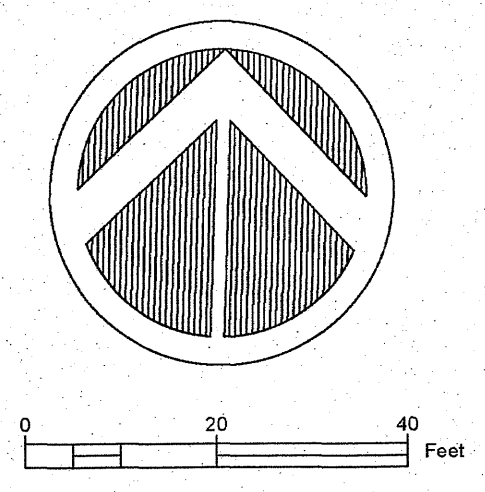
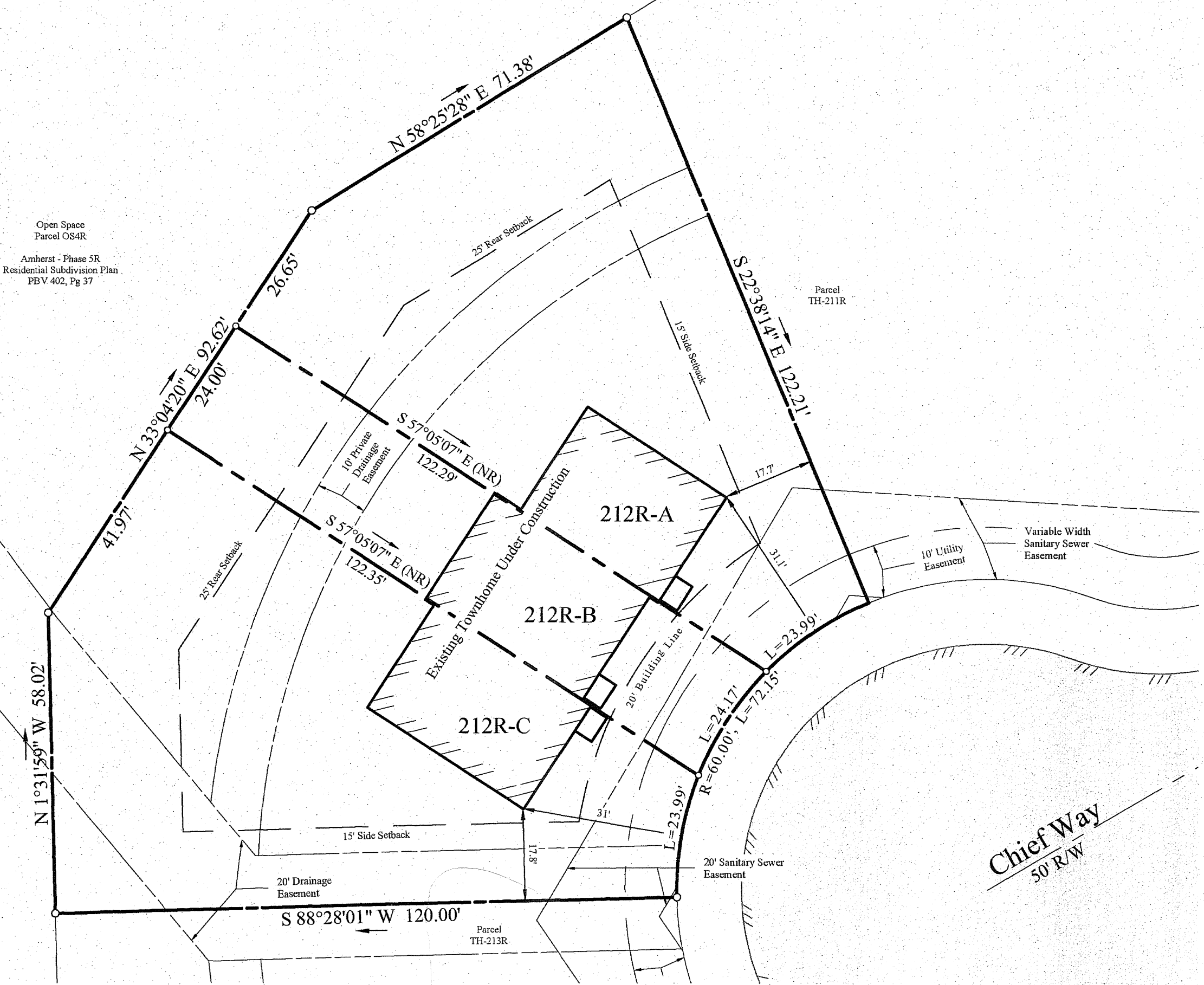


Lot Number	Lot Area (Sq. Ft.)	Lot Area (Acres)
TH-206	15,618.975	0.359
TH-212	17,868.724	0.410

Total Property affected on this plan: 33,487.699 sq. ft. or 0.769 Acres

Unit Number	Lot Area (Sq. Ft.)	Lot Area (Acres)	Street Address
206R-A	4,862.899	0.112	6043 Ruby Way
206R-B	3,063.912	0.070	6045 Ruby Way
206R-C	3,078.620	0.071	6047 Ruby Way
206R-D	4,613.545	0.106	6049 Ruby Way
212R-A	7,383.820	0.170	8023 Chief Way
212R-B	2,916.223	0.067	8025 Chief Way
212R-C	7,568.681	0.174	8027 Chief Way



General Plan Notes

- This plan is a re-subdivision of TH-206R & TH-212R of Revision No. 1 to the Amherst - Phases 5, 6 & 7 Residential Subdivisions as recorded in Plan Book 421, Page 7-11 to separate the original lot at the centerline of the structure party wall to allow for fee simple conveyance of individual units.
- No additional units are proposed by this plan that were not originally planned for.
- This plan is subject to any and all conditions of the previously approved plans as approved by Adams Township.
- If applicable, lines labeled to include (NR) are non-radial to the intersecting right of way line.

Property References

TH-206R
 Tax Parcel 010-4F35-9206-0000
 Deed Book 202509170014965

TH-212R
 Tax Parcel 010-4F35-9212-0000
 Deed Book 202510060016227

PROPERTY OWNER / BUILDER

ONE PENN CENTER WEST, SUITE 220
 PITTSBURGH, PA 15676
 BUILT BY:

Drawing Number	1001-2528405
Drawing Scale	1"=20'
Date	November 4, 2025
Drawn By	
Revisions	
72000	

**Amherst
 Amendment 12**

Being a Re-subdivision of Lot TH-206R & TH-212R of Revision No. 1 to Amherst - Phases 5, 6 & 7 Residential Subdivisions as recorded in Plan Book 421, Pages 7-11 Adams Township, Butler County, Pennsylvania

Sperdute Land Surveying
 A Division of Sheffler & Company

441 Mars-Valencia Rd, Suite 3C
 Valencia, PA 16059

108 Deer Lane
 Harmony, PA 16037

1712 Mount Nebo Road
 Sewickley, PA 15143

724-452-4362 Info@SperduteSurveying.com
 James A. Sperdute, RS # 24457-E

NVR, Inc. - Owner

Known all men by these presents that NVR, Inc., virtue of resolution of its Board of Directors does hereby adopt this as its plan of subdivision of its property situate in the Township of Adams, County of Butler, Commonwealth of Pennsylvania, and for divers advantages accruing to it, does hereby dedicate forever, for public use for highway, drainage, sewage and utility purposes, all drives, roads, streets, lands, rights-of-way, encumbrances, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan and any future acceptance of said public highways, rights-of-way and encumbrances by the Township of Adams, NVR, Inc., hereby covenants and agrees to and by these presents does release and forever discharge the Township of Adams, its successors or assigns from any liability for damages arising and to arise from the appropriation of said ground for public highways and other public uses and the physical grading thereof to any grades that may be established.

This dedication and release shall be binding upon NVR, Inc., its successors and assigns and purchasers of lots in this plan.

In witness whereof, the said corporation has caused its corporate seal to be affixed by the hand of its president and the same to be attested by its secretary, this 24 day of November, A.D. 2025.

ATTEST:

[Signature]
 Witness

[Signature]
 Vice President, NVR, Inc.

The foregoing adoption and dedication is made by NVR, Inc. with full understanding and agreement that the approval of the Township Board of Supervisors, if attached hereto, will become null and void unless this plan is recorded in the Recorder of Deeds office of Butler County within ninety (90) days from the date of said approval.

Commonwealth of Pennsylvania }
 County of Butler } SS

On this 24 day of November, A.D. 2025 before me, a Notary Public in and for said County and Commonwealth, personally appeared James A. Sperdute, RS # 24457-E of NVR, Inc. who being duly sworn, deposes and says that he/she was personally present at the execution of the adoption, release and dedication and saw the common and corporate seal of the said corporation duly sign and sealed by and as for the act and deed of said NVR, Inc. for the uses and purposes therein mentioned, and that the name of this deponent subscribed to the said release and dedication as Vice President of NVR, Inc. in attestation of the due execution and delivery of said release and dedication of this deponent and proper respective handwriting.

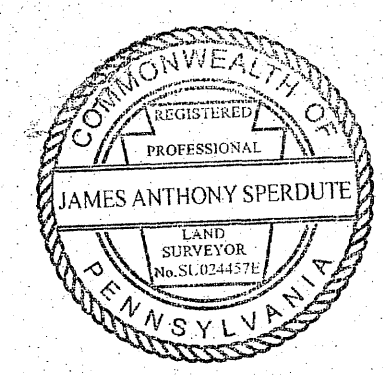
[Signature]
 Vice President, NVR, Inc.

Sworn to and subscribed before me the day and date above written.

Witness my hand and notarial seal this 24 day of November, 2025.

Commonwealth of Pennsylvania - Notary Seal
Jennifer Lyn Sperdute, Notary Public
 Butler County
 My commission expires October 14, 2027
 Commission number 1358573

[Signature]
 Notary Public



Registered Surveyor

I, James A. Sperdute, PLS Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify, to the best of my knowledge, information, and belief, that this plan correctly represents the lots, lands, streets, and highways as surveyed and plotted by me for the Owners of Aged.

[Signature]
 James A. Sperdute, RS # 24457-E
 Date 11/20/25

Township Engineer

I, Ronald Olsen, a Registered Professional Engineer for the Township of Adams, do hereby certify that this subdivision plan meets all the engineering and design requirements of the Adams Township subdivision and zoning ordinances.

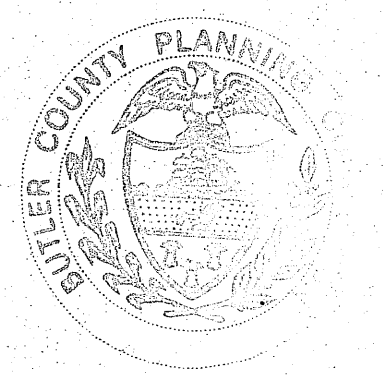
Ronald Olsen
 Printed Name & Registration No. Date Dec. 3, 2025

Adams Township Board of Supervisors

Approved by the Adams Township Board of Supervisors this 24 day of November, A.D. 2025.

The Board of Supervisors of the Township of Adams hereby gives public notice that in approving this plan for recording purposes only, the Township of Adams assumes no obligations, legal or otherwise, expressed or implied either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

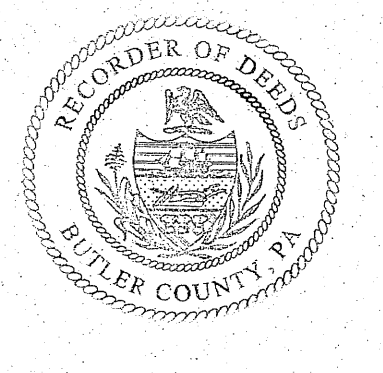
[Signatures]
 Secretary, Adams Township Supervisors
 Chairman, Adams Township Supervisors
 Adams Township Supervisor



Butler County Planning Commission

Reviewed by the Butler County Planning Commission on this 19 day of November, A.D. 2025.

[Signature]
 Secretary, Butler County Planning Commission
 Chairman, Butler County Planning Commission



Butler County Recorder of Deeds

Commonwealth of Pennsylvania }
 County of Butler } SS

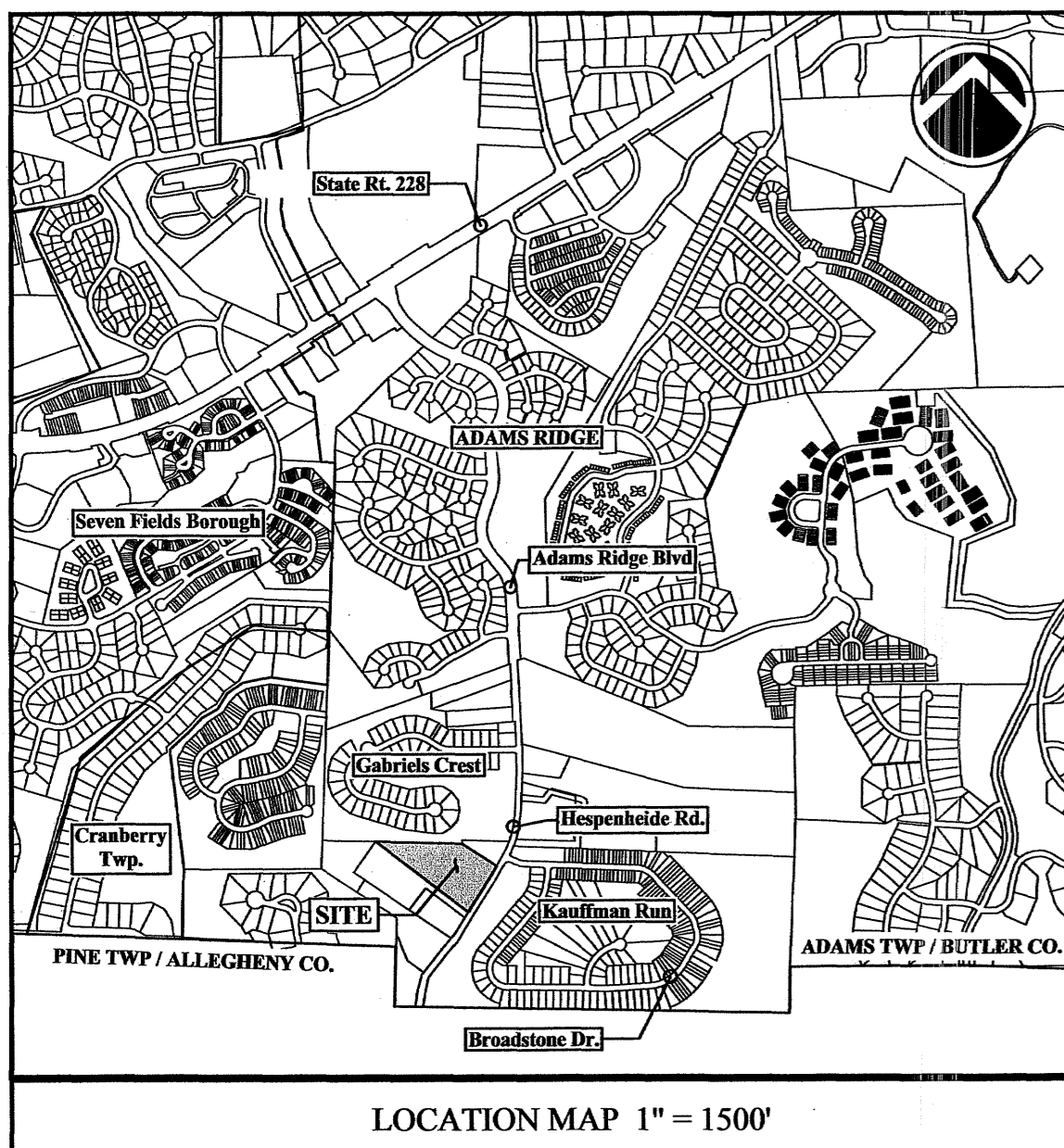
Recorded in the Recorder office for the recording of Deeds, Plans, etc. in Butler County, Commonwealth of Pennsylvania, in Plan Book Volume 436 page(s) 1.

Given under my hand and seal this 11 day of December, A.D. 2025.

[Signature]
 Recorder of Deeds

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2028

PLAN BOOK	PAGE
436	1



INSTR: 202512110020693
 Pg: 1 F: 545.0
 Michele Mustello
 Butler County Recorder PA

Owners Adoption - Tax Parcel 010-4F37-7B-0000

Owners Adoption - Tax Parcel 010-4F37-7-0000

I, Christopher H. Platt owners of the land shown on the PLATT LOT LINE REVISION PLAN, hereby adopt this plan as our plan of lots and irrevocably dedicate all streets and other property identified for dedication on the plan to the public. Any future acceptance of said public streets or property by the Commonwealth of Pennsylvania, County of Butler, and Township of Adams, I hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Adams, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public streets or property and the physical grading thereof to any grades that may be established. This adoption and dedication shall be binding upon our heirs, executors, and assigns.

We, Christopher H. Platt & Casey N. Platt, owners of the land shown on the PLATT LOT LINE REVISION PLAN, hereby adopt this plan as our plan of lots and irrevocably dedicate all streets and other property identified for dedication on the plan to the public. Any future acceptance of said public streets or property by the Commonwealth of Pennsylvania, County of Butler, and Township of Adams, we hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Adams, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public streets or property and the physical grading thereof to any grades that may be established. This adoption and dedication shall be binding upon our heirs, executors, and assigns.

Before me, the undersigned Notary Public in and for the Commonwealth of Pennsylvania and County of Butler, personally appeared the above named Christopher H. Platt and acknowledged the foregoing adoption, dedication and plan to be their act and desired the same to be recorded as such.

Before me, the undersigned Notary Public in and for the Commonwealth of Pennsylvania and County of Butler, personally appeared the above named Christopher H. Platt & Casey N. Platt and acknowledged the foregoing adoption, dedication and plan to be their act and desired the same to be recorded as such.

Witness my hand and notarial seal this 19 day of November, 2025
 My commission expires the 14 day of October, 2027

Witness my hand and notarial seal this 19 day of November, 2025
 My commission expires the 14 day of October, 2027

Commonwealth of Pennsylvania - Notary Seal
 Jennifer Lynn Spurdute, Notary Public
 Butler County
 My commission expires October 14, 2027
 Commission number 1358573

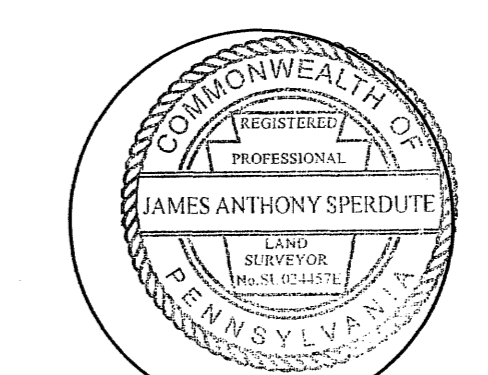
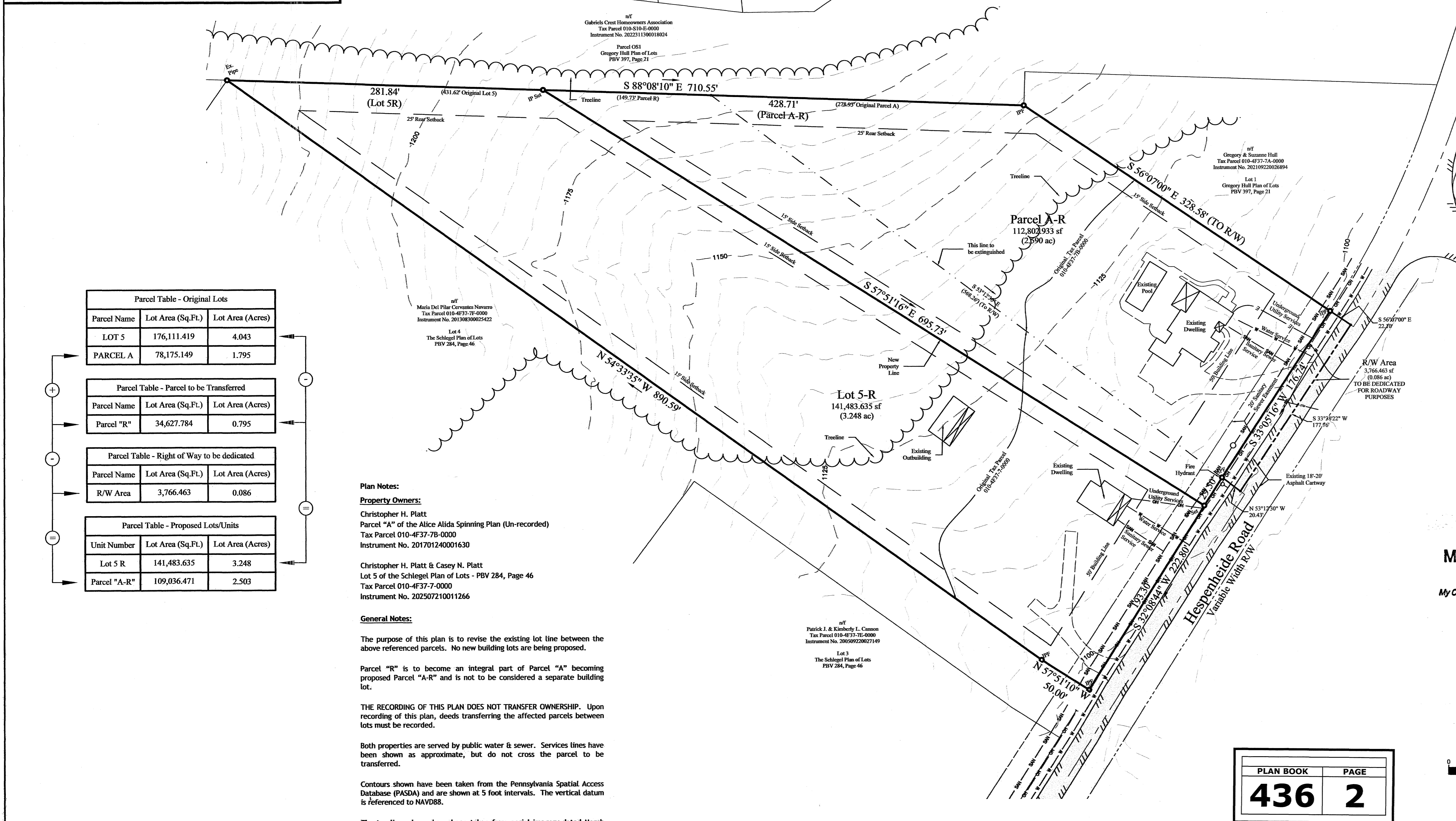
Commonwealth of Pennsylvania - Notary Seal
 Jennifer Lynn Spurdute, Notary Public
 Butler County
 My commission expires October 14, 2027
 Commission number 1358573

I hereby certify that the portion of the property contained in the PLATT LOT LINE REVISION PLAN is in the name of Christopher H. Platt & Casey N. Platt and is recorded at Instrument No. 201701240001630.

We hereby certify that the portion of the property contained in the PLATT LOT LINE REVISION PLAN is in the name of Christopher H. Platt & Casey N. Platt and is recorded at Instrument No. 20250721001266.

Witness
 Jennifer Spurdute
 Christopher H. Platt

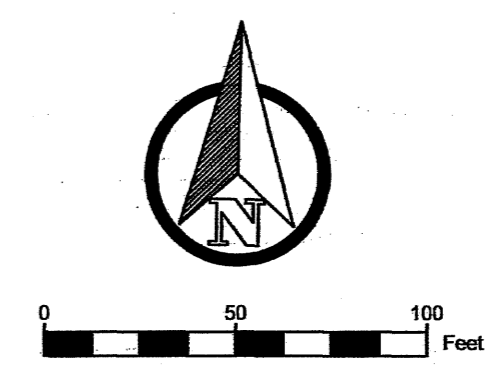
Witness
 Jennifer Spurdute
 Christopher H. Platt
 Casey N. Platt



SURVEYOR
 ADAMS TOWNSHIP PLANNING COMMISSION

ADAMS TOWNSHIP BOARD OF SUPERVISORS

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2028



Land Surveyor
 James A. Spurdute, PLS # 24457-E Date 11/14/25

Ronald Olsen, Adams Township Engineer
 a Registered Professional Engineer, the Township Engineer of the Township of Adams, do hereby certify that this Subdivision Plan meets all the engineering and design requirements of the Township Subdivision and Zoning Ordinance except as departures have been authorized by the approval authority.

12/3/2026 Date
 Signature Reg # 26400-E

Adams Township Planning Commission
 Reviewed by the Planning Commission of the Township of Adams, this 5th day of November, 2025
 Secretary - Planning Commission
 Chairperson - Planning Commission

Adams Township Board of Supervisors

The Board of Supervisors of the Township of Adams, hereby gives notice that in approving this plan for recording, the Township of Adams has not accepted dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

Approved by the Board of Supervisors of the Township of Adams by Resolution No. effective this 24th day of November, 2025

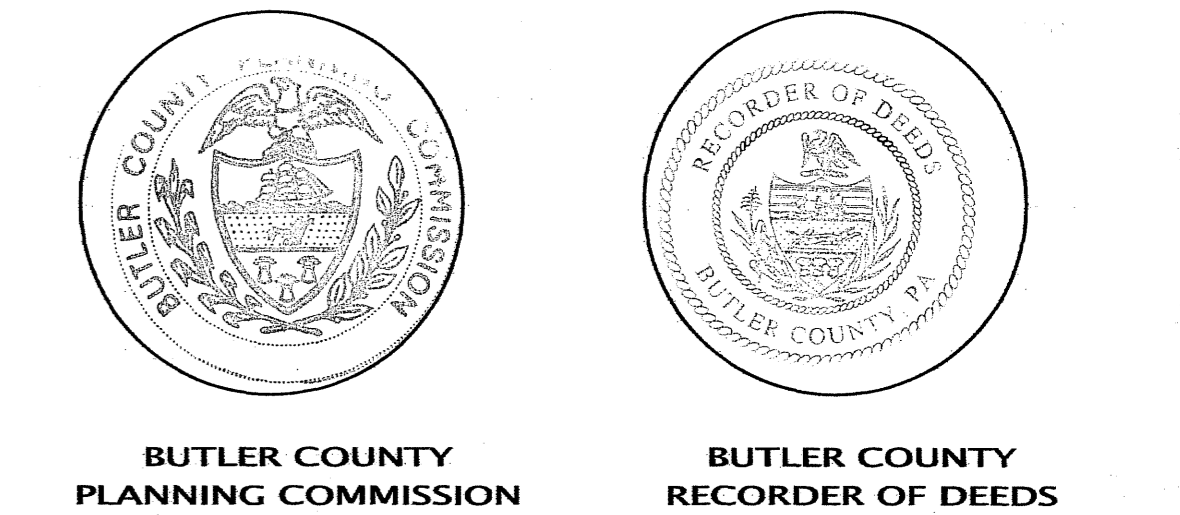
Secretary - Board of Supervisors
 Chairperson - Board of Supervisors
 Butler County Planning Commission

Reviewed by the Butler County Planning Commission 15 day of October, 2025

Secretary - Planning Commission
 Chairperson - Planning Commission
 PL# 25229
 Butler County Recorder of Deeds

Recorded in the office of the Recorder of Deeds of the County of Butler, Commonwealth of Pennsylvania, in Plan Book Volume 436, Page(s) 2

Given under my hand and seal this 11th day of December, 2025.
 Michele M. Mustello
 Recorder of Deeds



Parcel Table - Original Lots		
Parcel Name	Lot Area (Sq.Ft.)	Lot Area (Acres)
LOT 5	176,111.419	4.043
PARCEL A	78,175.149	1.795

Parcel Table - Parcel to be Transferred		
Parcel Name	Lot Area (Sq.Ft.)	Lot Area (Acres)
Parcel "R"	34,627.784	0.795

Parcel Table - Right of Way to be dedicated		
Parcel Name	Lot Area (Sq.Ft.)	Lot Area (Acres)
R/W Area	3,766.463	0.086

Parcel Table - Proposed Lots/Units		
Unit Number	Lot Area (Sq.Ft.)	Lot Area (Acres)
Lot 5 R	141,483.635	3.248
Parcel "A-R"	109,036.471	2.503

Plan Notes:
Property Owners:
 Christopher H. Platt
 Parcel "A" of the Alice Alida Spinning Plan (Un-recorded)
 Tax Parcel 010-4F37-7B-0000
 Instrument No. 201701240001630
 Christopher H. Platt & Casey N. Platt
 Lot 5 of the Schlegel Plan of Lots - PBV 284, Page 46
 Tax Parcel 010-4F37-7-0000
 Instrument No. 20250721001266

General Notes:
 The purpose of this plan is to revise the existing lot line between the above referenced parcels. No new building lots are being proposed.
 Parcel "R" is to become an integral part of Parcel "A" becoming proposed Parcel "A-R" and is not to be considered a separate building lot.
 THE RECORDING OF THIS PLAN DOES NOT TRANSFER OWNERSHIP. Upon recording of this plan, deeds transferring the affected parcels between lots must be recorded.
 Both properties are served by public water & sewer. Services lines have been shown as approximate, but do not cross the parcel to be transferred.

Contours shown have been taken from the Pennsylvania Spatial Access Database (PSADA) and are shown at 5 foot intervals. The vertical datum is referenced to NAVD88.

The treelines shown have been taken from aerial imagery dated March 14, 2025. Areas within the affected lots outside of the treeline/wooded areas are maintained lawns.

No portion of this property lies within a FEMA designated Floodway/Floodplain according to spatial data obtained from FEMA.

Zoning: R-3 / Multi-Family Residential
 Minimum Lot Size: 43,560 sq.ft. or 1.0 acre
 Minimum Lot Width: 125.00 feet
 Minimum Front Setback: 50.00 feet
 Minimum Side Setback: 15.00 feet
 Minimum Rear Setback: 25.00 feet

PLAN BOOK	PAGE
436	2

Date:	Revision Description:	By:	Prepared By:
10/10/2025	Per Township Engineer Review	JSS	Sperdute Land Surveying A Division of Sheffer & Company 441 Mars-Valencia Road, Suite 3C Valencia, PA 16059 108 Deer Lane Harmony, PA 16037 Office Phone: 724-452-4362 Email: Info@SperduteSurveying.com

Platt Lot Line Revision Plan
 Prepared For:
 Christopher H. & Casey N. Platt
 Being a revision to Lot 5 of the Schlegel Plan of Lots - PBV 284, Page 46 & Parcel "A" of the subdivision for Alice Alida Spinning (Un-Recorded)
 Situate In:
 Adams Township, Butler County, Pennsylvania

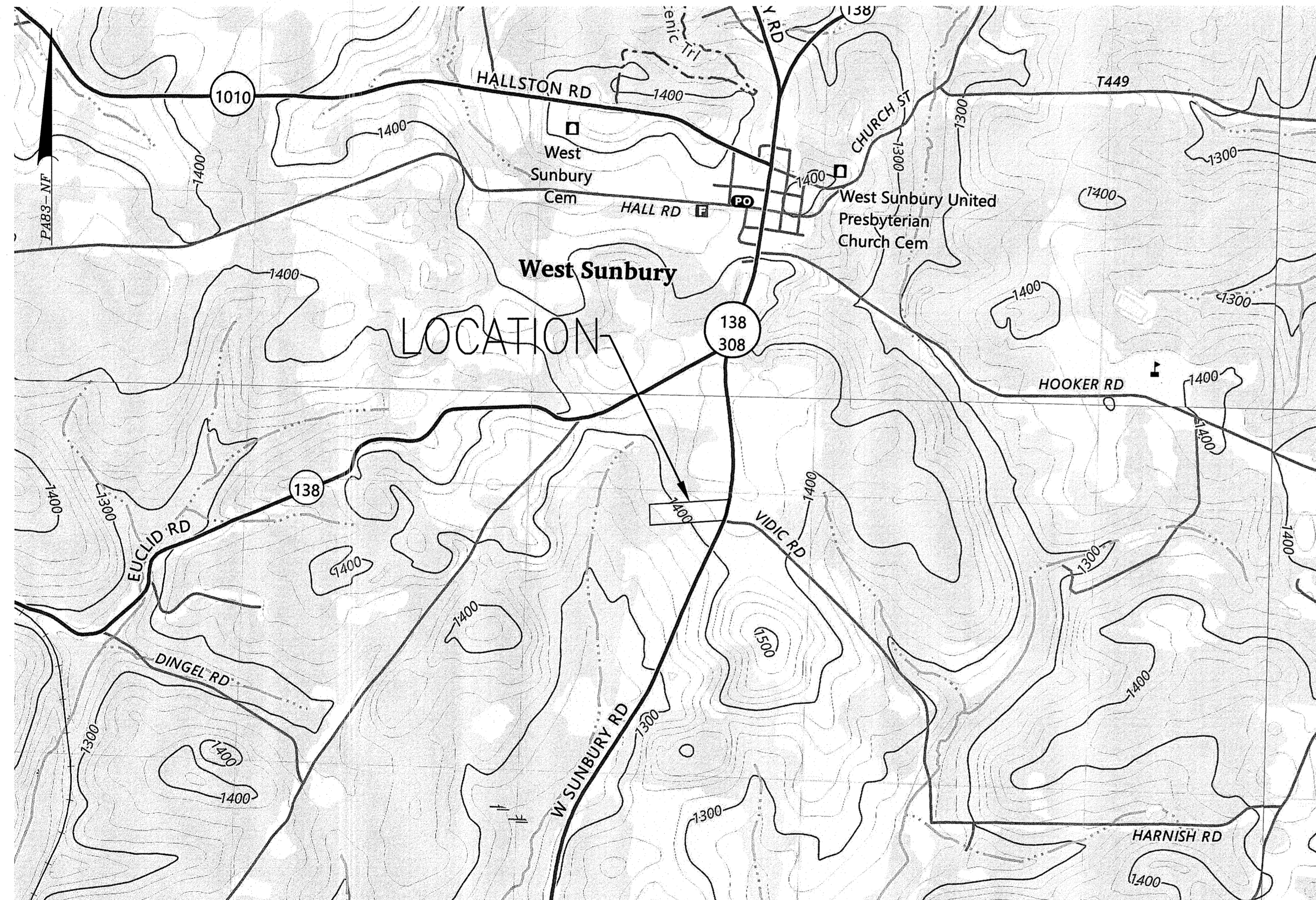
LOT LINE REVISION PLAN
 DRAWING SCALE: 1"=50'
 DATE ISSUED: 09/22/2025
 PROJECT JOB#: 1001-2528085
 DESIGNED BY: JSS
 REVIEWED BY: JAS
 Client:
 Christopher H. & Casey N. Platt
 224 Hesperheide Rd.
 Mars, PA 16046
 Sheet No.
1 of 1



Larson Design Group

RYAN R. SNOW MINOR SUBDIVISION PLAN

SR-308, WEST SUNBURY, PA 16061
LDG PROJECT NO: 11693-070
NOT FOR CONSTRUCTION



PROJECT LOCATION MAP
WEST SUNBURY, PA USGS MAP SCALE: 1" = 1000'

PTV 1450, LLC

400 PENN CENTER BLVD., BLDG. 4, STE 1000
PITTSBURGH, PENNSYLVANIA 15235

Instr: 202512110020745
Page 2 of 88608
Michele Mustello
Butler County Recorder PA

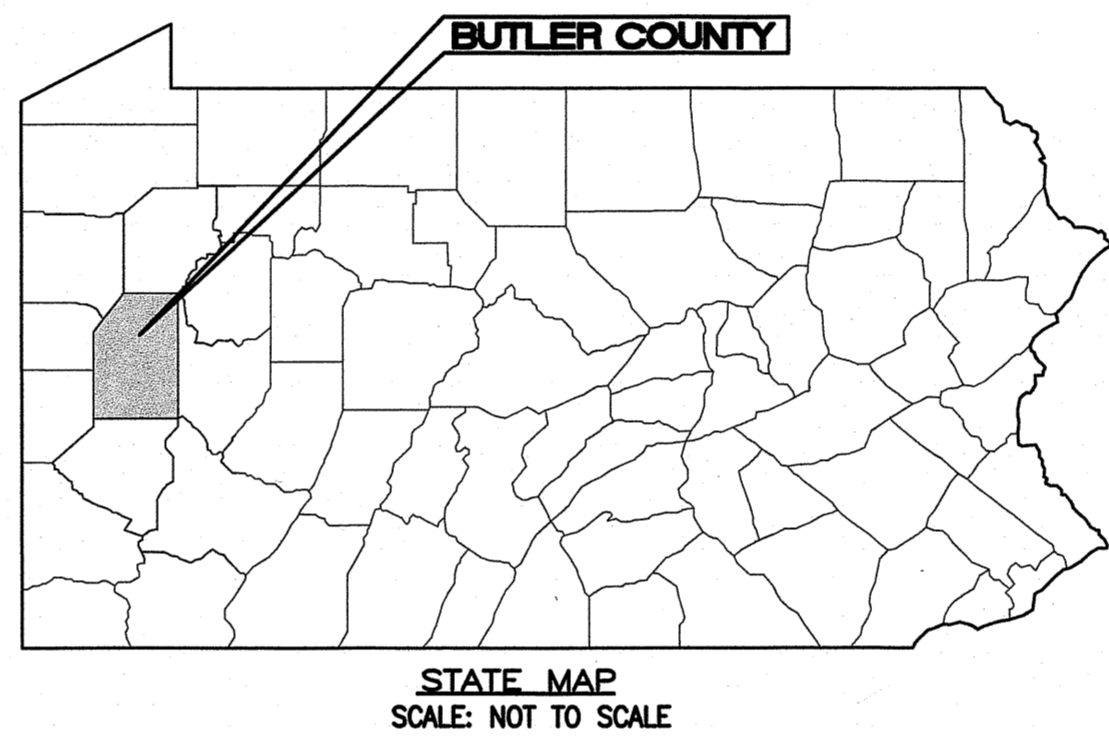
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2028

SECOND CLASS TOWNSHIP APPROVAL
APPROVAL BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLAY THIS 17th DAY OF SEPT 2025

Bob Slap SECRETARY
Richard A. Gayer CHAIRMAN OF BOARD

CLAY TOWNSHIP PLANNING COMMISSION REVIEW
REVIEWED BY THE CLAY TOWNSHIP PLANNING COMMISSION THE 14th DAY OF December 2025

Bob Slap SECRETARY
Richard A. Gayer CHAIRMAN



BUTLER COUNTY PLANNING COMMISSION REVIEW
FINAL PLAN REVIEW GRANTED BY BUTLER COUNTY PLANNING COMMISSION/STAFF #25201
THIS 17th DAY OF SEPT 2025

R. Henshaw SEC
J. Hines CHAIR

BUTLER COUNTY PLANNING COMMISSION REVIEWER

RECORDING CERTIFICATE
RECORDED THIS 11th DAY OF December, 2025
IN THE REGISTER AND RECORDER OF DEEDS OFFICE, IN PLAT BOOK VOL. 436, PAGE 3-4.

WITNESS MY HAND AND SEAL ON THE DAY AND DATE WRITTEN ABOVE.

Michele Mustello
RECORDER OF DEEDS

CLAY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT CHAPTER 22 ADOPTED 1998

ALL OF THE FOLLOWING REQUIREMENTS HAVE BEEN TAKEN FROM THE SALDO OF CLAY TOWNSHIP, BUTLER COUNTY, PA. THERE IS NO ZONING FOR THE MUNICIPALITY

MINIMUM LOT REQUIREMENTS:	REQUIRED
MINIMUM LOT AREA	1.00 ACRE
MINIMUM LOT WIDTH	100 FEET

BUILDING SETBACK REQUIREMENTS:

FRONT YARD	50'
SIDE YARD	25'
REAR YARD	25'

SURVEYOR'S CERTIFICATION
I, CHRISTOPHER P. IACHINI, A LICENSED PROFESSIONAL SURVEYOR IN THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THE SURVEY AND PLANS SHOWN ARE TRUE AND ACCURATE, TO THE BEST OF MY KNOWLEDGE.

(SEAL)

10-24-2025
DATE

Christopher P. Iachini
SIGNATURE

SJ061897
REGISTRATION NUMBER

CERTIFICATION OF OWNERSHIP
(I/WE), OWNER(S) OF THE LAND SHOWN ON THE SUBDIVISION PLAN, HEREBY ADOPT THIS PLAT AS (MY/OUR) (PLAT OF LOTS OR LAND DEVELOPMENT) AND IRREVOCABLY DEDICATE ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAT TO THE (MUNICIPALITY). THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON (MY/OUR) HEIRS, EXECUTORS, AND ASSIGNS.

Ryan R. Snow
SIGNATURE OF OWNER(S) Ryan R. Snow

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND BUTLER COUNTY, PERSONALLY APPEARED THE ABOVE NAMED (NAME OF OWNER(S), AND ACKNOWLEDGE THE FOREGOING ADOPTION AND DEDICATION TO BE (HIS, HER, THEIR) ACT. ALLEGHENY BRS

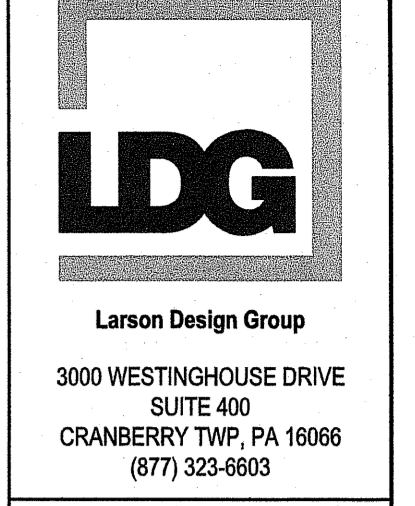
WITNESS MY HAND AND NOTARIAL SEAL ON THIS 6th DAY OF November 2025
MY COMMISSION EXPIRES THE 15th DAY OF July 2027

(SEAL)
Benjamin R. Syput
NOTARY PUBLIC

- APPLICANT/OWNER/RESPONSIBLE PARTY:
RYAN R. SNOW
770 HALSTON ROAD
WEST SUNBURY, PA 16061
- APPLICANT: PTV 1450, LLC
ATTN: BEN SYPUT
400 PENN CENTER BLVD., BUILDING 4, SUITE 1000
PITTSBURGH, PA 15235
PHONE: 724.420.5367
- SURVEYOR:
LARSON DESIGN GROUP
ATTN: CHRISTOPHER P. IACHINI
1000 COMMERCE PARK DRIVE, SUITE 201
WILLIAMSPORT, PA 17701
PHONE: 877.323.6603
EMAIL: ciachini@larsondesigngroup.com
 - COUNTY: BUTLER COUNTY
MUNICIPALITY: CLAY TOWNSHIP
 - PROJECT LOCATION:
STATE ROUTE 308 WEST SUNBURY RD, WEST SUNBURY, PA 16061
 - PROJECT NARRATIVE:
THE PURPOSE OF THIS PROJECT IS TO SUBDIVIDE THE PARCEL INTO TWO LOTS. THE PROPOSED LOT 1 (EASTERN LOT) WILL BE 1.7329 ACRES AND WILL BE UTILIZED TO CONSTRUCT A 10,640 SQUARE FOOT COMMERCIAL RETAIL STORE, ALONG WITH PARKING AND OTHER SITE AMENITIES. LOT 2 (WESTERN LOT) CONTAINING 3.1677 ACRES WILL BE ADDED TO THE LOT TO THE SOUTH NOW OR FORMERLY OWNED BY RYAN R. SNOW, KNOWN AS TAX MAP NO: 080-2F57-220-0000 WHICH HAS A DEED ACREAGE OF 5.0 ACRES, BRINGING THE NEW DEED ACREAGE TO 8.1677 ACRES.
 - SOURCES OF TITLE:
LANDS OF RYAN R. SNOW
DEED REFERENCE: INSTRUMENT NO: 201510070022266
TAX PARCEL ID: 080-2F57-11-0000
 - NO EXISTING WETLANDS HAVE BEEN IDENTIFIED BY THE NATIONAL WETLANDS INVENTORY WEBSITE.
 - A PENNDOT HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242 NO. 428), KNOWN AS THE 'STATE HIGHWAY LAW', BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED.
- THE PROPERTY IS NOT LOCATED WITHIN FLOOD ZONES PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD MAPPING ACCORDING TO COMMUNITY PANEL NUMBER 42019C0285D (EFFECTIVE DATE AUGUST 2, 2018). NO PORTION OF THE SURVEYED PREMISES IS WITHIN THE 0.2% CHANCE OF FLOODING.
- THE PROJECT WILL BE SERVED BY ON-LOT WATER AND SEWER.

PLAN BOOK	PAGE
436	3

SHEET INDEX
V-001 - COVER SHEET
V-002 - SUBDIVISION PLAN



NO.	DATE	REVISIONS (ADDED/DELETED/SETBACK LINES)	COMMENTS
1	10/24/2025	SUBDIVISION REVISIONS (ADDED/DELETED/SETBACK LINES)	
0	09/04/2025	SUBDIVISION SUBMISSION	

PTV 1450, LLC
400 PENN CENTER BLVD., BLDG. 4 STE. 1000
PITTSBURGH, PENNSYLVANIA 15235

MINOR SUBDIVISION ON THE LANDS OF
RYAN R. SNOW
CLAY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA
COVER SHEET
SUBDIVISION PLAN

Date: 10/24/2025
Project No.: 11693-070
Sheet No.: V-001

PA1169311693-070 West Sunbury, PA170 - Land Development/ldg SUBVISION/11693-070-REV-V-SUB-Rev. V-001 10/24/2025 9:42:24 AM Hummel_Jenny

NOT FOR CONSTRUCTION

LEGEND

PREMISES LINE	---
RIGHT-OF-WAY LINE	---
EASEMENT LINE	---
CONTOUR LINE	---1400---
PROPERTY LINE	---
BUILDING SETBACK	---
BUILDING LINE	---
FENCE LINE	X
EDGE OF PAVEMENT	---
EDGE OF GRAVEL/STONE	---
CONCRETE CURB	---
CONCRETE/SIDEWALK	---
SIGN	---
BENCHMARK	---
DITCH/SWALE	---
DRAINAGE LINE, MANHOLE & CB	---
SANITARY SEWER & MANHOLE	---
WATER MAIN & VALVE	---
SEWER FORCE MAIN	---
GAS MAIN & VALVE	---
UNDERGROUND ELECTRIC	---
UNDERGROUND CABLE TV	---
OVERHEAD UTILITIES & POLE	---
UNDERGROUND TELEPHONE	---
GUIDE RAIL	---
BEARING / DISTANCE PER THIS SURVEY	S11° 11' 59"W 293.73'
GRAVEL / CRUSHED STONE	---
BITUMINOUS PAVEMENT	---
SET IP UNLESS LABELED OTHERWISE	---

BENCHMARKS

BENCHMARK 1 - LOCATED WEST OF INTERSECTION OF VIDIC ROAD AND WEST SUNBURY ROAD, MAG SPIKE IN ELECTRIC POLE "A4170331" ELEV: 1421.28'

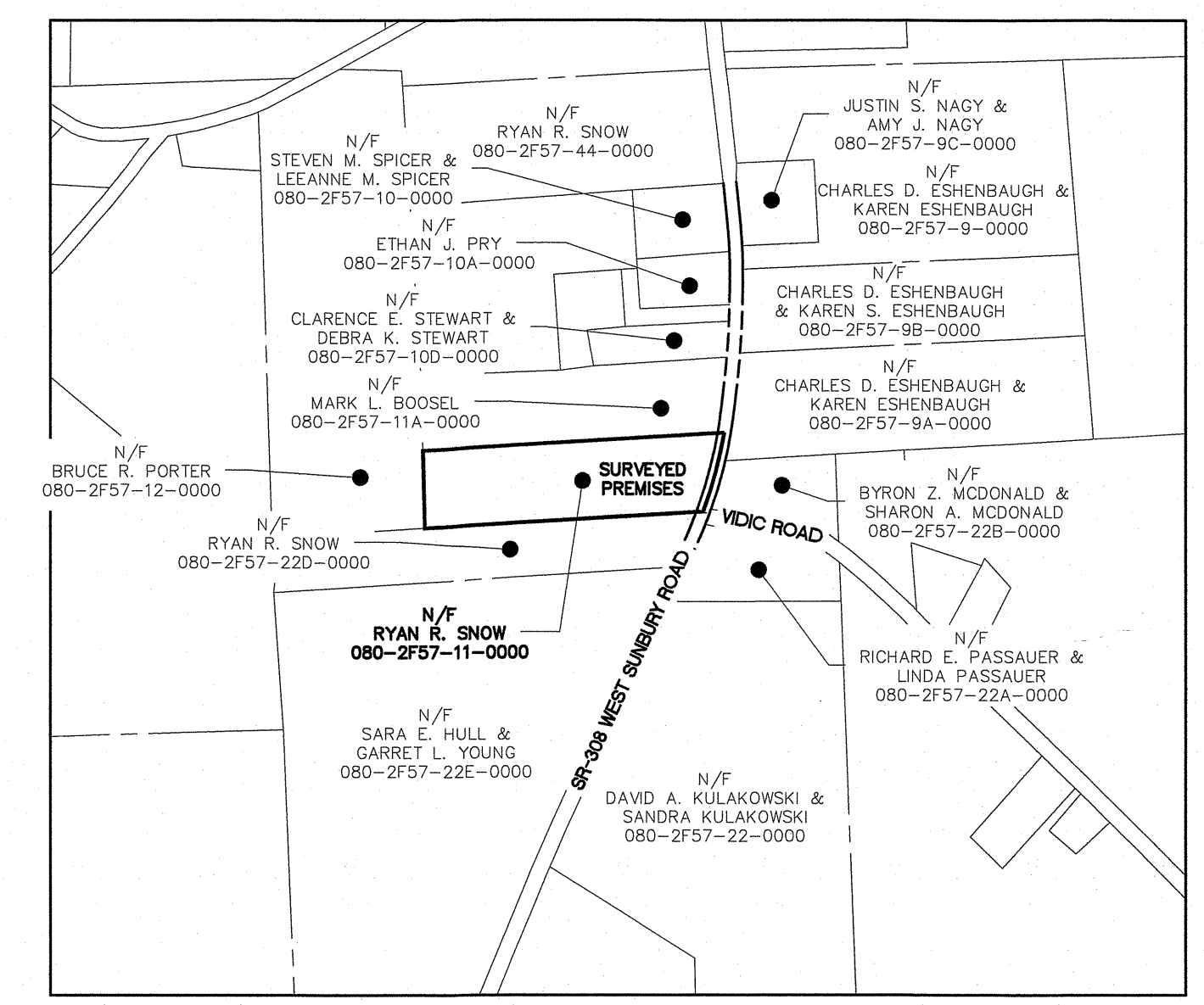
BENCHMARK 2 - LOCATED EAST OF WEST SUNBURY ROAD, MAG SPIKE IN GUY POST "A4159131" ELEV: 1434.41'

RIGHT OF WAY NOTES

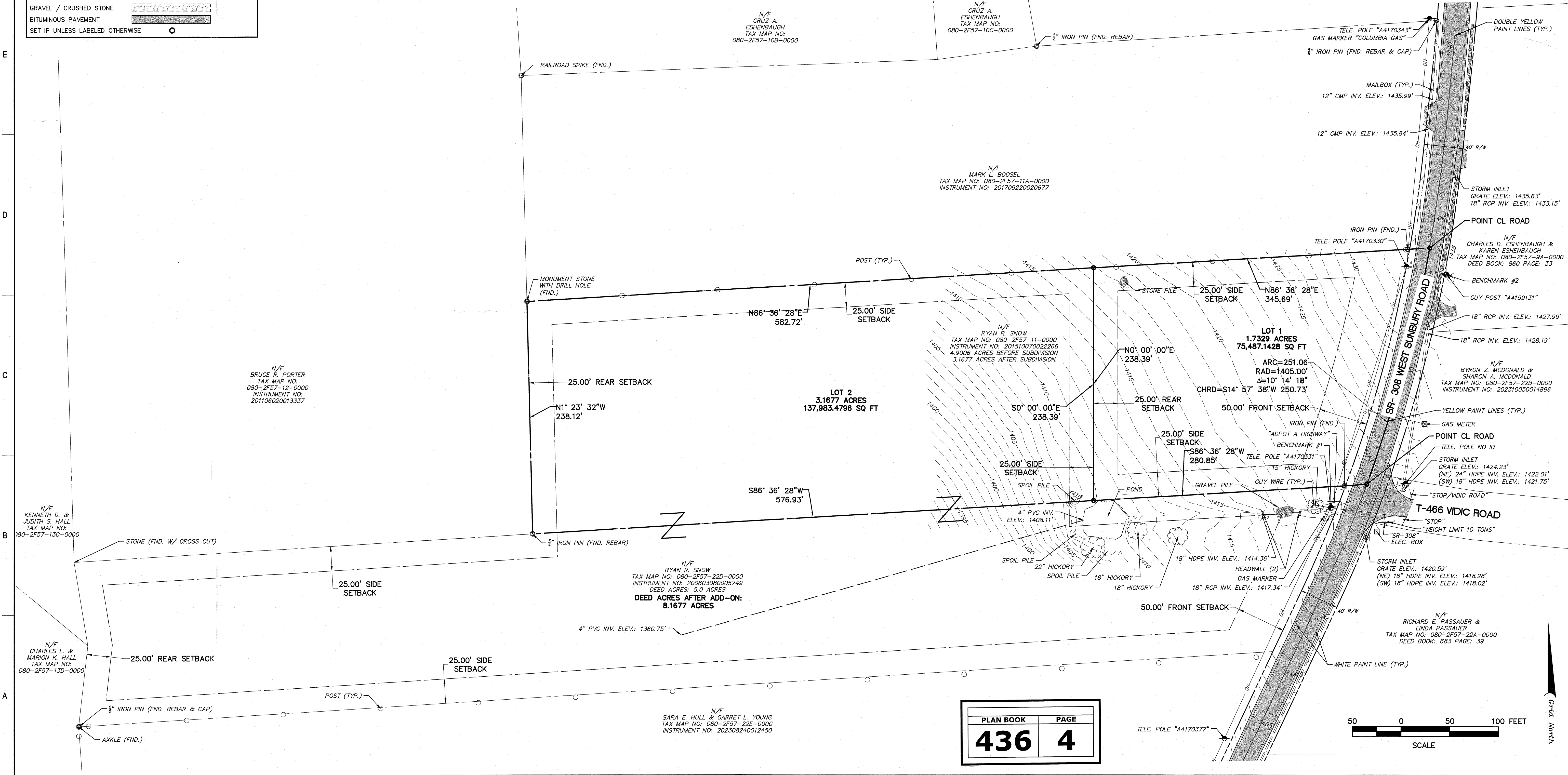
THE LEGAL RIGHT-OF-WAY ON SR 0308, FORMERLY LR 10056, IS 40 FEET BASED ON DRAWINGS FOR RELOCATION AND CONDEMNATION OF RIGHT OF WAY FOR ROUTE 10056, SIGNED BY THE GOVERNOR ON OCTOBER 16, 1942.

