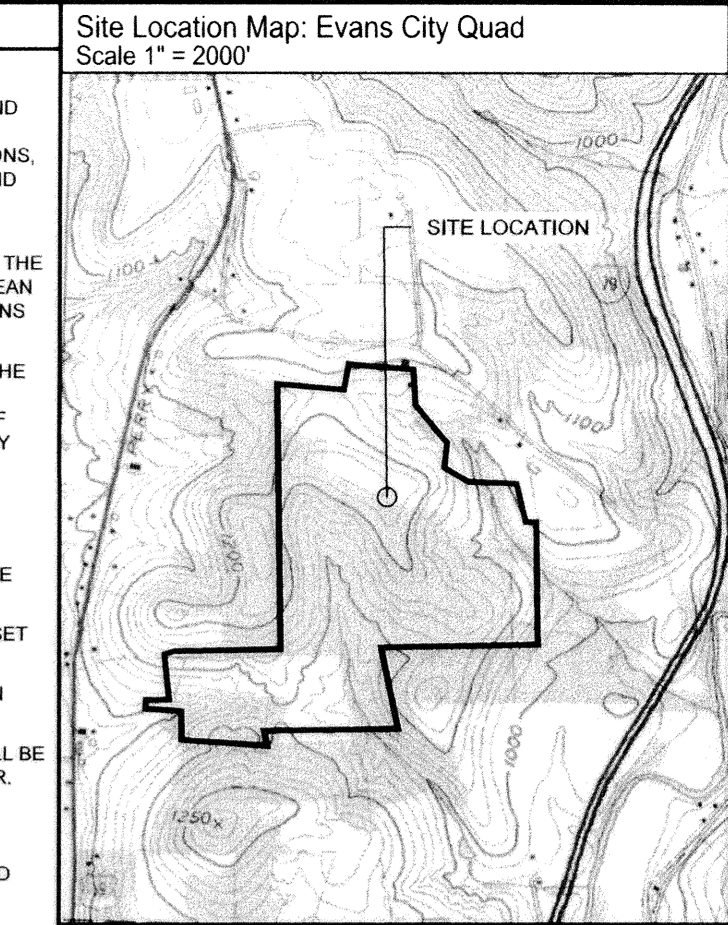
Situate In:
 Lancaster Township, Butler County, Pennsylvania

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

DRAWING SCALE: 1" = 50'	DESIGNED BY: RME
DATE ISSUED: 04-2018	REVIEWED BY: ACJ
PROJECT JOB#: 3275	FIELD BOOK #: -

Arden Development Partners
 Attn: Don Rodgers
 215 Executive Drive, Suite 300
 Cranberry Township, PA 16066
 Phone: 724-776-2727

PCSM3



- Post Construction Stormwater Management Notes:
1. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF THE BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
 3. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PENNSYLVANIA ONE CALL SYSTEMS, INC. AT 1-800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
 4. ALL STORM PIPE SHALL BE N12-HP UNLESS OTHERWISE NOTED. ALL STORM SEWER CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH FERMCOIT SPECIFICATIONS.
 5. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
 6. THE OPERATION AND MAINTENANCE AGREEMENT IS PART OF THE PCSM PLAN AND IS THE RESPONSIBILITY OF THE OWNER(S).
 7. ALL CONTRACTORS ASSIGNED WITH INSTALLATION OF PCSM FACILITIES SHALL BE REQUIRED TO BECOME A CO-PERMITTEE ON NPDES PERMIT WITH THE OWNER.
 8. ALL PCSM FACILITIES MUST BE INSPECTED AS THEY ARE INSTALLED AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
 9. AN AS-BUILT DRAWING OF THE STORMWATER DETENTION FACILITY PREPARED AND SEALED BY A PROFESSIONAL LAND SURVEYOR IS REQUIRED TO BE SUBMITTED TO THE PROJECT ENGINEER.
 10. RECORD DRAWINGS AS WELL AS A COPY OF THE LEGAL INSTRUMENT REGISTERING THE PCSM FACILITIES WILL BE REQUIRED PRIOR TO OCCUPANCY OR RELEASE OF THE SURETY BOND AS WELL AS TERMINATING THE PERMIT.
 11. STORMWATER BMP'S ARE FEATURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL BY THE TOWNSHIP.

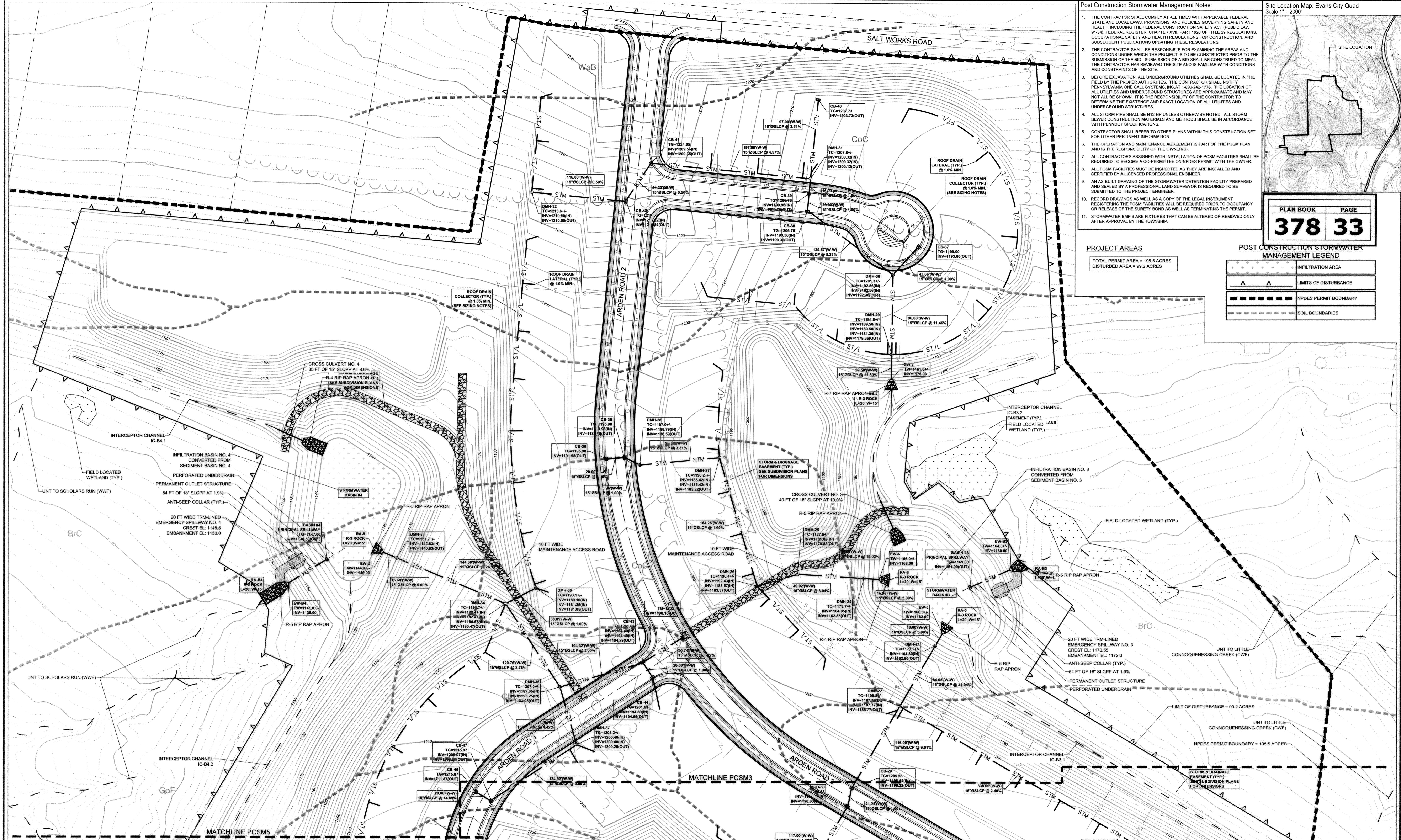
PLAN BOOK	PAGE
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PROJECT AREAS

TOTAL PERMIT AREA = 195.5 ACRES
DISTURBED AREA = 99.2 ACRES

POST CONSTRUCTION STORMWATER MANAGEMENT LEGEND

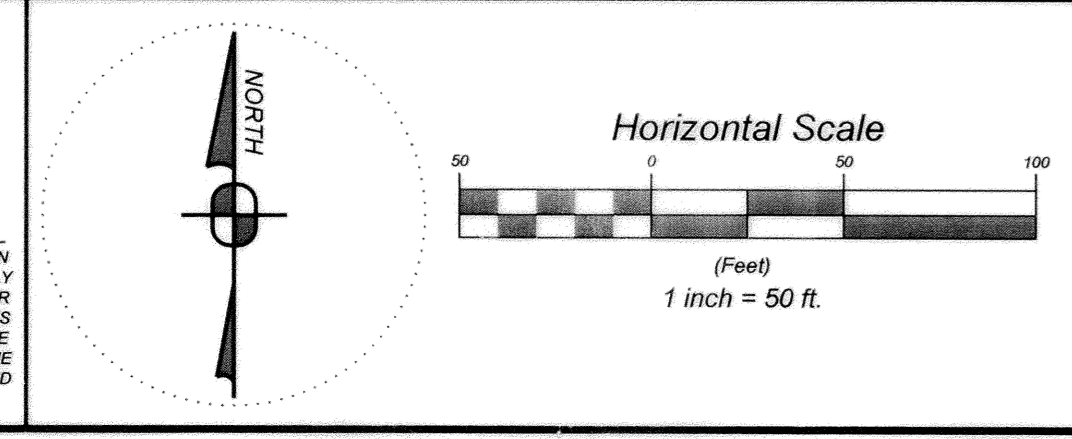
	INFILTRATION AREA
	LIMITS OF DISTURBANCE
	NPDES PERMIT BOUNDARY
	SOIL BOUNDARIES



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POCS SER. # 2017

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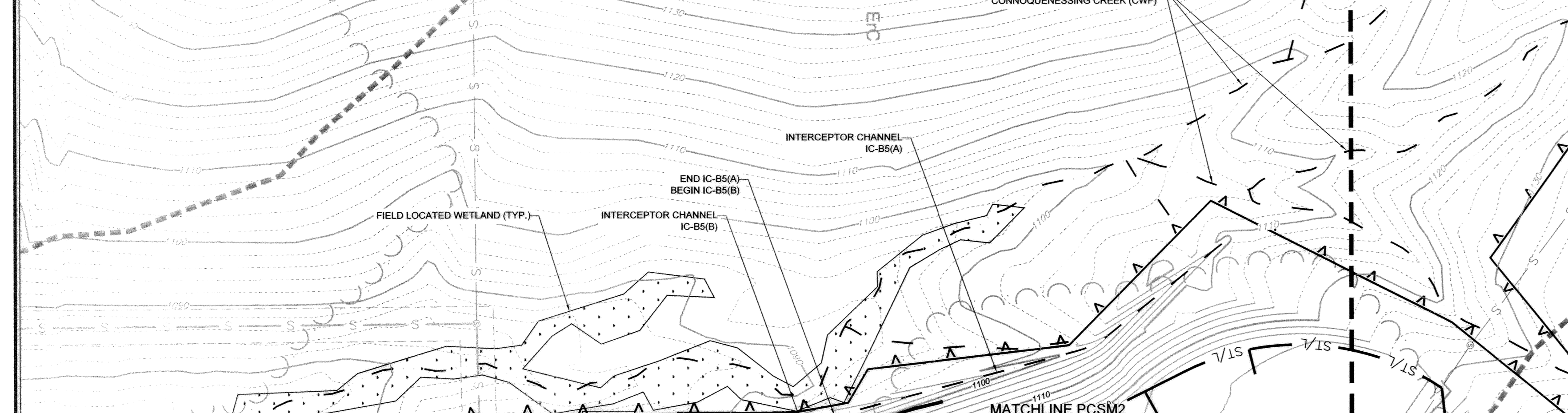
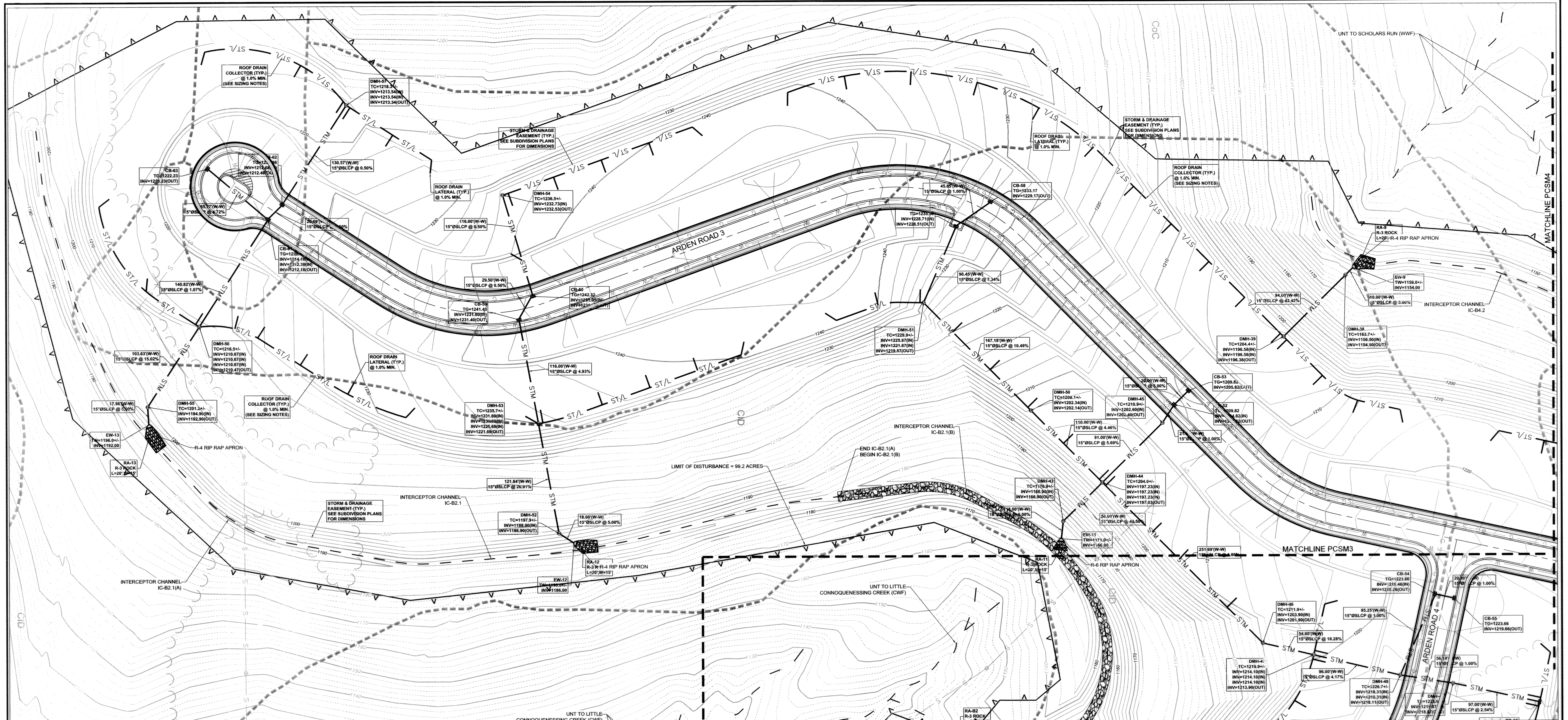
Situate In:
Lancaster Township, Butler County, Pennsylvania

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

DRAWING SCALE: 1" = 50'
DESIGNED BY: RME
DATE ISSUED: 04-2018
REVIEWED BY: ACJ
PROJECT JOB#: 3275
FIELD BOOK #: -

PCSM4

Arden Development Partners
Attn: Don Rodgers
215 Executive Drive, Suite 300
Cranberry Township, PA 16066
Phone: 724-776-2727



PROJECT AREAS

TOTAL PERMIT AREA = 195.5 ACRES
DISTURBED AREA = 99.2 ACRES

POST CONSTRUCTION STORMWATER MANAGEMENT LEGEND

	INFILTRATION AREA
	LIMITS OF DISTURBANCE
	NPDES PERMIT BOUNDARY
	SPOIL BOUNDARIES

PLAN BOOK **PAGE**

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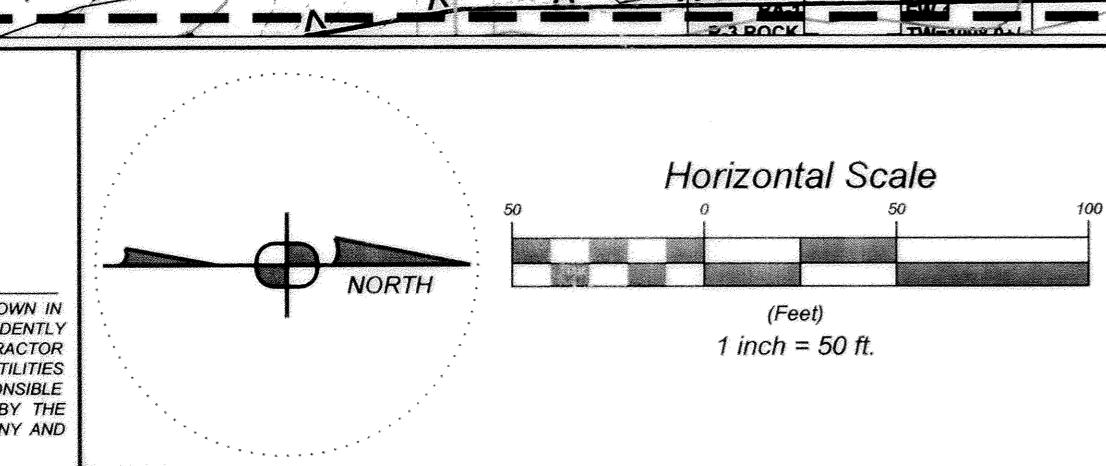
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Site Location Map: Evans City Quad
Scale 1" = 2000'

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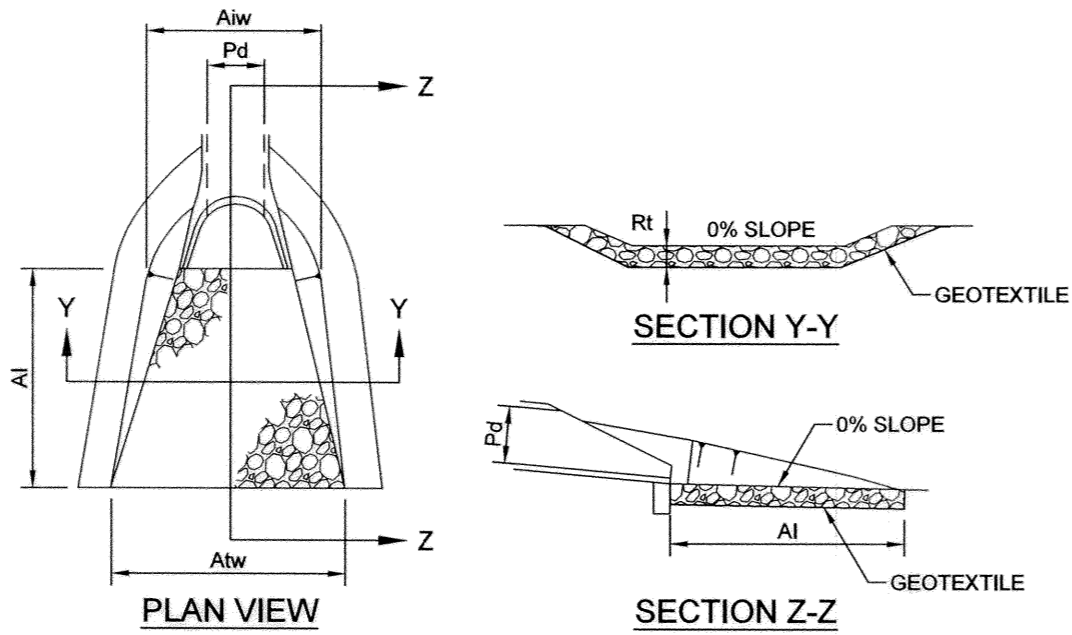
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PCSM5

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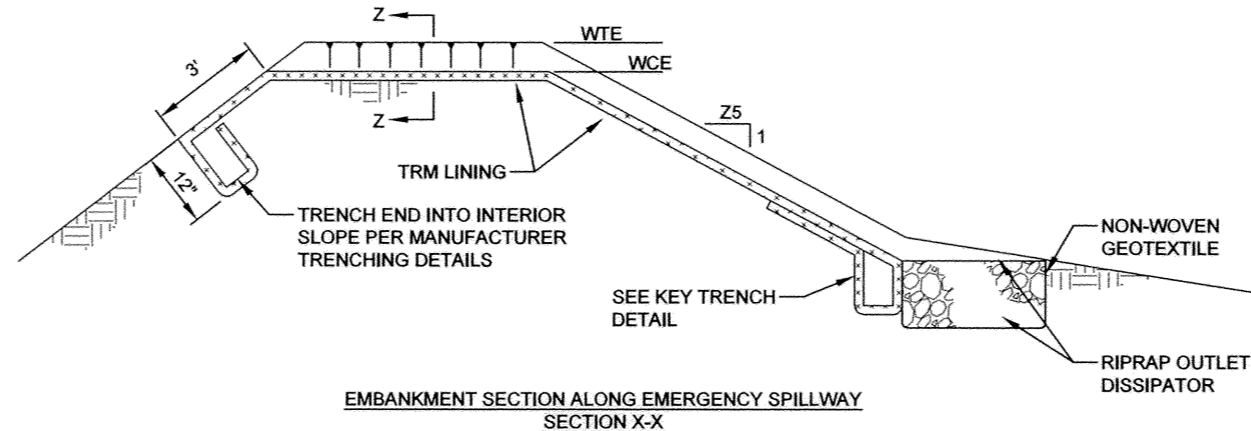
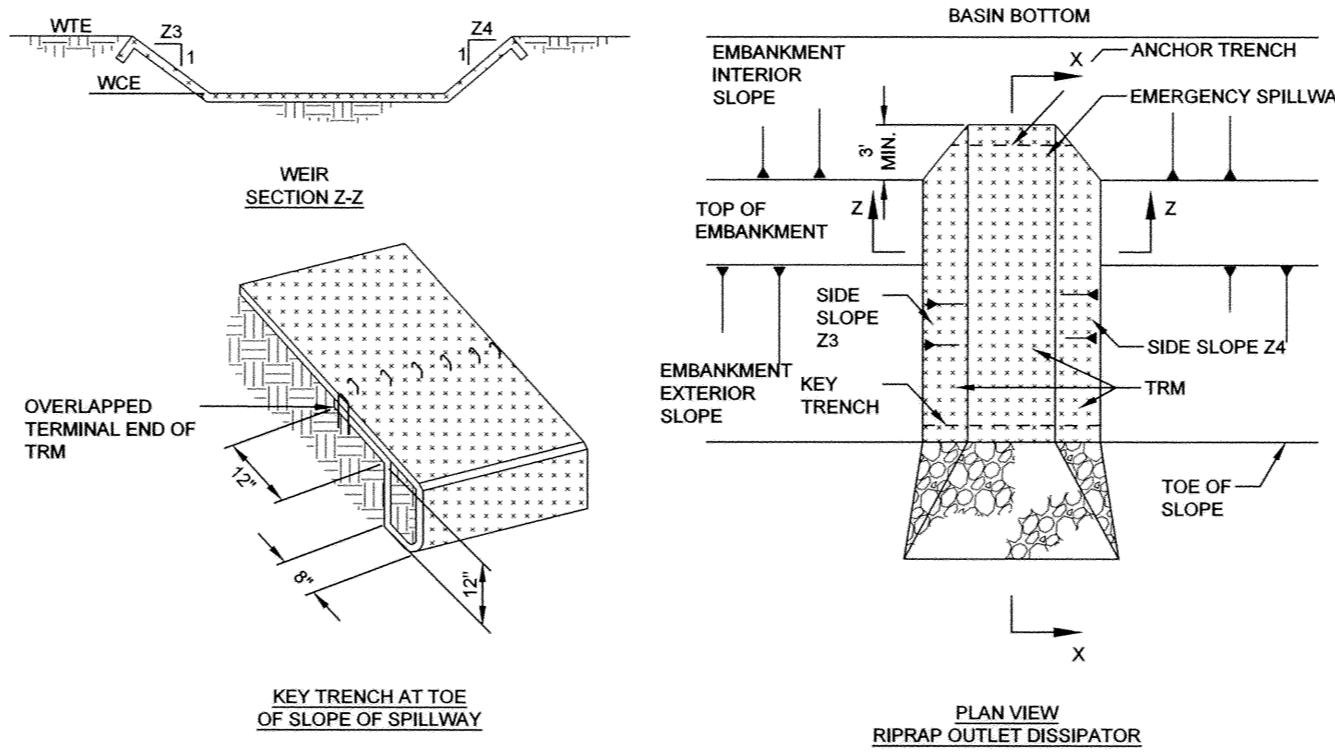
OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP		APRON INITIAL WIDTH Aw (FT)	APRON TERMINAL WIDTH Aw (FT)
		SIZE R ₁	THICK R ₂		
EW-1	18	5	27	16.00	4.50
EW-3	15	5	27	8.00	3.75
EW-4	18	5	27	17.00	4.50
EW-5	18	5	27	15.00	4.50
EW-6	15	4	18	11.00	3.75
EW-7	15	7	45	14.00	3.75
EW-8	15	5	27	14.00	3.75
EW-9	15	4	18	8.00	3.75
EW-10	15	5	27	12.00	3.75
EW-11	18	6	36	16.00	4.50
EW-12	15	4	18	8.00	3.75
EW-13	15	4	18	10.00	3.75
EW-B1	18	5	27	8.00	4.50
EW-B2	24	5	27	12.00	6.00
EW-B3	18	5	27	8.00	4.50
EW-B4	18	5	27	8.00	4.50
EW-BEX)	24	5	27	12.00	6.00
CULVERT 1	18	5	27	14.00	4.50
CULVERT 2	12	4	18	6.00	3.00
CULVERT 3	18	5	27	14.00	4.50
CULVERT 4	15	4	18	8.00	3.75

NOTES:

ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.

ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

2	RIPRAP APRON AT PIPE OUTLET WITH FLARED END SECTION
---	---



BASIN NO.	Z3 (FT)	Z4 (FT)	TOP ELEV WTE (FT)	CREST ELEV WCE (FT)	WIDTH Ww (FT)	TRM TYPE	STAPLE PATTERN	Z5 (FT)	DEPTH Cd (FT)	LENGTH Dd (FT)	WIDTH Dd (FT)	RIPRAP SIZE (R ₁)	RIPRAP THICK DR (IN)
1	3	3	1132.00	1130.50	20	P300	D	2	1.5	12	29	4	18
2	3	3	1156.00	1154.00	30	P300	D	2	1.4	12	29	4	18
3	3	3	1172.00	1170.55	20	P300	D	2	1.45	12	29	4	18
4	3	3	1150.00	1148.50	20	P300	D	2	1.5	12	29	4	18
EX	3	3	1080.00	1078.50	25	P300	D	2	1.5	12	29	4	18

NOTES:

HEAVY EQUIPMENT SHALL NOT CROSS OVER SPILLWAY WITHOUT PRECAUTIONS TAKEN TO PROTECT TRM LINING.

DISPLACED LINER WITHIN THE SPILLWAY AND/OR OUTLET CHANNEL SHALL BE REPLACED IMMEDIATELY.

RIPRAP AT TOE OF EMBANKMENT SHALL BE EXTENDED A SUFFICIENT LENGTH IN BOTH DIRECTIONS TO PREVENT SCOUR.

THE USE OF BAFFLES THAT REQUIRE SUPPORT POSTS ARE RESTRICTED FROM USE IN BASINS REQUIRING IMPERVIOUS LINERS.

3	SEDIMENT BASIN EMERGENCY SPILLWAY WITH TRM LINING
---	---

PERMANENT SEEDING SPECIFICATIONS:

TOPSOIL 6" (MINIMUM) TOPSOIL SHALL BE REQUIRED ON ALL LAWN AREAS.

LIMESTONE RAW, GROUND AGRICULTURAL LIMESTONE CONTAINING MORE THAN 90 PERCENT CALCIUM CARBONATES (ADJUST Ph LEVELS TO 6.5 TO 7.0). APPLY AT A RATE OF 6 TON/AC (275 LB/1,000 SF).

COMMERCIAL FERTILIZER IN THE ABSENCE OF A SOIL TEST, USE 1000 LB/AC OF 10-20-20 (23 LB/1000 SF) MIXED INTO SEEDBED PRIOR TO SEEDING, OR IN A TANK WITH SEED WHEN HYDROSEEDING.

INOCULANT INOCULANT FOR TREATING LEGUMINOUS SEEDS SHALL BE A STANDARD COMMERCIAL PRODUCT CONSISTING OF A SUITABLE CARRIER CONTAINING A CULTURE OF NITROGEN FIXING BACTERIA SPECIFIC FOR SEEDS TO BE INOCULATED. INOCULANT SHALL NOT BE USED LATER THAN DATE INDICATED ON THE CONTAINER.

MULCH CLEAN OAT OR WHEAT STRAW SHALL BE FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED OF NOXIOUS WEEDS AS DEFINED BY THE PENNSYLVANIA SEED ACT 1947. APPLY AT A RATE OF 139 POUNDS 1,000 SQUARE FEET (3 TONS PER ACRE). PRECAUTIONS SHALL BE TAKEN TO STABILIZE MULCH UNTIL THE VEGETATIVE COVER IS ESTABLISHED.

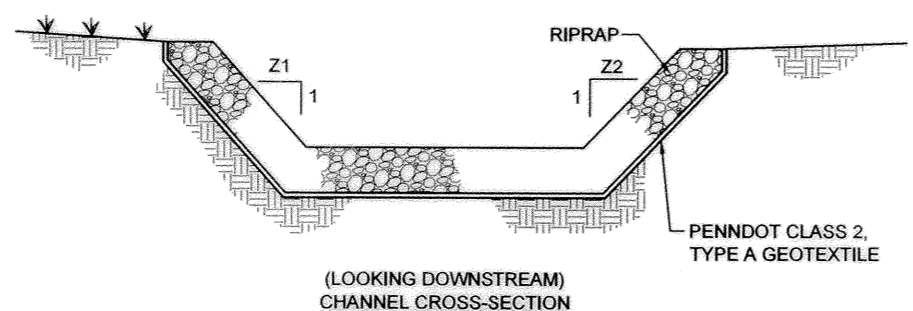
SEED MIXTURE SEED MIXTURE SHALL BEAR A GUARANTEED STATEMENT OF ANALYSIS AND SHALL BE COMPOSED OF THE FOLLOWING VARIETIES AND MIXED IN PROPORTIONS SPECIFIED.

PERMANENT SEED MIXTURE	PROPORTION BY WEIGHT	MINIMUM PURITY
POA PRATENSIS	50%	85%
KENTUCKY BLUEGRASS (COLUMBIA OR EQUAL)		
LOLIUM PERENNE	25%	98%
TURF-TYPE PERENNIAL RYEGRASS		
PENN-FINE PERENNIAL RYEGRASS		
CITATION II PERENNIAL RYEGRASS	25%	98%

PERMANENT SEEDING PERMANENT SEEDING SHALL BE APPLIED AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1,000) SQUARE FEET.

PREPARATION OF SEEDING GRADE AS NECESSARY TO BRING SUBGRADE TO A TRUE, SMOOTH SLOPE PARALLEL TO AND FOUR INCHES BELOW FINISH GRADE. PLACE TOPSOIL OVER SPECIFIED AREAS TO A DEPTH SUFFICIENTLY GREATER THAN SIX (6) INCHES SO THAT AFTER SETTLEMENT AND LIGHT ROLLING THE COMPLETE WORK WILL CONFORM TO LINES, GRADES AND ELEVATIONS SHOWN.

FERTILIZER AND AGRICULTURAL LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL BY ROTOTILLING OR OTHER METHOD TO A MINIMUM DEPTH OF FOUR (4) INCHES. THE ENTIRE SURFACE SHALL THEN BE REGRADED AND ROLLED. AREAS TO BE SEEDDED SHALL THEN BE LOOSENEED TO A DEPTH OF TWO (2) INCHES. SEEDING SHALL BE DONE IN TWO SEPARATE OPERATIONS. THE SECOND SEEDING SHALL BE DONE IMMEDIATELY AFTER THE FIRST AND AT RIGHT ANGLES TO THE FIRST SEEDING AND LIGHTLY RAKED INTO THE SOIL. MULCH SEEDDED AREAS IMMEDIATELY AFTER SEEDING.



CHANNEL NO.	LENGTH (FT)	BOTTOM WIDTH B (FT)	DEPTH D (FT)	Z1 (FT)	Z2 (FT)	RIPRAP GRADATION (R ₁)	RIPRAP DEPTH I (IN)
IC-B2-1(B)	530	3	2.0	2	2	R-4	18
IC-B5(C)	70	2	1.5	2	2	R-4	18

NOTES:

- FILTER STONE UNDERLAYMENT FOR BED SLOPES ≥ 0.10 FT/FT (10 %) SHALL BE USED.
- CHANNEL DIMENSIONS ARE FOR THE COMPLETED CHANNEL AFTER ROCK PLACEMENT. CHANNEL MUST BE OVER-EXCAVATED A SUFFICIENT AMOUNT TO ALLOW FOR THE VOLUME OF ROCK PLACED WITHIN THE CHANNEL WHILE PROVIDING THE SPECIFIED FINISHED DIMENSIONS.
- CHANNEL DIMENSIONS SHALL BE CONSTANTLY MAINTAINED. CHANNEL SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 25% AT ANY LOCATION. SEDIMENT DEPOSITS SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS SOIL CONDITIONS PERMIT ACCESS TO CHANNEL WITHOUT FURTHER DAMAGE.
- DAMAGED LINING SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCOVERY.
- THE MINIMUM ROCK THICKNESS (I) SHALL BE 1.5 TIMES THE MAX ROCK SIZE.

7	RIP RAP INTERCEPTOR/ DIVERSION CHANNEL
---	--

8	SEEDING SPECIFICATIONS
---	------------------------

9	PCSM6 INSPECTION AND MAINTENANCE
---	----------------------------------

PLAN BOOK	PAGE
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PCSM CONSTRUCTION SEQUENCE:

- ONCE GRADING OPERATIONS ARE COMPLETE, PERMANENTLY SEED AND MULCH ALL DISTURBED AREAS PER THE SEEDING SPECIFICATIONS.
- UPON COMPLETION OF THE PROJECT, RECYCLING OR DISPOSAL OF ALL MATERIALS WHICH COULD CAUSE POLLUTION SHALL BE THE RESPONSIBILITY OF THE EARTHMOVING CONTRACTOR.
- CONSTRUCTION WASTE INCLUDES, BUT IS NOT LIMITED TO, EXCESS SOIL MATERIALS, SILT REMOVED FROM EROSION CONTROL FACILITIES, EXCESS BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, AND OBSOLETE EROSION CONTROL MATERIALS (SILT FENCE, SILT SACKS, ETC.).
- SILT REMOVED FROM SEDIMENT CONTROL FACILITIES SHALL BE SPREAD ON THE TOPSOIL STOCKPILE, OR IN LAWN OR LANDSCAPE AREAS.
- OBSOLETE EROSION CONTROL MATERIALS AND EXCESS BUILDING MATERIALS MUST BE DISPOSED OF AT A DEP APPROVED SITE.
- THERE ARE NO KNOWN NATURALLY OCCURRING GEOLOGIC FORMATIONS OR SOIL CONDITIONS LOCATED ON THE SITE THAT HAVE THE POTENTIAL TO CAUSE POLLUTION DURING CONSTRUCTION. IF SUCH CONDITIONS ARE ENCOUNTERED, STOP WORK AND CONTACT THE GEOGRAPHICAL ENGINEER AND/OR DEP.
- GEOLOGICAL ROCK FORMATIONS OR SOIL CONDITIONS THAT ARE IDENTIFIED BY THE GEOTECHNICAL ENGINEER ON SITE THAT HAVE THE POTENTIAL TO DEGRADE WATER QUALITY WILL BE ISOLATED IN PLACE OR WILL BE RELOCATED ON-SITE FOLLOWED BY APPROPRIATE CAPPING WITH AN IMPERVIOUS SURFACE SUCH AS PAVEMENT OR A BUILDING, OR WILL BE EXCAVATED AND REMOVED TO AN OFF-SITE DISPOSAL AREA APPROVED TO HANDLE HAZARDOUS WASTE. DEPENDING ON THE LEVEL OF CONTAMINATION, BLENDING OF SOIL MAY ACHIEVE ACCEPTABLE STANDARDS.

1	PCSM6	PCSM SEQUENCE
---	-------	---------------

4	PCSM6	RECYCLING AND WASTE DISPOSAL
---	-------	------------------------------

OPERATION, MAINTENANCE, AND INSPECTION SCHEDULE

SURFACE STORMWATER DETENTION FACILITY

THE OWNER OF THE PROPOSED STORMWATER CONTROL FACILITIES SHALL AT ALL TIMES OPERATE AND MAINTAIN THE FACILITIES IN A SAFE AND OPERABLE CONDITION SO AS NOT TO IMPAIR LIFE, HEALTH, SAFETY, OR PROPERTY LOCATED ABOVE OR BELOW THE FACILITY.

THE OWNER OF THE FACILITY SHALL BE RESPONSIBLE FOR THE EVALUATION OF THE SAFETY AND OPERATIONAL STATUS OF THE FACILITY AND ALL APPURTENANT STRUCTURES AND THE MODIFICATION THEREOF IN ACCORDANCE WITH THE REQUIREMENT TO ENSURE PROTECTION OF LIFE AND PROPERTY AS SPECIFIED ABOVE.

THE OWNER OF THE FACILITY SHALL INSPECT THE FACILITIES AND ALL APPURTENANT WORKS ACCORDING TO THE FOLLOWING SCHEDULE:

- THE FACILITY AND ITS APPURTENANT CONTROL AND CONVEYANCE WORKS (INCLUDING BUT NOT LIMITED TO: OUTLET STRUCTURES, OUTLET PIPES, UNDERDRAINS, RIP RAP APRONS, AND EMERGENCY SPILLWAY) SHALL BE INSPECTED AT LEAST ONCE EVERY THREE (3) MONTHS, AND DIRECTLY AFTER EVERY HEAVY STORM EVENT.
- THE OWNER SHALL RETAIN RECORDS OF SUCH INSPECTIONS, INCLUDING RECORDS OF ACTIONS TAKEN TO CORRECT CONDITIONS FOUND DURING SUCH INSPECTIONS.

THE PERIODIC INSPECTION OF THE PROPOSED FACILITY SHALL BE COMPLETED IN SUCH A MANNER SO AS TO DETECT ANY OF THE FOLLOWING CONDITIONS WHICH MAY OCCUR DURING THE NORMAL OPERATION OF THE FACILITY.

- SLIDING OF THE UPSTREAM OR DOWNSTREAM SLOPED OR ABUTMENTS CONTIGUOUS TO THE EMBANKMENT
- SUDDEN SUBSIDENCE OF THE CREST OF THE EMBANKMENT.
- LONGITUDINAL OR TRANSVERSE CRACKING OF THE CREST OF THE EMBANKMENT.
- ANY OTHER UNUSUAL CONDITIONS AT THE DOWNSTREAM SLOPE OF THE DAM.
- SIGNIFICANT LANDSLIDES IN THE IMPOUNDMENT AREA.
- OBSTRUCTIONS OR SIGNIFICANT DEBRIS ACCUMULATION INTERFERING WITH THE OUTLET CONTROL STRUCTURE.
- THE ACCUMULATION OF SIGNIFICANT AMOUNTS OF SEDIMENT IN THE STORAGE AREA.

SHOULD ANY OF THE ABOVE MENTIONED CONDITIONS EXIST AT THE TIME OF SUCH AN INSPECTION, IMMEDIATE ACTION SHOULD BE TAKEN TO CORRECT THE SAME, AND A FULL REPORT OF ALL ACTION TAKEN SHALL BE RETAINED BY THE OWNER OF THE FACILITY.

THE OWNER SHALL ALSO INSPECT THE BIORETENTION BOTTOMS OF THE BASIN TO ASSURE THAT THE BASINS STILL INFILTRATE WATER TO THE SUBSTRATE AS DESIGNED. IF SUFFICIENT INFILTRATION IS NOT OCCURRING, THE SOIL AMENDMENT SHOULD BE REPLACED, ASSURE THAT THE UNDERDRAIN VALVE IS IN WORKING ORDER AT LEAST ONCE PER YEAR. THE VALVE SHOULD BE OPENED AND CLOSED COMPLETELY DURING THIS INSPECTION.

STREET SWEEPING

THE OWNER OF THE PROPERTY MUST ENSURE THAT SITE-WIDE STREET SWEEPING BY A VACUUM TRUCK IS BEING PERFORMED IN ACCORDANCE WITH THE FOLLOWING GUIDELINES.

THE SITE-WIDE IMPERVIOUS PARKING AREAS OF THE SITE SHALL BE SWEEP BIANNIALLY IN ACCORDANCE WITH THE FOLLOWING SCHEDULE.

STREET SWEEPING SCHEDULE

- STREET SWEEPING SHOULD OCCUR IN THE SPRING IMMEDIATELY FOLLOWING THE LAST ANTICIPATED SNOWFALL, USUALLY IN THE LAST WEEK OF APRIL OR FIRST WEEK OF MAY.
- STREET SWEEPING SHOULD OCCUR AGAIN AT OR NEAR THE END OF OCTOBER OR BEGINNING OF NOVEMBER.

NOTIFICATION POLICY

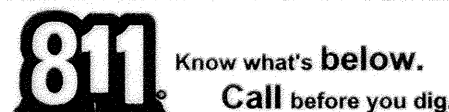
ESTABLISH A STREET SWEEPING NOTIFICATION POLICY SUCH AS POSTING TEMPORARY SIGNS AND THE USE OF FLYERS. NOTIFICATION SHOULD INCLUDE THE DATE AND TIME OF THE SCHEDULED STREET SWEEPING AND SHOULD BE DISPLAYED OR DISTRIBUTED 3 DAYS PRIOR TO THE DAY OF SWEEPING.

DISPOSAL OF SWEEPINGS

STREET SWEEPING MATERIAL OFTEN INCLUDES SAND, SALT, LEAVES AND OTHER DEBRIS THAT COULD CONTAIN POLLUTANTS AND MUST BE TESTED PRIOR TO DISPOSAL TO DETERMINE IF MATERIAL IS HAZARDOUS. DISPOSAL AND REUSE OF MATERIAL SHOULD ADHERE TO ALL FEDERAL AND STATE REGULATIONS.

STREET SWEEPINGS REUSE PRACTICES

ALTHOUGH SWEEPINGS MAY CONTAIN POLLUTANTS, FEDERAL AND STATE REGULATIONS MAY ALLOW THE REUSE OF SWEEPINGS FOR GENERAL FILL, PARKS, ROAD SHOULDERS AND OTHER APPLICATIONS AS LONG AS THE MATERIAL IS NOT A THREAT TO SURFACE WATERS. PRIOR TO REUSE, TRASH, LEAVES, AND OTHER DEBRIS FROM SWEEPINGS SHOULD BE REMOVED BY SCREENING OR OTHER METHODS. TRASH AND DEBRIS REMOVED SHOULD BE DISPOSED OF BY RECYCLING OR SENT TO A LANDFILL.



POCS SER. #: 2017

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Date:	Revision Description:	By:	Professional Seal:	Prepared By:
2/19/19	Re-issued for construction	GLF		

Sheffler & Company, Inc.
ENGINEERING • SURVEYING

1712 Mount Nebo Road
Sewickley, PA 15143

Office Phone: 412-219-4509
Email: Info@ShefflerCo.com

Arden Woods
Single-Family Residential Development

Prepared For:

Arden Development Partners

Situate In:

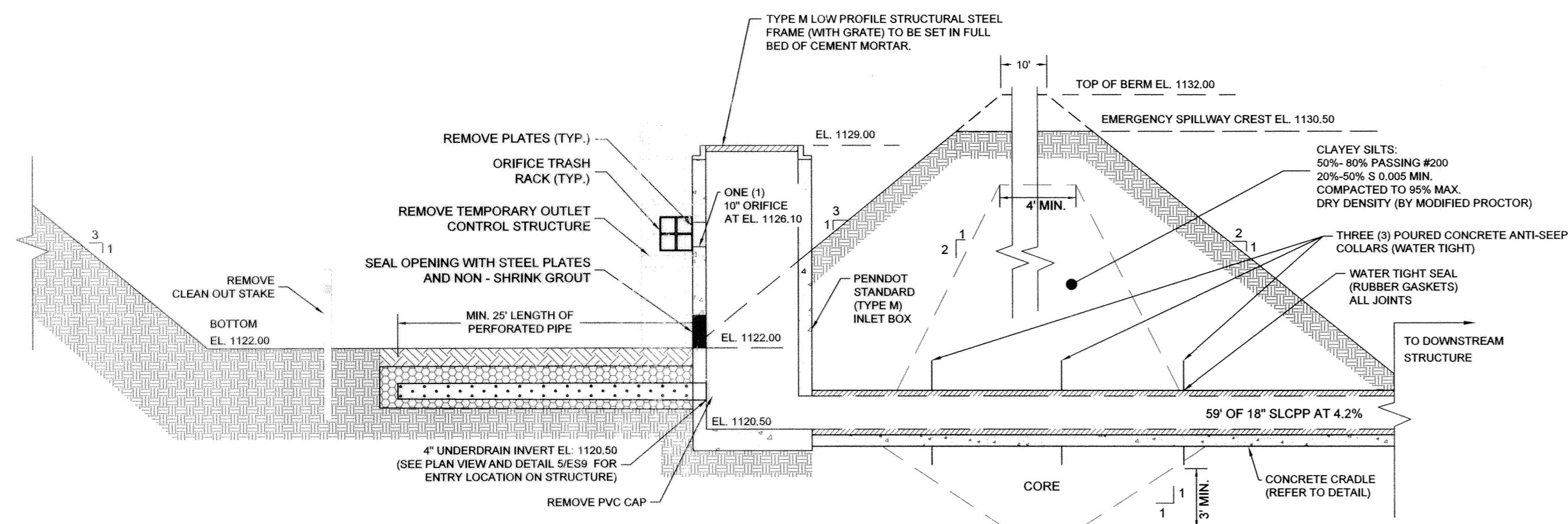
Lancaster Township, Butler County, Pennsylvania

POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS

DRAWING SCALE:	N.T.S.	DESIGNED BY:	RME
DATE ISSUED:	04-2018	REVIEWED BY:	ACJ
PROJECT JOB#:	3275	FIELD BOOK #:	-

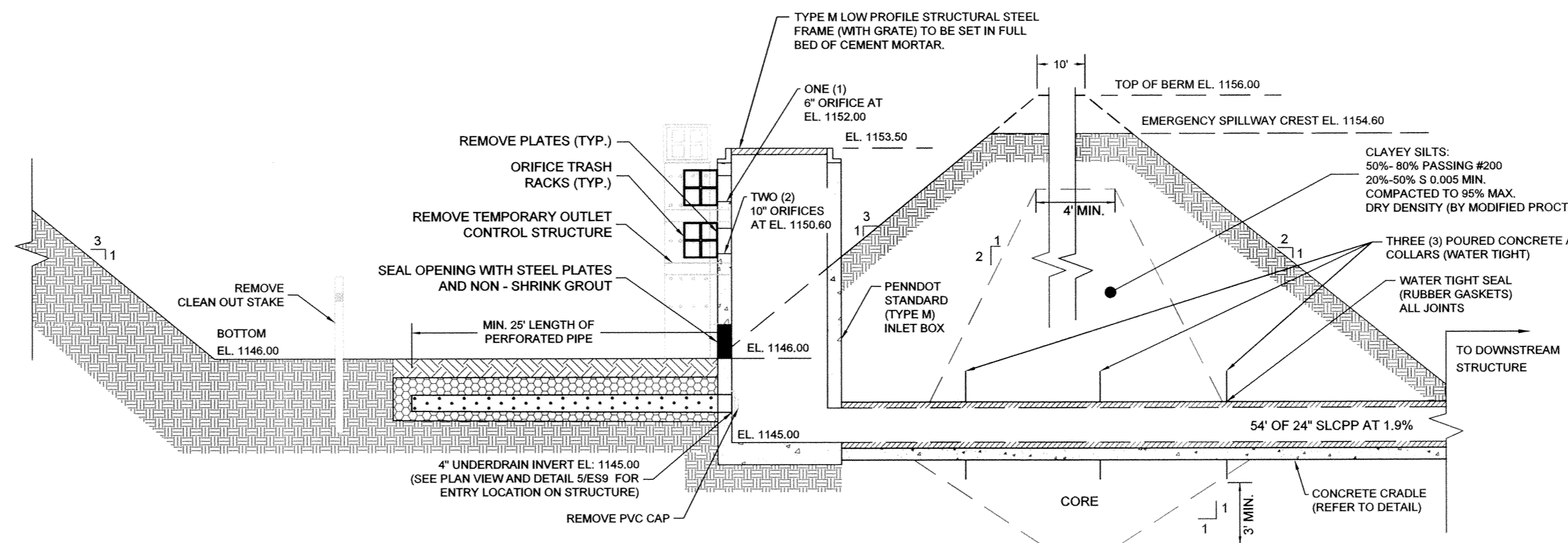
Arden Development Partners
Attn: Don Rodgers
215 Executive Drive, Suite 300
Cranberry Township, PA 16066
Phone: 724-776-2727

PCSM6



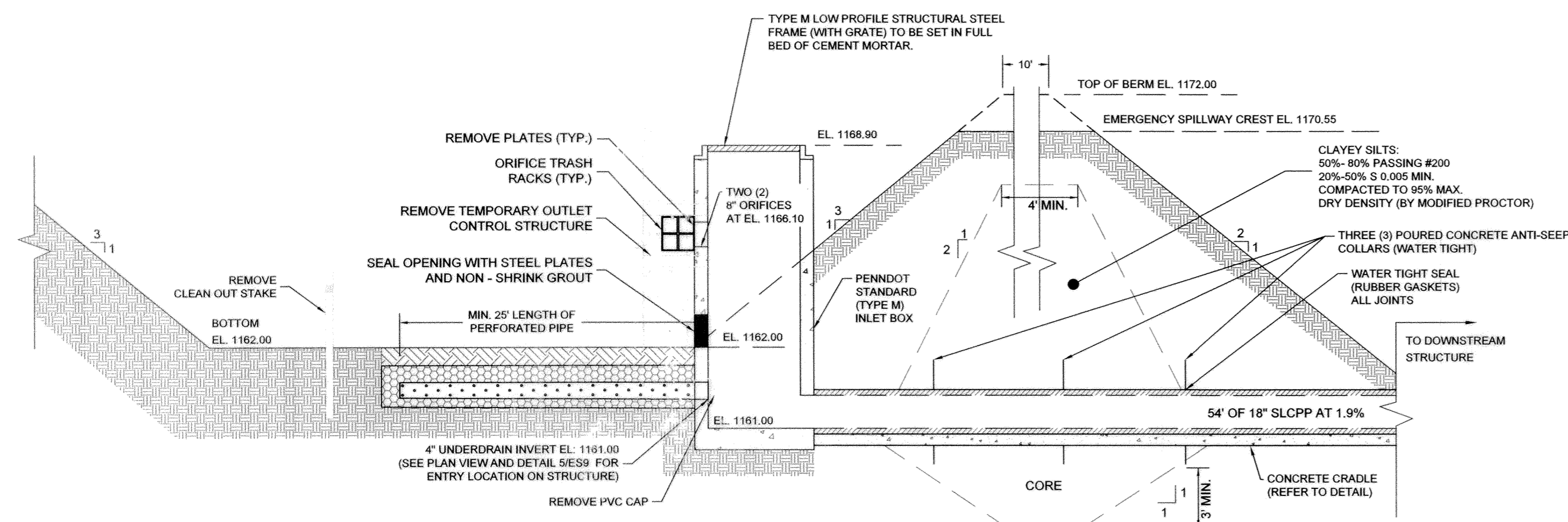
- NOTES:**
1. DEWATER USING PUMPED WATER FILTER BAG.
 2. REMOVE ALL ACCUMULATED SEDIMENT FROM THE FOREBAY AND BASIN.
 3. REMOVE TEMPORARY OUTLET CONTROL STRUCTURE AND SEAL OPENING IN PERMANENT OUTLET CONTROL STRUCTURE.
 4. UNBLOCK ORIFICES ON THE OUTLET CONTROL STRUCTURE.
 5. RESEED WITH WILDLIFE MIX ERNST SEED ERNMX-127 AS REQUIRED.
 6. SOILS ON BASIN BOTTOM SHALL BE TESTED FOR INFILTRATION PRIOR TO ACTIVATION.

1 INFILTRATION BASIN NO. 1
PCSM7 CROSS SECTION



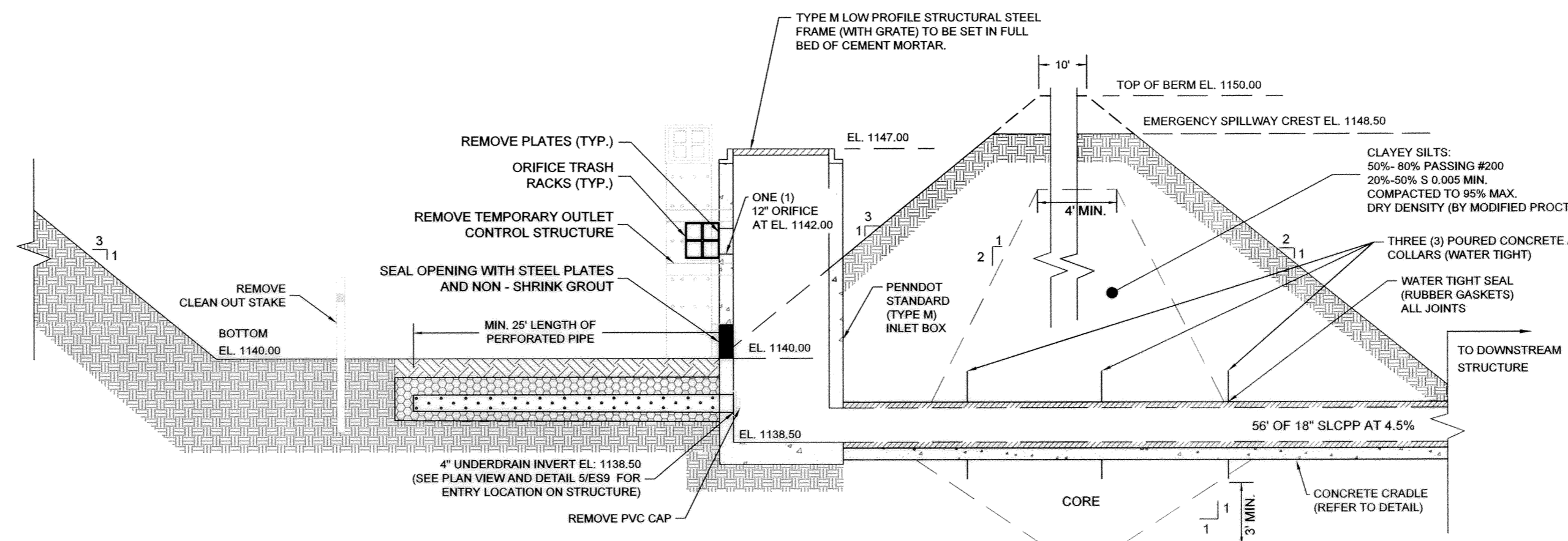
- NOTES:**
1. DEWATER USING PUMPED WATER FILTER BAG.
 2. REMOVE ALL ACCUMULATED SEDIMENT FROM THE FOREBAY AND BASIN.
 3. REMOVE TEMPORARY OUTLET CONTROL STRUCTURE AND SEAL OPENING IN PERMANENT OUTLET CONTROL STRUCTURE.
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2 INFILTRATION BASIN NO. 2
PCSM7 CROSS SECTION



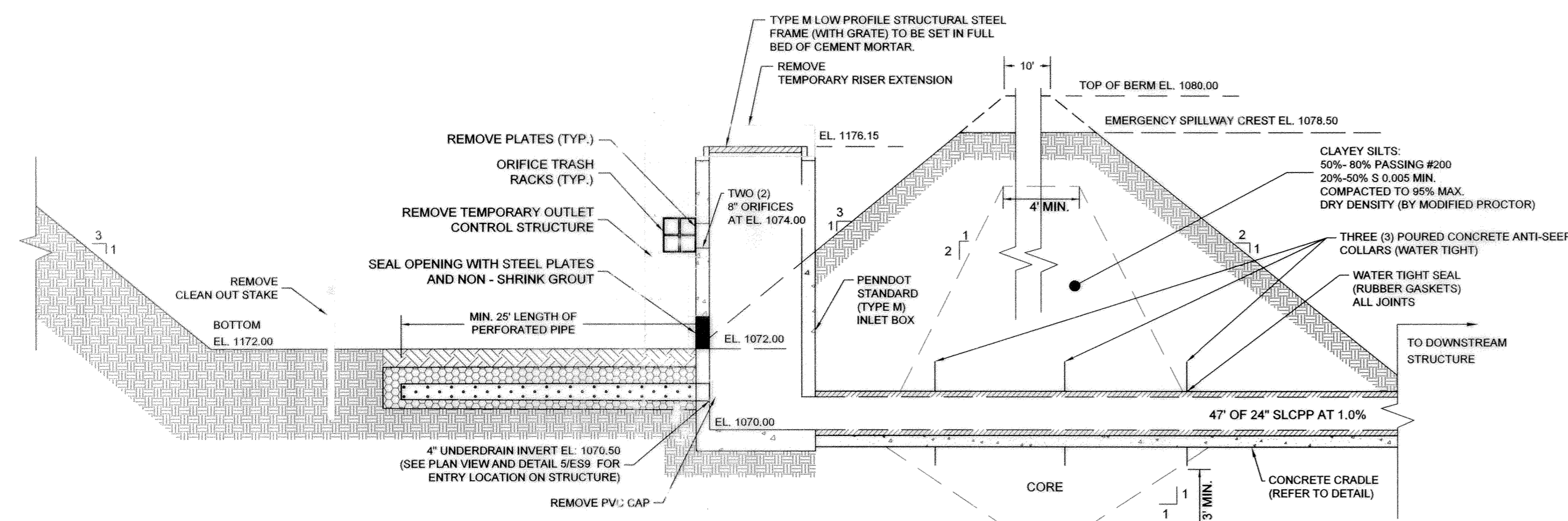
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 5. RESEED WITH WILDLIFE MIX ERNST SEED ERNMX-127 AS REQUIRED.
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3 INFILTRATION BASIN NO. 3
PCSM7 CROSS SECTION



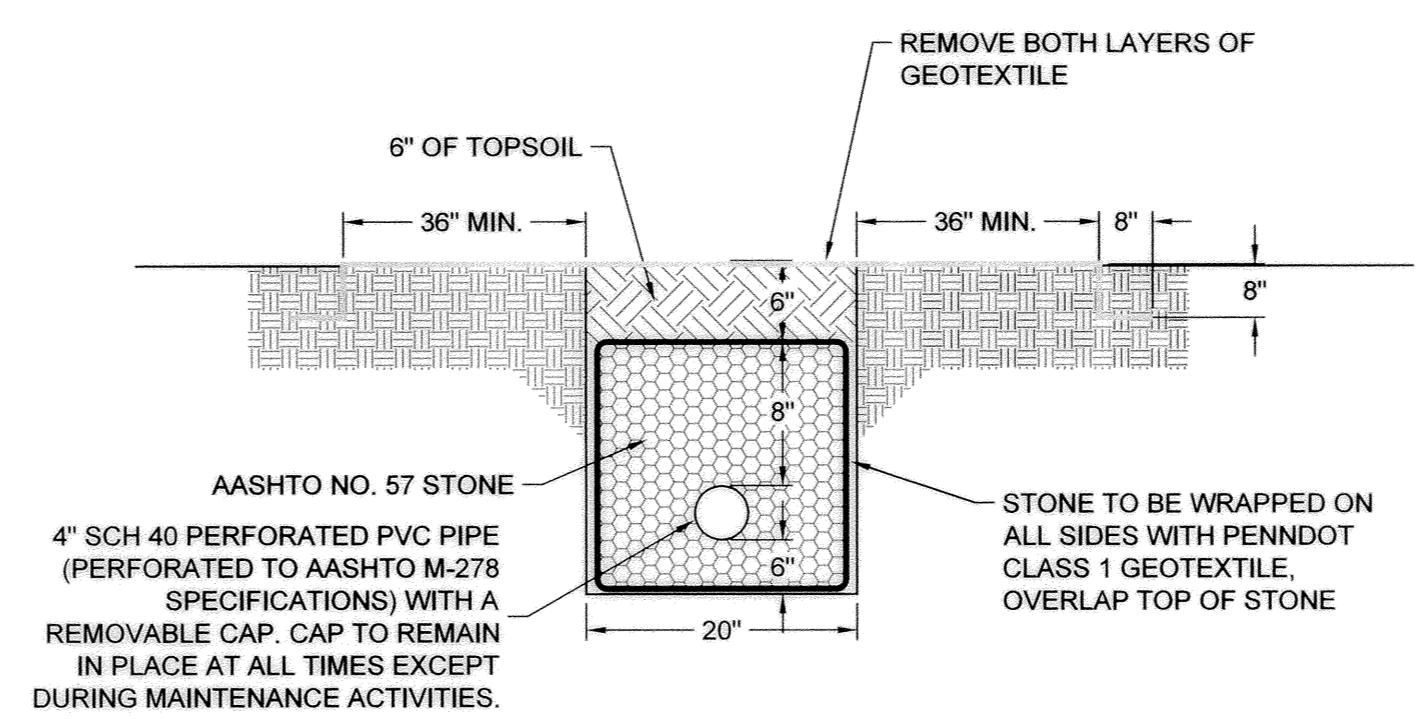
- NOTES:**
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4 INFILTRATION BASIN NO. 4
PCSM7 CROSS SECTION

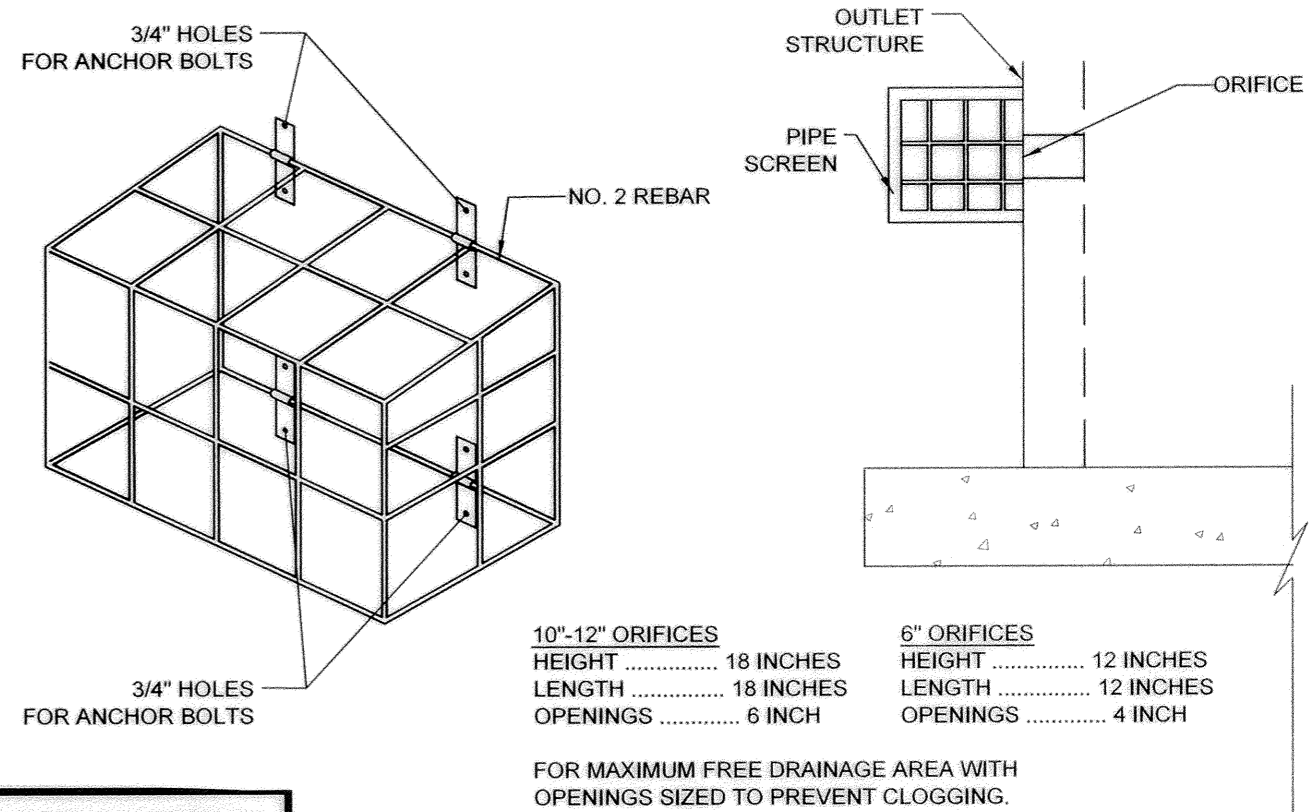


- NOTES:**
1. DEWATER USING PUMPED WATER FILTER BAG.
 2. REMOVE ALL ACCUMULATED SEDIMENT FROM THE FOREBAY AND BASIN.
 3. REMOVE TEMPORARY OUTLET CONTROL STRUCTURE AND SEAL OPENING IN PERMANENT OUTLET CONTROL STRUCTURE.
 4. UNBLOCK ORIFICES ON THE OUTLET CONTROL STRUCTURE.
 5. RESEED WITH WILDLIFE MIX ERNST SEED ERNMX-127 AS REQUIRED.
 6. SOILS ON BASIN BOTTOM SHALL BE TESTED FOR INFILTRATION PRIOR TO ACTIVATION.

5 EXISTING INFILTRATION BASIN
PCSM7 CROSS SECTION



6 4" UNDERDRAIN
PCSM7 (PERMANENT PHASE)



7 ORIFICE REBAR TRASH RACK
PCSM7 - N.T.S.

811 Know what's below. Call before you dig.

POCS SER. #: 2017

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Situate In:
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DATE ISSUED:	04-2018	REVIEWED BY:	ACJ
PROJECT JOB#:	3275	FIELD BOOK #:	-

PCSM7

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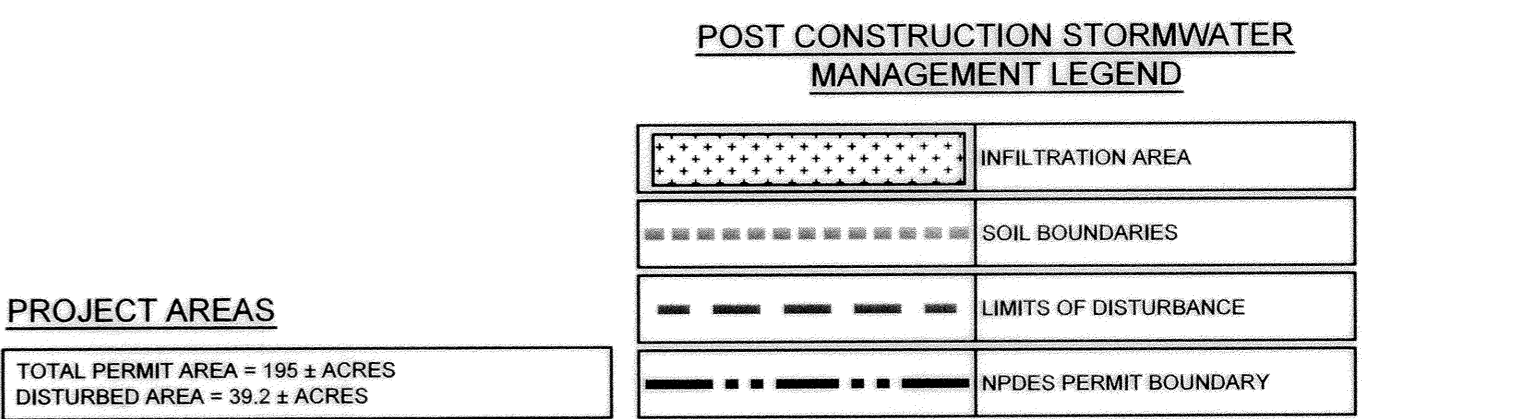
POTENTIAL LIMITING SOIL CHARACTERISTICS																	
MAP	DESCRIPTION	CUT BANKS	CONCRETE	DRAGGAGE	EASILY ERODIBLE	FLOODING	DEPTH TO SAT. ZONE	POTENTIAL "HARD" LOW STRENGTH	LANDSLIDE PRONE	LOW PERCOLATION	PIPING	POOR TOPSOIL	POOR ACTION	SHRINK SWELL	PONDING	WETNESS	REMEDIAL ACTIONS
BrC	BRINKERTON SILT LOAM 8 TO 18 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X	X	X	SOILS SUSCEPTIBLE TO HIGH WATER TABLES AND/OR PIPING AND SEEPING: * PROVIDE PUMPED WATER SEGMENT REMOVAL FACILITIES
BrC	CAVOUSE SILT LOAM 3 TO 8 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X	X	X	SOILS SUSCEPTIBLE TO HIGH WATER TABLES AND/OR PIPING AND SEEPING: * PROVIDE PUMPED WATER SEGMENT REMOVAL FACILITIES * USE CLAY EMBANKMENT CORES
CoC	CAVOUSE SILT LOAM 8 TO 18 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X	X	X	SOILS SUSCEPTIBLE TO HIGH WATER TABLES AND/OR PIPING AND SEEPING: * PROVIDE PUMPED WATER SEGMENT REMOVAL FACILITIES * USE CLAY EMBANKMENT CORES * UTILIZE ANTI-SEEP COLLARS OR GRAVEL PACKS
CoD	CAVOUSE SILT LOAM 18 TO 28 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X	X	X	SOILS SUSCEPTIBLE TO HIGH WATER TABLES AND/OR PIPING AND SEEPING: * PROVIDE PUMPED WATER SEGMENT REMOVAL FACILITIES * USE CLAY EMBANKMENT CORES * UTILIZE ANTI-SEEP COLLARS OR GRAVEL PACKS * PREVENT SATURATION OR OVERLOADING OF SLOPES * PREVENT REMOVAL OF LATERAL SUPPORT * IMPORT ROAD FILL MATERIAL
CoD	COOPERTON LOAM 3 TO 8 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X	X	X	SOILS SUSCEPTIBLE TO HIGH WATER TABLES AND/OR PIPING AND SEEPING: * PROVIDE PUMPED WATER SEGMENT REMOVAL FACILITIES * USE CLAY EMBANKMENT CORES * UTILIZE ANTI-SEEP COLLARS OR GRAVEL PACKS * PREVENT SATURATION OR OVERLOADING OF SLOPES * PREVENT REMOVAL OF LATERAL SUPPORT * IMPORT ROAD FILL MATERIAL
CoD	COOPERTON LOAM 18 TO 28 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X	X	X	SOILS SUSCEPTIBLE TO HIGH WATER TABLES AND/OR PIPING AND SEEPING: * PROVIDE PUMPED WATER SEGMENT REMOVAL FACILITIES * USE CLAY EMBANKMENT CORES * UTILIZE ANTI-SEEP COLLARS OR GRAVEL PACKS * PREVENT SATURATION OR OVERLOADING OF SLOPES * PREVENT REMOVAL OF LATERAL SUPPORT * IMPORT ROAD FILL MATERIAL
ErC	ERNEST SILT LOAM 8 TO 18 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X	X	X	SOILS SUSCEPTIBLE TO CUTBANKS CAVE: * PREVENT SATURATION OF SLOPES * PROVIDE ANCHORING OR RETAINING SYSTEMS * PROVIDE BENCHING TO CATCH FALLING DEBRIS * PROVIDE TRENCH BOXES FOR UTILITY INSTALLATION
GpC	GLYPH WARDEN CHANNERY SILT 18 TO 28 PERCENT SLOPES	X	C	X	X	X	X	X	X	X	X	X	X	X	X	X	SOILS WITH LOW STRENGTH: * PREVENT SATURATION OR OVERLOADING OF SLOPES * PREVENT REMOVAL OF LATERAL SUPPORT * IMPORT ROAD FILL MATERIAL
GpC	GLYPH WARDEN SILT LOAMS 3 TO 8 PERCENT SLOPES	X	C	X	X	X	X	X	X	X	X	X	X	X	X	X	SOILS WITH LOW STRENGTH: * PREVENT SATURATION OR OVERLOADING OF SLOPES * PREVENT REMOVAL OF LATERAL SUPPORT * IMPORT ROAD FILL MATERIAL
GpC	GLYPH WARDEN SILT LOAMS 18 TO 28 PERCENT SLOPES	X	C	X	X	X	X	X	X	X	X	X	X	X	X	X	SOILS WITH LOW STRENGTH: * PREVENT SATURATION OR OVERLOADING OF SLOPES * PREVENT REMOVAL OF LATERAL SUPPORT * IMPORT ROAD FILL MATERIAL
WaB	WARHARTON SILT LOAM 3 TO 8 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X	X	X	SOILS THAT ARE POOR SOURCES OF TOPSOIL: * PERFORM SOIL TESTS TO DETERMINE PROPER APPLICATION OF SOIL AMENDMENTS AND TO DETERMINE THE PROPER MOISTURE CONTENT FOR PROPOSED VEGETATIVE COVERS * SOILS THAT ARE HYDRIC: * EXISTING ON-SITE WETLANDS AND STREAMS MUST BE DELINEATED * NO WORK SHALL BE PERFORMED WITHIN 100 FEET OF ANY WETLAND AREA * SOILS SUSCEPTIBLE TO MODERATE OR HIGH EROSION POTENTIAL: * LIMIT TIME OF EXPOSURE * UTILIZE EROSION CONTROL BLANKETS * SELECT SEED MIXTURES WITH RAPIDLY GERMINATING SPECIES * SODDING * USE OF SPECIAL STABILIZATION PRODUCTS

NOTE:
A COMPETENT PERSON WILL REVIEW THE SOIL CAPABILITY OF THE SITE AND MAKE RECOMMENDATIONS TO THE OWNER. SOILS HAVING UNSTABLE COMPOSITION, SLIP AND LANDSLIDE POTENTIAL ARE NOT TO BE PLACED AS FILL MATERIAL AT AREAS HAVING 2:1 SLOPES OR NEAR PROXIMITY TO SUCH SLOPES. LOADING PLANES OF SUCH PLACED FILLS SHALL BE ON SUITABLE SOILS KEYED INTO VIRGIN SOILS. REFER TO CUTFILL DETAILS ON PLANS. ALL CUT SITUATIONS THAT EXPOSE SUCH SOILS TO UNSUPPORTED BEARING BASES REQUIRE THOSE SOILS TO BE EXCAVATED AND REPLACED WITH SUITABLE SOILS THAT DO NOT HAVE THE MENTIONED CHARACTERISTICS.

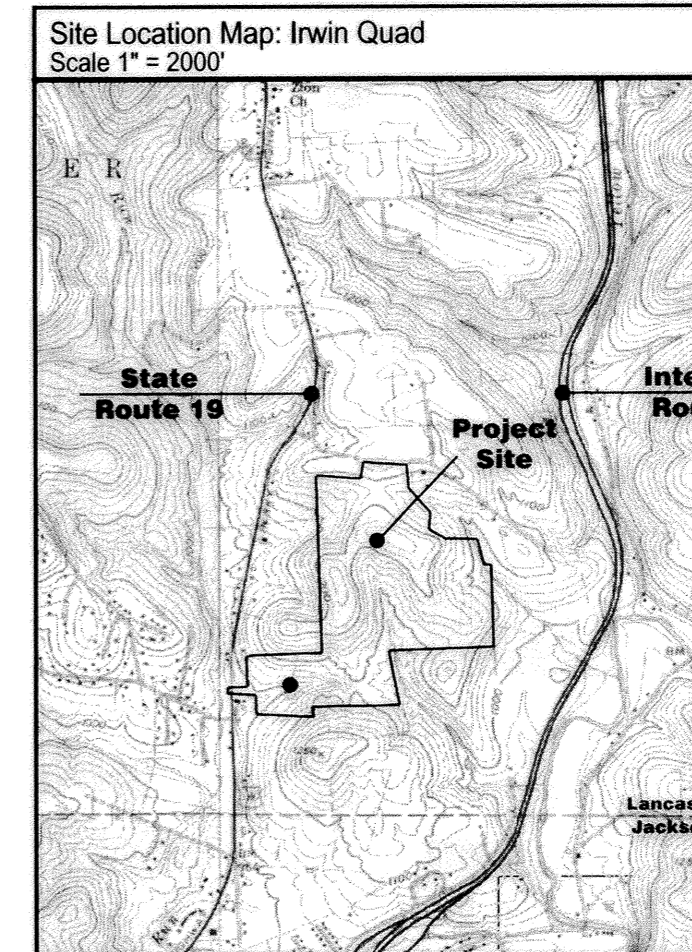
I, Duke, GRAHAM L. FERRY, PE, HEREBY CERTIFY THAT THE STORM WATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE "LANCASTER TOWNSHIP STORMWATER MANAGEMENT ORDINANCE."

I, Thomas L. Thompson, THOMAS L. THOMPSON, PE, HAVE REVIEWED THIS STORM WATER MANAGEMENT PLAN MEETS IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF THE "LANCASTER TOWNSHIP STORMWATER MANAGEMENT ORDINANCE."

I, Donald Rodgers, DONALD RODGERS, ACKNOWLEDGE THAT ALL STORM WATER BMP DEVICES, AS SHOWN ON THIS APPROVED PLAN, ARE PERMANENT FIXTURES WHICH SHALL NOT BE ALTERED OR REMOVED WITHOUT THE PRIOR APPROVAL OF LANCASTER TOWNSHIP.



PROJECT AREAS
TOTAL PERMIT AREA = 195 ± ACRES
DISTURBED AREA = 39.2 ± ACRES



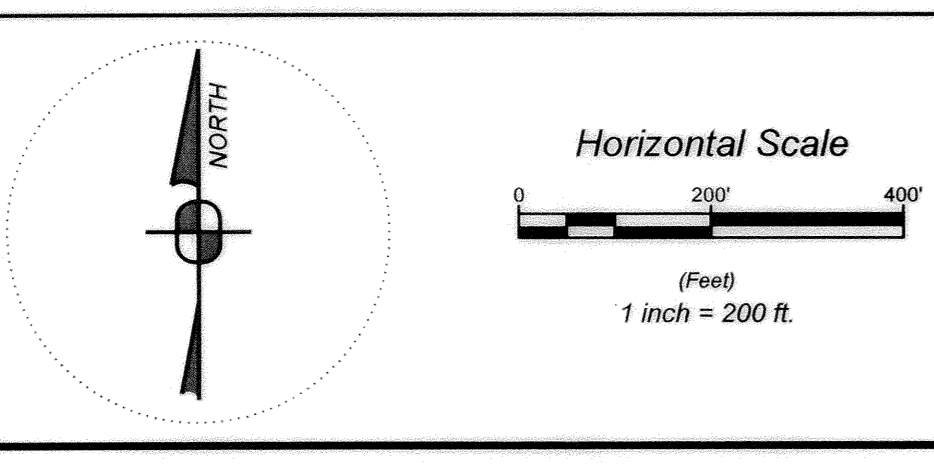
Post Construction Stormwater Management Notes:

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- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF THE BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PENNSYLVANIA ONE CALL SYSTEMS, INC. AT 1-800-342-1176. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
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- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- THE OPERATION AND MAINTENANCE AGREEMENT IS PART OF THE PCSM PLAN AND IS THE RESPONSIBILITY OF THE OWNER(S).
- ALL CONTRACTORS ASSIGNED WITH INSTALLATION OF PCSM FACILITIES SHALL BE REQUIRED TO BECOME A CO-PERMITTEE ON NPDES PERMIT WITH THE OWNER.
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PLAN BOOK 378 PAGE 37

811 Know what's below. Call before you dig.

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Date:	Revision Description:	By:	Professional Seal:
8/31/17	MISC REVISIONS PER BCCD PRE-APP MEETING	ALB	
2/14/18	BCCD RE-SUBMISSION	GLF	
4/27/18	BCCD RE-SUBMISSION	GLF	
5/17/18	LANCASTER TOWNSHIP RE-SUBMISSION	GLF	
5/25/18	BCCD RE-SUBMISSION	GLF	
5/30/18	BCCD FINAL NPDES PERMIT PLAN SUBMISSION	GLF	
6/15/18	LANCASTER TOWNSHIP RE-SUBMISSION	GLF	
1/7/19	ISSUED FOR CONSTRUCTION	GLF	
1/21/19	RE-ISSUED FOR CONSTRUCTION	GLF	
2/21/19	RE-ISSUED FOR CONSTRUCTION	GLF	

Prepared By: **Sheffler & Company, Inc.** ENGINEERING • SURVEYING

1712 Mount Nebo Road, Sewickley, PA 15143
Office Phone: 412-219-4509
Email: info@ShefflerCo.com

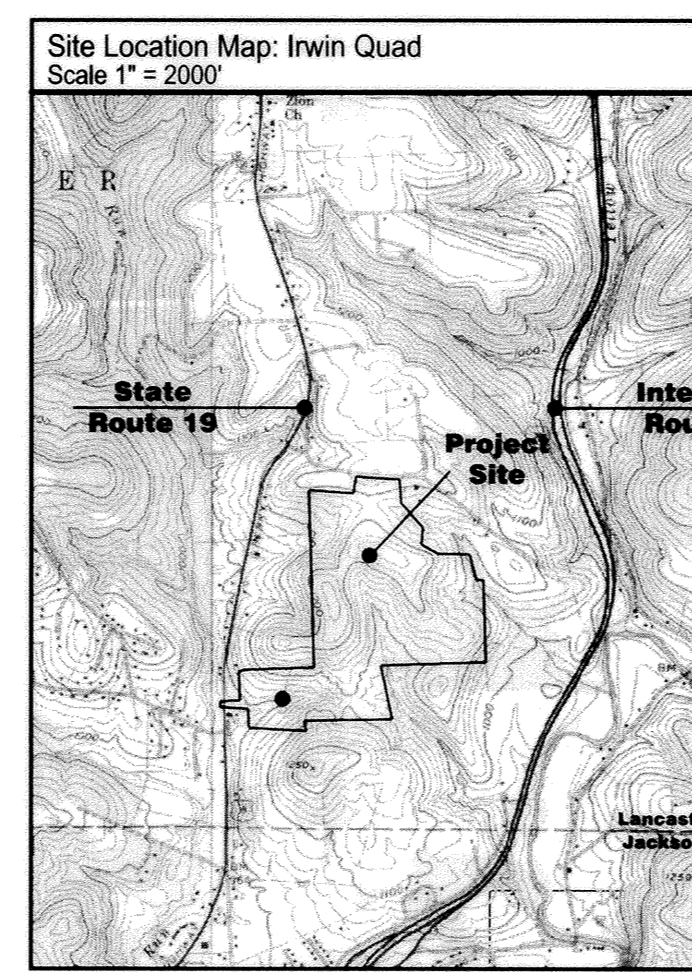
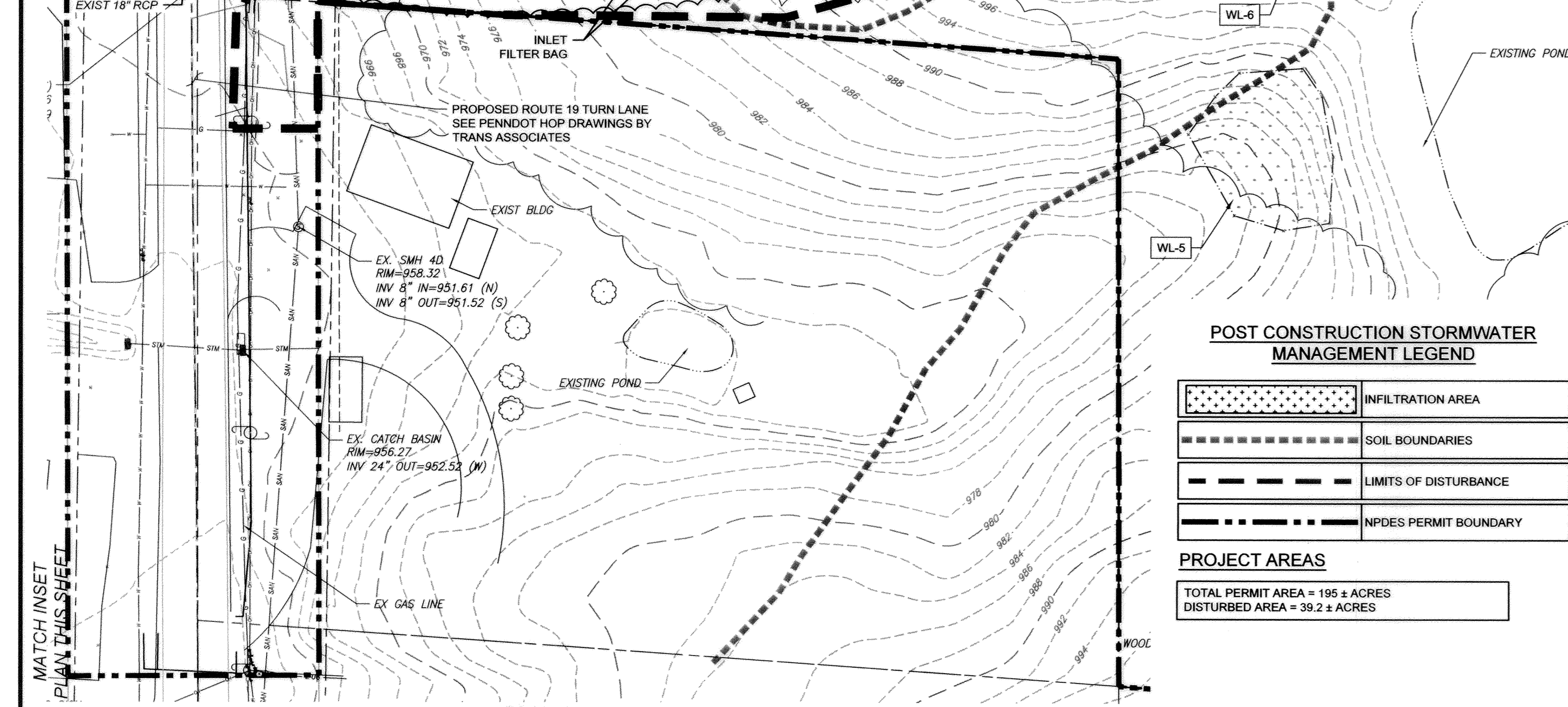
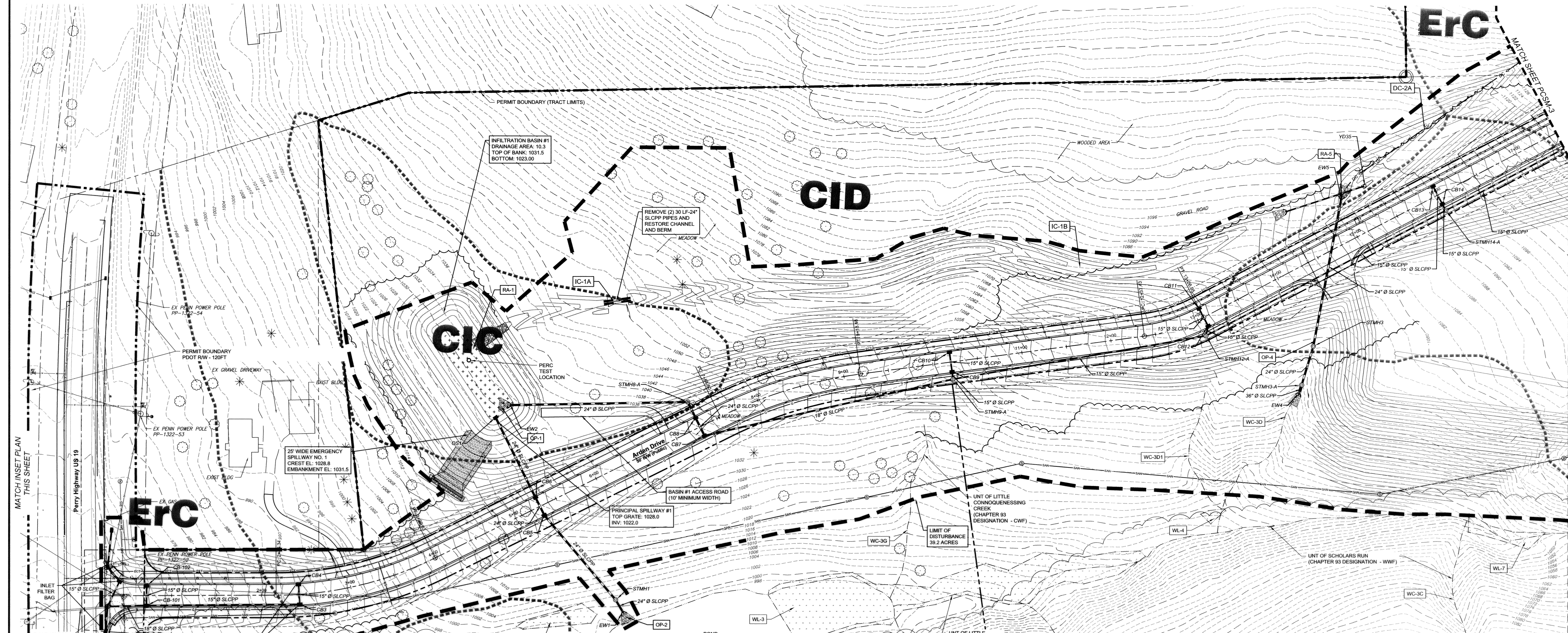
Professional Seal: **GRAHAM LEE FERRY**, ENGINEER, PE074237

Arden Woods
Prepared For: **Arden Development Partners**
Situate In: **Lancaster Twp, Butler County, PA**

OVERALL PCSM PLAN

DRAWING SCALE: 1" = 200'
DESIGNED BY: KDP
DATE ISSUED: 06/30/2017
REVIEWED BY: ALB
PROJECT JOB#: 3275
CADD#: Arden Woods - NPDES.dwg

Arden Development Partners
215 Executive Drive, Suite 300, Cranberry Twp, PA 16806
Sheet No. **PCSM-1**



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POTENTIAL LIMITING SOIL CHARACTERISTICS														
MAP SYM	DESCRIPTION	CUT BANKS HAVE CONC. OR STEEL	SPURTIEN	EASILY ERODIBLE	FLOODING	DEPTH TO SAT. ZONE	POTENTIAL HYDROLOGICALLY UNDESIRABLE PROMOTE	LOW PERCOLLATION	POOR	POOR TOPSOIL	FROST ACTION	SHRINK SWELL	POTENTIAL SHIM-POLE	WEEDNESS
BC	BROOKTON SILT LOAM 8 TO 18 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X
CB	CAVOSE SILT LOAM 3 TO 8 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X
CC	CAVOSE SILT LOAM 8 TO 18 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X
CD	CAVOSE SILT LOAM 18 TO 28 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X
CD6	COOPERT LOAM 3 TO 8 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X
CD6	COOPERT LOAM 8 TO 18 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X
CD6	COOPERT LOAM 18 TO 28 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X
ER	ERNEST SILT LOAM 8 TO 18 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X
GH	GLIMMERHART CHANNERY SILT 35 TO 70 PERCENT SLOPES	X	C	X	X	X	X	X	X	X	X	X	X	X
GP	GLIMMERHART SILT LOAM 8 TO 18 PERCENT SLOPES	X	C	X	X	X	X	X	X	X	X	X	X	X
GP6	GLIMMERHART COMPLEX 18 TO 28 PERCENT SLOPES	X	C	X	X	X	X	X	X	X	X	X	X	X
WH	WHEATON SILT LOAM 3 TO 8 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X

POST CONSTRUCTION STORMWATER MANAGEMENT LEGEND

	INFILTRATION AREA
	SOIL BOUNDARIES
	LIMITS OF DISTURBANCE
	NPDES PERMIT BOUNDARY

PROJECT AREAS

TOTAL PERMIT AREA = 195 ± ACRES
DISTURBED AREA = 39.2 ± ACRES

PLAN BOOK	PAGE
378	38

811 Know what's below. Call before you dig.

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Horizontal Scale

1 inch = 50 ft.

Date:	Revision Description:	By:
00/1/17	MISC. REVISIONS PER BCCD PRE-APP MEETING	ALB
2/14/18	BCCD RE-SUBMISSION	GLF
4/27/18	BCCD RE-SUBMISSION	GLF
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5/29/18	BCCD FINAL NPDES PERMIT PLAN SUBMISSION	GLF
6/11/18	LANCASTER TOWNSHIP RE-SUBMISSION	GLF
1/14/19	ISSUED FOR CONSTRUCTION	GLF
1/21/19	RE-ISSUED FOR CONSTRUCTION	GLF
3/21/19	RE-ISSUED FOR CONSTRUCTION	GLF

Professional Seal

Prepared By:

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Office Phone: 412-219-4509
Email: info@shefflerco.com

Arden Woods

Prepared For:

Arden Development Partners

Situate In:

Lancaster Twp, Butler County, PA

PCSM PLAN

DRAWING SCALE: 1"=50'

DESIGNED BY: KDP

DATE ISSUED: 06/30/2017

REVIEWED BY: ALB

PROJECT JOB#: 3275

CADD#: Arden Woods - NPDES.dwg

Arden Development Partners
215 Executive Drive,
Suite 300
Cranberry Twp, PA 16066

Sheet No.