NON-BUILDING WAIVER

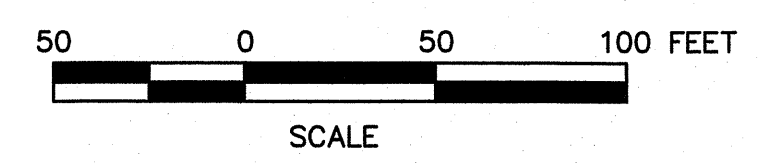
AS OF THE DATE OF THIS PLOT PLAN, THE SUBDIVISION AREA DESCRIBED HEREIN AS TAX MAP NO: 080-2F57-22D-0000 SHALL BE DEDICATED FOR THE EXPRESS PURPOSE OF A NON-BUILDABLE TRACT UNTIL SUCH TIME THAT A SEPTIC PERMIT IS APPROVED BY CLAY TOWNSHIP. NO PORTION OF THIS LOT HAS BEEN APPROVED AT THIS TIME BY CLAY TOWNSHIP OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION (DURING THE APPROVAL OF THIS SUBDIVISION PLAN) FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY ADDITIONAL SEWAGE COLLECTION, CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM UNLESS THE MUNICIPALITY AND DEP HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR THE PROPERTY DESCRIBED HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT (35 P.S. SECTIONS 750.1, ET. SEQ.) AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR SUBDIVIDER OF ANY PORTION OF THIS LOT SHOULD CONTACT THE APPROPRIATE OFFICIALS OF CLAY TOWNSHIP WHICH ARE IN CHARGE OF ADMINISTERING THE SEWAGE FACILITIES ACT TO DETERMINE WHAT SEWAGE FACILITIES PLANNING IS REQUIRED AND THE PROCEDURE AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR APPROVALS.



TRACT MAP
SCALE: 1" = 500'
GIS PARCEL LINES AS SHOWN



PLAN BOOK	PAGE
436	4



Larson Design Group
3000 WESTINGHOUSE DRIVE
SUITE 400
CRANBERRY TWP, PA 16066
(877) 323-8603

SEAL 10-24-2025

REVISIONS	DATE
1	10/24/2025
0	09/24/2025

SUBDIVISION REVISIONS (ADDED ADDITIONAL SETBACK LINES)
SUBDIVISION SUBMISSION

PTV 1450, LLC
400 PENN CENTER BLVD, BLDG. 4 STE. 1000
PITTSBURGH, PENNSYLVANIA 15225

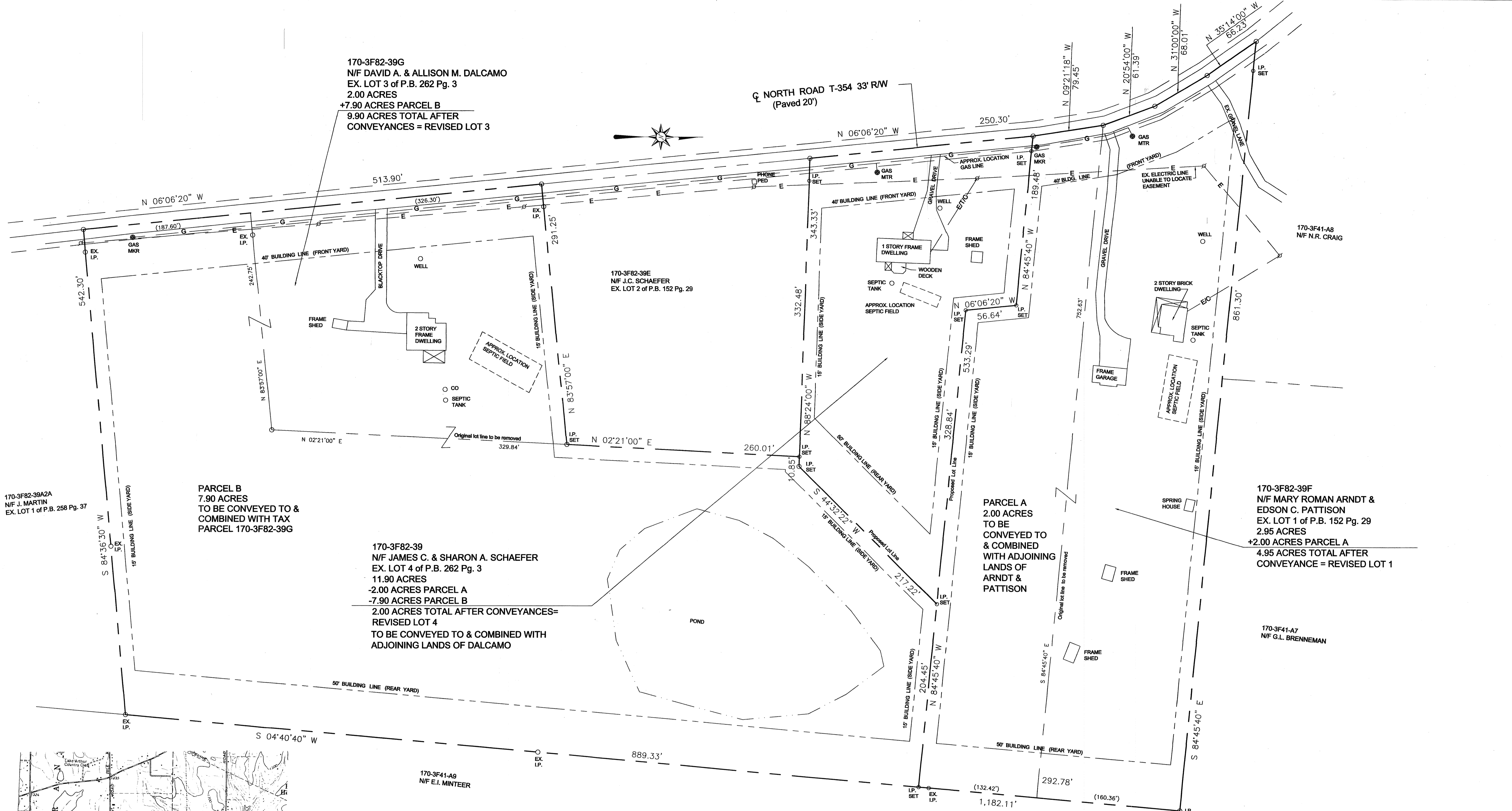
MINOR SUBDIVISION ON THE LANDS OF RYAN R. SNOW
CLAY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

SUBDIVISION PLAN
SUBDIVISION PLAN

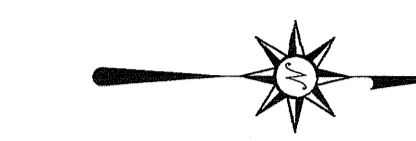
Date: 10/24/2025
Project No.: 11693-070
Sheet No.: **V-002**

NOT FOR CONSTRUCTION

P:\11693-070\West Sunbury Plot\11693-070-RR-V-SUB.dwg, V-002, 10/24/2025 9:11:20 AM, Hummel, Jeremy



170-3F82-39G
 N/F DAVID A. & ALLISON M. DALCAMO
 EX. LOT 3 of P.B. 262 Pg. 3
 2.00 ACRES
 +7.90 ACRES PARCEL B
 9.90 ACRES TOTAL AFTER
 CONVEYANCES = REVISED LOT 3



CL NORTH ROAD T-354 33' R/W
 (Paved 20')

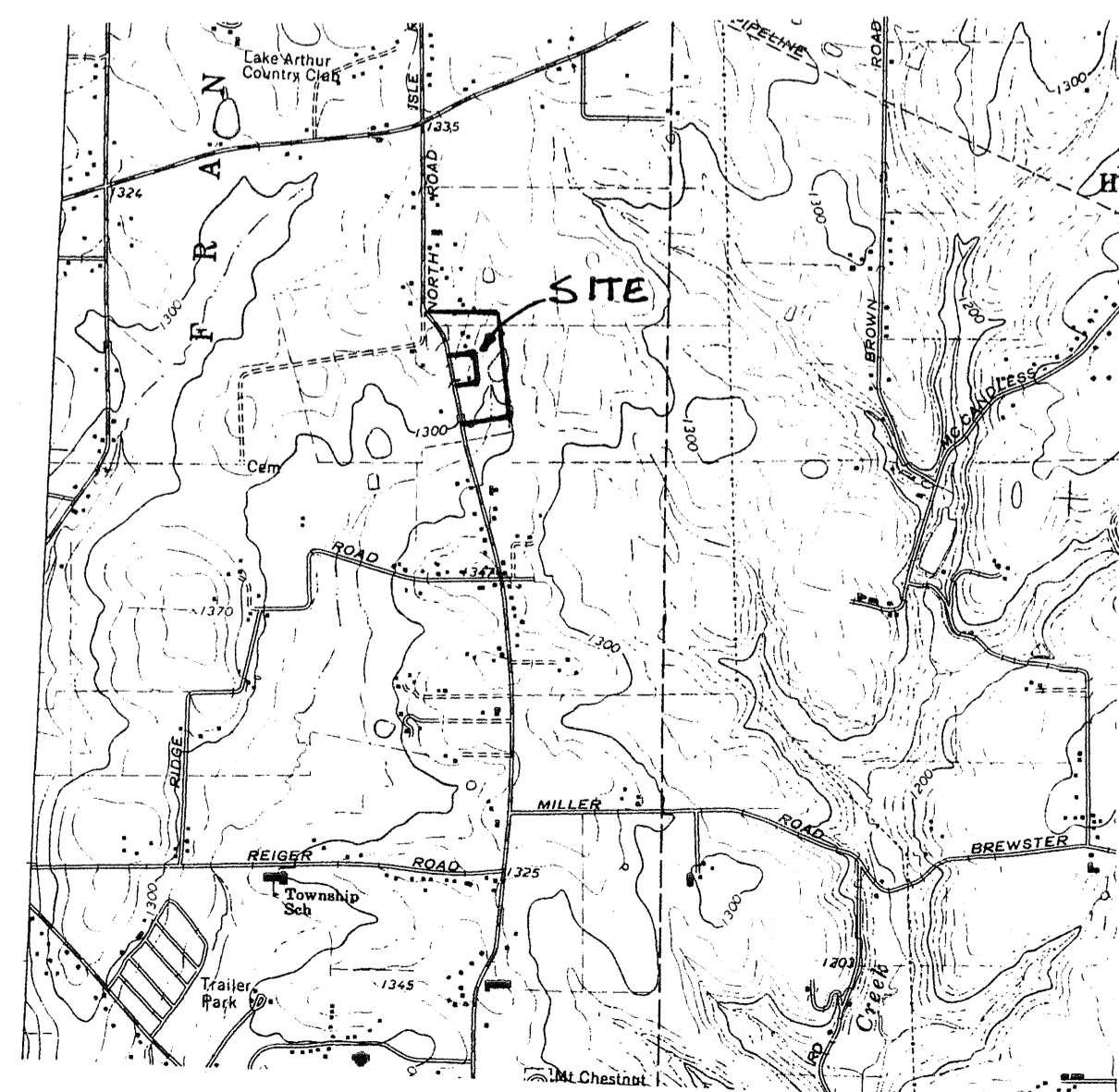
170-3F82-39A2A
 N/F J. MARTIN
 EX. LOT 1 of P.B. 258 Pg. 37

PARCEL B
 7.90 ACRES
 TO BE CONVEYED TO &
 COMBINED WITH TAX
 PARCEL 170-3F82-39G

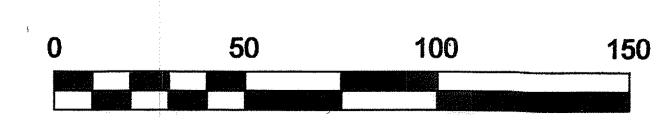
170-3F82-39
 N/F JAMES C. & SHARON A. SCHAEFER
 EX. LOT 4 of P.B. 262 Pg. 3
 11.90 ACRES
 -2.00 ACRES PARCEL A
 -7.90 ACRES PARCEL B
 2.00 ACRES TOTAL AFTER CONVEYANCES=
 REVISED LOT 4
 TO BE CONVEYED TO & COMBINED WITH
 ADJOINING LANDS OF DALCAMO

PARCEL A
 2.00 ACRES
 TO BE
 CONVEYED TO
 & COMBINED
 WITH ADJOINING
 LANDS OF
 ARNDT &
 PATTISON

170-3F82-39F
 N/F MARY ROMAN ARNDT &
 EDSON C. PATTISON
 EX. LOT 1 of P.B. 152 Pg. 29
 2.95 ACRES
 +2.00 ACRES PARCEL A
 4.95 ACRES TOTAL AFTER
 CONVEYANCE = REVISED LOT 1



VICINITY MAP Scale: 1" = 2000'



PLAN BOOK	PAGE
436	6

TAX PARCEL #170-3F82-39
 INST. #200512300037305
 ADDRESS: 342 NORTH ROAD

TAX PARCEL #170-3F82-39F
 DEED BOOK 2709 PG. 164
 ADDRESS: 346 NORTH ROAD

TAX PARCEL #170-3F82-39G
 INST. #200304280017581
 ADDRESS: 336 NORTH ROAD

No.	Date	Description	By
1	12/8/25	ENGINEER'S REVIEW LETTER	BEC

SCHAEFER / DALCAMO /
 ARNDT / PATTISON PLAN

LOT LINE REVISION

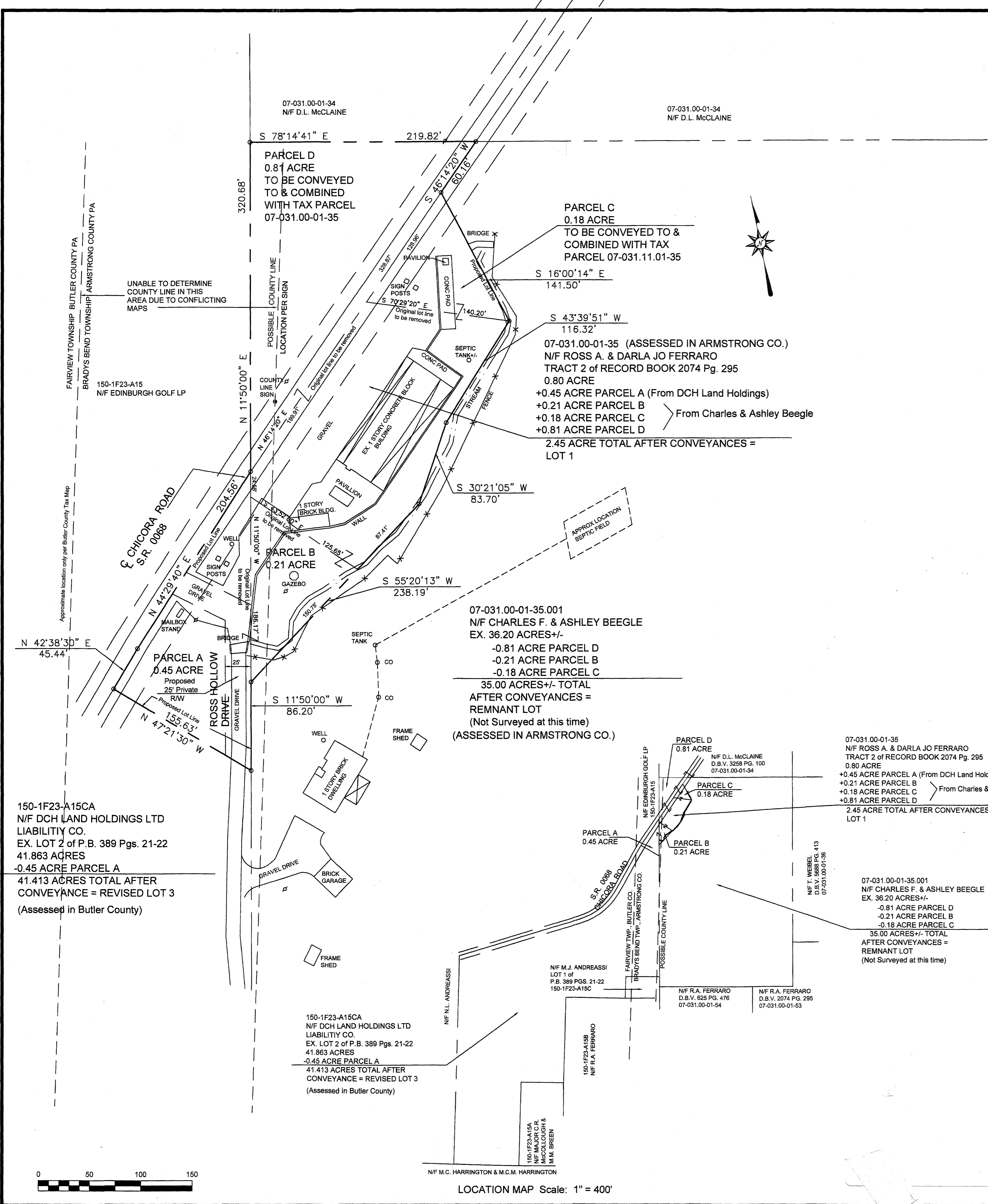
FOR: JAMES C. & SHARON A. SCHAEFER,
 DAVID A. & ALLISON M. DALCAMO and
 MARY ROMAN ARNDT & EDSON C. PATTISON
 SITUATE: FRANKLIN TWP., BUTLER CO., PENNSYLVANIA

Drawn By: BEC
 Checked By: CAH
 Approved By: BEC

Scale: 1" = 50'
 Drawing No.: M2065-001-25
 Sheet No.: 1 of 2
 Date: OCTOBER 22, 2025

LSSE
 Civil Engineers and Surveyors
 523 North Main Street
 Butler, Pennsylvania 16001
 724-287-8865
 Email: chughes@lsse.com

File • LSI • LSSE • Rabell • Senate



We, Ross A. and Darla Jo Ferraro, the undersigned, hereby declare that we are the owners of the property shown on this final plan, that the final plan and the proposed subdivision or land development were made with the owner's consent, and that the owners desire the final plan to be recorded as such.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 25th day of December, 2025

ATTEST:
ROSS A. FERRARO
DARLA JO FERRARO

COMMONWEALTH OF PENNSYLVANIA: COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Ross A. and Darla Jo Ferraro, who acknowledged the foregoing final plan of subdivision or land development to be their act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day, 2025

WITNESS MY HAND AND NOTARIAL SEAL this 5th day of December, 2025

My Commission expires the 23rd day of August, 2026

SEAL: Rachel Marie Altman, Notary Public, Commission number 1425733

I, Jace Hiles, Sole Member of DCH Land Holdings LLC, the undersigned, hereby declare that I am the owner of the property shown on this final plan, that the final plan and the proposed subdivision or land development were made with the owner's consent, and that the owner's desire the final plan to be recorded as such.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 5th day of December, 2025

ATTEST:
JACE HILES

COMMONWEALTH OF PENNSYLVANIA: COUNTY OF BUTLER

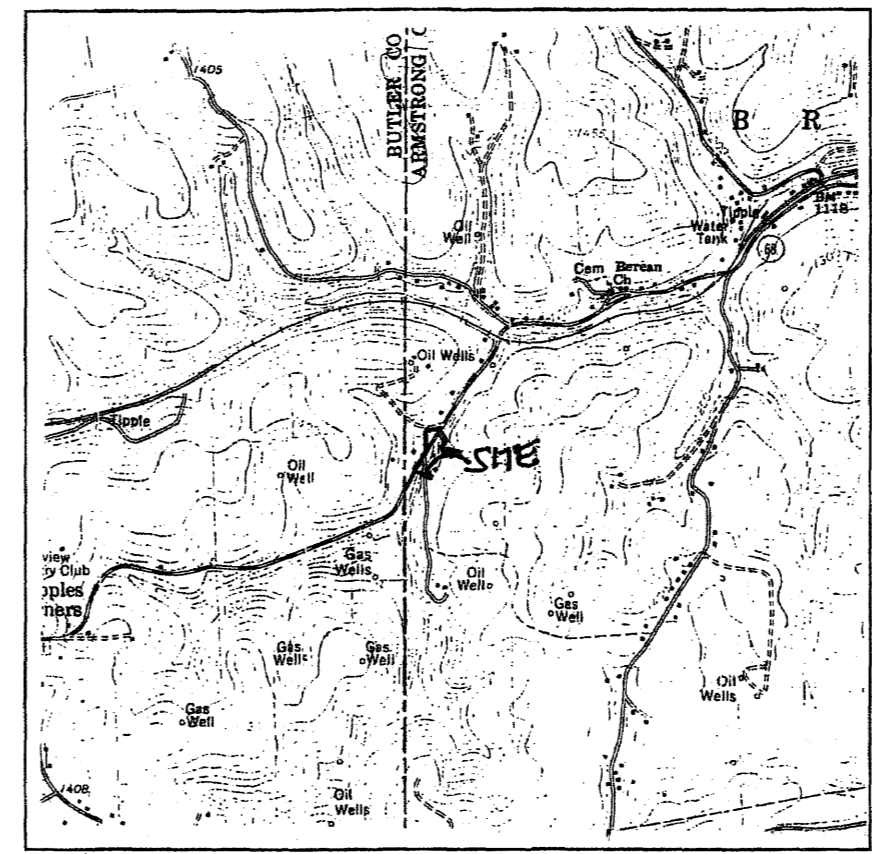
Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Jace Hiles, Sole Member of DCH Land Holdings LLC, who acknowledged the foregoing final plan of subdivision or land development to be his act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day, 2025

WITNESS MY HAND AND NOTARIAL SEAL this 5th day of December, 2025

My Commission expires the 23rd day of August, 2026

SEAL: Rachel Marie Altman, Notary Public, Commission number 1425733



VICINITY MAP Scale: 1" = 2000'

We, Charles F. and Ashley Beegle, the undersigned, hereby declare that we are the owners of the property shown on this final plan, that the final plan and the proposed subdivision or land development were made with the owner's consent, and that the owners desire the final plan to be recorded as such.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 5th day of December, 2025

ATTEST:
CHARLES F. BEEGLE
ASHLEY BEEGLE

COMMONWEALTH OF PENNSYLVANIA: COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Charles F. and Ashley Beegle, who acknowledged the foregoing final plan of subdivision or land development to be their act and deed and desired the same to be recorded as such.

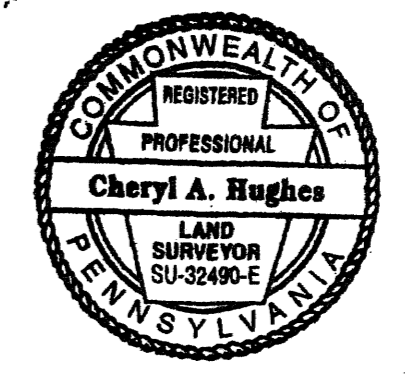
Sworn to and subscribed before me this day, 2025

WITNESS MY HAND AND NOTARIAL SEAL this 5th day of December, 2025

My Commission expires the 23rd day of August, 2026

SEAL: Rachel Marie Altman, Notary Public, Commission number 1425733

I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is true and correct to the standards of the Butler County Subdivision and Land Development Ordinance and that the survey and all angles, distances, and courses are accurately shown, that the monuments and markers as shown on the plot have been, or will be set, and to the best of my knowledge, that this plan correctly represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.



Final plan approval granted by the Armstrong County Planning Commission Staff, this day of December 2025

SECRETARY: [Signature]
CHAIRMAN/PRESIDENT: [Signature]

Reviewed by the Supervisors of the Township of Fairview this 10th day of December, 2025

SECRETARY: [Signature]
CHAIRMAN/PRESIDENT: [Signature]

Approved by the Butler County Planning Commission this 19th day of November, 2025

SECRETARY: [Signature]
CHAIRMAN/PRESIDENT: [Signature]

See Comments on File at the Butler County Planning Commission
Plan Number: 25245



NOTES:

SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.

ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREA OF MINIMAL FLOOD HAZARD DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

PROPERTY OWNERS:

ROSS & DARLA JO FERRARO
185 ROSS HOLLOW ROAD
KARNS CITY, PA 16041

DCH LAND HOLDINGS LLC
c/o JACE HILES
481 E. SLIPPERY ROCK RD.
CHICORA, PA 16025

CHARLES & ASHLEY BEEGLE
113 ROSS HOLLOW ROAD
KARNS CITY, PA 16041

PLAN BOOK	PAGE
436	7

COMMONWEALTH OF PENNSYLVANIA: COUNTY OF BUTLER

Recorded in the office for the recording of deeds, plans, etc. in said County in Plan Book Volume 436 page 7

Given under my hand and seal this 17th day of Dec 2025

SEAL: Michele M. Mustello
RECORDER

ALL CONVEYANCES UNDER THIS PLAN ARE SUBJECT TO THE GRANTEES, THEIR HEIRS, SUCCESSORS AND ASSIGNS SHARING EQUALLY IN THE COSTS AND EXPENSES OF MAINTAINING ANY AND ALL EASEMENTS IN GOOD REPAIR. THE USE BY THE GRANTEES, THEIR HEIRS, SUCCESSORS AND ASSIGNS OF SAID EASEMENTS SHALL BE LIMITED IN INGRESS, EGRESS AND REGRESS AND NO USE SHALL BE EXPANDED OR MODIFIED WITHOUT PRIOR WRITTEN CONSENT OF ANY AND ALL SIGNATORY LANDOWNERS.

REF: PLAN OF SUBDIVISION FOR MICHAEL J. & LEAH D. ANDREASSI AND ROSS A. & DARLA J. FERRARO BY LAND SURVEYORS, INC., 09/03/2020, #20-043, P.B. 389 PGS. 21 & 22.

TAX PARCEL #150-1F23-A15CA
INST. #202107280021453

COUNTY OF BUTLER SETBACK REQUIREMENTS:
50' FRONT YARD
20' SIDE YARD
50' REAR YARD

No.	Date	Description	By
1	11/20/25	ARMSTRONG CO SIGNATURE BLOCK	BEC

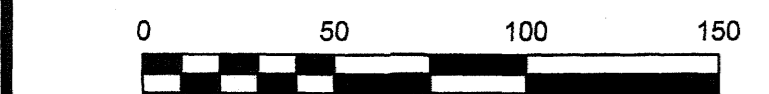
FOR: ROSS A. & DARLA J. FERRARO, CHARLES F. & ASHLEY BEEGLE & DCH LAND HOLDINGS LLC

Situate In
FAIRVIEW TWP., BUTLER CO., PENNSYLVANIA & BRADYS BEND TWP., ARMSTRONG CO., PENNSYLVANIA

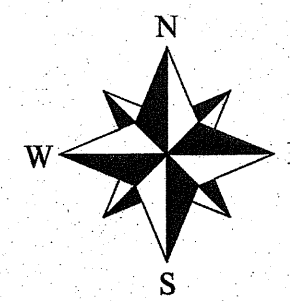
Drawn By: BEC Scale: 1" = 50' Drawing No: M1951-001.25.B
Checked By: CAH Sheet No: 1 of 1
Approved By: [Signature] Date: OCTOBER 27, 2025

LSSE
Civil Engineers and Surveyors
523 North Main Street
Butler, Pennsylvania 16001
724-287-8865
Email: chughes@lsse.com

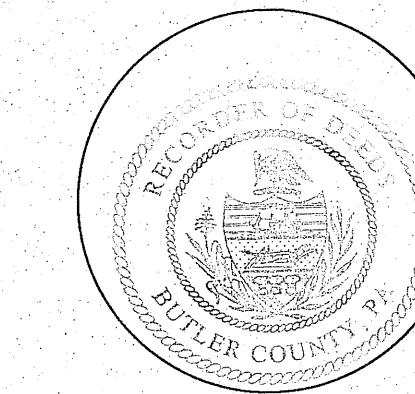
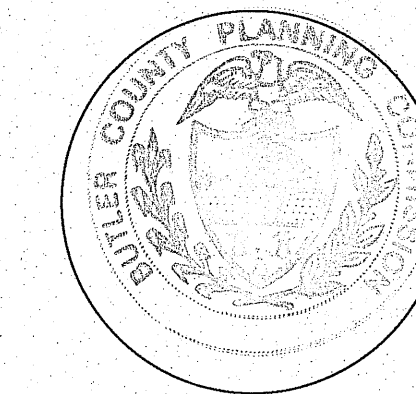
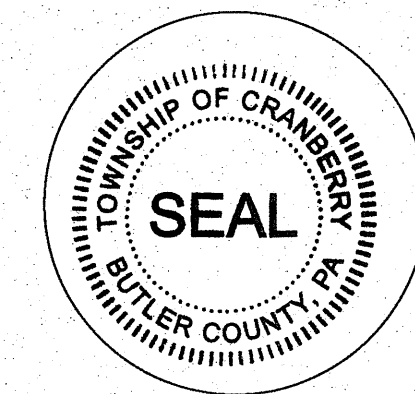
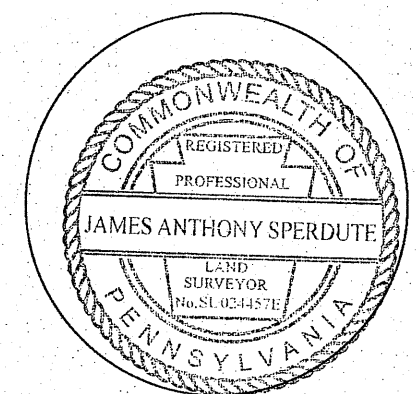
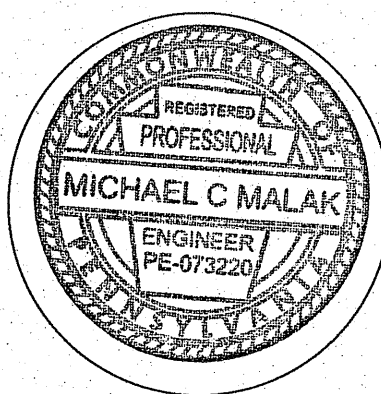
Fike • LSI • LSSE • Rabell • Senate



LOCATION MAP Scale: 1" = 400'



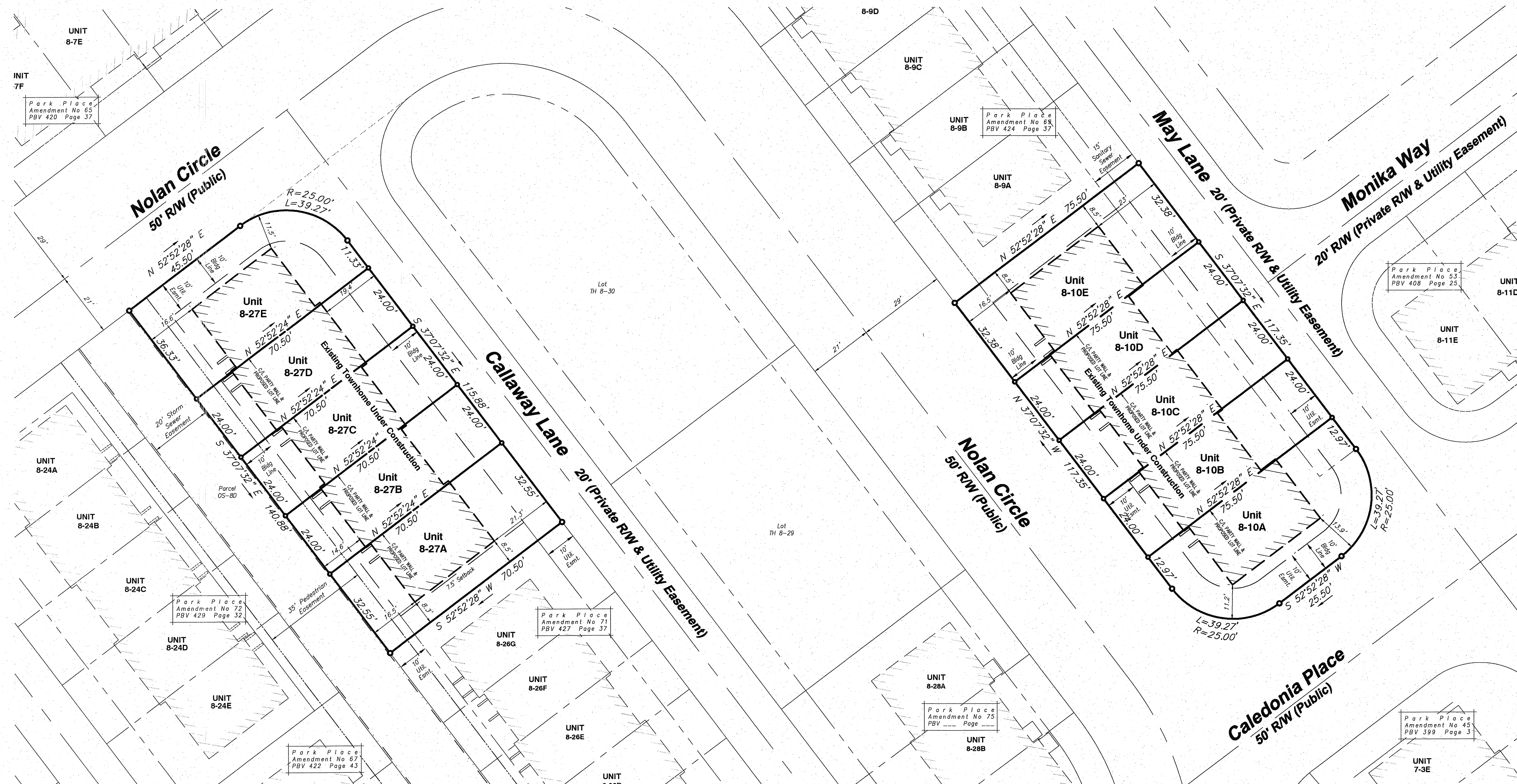
Instr: 202512220021373
 Page 1 of 544.68
 12/22/2025 10:27 AM
 Michele Mustello
 Butler County Recorder PA



BY RESOLUTION APPROVED ON THE 18th DAY OF December, 2025 THE BOARD OF DIRECTORS OF NVR, INCORPORATED IN THE COMMONWEALTH OF PENNSYLVANIA, OWNER OF THE LAND SHOWN ON THE PARK PLACE AMENDMENT NO. 76 PLAN ADOPTED THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATED ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION TO THE PUBLIC. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE CORPORATION AND UPON ITS SUCCESSORS AND ASSIGNS.

[Signature] NVR, INC.
 SIGNATURE AND TITLE OF OFFICER WITNESS SIGNATURE AND TITLE OF AUTHORIZED OFFICER

12/18/25
 DATE



BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN, AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF ALLEGHENY, PERSONALLY APPEARED Peter Robertson VP of NVR, INC. WHO STATED THAT HE IS AUTHORIZED TO EXECUTE THE ABOVE ADOPTION AND DEDICATION ON BEHALF OF THE CORPORATION AND WAS PRESENT AT THE MEETING AT WHICH THE ACTION OF THE CORPORATION WAS TAKEN TO ADOPT THE PLAN AND DEDICATE PUBLIC PROPERTY CONTAINED THEREIN TO THE PUBLIC.

WITNESS MY HAND AND NOTARIAL SEAL THIS 18th DAY OF December, 2025

(SEAL) *[Signature]*
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
 LISSETTE SPRIFF - Notary Public
 Allegheny County
 My Commission Expires December 7, 2026
 Commission Number: 1193287

Peter Robertson VP of NVR, INC. HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE PARK PLACE AMENDMENT NO. 76 IS IN THE NAME OF NVR, INC. AND IS RECORDED AT INSTRUMENT NO. 202510230017476 & . I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

[Signature] SIGNATURE OF WITNESS
[Signature] - VP SIGNATURE AND TITLE OF AUTHORIZED OFFICER

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

12/18/25
 DATE

[Signature]
 JAMES A. SPURDUTE, R.S. # 24457-E

MICHAEL C. MALAK, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER OF THE TOWNSHIP OF CRANBERRY, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.

12/18/25
 DATE

[Signature]
 SIGNATURE
 REGISTRATION NO. PE-073220

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY BY RESOLUTION NO. 2025-73 EFFECTIVE THIS 20th DAY OF November, 2025

[Signature] SECRETARY
[Signature] CHAIRPERSON

Daniel B. Santoro, TOWNSHIP MANAGER FOR THE TOWNSHIP OF CRANBERRY CERTIFY THAT THE CONDITIONS FOR FINAL APPROVAL OUTLINED IN RESOLUTION NO. 2025-73 HAVE BEEN MET IN ACCORDANCE WITH SECTION 22-305 AND 22-307 OF THE TOWNSHIP CODE OF ORDINANCES.

[Signature]
 TOWNSHIP MANAGER

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 19 DAY OF November, 2025

[Signature] SECRETARY
[Signature] CHAIRPERSON

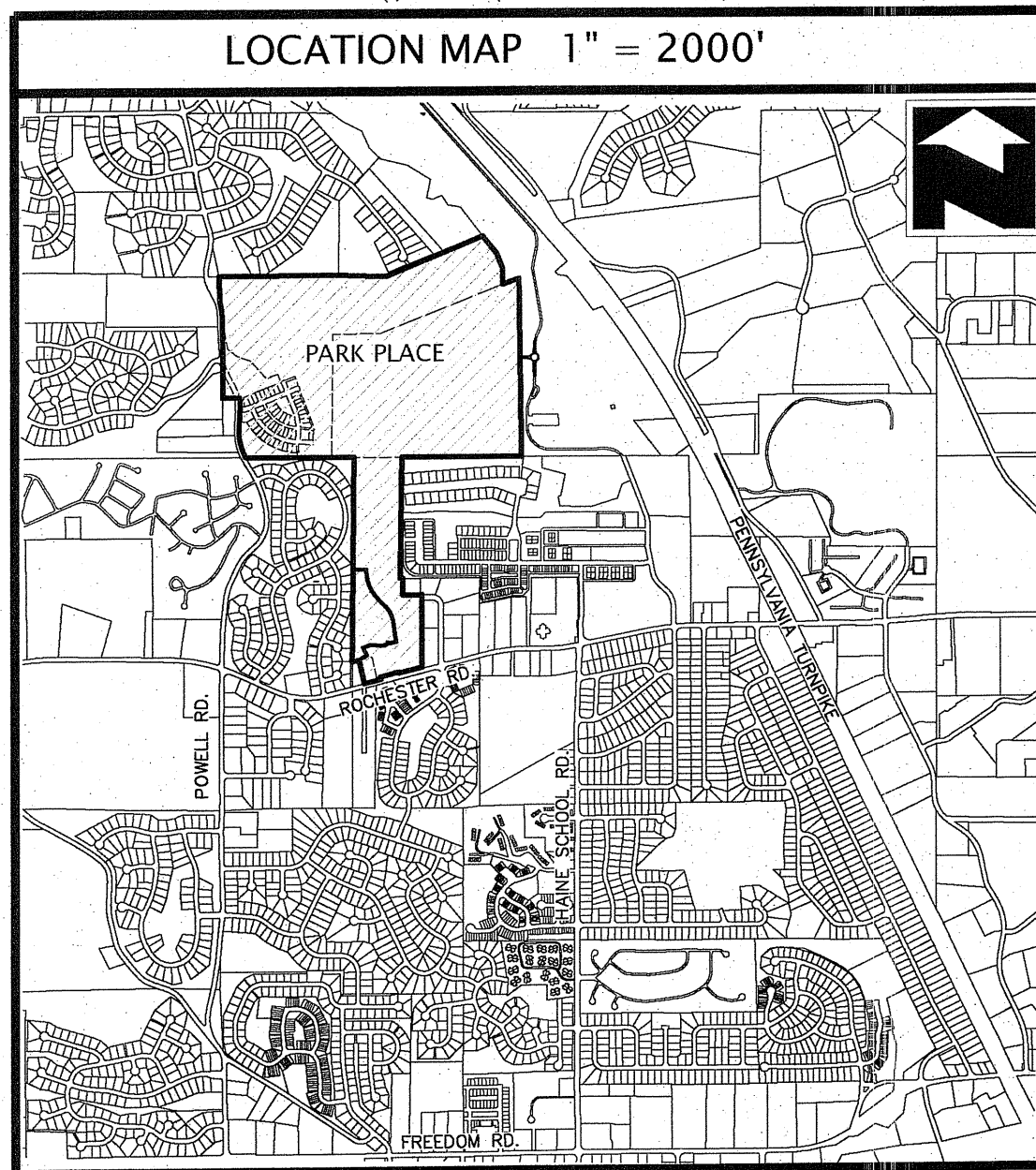
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK 436 PAGE

GIVEN UNDER MY HAND AND SEAL THIS 22nd DAY OF December, 2025

[Signature]
 RECORDER OF DEEDS

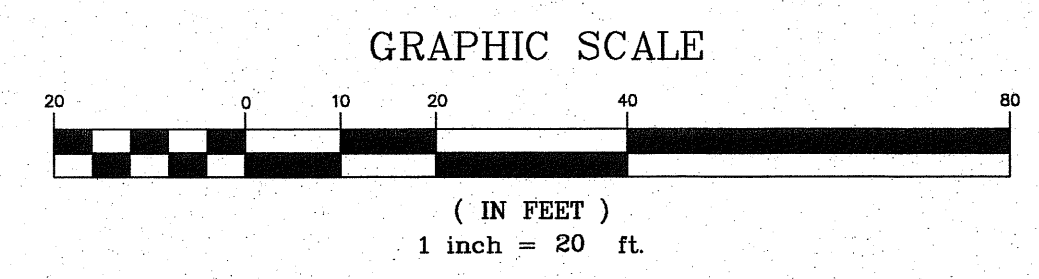
MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday In January 2028

PLAN BOOK	PAGE
436	8



Lot Number	Lot Area (Sq.Ft.)	Lot Area (Acres)
TH 8-10	10,479,240	0.24
TH 8-27	9,797,659	0.22

Unit Number	Lot Area (Sq.Ft.)	Lot Area (Acres)	Street Address
8-10A	2,598,927	0.060	402 Nolan Circle
8-10B	1,812,000	0.042	404 Nolan Circle
8-10C	1,812,000	0.042	406 Nolan Circle
8-10D	1,812,000	0.042	408 Nolan Circle
8-10E	2,444,313	0.056	410 Nolan Circle
8-27A	2,295,059	0.053	109 Callaway Lane
8-27B	1,692,015	0.039	107 Callaway Lane
8-27C	1,692,015	0.039	105 Callaway Lane
8-27D	1,692,009	0.039	103 Callaway Lane
8-27E	2,426,611	0.056	101 Callaway Lane



GENERAL PLAN NOTES

- THIS PLAN IS A RE-SUBDIVISION OF PARCEL TH 8-10 OF THE PARK PLACE REVISED FINAL PHASE BA AS RECORDED IN PLAN BOOK 404, PAGES 1 & 2 AND PARCEL TH 8-27 OF THE PARK PLACE REVISED FINAL PHASE BB AS RECORDED IN PLAN BOOK 411, PAGES 27 & 28.
- THIS PLAN IS SUBJECT TO ANY AND ALL CONDITIONS OF THE PREVIOUSLY APPROVED AND RECORDED PLANS.
- IF APPLICABLE, BEARINGS LABELED AS (NR) ARE NON-RADIAL TO THE INTERSECTING RIGHT OF WAY LINE.

**AFFECTED ZONING CLASSIFICATION: CCD-2
 PROPOSED USE : CCD-2**

- MINIMUM LOT SIZE PER PATTERN BOOK
- MINIMUM LOT WIDTH PER PATTERN BOOK
- MINIMUM FRONT SETBACK PER PATTERN BOOK
- MINIMUM REAR SETBACK PER PATTERN BOOK
- MINIMUM SIDE SETBACK PER PATTERN BOOK
- MAXIMUM BUILDING HEIGHT PER PATTERN BOOK

PROPERTY REFERENCES

LOT TH 8-10
 TAX PARCEL 130-546-910
 INST# 202510230017476
 PARK PLACE REVISED FINAL PHASE BA
 PBV 404 PAGES 1 & 2

LOT TH 8-27
 TAX PARCEL 130-546-827
 INST# 202510080016477
 PARK PLACE REVISED FINAL PHASE BB
 PBV 411 PAGES 27 & 28

DEVELOPER / PROPERTY OWNER:

NVR
 ONE PENN CENTER WEST, SUITE 220
 PITTSBURGH, PA 15276

BUILT BY:
Ryan Homes

DRAWING NUMBER: 1004-2528475
 DRAWING SCALE: 1" = 20'
 DATE: November 11, 2025
 DRAWN BY:
 REVISIONS:

PARK PLACE AMENDMENT NO. 76

BEING A RE-SUBDIVISION OF PARCEL TH 8-10 OF THE PARK PLACE REVISED FINAL PHASE BA & PARCEL TH 8-27 OF THE PARK PLACE REVISED FINAL PHASE BB CRANBERRY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

Sperdute Land Surveying
 A Division of Sheffer & Company
 441 Mars-Valencia Rd, Suite 3C
 Valencia, PA 16059

108 Deer Lane Harmony, PA 16037
 1712 Mount Nebo Road Sewickley, PA 15143

Office Phone: 724-452-4362
 Email: Info@SperduteSurveying.com
 James A. Spurdute, RS # 24457-E

OWNER'S ADOPTION AND DEDICATION SUB PLAN

We, owners or beneficial owners of the land shown on the Davis Plan #7 Revision 1, hereby adopt this plan as our plan of lots and irrevocably dedicate all streets and other property identified for dedication on the plan to the public. This adoption and dedication shall be binding upon our heirs, executors, and assigns.

ACKNOWLEDGMENT OF NOTARY PUBLIC COMMONWEALTH OF PENNSYLVANIA SS: COUNTY OF BUTLER

Before me, the undersigned Notary Public in and for the State of Pennsylvania and County of Butler, personally appeared John E. Davis and Peggy P. Davis, the above named owners, and acknowledged the foregoing adoption and dedication to be their act.

CERTIFICATION OF TITLE AND NO MORTGAGE

We hereby certify that the title to the property contained in the Davis Plan #7 Revision 1 is in the name of John E & Peggy P Davis and is recorded in INST# 200108200023154. We further certify that there is no mortgage, lien, or other encumbrance against this property.

SURVEYOR'S CERTIFICATION I certify that, to the best of my knowledge, the survey and plan shown hereon are correct and accurate to the standards required.

MUNICIPAL DECLARATIONS No Building Permits Without Approved Sewage Facilities The Township of Cranberry agrees not to issue building permits until the "Planning Module for Land Development" has been approved in accordance with the regulations of the Pennsylvania Department of Environmental Protection.

APPROVAL BY THE BOARD OF SUPERVISORS This statement certifies only that action was taken by the Board of Supervisors granting final approval.

APPROVAL BY THE TOWNSHIP MANAGER Daniel D. Santoro, Township Manager for the Township of Cranberry, certifies that the conditions for final approval outlined in Ordinance/Resolution No. 2025-07 have been met in accordance with §§ 22-305 and 22-307 of the Township of Cranberry Code of Ordinances.

MUNICIPAL ENGINEER'S CERTIFICATION I, Michele M. Mustello, a registered professional engineer, the Township Engineer for Cranberry Township, do hereby certify that this land development plan meets all the engineering and design requirements of the Township ordinances except as departures have been authorized by the Cranberry Township Board of Supervisors.

Reviewed by the Butler County Planning Commission on this 16th day of APRIL 2025. Bon Husman JIS, Secretary, BCPC 25609. Jesse Hines JIS, Chairman, Butler County Planning Commission.

PROOF OF RECORDING COMMONWEALTH OF PENNSYLVANIA SS: COUNTY OF BUTLER My Commission Expires First Monday in January 2028

Recorded in the Office of the Recorder of Deeds of the County of Butler, Commonwealth of Pennsylvania, in Plan Book Volume 436 page(s) 9. Signed under my hand and seal this 27th day of DECEMBER, 2025. Michele M. Mustello, Recorder of Deeds.

OWNER'S ADOPTION AND DEDICATION SUB PLAN

We, owners or beneficial owners of the land shown on the Davis Plan #7 Revision 1, hereby adopt this plan as our plan of lots and irrevocably dedicate all streets and other property identified for dedication on the plan to the public. This adoption and dedication shall be binding upon our heirs, executors, and assigns.

ACKNOWLEDGMENT OF NOTARY PUBLIC COMMONWEALTH OF PENNSYLVANIA SS: COUNTY OF BUTLER

Before me, the undersigned Notary Public in and for the State of Pennsylvania and County of Butler, personally appeared Jeffrey S. Rickert and Barbara A. Rickert, the above named owners, and acknowledged the foregoing adoption and dedication to be their act.

CERTIFICATION OF TITLE AND NO MORTGAGE

We hereby certify that the title to the property contained in the Davis Plan #7 Revision 1 is in the name of Jeffrey S & Barbara A Rickert and is recorded in INST# 200108200023157. We further certify that there is no mortgage, lien, or other encumbrance against this property.

SURVEYOR'S CERTIFICATION I certify that, to the best of my knowledge, the survey and plan shown hereon are correct and accurate to the standards required.

MUNICIPAL DECLARATIONS No Building Permits Without Approved Sewage Facilities The Township of Cranberry agrees not to issue building permits until the "Planning Module for Land Development" has been approved in accordance with the regulations of the Pennsylvania Department of Environmental Protection.

APPROVAL BY THE BOARD OF SUPERVISORS This statement certifies only that action was taken by the Board of Supervisors granting final approval.

APPROVAL BY THE TOWNSHIP MANAGER Daniel D. Santoro, Township Manager for the Township of Cranberry, certifies that the conditions for final approval outlined in Ordinance/Resolution No. 2025-07 have been met in accordance with §§ 22-305 and 22-307 of the Township of Cranberry Code of Ordinances.

MUNICIPAL ENGINEER'S CERTIFICATION I, Michele M. Mustello, a registered professional engineer, the Township Engineer for Cranberry Township, do hereby certify that this land development plan meets all the engineering and design requirements of the Township ordinances except as departures have been authorized by the Cranberry Township Board of Supervisors.

Reviewed by the Butler County Planning Commission on this 16th day of APRIL 2025. Bon Husman JIS, Secretary, BCPC 25609. Jesse Hines JIS, Chairman, Butler County Planning Commission.

PROOF OF RECORDING COMMONWEALTH OF PENNSYLVANIA SS: COUNTY OF BUTLER My Commission Expires First Monday in January 2028

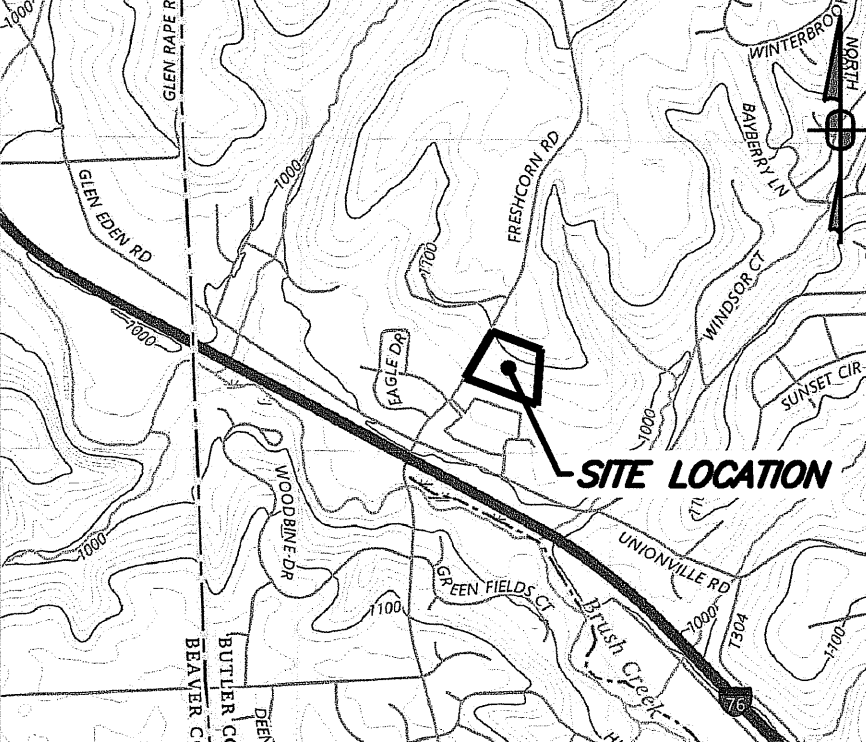
Recorded in the Office of the Recorder of Deeds of the County of Butler, Commonwealth of Pennsylvania, in Plan Book Volume 436 page(s) 9. Signed under my hand and seal this 27th day of DECEMBER, 2025. Michele M. Mustello, Recorder of Deeds.

Inst#: 202512220021374 Page: 1 of 14848 Middle Statewide Butler County Recorder PA 12/23/2025 10:27 AM 72625941904

AREA TABULATION: EXISTING TAX PARCELS: 130-4F121-14R-0000 3.102 ACRES - (135,127.1 SQ. FT.) 130-4F121-14S-0000 5.415 ACRES - (235,865.7 SQ. FT.) TOTAL 8.517 ACRES - (370,992.8 SQ. FT.)