PCSM-2

POTENTIAL LIMITING SOIL CHARACTERISTICS

MAP SYM	DESCRIPTION	CUT BANKS CAVE	COMPRESSIVE STRENGTH	ERODIBILITY	EASILY ERODIBLE	FLOODING	DEPTH TO SAT. ZONE	POTENTIAL HYDROLOGIC CONNECTIONS	LANDSLIDE PRONE	SLOW PERCOLATION	PIPING	POOR TORSION	FROST ACTION	SHRINK SWELL	POTENTIAL SWIMBLE	WETNESS
B/C	BRIMERTON SILT LOAM 4 TO 15 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X	X	X
CB	CLAYEY SILT LOAM 4 TO 15 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X	X	X
CC	CLAYEY SILT LOAM 15 TO 25 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X	X	X
CD	CLAYEY SILT LOAM 25 TO 35 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X	X	X
CE	CLAYEY SILT LOAM 35 TO 45 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X	X	X
CF	CLAYEY SILT LOAM 45 TO 55 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X	X	X
CG	CLAYEY SILT LOAM 55 TO 65 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X	X	X
CH	CLAYEY SILT LOAM 65 TO 75 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X	X	X
CI	CLAYEY SILT LOAM 75 TO 85 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X	X	X
CJ	CLAYEY SILT LOAM 85 TO 95 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X	X	X
CK	CLAYEY SILT LOAM 95 TO 100 PERCENT SLOPES	X	C/S	X	X	X	X	X	X	X	X	X	X	X	X	X

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PAGE 39

REMEDIAL ACTIONS

SOILS SUSCEPTIBLE TO HIGH WATER TABLES AND/OR PIPING AND SEEPING:

- PROVIDE PUMPED WATER SEDIMENT REMOVAL FACILITIES
- USE CLAY EMBANKMENT CORES
- UTILIZE ANTI-SEEP COLLARS OR GRAVEL PACKS
- SOILS WITH LOW STRENGTH
- PREVENT SATURATION OR OVERLOADING OF SLOPES
- PREVENT REMOVAL OF LATERAL SUPPORT
- IMPORT ROAD FILL MATERIAL

SOILS SUSCEPTIBLE TO CUTBANKS CAVE:

- PREVENT SATURATION OF SLOPES
- PROVIDE ANCHORING OR RETAINING SYSTEMS
- PROVIDE BENCHING TO CATCH FALLING DEBRIS
- PROVIDE TRENCH BOXES FOR UTILITY INSTALLATION

SOILS CORROSIVE TO CONCRETE/STEEL:

- MINIMIZE THE AMOUNT OF SOIL DISTURBANCE
- PROVIDE PROTECTIVE COATING TO CONCRETE AND STEEL
- PROVIDE EXTRA CONCRETE AND STEEL THICKNESS

SOILS THAT ARE POOR SOURCES OF TOPSOIL:

- PERFORM SOIL TESTS TO DETERMINE PROPER APPLICATION OF SOIL AMENDMENTS AND TO DETERMINE THE PROPER MOISTURE CONTENT FOR PROPOSED VEGETATIVE COVER

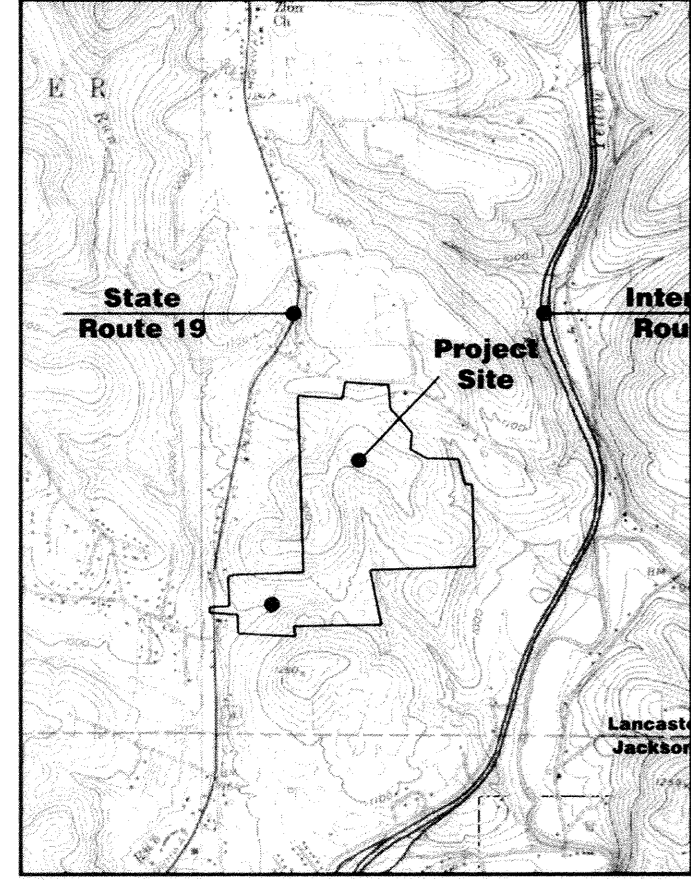
SOILS THAT ARE HYDROIC:

- EXISTING ON-SITE WETLANDS AND STREAMS MUST BE DELINEATED
- NO WORK SHALL BE PERFORMED WITHIN 100 FEET OF ANY WETLAND AREA
- SOILS SUSCEPTIBLE TO MODERATE OR HIGH EROSION POTENTIAL
- LIMIT TIME OF EXPOSURE
- UTILIZE EROSION CONTROL BLANKETS
- SELECT SEED MIXTURES WITH RAPIDLY GERMINATING SPECIES
- SODDING
- USE OF SPECIAL STABILIZATION PRODUCTS

SOILS WITH SLOW PERCOLATION RATES:

- SHOULD INFILTRATION FACILITIES BE USED AT THE SITE. INFILTRATION TESTS SHALL BE PERFORMED TO DETERMINE PROPER PERCOLATION RATES
- SOIL WILL BE AMENDED ACCORDINGLY BASED ON THE RESULTS OF TESTING
- SOILS SUSCEPTIBLE TO SLIPS AND LANDSLIDES
- PREVENT SATURATION OF SLOPES
- PROVIDE ANCHORING OR RETAINING SYSTEMS
- PROVIDE BENCHING TO CATCH FALLING DEBRIS

Site Location Map: Irwin Quad
Scale 1" = 2000'



Post Construction Stormwater Management Notes:

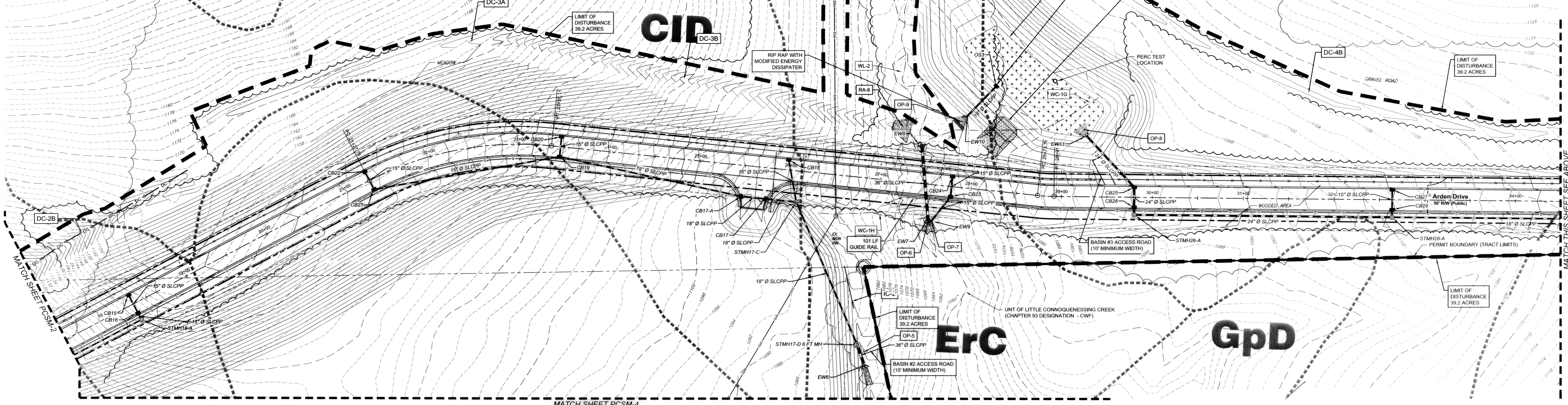
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- RECORD DRAWINGS AS WELL AS A COPY OF THE LEGAL INSTRUMENT REGISTERING THE PCSM FACILITIES WILL BE REQUIRED PRIOR TO OCCUPANCY OR RELEASE OF THE SURETY BOND AS WELL AS TERMINATING THE PERMIT.
- STORMWATER BMP'S ARE FIXTURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL BY THE TOWNSHIP.

POST CONSTRUCTION STORMWATER MANAGEMENT LEGEND

	INFILTRATION AREA
	SOIL BOUNDARIES
	LIMITS OF DISTURBANCE
	NPDES PERMIT BOUNDARY

PROJECT AREAS

TOTAL PERMIT AREA = 195 ± ACRES
DISTURBED AREA = 39.2 ± ACRES



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1/14/19	ISSUED FOR CONSTRUCTION	GLF
12/1/19	RE-ISSUED FOR CONSTRUCTION	GLF
2/21/19	RE-ISSUED FOR CONSTRUCTION	GLF

Professional Seal

Graham Lee Ferry
REGISTERED PROFESSIONAL ENGINEER
PE074237

Prepared By:

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Arden Woods

Prepared For:
Arden Development Partners

Situate In:
Lancaster Twp, Butler County, PA

PCSM PLAN

DRAWING SCALE: 1"=50'
DESIGNED BY: KDP

DATE ISSUED: 06/30/2017
REVIEWED BY: ALB

PROJECT JOB#: 3275

CADD#: Arden Woods - NPDES.dwg

Arden Development Partners
215 Exchange Drive,
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Cranberry Twp, PA 16066

Sheet No.
PCSM-3

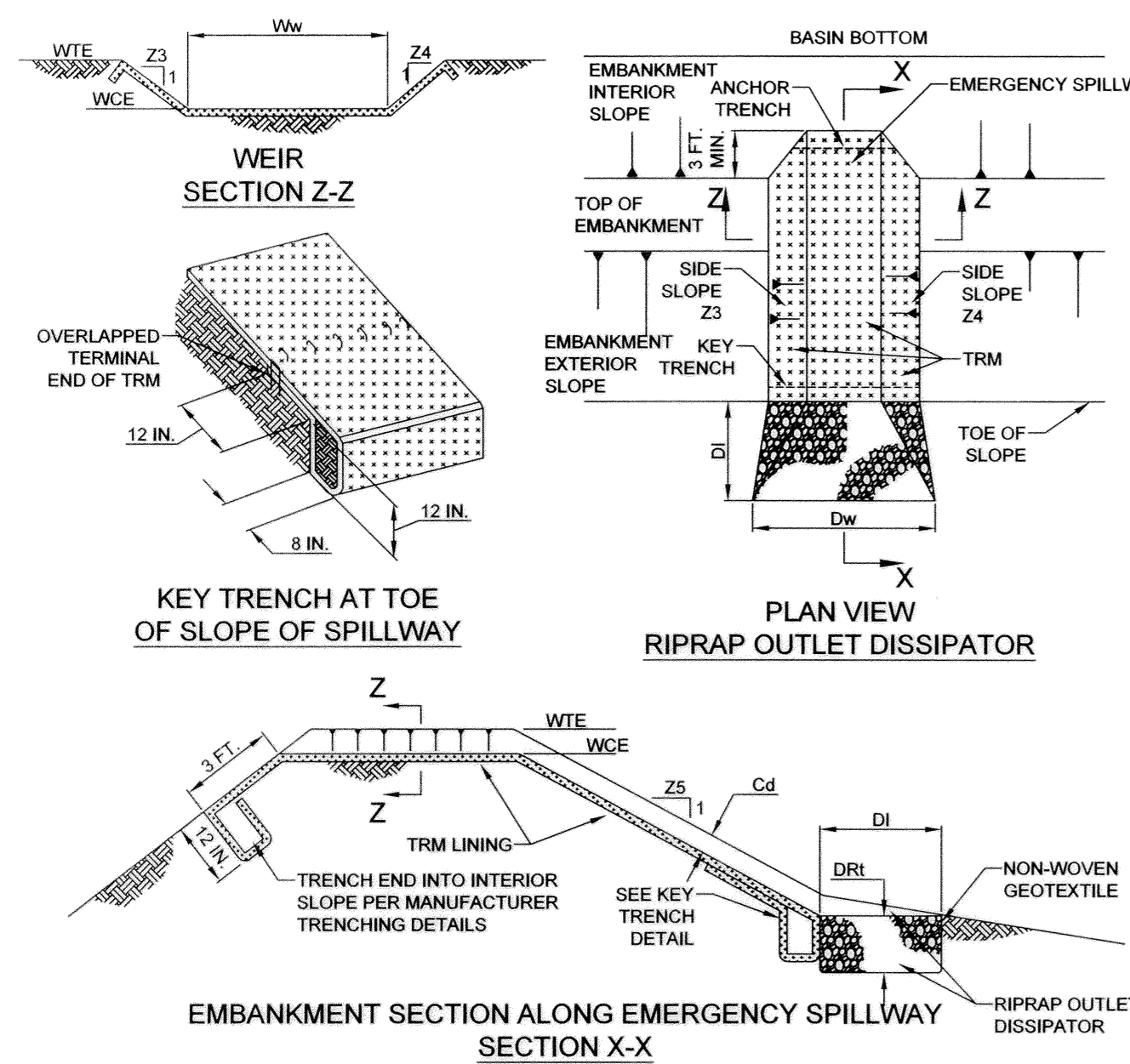


Table with columns: Basin No., Z3 (Ft), Z4 (Ft), Crest Elev. WTE (Ft), W. WTE (Ft), Lining, Channel, Dissipator, Riprap Thick. (In).

HEAVY EQUIPMENT SHALL NOT CROSS OVER SPILLWAY WITHOUT PRECAUTIONS TAKEN TO PROTECT TRM LINING. DISPLACED LINER WITHIN THE SPILLWAY AND/OR OUTLET CHANNEL SHALL BE REPLACED IMMEDIATELY.

Table 1: SEDIMENT BASIN EMERGENCY SPILLWAY WITH TRM LINING

PERMANENT SEEDING SPECIFICATIONS

MATERIALS: TOPSOIL (6" MINIMUM TOPSOIL SHALL BE REQUIRED ON ALL LAWN AREAS), LIMESTONE (ADJUST pH LEVELS TO 6.5 TO 7.0), COMMERCIAL FERTILIZER, INOCULANT, MULCH, SEED MIXTURE. Includes tables for PERMANENT SEEDING MIXTURE and PERMANENT SEEDING.

PREPARATION OF SEEDING: GRADE AS NECESSARY TO BRING SUBGRADE TO A TRUE, SMOOTH SLOPE PARALLEL TO AND SIX INCHES BELOW FINISHED GRADE. PLACE %TOPSOIL/%%OVER SPECIFIED AREAS TO A DEPTH SUFFICIENTLY GREATER THAN SIX (6) OR EIGHT (8) INCHES SO THAT AFTER SETTLEMENT AND LIGHT ROLLING, THE COMPLETE WORK WILL CONFORM TO LINES, GRADES AND ELEVATIONS SHOWN.

Table 2: SEEDING SPECIFICATIONS

811 Know what's below. Call before you dig. POCS SER. #: DESIGN - 20172922564 DIG - 20172922544

PLAN BOOK 378, PAGE 41

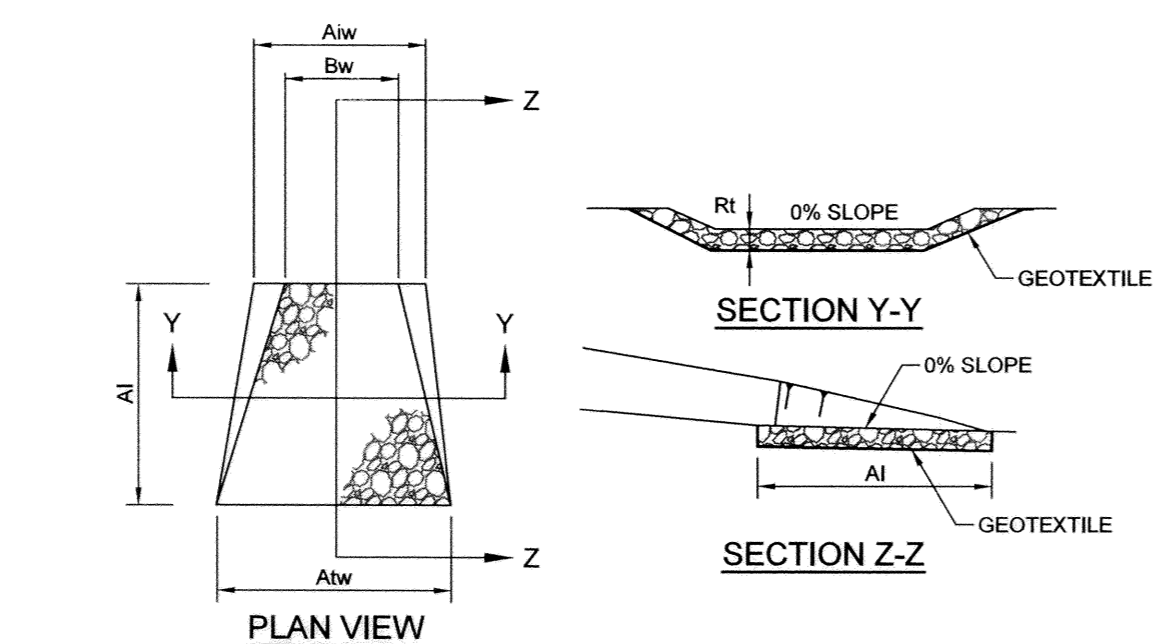


Table for Rock Arpon with columns: Apron no., Bottom Width, Bw (in), Size (R-), Thick, Rt (in), Length, Al Ft, Initial Width, Aiw (ft), Terminal Width, Atw (ft).

NOTES: ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.

Table 3: RIP RAP APRON AT CHANNEL OUTLET

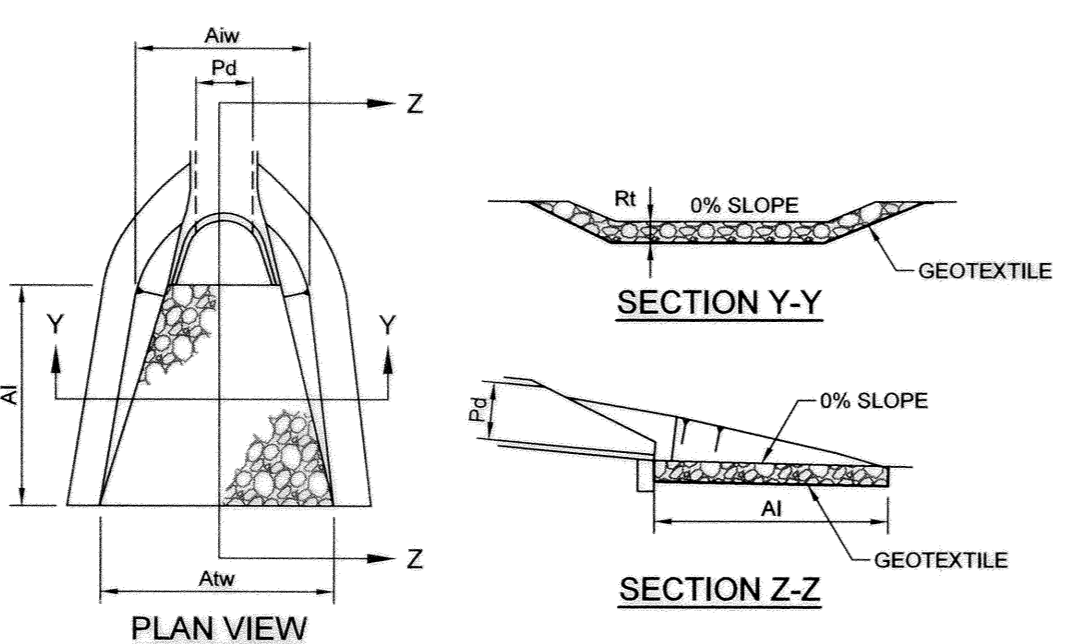


Table for Rock Arpon with columns: Outlet no., Pipe Dia. (pd), Size (R-), Thick, Rt (in), Length, Al Ft, Initial Width, Aiw (ft), Terminal Width, Atw (ft).

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Table 4: RIPRAP APRON AT PIPE OUTLET WITH FLARED END SECTION

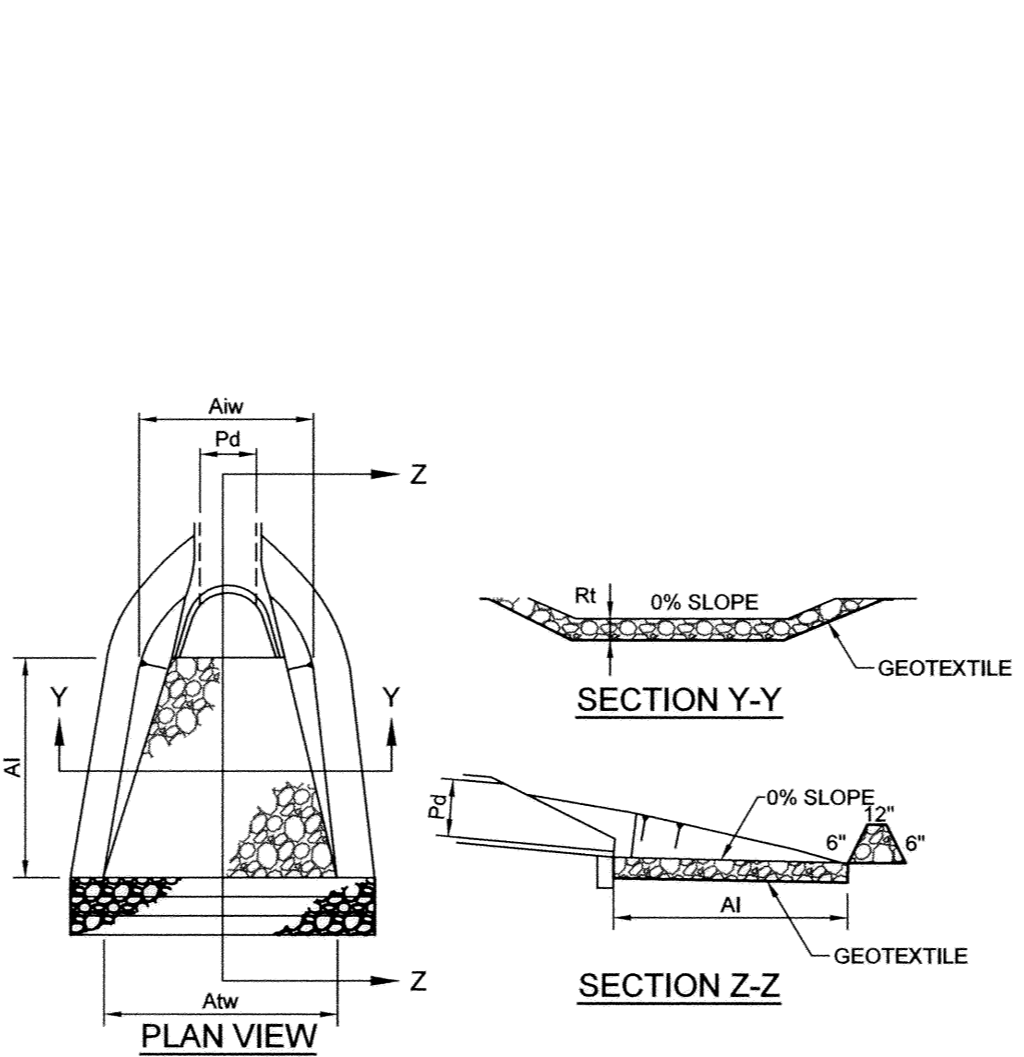


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Table 5: RIPRAP APRON AT PIPE OUTLET WITH MODIFIED ENERGY DISSIPATOR

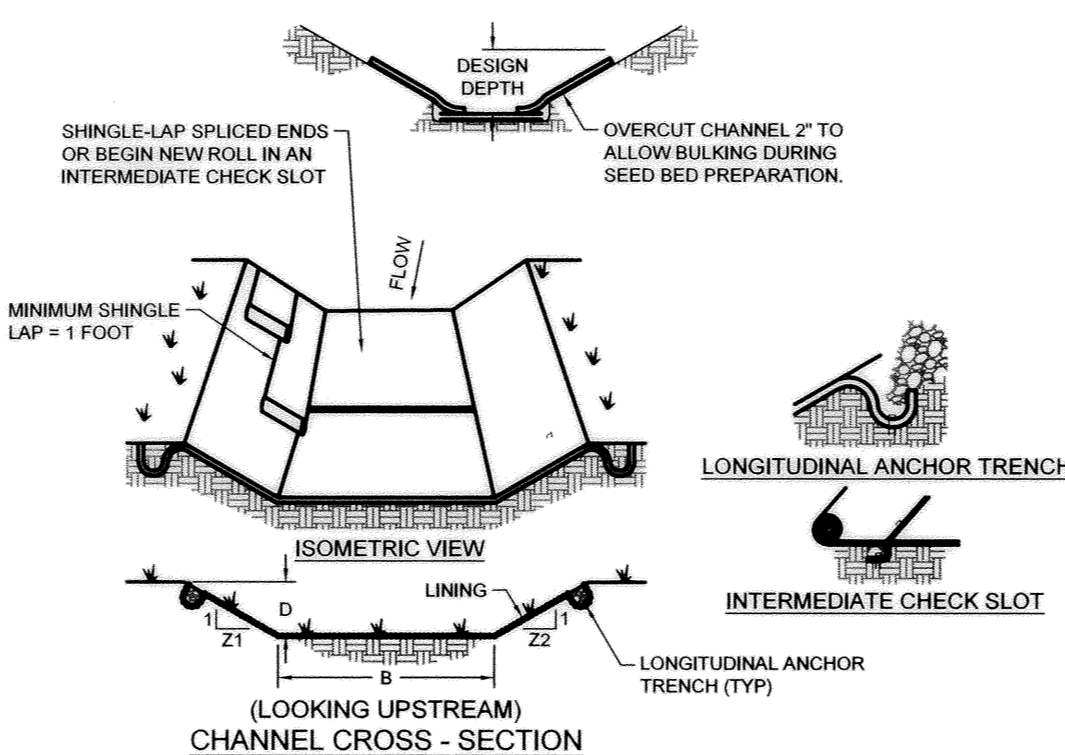


Table for LONGITUDINAL ANCHOR TRENCH with columns: CHANNEL NO., LENGTH (FT), BOTTOM WIDTH (FT), DEPTH (FT), TOP WIDTH (FT), Z1 (FT), Z2 (FT), LINING.

NOTES: PREPARE SOIL AND APPLY SEED BEFORE INSTALLING BLANKETS, MATS, OR OTHER TEMPORARY CHANNEL LINER SYSTEM.

Table 6: INTERCEPTOR / DIVERSION CHANNEL

CONSTRUCTION SEQUENCE

CONSTRUCTION SEQUENCE: 1. STAKE OUT LIMIT OF DISTURBANCE... 2. INSTALL THE ROCK CONSTRUCTION ENTRANCE... 3. INSTALL ANY REQUIRED CONSTRUCTION FENCING... 4. INSTALL ALL COMPOST FILTER SOCKS... 5. BEGIN CLEARING AND GRUBBING OPERATIONS... 6. STRIP TOPSOIL REQUIRED FOR THE INSTALLATION OF SEDIMENT BASINS... 7. BEGIN CONSTRUCTION OF THE SEDIMENT BASIN... 8. BEGIN INSTALLATION OF THE PROPOSED UNDERGROUND UTILITIES... 9. BEGIN INSTALLATION OF THE PROPOSED UNDERGROUND UTILITIES... 10. BEGIN CONSTRUCTION OF THE PROPOSED UNDERGROUND UTILITIES...

Table 9: PCSM-5

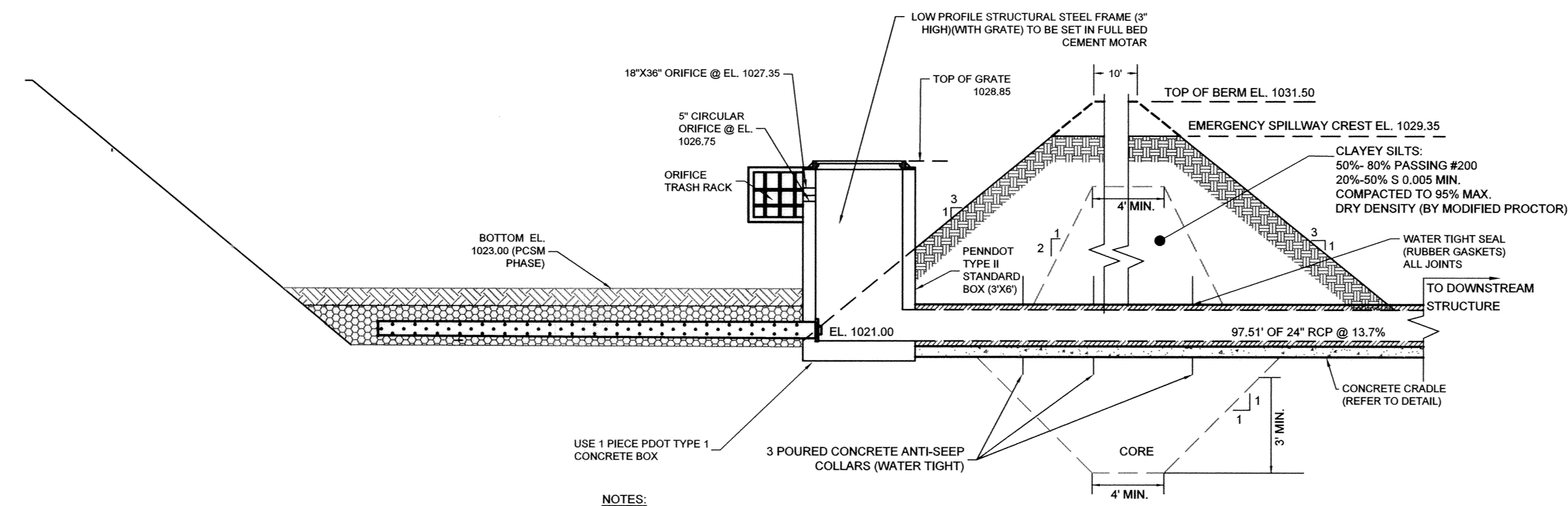
Table with columns: Date, Revision Description, By, Professional Seal, Prepared By.

Arden Woods Residential Street. Prepared For: Arden Development Partners. Sheffler & Company, Inc. ENGINEERING • SURVEYING

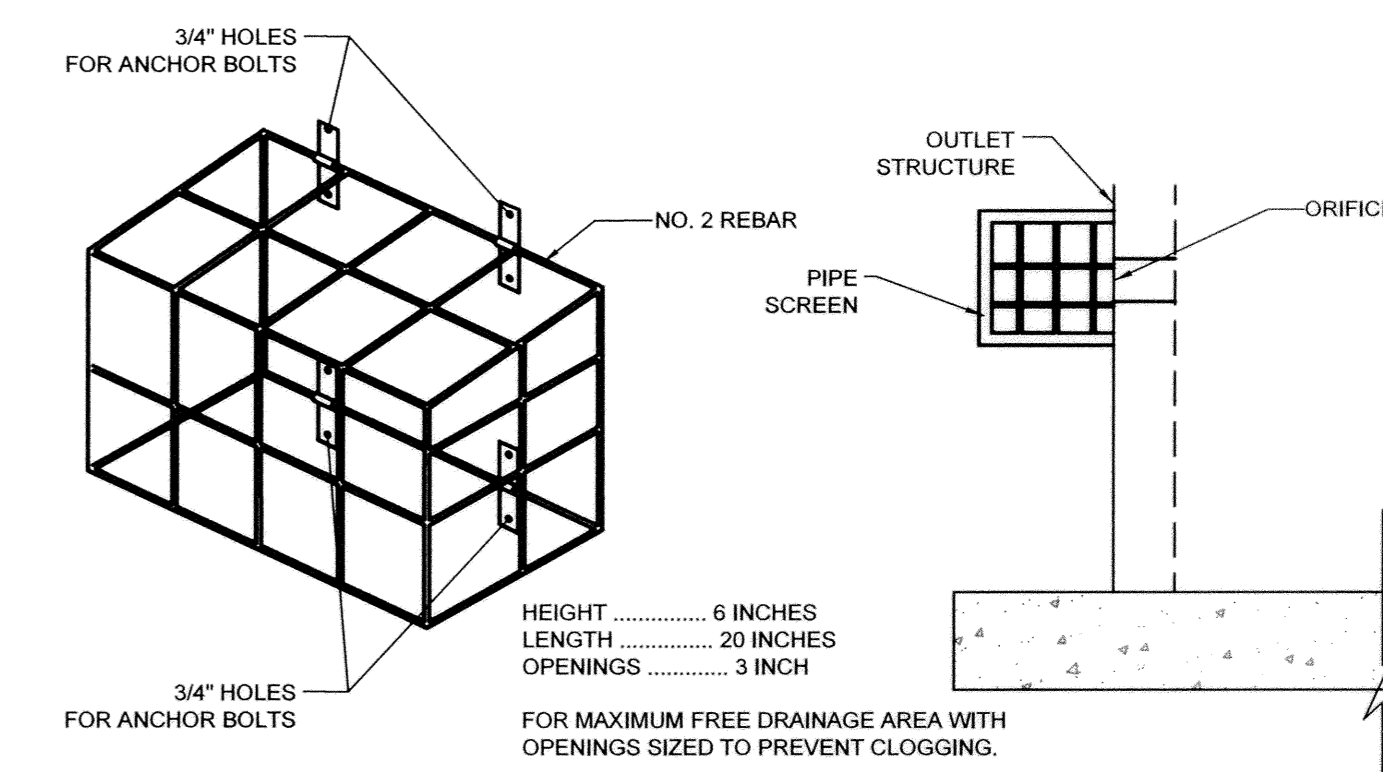
Arden Woods Residential Street. Prepared For: Arden Development Partners. Situate In: Lancaster Twp, Butler County, PA

Table with columns: DRAWING SCALE, DESIGNED BY, DATE ISSUED, REVIEWED BY, PROJECT JOB#, FIELD BOOK #, CADD#.

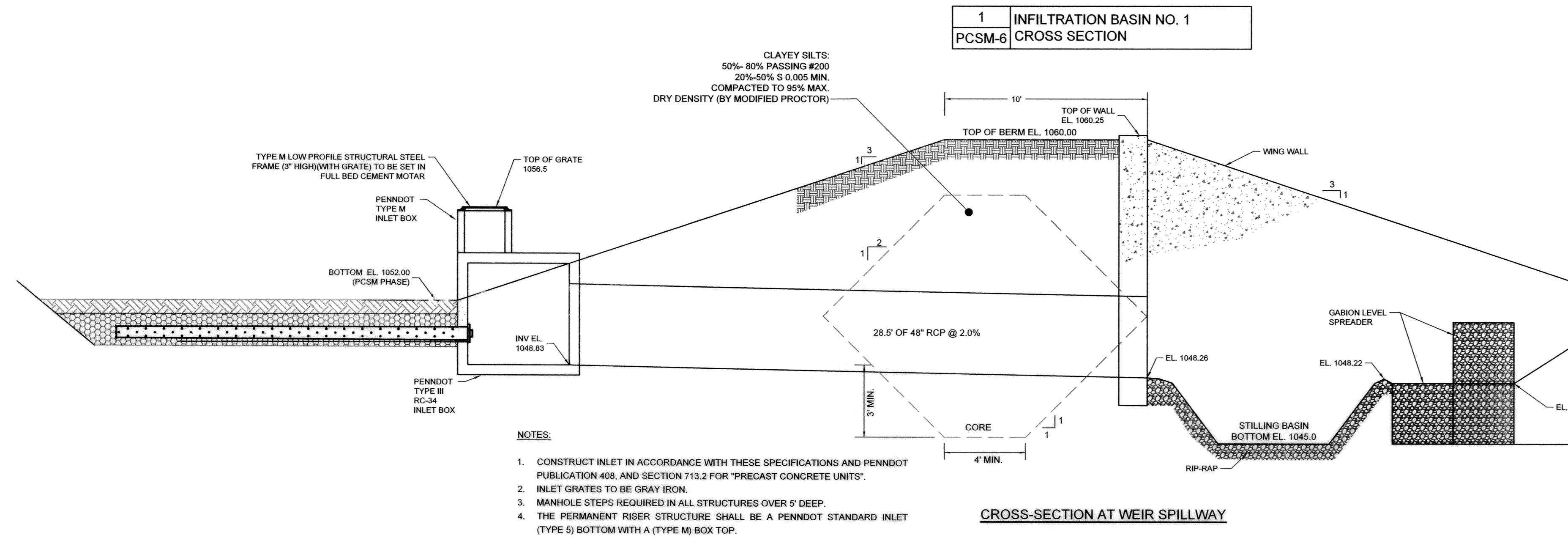
PCSM-5



- 1 INFILTRATION BASIN NO. 1**
PCSM-6
- CROSS SECTION**

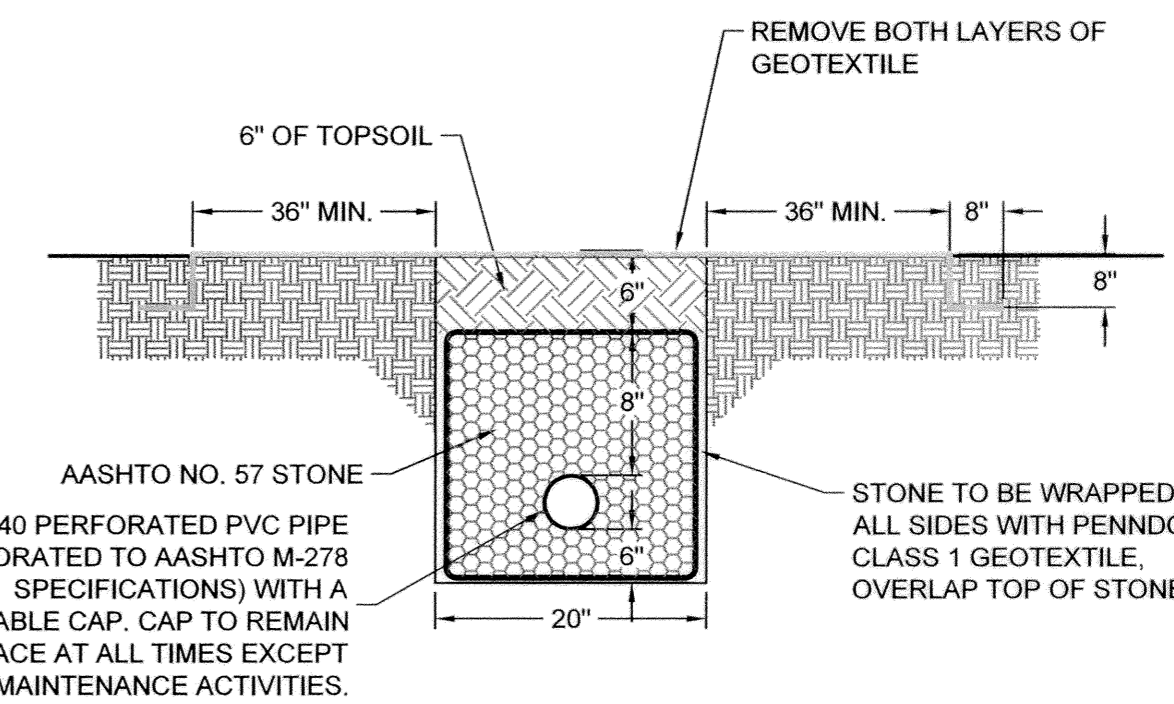
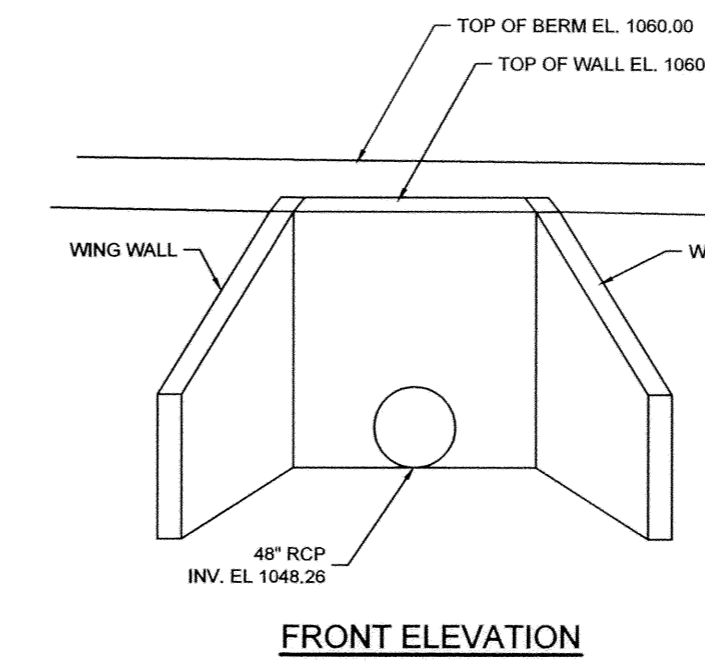


4 ORIFICE REBAR TRASH RACK
PCSM-6 - N.T.S.

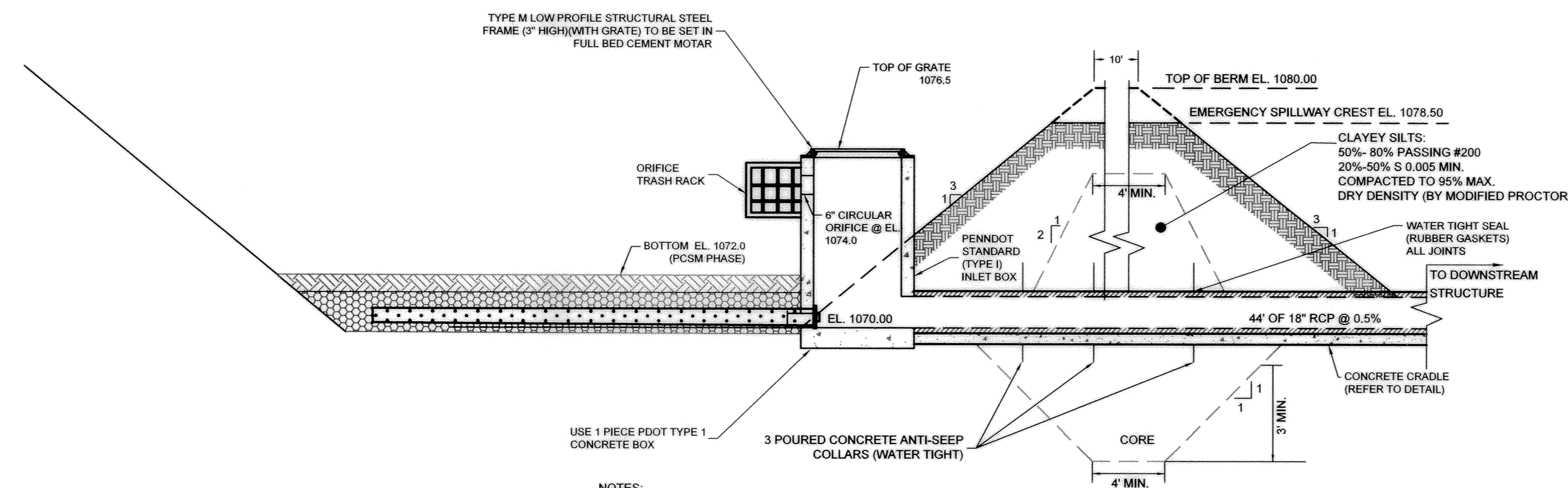
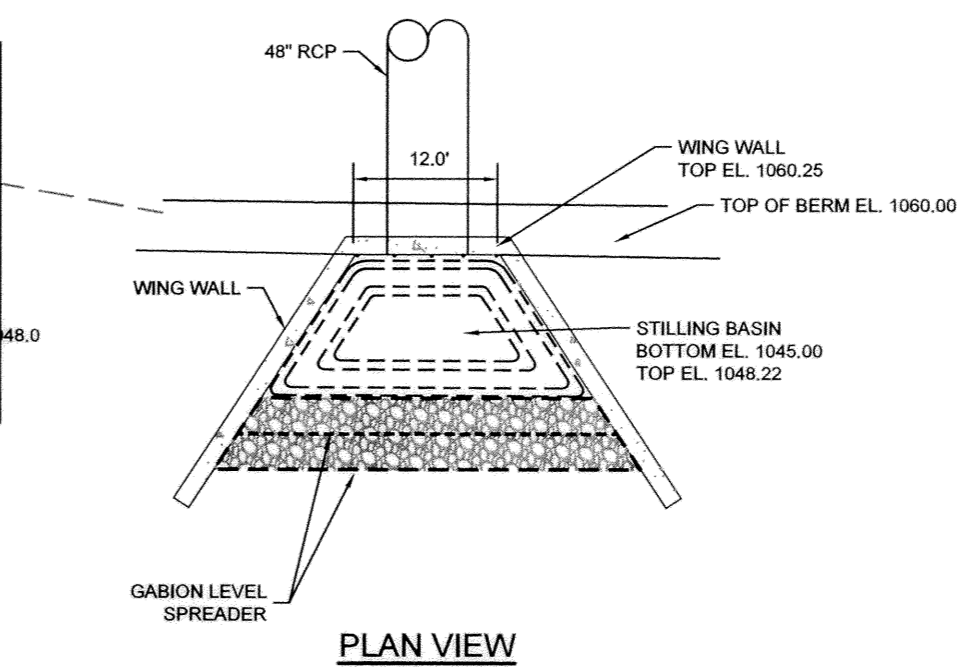


2 INFILTRATION BASIN NO. 2
PCSM-6

OUTFALL



5 4" UNDERDRAIN
PCSM-6 (PERMANENT PHASE)



3 INFILTRATION BASIN NO. 3
PCSM-6

CROSS SECTION

- UPON COMPLETION OF THE PROJECT, RECYCLING OR DISPOSAL OF ALL MATERIALS WHICH COULD CAUSE POLLUTION SHALL BE THE RESPONSIBILITY OF THE EARTHMOVING CONTRACTOR.
- CONSTRUCTION WASTE INCLUDES, BUT IS NOT LIMITED TO, EXCESS SOIL MATERIALS, SILT REMOVED FROM EROSION CONTROL FACILITIES, EXCESS BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, AND OBSOLETE EROSION CONTROL MATERIALS (SILT FENCE, SILT SACKS, ETC.).
- SILT REMOVED FROM SEDIMENT CONTROL FACILITIES SHALL BE SPREAD ON THE TOPSOIL STOCKPILE, OR IN LAWN OR LANDSCAPE AREAS.
- OBSOLETE EROSION CONTROL MATERIALS AND EXCESS BUILDING MATERIALS MUST BE DISPOSED OF AT A DEP APPROVED SITE.
- THERE ARE NO KNOWN NATURALLY OCCURRING GEOLOGIC FORMATIONS OR SOIL CONDITIONS LOCATED ON THE SITE THAT HAVE THE POTENTIAL TO CAUSE POLLUTION DURING CONSTRUCTION. IF SUCH CONDITIONS ARE ENCOUNTERED, STOP WORK AND CONTACT THE GEOGRAPHICAL ENGINEER AND/OR DEP.
- GEOLOGICAL ROCK FORMATIONS OR SOIL CONDITIONS THAT ARE IDENTIFIED BY THE GEOTECHNICAL ENGINEER ON SITE THAT HAVE THE POTENTIAL TO DEGRADE WATER QUALITY WILL BE ISOLATED IN PLACE OR WILL BE RELOCATED ONSITE FOLLOWED BY APPROPRIATE CAPPING WITH AN IMPERVIOUS SURFACE SUCH AS PAVEMENT OR A BUILDING, OR WILL BE EXCAVATED AND REMOVED TO AN OFF-SITE DISPOSAL AREA APPROVED TO HANDLE HAZARDOUS WASTE. DEPENDING ON THE LEVEL OF CONTAMINATION, BLENDINGS OF SOIL MAY ACHIEVE ACCEPTABLE STANDARDS.