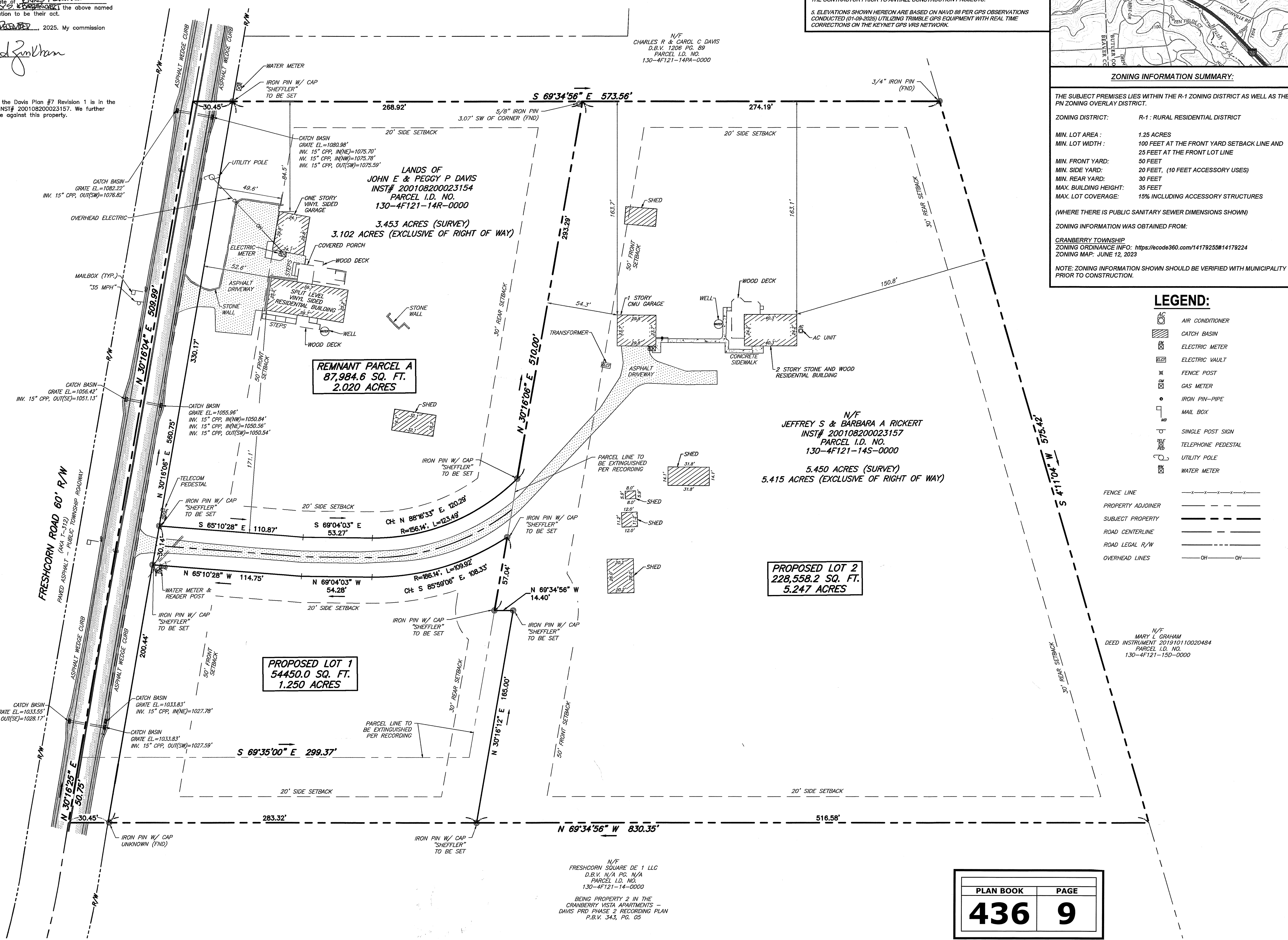
- GENERAL NOTES: 1. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE AND ADJUST LOT LINES INTO THREE LOTS. 2. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. 3. BEARINGS (OR MERIDIAN) SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (SP01) ZONE 1808.

Site Location Map: USGS Baden, PA Scale: 1"=200'



ZONING INFORMATION SUMMARY: THE SUBJECT PREMISES LIES WITHIN THE R-1 ZONING DISTRICT AS WELL AS THE RW ZONING OVERLAY DISTRICT. ZONING DISTRICT: R-1: RURAL RESIDENTIAL DISTRICT MIN. LOT AREA: 1.25 ACRES MIN. LOT WIDTH: 100 FEET AT THE FRONT YARD SETBACK LINE AND 25 FEET AT THE FRONT LOT LINE

LEGEND: AIR CONDITIONER, CATCH BASIN, ELECTRIC METER, ELECTRIC VAULT, FENCE POST, GAS METER, IRON PIN-PIPE, MAIL BOX, SINGLE POST SIGN, TELEPHONE PEDESTAL, UTILITY POLE, WATER METER



811 Know what's below. Call before you dig. POCS SER. #: THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

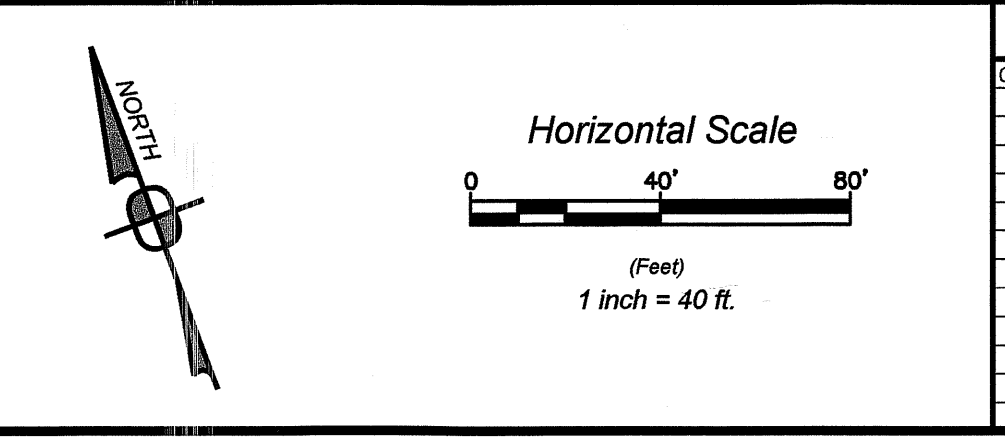


Table with columns: Date, Revision Description, By, Professional Seal, Prepared By. Row 1: 02-26-2025, REVISE ZONING CATEGORY AND SETBACKS, JIS, [Seal], Sheffler & Company, Inc.

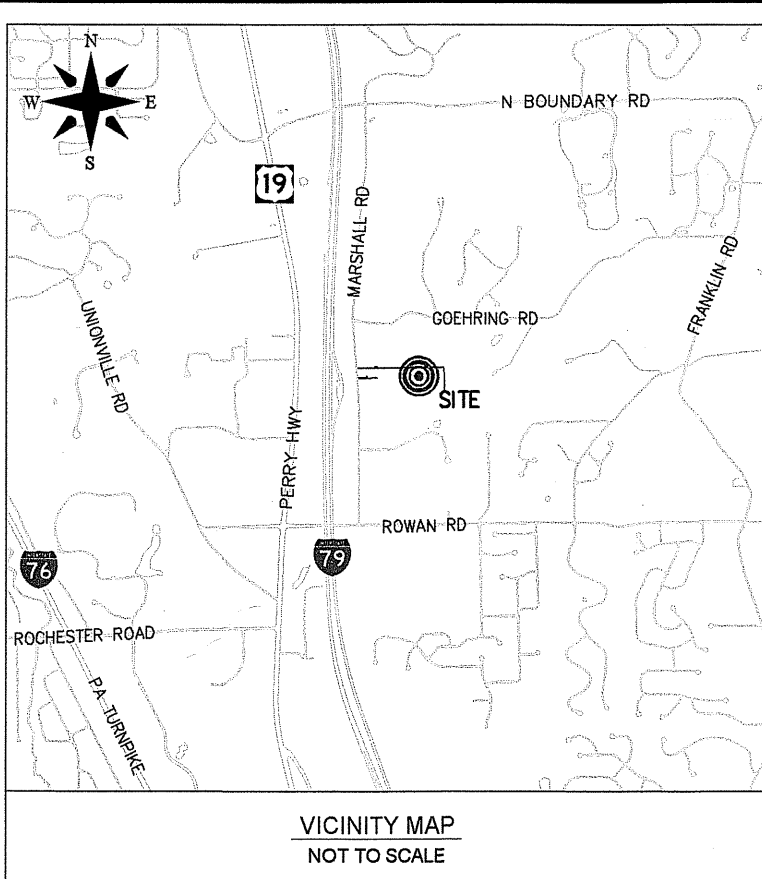
Sheffler & Company, Inc. ENGINEERING • SURVEYING 1712 Mount Nebo Road Sewickley, PA 15143 Office Phone: 412-219-4509 Email: Info@ShefflerCo.com

Davis Plan #7 Revision 1 Subdivision Plan 5530 Freshcom Rd, Cranberry Township, PA 16066 Prepared For: Bill Davis Situate In: Cranberry Township, Butler County, Pennsylvania

PLAN BOOK 436 PAGE 9

Being a Subdivision Plan of Butler County Parcels 130-4F121-14R-0000 & 130-4F121-14S-0000 DRAWING SCALE: As Shown DRAWN BY: JDS DATE ISSUED: Jan 23rd 2025 REVIEWED BY: MWS PROJECT JOB#: 5360 FIELD BOOK #: 5360 CADD#: 5360 - 5530 FRESHCORN RD SUBDIVISION.DWG

Attn: Bill Davis Email: billdavis8893@gmail.com Phone: 724-553-6114 Sheet No. 1 of 1



OWNER'S ADOPTION & DEDICATION

I, KEVIN R. KEHOE, OWNER OF THE LAND SHOWN ON THE KEHOE-BEALL SUBDIVISION PLAN, HEREBY ADOPT THIS PLAN AS MY PLAN OF LOTS AND IRREVOCABLY DEDICATE ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON MY HEIRS, EXECUTORS, AND ASSIGNS.

IN WITNESS OF WHICH, TO THIS I SET MY HAND AND SEAL THIS 15 DAY OF Dec 2025

ATTEST: *[Signature]*
 SIGNATURE OF WITNESS
 DATE 12/15/25

[Signature]
 SIGNATURE OF OWNER
KEVIN R. KEHOE
 OWNER
 TITLE

ACKNOWLEDGMENT OF NOTARY PUBLIC

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE STATE OF PA AND COUNTY OF Butler, PERSONALLY APPEARED KEVIN R. KEHOE, THE ABOVE-NAMED OWNER, AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE HIS ACT.

WITNESS MY HAND AND NOTARIAL SEAL THIS 15 DAY OF Dec 2025

(SEAL)
 Commonwealth of Pennsylvania - Notary Seal
 Kirsten K. Bender, Notary Public
 Butler County
 My commission expires April 11, 2028
 Commission number 1268346
 Member, Pennsylvania Association of Notaries

[Signature]
 NOTARY PUBLIC

SURVEYOR CERTIFICATION

I, TERRY R. SIEFERS, A REGISTERED PROFESSIONAL LAND SURVEYOR, OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

DATE 8/25/2025

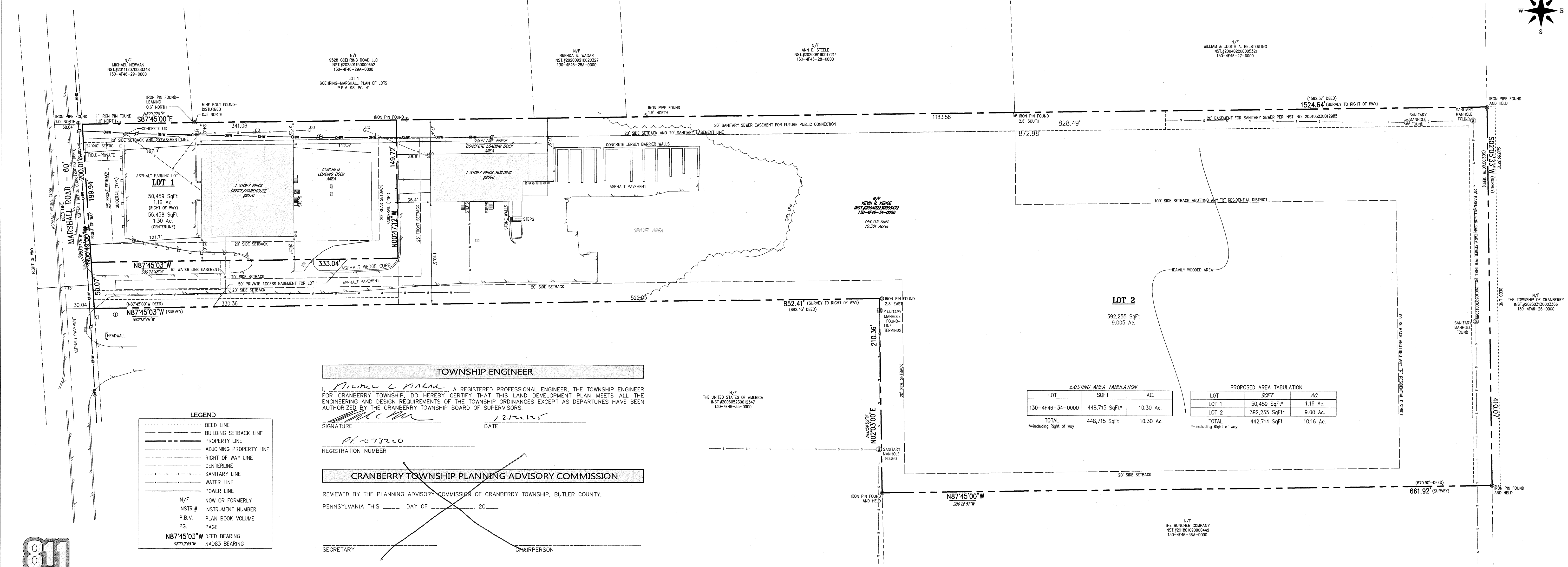
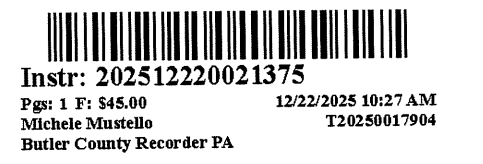
[Signature]
 TERRY R. SIEFERS
 LICENSE NUMBER: SU043962-E

CERTIFICATION OF TITLE

I HEREBY CERTIFY THAT THE TITLE TO A PORTION OF THE PROPERTY CONTAINED IN THE KEHOE-BEALL SUBDIVISION PLAN IS IN THE NAME OF KEVIN R. KEHOE AND IS RECORDED IN INSTRUMENT NO. 200402230005472.

WITNESS _____

OWNER _____



TOWNSHIP ENGINEER

I, Michele M. Mustello, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER FOR CRANBERRY TOWNSHIP, DO HEREBY CERTIFY THAT THIS LAND DEVELOPMENT PLAN MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP ORDINANCES EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE CRANBERRY TOWNSHIP BOARD OF SUPERVISORS.

[Signature]
 SIGNATURE
 DATE 12/15/25

PK-073210
 REGISTRATION NUMBER

CRANBERRY TOWNSHIP PLANNING ADVISORY COMMISSION

REVIEWED BY THE PLANNING ADVISORY COMMISSION OF CRANBERRY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA THIS _____ DAY OF _____, 20____.

SECRETARY _____ CHAIRPERSON _____

MUNICIPAL DECLARATIONS

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY, HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF CRANBERRY HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

[Signature] SECRETARY
[Signature] CHAIRPERSON, BOARD OF SUPERVISORS

THE TOWNSHIP OF CRANBERRY AGREES NOT TO ISSUE BUILDING PERMITS UNTIL THE "PLANNING MODULE FOR LAND DEVELOPMENT" HAS BEEN APPROVED IN ACCORDANCE WITH THE REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

[Signature] SECRETARY
 DATE 11/1/25

CRANBERRY TOWNSHIP BOARD OF SUPERVISORS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY BY RESOLUTION NO. 2025-70, ON THE 15th DAY OF November, 2025.

[Signature] SECRETARY
[Signature] CHAIRPERSON, BOARD OF SUPERVISORS

CRANBERRY TOWNSHIP MANAGER

I, Daniel D. Santoro, TOWNSHIP MANAGER FOR THE TOWNSHIP OF CRANBERRY, CERTIFY THAT THE CONDITIONS FOR FINAL APPROVAL OUTLINED IN RESOLUTION NO. 2025-70 HAVE BEEN MET IN ACCORDANCE WITH §§22-305 AND 22-307 OF THE TOWNSHIP OF CRANBERRY CODE OF ORDINANCES.

[Signature] TOWNSHIP MANAGER

BUTLER COUNTY PLANNING COMMISSION

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 17 DAY OF SEPTEMBER, 2025.

[Signature] SECRETARY
[Signature] CHAIRMAN, BUTLER COUNTY PLANNING COMMISSION

BUTLER COUNTY RECORDER OF DEEDS

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 436, PAGE(S) 10, GIVEN UNDER MY HAND AND SEAL THIS 22nd DAY OF December, 2025.

[Signature]
 RECORDER OF DEEDS

PLAN BOOK	PAGE
436	10

KEHOE - BEALL SUBDIVISION PLAN
 9068/9070 MARSHALL ROAD
 SITUATE IN
 CRANBERRY TOWNSHIP
 BUTLER COUNTY, PA

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2028

DATE: 4/23/2025
 DRAWN BY: D.J.H.
 REVIEWED BY: T.R.S.
 REVISED: 8/25/2025
 2ND REV: 10/10/2025
 SCALE: 1"=50'
 PROJECT NO: 2025-047

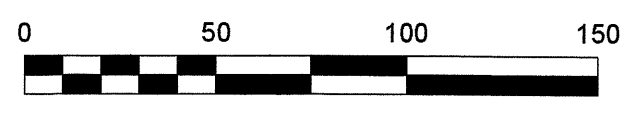
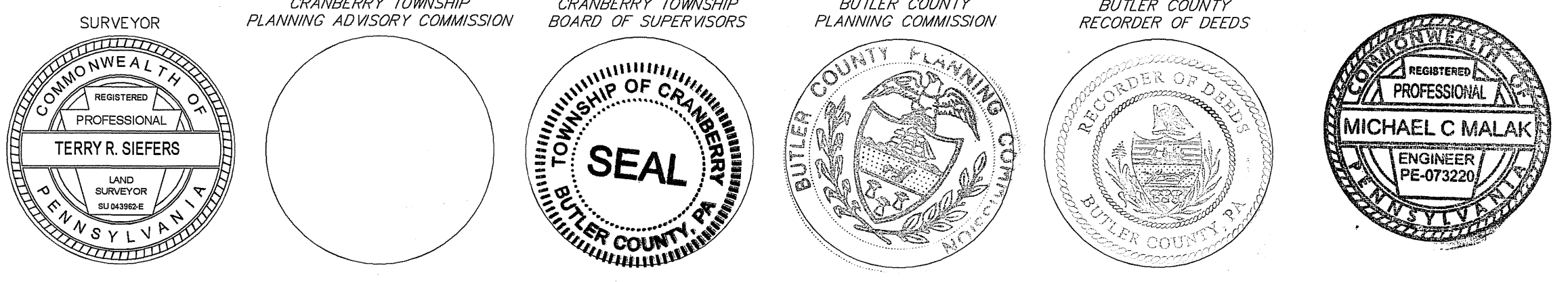


Know what's below
 Call before you dig

ZONING INFORMATION:
 "SP-1" SPECIAL GROWTH DISTRICT

MINIMUM LOT AREA: ONE ACRE.
 MINIMUM LOT WIDTH: 80 FEET AT FRONT LOT LINE
 MINIMUM FRONT YARD SETBACK: 25 FEET
 MINIMUM SIDE YARD SETBACK: 20 FEET
 MINIMUM REAR SETBACK: 20 FEET
 MAXIMUM STRUCTURE HEIGHT: 50 FEET

*ALL BUILDINGS ON LOTS ADJOINING ANY R RESIDENTIAL SHALL BE SET BACK A MINIMUM OF 100 FEET FROM THE LOT LINE ADJOINING THE R RESIDENTIAL DISTRICT.



I, MARK B. SCHMIDT, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THESE PLATS AND PLANS OF THE "LIBERTY POINT-CONDOMINIUM PLATS AND PLANS-AMENDMENT NO. 4" TO WHICH THIS CERTIFICATION IS AFFIXED, ACCURATELY CONTAINS ALL INFORMATION REQUIRED BY SECTION 5210 OF THE PENNSYLVANIA UNIFORM PLANNED COMMUNITY ACT.

DATE 12-18-2025

Mark B. Schmidt
 MARK B. SCHMIDT
 REGISTRATION NO. SU-36950-E

COMMONWEALTH OF PENNSYLVANIA
 COUNTY OF ALLEGHENY

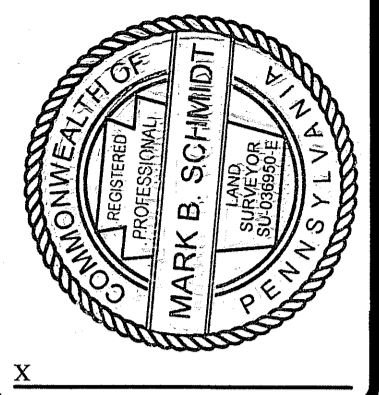
ON THIS 18 DAY OF Dec 2025, BEFORE ME, A NOTARY PUBLIC, PERSONALLY APPEARED MARK B. SCHMIDT KNOWN TO ME OR SATISFACTORILY PROVEN TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED THAT HE EXECUTED THE SAME FOR THE PURPOSE THEREINCONTAINED.

Mark B. Schmidt
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
 Rose Mary Mitchell, Notary Public
 Allegheny County
 My commission expires November 21, 2029
 Commission number: 1113922
 Member: Pennsylvania Association of Notaries

- PREVIOUSLY DEVELOPED:
- A) LIBERTY POINT SUBDIVISION PLAN INSTR# 202301260001228 P.B.V. 408, PGS. 48-51
 - B) LIBERTY POINT CONDOMINIUM PLAT AND PLANS INSTR# 202312010018058 P.B.V. 414, PGS. 31-32
 - C) LIBERTY POINT CONDOMINIUM PLAT AND PLANS AMENDMENT NO. 2 INSTR# 202412040018177 P.B.V. 423, PGS. 27-28
 - D) LIBERTY POINT CONDOMINIUM PLATS AND PLANS AMENDMENT NO. 3 INSTR# 202506260009881 P.B.V. 429, PGS. 25-26
 - E) LIBERTY POINT - REVISION NO. 1 SUBDIVISION PLAN P.B.V. 433, PGS. 43-45

Instr: 202512220021421
 Page 2 of 8880
 Michele Mustello
 Butler County Recorder PA
 12/22/2025 10:59:19 AM
 7242-89817937

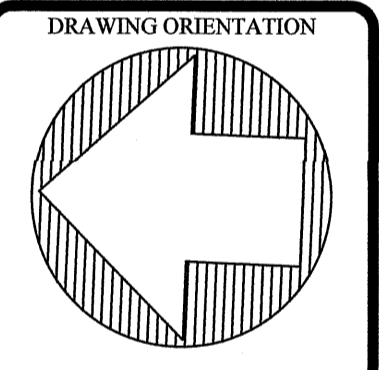


HAMPSON TECHNICAL ASSOCIATES, INC.
 ENGINEERING LAND SURVEYORS
 ESTABLISHED 1969
 www.hampson-technical.com

Corporate Office
 Esna Technical Center
 35 Wilson Street, Suite 201
 Pittsburgh, PA 15223
 PHONE: (412) 781-9660
 FAX: (412) 781-5904

Mars Office
 123 Ridge Road, Suite 13
 Valencia, PA 16059
 PHONE: (724) 625-4544
 FAX: (724) 625-4549

DATE ISSUED:	PROJECT STATUS:
12/18/2025	FINAL
NO.	DESCRIPTION



CLIENT NAME & ADDRESS:
 LIBERTY POINT PARTNERS, LLC
 3413 BARCOCK BLVD., PITTSBURGH, PA 15227

PROJECT TITLE:
LIBERTY POINT CONDOMINIUM PLATS AND PLANS AMENDMENT NO. 4

PROJECT LOCATION:
 JEFFERSON TOWNSHIP
 BUTLER COUNTY, PENNSYLVANIA

DRAWN BY: GLS
 CHECKED BY: MBS

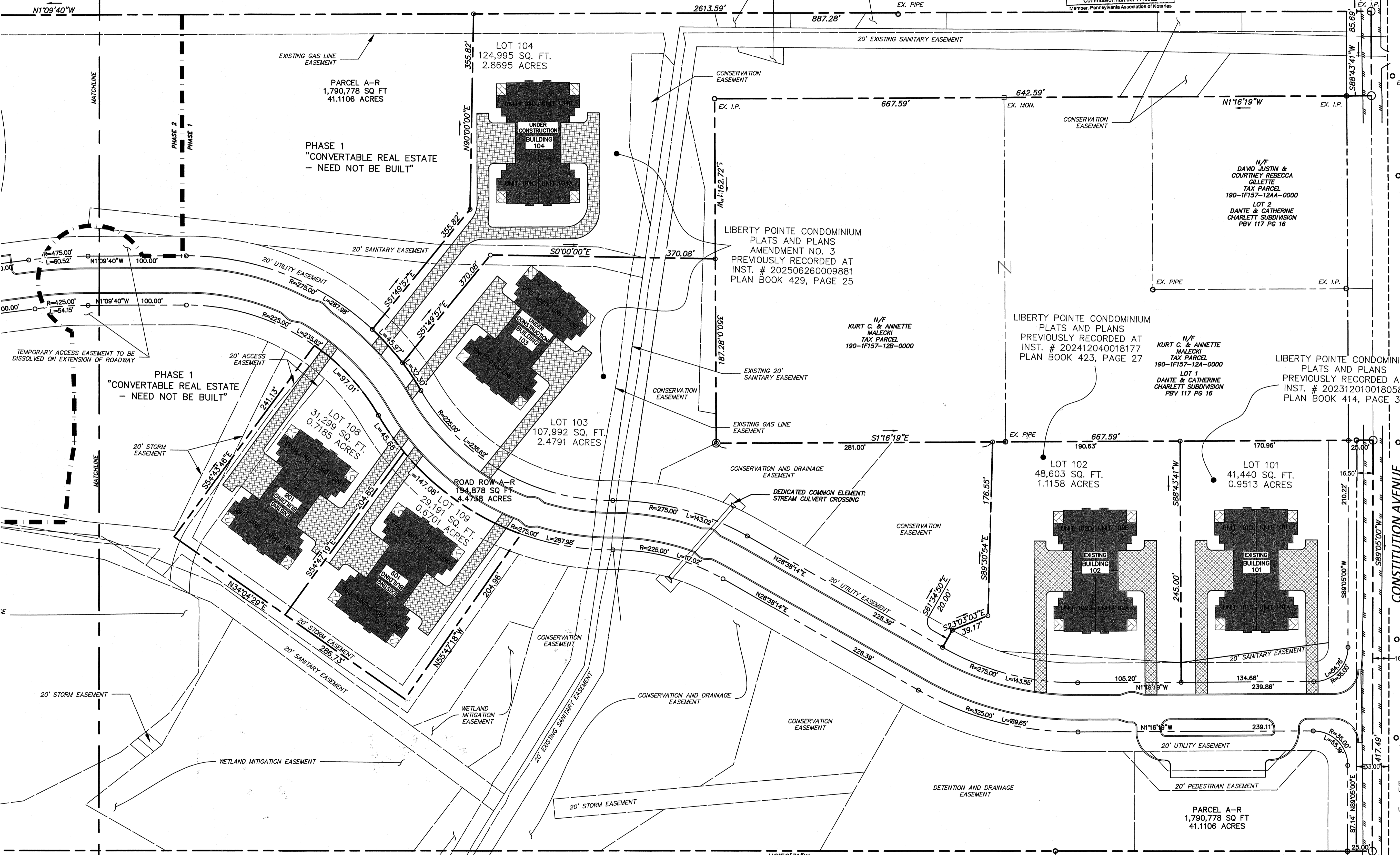
CAD FILE:
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HORIZ. SCALE: 1" = 50'
 VERT. SCALE: 1" = 50'

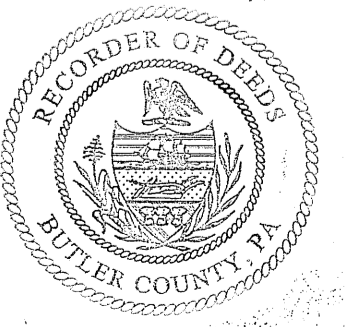
SHEET: 1 OF 1

CC101

PROJECT #: 13719



BUTLER COUNTY PENNSYLVANIA
 Recorder of Deeds
 Recorded in the Recorder's Office of the said County on this 22 day of December 2025
 to HIGHWAY PLAN BOOK PAGE 436 of 11-12
 Witness my hand and the seal of said office.
Michele M. Mustello
 RECORDER



UNIT 101:	41,440 SQ. FT. - 0.9513 ACRES
UNIT 102:	48,603 SQ. FT. - 1.1158 ACRES
UNIT 103:	107,992 SQ. FT. - 2.4792 ACRES
UNIT 104:	122,854 SQ. FT. - 2.8203 ACRES
UNIT 108:	31,300 SQ. FT. - 0.7185 ACRES
UNIT 109:	29,191 SQ. FT. - 0.6701 ACRES
	381,383 SQ. FT. - 8.7552 ACRES
CONVERTED AREA:	381,383 SQ. FT. - 8.7552 ACRES
CONVERTIBLE AREA:	1,409,395 SQ. FT. - 32.3554 ACRES
ROAD R.O.W.:	194,878 SQ. FT. - 4.4738 ACRES
TOTAL AREA:	1,985,656 SQ. FT. - 45.5844 ACRES

N/F
 LEZZER MILLER, LP
 TAX PARCEL
 190-1F157-05/CON
 LOT 6
 STONEYBROOK CONDOMINIUM PLAT
 PBV 304 PG 1

N/F
 THE MILDRED I. GARDNER
 REVOCABLE LIVING TRUST
 TAX PARCEL
 190-1F157-13-0000
 LOT 2
 MILDRED E. SIMMONS PLAN NO. 2
 PBV 234 PG 17

PLAN BOOK	PAGE
436	11

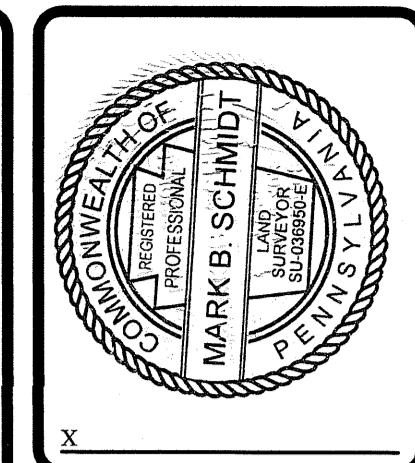
PREVIOUSLY DEVELOPED:
 UNIT 101: LIBERTY POINT SUBDIVISION PLAN INSTR# 202301260001228 P.B.V. 408, PGS. 48-51
 UNIT 102: LIBERTY POINT CONDOMINIUM PLAT AND PLANS INSTR# 202312010018058 P.B.V. 414, PGS. 31-32

- UNITS
- COMMON ELEMENTS
- LIMITED COMMON ELEMENTS-DRIVEWAYS (MUST BE BUILT)
- LIMITED COMMON ELEMENTS-PATIOS (MUST BE BUILT)

SCALE: 1" = 50'

Z:\PROJECTS\13719\13719_001\Drawings\Phase 2 Production Drawings\Condominium Plats And Plans\Amendment No. 4.dwg, CC101, 12/18/2025 10:40 AM, Mike Schmidt

My Commission Expires First Monday In January 2028

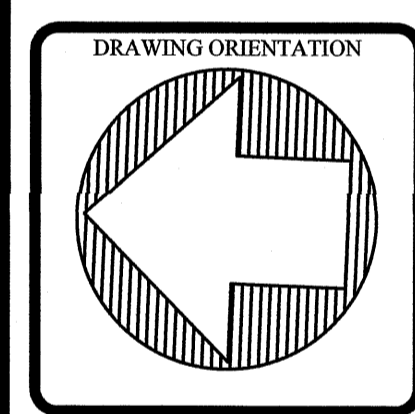


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FAX: (412) 781-5904

Mars Office
123 Ridge Road, Suite B
Valencia, PA 16059
PHONE: (724) 625-4544
FAX: (724) 625-4549

PROJECT STATUS:	FINAL
DATE ISSUED:	12/18/2025
REVISIONS:	
NO.	DESCRIPTION



PROJECT TITLE:
**LIBERTY POINTE
CONDOMINIUM PLATS AND PLANS
AMENDMENT NO. 4**

CLIENT NAME & ADDRESS:
LIBERTY POINTE PARTNERS, LLC
3413 BABCOCK BLVD., PITTSBURGH, PA 15237

PROJECT LOCATION:
JEFFERSON TOWNSHIP
BUTLER COUNTY, PENNSYLVANIA

DRAWN BY: JLR
CHECKED BY: MBS

CAD FILE:
13719_CC101-AMENDMENT NO.4.DWG

HORIZ. SCALE: 1" = 50'
VERT. SCALE: 1" = 50'

SHEET: 2 OF 2
CC102

PROJECT #: 13719

N/F
BERNARD J. & SANDRA L.
KAMINSKI
TAX PARCEL
190-1F157-11-0000

N/F
BENJAMIN F. & CATHY
GWYER
TAX PARCEL
190-1F157-10-0000

Z:\PROJECTS\13719\13719_04_PlanBook\Phase 2 Production\Drawings\Condominium Plats And Plans\Amendment No. 4\13719_CC101-AMENDMENT NO.4.dwg, CO:02, 12/18/2025 8:02 AM, Mark Schmidt

- UNITS**
- COMMON ELEMENTS
 - LIMITED COMMON ELEMENTS—DRIVEWAYS (MUST BE BUILT)
 - LIMITED COMMON ELEMENTS—PATIOS (MUST BE BUILT)

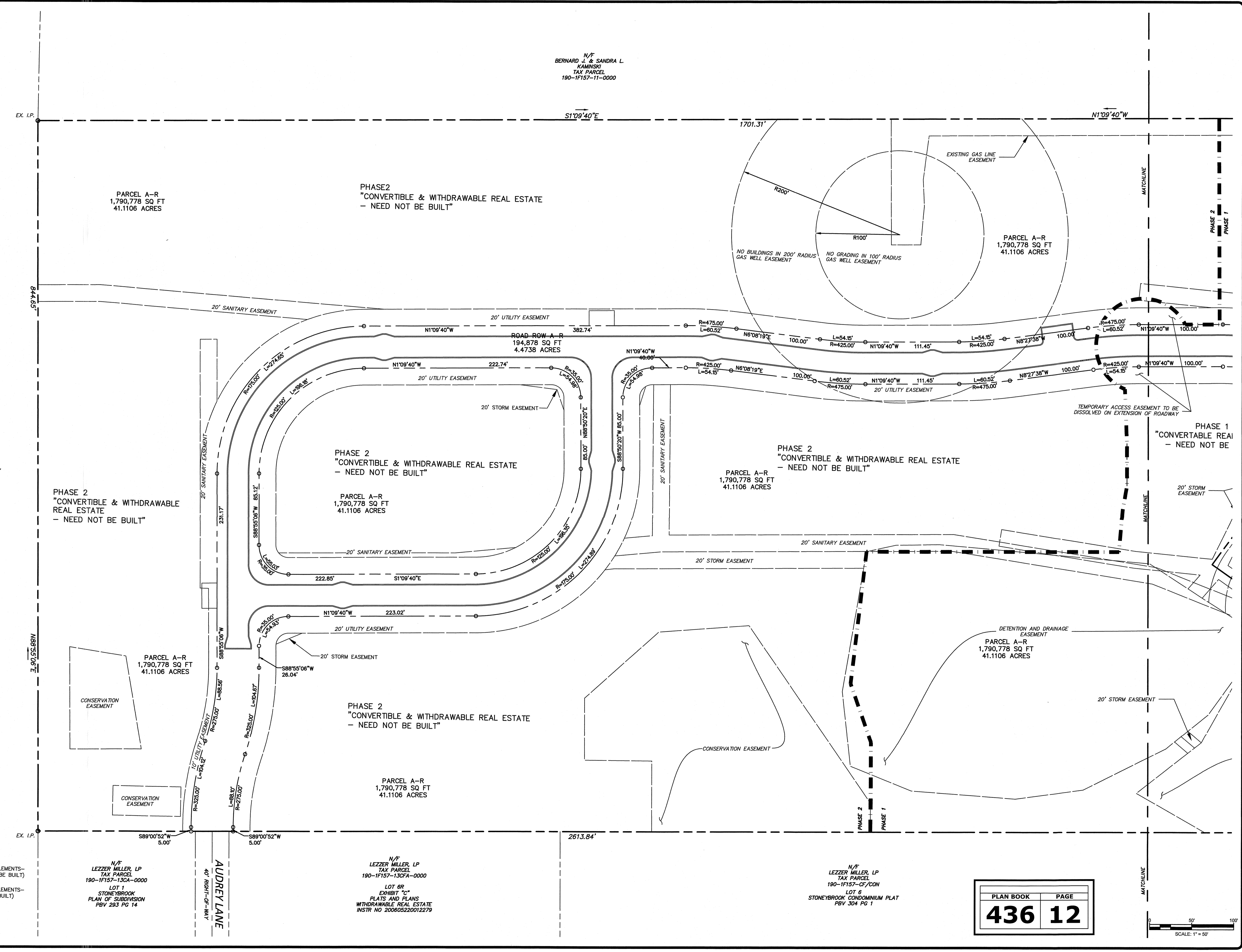
N/F
LEZZER MILLER, LP
TAX PARCEL
190-1F157-13CA-0000
LOT 1
STONEBROOK
PLAN OF SUBDIVISION
PBV 293 PG 14

N/F
LEZZER MILLER, LP
TAX PARCEL
190-1F157-13CFA-0000
LOT 6R
EXHIBIT "C"
PLATS AND PLANS
WITHDRAWABLE REAL ESTATE
INSTR. NO. 200605220012279

N/F
LEZZER MILLER, LP
TAX PARCEL
190-1F157-CF/CON
LOT 6
STONEBROOK CONDOMINIUM PLAT
PBV 304 PG 1

PLAN BOOK	PAGE
436	12

SCALE: 1" = 50'



CORPORATION ADOPTION

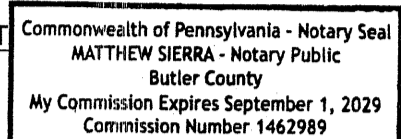
Known by all men by these Presents, that Farmers Mutual Fire Insurance Company of McCandless Township D/B/A Farmers Mutual Insurance Company of Western Pennsylvania, a company duly registered under the laws of the Commonwealth of Pennsylvania...

We further agree that said plan is approved by the Township of Butler for "Planning Purposes Only" and that said Township shall not issue any "Building Permits" for lots contained herein...

Matthew Sierra, Notary Public

Matthew Sierra, President

CORPORATION ACKNOWLEDGMENT



Commonwealth of Pennsylvania)SS: County of Butler

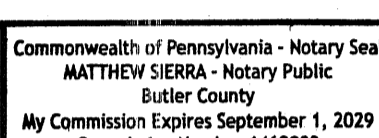
Before me, the subscriber, a Notary Public in and for said Commonwealth and County personally appeared William Laughlin, president of Farmers Mutual Fire Insurance Company of McCandless Township D/B/A Farmers Mutual Insurance Company of Western Pennsylvania...

William Laughlin, President

Sworn and subscribed before me this day, WITNESS MY HAND AND NOTARIAL SEAL this 19 day of November, 2025.

My Commission Expires the 15th day of September, 2029.

Matthew Sierra, Notary Public



TITLE CLAUSE

I, William Laughlin, President of Farmers Mutual Fire Insurance Company of McCandless Township D/B/A Farmers Mutual Insurance Company of Western Pennsylvania, owner of the Farmers Mutual Parking Lot Plan, do hereby certify that the title of this property is in the name of Farmers Mutual Fire Insurance Company of McCandless Township D/B/A Farmers Mutual Insurance Company of Western Pennsylvania...

Jamie M. McBreath, Witness

William Laughlin, President

SURVEYOR CERTIFICATION

I, Steven Graff, a Registered Professional Surveyor of the Commonwealth of Pennsylvania, do hereby certify that the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown...

Steven Graff, P.L.S.

SU 075753, Registration Number

LOCAL AUTHORITY STIPULATION

The Board of Commissioners of the Township of Butler hereby gives public notice that in approving this plan for recording purposes only, the Township assumes no obligations, legal or otherwise, expressed or implied either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan...

Theresa Duesler, Secretary

Jamie Lohman, President

MUNICIPAL APPROVAL

Approved by the Board of Commissioners of the Township of Butler this 12 day of December, 2025.

Theresa Duesler, Secretary

Jamie Lohman, President of the Board

LOCAL PLANNING COMMISSION APPROVAL

Approved by the Butler Township Planning Commission this 2 day of September, 2025.

E. Mank, Secretary

Robbman, Chairman

COUNTY PLANNING COMMISSION APPROVAL

Approved by the Butler County Planning Commission this 21st day of August, 2025.

Robbman, Secretary

Jesse Hines, Chairman

PROOF OF RECORDING

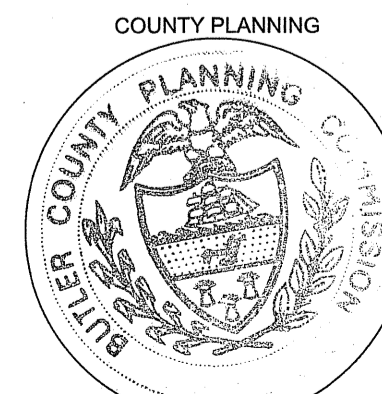
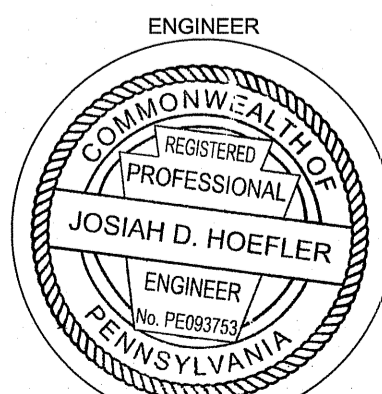
COMMONWEALTH OF PENNSYLVANIA: County of Butler

Recorded in the Recorder Office for the recording of deeds, plans, etc., in said County in Plan Book Volume 436, Page 1316. Given under my hand and seal this 22nd day of December, 2025.

Michele M. Mustello, Recorder of Deeds

MICHELE M. MUSTELLO, RECORDER OF DEEDS

My Commission Expires First Monday In January 2028



FARMERS MUTUAL PARKING LOT

205 S. EBERHART ROAD, MERIDIAN, PA 16001

PREPARED FOR:

FARMERS MUTUAL, 205 S. EBERHART ROAD, MERIDIAN, PA 16001

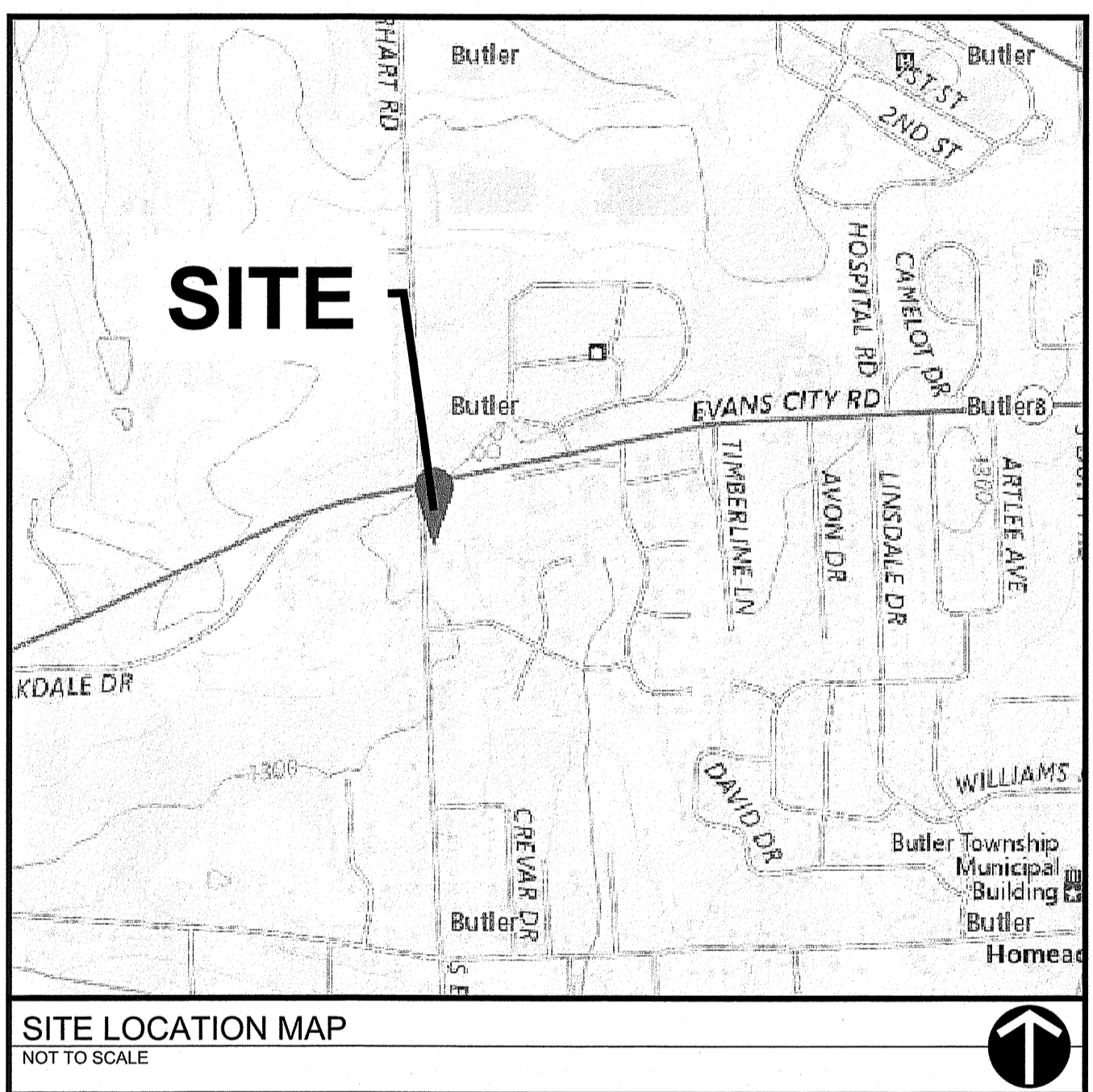
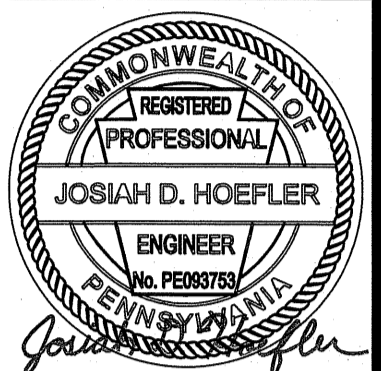
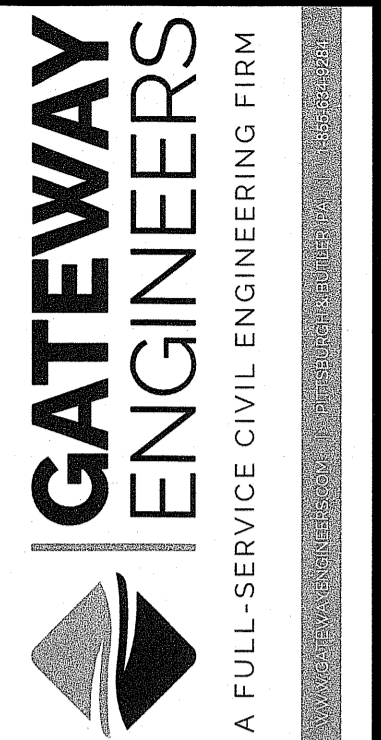


Table with 2 columns: NO. and TITLE. Lists sheets from C000 to L100, including Cover Sheet, Existing Conditions Plan, Demo Plan, Site & Utility Plan, Fire Truck Template, Sight Distance Exhibit, Grading Plan, E&S Plan, Storm Profiles, Sanitary Profiles, Construction Details, PCSI Plan, PCSI Details, Lighting Plan, and Landscape Plan.

Table with 2 columns: Utility Name and Contact Information. Lists Armstrong, Peoples Gas Company LLC, Butler Township, PA American Water, PA Electric Co, and Consolidated Communications.

Zoning Requirements table for C-2 Business Office use. Includes columns for Township Standard, Required, and Provided for Building Height, Front/Rear/Side Yard, Lot Frontage, Total Floor Area, and ADA Accessible spaces. Also includes a Stormwater Management Maintenance Program note.



Revision Record table with columns: No., Date, Description. Shows revisions for the cover sheet and various utility details.

FARMERS MUTUAL PARKING LOT, 205 S. EBERHART ROAD, MERIDIAN, PA 16001. PREPARED FOR: FARMERS MUTUAL, 205 S. EBERHART ROAD, MERIDIAN, PA 16001.



Know what's below. Call before you dig. 1-800-242-1776, Serial No. 20250762802

Plan Book and Page table showing Plan Book 436 and Page 13.

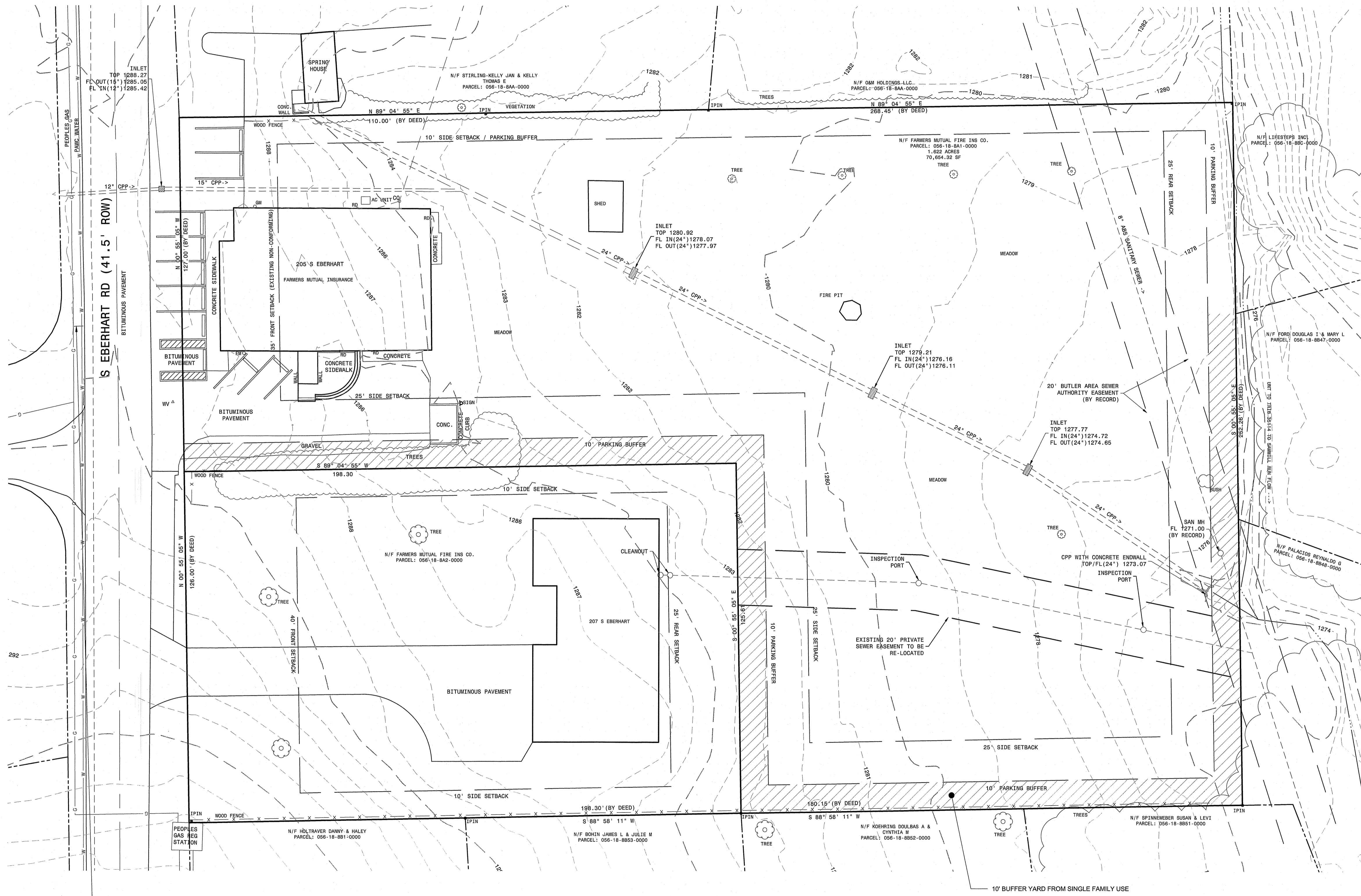
COVER SHEET

Project Number: C-47123-0001, Drawing Scale: N.T.S., Date Issued: AUGUST 2025, Index Number: Drawn By: JIG, Checked By: JDH, Project Manager: JDH

C000

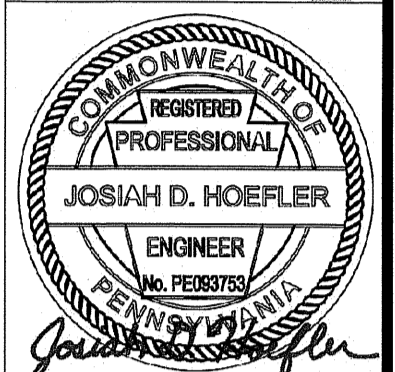
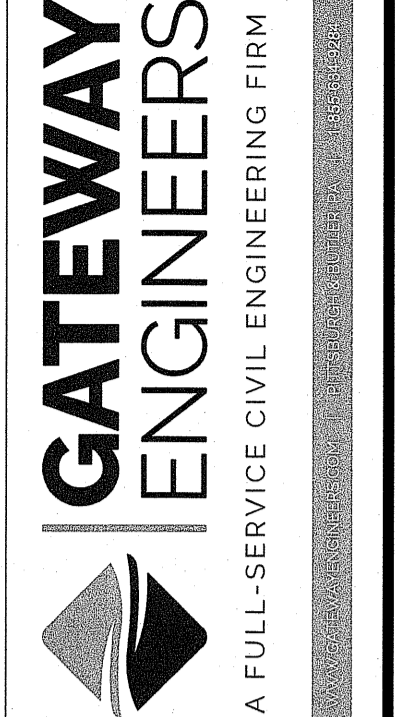
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Path: E:\Projects\2025\2025071525_farmers_mutual\001.dwg
 Plotted Date: 8/29/2025 1:26 PM
 User: Josiah D. Hoefler, P.E.
 Job: 2025072802



LEGEND			
BIT	- BITUMINOUS	COC	- COLUMBIA GAS COMPANY
CONC	- CONCRETE	ECC	- EQUITABLE GAS CO. (now PNC)
TC	- TOP OF CURB	VZPB	- VERIZON PENNSYLVANIA
G	- GUTTER	BTD	- BELL TELEPHONE CO. (now VZPB)
TW	- TOP OF WALL	APCO	- ALLEGHENY POWER COMPANY
SW	- BOTTOM OF WALL	WPCO	- WEST PENN POWER COMPANY
TS	- TOP OF SLOPE	PPCO	- PENN POWER COMPANY
BS	- BOTTOM OF SLOPE	DLC	- DUQUESNE LIGHT COMPANY
SAS	- SANITARY	PNAG	- PEOPLES NATURAL GAS COMPANY
ST	- STORM	ALCOSAN	- ALLEGHENY COUNTY SANITARY AUTHORITY
WH	- WATER	PWSA	- PITTSBURGH WATER AND SEWER AUTHORITY
TOP	- TOP OF CASTING	PAWC	- PENNSYLVANIA AMERICAN WATER COMPANY
BOT	- BOTTOM	DPW	- DEPARTMENT OF PUBLIC WORKS
FL	- FLOW LINE	PACT	- PITTSBURGH ALLEGHENY COUNTY THERMAL
CO	- CLEAN OUT	RCP	- REINFORCED CONCRETE PIPE
WV	- WATER VALVE	CMF	- CORRUGATED METAL PIPE
WE	- WATER METER	CPP	- CORRUGATED PLASTIC PIPE
WB	- WATER BOX	TCP	- TERRA COTTA PIPE
FH	- FIRE HYDRANT	PVC	- POLYVINYL CHLORIDE PIPE
GV	- GAS VALVE	VCP	- VITRIFIED CLAY PIPE
GM	- GAS METER	DIP	- DUCTILE IRON PIPE
GK	- GAS MARKER	CIP	- CAST IRON PIPE
EB	- ELECTRIC BOX	SLCPP	- SMOOTH LINED CORRUGATED PLASTIC PIPE
EM	- ELECTRIC METER	HDPE	- HIGH DENSITY POLYETHYLENE PIPE
TRANS	- TRANSFORMER	ETC	- ELECTRIC TELEPHONE COMMUNICATIONS
GW	- GUY WIRE	G	- GAS LINE
WLT	- WALL LIGHT	W	- WATER LINE
LS	- LIGHT STANDARD	T	- TUBING
YL	- YARD LIGHT	ST	- SUBSURFACE TELEPHONE LINE
MB	- MAILBOX	E	- SUBSURFACE ELECTRIC LINE
PM	- PARKING METER	OH	- OVERHEAD WIRES
DS	- DOOR SILL	CATV	- CABLE TV
SP	- SATE POST	X 906.8	- EXISTING SPOT ELEVATION
RR	- RAILROAD	- 903 -	- EXISTING CONTOURS
BOL	- BOLLARD	- - - - -	- EXISTING INLET
WW	- WINDOW WELL	○	- EXISTING MANHOLE
RD	- ROOF DRAIN	=====	- EXISTING SEWER PIPE
VP	- VENT PIPE		
TR	- TRAFFIC		
HC	- HANDICAP		
LH	- LAKE HOLE		
COMB	- COMBINATION SEWER		
W	- WITH		

NOTE
 THE UNDERGROUND UTILITIES SHOWN HEREON HAVE NOT BEEN PHYSICALLY LOCATED BY THE SURVEYOR. HOWEVER, THE INFORMATION WAS OBTAINED FROM EXISTING PLANS AND SURFACE FACILITIES. THE GATEWAY ENGINEERS, INC. MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE GATEWAY ENGINEERS, INC. DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE SHOWN AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
 ALL EXISTING SUBSURFACE UTILITY INFORMATION PRESENTED ON THE CONTRACT DRAWINGS IS CHARACTERIZED AS UTILITY QUALITY LEVEL C OR D PER "CI/ASCE 38-02 - STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA" UNLESS SPECIFICALLY NOTED OTHERWISE.
 THE DATUM BEING USED IS PABS-SF (NAD83 PENNSYLVANIA STATE PLANES, SOUTH ZONE, US FOOT)

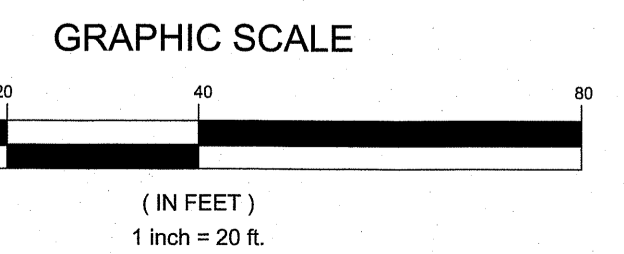
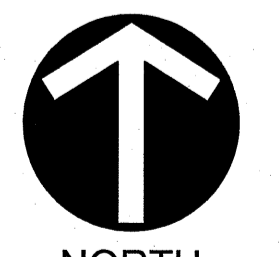


REVISION RECORD	
No	Date
01	08-29-2025
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FARMERS MUTUAL PARKING LOT
 205 S. EBERHART ROAD
 MERIDIAN, PA 16001
 PREPARED FOR:
FARMERS MUTUAL
 205 S. EBERHART ROAD
 MERIDIAN, PA 16001



Know what's below.
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 1-800-242-1776
 Serial No. 2025072802



PLAN BOOK	PAGE
436	14

EXISTING CONDITIONS PLAN
 Project Number: C-47123-0001
 Drawing Scale: 1" = 20'
 Date Issued: AUGUST 2025
 Index Number:
 Drawn By: JIG
 Checked By: JDH
 Project Manager: JDH
C050

UTILITY ABBREVIATIONS

STM	STORM MANHOLE
MH	MANHOLE
OS	OUTLET STRUCTURE
EW	ENDWALL
CO	CLEANOUT

SITE-UTILITY LEGEND

	10	PROPOSED 48" STORM MANHOLE
	9	PROPOSED CLEANOUT
	13	PROPOSED HEADWALL/ ENDWALL
	7	PROPOSED ADA SYMBOL
	2	PROPOSED CONCRETE SIDEWALK
	4	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	3	PROPOSED STANDARD DUTY BITUMINOUS PAVEMENT
	(33)	PROPOSED PARKING COUNT
		PROPOSED SIGN
		PROPOSED STORM LINE

PARKING (REGULAR) - 45°
 - REQUIRED: 1 PER 400 SF OF GROSS AREA = 6,840 SF/ 400 SF = 17.1 = 18 SPACES
 - PROVIDED: 34 SPACES
 PARKING (ADA) - 45°
 - REQUIRED: 25-50 SPACES = 2 SPACES
 - PROVIDED: 3 SPACES
 LANDSCAPE ISLANDS
 - REQUIRED: 5% OF PARKING AREA = 5,532 SF x 5% = 276.50 SF
 - PROVIDED: 302 SF

SITE PLAN NOTES:

- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES.
- ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
- LABELLED DIMENSIONS OVERRIDE SCALED DIMENSIONS.
- ALL NEW MATERIALS AND CONSTRUCTION METHODS MUST MEET PDOT PUBLICATION 408 STANDARDS.
- CONTRACTOR TO WORK AROUND EXISTING UTILITIES, IF ADJUSTMENTS ARE NECESSARY, WORK WILL BE CONSIDERED INCIDENTAL.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE NECESSARY SAFETY MEASURES TO SECURE THE SITE DURING CONSTRUCTION ACTIVITIES.
- THE GATEWAY ENGINEERS, INC. IS NOT RESPONSIBLE TO INSPECT PROJECT SITES TO ENSURE COMPLIANCE WITH OCCUPATIONAL SAFETY HEALTH ADMINISTRATION (OSHA) STANDARDS.
- TACK COAT SHALL BE REQUIRED IF PAVING LIFTS ARE NOT COMPLETED WITHIN 3 DAYS OF EACH OTHER. TACK COAT VERTICAL SURFACES ALONG SAW CUT LIMITS.
- ALL NON-LANDSCAPED ISLANDS SHALL BE PAINTED WITH STRIPES 4" WIDE, AT 45° AND 2 FEET O.C., UNLESS OTHERWISE SPECIFIED.
- WITHIN THE LIMITS OF THE PROPOSED DRIVEWAYS THE CONTRACTOR SHALL SAW CUT AND REMOVE THE EXISTING PAVEMENT AND THE EXISTING CURB AND SHOULDER. THE CURB SECTION OF THE PROPOSED DRIVEWAYS SHALL BE DEPRESSED ACROSS THE LIMITS OF EACH DRIVEWAY. THE PROPOSED CURB SHALL MATCH INTO THE EXISTING PAVEMENT AT ALL DRIVEWAY LOCATIONS. THE CONTRACTOR SHALL CLEAN CONTACT SURFACES OF ALL EXISTING PAVEMENTS BEFORE PLACEMENT OF PROPOSED ADJACENT PAVEMENT. ALL JOINTS SHALL BE SEALED WITH A 4-INCH STRIP OF PG 64-22.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH PA DOT PUBLICATION 213 "WORK ZONE TRAFFIC CONTROL" (LATEST REVISION), AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.

UTILITY PLAN NOTES:

- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-64), FEDERAL REGISTER, CHAPTER XVII, PART 1928 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSIDERED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL CONTACT PENNSYLVANIA ONE CALL SYSTEMS, INC. AT 8-1-1. THE LOCATION OF UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF PROPOSED UTILITIES CONSTRUCTION.
- UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
- ALL CABLE, ELECTRIC, GAS, STORM AND SANITARY SEWER, TELEPHONE AND WATER SERVICE LINE TRENCHES LOCATED UNDER PROPOSED PAVEMENT AREAS SHALL BE BACKFILLED WITH 100% STONE MATERIAL TO THE PROPOSED PAVING SECTION IN ACCORDANCE WITH THE DETAIL SHOWN ON THE CONSTRUCTION DETAIL SHEETS.
- THERE SHALL BE NO CONSTRUCTION OF ELECTRIC TRANSFORMERS, TELEPHONE OR CABLE JUNCTION BOXES, GAS METERS OR SIMILAR DEVICES PLACED OVER ANY OTHER UNDERGROUND UTILITY.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER MANHOLES AND INLETS.
- AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
- ALL STORM PIPE SHALL BE HDPE, SMOOTH INTERIOR, CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED. ALL STORM SEWER CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH PENDOT SPECIFICATIONS. ALL JOINTS SHALL BE WATER-TIGHT.
- THE CONTRACTOR SHALL ASSURE THAT THERE IS POSITIVE DRAINAGE TO THE EXISTING INLETS AND PROPOSED CURB CUT UPON PLACEMENT OF NEW PAVEMENT.
- CONTRACTOR TO COORDINATE WITH THE BUILDING PLUMBING AND SITE ELECTRICAL PLANS TO ASSURE ACCURACY OF THE UTILITY CONNECTIONS TO THE BUILDING.
- CONDUIT LOCATIONS TO SITE LIGHT POLES TO BE COORDINATED WITH THE SITE ELECTRICAL PLAN.
- PENNSYLVANIA AMERICAN WATER IS TO BE CONTACTED FOR INSPECTION OF ALL PRIVATE SANITARY SEWERS, WATER LINES, AND STORM SEWER LINES WHERE THEY CONNECT TO A PUBLIC SEWER SYSTEM. ALL WATER AND SEWER LINES MUST BE INSTALLED BY A REGISTERED PLUMBER.
- THE ROOF COLLECTOR SYSTEM SHALL BE TRAPPED PRIOR TO CONNECTING TO THE SITE STORM SEWER SYSTEM.
- WATERLINES SHALL HAVE A MINIMUM OF 48" OF COVER AND BE AT LEAST 1 FOOT ABOVE THE SANITARY SEWER IF WITHIN 10 FEET OF THE HORIZONTAL DISTANCE OF THE SEWER.

GATEWAY ENGINEERS
 A FULL-SERVICE CIVIL ENGINEERING FIRM

REVISION RECORD

No.	Date	Revised Per
01	08-29-2025	REVISED PER TOWNSHIP REVIEW 01
02		
03		
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08		

FARMERS MUTUAL PARKING LOT
 205 S. EBERHART ROAD
 MERIDIAN, PA 16001

FARMERS MUTUAL
 205 S. EBERHART ROAD
 MERIDIAN, PA 16001

PREPARED FOR:
 FARMERS MUTUAL

SITE & UTILITY PLAN

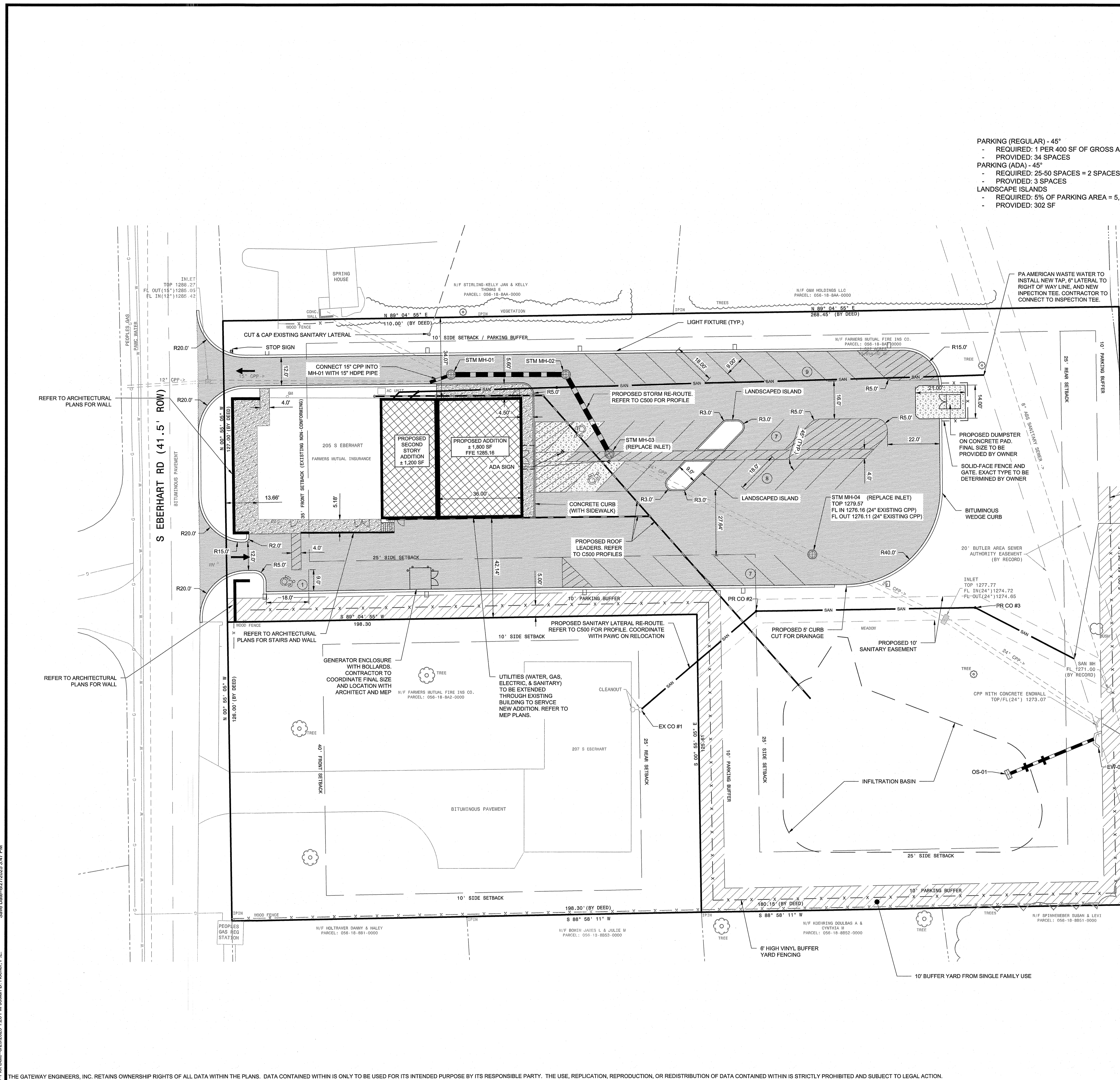
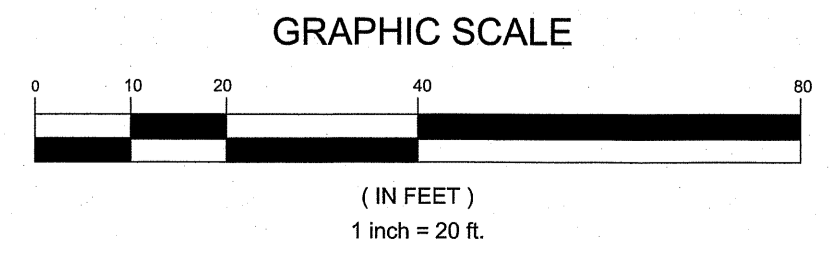
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 Drawing Scale: 1" = 20'
 Date Issued: AUGUST 2025
 Index Number: --
 Drawn By: JJG
 Checked By: JDH
 Project Manager: JDH

C100

PLAN BOOK	PAGE
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N:\Plan & Elevation\Projects\700047123\Farmers Mutual\0001_Parking_Lot\DWG\C100_C200_C300 SITE GRADE UTIL.dwg
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 Show Date: 8/27/2025 3:47 PM

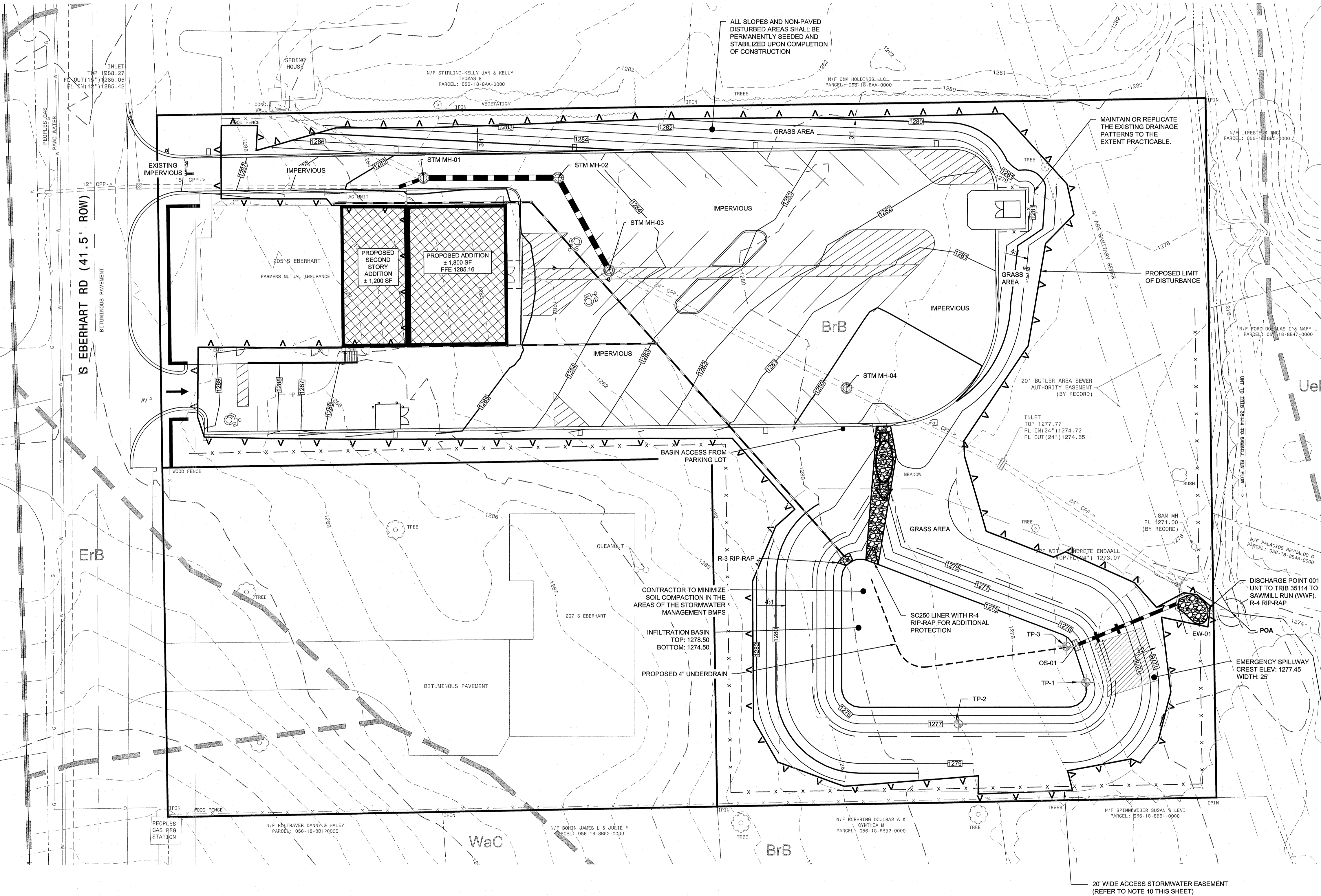
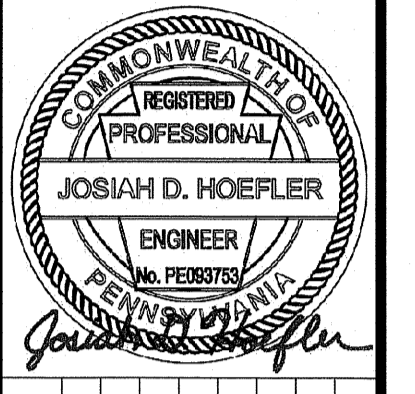
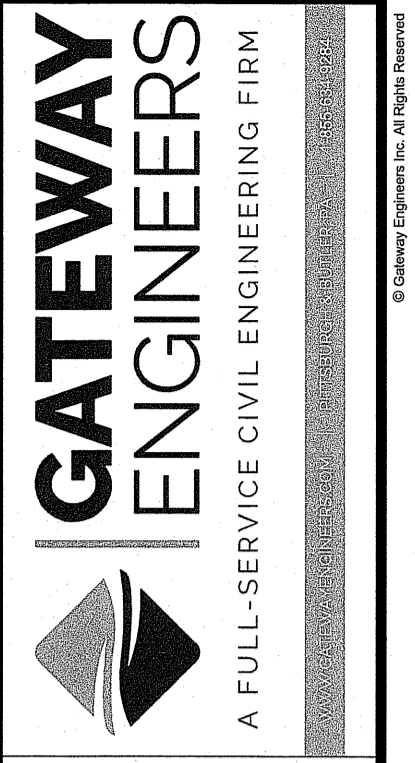
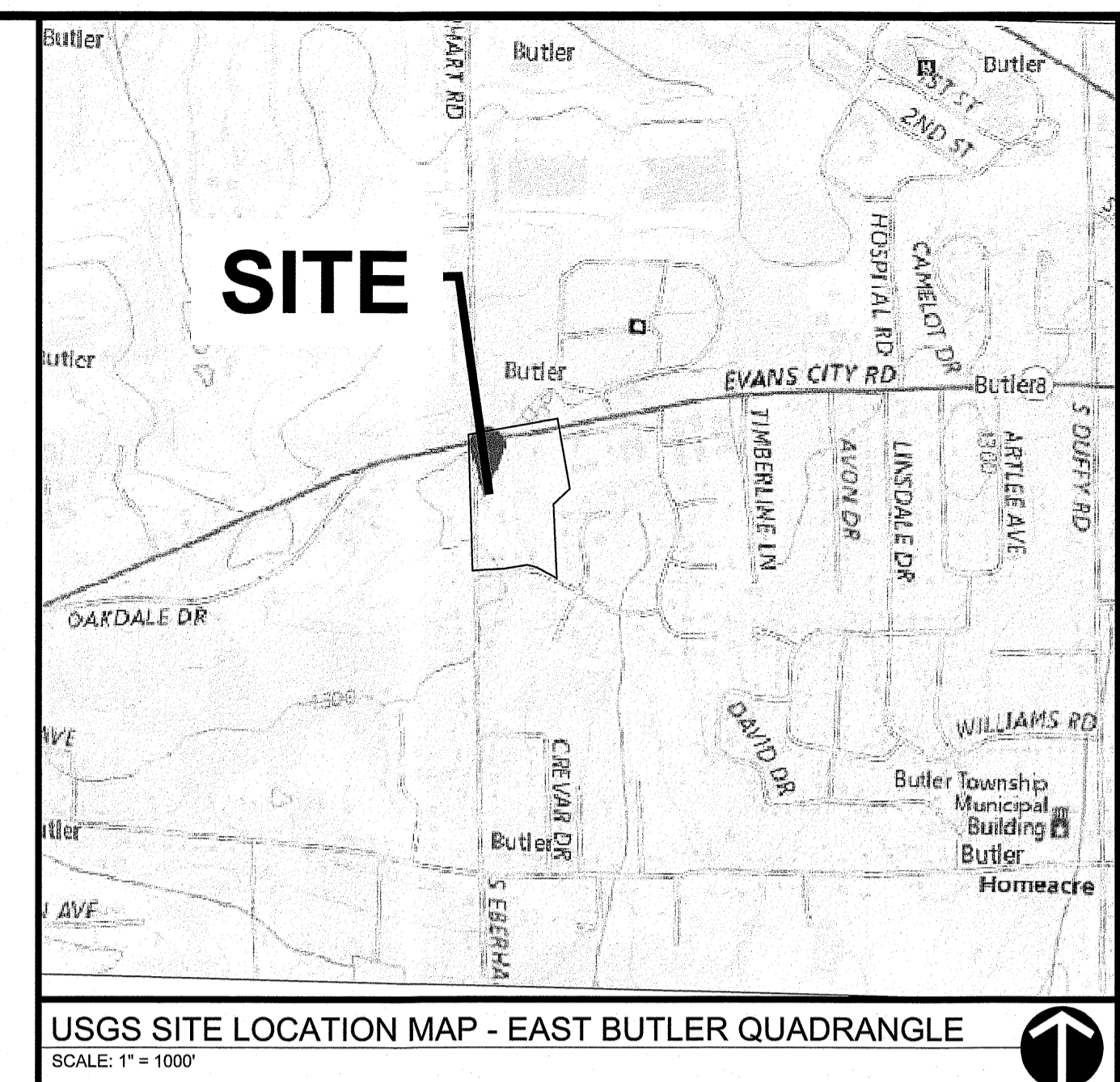
THIS PLAN IS FOR POST CONSTRUCTION STORMWATER MANAGEMENT PURPOSES ONLY

PROJECT NAME: FARMERS MUTUAL PARKING LOT
 PROJECT ADDRESS: 205 S. EBERHART ROAD, MERIDIAN, PA 16001

APPLICANT INFO:
 - NAME: FARMERS MUTUAL (WILLIAM LAUGHLIN)
 - ADDRESS: 205 S. EBERHART ROAD, MERIDIAN, PA 16001
 - PHONE #: 724-482-6520
 - EMAIL: LMSGANT@GMAIL.COM

SWM PLAN PREPARER INFO:
 - NAME: GATEWAY ENGINEERS, INC. (JOSIAH HOEFLER)
 - ADDRESS: 122 W. BRADY STREET, BUTLER, PA 16001
 - PHONE #: 412-409-2221
 - EMAIL: JHOEFLER@GATEWAYENGINEERS.COM

"I, JOSIAH D. HOEFLER, P.E., HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE BUTLER TOWNSHIP STORMWATER MANAGEMENT ORDINANCE."
 "I, _____, HAVE REVIEWED THIS STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF THE BUTLER TOWNSHIP STORMWATER MANAGEMENT ORDINANCE."



POST CONSTRUCTION STORMWATER MANAGEMENT LEGEND

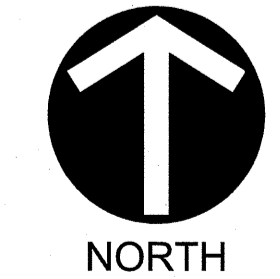
	1	ROCK CONSTRUCTION ENTRANCE
	2	INLET PROTECTION
	4	EROSION CONTROL BLANKET
	6	ROCK RIP RAP APRON
	7	CONCRETE WASHOUT AREA
	7	PERMANENT CHANNEL / VEGETATED SWALE
		SOIL BOUNDARIES
		LIMITS OF DISTURBANCE
		COMPOST FILTER SOCK

POST CONSTRUCTION STORMWATER MANAGEMENT NOTES:

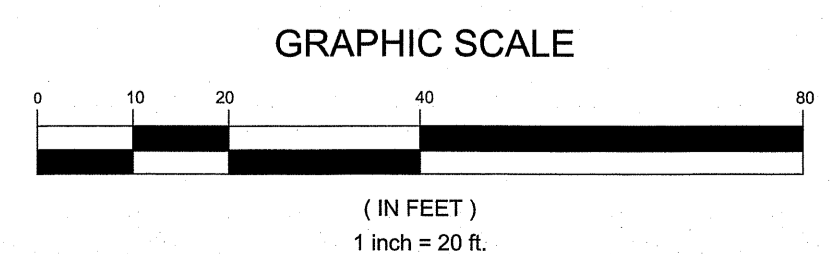
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF THE BID. SUBMISSION OF A BID SHALL BE CONSIDERED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PENNSYLVANIA ONE CALL SYSTEMS, INC. AT 1-800-242-1778. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT. PROVIDE SURVEYOR WITH ONE WEEK NOTICE ALONG WITH A 48 HOUR CONFIRMATION TO SURVEY FACILITIES.
- ALL STORM SEWER CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS. ALL JOINTS SHALL BE WATERTIGHT.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- THE OPERATION AND MAINTENANCE AGREEMENT IS PART OF THE PCSM PLAN AND IS THE RESPONSIBILITY OF THE OWNER(S).
- ALL PCSM FACILITIES MUST BE INSPECTED AS THEY ARE INSTALLED AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER OR DESIGNER. CONTRACTOR SHALL NOTIFY GATEWAY ENGINEERS ONE WEEK IN ADVANCE OF THE INSTALLATION OF THE PROPOSED INFILTRATION BASIN AND OUTLET STRUCTURE.
- RECORD DRAWINGS AS WELL AS A COPY OF THE LEGAL INSTRUMENT REGISTERING THE PCSM FACILITIES WILL BE REQUIRED PRIOR TO OCCUPANCY OR RELEASE OF THE SURETY BOND AS WELL AS TERMINATING THE PERMIT.
- THE TOWNSHIP SHALL HAVE ACCESS TO THE STORMWATER EASEMENT AND ALL EASEMENTS SHOWN ON THE DESIGN PLANS VIA THE NEAREST PUBLIC ROW.
- STORMWATER BMPs PER THIS PLAN ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY THE BUTLER TOWNSHIP.
- PER BUTLER TOWNSHIP CODE § 242-30(A): AT THE DISCRETION OF THE TOWNSHIP ENGINEER, THE APPLICANT MAY BE REQUIRED TO PROVIDE RECORD DRAWINGS OF ALL STORMWATER BMPs INCLUDED IN THE APPROVED SWM SITE PLAN. THE RECORD DRAWING AND AN EXPLANATION OF ANY DISCREPANCIES WITH THE APPROVED SWM SITE PLAN SHALL BE SUBMITTED TO THE MUNICIPALITY AS A PREREQUISITE FOR THE RELEASE OF THE GUARANTEE OR ISSUANCE OF AN OCCUPANCY PERMIT.

PROJECT AREAS

DISTURBED AREA = 0.97 ACRES



PLAN BOOK	PAGE
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REVISION RECORD	No.	Date	REVISION PER TOWNSHIP REVIEW 01
	01	08-29-2025	
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	07		
	08		

FARMERS MUTUAL PARKING LOT
 205 S. EBERHART ROAD
 MERIDIAN, PA 16001
 PREPARED FOR:
 FARMERS MUTUAL
 205 S. EBERHART ROAD
 MERIDIAN, PA 16001

PCSM PLAN
 Project Number: C-47123-0001
 Drawing Scale: 1" = 20'
 Date Issued: AUGUST 2025
 Index Number: --
 Drawn By: JGG
 Checked By: JDH
 Project Manager: JDH
C700

P:\m & File\m\Projects\700047123 Farmers mutual-001 parking lot\CD\p02-Sheet\47123-0001_C400 E&S PLANS_C700 PCSM PLANS.dwg
 22 Plot Date: 8/29/2025 1:27 PM Josiah D. Hoefler, P.E. Save Date: 8/29/2025 1:28 PM

KNOW ALL MEN BY THESE PRESENTS, THAT WE DAVID M. & NISHA D. WESTERMAN OF THE MUDDY CREEK TOWNSHIP OF COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, FOR MYSELF, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTY, SITUATED IN THE TOWNSHIP OF MUDDY CREEK, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY IRREVOCABLE DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL STREETS AND OTHER PUBLIC PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. ANY FUTURE ACCEPTANCE OF SAID PUBLIC STREETS OR PROPERTY BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER OR TOWNSHIP OF MUDDY CREEK, WE DAVID M. & NISHA D. WESTERMAN HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF MUDDY CREEK, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND OTHER PUBLIC USES, AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON DAVID M. & NISHA D. WESTERMAN MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE HERETO SET OUR HANDS AND SEALS THIS 28th DAY OF NOVEMBER, 2025.

ATTEST:
Linda M. Radencic
 NOTARY PUBLIC
 My Commission Expires 10/29/28
 My Comm. Expires Oct 29, 2028

WE, DAVID M. & NISHA D. WESTERMAN FULLY UNDERSTANDING AND AGREE THAT THE APPROVAL OF THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MUDDY CREEK, IF HERETO ATTACHED, WILL BECOME NULL AND VOID UNLESS THIS PLAN IS RECORDED IN THE RECORDER OF DEEDS OFFICE OF BUTLER COUNTY, COUNTY COURT HOUSE, BUTLER, PENNSYLVANIA, WITHIN NINETY (90) DAYS OF DATE OF SAID APPROVAL.

ATTEST:
David M. Westerman
 OWNER
Nisha D. Westerman
 OWNER

STATE OF FLORIDA)
 COUNTY OF BREVARD)

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED DAVID M. & NISHA D. WESTERMAN, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE/SHE IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT HIS/HER DIRECTION, THAT HE/SHE ACKNOWLEDGES THE SAME TO BE HIS/HER ACT AND DEED, AND THAT HE/SHE DESIRES THE SAME TO BE RECORDED AS SUCH.

WITNES MY HAND AND NOTARIAL SEAL THIS DAY 28th OF November, 2025

ATTEST:
Linda M. Radencic
 NOTARY PUBLIC
 My Commission Expires 10/29/28
 My Comm. Expires Oct 29, 2028

CERTIFICATE OF TITLE—NO MORTGAGE
 WE, DAVID M. & NISHA D. WESTERMAN DO HEREBY CERTIFY THAT THE TITLE TO THE PROPERTIES SHOWN HEREON ARE IN THE NAME OF DAVID M. & NISHA D. WESTERMAN AND ARE RECORDED IN INSTRUMENT NO. 201007060014662 & 200011080026629 I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

ATTEST:
David M. Westerman
 WITNESS
Nisha D. Westerman
 OWNER

TOWNSHIP PLANNING COMMISSION RECOMMENDATION FOR APPROVAL
 THIS PLAN HAS BEEN RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWNSHIP OF MUDDY CREEK, BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA ON THIS 16th DAY OF November, 2025.

ATTEST:
Warren Chuba
 SECRETARY
William J. Smith
 CHAIRMAN

BOARD OF SUPERVISORS FINAL APPROVAL CERTIFICATE
 THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MUDDY CREEK HEREBY GIVES PUBLIC NOTICE THAT IT IS APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY. THE BOARD OF SUPERVISORS HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LANDS OR PUBLIC FACILITIES AND HAS NO OBLIGATION, LEGAL OR OTHERWISE, TO IMPROVE OR MAINTAIN SUCH STREETS, LANDS OR PUBLIC FACILITIES.

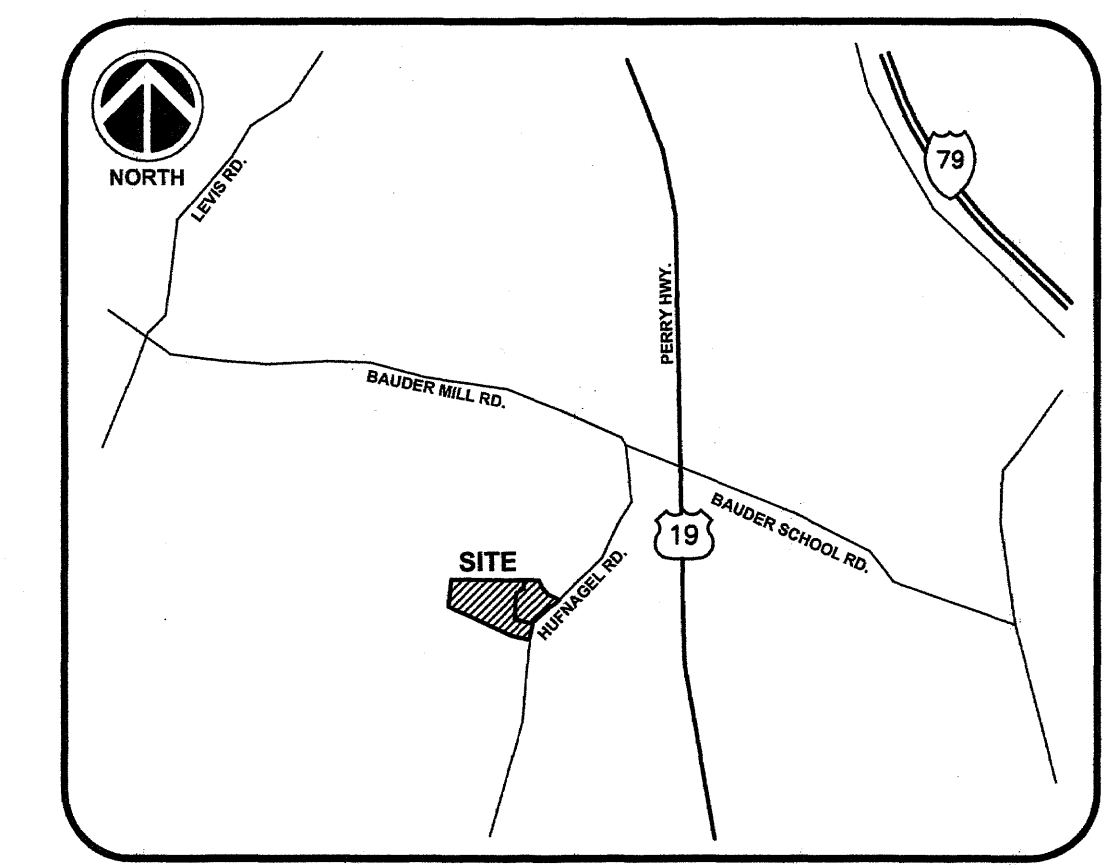
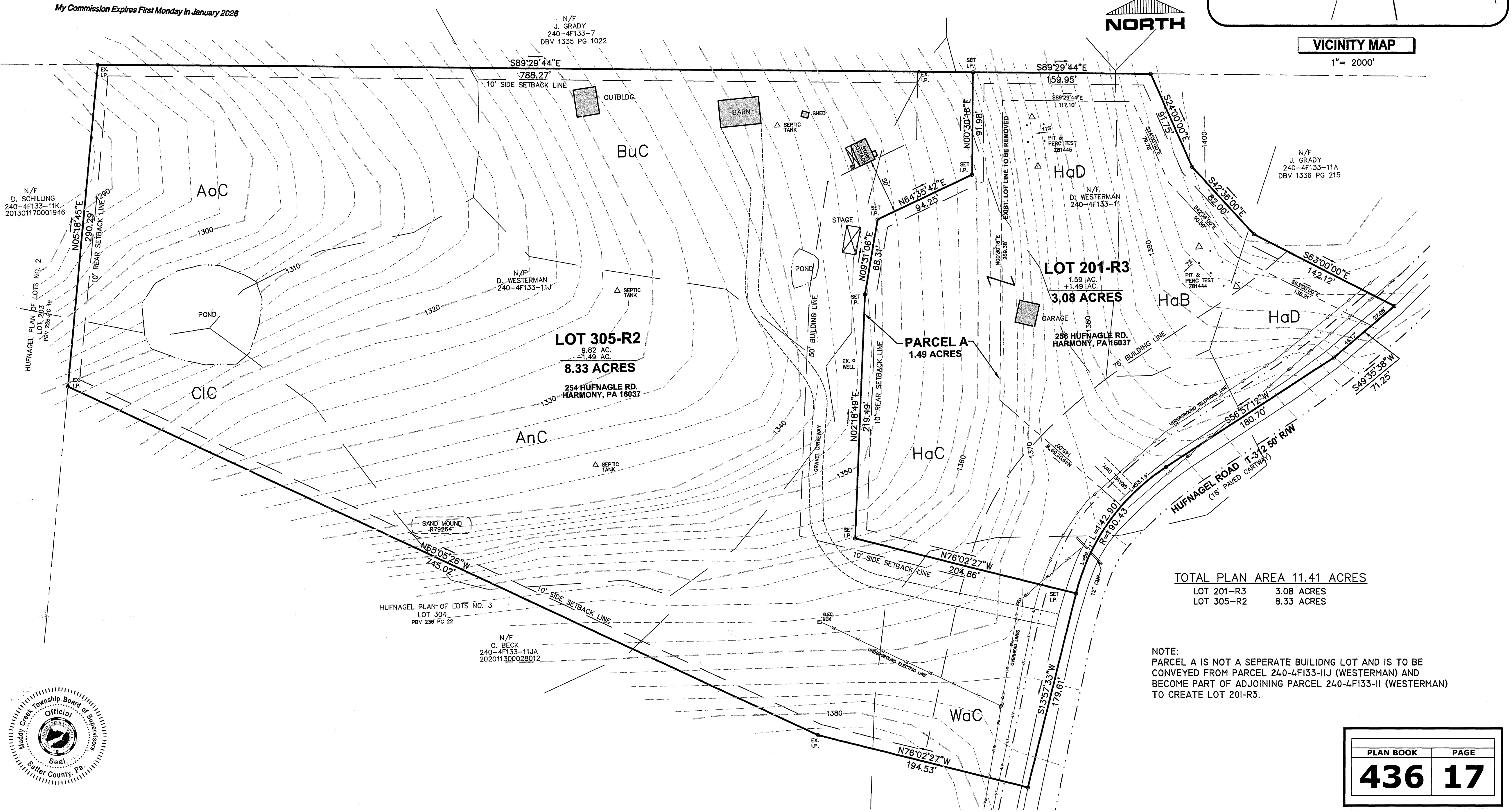
THIS PLAN APPROVED BY ACTION OF THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF MUDDY CREEK, BUTLER COUNTY, PENNSYLVANIA ON THIS 17th DAY OF Dec, 2025.

ATTEST:
William J. Smith
 SECRETARY, BOARD OF SUPERVISORS
Robert Kern
 CHAIRMAN, BOARD OF SUPERVISORS

I, JEFFREY A. SHUTY, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES, AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS AS SHOWN ON THE PLAT HAVE BEEN SET, AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

SEAL
 DATE 11/11/2025
 JEFFREY A. SHUTY
 REG. NO. SU075509

BUTLER COUNTY PLANNING COMMISSION # 25238
 REVIEWED WITH OR WITHOUT COMMENTS BY THE BUTLER COUNTY PLANNING COMMISSION THIS 15th DAY OF OCTOBER, 2025.
Ron Henshaw SECRETARY
Jesse Hines DIRECTOR CHAIR
 COMMONWEALTH OF PENNSYLVANIA) SS: COUNTY OF BUTLER)
 RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN SAID COUNTY, AT INSTRUMENT NUMBER PLAN BOOK 436 PAGE 17
 GIVEN UNDER MY HAND AND SEAL THIS 30th DAY OF DECEMBER, A.D. 2025.
 MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2028



TOTAL PLAN AREA 11.41 ACRES
 LOT 201-R3 3.08 ACRES
 LOT 305-R2 8.33 ACRES

NOTE:
 PARCEL A IS NOT A SEPERATE BUILDING LOT AND IS TO BE CONVEYED FROM PARCEL 240-4F133-11J (WESTERMAN) AND BECOME PART OF ADJOINING PARCEL 240-4F133-11I (WESTERMAN) TO CREATE LOT 201-R3.

PLAN BOOK	PAGE
436	17

GRAPHIC SCALE
 0 25 50 100 200
 (IN FEET)
 1 inch = 50 ft.

OWNER:
 DAVID M. & NISHA D. WESTERMAN
 778 LOGGERSHEAD ISLAND DR.
 SATELITE BEACH, FL 32937
 321-446-4516
 PARCEL ID: 240-4F133-11 PARCEL ID: 240-4F133-11J
 DEED REF: 201007060014662 DEED REF: 200011080026629
 PBV 329 PG 3

Scale 1" = 50'
 Date Sept. 25, 2025
NORTHERN
 SURVEYORS AND ASSOCIATES
 137 LINK LANE
 SLIPPERY ROCK, PA 16057
 (724)530-6889
 northernsurveyor@gmail.com

Job No. 3857

WESTERMAN LOT LINE REVISION NO. 2
 Situate in Muddy Creek Township
 Butler County, Pa.
 Prepared For David Westerman
 Sheet No. 1 of 1

OWNER'S CERTIFICATION

We, JUSTIN T. & CAROLINE M. TRETTEL the undersigned, hereby declare that we are the owners of the property shown on this final plan, that the final plan and the proposed subdivision or land development was made with the owner's consent, and that the owner's desire the final plan to be recorded as such.

In witness whereof I have set my hand and seal this 22 day of November, 2025.

Justin T. Trettel (Owner's signature) and Caroline M. Trettel (Owner's signature)

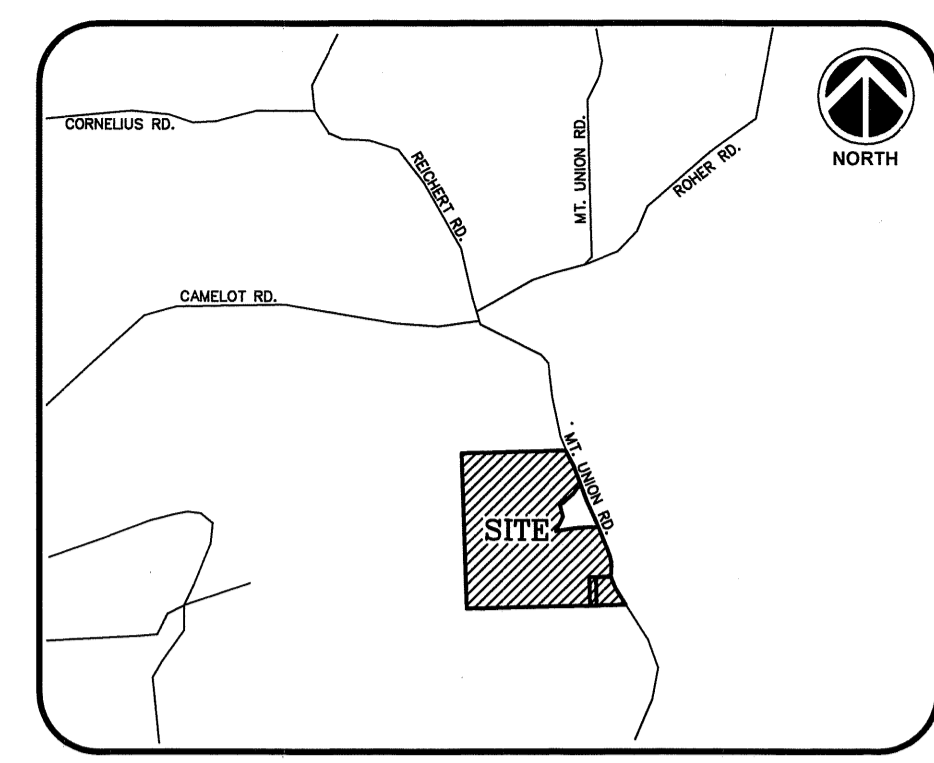
OWNER'S CERTIFICATION

I, NICHOLAS CONNOR the undersigned, hereby declare that I am the owner of the property shown on this final plan, that the final plan and the proposed subdivision or land development was made with the owner's consent, and that the owner's desire the final plan to be recorded as such.

In witness whereof I have set my hand and seal this 22 day of November, 2025.

Nicholas Connor (Owner's signature)

Instr: 202512310021945
Page 1 of 1
12/31/2025 9:56 AM
Butler County Recorder PA



VICINITY MAP NOT TO SCALE

ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA)
) SS:
COUNTY OF Mercer)

Before me, the subscriber, a Notary Public in and for said County and Commonwealth, personally appeared the above named JUSTIN T. & CAROLINE M. TRETTEL who acknowledged the foregoing final plan of subdivision or land development to be our act and deed and desired the same to be recorded as such.

WITNESS MY HAND AND NOTARIAL SEAL this 22 day of November, 2025.

Melissa S. Krnzer, Notary Public (Notary Public)

My commission expires the 20 day of October, 2026.

ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA)
) SS:
COUNTY OF Mercer)

Before me, the subscriber, a Notary Public in and for said County and Commonwealth, personally appeared the above named NICHOLAS CONNOR who acknowledged the foregoing final plan of subdivision or land development to be his act and deed and desired the same to be recorded as such.

WITNESS MY HAND AND NOTARIAL SEAL this 22 day of November, 2025.

Melissa S. Krnzer, Notary Public (Notary Public)

My commission expires the 20 day of October, 2026.

Commonwealth of Pennsylvania - Notary Seal
Melissa S. Krnzer, Notary Public
Mercer County
My commission expires October 20, 2026
Commission number 1228203

Commonwealth of Pennsylvania - Notary Seal
Melissa S. Krnzer, Notary Public
Mercer County
My commission expires October 20, 2026
Commission number 1228203

MUNICIPAL APPROVAL (WORTH TWP.-BUTLER CO.)

The Board of Supervisors of the Township of Worth hereby gives public notice that in approving this plan for recording purposes only, the Township of Worth assumes no obligations, legal or otherwise, expressed or implied, either to accept said streets as township streets, or roads, or grades, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in township streets or roads.

Approved by the TOWNSHIP of WORTH BOARD OF SUPERVISORS this 7 day of October, 2025.

Sharon Mundy (Secretary) and Andrew J. Borge (Chairman)

Reviewed by the TOWNSHIP of WORTH PLANNING COMMISSION this 13 day of September, 2025.

Bill Sykes (Secretary) and Kenneth J. Morand (Chairman)

BUTLER COUNTY PLANNING COMMISSION REVIEW

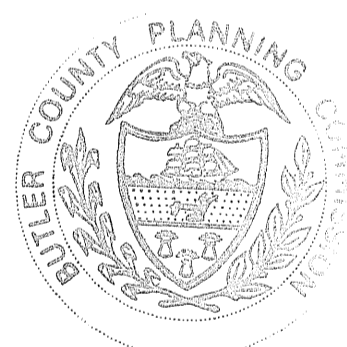
Reviewed by the Butler County Planning Commission this 17 day of September, 2025.

Paul Hunsicker (Secretary) and Paul Hunsicker (Chairman)

See Comments On File at the Butler County Planning Commission

Plan Number: 2520A

SEAL



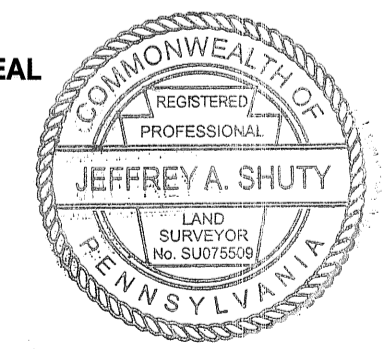
PROFESSIONAL CERTIFICATE

I, JEFFREY A. SHUTY, a Professional SURVEYOR of the Commonwealth of Pennsylvania, do hereby certify that this plan shown hereon is true and correct to the standards of the Butler County Subdivision and Land Development Ordinance and that the survey and all angles, distances, and courses are accurately shown, that the monuments and markers as shown on the plat have been, or will be set, and to the best of my knowledge, that this plan correctly represents the lots, streets, and highways as surveyed and plotted by me for the owners or agents.

Jeffrey A. Shuty (Professional's Name)

SU075509 (Professional's Registration No.)