6 RECYCLING AND WASTE
PCSM-6 DISPOSAL

Date:	Revision Description:	By:	Professional Seal	Prepared By:
5/17/18	LANCASTER TOWNSHIP RE-SUBMISSION	GLF		Sheffler & Company, Inc. ENGINEERING • SURVEYING 1712 Mount Nebo Road Sewickley, PA 15143 Office Phone: 412-219-4509 Email: Info@ShefflerCo.com
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1/14/19	ISSUED FOR CONSTRUCTION	GLF		
1/27/19	RE-ISSUED FOR CONSTRUCTION	GLF		
2/18/19	RE-ISSUED FOR CONSTRUCTION	GLF		

3 INFILTRATION BASIN NO. 3
PCSM-6

CROSS SECTION

Arden Woods Residential Street

Prepared For:
Arden Development Partners

Situate In:
Lancaster Twp, Butler County, PA

PCSM DETAILS		Sheet No.
DRAWING SCALE:	DESIGNED BY: JRG	PCSM-6
DATE ISSUED: 02/01/2018	REVIEWED BY: GLF	
PROJECT JOB#: 3275	FIELD BOOK #:	
CADD#:		

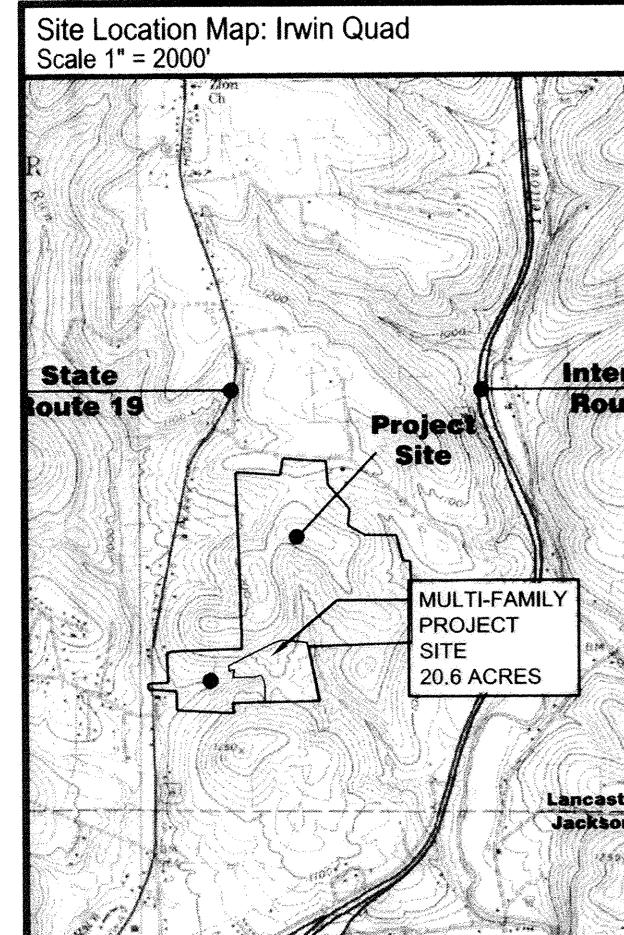
Arden Development Partners
215 Executive Drive,
Suite 300
Cranberry Twp, PA 16806

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POCS SER. #: DESIGN - 20172922564
DIG - 20172922544

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PLAN BOOK	PAGE
378	42



State Route 19
Interstate Route 76
Project Site
MULTI-FAMILY PROJECT SITE
20.6 ACRES
Lancaster Township
Jackson Town

CID

Erc

CIC

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PERMANENT SEEDING SPECIFICATIONS

MATERIALS:

TOPSOIL 6" (MINIMUM) TOPSOIL SHALL BE REQUIRED ON ALL LAWN AREAS.

LIMESTONE

(ADJUST pH LEVELS TO 6.5 TO 7.0). APPLY AT A RATE OF 6 TON/AC (275 LB/1,000 SF), UNLESS OTHERWISE INDICATED BY SOIL TESTS.

COMMERCIAL FERTILIZER

IN THE ABSENCE OF A SOIL TEST, USE 1000 LB/AC OF 10-20-20 (23 LB/1000 SF) MIXED INTO SEEDBED PRIOR TO SEEDING, OR IN A TANK WITH SEED WHEN HYDROSEEDING.

INOCULANT

INOCULANT FOR TREATING LEGUMINOUS SEEDS SHALL BE A STANDARD COMMERCIAL PRODUCT CONSISTING OF A SUITABLE CARRIER CONTAINING A CULTURE OF NITROGEN FIXING BACTERIA SPECIFIC FOR SEEDS TO BE INOCULATED. INOCULANT SHALL NOT BE USED LATER THAN DATE INDICATED ON THE CONTAINER.

MULCH

CLEAN OAT OR WHEAT STRAW SHALL BE FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED OR NOXIOUS WEEDS AS DEFINED BY THE PENNSYLVANIA SEED ACT 1947. APPLY AT A RATE OF 100 POUNDS PER 1,000 SQUARE FEET (3 TONS PER ACRE). PRECAUTIONS SHALL BE TAKEN TO STABILIZE MULCH UNTIL THE VEGETATIVE COVER IS ESTABLISHED.

SEED MIXTURE

SEED MIXTURE SHALL BEAR A GUARANTEED STATEMENT OF ANALYSIS AND SHALL BE COMPOSED OF THE FOLLOWING VARIETIES AND MIXED IN PROPORTIONS SPECIFIED.

PERMANENT SEEDING MIXTURE (PADOT FORMULA 'B')	PROPORTION BY WEIGHT	MINIMUM PURITY	MINIMUM GERMINATION
PERENNIAL RYEGRASS MIXTURE (LOLUM PERENNE) - A COMBINATION OF IMPROVED CERTIFIED VARIETIES WITH NO ONE VARIETY EXCEEDING 50% OF THE TOTAL RYEGRASS COMPONENT.	20%	98%	90%
CREeping RED FESCUE OR CHEWINGS FESCUE	30%	98%	85%
KENTUCKY BLUEGRASS MIXTURE (POA PRATENSIS) - A COMBINATION OF IMPROVED CERTIFIED VARIETIES WITH NO ONE VARIETY EXCEEDING 25% OF THE TOTAL BLUEGRASS COMPONENT.	50%	98%	80%

PERMANENT SEEDING

PERMANENT SEEDING SHALL BE APPLIED AT A RATE OF 21 POUNDS PER 1,000 SQUARE YARDS.

PREPARATION OF SEEDING

GRADE AS NECESSARY TO BRING SUBGRADE TO A TRUE, SMOOTH SLOPE PARALLEL TO AND SIX INCHES BELOW FINISHED GRADE. PLACE 1/2" TOPSOIL OVER SPECIFIED AREAS TO A DEPTH SUFFICIENTLY GREATER THAN SIX (6) OR EIGHT (8) INCHES SO THAT AFTER SETTLEMENT AND LIGHT ROLLING, THE COMPLETE WORK WILL CONFORM TO LINES, GRADES AND ELEVATIONS SHOWN.

FERTILIZER AND AGRICULTURAL LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL BY ROTOTILLING OR OTHER METHOD TO A MINIMUM DEPTH OF FOUR (4) INCHES. THE ENTIRE SURFACE SHALL THEN BE REGRADED AND ROLLED. AREAS TO BE SEEDING SHALL THEN BE LOOSENEED TO A DEPTH OF TWO (2) INCHES. SEEDING SHALL BE DONE IN TWO SEPARATE OPERATIONS. THE SECOND SEEDING SHALL BE DONE IMMEDIATELY AFTER THE FIRST AND AT RIGHT ANGLES TO THE FIRST SEEDING AND LIGHTLY RAKED INTO THE SOIL. MULCH SEEDING AREAS IMMEDIATELY AFTER SEEDING.

UTILITY INSTALLATION

THE FOLLOWING CONSTRUCTION SEQUENCE OUTLINES THE PRESCRIBED SOIL EROSION AND SEDIMENTATION CONTROL MEASURES TO BE USED IN ASSOCIATION WITH THE INSTALLATION OF UTILITY OR SEWER LINES THAT ARE NOT SITUATED WITHIN THE AREAS CONTROLLED BY OTHER SEDIMENT CONTROL MEASURES.

1. CONSTRUCTION REQUIREMENTS:

- a. LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTURBANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
 - b. WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION, AND BACKFILLING WILL BE SELF-CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
 - c. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION, AND BACKFILLING THAT CAN BE COMPLETED WITHIN THE SAME DAY.
- 2. TRENCH PLUGS WILL BE SPACED AND CONSTRUCTED AS DETAILED ON THE PLANS.**
- 3. AT ALL CROSSINGS OF WATERS OF THE COMMONWEALTH (IF APPLICABLE), TRENCH PLUGS WILL BE INSTALLED AT THE BANKS AFTER TRENCH EXCAVATION. THE PLUGS MAY BE TEMPORARILY REMOVED WHEN PLACING THE PIPE, BUT THEN REPLACED.**
- 4. CONSTRUCTION OF THE CROSSINGS WILL BE IN ACCORDANCE WITH PROCEDURES PRESCRIBED.**
- a. WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING, BEFORE PIPE PLACEMENT AND/OR BACKFILLING.
 - b. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES / FACILITIES WILL BE INSTALLED AS ILLUSTRATED ON THE PLANS. SEEDING AND MULCHING OF ALL DISTURBED AREAS WILL BE DONE UPON COMPLETION OF GRADING OPERATIONS.
 - c. INLET PROTECTION SHALL BE PROVIDED IMMEDIATELY FOLLOWING CONSTRUCTION OF THE INLET.
- 5. CONSTRUCTION OCCURRING IN AREAS THAT SHALL IMPACT A DELINEATED STREAM, SHALL BE SUPPLEMENTED WITH ADDITIONAL, BY-PASS PUMPING. REFER TO THE DETAILS INCLUDED ON THE PLAN DRAWINGS, AS WELL AS THE ACCOMPANYING DETAIL-SPECIFIC CONSTRUCTION SEQUENCE. ALL EARTHWORK OPERATIONS CONDUCTED WITHIN A STREAM AREA, SHALL BE COMPLETED PER THE REQUIREMENTS OF §102.11(A)(1).**
- 6. EXCEPTIONS:**

IN CERTAIN CASES, TRENCHES CANNOT BE BACKFILLED UNTIL THE PIPE ANCHORS AND OTHER PERMANENT FEATURES ARE INSPECTED. IN THESE CASES, ALL THE REQUIREMENTS LISTED UNDER ITEM 2 WILL REMAIN IN EFFECT WITH THE FOLLOWING EXCEPTION:
IF DAILY BACKFILLING IS DELAYED, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS, APPROPRIATE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES / FACILITIES WILL BE INSTALLED, AND THE AREA SEEDING AND MULCHED THE SAME DAY.

- UPON COMPLETION OF THE PROJECT, RECYCLING OR DISPOSAL OF ALL MATERIALS WHICH COULD CAUSE POLLUTION SHALL BE THE RESPONSIBILITY OF THE EARTHMOVING CONTRACTOR.
- CONSTRUCTION WASTE INCLUDES, BUT IS NOT LIMITED TO, EXCESS SOIL MATERIALS, SILT REMOVED FROM EROSION CONTROL FACILITIES, EXCESS BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, AND OBSOLETE EROSION CONTROL MATERIALS (SILT FENCE, SILT SACKS, ETC.).
- SILT REMOVED FROM SEDIMENT CONTROL FACILITIES SHALL BE SPREAD ON THE TOPSOIL STOCKPILE, OR IN LAWN OR LANDSCAPE AREAS.
- OBSOLETE EROSION CONTROL MATERIALS AND EXCESS BUILDING MATERIALS MUST BE DISPOSED OF AT A DEP APPROVED SITE.
- THERE ARE NO KNOWN NATURALLY OCCURRING GEOLOGIC FORMATIONS OR SOIL CONDITIONS LOCATED ON THE SITE THAT HAVE THE POTENTIAL TO CAUSE POLLUTION DURING CONSTRUCTION. IF SUCH CONDITIONS ARE ENCOUNTERED, STOP WORK AND CONTACT THE GEOGRAPHICAL ENGINEER AND/OR DEP.
- GEOLOGICAL ROCK FORMATIONS OR SOIL CONDITIONS THAT ARE IDENTIFIED BY THE GEOTECHNICAL ENGINEER ON SITE THAT HAVE THE POTENTIAL TO DEGRADE WATER QUALITY WILL BE ISOLATED IN PLACE OR WILL BE RELOCATED ONSITE FOLLOWED BY APPROPRIATE CAPPING WITH AN IMPERVIOUS SURFACE SUCH AS PAVEMENT OR A BUILDING, OR WILL BE EXCAVATED AND REMOVED TO AN OFF-SITE DISPOSAL AREA APPROVED TO HANDLE HAZARDOUS WASTE. DEPENDING ON THE LEVEL OF CONTAMINATION, BLENDINGS OF SOIL MAY ACHIEVE ACCEPTABLE STANDARDS.

1	RECYCLING AND WASTE DISPOSAL
PCSM-2	

2	SEEDING SPECIFICATIONS
PCSM-2	

3	PCSM SEQUENCE
PCSM-2	

811 Know what's below. Call before you dig.

POCS SER. #: DESIGN - 20172922564
DIG - 20172922544

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

PLAN BOOK	PAGE
378	44

Date:	Revision Description:	By:
5/17/18	LANCASTER TOWNSHIP RE-SUBMISSION	GLF
6/11/18	LANCASTER TOWNSHIP RE-SUBMISSION	GLF
1/14/19	ISSUED FOR CONSTRUCTION	GLF
12/1/19	RE-ISSUED FOR CONSTRUCTION	GLF
2/19/19	RE-ISSUED FOR CONSTRUCTION	GLF

Professional Seal

Graham Lee Ferry
ENGINEER
PE074237

Prepared For:

Sheffler & Company, Inc.
ENGINEERING • SURVEYING

1712 Mount Nebo Road
Sewickley, PA 15143

Office Phone: 412-219-4509
Email: Info@ShefflerCo.com

Arden Woods Residential Street

Prepared For:

Arden Development Partners

Situate In:

Lancaster Twp, Butler County, PA

PCSM DETAILS

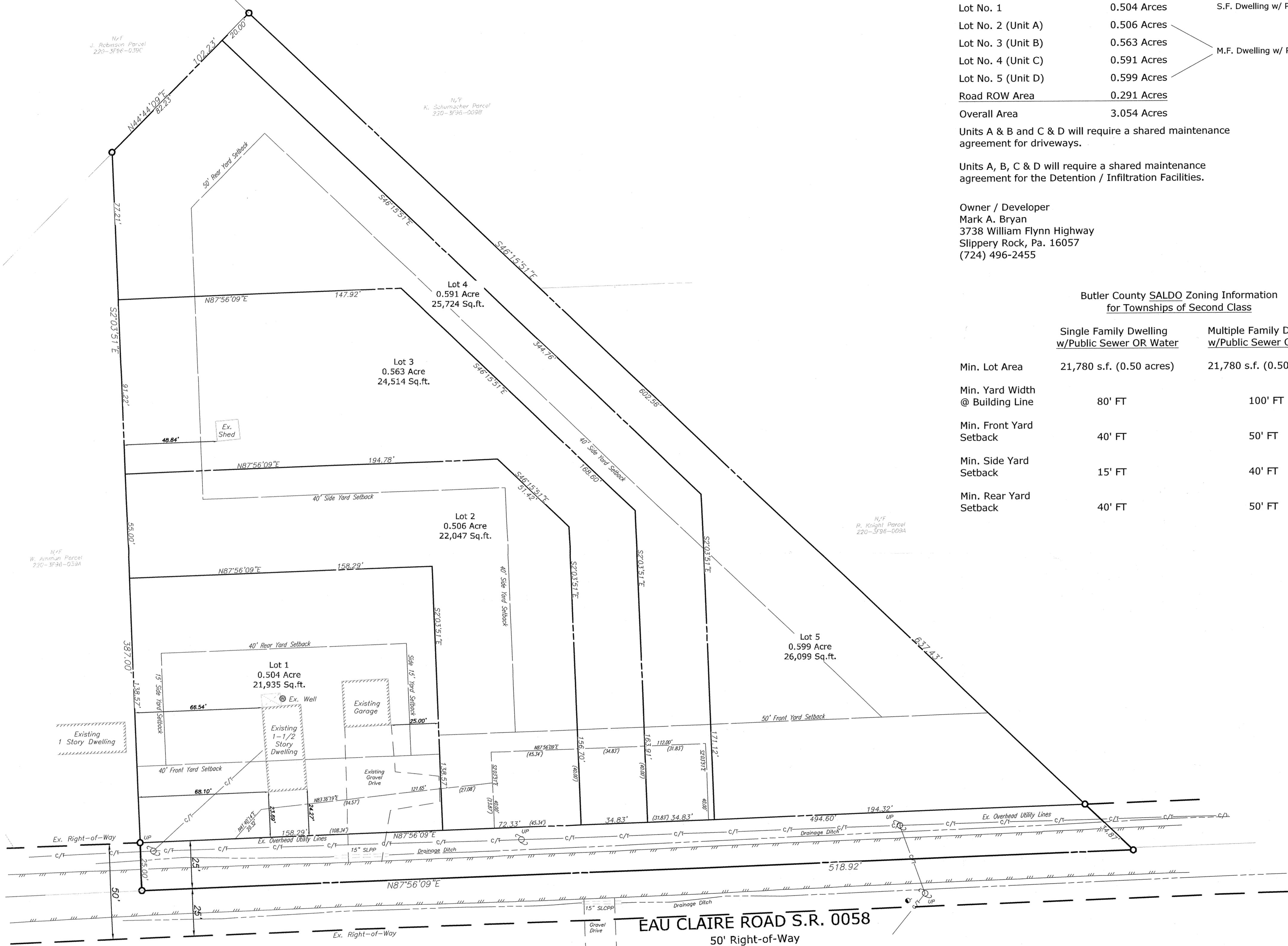
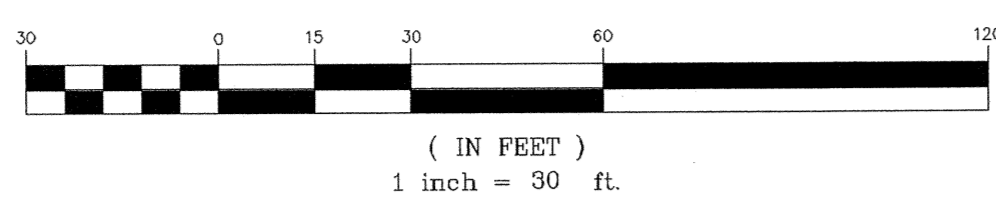
DRAWING SCALE: NTS	DESIGNED BY: JRG
DATE ISSUED: 02/01/2018	REVIEWED BY: GLF
PROJECT JOB#: 3275	FIELD BOOK #:
CADD#:	

Arden Development Partners
215 Executive Drive,
Suite 300
Cranberry Twp, PA 16066

Sheet No.

PCSM-2

GRAPHIC SCALE



Zoning Information

Current Zoning - No Municipal Zoning
 No. of Parcels/Lots 5 Lots

Lot No. 1	0.504 Acres	S.F. Dwelling w/ Public Sewer OR Water
Lot No. 2 (Unit A)	0.506 Acres	M.F. Dwelling w/ Public Sewer OR Water
Lot No. 3 (Unit B)	0.563 Acres	
Lot No. 4 (Unit C)	0.591 Acres	
Lot No. 5 (Unit D)	0.599 Acres	
Road ROW Area	0.291 Acres	
Overall Area	3.054 Acres	

Units A & B and C & D will require a shared maintenance agreement for driveways.

Units A, B, C & D will require a shared maintenance agreement for the Detention / Infiltration Facilities.

Owner / Developer
 Mark A. Bryan
 3738 William Flynn Highway
 Slippery Rock, Pa. 16057
 (724) 496-2455

Butler County SALDO Zoning Information
 for Townships of Second Class

	Single Family Dwelling w/Public Sewer OR Water	Multiple Family Dwellings w/Public Sewer OR Water
Min. Lot Area	21,780 s.f. (0.50 acres)	21,780 s.f. (0.50 acres)
Min. Yard Width @ Building Line	80' FT	100' FT
Min. Front Yard Setback	40' FT	50' FT
Min. Side Yard Setback	15' FT	40' FT
Min. Rear Yard Setback	40' FT	50' FT

Instr: 201906210011488
 Page 1 of 16-00
 Michele Mustello
 Butler County Recorder PA
 6212019 9:31 AM
 1309030144

OWNERS ADOPTION

KNOW ALL MEN BY THESE PRESENTS, THAT I MARK A. BRYAN OF THE TOWNSHIP OF MERCER, OF BUTLER COUNTY, OF THE COMMONWEALTH OF PENNSYLVANIA, FOR MYSELF, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS MY PLAN OF SUBDIVISION OF MY PROPERTY, SITUATED IN THE TOWNSHIP OF MERCER, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVER ADVANTAGES ACCRUING TO (ME, US), DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE TOWNSHIP OF MERCER OF COUNTY OF BUTLER, I MARK A. BRYAN HEREBY AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE TOWNSHIP OF MERCER, OF BUTLER COUNTY THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON MARK A. BRYAN MY, HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 30th DAY OF May, A.D. 2019

ATTEST:
 Mark A. Bryan (OWNER)

Marcia L. Cummings
 NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA
 NOTARIAL SEAL
 MARCIA L. CUMMINGS, Notary Public
 Slippery Rock Township, Butler County
 My Commission Expires December 5, 2019

MY COMMISSION EXPIRES THE 5th DAY OF December, A.D. 2019.

INDIVIDUAL ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA | SS:
 COUNTY OF Butler | SS:

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED THE ABOVE NAMED MARK A. BRYAN WHO ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN OF SUBDIVISION TO BE HIS, ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH:

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 30th DAY OF May, A.D. 2019.

Marcia L. Cummings
 NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA
 NOTARIAL SEAL
 MARCIA L. CUMMINGS, Notary Public
 Slippery Rock Township, Butler County
 My Commission Expires December 5, 2019

MY COMMISSION EXPIRES THE 5th DAY OF December, A.D. 2019.