10/7/2025 (Date)



PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA)
) SS:
COUNTY OF BUTLER)

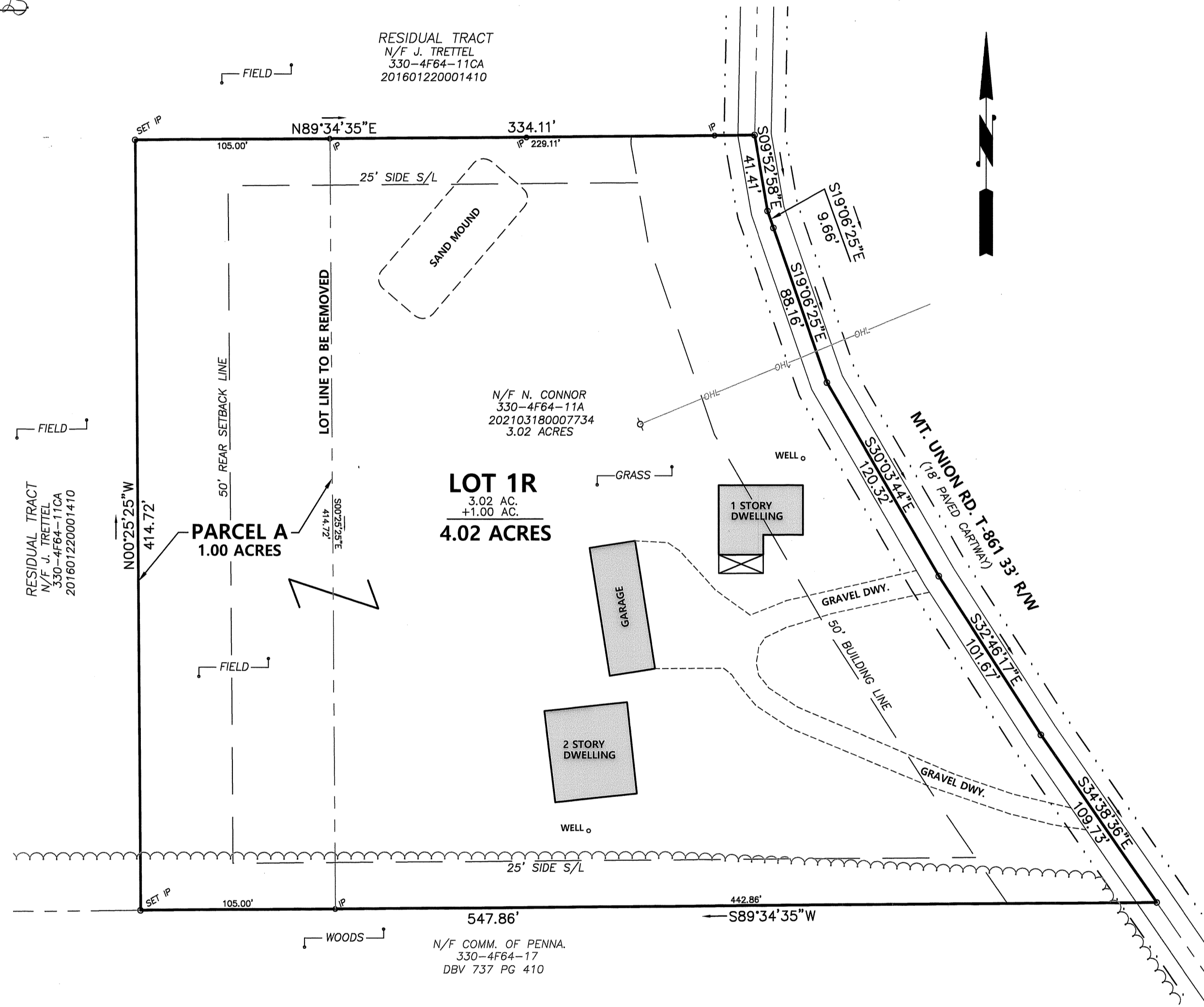
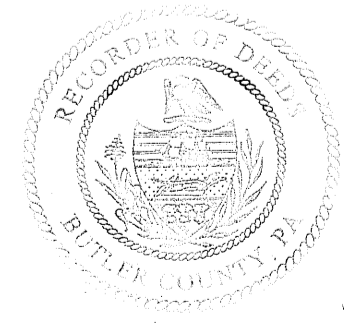
Recorded in the office for the recording of deeds, plats and plans in said County, in Plan Book Volume 436 Page(s) 18

Given under my hand and seal this 31 day of December, 2025.

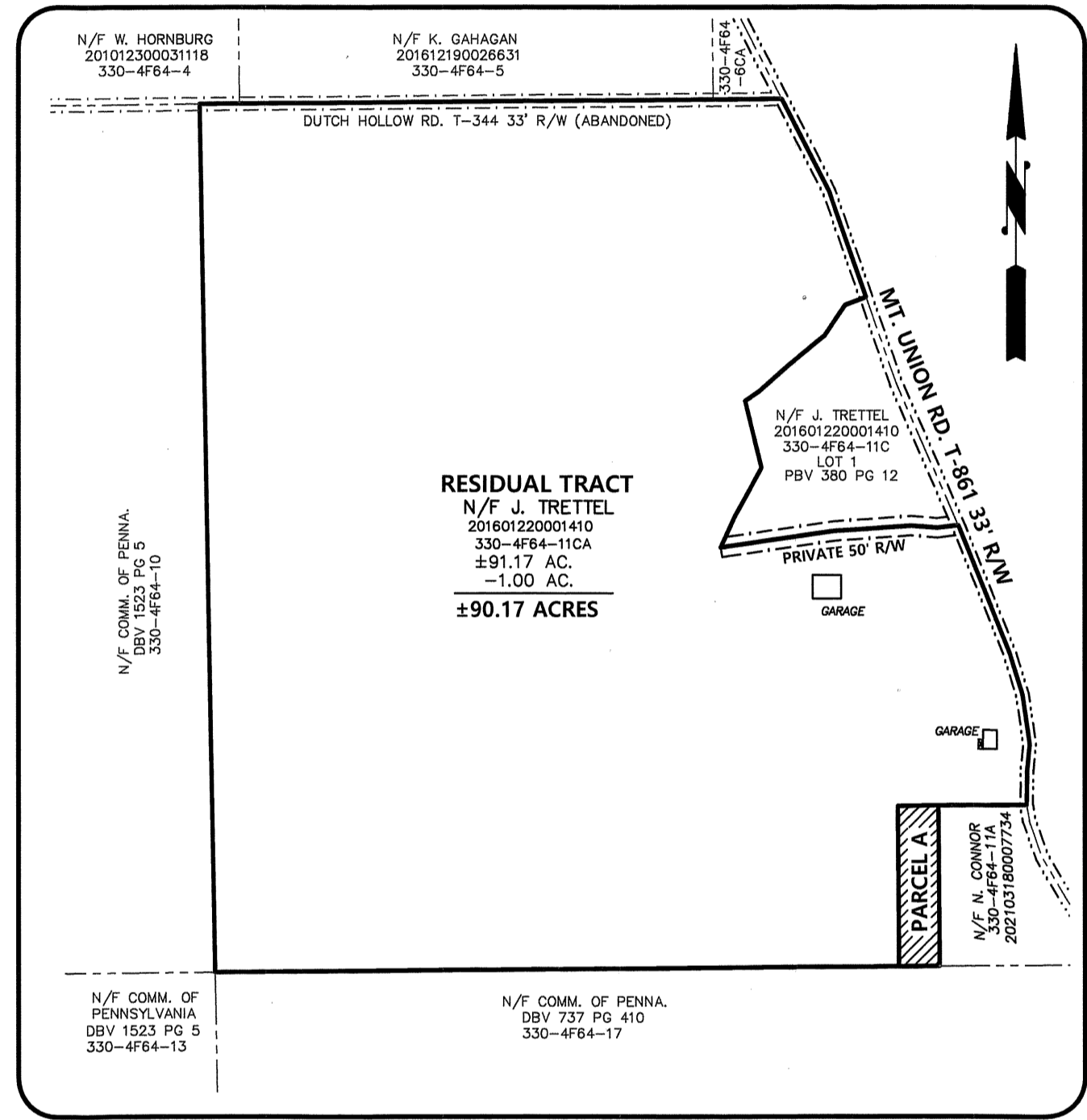
Michele M. Mustello (Recorder of Deeds)

MICHELE M. MUSTELLO RECORDER OF DEEDS

My Commission Expires First Monday in January 2028



NOTES:
1. PARCEL "A" IS NOT A SEPARATE BUILDING LOT AND IS TO BE CONVEYED FROM PARCEL 330-4F64-11CA (TRETTEL) AND BECOME PART OF ADJOINING PARCEL 330-4F64-11A (CONNOR).



RESIDUAL TRACT 1" = 400'

Table with 2 columns: Description, Area. Rows: TOTAL PLAN AREA ±94.19 ACRES, RESIDUAL TRACT ±90.17 ACRES, LOT 1R 4.02 ACRES.

PLAN BOOK 436, PAGE 18

GRAPHIC SCALE (1 inch = 50 ft), OWNER information for Justin T. & Caroline M. Trettel and Nicholas Connor, and Northern Surveyors and Associates contact information.

KNOW ALL MEN BY THESE PRESENTS, that we, Timothy W. McGuire and Nancy Paule Melone, of the Township of Penn, County of Butler and Commonwealth of Pennsylvania for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this as our Plan of Lots of our property, situate in Penn Township, Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever, for public use for highway purposes, all drives, roads, streets, lanes and ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and we hereby release and forever discharge the Township of Penn, their successors and assigns, from any liability for damage caused by any grading thereof to any grades hereafter at any time established and any slopes required for the support and maintenance thereof according to such established grades. This dedication and release shall be binding upon Timothy W. McGuire and Nancy Paule Melone, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we hereunto set our hands and seal this 18th day of December, 2025.

ATTEST:
Brent A. Bance
 NOTARY PUBLIC
Timothy W. McGuire
 TIMOTHY W. MCGUIRE

Nancy Paule Melone
 NANCY PAULE MELONE

COMMONWEALTH OF PENNSYLVANIA)SS:
 COUNTY OF BUTLER)

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally came the above named Timothy W. McGuire and Nancy Paule Melone and acknowledged the foregoing release and dedication and plan to be their act and deed and desired the same to be recorded as such.

WITNESS MY HAND AND NOTARIAL SEAL this 18th day of December, 2025.

My Commission expires the 2nd day of June, 2029.

SEAL
Brent A. Bance
 NOTARY PUBLIC

We, Timothy W. McGuire and Nancy Paule Melone, owners of the property shown in this plan of subdivision; do hereby certify that the title of this property is in the names of Timothy W. McGuire and Nancy Paule Melone as recorded in Instrument Number 201306190017832, Recorder of Deeds Office.

ATTEST:
Timothy W. McGuire
 WITNESS
Nancy Paule Melone
 NANCY PAULE MELONE

We, Dollar Bank, mortgagee of the property embraced in this plan of subdivision in the names of Timothy W. McGuire and Nancy Paule Melone, do hereby consent to the recording of said plan in the Recorder's Office of Butler County, Pennsylvania and to the dedication and covenants appearing thereon.

Brent A. Bance
 WITNESS
Cheryl A. Hughes
 MORTGAGEE'S REP.

I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the lots, lands, streets, alleys and highways as surveyed and plotted by me for the owners or agents.

I further certify that there are no requirements of Zoning existing under the laws of the Township in which this subdivision is located.

I further certify that this plan meets with the requirements of all ordinances, including Zoning, existing under the laws of the Township in which this subdivision is located and which affect this plan.

Cheryl A. Hughes
 SURVEYOR'S NAME & DATE
 September 5, 2025

NOTE: EXCEPTIONS TO REQUIREMENTS OF ZONING ARE NOTED ON PLAN.

Approved by the Board of Supervisors of the Penn Township by Resolution this 12 day of November, 2025.

ATTEST:
Brent A. Bance
 SECRETARY
Samuel Mendel
 CHAIRMAN

The Board of Supervisors of Penn Township hereby gives public notice that, in approving this plan for recording purposes only, the Township assumes no obligations, legal or otherwise, expressed or implied, either to accept said streets as public streets or roads, or to grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other streets or roads.

ATTEST:
Linda H. Zorpass
 SECRETARY
Samuel Mendel
 CHAIRMAN

The following owner(s) of the land within or adjacent to this plan of lots do hereby agree to the recording of this plan insofar as it affects these properties.

Approved by the Planning Commission of the Township of Penn this 28 day of October, 2025.

ATTEST:
Pat Black
 SECRETARY
Samuel Mendel
 CHAIRMAN

Reviewed by the Butler County Planning Commission this 17th day of SEPTEMBER, 2025 #25213

ATTEST:
Ron Henshaw
 SECRETARY
Jesse Hines
 CHAIRMAN

COMMONWEALTH OF PENNSYLVANIA)SS:
 COUNTY OF BUTLER)

Recorded in the Recorder's Office for the recording of deeds, plans, etc. in said County in Plan Book Volume 436 Page 19th
 Given under my hand and seal this 31st day of DECEMBER, 2025.

SEAL
Michele M. Mustello
 RECORDER

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2028

PLAN BOOK PAGE
436 19

No.	Date	Description	By

TAX PARCEL #270-S13-A18A, A18A
 TAX PARCEL #270-3F51-11
 INSTRUMENT #201306190017832
 ADDRESS: 104 THORNBROOK DRIVE

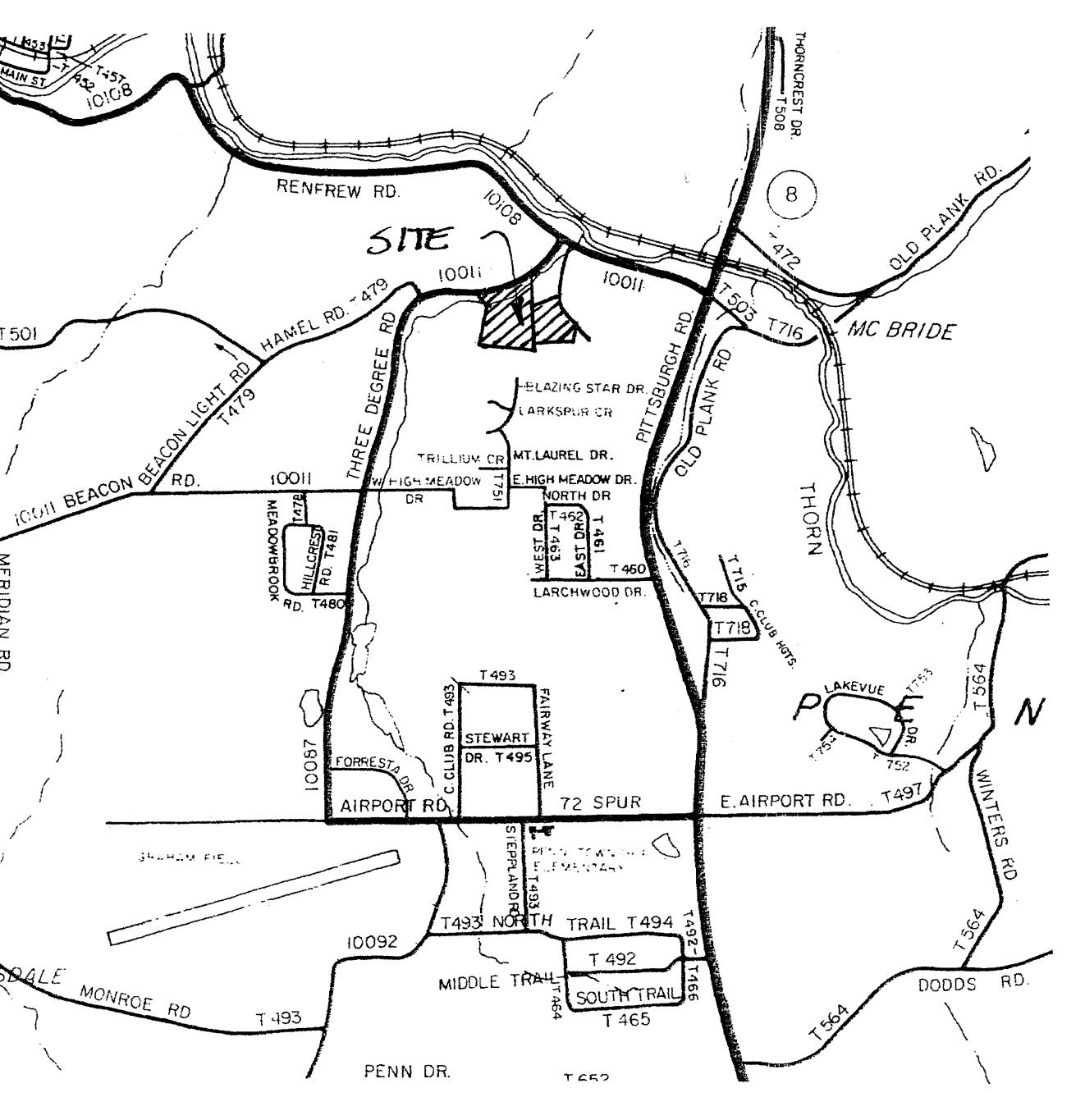
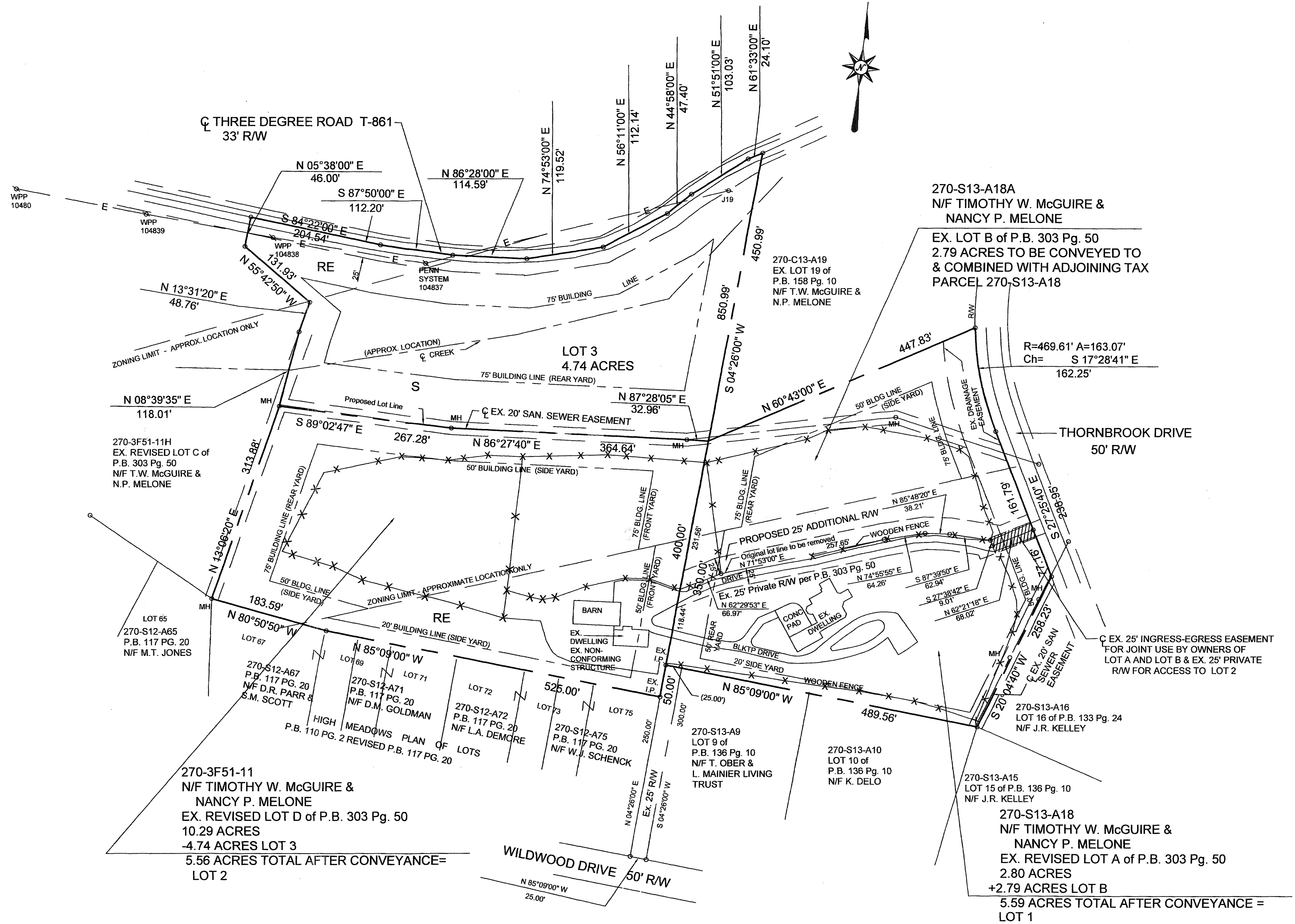
McGUIRE/MELONE PLAN

LOT LINE REVISION
 FOR: TIMOTHY W. MCGUIRE & NANCY PAULE MELONE
 Situate in
 PENN TWP., BUTLER CO., PENNSYLVANIA

Drawn By: BEC Scale: 1" = 100' Drawing No: M2048-001-25
 Checked By: CAH Date: SEPTEMBER 5, 2025 Sheet No: 1 of 1
 Approved By: _____

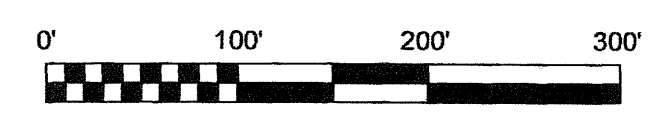
LSSE
 CMI Engineers and Surveyors
 523 North Main Street
 Butler, Pennsylvania 16001
 724-287-6865
 Email: chughes@lsse.com

File • LSI • LSSE • Rabell • Senate



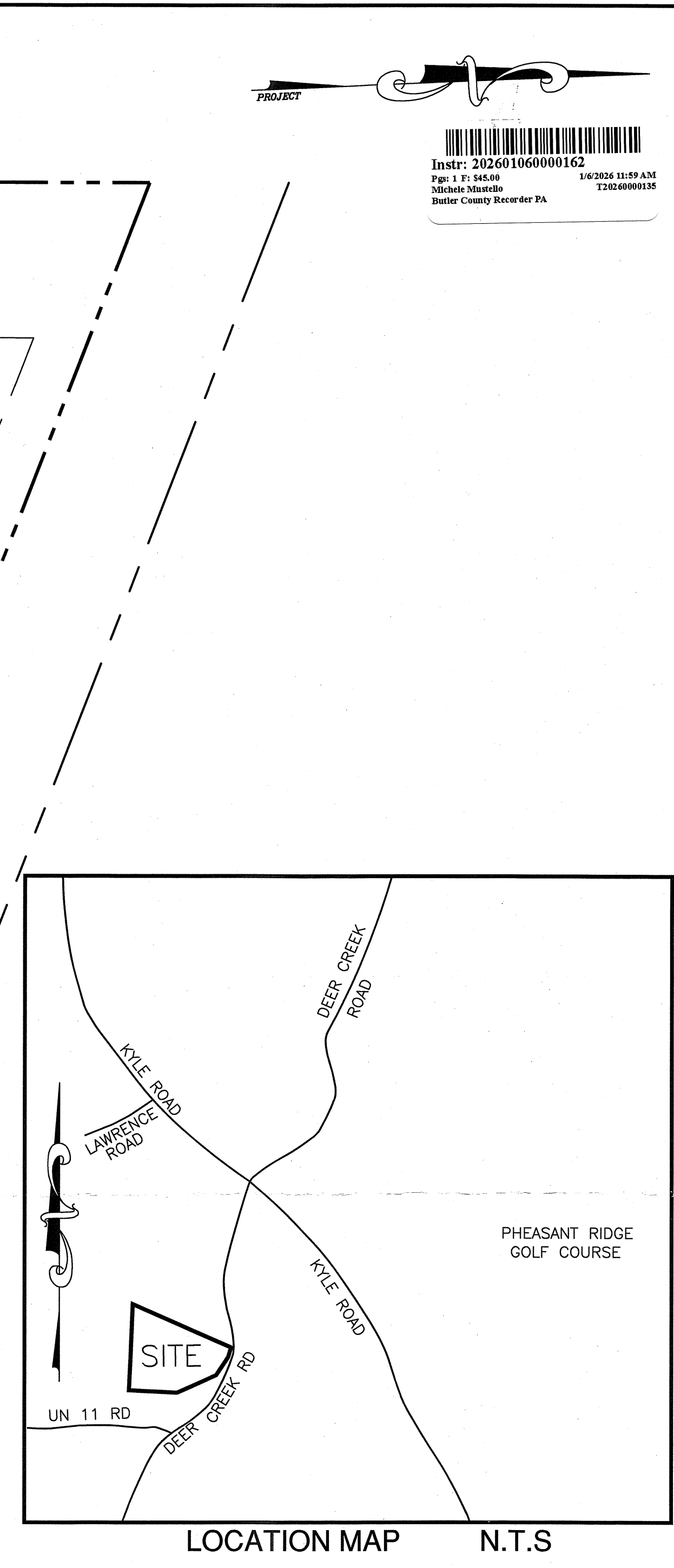
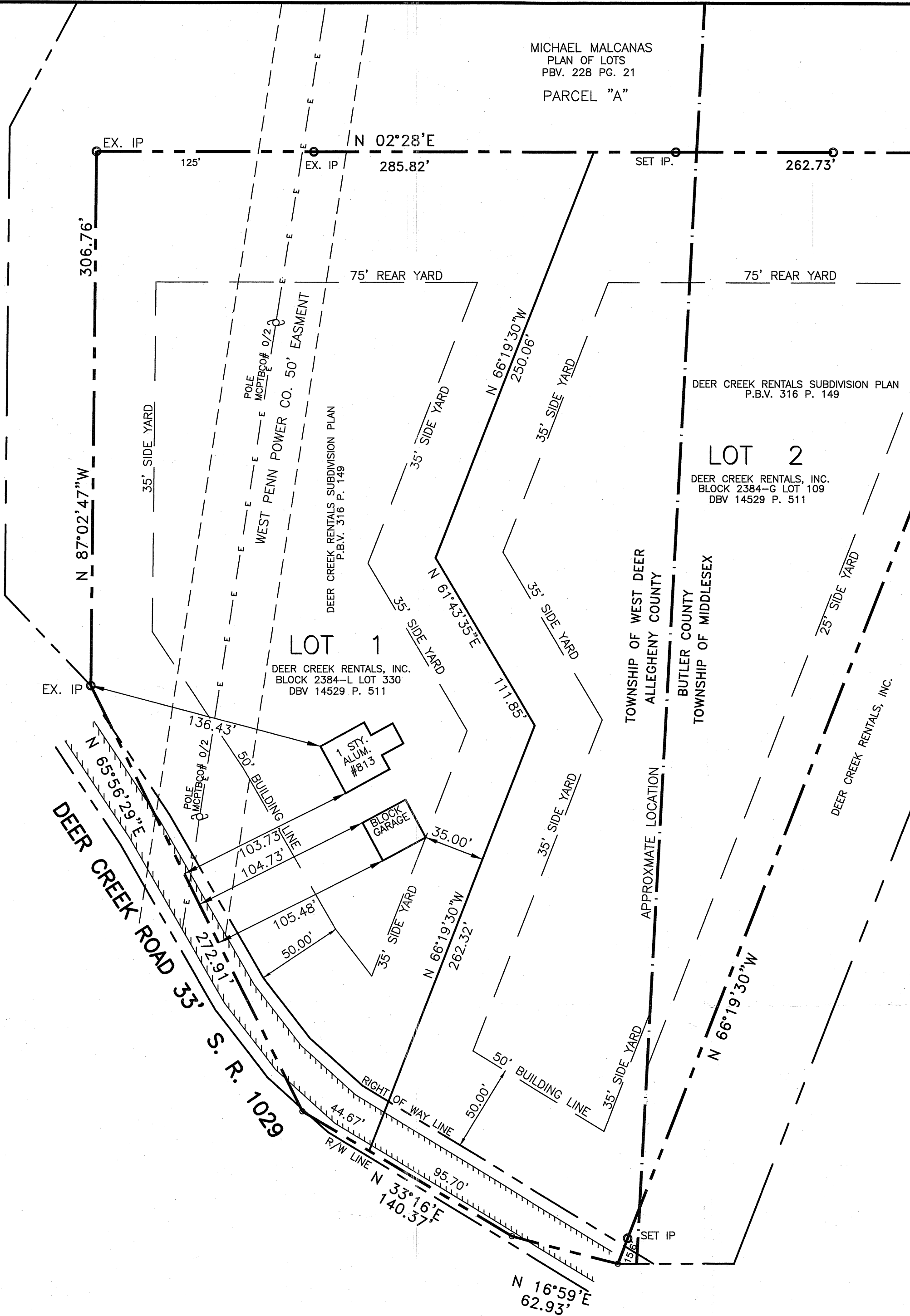
NOTES:
 SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.
 REF: THORN RIDGE ESTATES PLAN 1, LOTS 17 & 18, P.B. 136 PG. 10
 REF: SUBDIVISION FOR DALE WINTERS, LOT 2, P.B. 148 PG. 28
 REF: SUBDIVISION FOR LUKE M. & REBECCA M. SCRIVANICH BY LSI, INC., P.B. 235 PG. 37
 REF: LOT LINE REVISION FOR JOHN & LINDA BUCKNER BY LAND SURVEYORS, INC., 10/01/07, #06-170, P.B. 303 PG. 30
 ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREAS OF MINIMAL FLOOD HAZARD DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN.
 LOTS A & B ARE SUBJECT TO THE RESTRICTIVE COVENANTS FOR THE THORN RIDGE ESTATES PLAN OF LOTS AS RECORDED IN D.B. 1873 PG. 48.
 IRON PINS TO BE SET AT LOT CORNERS.
 ZONING: S - CONSERVANCY DISTRICT
 MIN. LOT AREA: 2 ACRES
 MIN. LOT WIDTH: 200'
 FRONT YARD SETBACK: 75'
 SIDE YARD SETBACK: 50'
 REAR YARD SETBACK: 75'
 RE - RESIDENCE ESTATE DISTRICT
 MIN. LOT AREA: 1 ACRE
 MIN. LOT WIDTH: 150'
 FRONT YARD SETBACK: 50'
 SIDE YARD SETBACK: 20'
 REAR YARD SETBACK: 50'

THE PROPOSED PRIVATE R/W IS FOR INGRESS, EGRESS AND REGRESS TO LOTS 1 & 2. THE OWNERS OF LOTS 1 & 2, THEIR HEIRS, SUCCESSORS AND ASSIGNS WILL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID R/W. NO USE SHALL BE EXPANDED OR MODIFIED WITHOUT THE WRITTEN CONSENT OF THE OWNERS OF LOTS 1 & 2.



VICINITY MAP Scale: 1" = 2000'

!!! ALL SIGNATURES MUST BE IN PERMANENT NAVY BLUE INK OR FELT TIPPED PEN AND DO NOT FOLD.



NOTES:
1. THERE ARE NO GAS OR OIL WELLS LOCATED ON PROPERTY.
2. THERE ARE NO EXISTING WATERCOURSES LOCATED ON PROPERTY.
3. THERE ARE NO WETLANDS LOCATED ON PROPERTY.
4. PROPERTY LIES WITHIN ZONE "X" 0.2% ANNUAL CHANCE FLOOD HAZARD PER FEMA MAP 42003C0070H, EFFECTIVE DATE OF 9/26/2014.

	SQ. FT.	ACRES
TOTAL LOT 1	110,759.17	2.5427
TOTAL LOT 2	129,406.11	2.9707
PLAN TOTAL	240,165.28	5.5134

BUTLER COUNTY REVIEW STATEMENT

Reviewed by the Butler County Planning Commission on this 22ND day of DECEMBER, 2025.
Ron Henshaw ^{T.S.} Secretary
Jesse Hines ^{T.S.} Chairman, Butler County Planning Commission

BUTLER COUNTY PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER)
Recorded in the office of the Recorder of deeds of the County of Butler,
Commonwealth of Pennsylvania, in Plan Book Volume 436, pages(s) 20
Given under my hand and seal this 6th day of JANUARY, 2026.

MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday In January 2028

CORPORATE OWNER'S ADOPTION AND DEDICATION

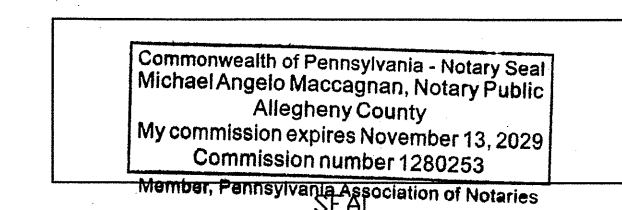
By a resolution approved on the 19th day of December, 2025, the Board of Directors of the Deer Creek Rentals, Inc., incorporated in the Commonwealth of Pennsylvania, owner of the land shown on the Deer Creek Rentals Subdivision Plan Revised adopted this plan as plan of lots and irrevocably dedicated all streets and other property identified for dedication on the plan to the public. Deer Creek Rentals, Inc. hereby covenants and agrees to and by these presents does release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Middlesex, their successors or assigns from any liability for damages arising and to arise from the appropriation of said ground for public streets, or property and the physical grading thereof to any grades that may be established. This adoption and dedication shall be binding upon the corporation and upon its successors and assigns.

[Signature] Secretary
[Signature] Susan Malcanas, President
Deer Creek Rentals, Inc.

ACKNOWLEDGMENT OF CORPORATE NOTARY PUBLIC

Before me, the undersigned Notary Public in and for the Commonwealth of Pennsylvania and County of Butler, personally appeared Susan Malcanas, president of Deer Creek Rentals, Inc., who stated that she is authorized to execute the above adoption, dedication and plan on behalf of the corporation and was present at the meeting at which the action of the corporation was taken to adopt the plan and dedicate public property contained therein to the public.

Witness my hand and notarial seal this 19th day of December, 2025.
My commission expires the 13th day of November, 2029.



[Signature] Notary Public

CERTIFICATION OF TITLE - NO MORTGAGE

I hereby certify that the title to the property contained in the Deer Creek Rentals Subdivision Plan Revised is in the name of Deer Creek Rentals, Inc., and is recorded in Allegheny County Deed Book Volume 14529, page 511.
I further certify that there is no mortgage, lien, or other encumbrance against this property.

[Signature] Witness
[Signature] Susan Malcanas, President
Deer Creek Rentals, Inc.

SURVEYOR'S CERTIFICATION

I certify that, to the best of my knowledge, that the survey and plan shown hereon correctly represents the lots, lands, streets and highways as surveyed and plotted by me.

Dec 22, 2025 Date
[Signature] John Robert Gales, P.L.S. Registration No. 8203-E

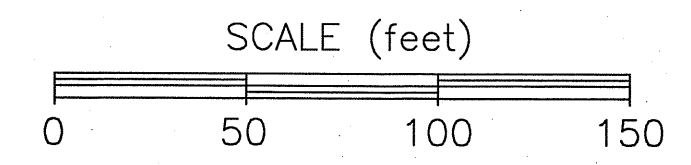
PLANS REQUIRING ACCESS TO STATE HIGHWAYS

A highway occupancy permit is required pursuant to SS 420 of the Act of June 1, 1945 (P.L. 1242, No., 428), known as the "State Highway Law" before driveway access to a State highway is permitted.

OWNER/DEVELOPER:

DEER CREEK RENTALS, INC.
P. O. BOX 1016
GIBSONIA, PA 15044-1016
412-480-4270
BLOCK 2384-G LOTS 109
& BLOCK 2384-L LOT 330

PLAN BOOK	PAGE
436	20



DATE	REVISION
12/17/25	WEST DEER & MIDDLESEX PLANS

MIDDLESEX TOWNSHIP MUNICIPAL DECLARATIONS

The Board of Supervisors of the Township of Middlesex, hereby gives notice that in approving this plan for recording, the Township of Middlesex has not accepted dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

[Signature] Secretary
[Signature] Chairman, Board of Supervisors

Approved by the Board of Supervisors of the Township of Middlesex by resolution No. 2025-33, effective this 17th day of DECEMBER, 2025.

[Signature] Secretary
[Signature] Chairman, Board of Supervisors (SEAL)

Reviewed by the Planning Commission of the Township of Middlesex, this 10th day of DECEMBER, 2025.

[Signature] Secretary
[Signature] Chairman, Planning Commission (SEAL)

MIDDLESEX TOWNSHIP MUNICIPAL ENGINEER'S CERTIFICATION

I, Matthew Sebastian, a Registered Professional Engineer, the Township of Middlesex, do hereby certify that this Subdivision Plan meets all the engineering and design requirements of the Township Subdivision and Zoning Ordinance except as departures have been authorized by the approval authority.

12/23/25 Date
FE082034 Registration No. (SEAL)
[Signature] Engineer

MIDDLESEX TOWNSHIP DATE OF DELIVERY ACKNOWLEDGMENT

This plat was delivered to Deer Creek Rentals, Inc. by the Township of West Deer this 29 day of DECEMBER, 2025.

[Signature] Township Manager

WEST DEER TOWNSHIP
ZONED R- RURAL ESTATE

MIN. LOT AREA = 130,680 SQ. FT.
MIN. LOT WIDTH = 300 FT.
MIN. FRONT YARD = 50 FT.
MIN. SIDE YARD = 35 FT.
MIN. REAR YARD = 75 FT.
MAX. BUILDING HEIGHT = 35 FT. OR 2 1/2 STORIES

MIDDLESEX TOWNSHIP
ZONED AGRICULTURAL (AG-B)

MIN. LOT AREA = ONE ACRE (43,560 SQ. FT.) SINGLE FAMILY
MIN. LOT WIDTH = 150 FT.
MIN. FRONT YARD = 50 FT.
MIN. SIDE YARD = 25 FT.
MIN. REAR YARD = 75 FT.
MAX. BUILDING HEIGHT = 35 FT. OR 2 1/2 STORIES
MAX. LOT COVERAGE = 20%

DEER CREEK RENTALS SUBDIVISION PLAN REVISED

THE PURPOSE OF THIS PLAN IS TO REVISE THE BOUNDARY LINE OF THE TOWNSHIP OF WEST DEER, ALLEGHENY COUNTY AND THE TOWNSHIP OF MIDDLESEX, BUTLER COUNTY AS SHOWN ON DEER CREEK RENTALS SUBDIVISION AS RECORDED IN P.B.V. 316, P. 149 AND ALSO BLOCK 2384-L LOT 330 AND BLOCK 2384-G LOT 109

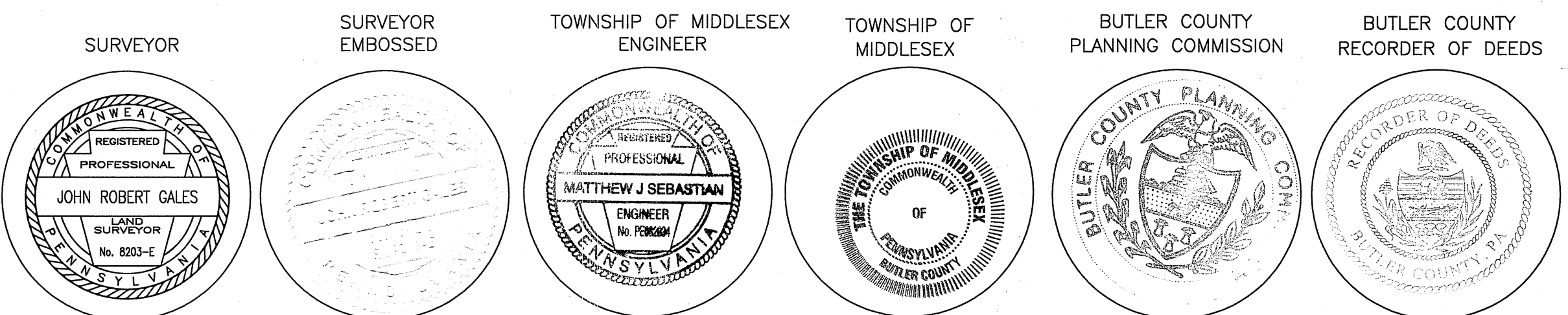
SITUATE IN
TOWNSHIP OF WEST DEER
ALLEGHENY COUNTY, PA
SITUATE IN
TOWNSHIP OF MIDDLESEX
BUTLER COUNTY, PA

MADE FOR
DEER CREEK RENTALS, INC.

SCALE: 1" = 50' DATE: JANUARY 17, 2025

J.R. GALES & ASSOCIATES, INC.
2704 Brownsville Road
Pittsburgh, Pennsylvania 15227

Dec 22, 2025 Date
[Signature] John Robert Gales, P.L.S. Registration No. 8203-E



OWNER'S CERTIFICATION

WE, THE WATSON FAMILY PROTECTOR TRUST, DATED 9/10/2010, LEE C. WATSON AND ROSA LEE WATSON, GRANTORS AND/OR TRUSTEES, JOYCE A. DAVANZATI AND PHILIP W. WATSON, AS TRUSTEES OF THE WATSON FAMILY TRUST UWIO CECILIA M. WATSON AND CORY R. FOX AND SALLY J. FOX, THE UNDERSIGNED, HEREBY DECLARE THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS FINAL PLAN, THAT THE FINAL PLAN AND THE PROPOSED SUBDIVISION OR LAND DEVELOPMENT WERE MADE WITH THE OWNERS' CONSENT, AND THAT THE OWNERS DESIRE THE FINAL PLAN TO BE RECORDED AS SUCH.

IN WITNESS WHEREOF, WE HAVE SET OUR HAND AND SEAL THIS 23 DAY OF DECEMBER, 2025.

x Lee C. Watson
 LEE C. WATSON
 THE WATSON FAMILY PROTECTOR TRUST

 x Rosa Lee Watson
 ROSA LEE WATSON
 THE WATSON FAMILY PROTECTOR TRUST

 x Joyce A. Davanzati
 JOYCE A. DAVANZATI, TRUSTEE
 WATSON FAMILY TRUST

 x Philip W. Watson
 PHILIP W. WATSON, TRUSTEE
 WATSON FAMILY TRUST

 x Cory R. Fox
 CORY R. FOX

 x Sally J. Fox
 SALLY J. FOX

ACKNOWLEDGMENT OF NOTARY PUBLIC

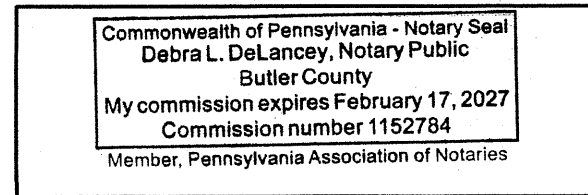
COMMONWEALTH OF PENNSYLVANIA
 COUNTY OF BUTLER

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED THE ABOVE NAMED, THE WATSON FAMILY PROTECTOR TRUST, DATED 9/10/2010, LEE C. WATSON AND ROSA LEE WATSON, GRANTORS AND/OR TRUSTEES, JOYCE A. DAVANZATI AND PHILIP W. WATSON, AS TRUSTEES OF THE WATSON FAMILY TRUST UWIO CECILIA M. WATSON AND CORY R. FOX AND SALLY J. FOX, AND ACKNOWLEDGED THE FOREGOING FINAL PLAN OF SUBDIVISION OR LAND DEVELOPMENT TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 23 DAY OF DECEMBER, 2025.

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY, 2027.

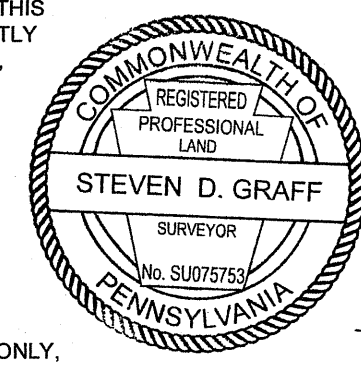
x Debra L. DeLancey
 NOTARY PUBLIC



SURVEYOR'S CERTIFICATION

I, STEVEN D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

DATE DEC 19, 2025
 x Steven D. Graff
 STEVEN D. GRAFF
 REG. NO. SU-075753



MUNICIPAL DECLARATIONS

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WINFIELD, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF WINFIELD ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WINFIELD THIS 18th DAY OF December, 2025.

x Patricia Knapp
 SECRETARY
 x [Signature]
 CHAIRPERSON
 BOARD OF SUPERVISORS

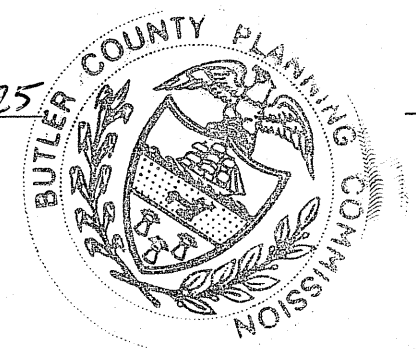
REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF WINFIELD THIS 3rd DAY OF December, 2025.

x Patricia Knapp
 SECRETARY
 x [Signature]
 CHAIRPERSON
 PLANNING COMMISSION

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 17th DAY OF DECEMBER, 2025.

x [Signature]
 SECRETARY
 # 25266
 x [Signature]
 CHAIRPERSON
 BUTLER COUNTY PLANNING COMMISSION



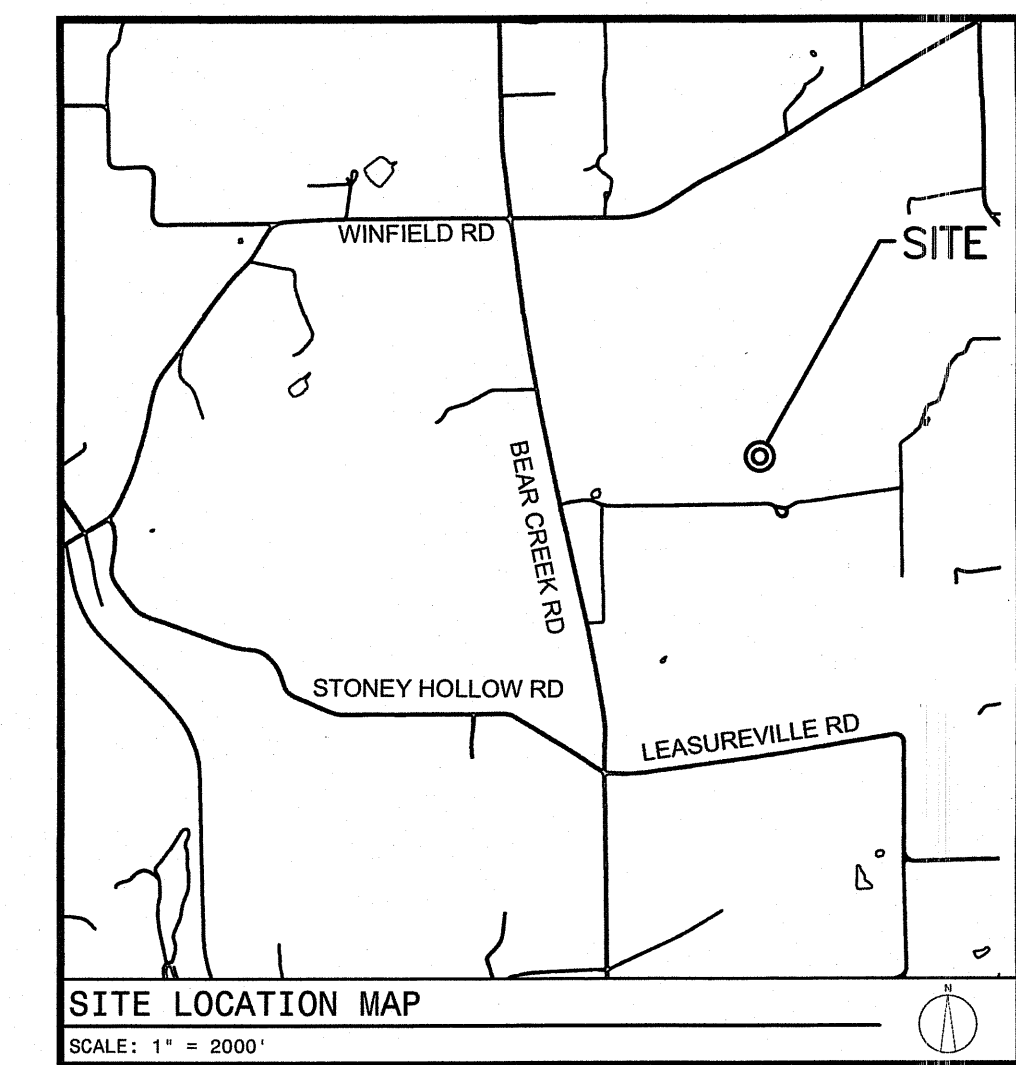
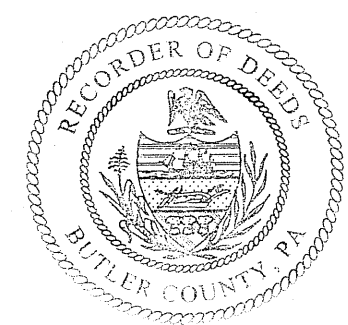
PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN

PLAN BOOK VOLUME 436, PAGE(S) 21-22

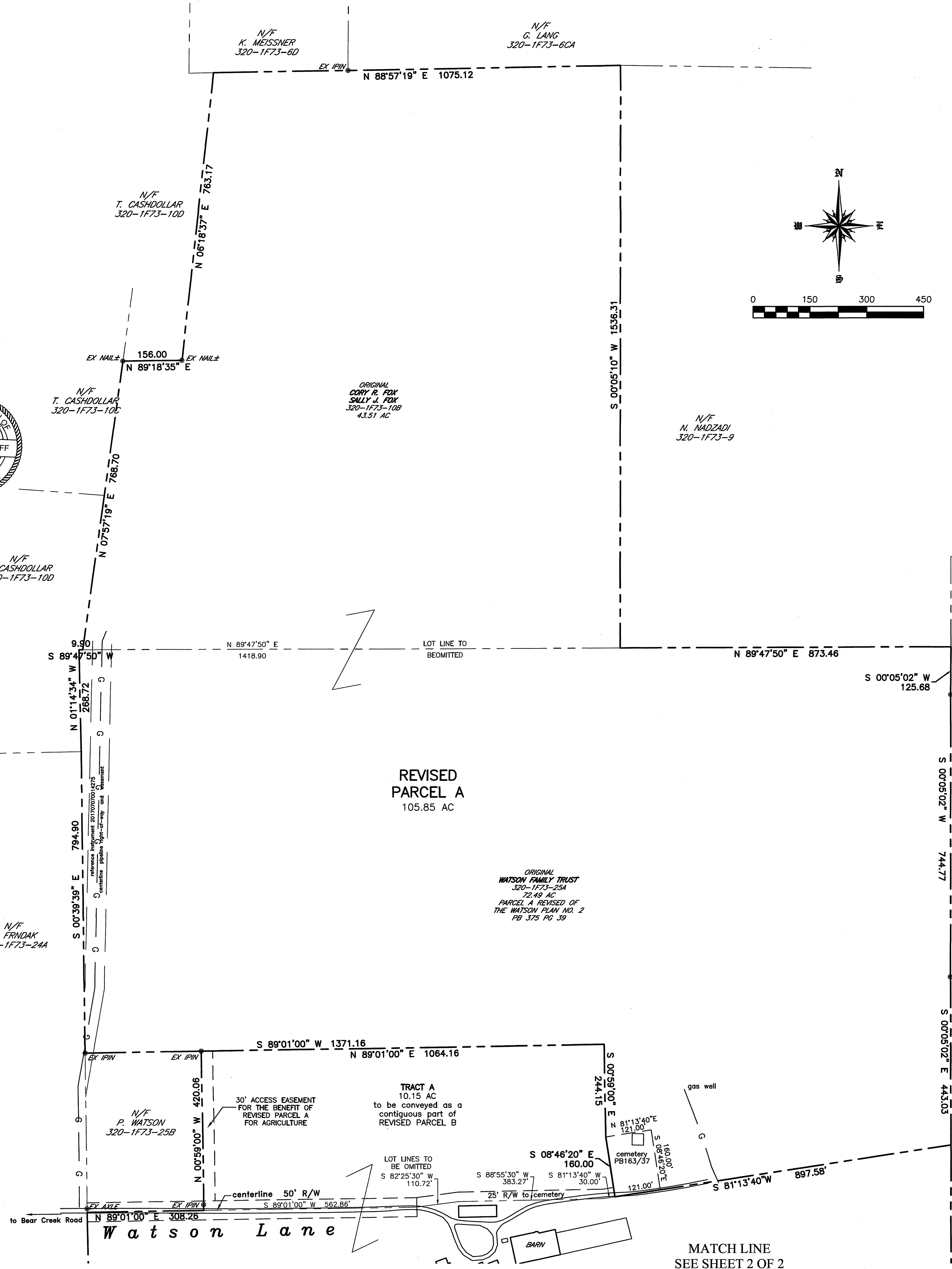
GIVEN UNDER MY HAND AND SEAL THIS 7th DAY OF January, 2026

x Michele M. Mustello
 RECORDER OF DEEDS
MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2028



PLAN ORIENTATION NOTE: THE BEARINGS SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (PA-S) / NAD 1983

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.



Instr: 202601070000251
 Page 2 of 88-89
 Michele Mustello
 Butler County Recorder PA

PROPERTY AREA SUMMARY:

EXISTING TOTALS	
PARCEL A REV (1F73-25A)	72.49 AC
PARCEL B (1F73-25)	77.18 AC
+ 320-1F73-10B	43.51 AC
EXISTING TOTAL	193.18 AC
REVISED PARCEL A	
PARCEL A REV (1F73-25A)	72.49 AC
+ 320-1F73-10B	43.51 AC
+ TRACT A	10.15 AC
REVISED PARCEL A	105.85 AC
REVISED PARCEL B	
PARCEL B (1F73-25)	77.18 AC
+ TRACT A	10.15 AC
REVISED PARCEL B	87.33 AC
REVISED TOTALS	
REVISED PARCEL A	105.85 AC
+ REVISED PARCEL B	87.33 AC
REVISED TOTAL	193.18 AC

GENERAL NOTES:

1. PARCEL IDS: 320-1F73-25, 320-1F73-25A, 320-1F73-10B, WATSON FAMILY TRUST (25) THE WATSON FAMILY PROTECTOR TRUST (25A) CORY AND SALLY FOX (10B)
2. OWNERS: WATSON FAMILY TRUST (25) THE WATSON FAMILY PROTECTOR TRUST (25A) CORY AND SALLY FOX (10B)
3. REFERENCES:
 - 3.1. CURRENT DEEDS OF RECORD
 - 3.2. PREVIOUSLY RECORDED PLANS
 - 3.2.1. FREEHLING SUBDIVISION NO. 2 PLAN BOOK 148 PG 32
 - 3.2.2. WATSON SUBDIVISION PLAN BOOK 163 PG 37
 - 3.2.3. KINGSFIELD PLAN PLAN BOOK 292 PG 32
 - 3.2.4. WHISPERING PINES FARM PLAN PLAN BOOK 297 PG 29
 - 3.2.5. E. H. LANG ESTATE PLAN PLAN BOOK 315 PG 17
 - 3.2.6. WATSON PLAN NO. 2 PLAN BOOK 375 PG 39
 - 3.2.7. G. LANG PLAN PLAN BOOK 402 PG 48

REV	DESCRIPTION	BY	DATE

GRAFF SURVEYING

GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION
WATSON PLAN NO. 3
 BEING A
 LOT LINE REVISION
 FOR
 WATSON TRUST, CORY & SALLY FOX
 WATSON PROTECTOR TRUST

SITUATION
 WINFIELD TOWNSHIP
 BUTLER COUNTY, PENNSYLVANIA

DATE	DRAWN	CHECKED	SCALE
11/05/2025	SDG	Sdg	1" = 150'

PROJECT NO.	TAX PARCEL NO.	REVISION
25-196	320-1F73-25, 25A, 10B	-

RECORDED	20
PLAN BOOK	PAGE
436	21
SHEET	of
1	2

MATCH LINE
 SEE SHEET 2 OF 2

REVISED
PARCEL A
105.85 AC

MATCH LINE
SEE SHEET 1 OF 2

ORIGINAL
WATSON FAMILY TRUST
320-1F73-25A
72.49 AC
PARCEL A REVISED OF
THE WATSON PLAN NO. 2
PB 375 PG 39

N/F
K. FRINDAK
320-1F73-24A

N/F
E. RENAUD
320-1F73-26B

N/F
F. FRITCH JR
320-1F73-27

N/F
P. WATSON
320-1F73-25B

TRACT A
10.15 AC
to be conveyed as a
contiguous part of
REVISED PARCEL B

LOT LINES TO
BE OMITTED
S 82°25'30" W
110.72'

S 88°55'30" W
383.27'

S 81°13'40" W
30.00'

S 08°46'20" E
160.00'

S 81°13'40" E
121.00'

S 08°46'20" E
160.00'

S 81°13'40" W
30.00'

S 88°55'30" W
383.27'

S 82°25'30" W
110.72'

S 89°01'00" W
562.86'

S 89°01'00" E
1064.16'

S 89°01'00" W
1371.16'

S 89°01'00" E
1064.16'

S 89°01'00" W
1371.16'

S 89°01'00" E
1064.16'

S 89°01'00" W
1371.16'

S 89°01'00" E
1064.16'

S 89°01'00" W
1371.16'

S 89°01'00" E
1064.16'

S 89°01'00" W
1371.16'

S 89°01'00" E
1064.16'

S 89°01'00" W
1371.16'

S 89°01'00" E
1064.16'

S 89°01'00" W
1371.16'

S 89°01'00" E
1064.16'

S 89°01'00" W
1371.16'

REVISED
PARCEL B
87.33 AC

ORIGINAL
WATSON FAMILY
PROTECTOR TRUST
320-1F73-25
77.19 AC
PARCEL B REVISED OF
THE WATSON PLAN NO. 2
PB 163 PG 37

N/F
K. FRINDAK
320-1F73-23

N/F
R. LANG
320-1F73-28A

N/F
R. LANG
320-1F73-30B

N/F
C. FOX
320-1F73-33D

N/F
M. BURD
320-1F73-32F

N/F
K. BUNDY
320-1F73-32GC

N/F
R. BUNDY
320-1F73-32GBA

N/F
G. BUNDY
320-1F73-32GA

S 89°23'10" W 2253.52'

N 01°09'50" W 1441.75'

S 00°05'02" W 744.77'

S 00°05'02" E 443.03'

S 00°04'19" E 1595.50'

S 89°01'00" W 1371.16'

N 89°01'00" E 1064.16'

S 00°59'00" E 244.15'

centerline 50' R/W

N 89°01'00" E 308.26'

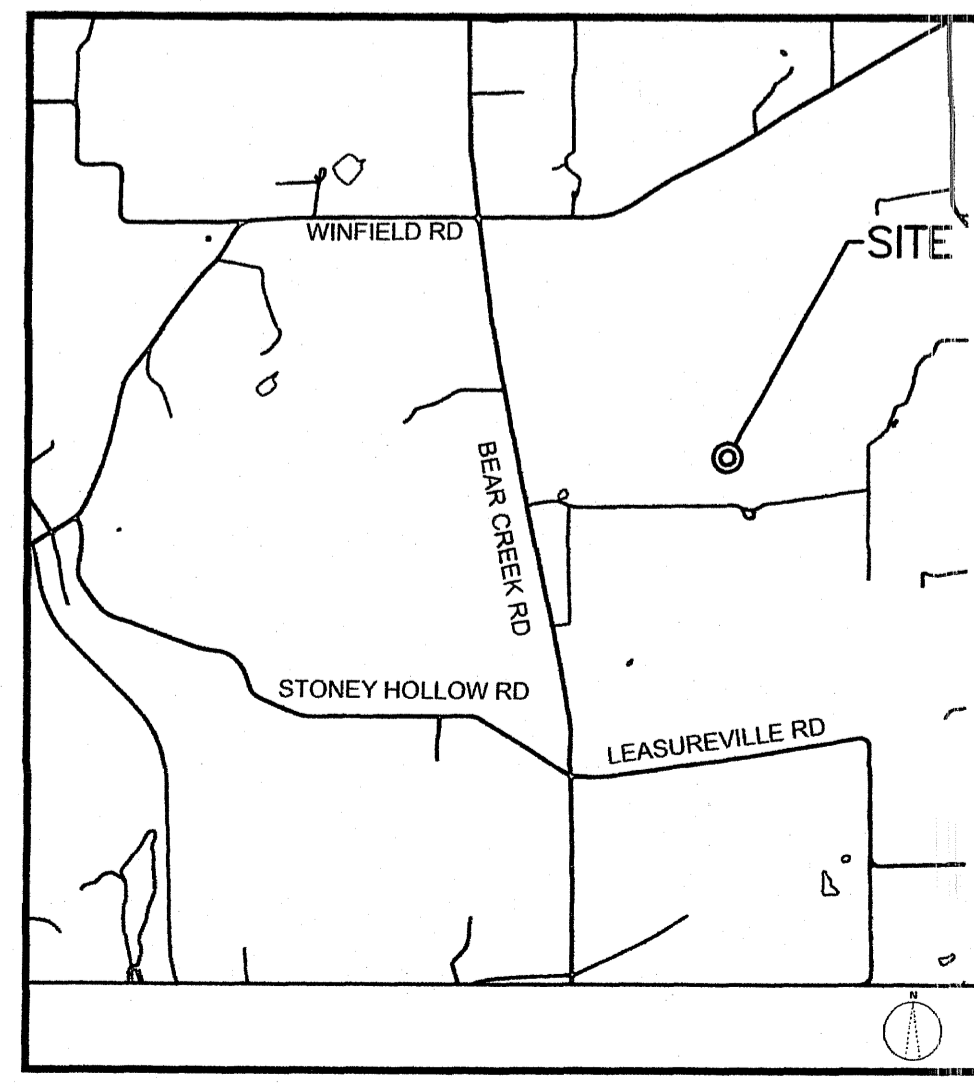
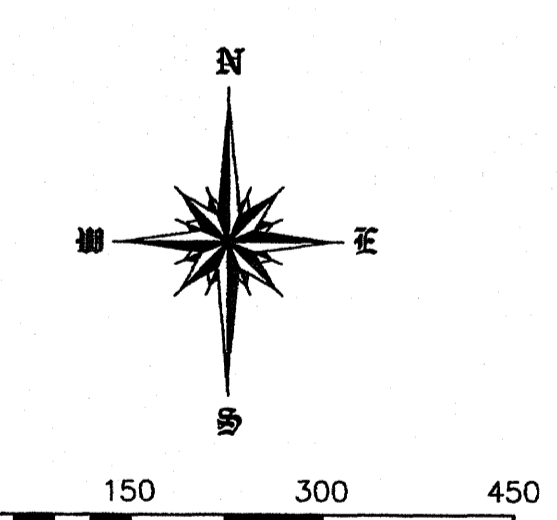
Watson Lane

30' ACCESS EASEMENT
FOR THE BENEFIT OF
REVISED PARCEL A
FOR AGRICULTURE

gas well

cemetery

BLDG
DWLG
WATER WELL
DWLG



NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

REV	DESCRIPTION	BY	DATE



GRAFF SURVEYING LLC
PO BOX 521 | SAXONBURG, PA 16056
P: 724-352-3811
INFO@GRAFFSURVEYING.COM
WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION
WATSON PLAN NO. 3
BEING A
LOT LINE REVISION
FOR
WATSON TRUST, CORY & SALLY FOX
WATSON PROTECTOR TRUST

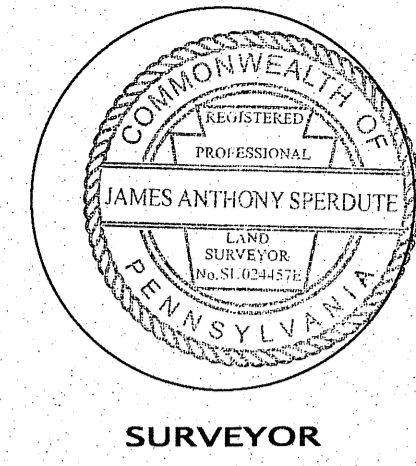
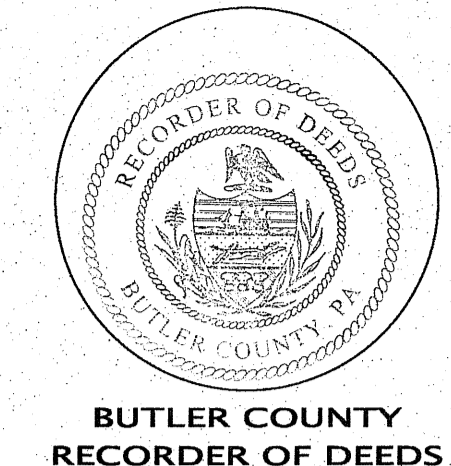
SITUATE
WINFIELD TOWNSHIP
BUTLER COUNTY, PENNSYLVANIA

DATE	DRAWN	CHECKED	SCALE
11/05/2025	SDG	Sdg	1" = 150'
PROJECT NO.	TAX PARCEL NO.	REVISION	
25-196	320-1F73-25, 25A, 10B	-	

SHEET 2 OF 2

RECORDED	20
PLAN BOOK	PAGE
436	22
SHEET 2 of 2	

Instr: 20260109000435
 1/9/2026 8:38 PM
 Michele Mustello
 Butler County Recorder PA



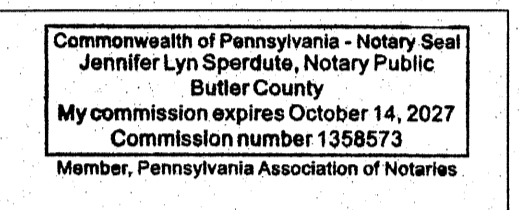
I, JAMES A. SPERDUTE, A PROFESSIONAL LAND SURVEYOR DULY LICENSED BY AND IN THE COMMONWEALTH OF PENNSYLVANIA, HEREBY CERTIFY THAT THE PLATS OF THE WOODLAND RESERVE CONDOMINIUM PLAN NO. 4, A CONDOMINIUM TO WHICH THIS CERTIFICATE IS AFFIXED, CONSISTING OF 3 SHEETS AND THE PLANS RECORDED WITH THE DECLARATION, ACCURATELY CONTAINS ALL INFORMATION REQUIRED BY SECTIONS 3210(B) AND (C) OF THE PENNSYLVANIA UNIFORM CONDOMINIUM ACT, ACT 82 OF 1980 (68 P.A.C.S.A. SECTIONS 3210(B) AND (C))

James A. Spurdute 1-8-26
 BY JAMES A. SPERDUTE, SURVEYOR REG. NO. 24457-E DATE

COMMONWEALTH OF PENNSYLVANIA)
) SS:
 COUNTY OF BUTLER)

ON THE 8 DAY OF January 2026, BEFORE ME, A NOTARY PUBLIC FOR THE COMMONWEALTH OF PENNSYLVANIA, PERSONALLY APPEARED JAMES A. SPERDUTE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE ABOVE CERTIFICATION AND BEING DULY SWORN MADE SOLEMN OATH TO THE TRUTH OF THE STATEMENT TO WHICH HIS NAME IS SUBSCRIBED.

IN WITNESS WHEREOF, I HEREINTO SET MY HAND AND NOTARIAL SEAL.
Jennifer Lyn Spurdute
 NOTARY PUBLIC
 MY COMMISSION EXPIRES October 14 2027



COMMONWEALTH OF PENNSYLVANIA)
) SS:
 COUNTY OF BUTLER)

RECORDED IN THE RECORDER'S OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN COUNTY IN PLAN BOOK 436 PAGES 23-25 GIVEN UNDER MY HAND AND SEAL THIS 9th DAY OF January 2026

Michele M. Mustello
 RECORDER OF DEEDS

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2028

NOTES:
 Prepared for: Woodland Reserve, LP
 361 Mars-Valencia Rd.
 Mars, PA 16046
 724-609-5261
 Deed Book 202303240004020

Tax parcels affected by the condominium:
 Lot 301 - Tax Parcel 180-S15-A301-0000
 Lot 302 - Tax Parcel 180-S15-A302-0000
 Lot 303 - Tax Parcel 180-S15-A303-0000
 Lot 304 - Tax Parcel 180-S15-A304-0000

As it affects the condominium portion of the development, the following notes shall apply. Refer to the recorded amendments/declaration for additional details.

- All porches, patios, decks and unit sidewalks are part of the dwelling unit and must be built.
- All unit driveways are considered limited common elements and must be built.
- See declaration which is recorded separately for architectural drawings related to building types, building elevations and unit dimensions.
- Refer to the recorded plan referenced below of additional information regarding existing easements, rights of way, setbacks and restrictions of record.

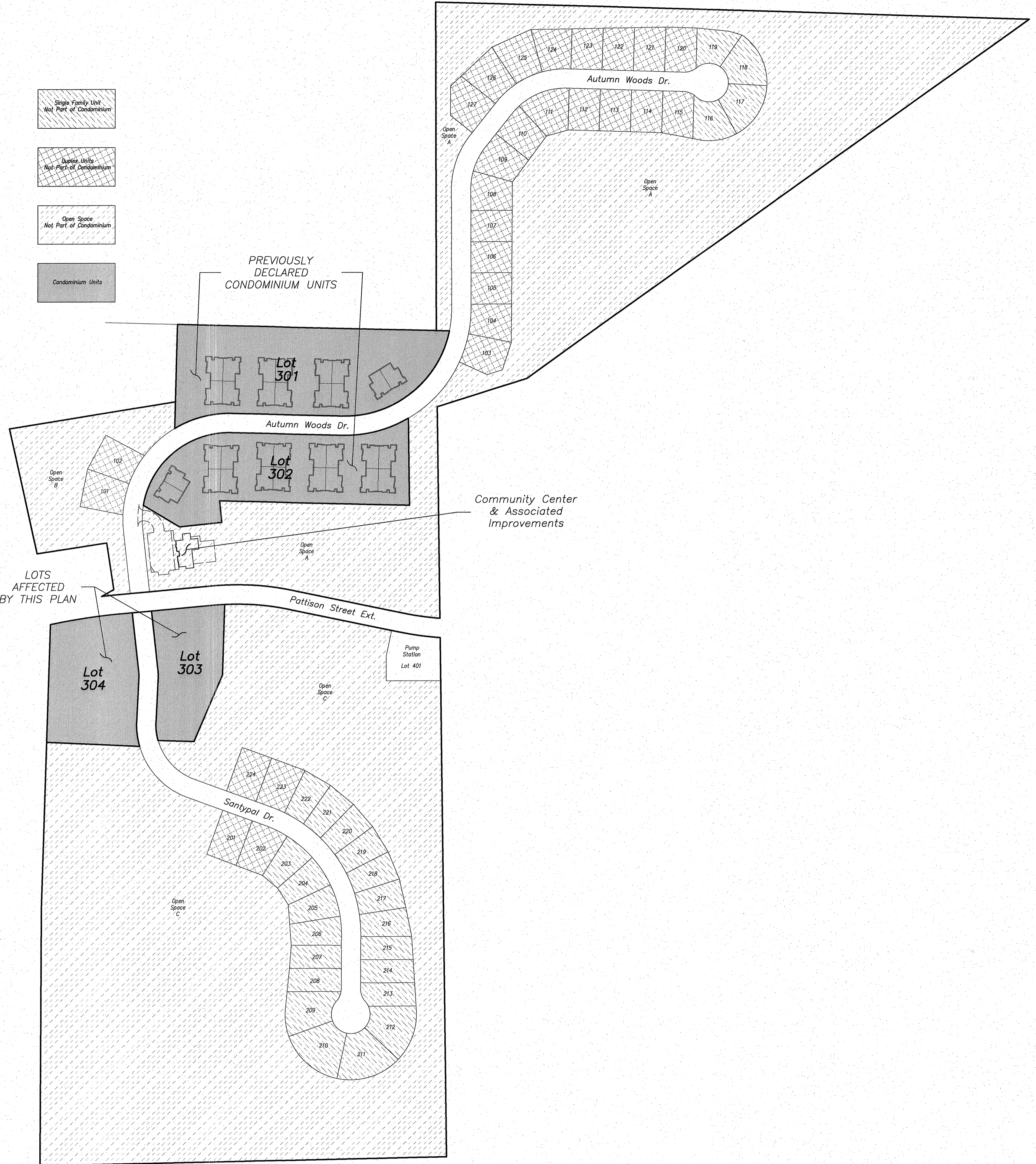
Plan Reference: Woodland Reserve Planned Residential Development
 Plan Book 411, Pages 43-46

Plan Amendments & Condominium Plans:

Woodland Reserve Amendment No. 1	Plan Book 413, Page 5
Woodland Reserve Amendment No. 2	Plan Book 415, Page 41
Woodland Reserve Amendment No. 3	Plan Book 417, Page 12
Woodland Reserve Condominium Plan No. 1	Plan Book 417, Page 13
Woodland Reserve Amendment No. 4	Plan Book 418, Page 44
Woodland Reserve Amendment No. 5	Plan Book 422, Page 13
Woodland Reserve Condominium Plan No. 2	Plan Book 424, Page 26
Woodland Reserve Amendment No. 6	Plan Book 427, Page 33
Woodland Reserve Condominium Plan No. 3	Plan Book 430, Page 37
Woodland Reserve Amendment No. 7	Plan Book 433, Page 6

Condo Area Tabulation	Lot 301		Lot 302		Lot 303		Lot 304	
	Sq. ft.	Acres	Sq. ft.	Acres	Sq. ft.	Acres	Sq. ft.	Acres
Original Tract:	146,262.32	3.358	125,032.90	2.87	53,899.08	1.237	75,100.64	1.724
Condo Plan No. 1	46,378.86	1.065	73,134.24	1.679	-	-	-	-
Condo Plan No. 2	30,779.37	0.707	51,898.66	1.191	-	-	-	-
Condo Plan No. 3	69,104.09	1.586	-	-	-	-	-	-
Condo Plan No. 4	-	-	-	-	35,432.00	0.813	75,100.64	1.724
Area remaining for Development (Convertible/Withdrawable Real Estate)	0.00	0.000	0.00	0.000	18,467.08	0.424	0.00	0.00

PLAN BOOK	PAGE
436	23



Prepared for:
 Woodland Reserve, LP
 361 Mars-Valencia Rd.
 Mars, PA 16046
 724-609-5261

Drawing Number 1009-2528578
 Drawing Scale As Noted
 Date December 11, 2025
 Drawn By
 Revisions
 12/12/25-Per Owner Comments

Sheet 1

Woodland Reserve Condominium Plan 4

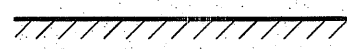
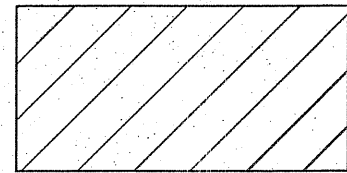
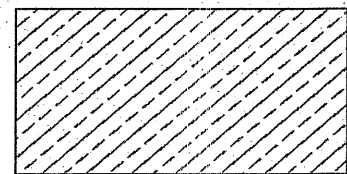


Affecting Lots 303 & 304 of the Woodland Reserve Planned Residential Development As recorded in Plan Book 411, Pages 43-46 Jackson Township, Butler County, Pennsylvania

Sperdute Land Surveying
 A Division of Sheffler & Company

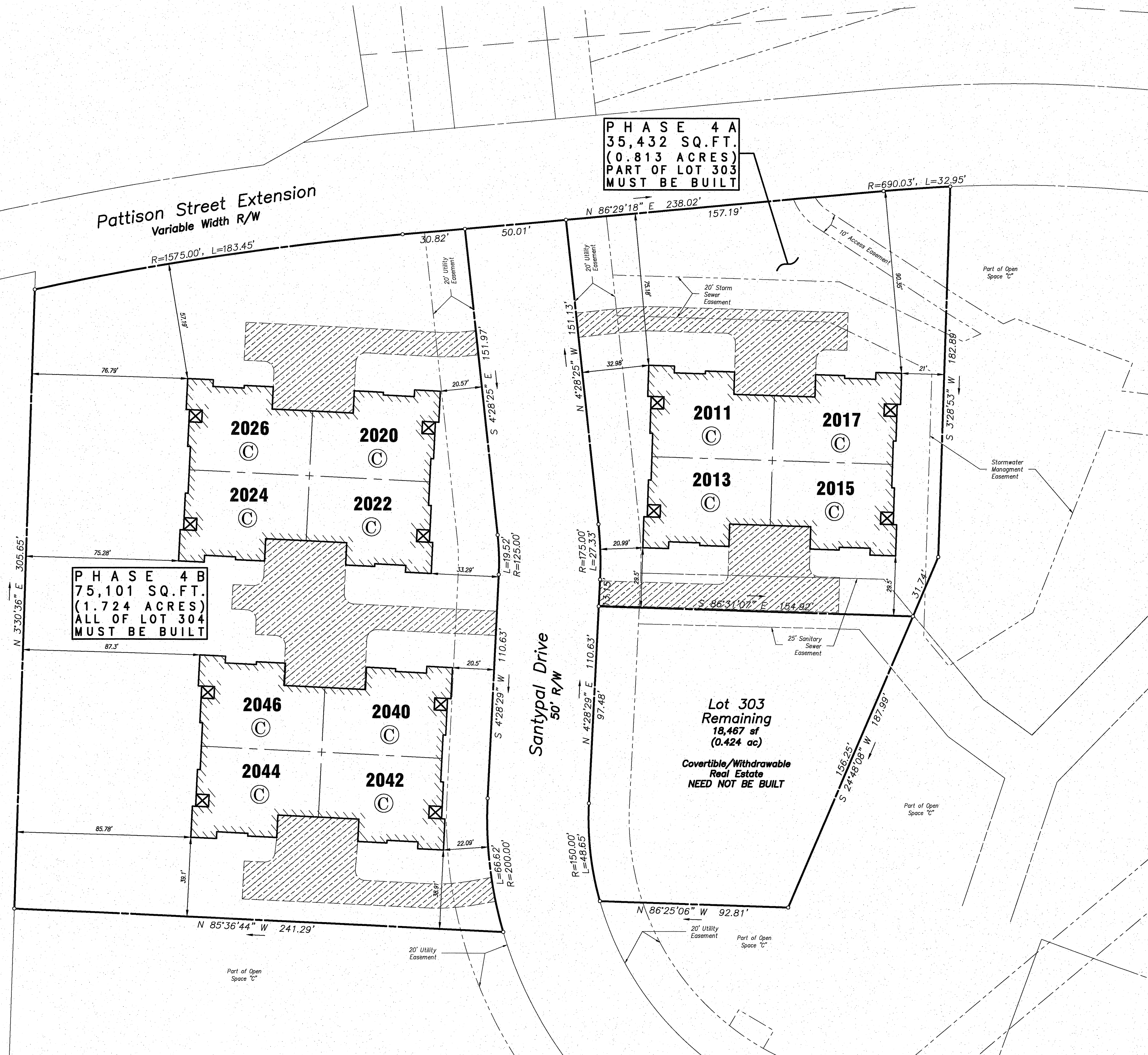
441 Mars-Valencia Rd, Suite 3C
 Valencia, PA 16059

108 Deer Lane Hammony, PA 16037
 1712 Mount Nebo Road Sewickley, PA 15143

724-452-4362 Info@SperduteSurveying.com
 James A. Spurdute, RS # 24457-E

-  LIMIT OF ENCLOSED UNIT AREA
-  PREVIOUSLY DECLARED PROPERTY
-  LIMITED COMMON ELEMENTS (DRIVEWAYS)
-  CANTERBURY UNIT
-  ABBEY UNIT
- 2###** UNIT NUMBER

n/n Georgianna Wolf Tax Parcel 189-4620-27-0000



PLAN BOOK	PAGE
436	24

Prepared for:
Woodland Reserve, LP
 361 Mars-Valencia Rd.
 Mars, PA 16046
 724-609-5261

**Woodland Reserve
 Condominium Plan 4**

Affecting Lots 303 & 304 of the Woodland Reserve Planned Residential Development As recorded in Plan Book 411, Pages 43-46
 Jackson Township, Butler County, Pennsylvania

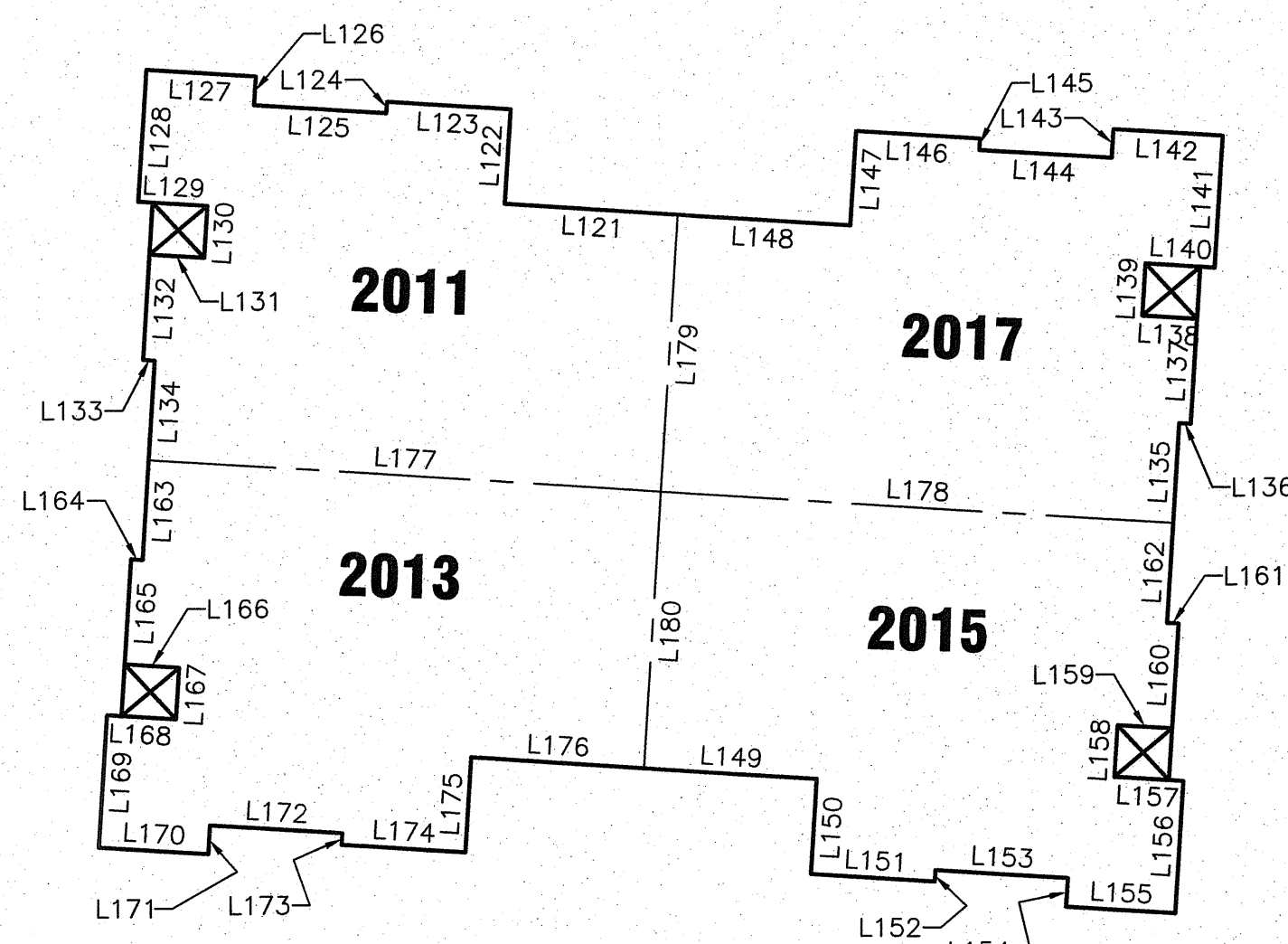
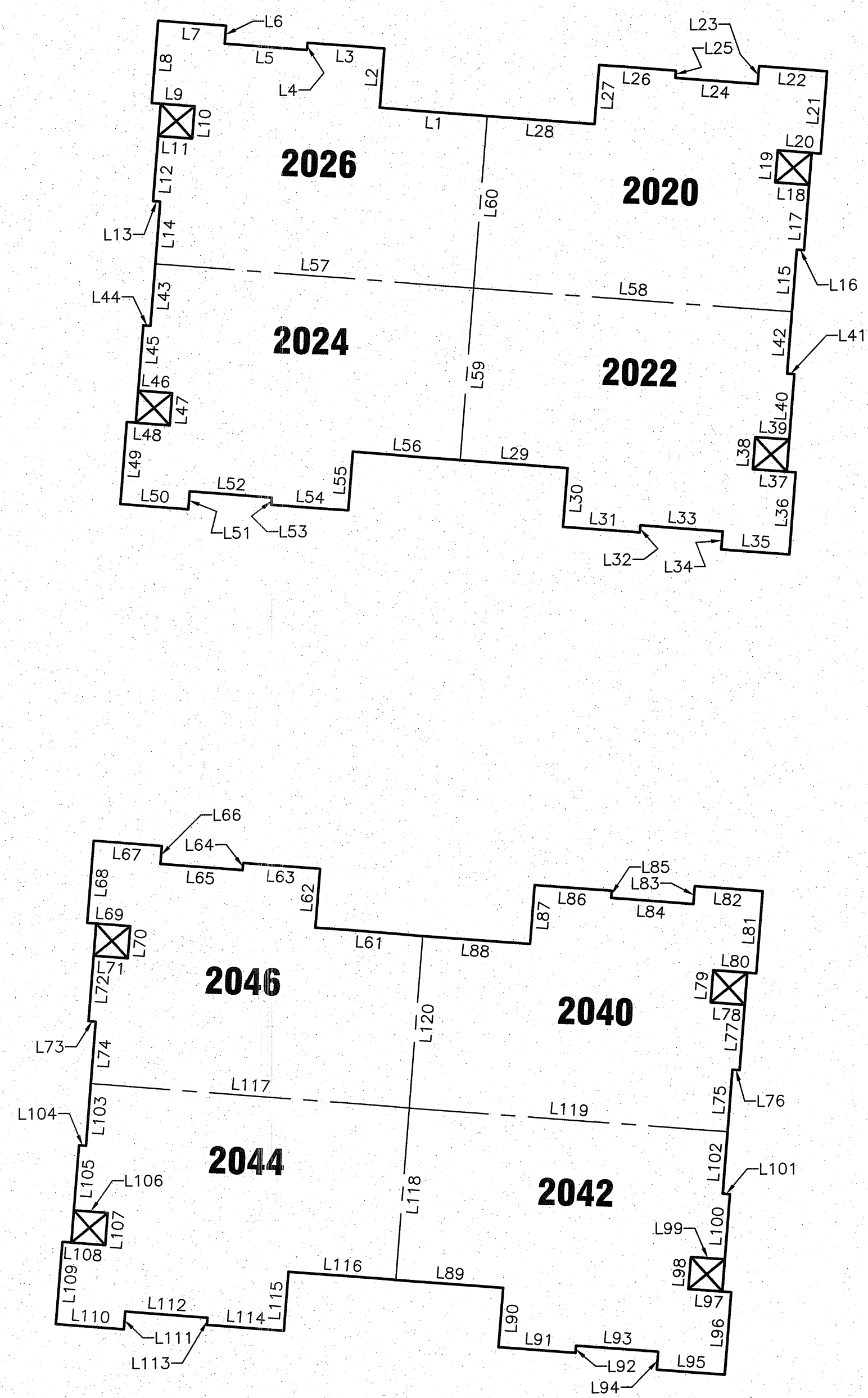
Sperdute Land Surveying
 A Division of Sheffler & Company

441 Mars-Valencia Rd. Suite 3C
 Valencia, PA 16059

108 Deer Lane 1712 Mount Nebo Road
 Harmony, PA 16037 Sewickley, PA 15143

724-452-4362 info@sperdutesurveying.com
 James A. Sperdute, RS # 24457-E

Drawing Number	1009-2528578
Drawing Scale	As Noted
Date	December 11, 2025
Drawn By	
Revisions	12/12/25-Per Owner Comments
Sheet 2	

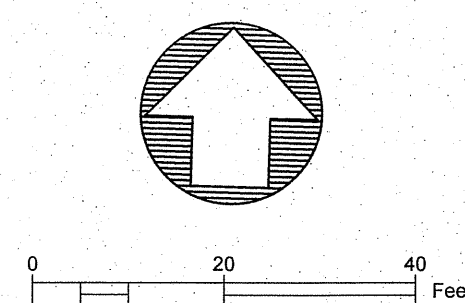


Line Table		
Line #	Length	Direction
L1	20.00'	N85° 31' 31"W
L2	11.00'	N04° 28' 29"E
L3	14.33'	N85° 31' 31"W
L4	1.33'	S04° 28' 29"W
L5	15.33'	N85° 31' 31"W
L6	3.33'	N04° 28' 29"E
L7	12.67'	N85° 31' 31"W
L8	15.33'	S04° 28' 29"W
L9	8.00'	S85° 31' 31"E
L10	6.00'	S04° 28' 29"W
L11	6.33'	N85° 31' 31"W
L12	12.17'	S04° 28' 29"W
L13	1.33'	S85° 31' 31"E
L14	11.56'	S04° 28' 29"W
L15	11.56'	N04° 28' 29"E
L16	1.33'	S85° 31' 31"E
L17	12.17'	N04° 28' 29"E
L18	6.33'	N85° 31' 31"W
L19	6.00'	N04° 28' 29"E
L20	8.00'	S85° 31' 31"E
L21	15.33'	N04° 28' 29"E
L22	12.67'	N85° 31' 31"W
L23	3.33'	S04° 28' 29"W
L24	15.33'	N85° 31' 31"W
L25	1.33'	N04° 28' 29"E
L26	14.33'	N85° 31' 31"W
L27	11.00'	S04° 28' 29"W
L28	20.00'	N85° 31' 31"W
L29	20.00'	S85° 31' 31"E
L30	11.00'	S04° 28' 29"W
L31	14.33'	S85° 31' 31"E
L32	1.33'	N04° 28' 29"E
L33	15.33'	S85° 31' 31"E
L34	3.33'	S04° 28' 29"W
L35	12.67'	S85° 31' 31"E
L36	15.33'	N04° 28' 29"E
L37	8.00'	N85° 31' 31"W
L38	6.00'	N04° 28' 29"E
L39	6.33'	S85° 31' 31"E
L40	12.17'	N04° 28' 29"E
L41	1.33'	N85° 31' 31"W
L42	11.56'	N04° 28' 29"E
L43	11.56'	S04° 28' 29"W
L44	1.33'	N85° 31' 31"W
L45	12.17'	S04° 28' 29"W
L46	6.33'	S85° 31' 31"E
L47	6.00'	S04° 28' 29"W
L48	8.00'	N85° 31' 31"W
L49	15.33'	S04° 28' 29"W
L50	12.67'	S85° 31' 31"E
L51	3.33'	N04° 28' 29"E
L52	15.33'	S85° 31' 31"E

Line Table		
Line #	Length	Direction
L53	1.33'	S04° 28' 29"W
L54	14.33'	S85° 31' 31"E
L55	11.00'	N04° 28' 29"E
L56	20.00'	S85° 31' 31"E
L57	59.33'	S85° 31' 31"E
L58	59.33'	S85° 31' 31"E
L59	32.00'	S04° 28' 29"W
L60	32.00'	S04° 28' 29"W
L61	20.00'	N85° 31' 31"W
L62	11.00'	N04° 28' 29"E
L63	14.33'	N85° 31' 31"W
L64	1.33'	S04° 28' 29"W
L65	15.33'	N85° 31' 31"W
L66	3.33'	N04° 28' 29"E
L67	12.67'	N85° 31' 31"W
L68	15.33'	S04° 28' 29"W
L69	8.00'	S85° 31' 31"E
L70	6.00'	S04° 28' 29"W
L71	6.33'	N85° 31' 31"W
L72	12.17'	S04° 28' 29"W
L73	1.33'	S85° 31' 31"E
L74	11.56'	S04° 28' 29"W
L75	11.56'	N04° 28' 29"E
L76	1.33'	S85° 31' 31"E
L77	12.17'	N04° 28' 29"E
L78	6.33'	N85° 31' 31"W
L79	6.00'	N04° 28' 29"E
L80	8.00'	S85° 31' 31"E
L81	15.33'	N04° 28' 29"E
L82	12.67'	N85° 31' 31"W
L83	3.33'	S04° 28' 29"W
L84	15.33'	N85° 31' 31"W
L85	1.33'	N04° 28' 29"E
L86	14.33'	N85° 31' 31"W
L87	11.00'	S04° 28' 29"W
L88	20.00'	N85° 31' 31"W
L89	20.00'	S85° 31' 31"E
L90	11.00'	S04° 28' 29"W
L91	14.33'	S85° 31' 31"E
L92	1.33'	N04° 28' 29"E
L93	15.33'	S85° 31' 31"E
L94	3.33'	S04° 28' 29"W
L95	12.67'	S85° 31' 31"E
L96	15.33'	N04° 28' 29"E
L97	8.00'	N85° 31' 31"W
L98	6.00'	N04° 28' 29"E
L99	6.33'	S85° 31' 31"E
L100	12.17'	N04° 28' 29"E
L101	1.33'	N85° 31' 31"W
L102	11.56'	N04° 28' 29"E
L103	11.56'	S04° 28' 29"W
L104	1.33'	N85° 31' 31"W

Line Table		
Line #	Length	Direction
L105	12.17'	S04° 28' 29"W
L106	6.33'	S85° 31' 31"E
L107	6.00'	S04° 28' 29"W
L108	8.00'	N85° 31' 31"W
L109	15.33'	S04° 28' 29"W
L110	12.67'	S85° 31' 31"E
L111	3.33'	N04° 28' 29"E
L112	15.33'	S85° 31' 31"E
L113	1.33'	S04° 28' 29"W
L114	14.33'	S85° 31' 31"E
L115	11.00'	N04° 28' 29"E
L116	20.00'	S85° 31' 31"E
L117	59.33'	S85° 31' 31"E
L118	32.00'	S04° 28' 29"W
L119	59.33'	S85° 31' 31"E
L120	32.00'	S04° 28' 29"W
L121	20.00'	N86° 31' 07"W
L122	11.00'	N03° 28' 53"E
L123	14.33'	N86° 31' 07"W
L124	1.33'	S03° 28' 53"W
L125	15.33'	N86° 31' 07"W
L126	3.33'	N03° 28' 53"E
L127	12.67'	N86° 31' 07"W
L128	15.33'	S03° 28' 53"W
L129	8.00'	S86° 31' 07"E
L130	6.00'	S03° 28' 53"W
L131	6.33'	N86° 31' 07"W
L132	12.17'	S03° 28' 53"W
L133	1.33'	S86° 31' 07"E
L134	11.56'	S03° 28' 53"W
L135	11.56'	N03° 28' 53"E
L136	1.33'	S86° 31' 07"E
L137	12.17'	N03° 28' 53"E
L138	6.33'	N86° 31' 07"W
L139	6.00'	N03° 28' 53"E
L140	8.00'	S86° 31' 07"E
L141	15.33'	N03° 28' 53"E
L142	12.67'	N86° 31' 07"W
L143	3.33'	S03° 28' 53"W
L144	15.33'	N86° 31' 07"W
L145	1.33'	N03° 28' 53"E
L146	14.33'	N86° 31' 07"W
L147	11.00'	S03° 28' 53"W
L148	20.00'	N86° 31' 07"W
L149	20.00'	S86° 31' 07"E
L150	11.00'	S03° 28' 53"W
L151	14.33'	S86° 31' 07"E
L152	1.33'	N03° 28' 53"E
L153	15.33'	S86° 31' 07"E
L154	3.33'	S03° 28' 53"W
L155	12.67'	S86° 31' 07"E
L156	15.33'	N03° 28' 53"E

Line Table		
Line #	Length	Direction
L157	8.00'	N86° 31' 07"W
L158	6.00'	N03° 28' 53"E
L159	6.33'	S86° 31' 07"E
L160	12.17'	N03° 28' 53"E
L161	1.33'	N86° 31' 07"W
L162	11.56'	N86° 31' 07"W
L163	11.56'	S03° 28' 53"W
L164	1.33'	N86° 31' 07"W
L165	12.17'	S03° 28' 53"W
L166	6.33'	S86° 31' 07"E
L167	6.00'	S03° 28' 53"W
L168	8.00'	N86° 31' 07"W
L169	15.33'	S03° 28' 53"W
L170	12.67'	S86° 31' 07"E
L171	3.33'	N03° 28' 53"E
L172	15.33'	S86° 31' 07"E
L173	1.33'	S03° 28' 53"W
L174	14.33'	S86° 31' 07"E
L175	11.00'	N03° 28' 53"E
L176	20.00'	S86° 31' 07"E
L177	59.33'	S86° 31' 07"E
L178	59.33'	S86° 31' 07"E
L179	32.06'	S03° 28' 53"W
L180	32.06'	S03° 28' 53"W



Prepared for:
 Woodland Reserve, LP
 361 Mars-Valencia Rd.
 Mars, PA 16046
 724-609-5261

Drawing Number 1009-2528578
 Drawing Scale As Noted
 Date December 11, 2025
 Drawn By
 Revisions
 12/12/25-Per Owner Comments

Sheet 3

Woodland Reserve Condominium Plan 4

Affecting Lots 303 & 304 of the Woodland Reserve Planned Residential Development As recorded in Plan Book 411, Pages 43-46
 Jackson Township, Butler County, Pennsylvania

Sperdute Land Surveying
 A Division of Sheffer & Company

441 Mars-Valencia Rd, Suite 3C
 Valencia, PA 16059

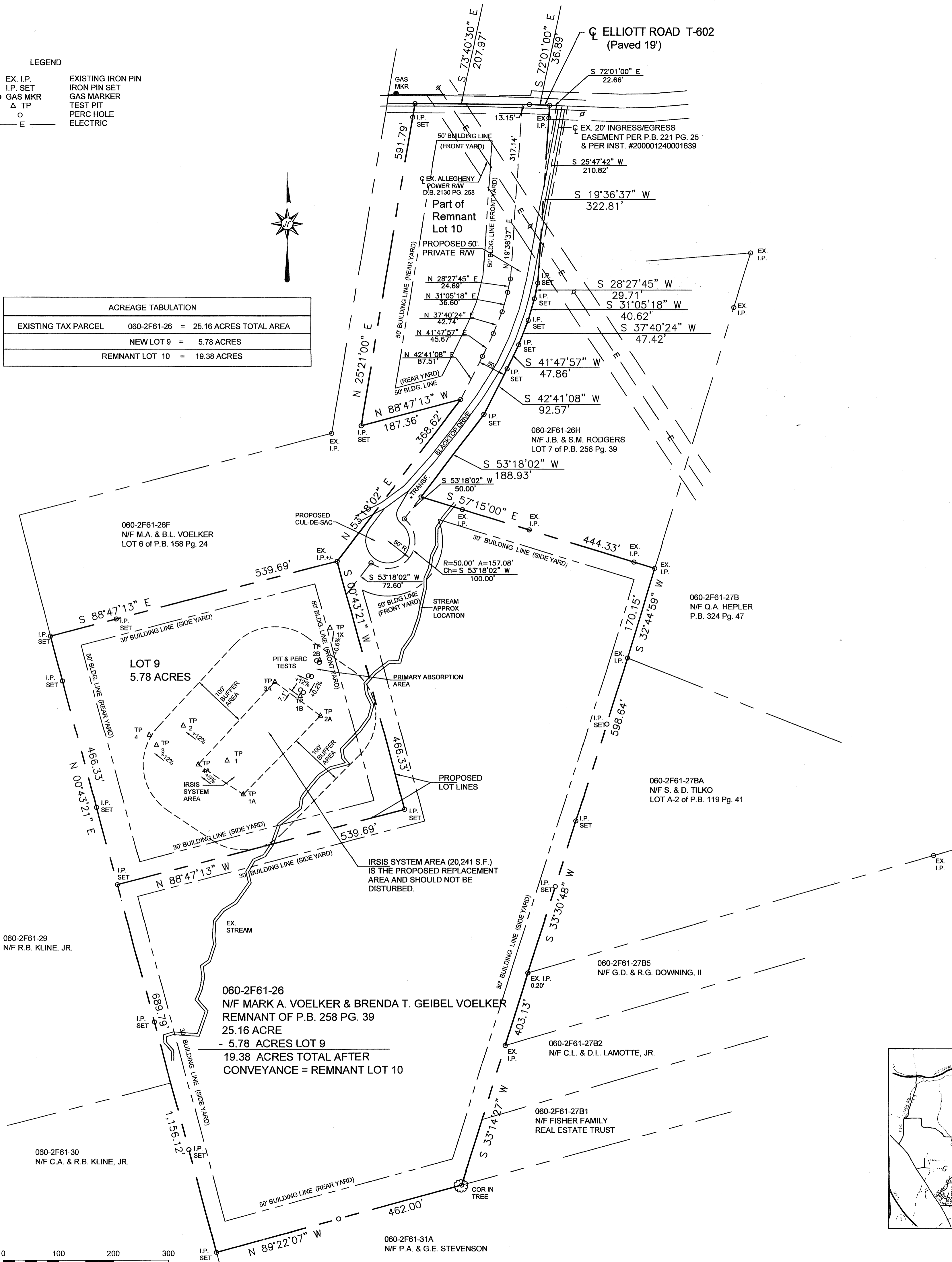
108 Deer Lane 1712 Mount Nebo Road
 Harmony, PA 16037 Sewickley, PA 15143

724-452-4362 Info@SperduteSurveying.com
 James A. Sperdute, RS # 24457-E

LEGEND

EX. I.P. EXISTING IRON PIN
 I.P. SET IRON PIN SET
 GAS MKR GAS MARKER
 TP TEST PIT
 PERC HOLE PERC HOLE
 E ELECTRIC

ACREAGE TABULATION	
EXISTING TAX PARCEL	060-2F61-26 = 25.16 ACRES TOTAL AREA
NEW LOT 9	= 5.78 ACRES
REMNANT LOT 10	= 19.38 ACRES



NOTES:

SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENT OF RECORD.

ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREA OF MINIMAL FLOOD HAZARD DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

ZONED: R1A - LOW DENSITY RESIDENTIAL W/ SURFACE MINING OVERLAY DISTRICT

BUILDING SETBACK REQUIREMENTS:

50' FRONT YARD SETBACK
 30' SIDE YARD SETBACK
 50' REAR YARD SETBACK

REF: PLAN OF SUBDIVISION FOR ROBERT M. & GERMAINE VOELKER AND JAMES B. & SUSAN M. RODGERS BY LAND SURVEYORS, INC., 09/08/02, #02-033, P.B. 258 PG. 39.

REF: PLAN OF SUBDIVISION FOR ROBERT M. & GERMAINE VOELKER AND JAMES B. & SUSAN M. RODGERS BY LAND SURVEYORS, INC., 03/03/99, #99-025, P.B. 221 PG. 25.

REF: PLAN OF SUBDIVISION FOR ROBERT M. & GERMAINE VOELKER BY LAND SURVEYORS, INC., 08/12/92, #92-273, P.B. 158 PG. 24.

PROPERTY OWNERS: MARK & BRENDA VOELKER
 5270 ELLIOTT ROAD
 BUTLER, PA 16001

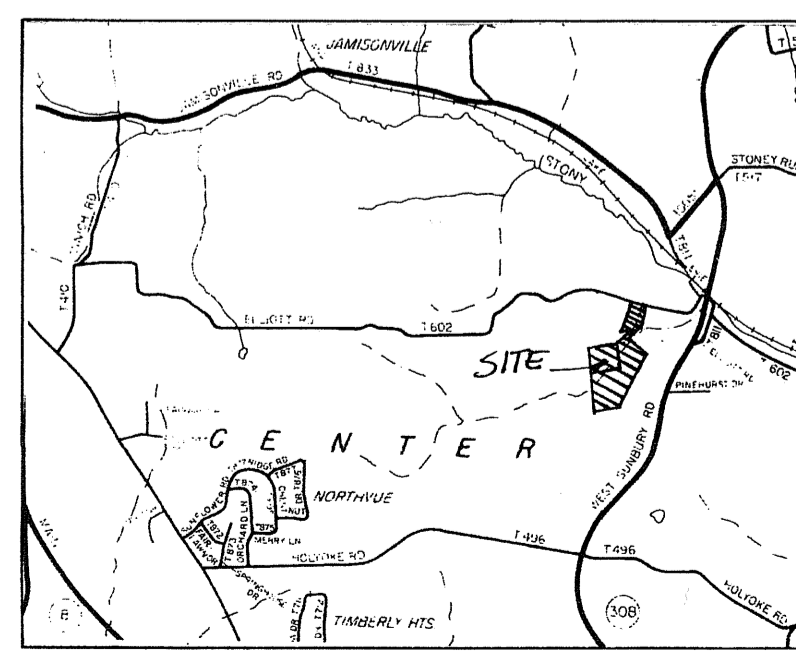
PROPOSED WATER WELL TO SERVE THIS LOT IS TO BE LOCATED OUTSIDE THE 100' ISOLATION DISTANCE FROM THE SEPTIC SYSTEM TO BE BUILT.

ALL CONVEYANCES UNDER THIS PLAN ARE SUBJECT TO THE GRANTEES, THEIR HEIRS, SUCCESSORS AND ASSIGNS SHARING EQUALLY IN THE COSTS AND EXPENSES OF MAINTAINING ANY AND ALL EASEMENTS IN GOOD REPAIR. THE USE BY THE GRANTEES, THEIR HEIRS, SUCCESSORS AND ASSIGNS OF SAID EASEMENTS SHALL BE LIMITED TO INGRESS, EGRESS AND REGRESS AND NO USE SHALL BE EXPANDED OR MODIFIED WITHOUT PRIOR WRITTEN CONSENT OF ANY AND ALL SIGNATORY LANDOWNERS.

PROPOSED WATER WELL AND OCCUPIED BUILDINGS SHALL BE LOCATED OUTSIDE THE 100' ISOLATION DISTANCE FROM THE IRIS REPLACEMENT AREA TO BE BUILT.

STORMWATER MANAGEMENT FOR THE CUL-DE-SAC AND SINGLE FAMILY DWELLING AND DRIVEWAY ON LOT 9 WILL BE PROVIDED AS PART OF THE BUILDING PERMIT PROCESS BY AN UNDERGROUND STORAGE PIT. COAL AND MINERAL RIGHTS WILL NOT BE CONVEYED BY THIS SUBDIVISION.

AS OF THE DATE OF THIS DEED/PLAT/DEED NOTICE RECORDING, THE PROPERTY/SUBDIVISION DESCRIBED HEREON IS AND SHALL BE DEDICATED FOR THE EXPRESS PURPOSE OF SILVICULTURAL USE. THIS WAIVER APPLIES TO LOT 10 OF THE PLAN AS SHOWN HERON. NO PORTION OF THIS PROPERTY/SUBDIVISION HAS BEEN APPROVED BY CENTER TOWNSHIP OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES. NO SEWAGE PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE COLLECTION, CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM (EXCEPT FOR REPAIRS TO EXISTING SYSTEMS) UNLESS THE MUNICIPALITY AND THE DEP HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR THE PROPERTY/SUBDIVISION HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT (35 P.S. SECTIONS 750.1 ET SEQ.) AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR SUBDIVIDER OF ANY PORTION OF THIS REMNANT LOT 10 SHOULD CONTACT APPROPRIATE OFFICIALS OF CENTER TOWNSHIP, WHICH IS CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO DETERMINE WHAT SEWAGE FACILITIES PLANNING IS REQUIRED AND THE PROCEDURE AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR APPROVALS.



VICINITY MAP Scale: 1" = 2000'

INST: 202601120000542
 Page 1 of 545.00
 1/22/2026 8:12 PM
 Butler County Recorder PA

KNOW ALL MEN BY THESE PRESENTS, that we, Mark A. Voelker and Brenda T. Geibel Voelker, of the Township of Center, County of Butler, Commonwealth of Pennsylvania, for ourselves, heirs, executors, administrators and assigns, do hereby adopt this plan as our Plan of Subdivision of our property, situate in the Township of Center, Butler County, Pennsylvania, and for diverse advantages accruing to us, do hereby dedicate forever, for public use for highway, drainage, sewage and utility purposes, all drives, roads, lands, rights-of-way, easements, ways and other public ways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings and in consideration of the approval of said plan and any future acceptance of said public highways, rights-of-way and easements by said County of Butler or said Township of Center, we, Mark A. Voelker and Brenda T. Geibel Voelker, hereby agree to and by these presents do release and forever discharge said County of Butler, or said Township of Center, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and physical grading thereof to any grades that may be established. This dedication and release shall be binding upon Mark A. Voelker upon Mark A. Voelker and Brenda T. Geibel Voelker, and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we, hereunto set our hands and seals this 8th day of January, A.D. 2026

ATTEST:
 Notary Public
 Kathleen A. Raszely, Notary Public
 Butler County
 My commission expires August 9, 2028
 Commission number 1173015
 Member, Pennsylvania Association of Notaries

Mark A. Voelker
 Brenda T. Geibel Voelker

The foregoing adoption and dedication is made by Mark A. Voelker and Brenda T. Geibel Voelker, with the full understanding and agreement that the approval of the Board of Supervisors of the Township of Center, if hereto attached, will become null and void unless this plan is recorded in the Recorder of Deeds Office of Butler County Courthouse, Butler, Pennsylvania within ninety (90) days of said approval.