REVIEW BY TOWNSHIP OF MERCER

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MERCER, BUTLER COUNTY, PENNSYLVANIA, HEREBY GIVES PUBLIC NOTICE THAT IT IS APPROVING THIS PLAN OF SUBDIVISION FOR RECORDING PURPOSES ONLY. THE APPROVAL OF THIS SUBDIVISION PLAN BY THE TOWNSHIP OF MERCER DOES NOT CONSTITUTE AN ACCEPTANCE OF THE ROADS, STREETS, ALLEYS, STORMWATER AND SANITARY SEWAGE DRAINAGE FACILITIES, EASEMENTS OR RIGHTS-OF-WAY, WATER MAINS OR ANY OTHER SERVICES OR IMPROVEMENTS SHOWN ON THIS PLAN NOR AN ASSUMPTION OF LIABILITY OR RESPONSIBILITY, NOR WILL THE SAME BE ACCEPTED OR MAINTAINED UNTIL CONSTRUCTED IN ACCORDANCE WITH TOWNSHIP SPECIFICATIONS AND REQUIREMENTS AND OFFICIALLY ACCEPTED BY ACTION OF THE TOWNSHIP SUPERVISORS.

THIS PLAN OF SUBDIVISION REVIEWED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MERCER, BUTLER COUNTY, PENNSYLVANIA ON THIS 17th DAY OF June, 2019.

ATTEST:
 David L. Hudon
 SECRETARY, BOARD OF SUPERVISORS

Richard W. Stuebel
 CHAIRMAN, BOARD OF SUPERVISORS



PROFESSIONAL LAND SURVEYOR CERTIFICATE

I, MARK B. SCHMIDT, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES, AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS AS SHOWN ON THE PLAN HAVE BEEN, OR WILL BE SET, AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

Signature of Mark B. Schmidt

SU-36950-E

5-23-2019
 DATE

BUTLER COUNTY PLANNING COMMISSION ACKNOWLEDGMENT #19063

RE-APPROVED BY THE BUTLER COUNTY PLANNING COMMISSION AT THE MEETING HELD THIS 21ST DAY OF JUNE 2019
 Signature of Chairperson

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA | SS:
 COUNTY OF BUTLER

RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, PLATS, ETC., IN SAID COUNTY, IN PLAN BOOK VOLUME 378 PAGE 45

GIVEN UNDER MY HAND AND SEAL THIS 21st DAY OF June, 2019.

Signature of Michele M. Mustello

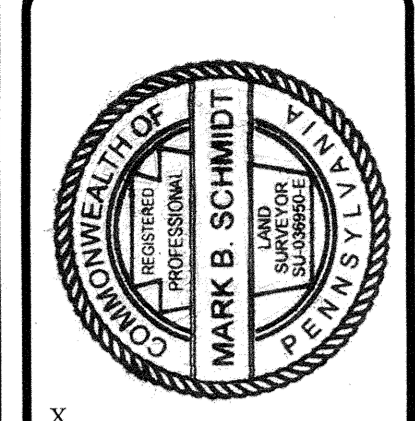
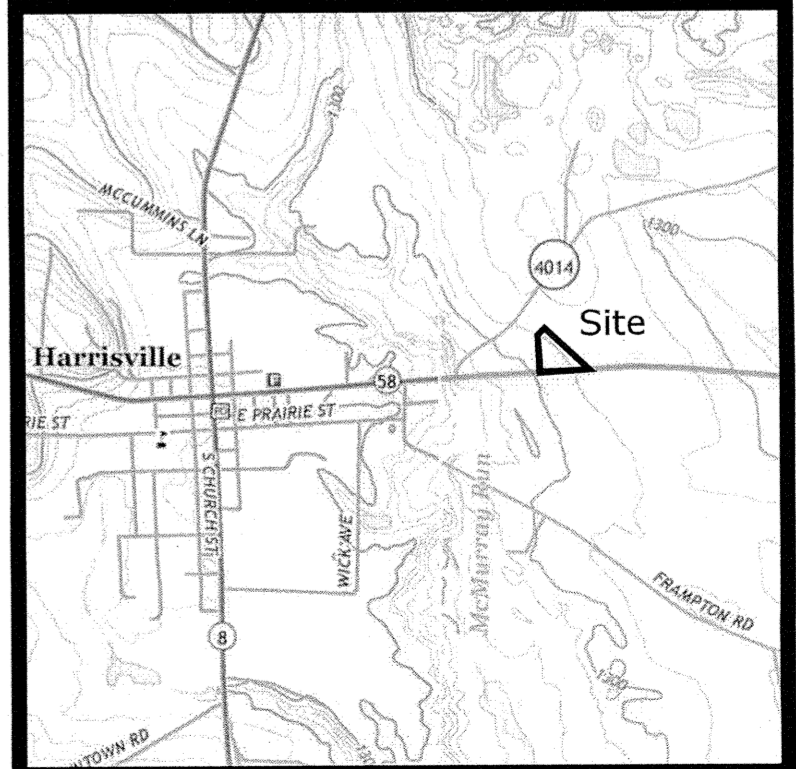
MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2020



GENERAL NOTES:

- ALL DEEDS OR PLAN BEARINGS AND COORDINATES HAVE BEEN ROTATED AND CONVERTED TO PA STATE PLANE COORDINATE SYSTEM SOUTH ZONE, NORTH AMERICAN DATUM OF 1983, BOUNDARY BASED ON NORTHERN SURVEYORS & ASSOCIATES SURVEY DATED 4-30-18, Job No. 3025
- TOPOGRAPHIC MAPPING IS BASED GIS TOPOGRAPHIC MAPPING FROM THE PENNSYLVANIA SPATIAL DATA ACCESS WEBSITE DATED 2006-2008. THE VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO § 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW" BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED.
- THIS SITE IS NOT WITHIN A DESIGNATED FLOODPLAIN AS DETERMINED FROM THE FLOOD INSURANCE STUDY FOR MERCER TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, SEE F.E.M.A. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 422352 0040 D, EFFECTIVE DATE: AUGUST 2, 2018, DESIGNATED ZONE "X" AND EXPLAINED AS "AREA OF MINIMAL FLOOD HAZARD".
- PUBLIC SANITARY SEWER SERVICE IS CURRENTLY PLANNED FOR THIS DEVELOPMENT.
- PRIVATE WATERSERVICE.
- LOT 1 TO BE SERVICED BY EXISTING WELL LOCATED ADJACENT TO EXISTING DWELLING.
- LOTS 2, 3, 4 & 5 SHALL BE SERVICED BY PROPOSED INDIVIDUAL WELLS.

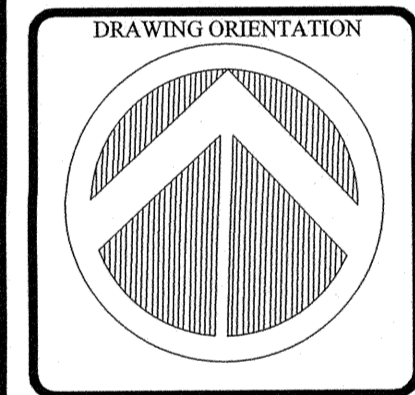
PLAN BOOK	PAGE
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Corporate Office
 Elms Technical Center
 35 Wilson Street, Suite 201
 Pittsburgh, PA 15223
 PHONE: (412) 781-9660
 FAX: (412) 781-5904

Mars Office
 123 Ridge Road, Suite B
 Valencia, PA 16059
 PHONE: (724) 625-4544
 FAX: (724) 625-4549

DATE ISSUED:	May 22, 2019
REVISIONS:	
NO.	DESCRIPTION
1	DATE



PROJECT TITLE:
Bryan Plan of Lots

Plan for Recording

CLIENT ADDRESS:
 Mark Bryan
 3738 William Flynn Hwy. Slippery Rock, Pa. 16057

DRAWN BY: Mal
 CHECKED BY:

CAD FILE: 12879 Const.dwg
 HORZ. SCALE: VERT. SCALE:
 1" = 30'

SHEET: OF

REC-1

PROJECT #: 12879

OWNER'S ADOPTION
 WE, KENNETH A. CARLIN AND KAREN A. CARLIN, OWNERS OF THE LAND SHOWN ON THE CARLIN/STUDENY PLAN, HEREBY ADOPT THIS PLAN AS OUR PLAN OF LOTS AND IRREVOCABLY DEDICATE ALL STREET AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. ANY FUTURE ACCEPTANCE OF SAID PUBLIC STREETS OR PROPERTY BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF MIDDLESEX, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF MIDDLESEX, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC STREETS OR PROPERTY AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON OUR HEIRS, EXECUTORS, AND ASSIGNS.

Kenneth A. Carlin
 KENNETH A. CARLIN

Karen A. Carlin
 KAREN A. CARLIN

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, KENNETH A. CARLIN AND KAREN A. CARLIN, AND ACKNOWLEDGED THE FOREGOING ADOPTION, DEDICATION AND PLAN TO BE THEIR ACT AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 21 DAY OF JULY, 2019.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023.

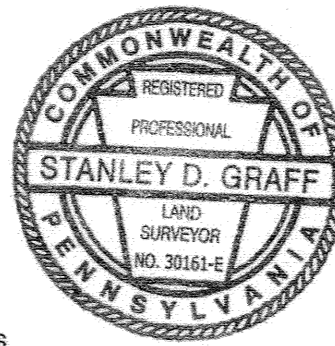
Debra L. Jeffcoat
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
 Debra L. Jeffcoat, Notary Public
 Butler County
 My commission expires February 17, 2023
 Commission number 1152784
 Member, Pennsylvania Association of Notaries

SURVEYOR'S CERTIFICATION
 I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THAT THE SURVEY AND PLAN SHOWN HEREON CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME.

19 APRIL '19
 DATE

Stanley D. Graff
 STANLEY D. GRAFF
 REG. NO. SL0000161E



MUNICIPAL DECLARATIONS
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF MIDDLESEX HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LAND OR PUBLIC UTILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

Secretary
 SECRETARY

Chairperson
 CHAIRPERSON
 BOARD OF SUPERVISORS

MUNICIPAL REVIEW AND APPROVAL STATEMENTS
 APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MIDDLESEX BY RESOLUTION NO. 7 EFFECTIVE THIS 17th DAY OF April, 2019.

Secretary
 SECRETARY

Chairperson
 CHAIRPERSON
 BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF MIDDLESEX THIS 26th DAY OF March, 2019.

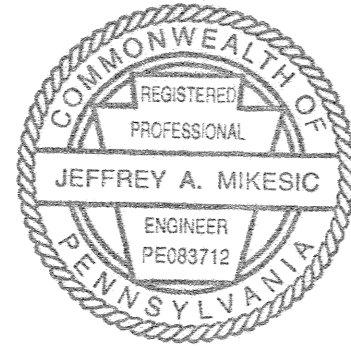
Secretary
 SECRETARY

Chairperson
 CHAIRPERSON
 PLANNING COMMISSION

JEFFREY A. MIKESIC, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER FOR MIDDLESEX TOWNSHIP, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLANNING MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

Jeffrey A. Mikesic
 TOWNSHIP ENGINEER

REGISTRATION NO. PE083712 DATE 6/5/2019



BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT
 REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 13th DAY OF FEB, 2019.

Chairperson
 CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION

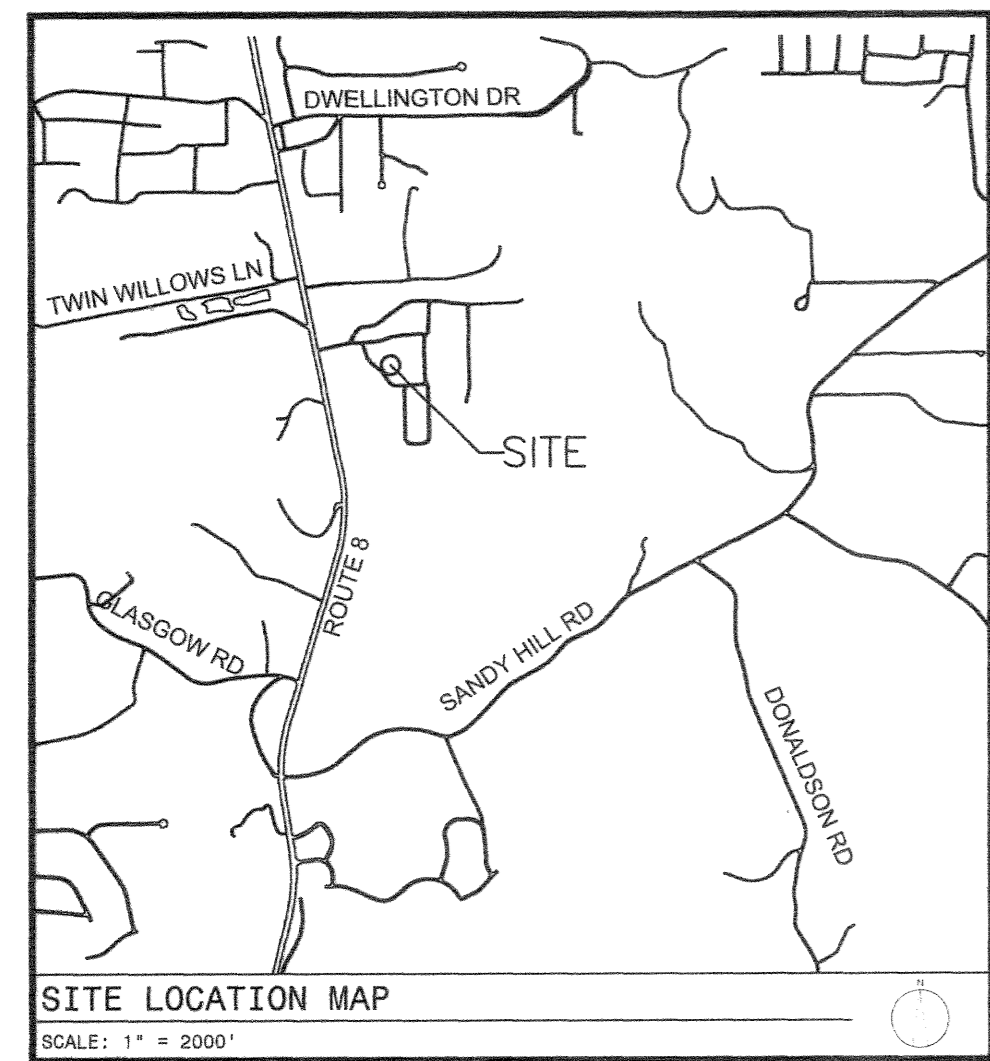
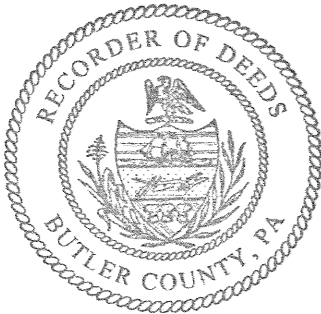
Secretary
 SECRETARY

PROOF OF RECORDING
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 378, PAGE(S) 46

GIVEN UNDER MY HAND AND SEAL THIS 12 DAY OF JULY, 2019.

Michael M. Mustello
 RECORDER OF DEEDS

MICHAEL M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2021



OWNER'S ADOPTION
 WE, MICHAEL E. STUDENY AND ELIZABETH A. STUDENY, OWNERS OF THE LAND SHOWN ON THE CARLIN/STUDENY PLAN, HEREBY ADOPT THIS PLAN AS OUR PLAN OF LOTS AND IRREVOCABLY DEDICATE ALL STREET AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. ANY FUTURE ACCEPTANCE OF SAID PUBLIC STREETS OR PROPERTY BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF MIDDLESEX, WE HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF MIDDLESEX, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC STREETS OR PROPERTY AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON OUR HEIRS, EXECUTORS, AND ASSIGNS.

Michael E. Studeny
 MICHAEL E. STUDENY

Elizabeth A. Studeny
 ELIZABETH A. STUDENY

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, MICHAEL E. STUDENY AND ELIZABETH A. STUDENY, AND ACKNOWLEDGED THE FOREGOING ADOPTION, DEDICATION AND PLAN TO BE THEIR ACT AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 22 DAY OF APRIL, 2019.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2023.

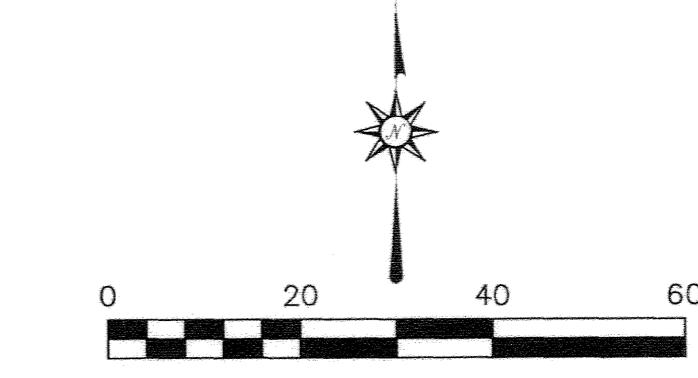
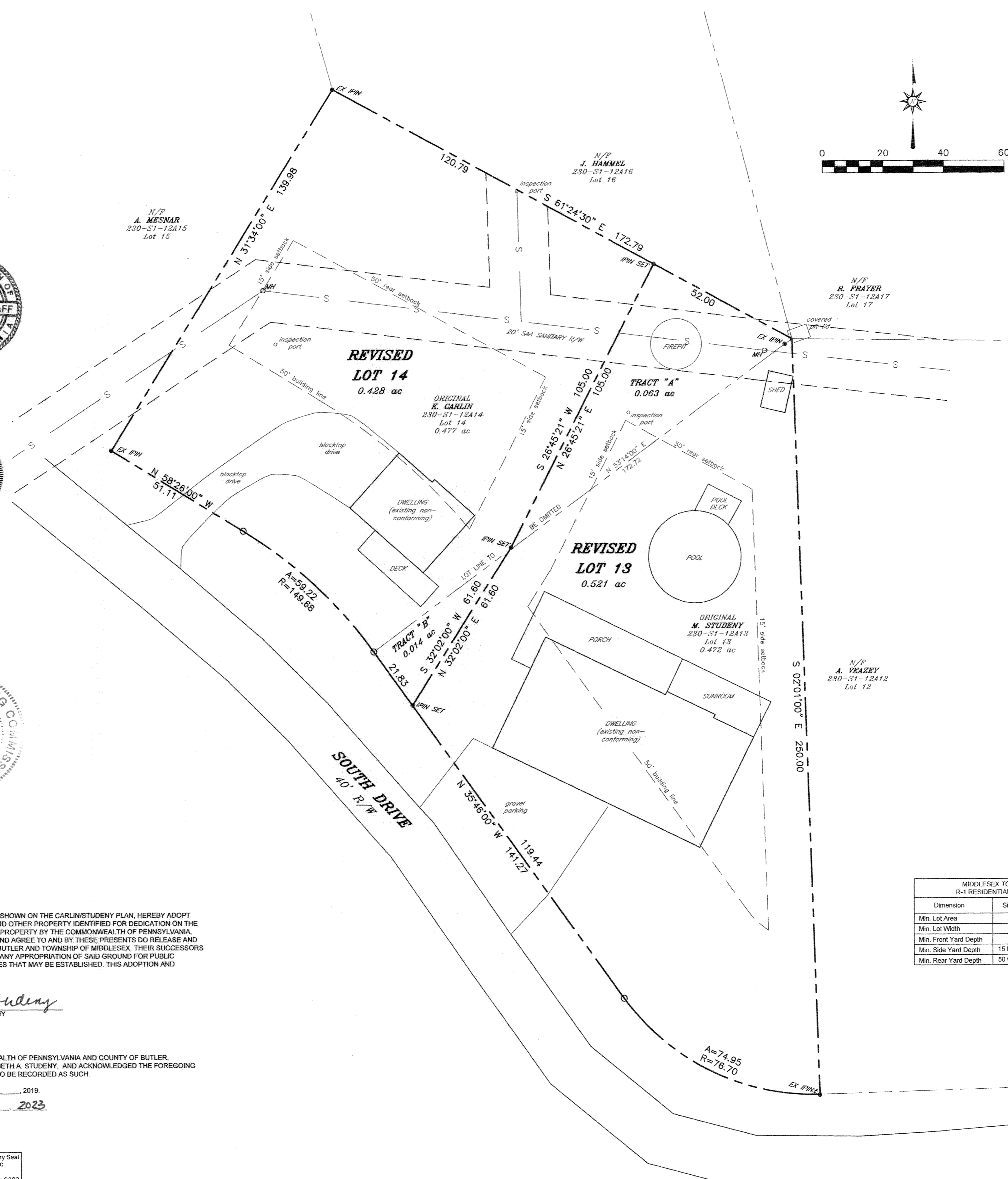
Debra L. Jeffcoat
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
 Debra L. Jeffcoat, Notary Public
 Butler County
 My commission expires February 17, 2023
 Commission number 1152784
 Member, Pennsylvania Association of Notaries

CARLIN/STUDENY PLAN

Being a lot line revision of Lots 13 and 14 of the Nursery Park
 Plan of Lots and being Butler County Tax Parcels
 230-S1-12A13 (Lot 13) and 230-S1-12A14 (Lot 14)

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.



AREA SUMMARY:

ORIGINAL TOTALS		
LOT 13 (230-S1-12A13)	0.472 AC	20,562.55 SQ FT
+ LOT 14 (230-S1-12A14)	0.477 AC	20,767.84 SQ FT
ORIGINAL TOTAL	0.949 AC	41,330.39 SQ FT
REVISED LOT 13	0.472 AC	20,562.55 SQ FT
+ TRACT A	0.063 AC	2,754.93 SQ FT
- TRACT B	0.014 AC	599.88 SQ FT
REVISED LOT 13	0.521 AC	22,707.60 SQ FT
REVISED LOT 14	0.477 AC	20,767.84 SQ FT
+ TRACT A	0.063 AC	2,754.93 SQ FT
+ TRACT B	0.014 AC	599.88 SQ FT
REVISED LOT 14	0.428 AC	18,822.79 SQ FT
REVISED TOTALS	0.521 AC	22,707.60 SQ FT
+ REVISED LOT 14	0.428 AC	18,822.79 SQ FT
REVISED TOTAL	0.949 AC	41,330.39 SQ FT

- GENERAL NOTES:**
- OWNERS: 230-S1-12A13 - MICHAEL E. & ELIZABETH A. STUDENY
 230-S1-12A14 - KENNETH A. & KAREN A. CARLIN
 - ZONING: R-1 SUBURBAN RESIDENTIAL DISTRICT
 - SETBACKS: SEE TABLE
 - REFERENCES:
 - CURRENT DEEDS OF RECORD
 - PREVIOUSLY RECORDED PLANS
 - NURSERY PARK PLAN OF LOTS
 PAK FILE 8 PAGE 13

MIDDLESEX TOWNSHIP R-1 RESIDENTIAL DISTRICT	
Dimension	Single Family Dwelling
Min. Lot Area	22,000 sq ft
Min. Lot Width	100 feet
Min. Front Yard Depth	50 feet
Min. Side Yard Depth	15 ft principal / 10 ft other
Min. Rear Yard Depth	50 ft principal / 10 ft other

GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION
CARLIN/STUDENY PLAN
 BEING A
 LOT LINE REVISION
 FOR
 KENNETH & KAREN CARLIN AND
 MICHAEL & ELIZABETH STUDENY

SITUATE
 MIDDLESEX TOWNSHIP
 BUTLER COUNTY, PENNSYLVANIA

DATE	DRAWN	CHECKED	SCALE
12/03/18	SDG	Sdg	1" = 20'
PROJECT NO.	TAX PARCEL NO.	REVISION	
18-260	230-S1-12A13 & 12A14	-	

RECORDED	20
PLAN BOOK	PAGE
378	46
SHEET	of