Mark A. Voelker
 Brenda T. Geibel Voelker

COMMONWEALTH OF PENNSYLVANIA)SS:
 COUNTY OF BUTLER)

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Mark A. Voelker and Brenda T. Geibel Voelker who acknowledged the foregoing release and dedication of plan of subdivision to be their act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this 8th day of January, 2026

My Commission expires the 9th day of August, 2028

SEAL: Cheryl A. Hughes
 Notary Public
 Commonwealth of Pennsylvania - Notary Seal
 Kathleen A. Raszely, Notary Public
 Butler County
 My commission expires August 9, 2028
 Commission number 1173015
 Member, Pennsylvania Association of Notaries

I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the lots, lands, streets, alleys, rights-of-way and highways as surveyed and plotted by me for the Owners, developers or agents.

October 31, 2025
 Cheryl A. Hughes
 REGISTERED PROFESSIONAL LAND SURVEYOR
 SU-32490-E

This plat of subdivision has been approved by the Planning Commission of the Township of Center, Butler County, Pennsylvania on this 22nd day of October, 2025

Chairman: [Signature]
 Secretary: [Signature]

The Board of Supervisors of the Township of Center, Butler County, Pennsylvania, hereby gives public notice that it is approving this plan of subdivision for recording purposes only. The approval of this subdivision plat by the Township of Center does not constitute an acceptance of the roads, streets, alleys, storm water and sanitary sewage drainage facilities, easements or rights-of-way, water mains or any other services or improvements shown on this plan nor an assumption of maintenance responsibility, nor will the same be accepted or maintained until construction in accordance with all Township Specification and requirements and officially accepted by action of the Board of Supervisors.

This plat of subdivision approved by resolution of the Board of Supervisors of the Township of Center, Butler County, Pennsylvania on this 15th day of December, 2025

Chairman: [Signature]
 Secretary: [Signature]

Reviewed with comments by the Butler County Planning Commission. Letter to Center Township Board of Supervisors dated this 17th day of SEPTEMBER, 2025

Chairman: Jesse Hines
 Secretary: Ron Hershaw

COMMONWEALTH OF PENNSYLVANIA)SS:
 COUNTY OF BUTLER)

Recorded in the office for the recording of deeds, plats, etc., in said County, in Plan Book Volume 436 page 26

Given under my hand and seal this 12th day of JANUARY, 2026

RECORDER
MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2028

VOELKER PLAN

FINAL PLAN OF SUBDIVISION
 FOR: MARK A. VOELKER & BRENDA T. GEIBEL VOELKER
 Situate In
 CENTER TWP., BUTLER CO., PENNSYLVANIA

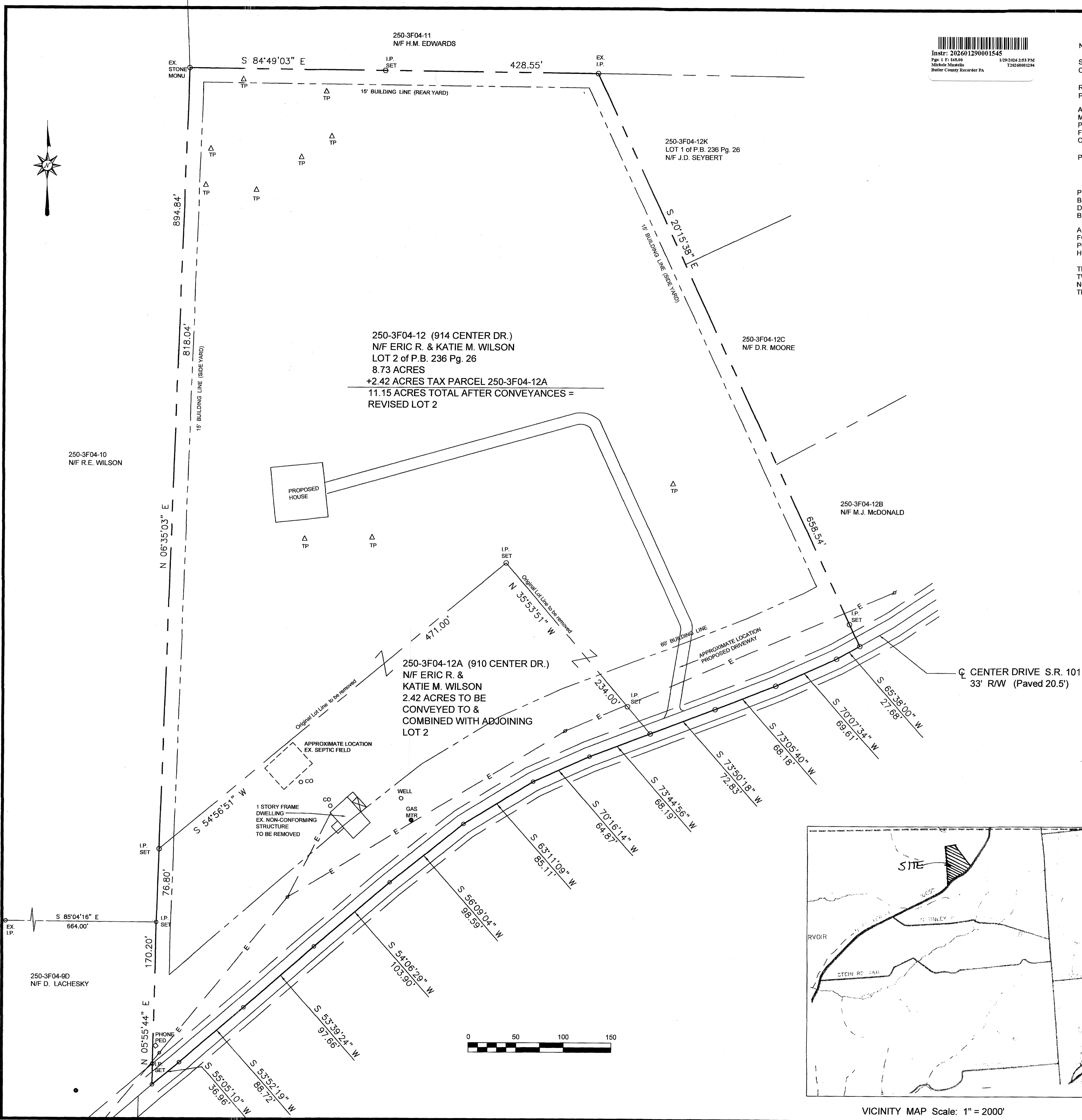
Drawn By	Scale	Drawing No.
Checked By	1" = 100'	M1844-001-25
Approved By	Date	Sheet No.
	SEPTEMBER 4, 2025	1 of 1
Flename:		

LSSE
 Civil Engineers and Surveyors
 523 North Main Street
 Butler, Pennsylvania 16001
 724-287-6865
 Email: chughes@lsse.com

Fike • LSI • LSSE • Rabell • Senate

PLAN BOOK PAGE
436 26

No.	Date	Description	By
1	10/20/25	ENGINEER'S REVIEW COMMENTS	BEC
2	10/31/25	ACREAGE TABULATION	BEC



Inst: 202601290001545
 Fig: 1 of 14-50
 Michele Mustello
 Butler County Recorder Pa.
 1/29/2024 2:53 PM
 T2026001294

NOTES:
 SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.
 REF: WILSON SUBDIVISION A BY W.J. MCGARVEY, P.E., DWG. #4952-1, P.B. 236 PG. 26.
 ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREA OF MINIMAL FLOOD HAZARD DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
 PROPERTY OWNERS: ERIC & KATIE WILSON
 312 FREEPORT STREET
 SAXONBURG, PA 16056

PROPOSED WATER WELL FOR THIS LOT IS TO BE LOCATED OUTSIDE OF THE 100' ISOLATION DISTANCE FROM THE SEPTIC SYSTEM TO BE BUILT.
 A HIGHWAY OCCUPANCY PERMIT IS REQUIRED FOR ACCESS ONTO A STATE HIGHWAY PURSUANT TO SECTION 420 OF PA STATE HIGHWAY LAW.
 THE PURPOSE OF THIS PLAN IS TO COMBINE TWO ADJOINING TRACTS INTO ONE LOT. NO NEW BUILDING LOTS ARE CREATED BY THIS PLAN.

KNOW ALL MEN BY THESE PRESENTS, that we, Eric R. and Katie M. Wilson, of the Township of Oakland, of the County of Butler, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this plan as our Plan of Lots of our property, situate in Oakland Township, Butler County, Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Township of Oakland, we hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Oakland, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedications and release shall be binding upon Eric R. and Katie M. Wilson, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 27 day of Jan 20 26
 ATTEST:
 [Signature] NOTARY PUBLIC
 [Signature] ERIC R. WILSON
 [Signature] KATIE M. WILSON

COMMONWEALTH OF PENNSYLVANIA: COUNTY OF BUTLER
 Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Eric R. and Katie M. Wilson, and acknowledged the foregoing release and dedication and plan to be their act and deed and desired the same to be recorded as such.
 Sworn to and subscribed before me this day, 27 day of Jan 20 26
 My Commission expires the 24 day of Feb 20 26
 [Signature] NOTARY PUBLIC
 [Seal] Commonwealt of Pennsylvania - Notary Seal
 Jarah Roseberry, Notary Public
 Butler County
 My Commission Expires February 24, 2026
 Commission Number 1261872

I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan represents the lots, lands, streets and highways as surveyed and plotted by me for my owners or agents.
 December 3, 2025
 [Signature] Cheryl A. Hughes
 REG. NO. SU-32490-E
 [Seal] COMMONWEALTH OF PENNSYLVANIA REGISTERED PROFESSIONAL LAND SURVEYOR Cheryl A. Hughes SU-32490-E

The Board of Supervisors of the Township of Oakland hereby gives public notice that in approving this plan for recording purposes only, the Township of Oakland assumes no obligation, legal or otherwise, expressed or implied, either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

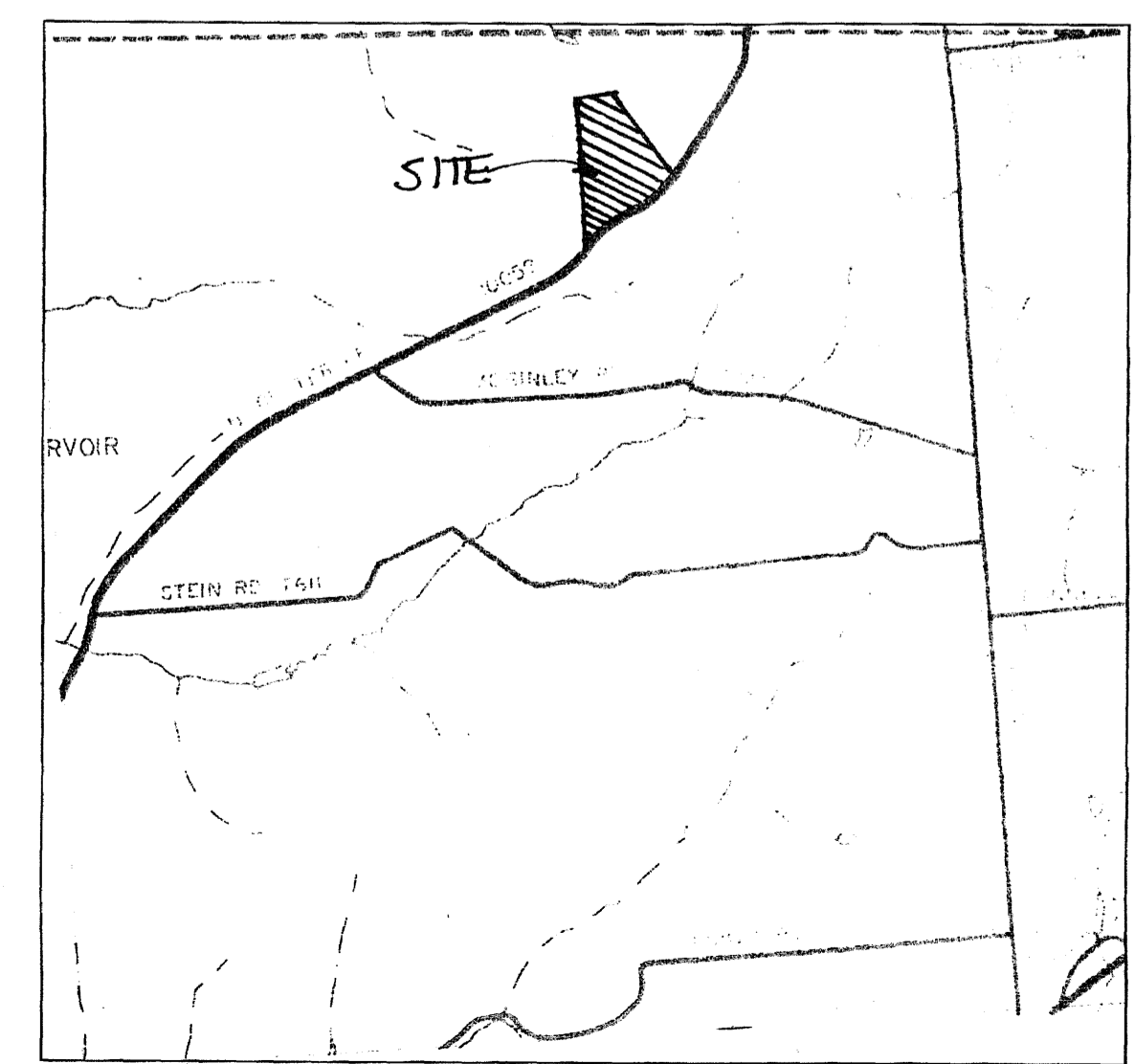
[Signature] SECRETARY
 [Signature] CHAIRMAN/PRESIDENT
 Approved by the Supervisors of the Township of Oakland this 5th day of January 20 26
 [Signature] SECRETARY
 [Signature] CHAIRMAN/PRESIDENT

Approved by the Oakland Township Planning Commission this 9th day of December 20 25
 [Signature] SECRETARY
 [Signature] CHAIRMAN/PRESIDENT

Reviewed by the Butler County Planning Commission this 19th day of NOVEMBER 20 25
 [Signature] SECRETARY
 [Signature] CHAIRMAN/PRESIDENT
 #25254

COMMONWEALTH OF PENNSYLVANIA: COUNTY OF BUTLER
 Recorded in the Recorder's Office for the recording of deeds, plans, etc. in said County in Plan Book Volume 436 page 27
 Given under my hand and seal this 29th day of JANUARY 20 26
 [Signature] MICHELE M. MUSTELLO
 RECORDER

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2028



PLAN BOOK	PAGE
436	27

TAX PARCEL #250-3F04-12 & 12A
 INST. #2025070010376
 INST. #2025070010375

No.	Date	Description	By
1	11/20/25	TAX PARCEL # CORRECTION	CAH
2	12/3/25	ENGINEER'S REVIEW COMMENTS	BEC

WILSON PLAN

LOT CONSOLIDATION
 FOR: ERIC R. & KATIE M. WILSON
 Situate in
 OAKLAND TWP., BUTLER CO., PENNSYLVANIA

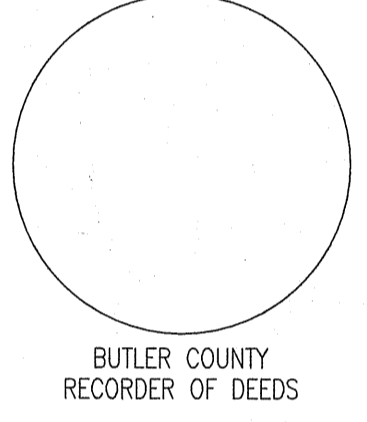
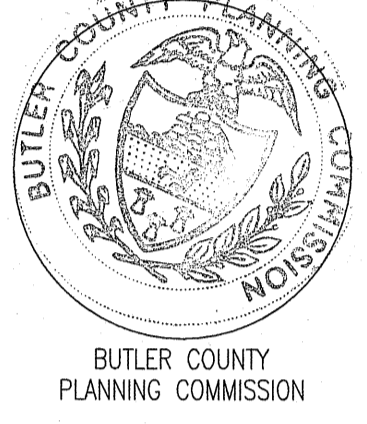
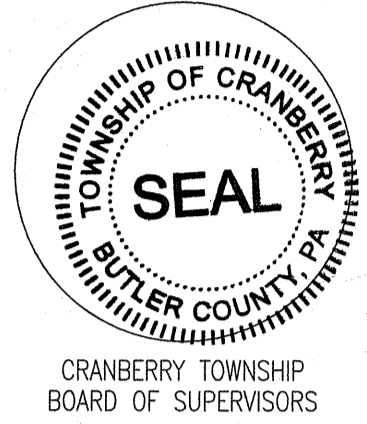
Drawn By: BEC
 Checked By: CAH
 Approved By: BEC

Scale: 1" = 50'
 Date: NOVEMBER 6, 2025

Drawing No. M2053-001-25
 Sheet No. 1 of 1
 Filename:

LSSE
 Civil Engineers and Surveyors
 523 North Main Street
 Butler, Pennsylvania 16001
 724-287-8865
 Email: chughes@lsse.com

Fike • LSI • LSSE • Rabell • Senate



ACKNOWLEDGMENT OF NOTARY PUBLIC
 Before me, the undersigned Notary Public in and for the Commonwealth of Pennsylvania and County of Butler, personally appeared the above named Amy Peterson, President of Park Place Cranberry Association, Inc. and acknowledged the foregoing adoption and dedication to be the act of the partnership.
 Witness my hand and notarial seal this 1 day of December, 2025
 My commission expires the 21 day of November, 2028
Jaelle J. Fayal
 (Notary Public)

SURVEYORS CERTIFICATION
 I certify that, to the best of my knowledge, the survey and plan shown hereon are correct and accurate to the standards required.
 11/26/2025
 Date
 Gary A. Sheffler, Jr., P.E.
 Registration number SU075518
TOWNSHIP BOARD OF SUPERVISORS
 Approved by the Board of Supervisors of the Township of Cranberry by Resolution No. 2025-11 on the 11/26 day of November, 2025
Bruce M. Steyer
 Secretary
 Chairman, Board of Supervisors

TOWNSHIP MANAGER
 I, Daniel D. Swartz, Township Manager for the Township of Cranberry, certify that the conditions for final approval outlined in the Resolution No. 2025-11 have been met in accordance with Sections 22-305 and 22-307 of the Township of Cranberry Code of Ordinances.
 Township Manager
TOWNSHIP ENGINEER
 I, Michael C. Malak, a registered professional engineer, the plan meets all the engineering and design requirements of the Township ordinances except as departures have been authorized by the Cranberry Township Board of Supervisors.
 Township Engineer
 Date: 11/30/25
 Registration number: PE-073224

BUTLER COUNTY PLANNING COMMISSION
 Reviewed by the Butler County Planning Commission on this 21st day of JANUARY, 2026.
Arnold Senow Secretary
Josee Hines Chairman #26007

PROOF OF RECORDING
 Recorded in the office of the Recorder of Deeds of the County of Butler, Commonwealth of Pennsylvania, in Plan Book Volume 436, Page(s) 28.
 Given under my hand and seal this 30th day of January, 2026.
MICHELE M. MUSTELLO
 Recorder of Deeds
 My Commission Expires Third Monday in January 2028

MUNICIPAL DECLARATIONS
 The Board of Supervisors of the Township of Cranberry, hereby declares that in approving this plan for final approval, the Township of Cranberry has not accepted dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.
 Chairman, Board of Supervisors
 Secretary

The Township of Cranberry agrees not to issue building permits until the "Planning Module for Land Development" has been approved in accordance with the regulations of the Pennsylvania Department of Environmental Protection.
 Date: 11/26/25
 Secretary: *D. J. O'Sullivan*

OWNERS ADOPTION AND DEDICATION
 The Park Place Cranberry Association, Inc., owner of the land shown on the Clubhouse Parking Expansion / New Pool hereby adopts this plan as its plan of lots and irrevocably dedicates all streets and other property identified for dedication on the plan to the public. This adoption and dedication shall be binding upon the partnership and upon its heirs, executors, and assigns.
 Park Place Cranberry Association, Inc.
 Amy Peterson (President)
 Witness: *Stacy Johnson*
 Date: 12/1/25

Inst: 202601300001637
 Page 1 of 54560
 Michele Mustello
 Butler County Recorder PA

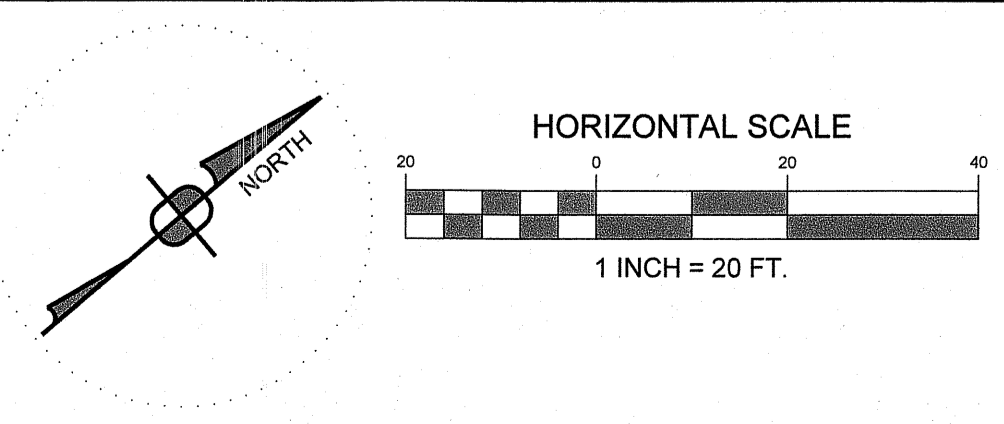
DRAWING LEGEND

	PROPOSED BOUNDARY LINE
	RIGHT-OF-WAYS
	ADJOINING PROPERTY LINES
	STREAMS/WATERCOURSES
	EXISTING CONTOURS (2' INTERVAL)
	PROPOSED CONTOURS (2' INTERVAL)
	LIMIT OF DISTURBANCE
	PROPOSED PARKING LOT LIGHTING
	PROPOSED STORM SEWER SYSTEM
	NEW ASPHALT
	CONCRETE PAVEMENT
	TOP OF CURB
	BOTTOM OF CURB

- SITE NOTES:**
- EXACT DIMENSIONS OF THE NEW POOL AND POOL DECK TO BE DETERMINED BY THE POOL CONTRACTOR. SEE THOSE PLANS FOR MORE EXACT INFORMATION.
 - SANITARY LATERAL LOCATION SHOWN IS APPROXIMATE. FINAL LOCATION TO BE DETERMINED IN THE FIELD BY CONTRACTOR
 - CONTRACTOR TO VERIFY NEW STORM SEWER ELEVATIONS PRIOR TO INSTALLATION.

PLAN BOOK PAGE
436 28

811 Know what's below. Call before you dig.
 POCs SER. #: ---



Date:	Revision Description:	By:	By: Professional Seal	Prepared By:
8/12/2025	REVISED LANDSCAPING PLAN	EMS		
10/3/2025	REVISED PER REVIEW COMMENTS	JRG		
10/29/2025	REVISED PARKING LOT LAYOUT	EMS		
10/30/2025	REVISED NEW UTILITIES PER POOL CONTRACTOR	EMS		
11/21/2025	REVISED PARKING LOT LAYOUT	EMS		

Sheffler & Company, Inc.
 ENGINEERING • SURVEYING
 1712 Mount Nebo Road
 Sewickley, PA 15143
 Office Phone: 412-219-4509
 Email: info@shefflerco.com

CLUBHOUSE PARKING EXPANSION / NEW POOL
 PREPARED FOR:
PARK PLACE CRANBERRY ASSOCIATION, INC.
 SITUATE IN:
CRANBERRY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

SITE PLAN FOR RECORDING

DRAWING SCALE:	1" = 20'	DESIGNED BY:	EMS	Sheet No.
DATE ISSUED:	11/18/25	REVIEWED BY:	GAS	
PROJECT JOB#:	3632	FIELD BOOK #:	3632	REC1
CADD#: 3632 - REC1 - SITEPLAN FOR RECORDING				

PARK PLACE CRANBERRY ASSOCIATION, INC.
 AMY PETERSON, PRESIDENT
 590 BUCKTAIL DRIVE
 CRANBERRY TOWNSHIP, PA 16068
 412-760-5597
 president@cranberryassociation.com

OWNER'S ADOPTION

FREEDOM ROAD ASSOCIATES, LLC, OWNER OF THE LAND SHOWN ON THE BRECKENRIDGE - PHASE 3 CCD FREEDOM B LANDEVELOPMENT PLAN, HEREBY ADOPT THIS PLAN AS MY PLAN OF LOTS AND IRREVOCABLY DEDICATE ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON MY HEIRS, EXECUTORS, AND ASSIGNS.

SIGNATURE OF WITNESS

SIGNATURE OF MEMBER

1-15-2026
DATE

ACKNOWLEDGMENT OF NOTARY PUBLIC

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF ALLEGHENY, PERSONALLY APPEARED MARK T HEINAUER FREEDOM ROAD ASSOCIATES, LLC, AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE HER ACT.

WITNESS MY HAND AND NOTARIAL SEAL THIS 15th DAY OF JANUARY, 2026.
MY COMMISSION EXPIRES THE 23rd DAY OF JUNE, 2029.

Commonwealth of Pennsylvania - Notary Seal
Noreen R. Fornassei, Notary Public
Allegheny County
My commission expires June 23, 2029
Commission number 1044211
Member, Pennsylvania Association of Notaries

NOTARY PUBLIC

CERTIFICATION OF TITLE AND CONCURRENCE OF MORTGAGEE

I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE BRECKENRIDGE - PHASE 3 CCD FREEDOM B LANDEVELOPMENT PLAN, IS IN THE NAME OF FREEDOM ROAD ASSOCIATES, LLC AND IS RECORDED IN INSTRUMENT NUMBERS 2021022005047, 202100222005048, 202304180005166, AND 202310100015103.

WITNESS

OWNER

MORTGAGEE OF THE PROPERTY CONTAINED IN THE BRECKENRIDGE - PHASE 3 SUBDIVISION PLAN CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

WITNESS

NAME, TITLE, AND MORTGAGEE

SURVEYOR'S CERTIFICATION

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

1-14-2026
DATE

NAME OF SURVEYOR
MARK B. SCHMIDT

REGISTRATION NUMBER
SU-036950-E

MUNICIPAL DECLARATIONS

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY, HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF CRANBERRY HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

SECRETARY

CHAIRMAN, BOARD OF SUPERVISORS

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY BY ORDINANCE/RESOLUTION NO. 2023-55 ON THE 14th DAY OF January, 2026.

SECRETARY

CHAIRMAN, BOARD OF SUPERVISORS

I, David A. Santos, TOWNSHIP MANAGER FOR THE TOWNSHIP OF CRANBERRY, CERTIFY THAT THE CONDITIONS FOR FINAL APPROVAL OUTLINED IN ORDINANCE/RESOLUTION NO. 2023-55 HAVE BEEN MET IN ACCORDANCE WITH SECTIONS 22-305 AND 22-307 OF THE TOWNSHIP OF CRANBERRY CODE OF ORDINANCES.

TOWNSHIP MANAGER

I, Nicole Cornick, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER FOR CRANBERRY TOWNSHIP, DO HEREBY CERTIFY THAT THIS LAND DEVELOPMENT PLAN MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP ORDINANCES EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE CRANBERRY TOWNSHIP BOARD OF SUPERVISORS.

SIGNATURE

1/19/26
DATE

REGISTRATION NUMBER
PE073220

COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 11th DAY OF JANUARY, 2026.

SECRETARY

CHAIRMAN, BUTLER COUNTY PLANNING COMMISSION # 22014

(SEAL)

PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 436 PAGE(S) 29-31.

GIVEN UNDER MY HAND AND SEAL THIS 30th DAY OF JANUARY, 2026.

(SEAL)

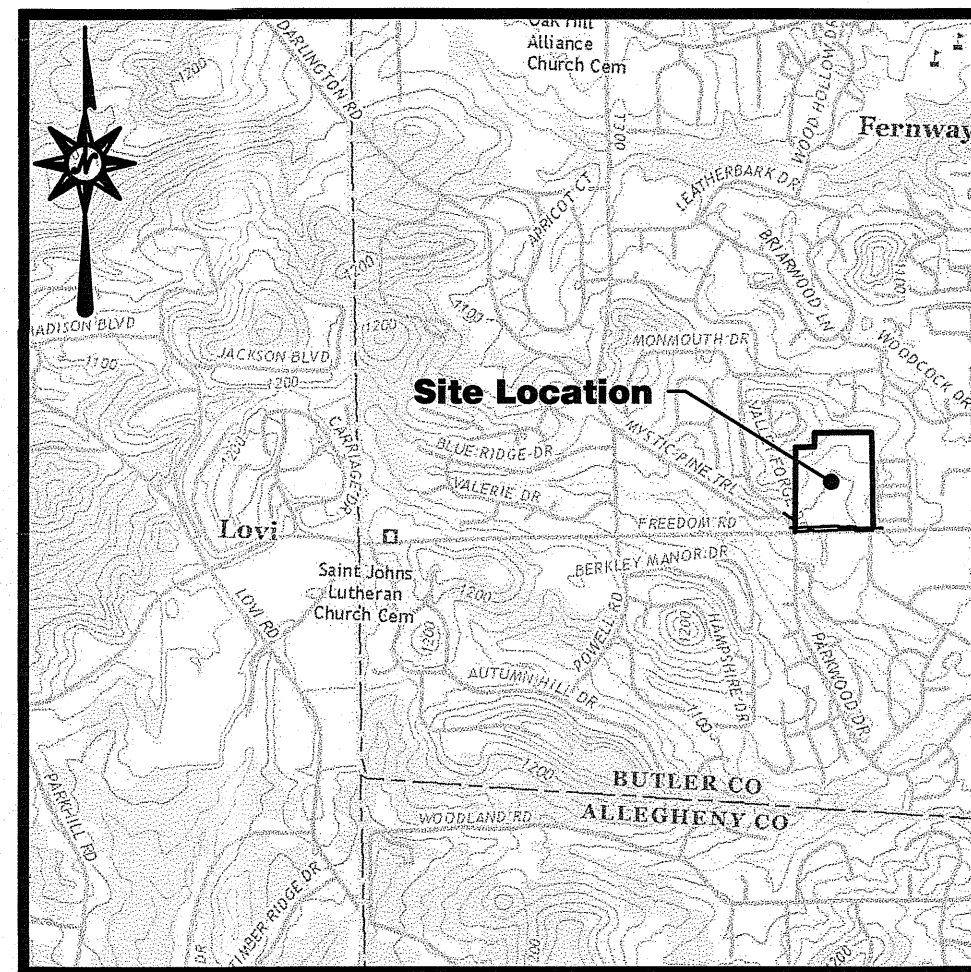
MICHELE M. MUSTELLO
RECORDER OF DEEDS

My Commission Expires First Monday In January 2028

LOT #	AREA (SQ. FT)	AREA (AC.)
4A	1,667	0.0382
4B	1,650	0.0378
4C	1,650	0.0378
4D	1,650	0.0378
4E	1,650	0.0378
4F	1,667	0.0382
7A	2,264	0.0519
7B	1,936	0.0444
7C	1,936	0.0444
7D	1,936	0.0444
7E	4,359	0.1000
8A	3,851	0.0884
8B	1,682	0.0386
9A	1,656	0.0380
9B	1,650	0.0378
9C	1,650	0.0378
9D	1,656	0.0380
10A	1,587	0.0364
10B	1,671	0.0383
10C	1,863	0.0427

LOT #	AREA (SQ. FT)	AREA (AC.)
11A	1,665	0.0382
11B	1,650	0.0378
11C	1,650	0.0378
11D	1,650	0.0378
11E	1,650	0.0378
11F	1,650	0.0378
11G	1,650	0.0378
11H	1,666	0.0382
FUTURE DEVELOPMENT PARCEL A	281,992	6.0145
FUTURE DEVELOPMENT PARCEL B	210,196	4.8254
RECORDED PHASE 1	178,848	4.1057
RECORDED PHASE 2	60,832	1.3965
TOTAL AREA	764,731	17.5558

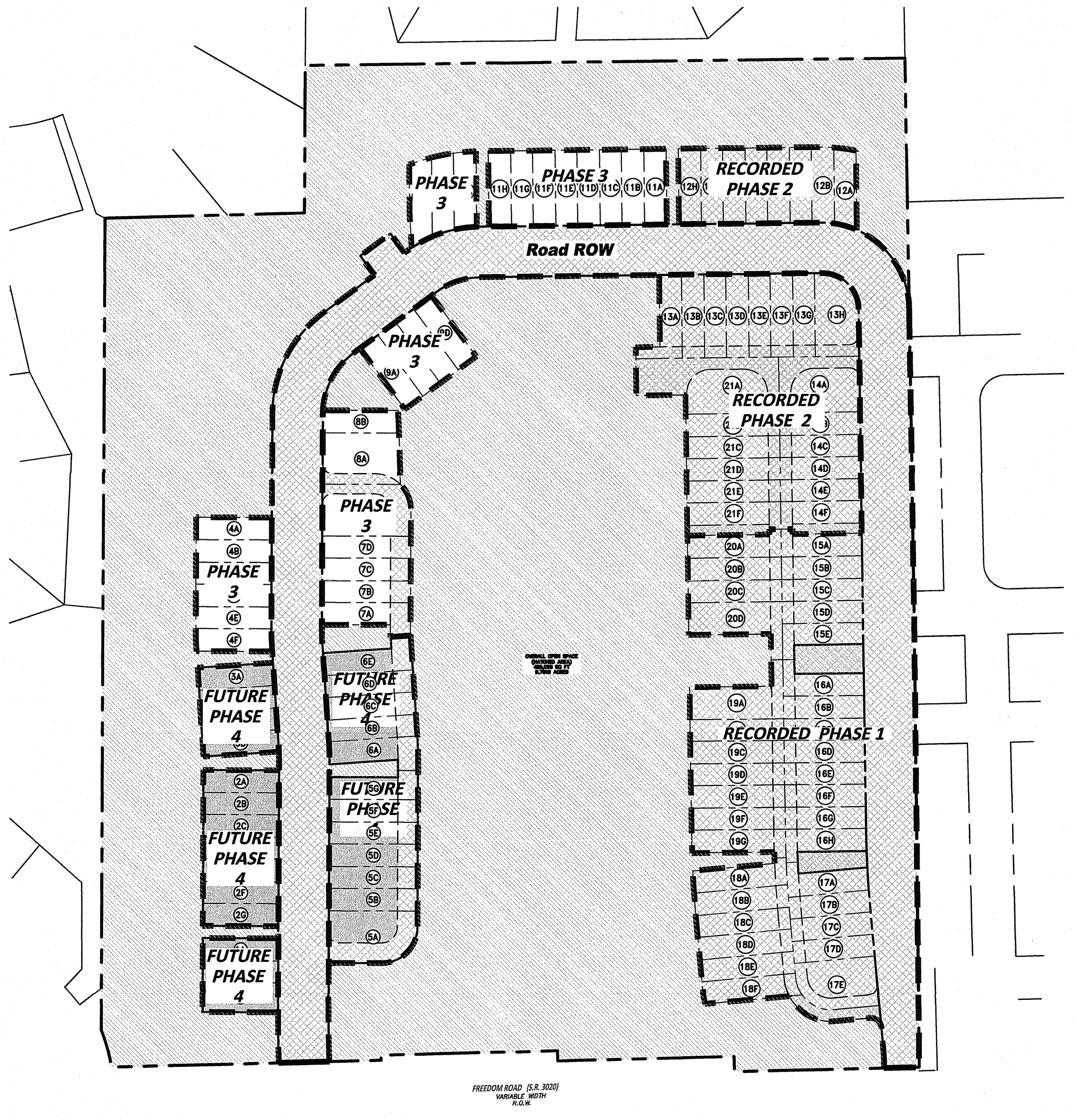
INSTR: 202601300001638
Pg: 3 P: 6125.00
Michelle Mustello
Butler County Recorder PA
1/20/2026 4:15 PM
120140001373



Vicinity Map
Scale - 1" = 200'

UNIT PHASING

RECORDED PHASE 1	35 UNITS
RECORDED PHASE 2	28 UNITS
PHASE 3	28 UNITS
FUTURE PHASE 4	26 UNITS
TOTAL UNITS	117 UNITS



OVERALL OPEN SPACE and UNIT PHASING MAP
Scale - 1" = 100'

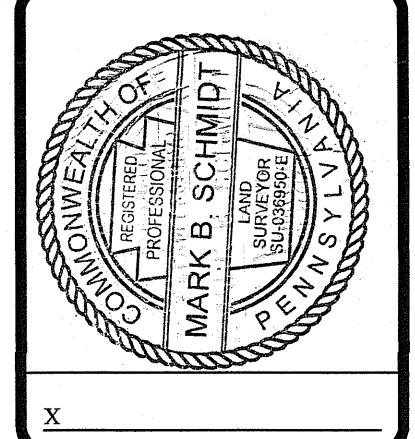
ZONING DATA

REQUIRED	PROVIDED
15 Acres	17.5558 Acres
10 UNITS PER ACRE	117 Units
5%	0%
15%	55.71% (9.78 AC.)
5%	5.18% (0.91 AC.)
5%	45.28% (7.95 AC.)
5%	5.07% (0.89 AC.)
4 Stories	3 Stories
65 Feet	34 Feet
20 Feet	24.42 Feet
85%	39.5%
50 Feet	35 Feet
50 Feet	> 50 Feet
6-12 Feet	Varies
12 Feet	12 Feet

PLAN BOOK
436

PAGE
29

- PLAN NOTES**
- ALL DEED OR PLAN BEARINGS AND COORDINATES HAVE BEEN ROTATED AND CONVERTED TO THE NORTH AMERICAN DATUM OF 1983, PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, U.S. SURVEY FEET.
 - PLANS ARE SUBJECT TO ANY AND ALL EXISTING LEGAL RIGHTS-OF-WAY AND EASEMENTS OF RECORD.
 - REFERENCE PLAN: BRECKENRIDGE LOT CONSOLIDATION PLAN, PLAN BOOK VOLUME 412 PAGE 14-16.
 - A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO § 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW" BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED.
 - REFERENCE PLAN: BRECKENRIDGE - PHASE 1 CCD FREEDOM B LAND DEVELOPMENT PLAN, PLAN BOOK VOLUME 421 PAGE 17-32.
 - REFERENCE PLAN: BRECKENRIDGE - PHASE 2 CCD FREEDOM B LAND DEVELOPMENT PLAN, PLAN BOOK VOLUME 422 PAGE 16-18.



Corporate Office
514 Ridge Road, Suite 201
Pittsburgh, PA 15223
PHONE: (412) 781-9660
FAX: (412) 781-5904

Mars Office
123 Ridge Road, Suite B
Valencia, PA 16059
PHONE: (724) 625-4544
FAX: (724) 625-4549

PROJECT STATUS:

DATE ISSUED	August 18, 2023
REVISIONS	1st Published 1969
NO.	2
DESCRIPTION	Revised per TWP Comment Ltr. dated Sep. 8, 2023
DATE	01-26-2023

DRAWING ORIENTATION

PROJECT TITLE:
Breckenridge - PHASE 3 Land Development Plan
Breckenridge CCD Freedom B Landdevelopment

CLIENT ADDRESS:
Freedom Road Associates, LLC
1129 Freedom Road
514 Ridge Court
Cranberry Township, PA 16090

DRAWN BY: JGK
CHECKED BY: MBS

CAD FILE:
12061_VB 10X_PH3.dwg

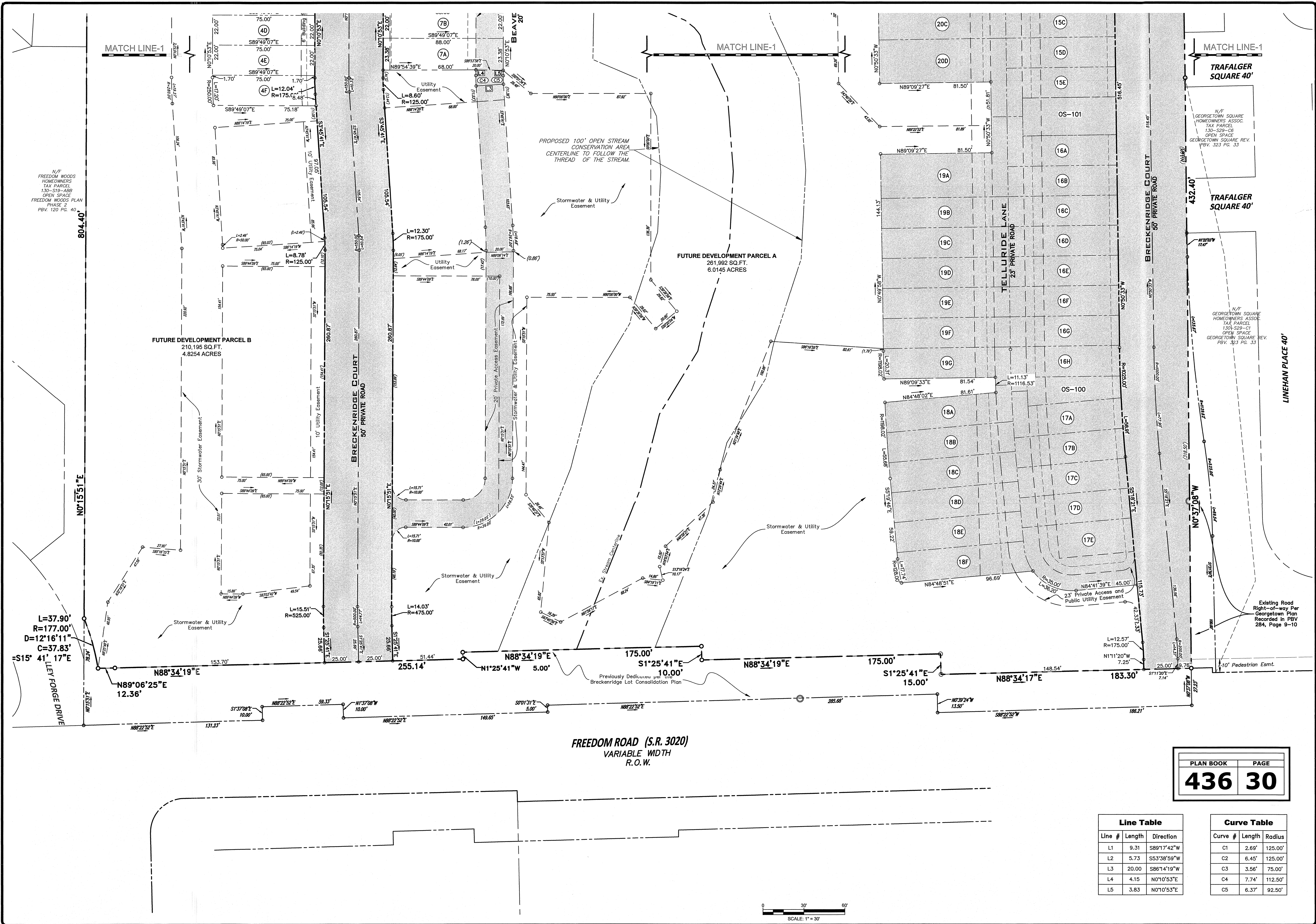
HORIZ. SCALE: -
VERT. SCALE: -

SHEET: 12 OF 58
VB 101(3)

PROJECT #: 12061

ALL SIGNATURES MUST BE MADE WITH NAVY BLUE FELT TIP PEN - DO NOT FOLD PLAN

CRANBERRY TWP. BOARD OF SUPERVISORS	CRANBERRY TWP. ENGINEER	BUTLER COUNTY PLANNING COMMISSION	BUTLER COUNTY RECORDER OF DEEDS



N/F
FREEDOM WOODS
TAX PARCEL
130-519-ABB
OPEN SPACE
FREEDOM WOODS PLAN
PHASE 2
PBV. 120 PG. 40

FUTURE DEVELOPMENT PARCEL A
261,992 SQ. FT.
6.0145 ACRES

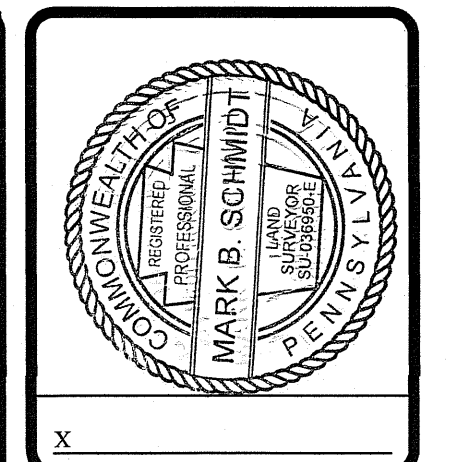
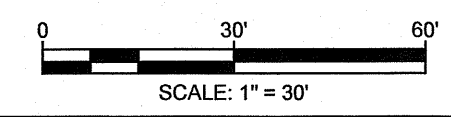
FUTURE DEVELOPMENT PARCEL B
210,195 SQ. FT.
4.8254 ACRES

FREEDOM ROAD (S.R. 3020)
VARIABLE WIDTH
R.O.W.

PLAN BOOK	PAGE
436	30

Line Table		
Line #	Length	Direction
L1	9.31	S89°17'42"W
L2	5.73	S53°38'59"W
L3	20.00	S86°14'19"W
L4	4.15	N0°10'53"E
L5	3.83	N0°10'53"E

Curve Table		
Curve #	Length	Radius
C1	2.69'	125.00'
C2	6.45'	125.00'
C3	3.56'	75.00'
C4	7.74'	112.50'
C5	6.37'	92.50'



HAMPTON TECHNICAL ASSOCIATES, INC.
ESTABLISHED 1969
ENGINEERING LAND SURVEYORS
www.hampton-technical.com

Corporate Office
Ims Technical Center
35 Wilson Street, Suite 201
Pittsburgh, PA 15223
PHONE: (412) 781-9660
FAX: (412) 781-5904

Mars Office
123 Ridge Road, Suite B
Valencia, PA 16059
PHONE: (724) 625-4544
FAX: (724) 625-4549

DATE ISSUED:	August 18, 2023
REVISIONS:	NO. 2
DESCRIPTION:	Revised for TWP Comment Ltr. dated Sep. 6, 2023
DATE:	9-28-2023



**Breckenridge - PHASE 3
Land Development Plan**
Breckenridge CCD Freedom B Landdevelopment

PROJECT LOCATION:
1129 Freedom Road
Cranberry Township, PA 16066

CLIENT ADDRESS:
Freedom Road Associates, LLC
514 Ridge Court
Westford, PA 16090

PROJECT TITLE:
VB 102(3)

PROJECT #:
12061

DRAWN BY: JGK
CHECKED BY: MBS

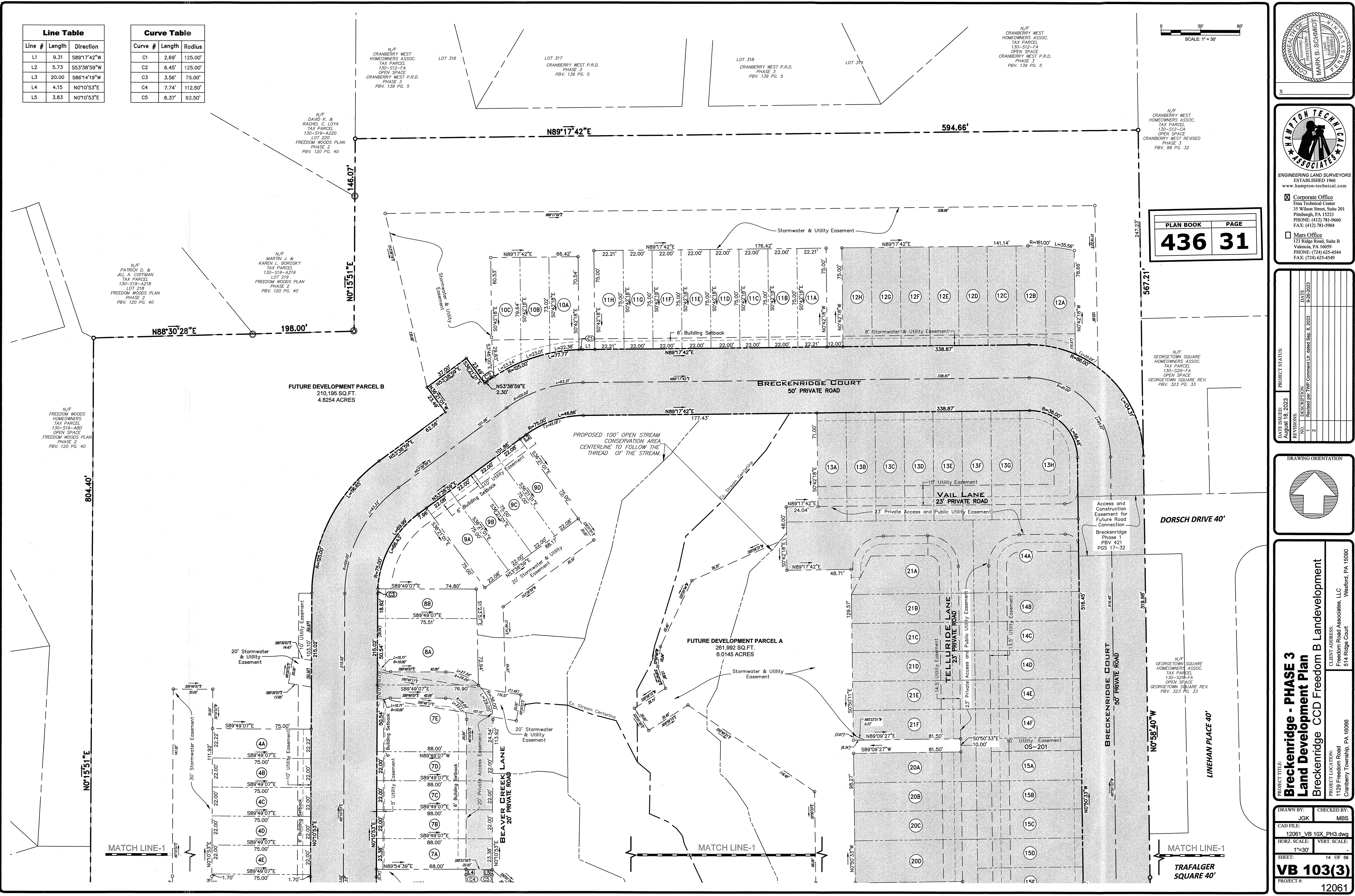
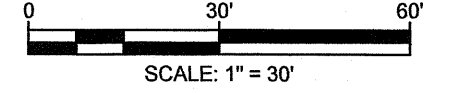
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VERT. SCALE:

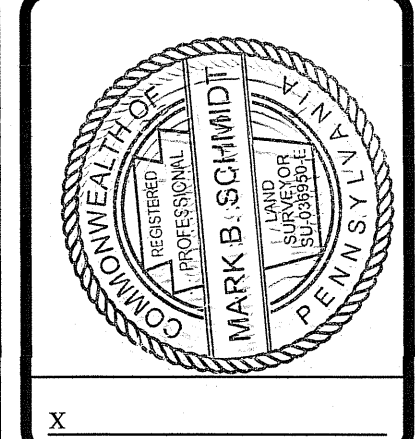
SHEET: 13 OF 56

Line #	Length	Direction
L1	9.31	S89°17'42"W
L2	5.73	S53°38'59"W
L3	20.00	S86°14'19"W
L4	4.15	N0°10'53"E
L5	3.83	N0°10'53"E

Curve #	Length	Radius
C1	2.69'	125.00'
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C3	3.56'	75.00'
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PLAN BOOK	PAGE
436	31

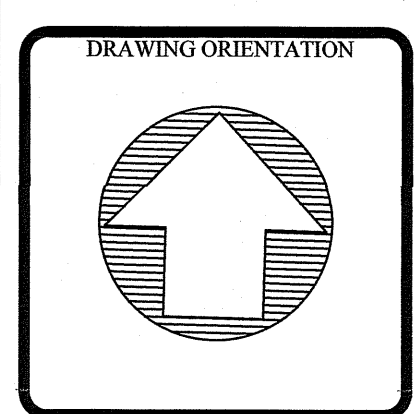


HAMPTON TECHNICAL ASSOCIATES
 ESTABLISHED 1969
 ENGINEERING LAND SURVEYORS
 www.hampton-technical.com

Corporate Office
 Etna Technical Center
 35 Wilson Street, Suite 201
 Pittsburgh, PA 15223
 PHONE: (412) 781-9660
 FAX: (412) 781-9904

Mars Office
 123 Ridge Road, Suite B4
 Valencia, PA 16059
 PHONE: (724) 625-4544
 FAX: (724) 625-4549

NO.	DESCRIPTION	DATE
1	PREPARED PER TRIP COMMENT Ltr. dated Sep. 9, 2023	9/25/2023
2		



Breckenridge - PHASE 3
Land Development Plan
 Breckenridge CCD Freedom B Landdevelopment

CLIENT ADDRESS:
 Freedom Road Associates, LLC
 514 Ridge Court
 Westford, PA 16090

DRAWN BY:	JGK	CHECKED BY:	MBS
CAD FILE:	12061_VB 10X_PH3.dwg		
HORIZ. SCALE:	1"=30'	VERT. SCALE:	
SHEET:	14 OF 56		
VB 103(3)			
PROJECT #:	12061		

NOTE: ALL SIGNATURES MUST BE MADE WITH A NAVY BLUE INK FELT TIP PEN.

OWNERS ADOPTION

CHARTER HOMES AT CRESCENT, INC., OWNER OF A PORTION OF THE LAND SHOWN ON THE CRESCENT PLAN PHASE 2 - REVISION No. 1, HEREBY ADOPTS THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO CRANBERRY TOWNSHIP. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE COMPANY AND ITS SUCCESSORS AND ASSIGNS.

IN WITNESS OF WHICH, TO THIS I SET MY HAND AND SEAL THIS 16th DAY OF December, 2025

Signature of Anthony Faranda-Diedrich, Authorized Signatory, Charter Homes at Crescent, Inc.

ACKNOWLEDGMENT

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED ANTHONY FARANDA-DIEDRICH, THE ABOVE NAMED REPRESENTATIVE OF CHARTER HOMES AT CRESCENT, INC., AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE THE ACT OF THE COMPANY.

WITNESS MY HAND AND NOTARIAL SEAL THIS 16th DAY OF December, 2025

MY COMMISSION EXPIRES THE 1st DAY OF April, 2028

Notary Seal for Cynthia K. Lucici, Notary Public, Lancaster County, PA.

CERTIFICATION OF TITLE

I HEREBY CERTIFY THAT THE TITLE TO A PORTION OF THE PROPERTY CONTAINED IN THE CRESCENT PLAN PHASE 2 - REVISION No. 1 IS IN THE NAME OF CHARTER HOMES AT CRESCENT, INC., AND IS RECORDED IN INSTRUMENT NO. 202509260015564.

Signature of Anthony Faranda-Diedrich, Authorized Signatory.

WILMINGTON SAVINGS FUND SOCIETY, FSB, MORTGAGEE OF THE PROPERTY CONTAINED IN THE CRESCENT PLAN PHASE 2 - REVISION No. 1 CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

Signature of F. James Amos, Representative of Wilmington Savings Fund Society, FSB.

OWNERS ADOPTION

CRANBERRY MEEDER PARTNERS, LLC, OWNER OF A PORTION OF THE LAND SHOWN ON THE CRESCENT PLAN PHASE 2 - REVISION No. 1, HEREBY ADOPTS THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO CRANBERRY TOWNSHIP. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE COMPANY AND ITS SUCCESSORS AND ASSIGNS.

IN WITNESS OF WHICH, TO THIS I SET MY HAND AND SEAL THIS 30 DAY OF December, 2025

Signature of John Golonkiewski, Member, Cranberry Meeder Partners, LLC.

ACKNOWLEDGMENT

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED JOHN GOLONKIEWSKI, THE ABOVE NAMED REPRESENTATIVE OF CRANBERRY MEEDER PARTNERS, LLC, AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE THE ACT OF THE COMPANY.

WITNESS MY HAND AND NOTARIAL SEAL THIS 30 DAY OF December, 2025

MY COMMISSION EXPIRES THE 2 DAY OF December, 2026

Notary Seal for Lynne A. Bateson, Notary Public, Allegheny County, PA.

CERTIFICATION OF TITLE

I HEREBY CERTIFY THAT THE TITLE TO A PORTION OF THE PROPERTY CONTAINED IN THE CRESCENT PLAN PHASE 2 - REVISION No. 1 IS IN THE NAME OF CRANBERRY MEEDER PARTNERS, LLC, AND IS RECORDED IN INSTRUMENT NO. 202510230017468. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN, OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

Signature of John Golonkiewski, Member, Cranberry Meeder Partners, LLC.

TOWNSHIP MANAGER

I, DANIEL SANTORO, TOWNSHIP MANAGER FOR THE TOWNSHIP OF CRANBERRY, CERTIFY THAT THE CONDITIONS FOR FINAL APPROVAL OUTLINED IN RESOLUTION NO. 2025-69 HAVE BEEN MET IN ACCORDANCE WITH SECTIONS 22-305 AND 22-307 OF THE TOWNSHIP OF CRANBERRY CODE OF ORDINANCES.

Signature of Daniel Santoro, Township Manager, dated 1/9/2026.

TOWNSHIP ENGINEER

I, MICHAEL MALAK, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER FOR CRANBERRY TOWNSHIP, DO HEREBY CERTIFY THAT THIS PLAN MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP ORDINANCES EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE CRANBERRY TOWNSHIP BOARD OF SUPERVISORS.

Signature of Michael Malak, Township Engineer, dated 1/9/2026.

TOWNSHIP REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY BY RESOLUTION NO. 2025-69 ON THE 21st DAY OF January, 2026.

Signature of Bruce W. Hefner, Chairperson, Board of Supervisors.

MUNICIPAL DECLARATIONS

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY, HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF CRANBERRY HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

Signature of Bruce W. Hefner, Chairperson, Board of Supervisors.

THE TOWNSHIP OF CRANBERRY AGREES NOT TO ISSUE BUILDING PERMITS UNTIL THE "PLANNING MODULE FOR LAND DEVELOPMENT" HAS BEEN APPROVED IN ACCORDANCE WITH THE REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

Signature of Bruce W. Hefner, Chairperson, Board of Supervisors.

SURVEYOR'S CERTIFICATION

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

Signature of Patrick T. Cooper, P.L.S., Surveyor, dated 12-31-25.

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 17th DAY OF SEPTEMBER, 2025.

Signature of Reese Hines, Chairperson, Butler County Planning Commission.

PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 436 PAGE(S) 32-36.

Signature of Michele M. Mustello, Recorder of Deeds, dated January 2026.

MICHELE M. MUSTELLO, RECORDER OF DEEDS

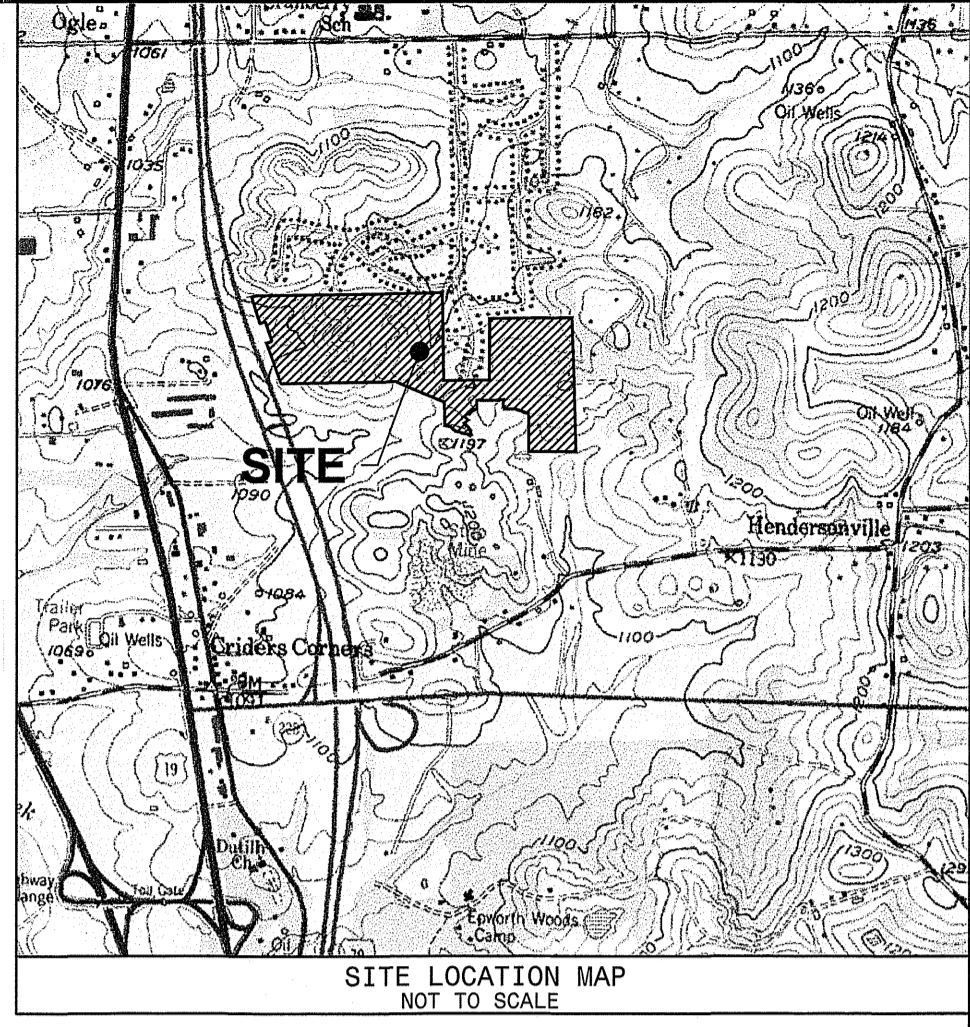
My Commission Expires First Monday In January 2028

Table with 4 columns: TOWNSHIP STANDARD, REQUIRED - CCD-2, PROVIDED, MODIFICATION GRANTED. Rows include USE, DWELLING UNITS PER ACRE, MAXIMUM BUILDING HEIGHT (FEET), etc.

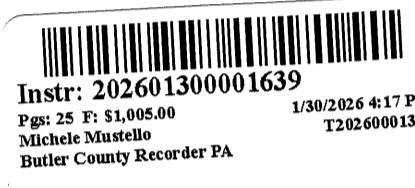
PERMIT REQUIREMENTS: N.P.D.E.S. PERMIT - PA DEPT. OF ENVIRONMENTAL PROTECTION FULL COMPONENT SEWER PLANNING MODULE - PA DEPT. OF ENVIRONMENTAL PROTECTION HIGHWAY OCCUPANCY PERMIT (HOP) - PennDOT STORMWATER MANAGEMENT MAINTENANCE PROGRAM.

ANY SEDIMENT WHICH ACCUMULATES WITHIN THE BASIN SHALL BE SPREAD OUT OVER THE BANKS OF THE BASIN AND SEEDED. ANY SEDIMENT WHICH ACCUMULATES WITHIN UNDERGROUND TANK SHOULD BE REMOVED AND SPREAD OUT ON APPROPRIATE AREAS.

- NOTES: 1. HIGHER DENSITY PERMITTED UNDER BONUS PROVISIONS. 2. THE PERCENTAGE OF TRACT AREA SHALL INCLUDE THE AREA OF BUILDINGS, OFF-STREET PARKING AREAS, AND STORMWATER MANAGEMENT AREAS AFTER SUBTRACTING THE MINIMUM REQUIRED COMMON CCD OPEN SPACE.



SHEETS INDEX table with 2 columns: SHEET No., TITLE. Rows 1-9: COVER, OVERALL PLAN, SUBDIVISION PLAN, etc.



PROPERTY ADDRESS: COOL SPRINGS DRIVE, CRANBERRY TOWNSHIP, PA 16066. MAILING ADDRESS: 322 NORTH ARCH STREET, LANCASTER, PA 17603

- NOTES: 1. ALL PRIVATE ROADS AND STORM WATER MANAGEMENT FACILITIES ARE TO BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION. 2. THIS PLAN SUPERCEDES ALL PUBLIC AND PRIVATE ROAD RIGHT OF WAYS, LOT LINES, AND EASEMENTS AS SHOWN ON CRESCENT PLAN PHASE 2.

PLAN BOOK 436 PAGE 32



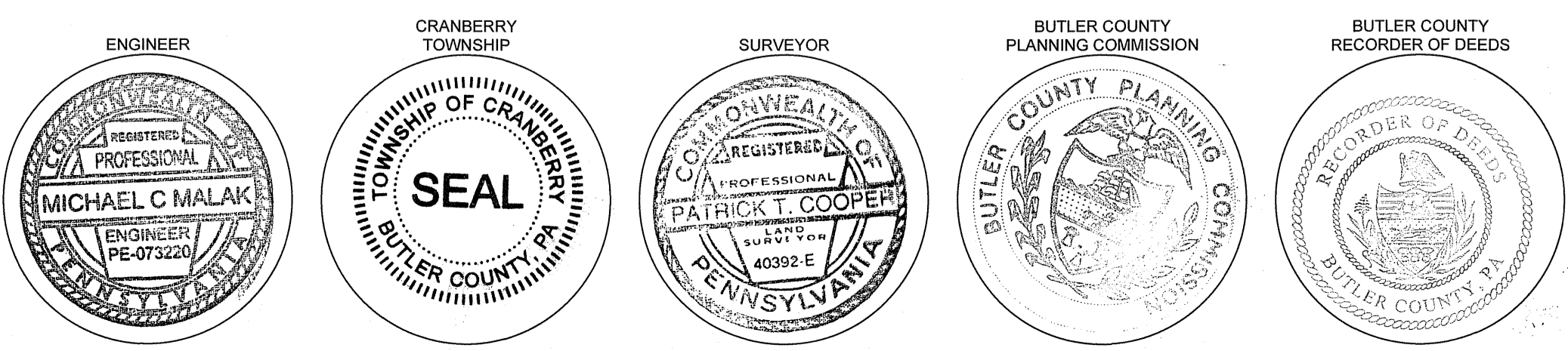
CRESCENT PLAN PHASE 2 - REVISION No. 1

BEING A REVISION OF CRESCENT PLAN PHASE 2, AS RECORDED IN THE BUTLER COUNTY RECORDER OF DEEDS OFFICE IN PLAN BOOK VOLUME 431, PAGE 21.

SITUATE IN CRANBERRY TOWNSHIP BUTLER COUNTY, PA

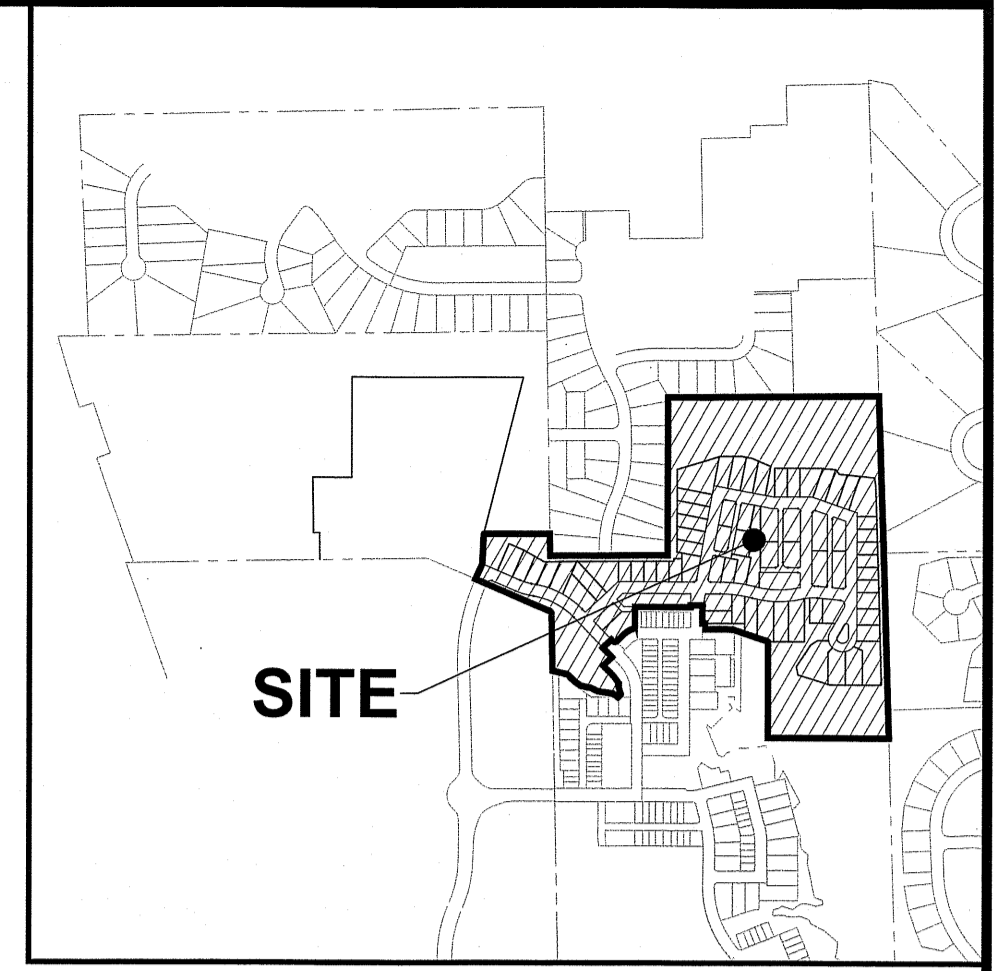
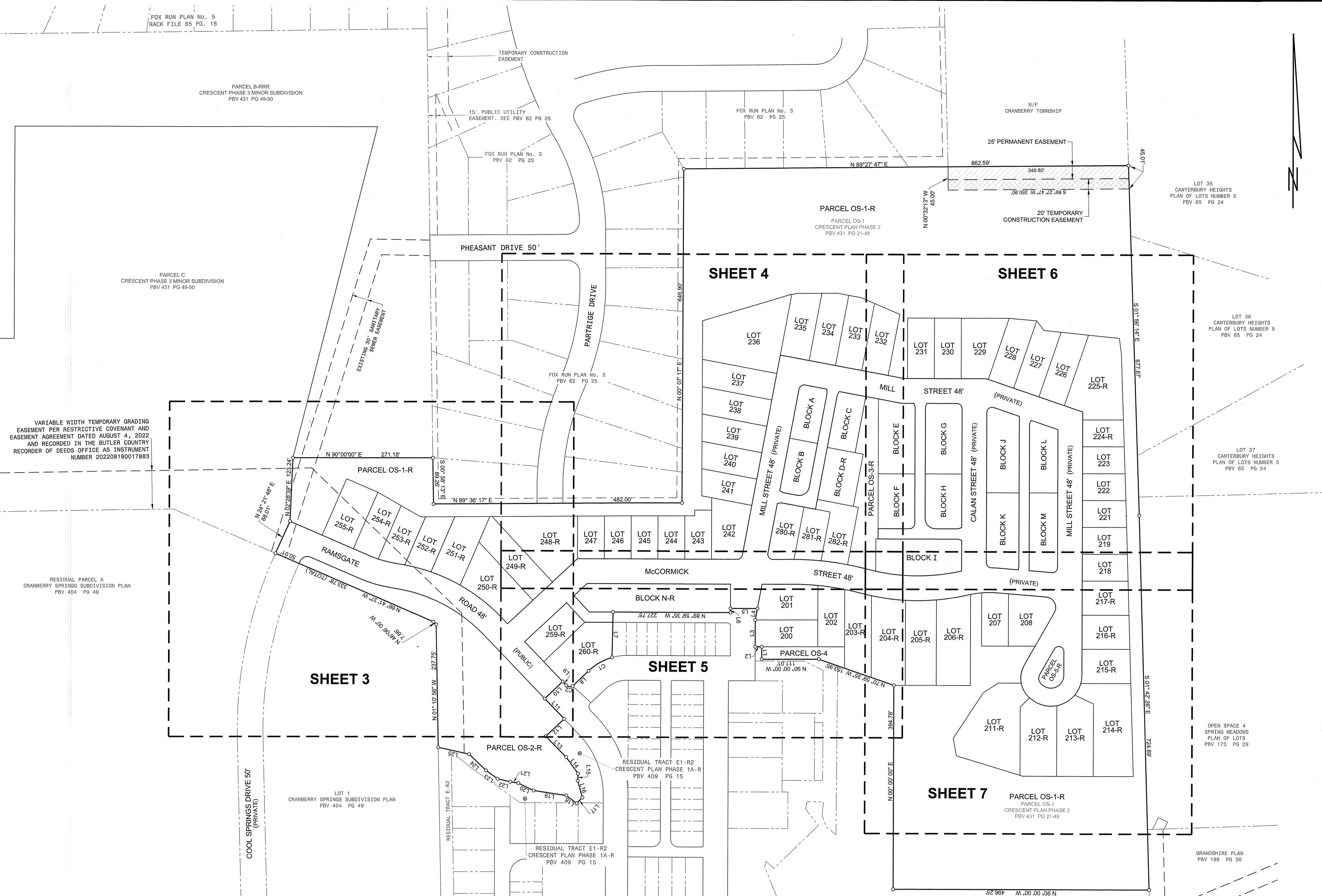
MADE FOR

CHARTER HOMES AT CRESCENT, INC.



\\Fs\IT\Projects\300000039877 Charter-Fisher-0028 Phase 2\Drawings\Survey\Phase 2_Rev 1_low.dwg Save Date: 1/10/2026 5:46 PM Kenneth C. Winkler

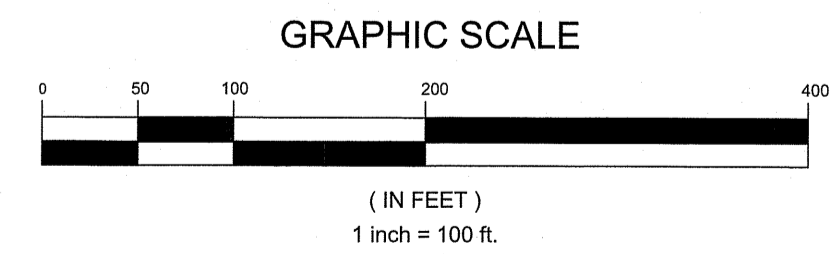
LOT/PARCEL	AREA (SF)	AREA (AC)
BLOCK A	5,837	0.134
BLOCK B	5,734	0.132
BLOCK C	6,077	0.140
BLOCK D-R	7,289	0.167
BLOCK E	9,871	0.227
BLOCK F	7,511	0.172
BLOCK G	9,855	0.222
BLOCK H	7,438	0.171
BLOCK I	11,350	0.261
BLOCK J	9,861	0.229
BLOCK K	9,212	0.211
BLOCK L	7,248	0.166
BLOCK M	8,379	0.192
BLOCK N-R	15,933	0.366
LOT 200	6,318	0.145
LOT 201	7,913	0.182
LOT 202	6,007	0.138
LOT 203-R	8,093	0.186
LOT 204-R	10,750	0.247
LOT 205-R	9,852	0.226
LOT 206-R	11,217	0.258
LOT 207	5,343	0.123
LOT 208	7,472	0.172
LOT 211-R	16,940	0.389
LOT 212-R	9,978	0.229
LOT 213-R	10,419	0.239
LOT 214-R	14,450	0.332
LOT 215-R	6,204	0.142
LOT 216-R	6,081	0.139
LOT 217-R	5,933	0.136
LOT 218	4,381	0.100
LOT 219	4,500	0.103
LOT 221	4,418	0.101
LOT 222	4,327	0.099
LOT 223	4,235	0.097
LOT 224-R	4,144	0.095
LOT 225-R	14,152	0.325
LOT 226	7,189	0.165
LOT 227	6,736	0.155
LOT 228	6,833	0.157
LOT 229	8,528	0.196
LOT 230	6,088	0.140
LOT 231	6,088	0.140
LOT 232	6,565	0.151
LOT 233	7,106	0.163
LOT 234	7,102	0.163
LOT 235	7,223	0.166
LOT 236	17,940	0.412
LOT 237	7,391	0.170
LOT 238	6,892	0.158
LOT 239	6,392	0.147
LOT 240	5,893	0.135
LOT 241	5,393	0.124
LOT 242	7,841	0.175
LOT 243	4,728	0.109
LOT 244	4,350	0.100
LOT 245	4,331	0.099
LOT 246	4,312	0.099
LOT 247	4,293	0.099
LOT 248-R	12,558	0.288
LOT 249-R	8,597	0.197
LOT 250-R	9,989	0.229
LOT 251-R	8,061	0.185
LOT 252-R	5,628	0.129
LOT 253-R	5,494	0.126
LOT 254-R	6,032	0.138
LOT 255-R	7,854	0.180
LOT 256-R	5,833	0.134
LOT 260-R	9,815	0.225
LOT 280-R	5,565	0.128
LOT 281-R	5,149	0.118
LOT 282-R	6,471	0.149
PARCEL OS-1-R	470,772	10.807
PARCEL OS-2	85,021	1.933
PARCEL OS-3-R	13,360	0.307
PARCEL OS-4	4,295	0.099
PARCEL OS-5-R	2,688	0.062
ROAD ROW	199,978	4.591
TOTAL	1,306,980	30.004



OVERALL PROJECT SITE

LINE	BEARING	DISTANCE
L1	N 00° 00' 00" E	24.06'
L2	N 89° 59' 35" W	12.68'
L3	N 00° 00' 54" E	52.00'
L4	N 10° 35' 10" E	22.47'
L5	N 89° 59' 06" W	52.12'
L6	S 00° 00' 25" W	8.00'
L7	S 01° 12' 53" W	88.07'
L8	S 46° 17' 30" W	42.53'
L9	N 43° 55' 30" W	9.98'
L10	S 46° 08' 31" W	48.00'
L11	S 43° 55' 30" E	54.52'
L12	S 46° 53' 28" W	48.91'
L13	S 44° 28' 46" E	56.49'
L14	S 36° 21' 25" E	39.74'
L15	S 03° 16' 38" W	13.73'
L16	S 15° 56' 59" E	33.84'
L17	S 44° 35' 02" W	15.97'
L18	N 52° 58' 29" W	25.15'
L19	N 81° 16' 12" W	64.22'
L20	N 64° 30' 02" W	33.00'
L21	N 81° 04' 12" W	15.76'
L22	N 76° 40' 40" W	25.46'
L23	N 54° 05' 42" W	27.58'
L24	N 46° 22' 04" W	45.38'
L25	N 77° 37' 04" W	61.32'

LINE	RADIUS	ARC LENGTH
C1	108.15'	52.77'
C2	10.31'	13.69'



- NOTES:**
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 2. THIS PLAN SUPERCEDES ALL PUBLIC AND PRIVATE ROAD RIGHT OF WAYS, LOT LINES, AND EASEMENTS AS SHOWN ON CRESCENT PLAN PHASE 2.
 3. ALL LOTS AND OPEN SPACES (OS) DESIGNATED WITH AN "R" HAVE BEEN REVISED SINCE THE RECORDING OF CRESCENT PLAN PHASE 2.

PLAN BOOK	PAGE
436	33

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CRESCENT PLAN PHASE 2 - REVISION No. 1
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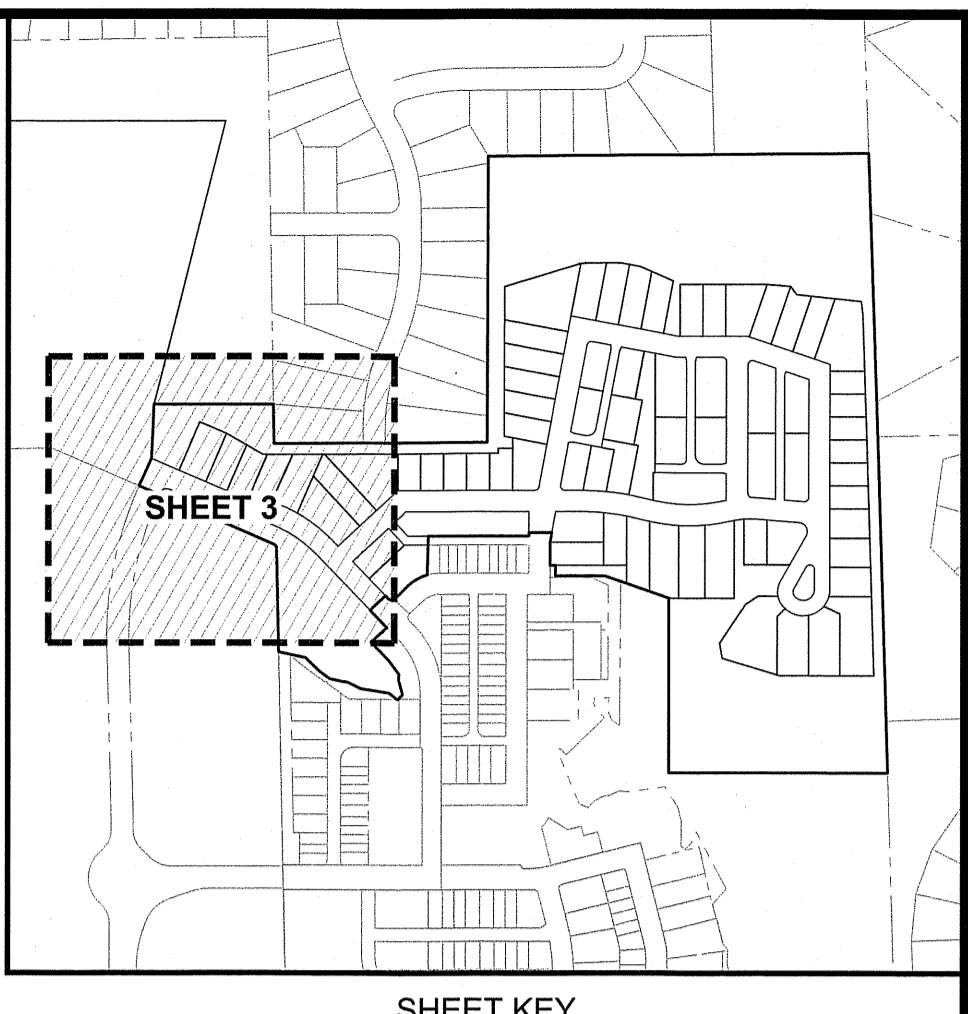
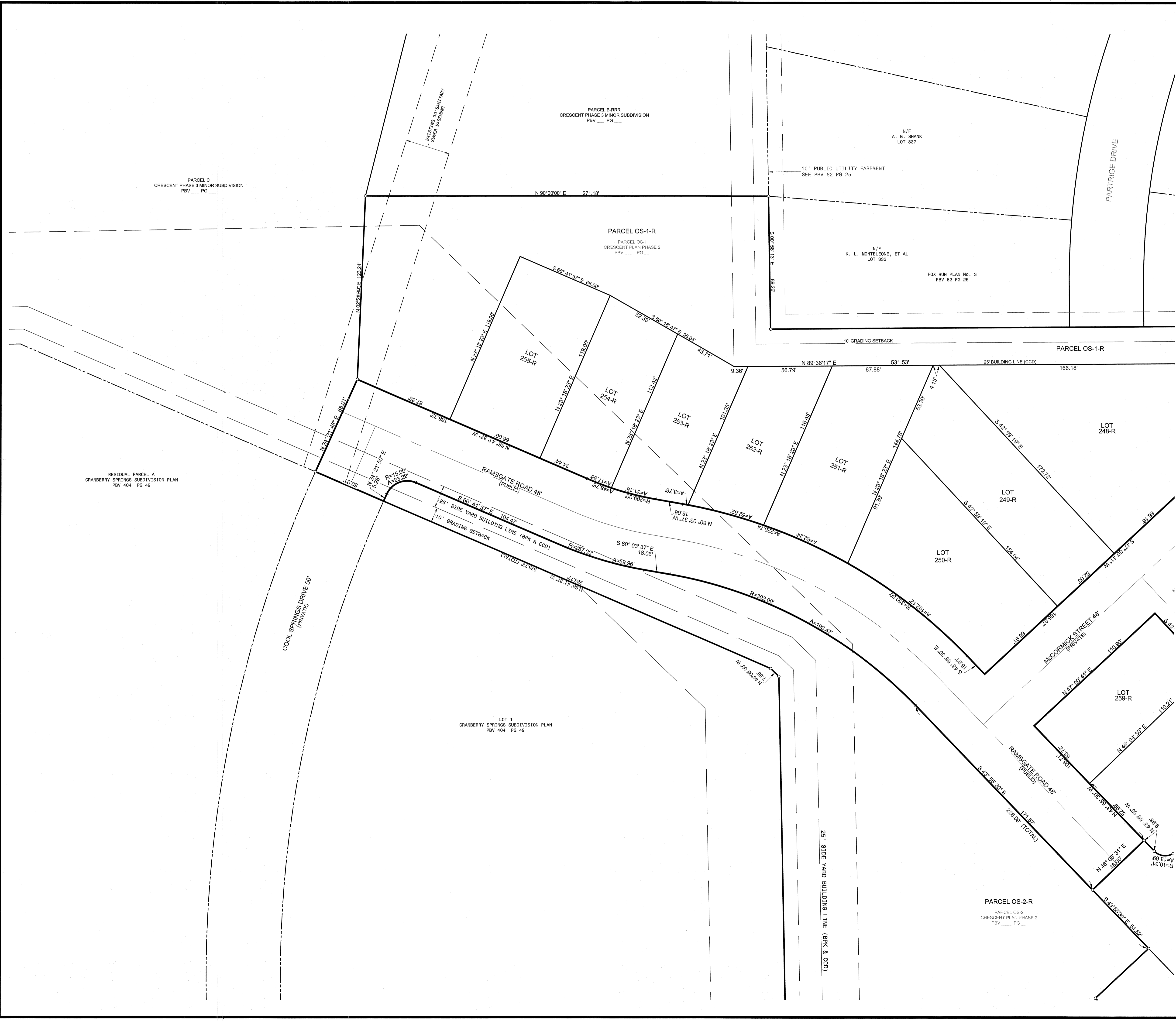
SITUATE IN
CRANBERRY TOWNSHIP
BUTLER COUNTY, PA

MADE FOR
CHARTER HOMES AT CRESCENT, INC.

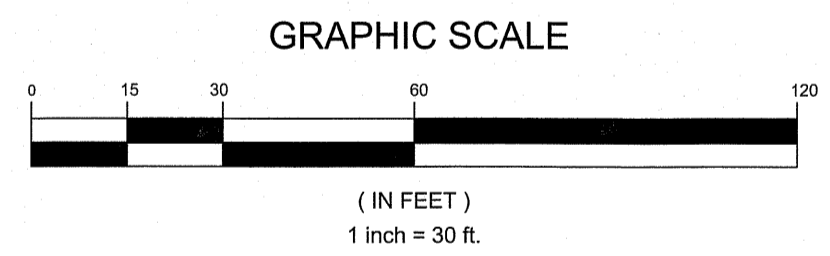
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 Job Number: C-39977-0028
 Dwg No: 404-642 SHEET 2 OF 9

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PLAN BOOK	PAGE
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BUTLER COUNTY, PA

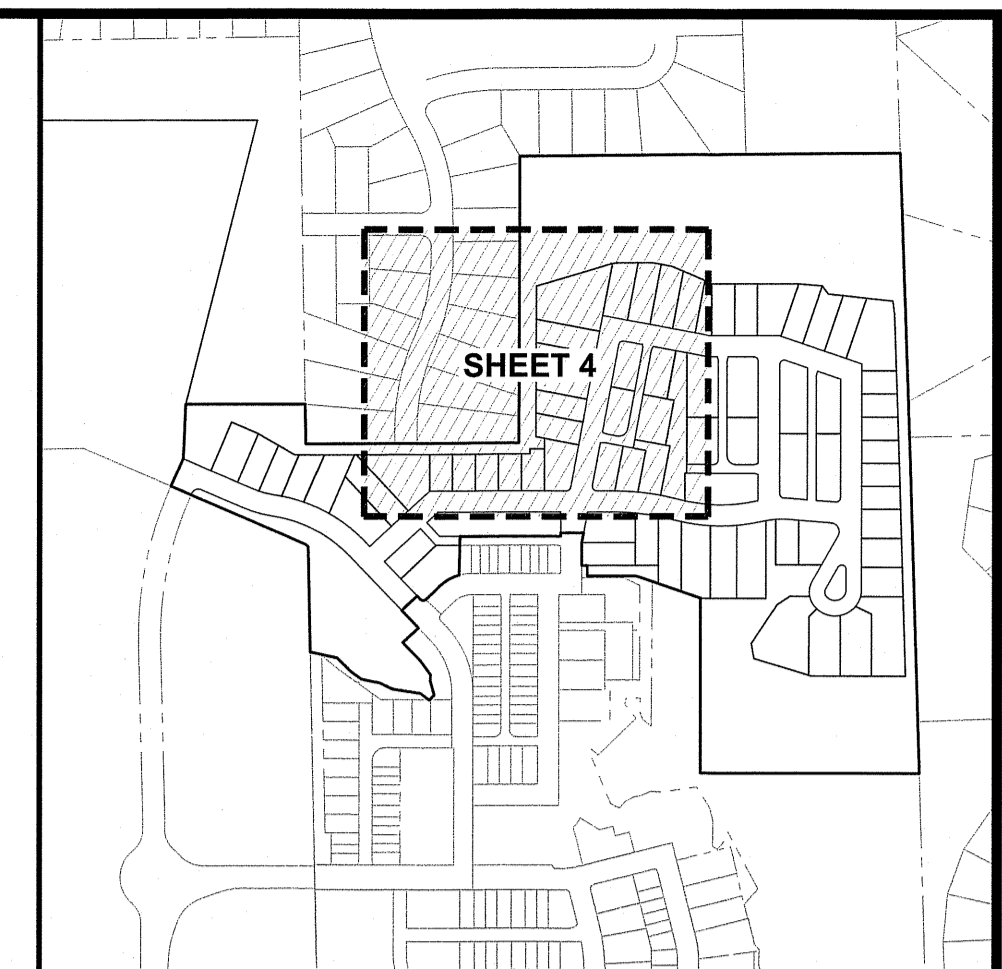
MADE FOR

CRANBERRY REAL ESTATE HOLDINGS, LLC

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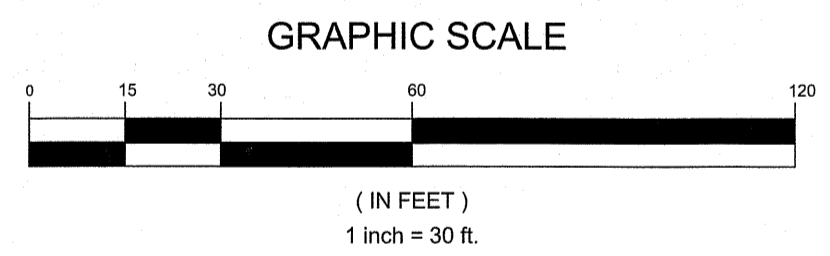
Date: AUGUST 29, 2025
 Job Number: C-39977-0028
 Dwg No: 404.642 SHEET 3 OF 9

SCALE: 1" = 30'



SHEET KEY

PLAN BOOK	PAGE
436	35



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CRESCENT PLAN PHASE 2 - REVISION No. 1

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SITUATE IN
**CRANBERRY TOWNSHIP
BUTLER COUNTY, PA**

MADE FOR

CRANBERRY REAL ESTATE HOLDINGS, LLC

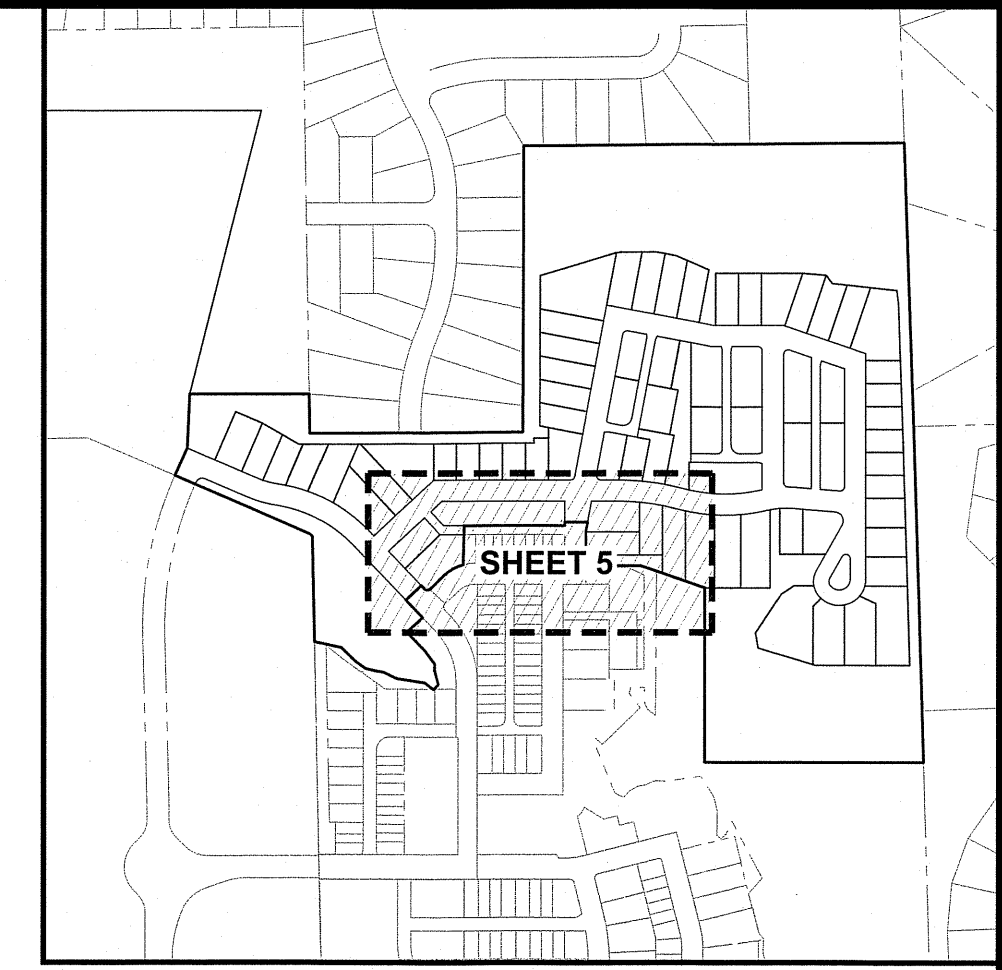
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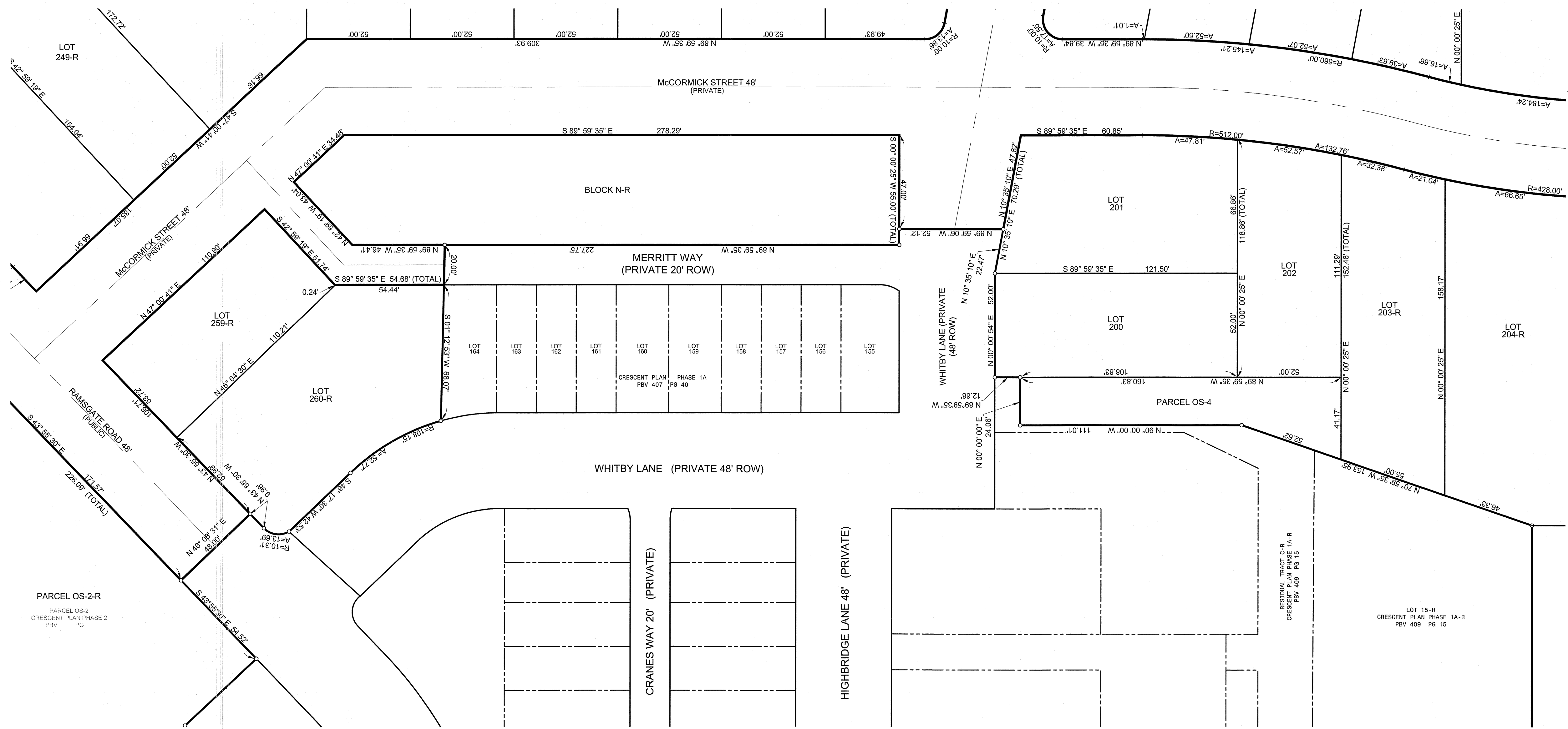
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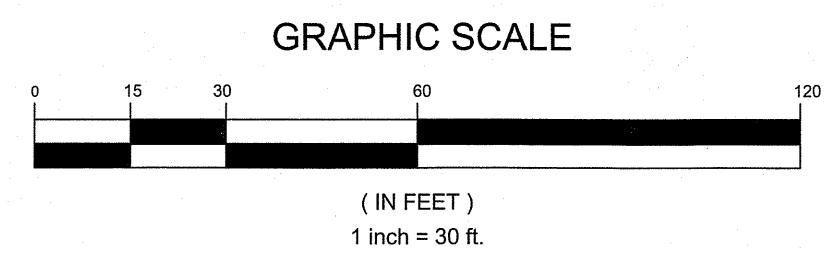
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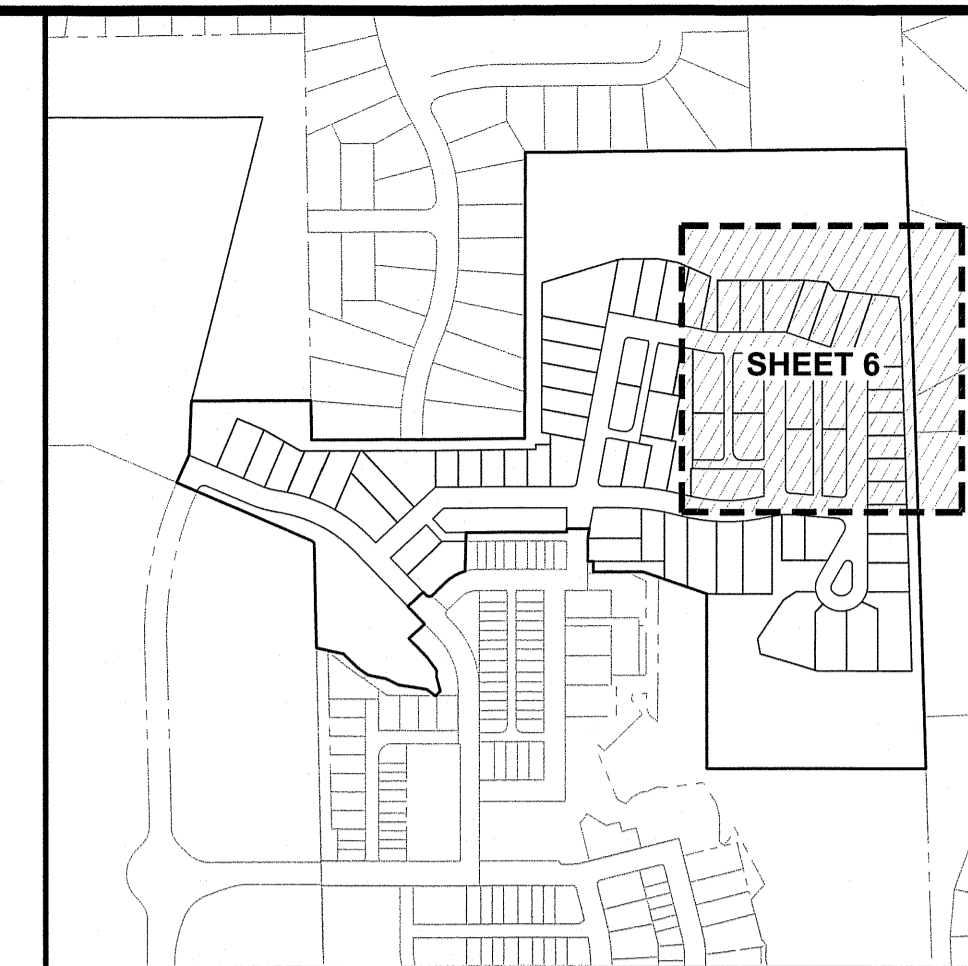
PLAN BOOK	PAGE
436	36



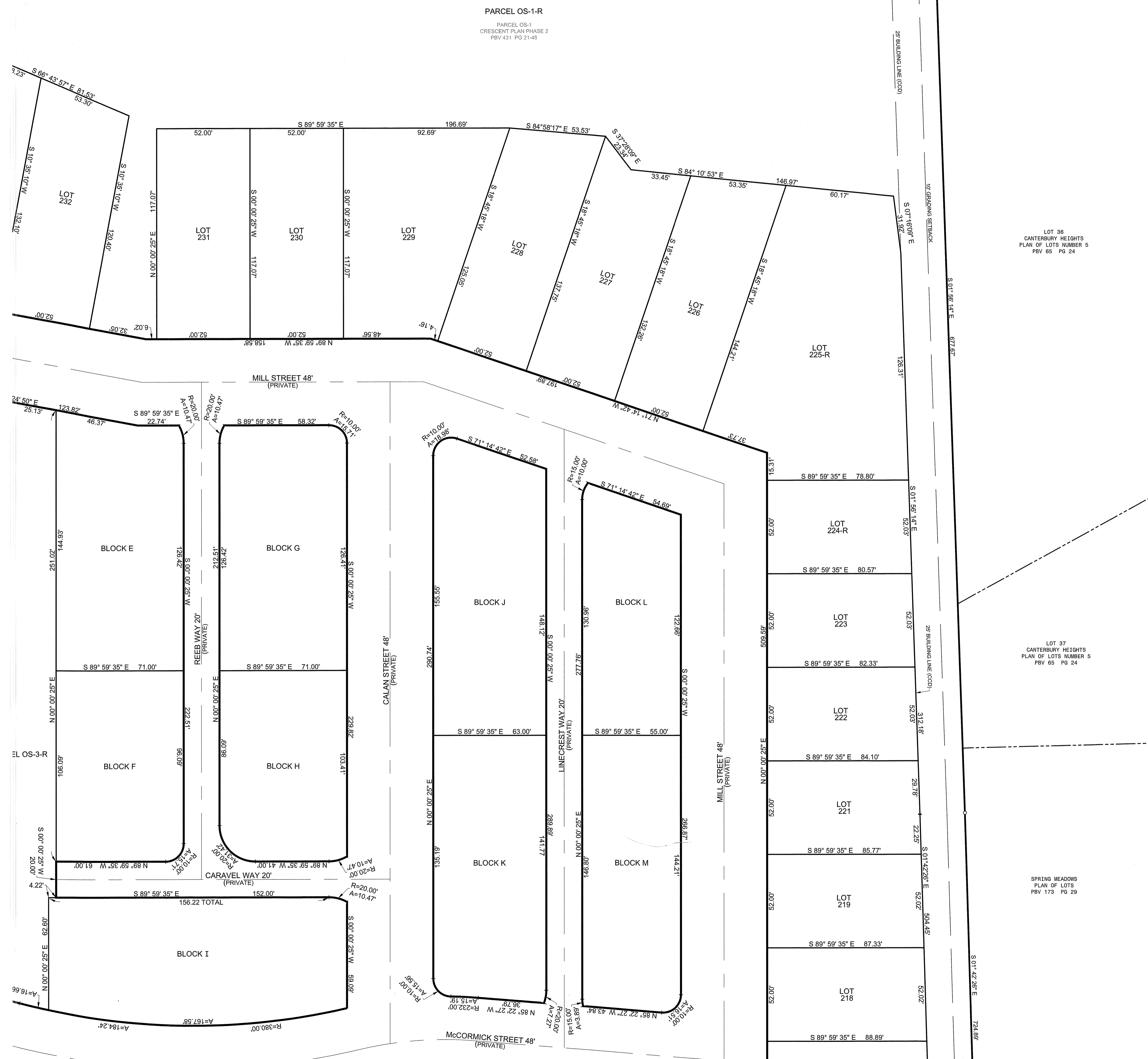
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GATEWAY ENGINEERS	The Gateway Engineers, Inc. Full-Service Civil Engineering & Surveying 100 McMorris Road, Pittsburgh, PA 15205 www.GatewayEngineers.com 855-634-9284
	CRESCENT PLAN PHASE 2 - REVISION No. 1 BEING A REVISION OF CRESCENT PLAN PHASE 2, AS RECORDED IN THE BUTLER COUNTY RECORDER OF DEEDS OFFICE IN PLAN BOOK VOLUME ____, PAGE ____. SITUATE IN CRANBERRY TOWNSHIP BUTLER COUNTY, PA MADE FOR CRANBERRY REAL ESTATE HOLDINGS, LLC
Date: AUGUST 29, 2025 Job Number: C-39977-0028 Dwg No: 404.642 SHEET 5 OF 9	PM: DMH DB: KOW CR: DMH SCALE: 1" = 30'

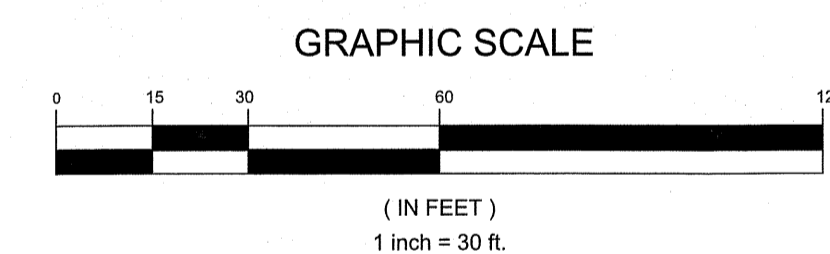
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SHEET KEY



PLAN BOOK	PAGE
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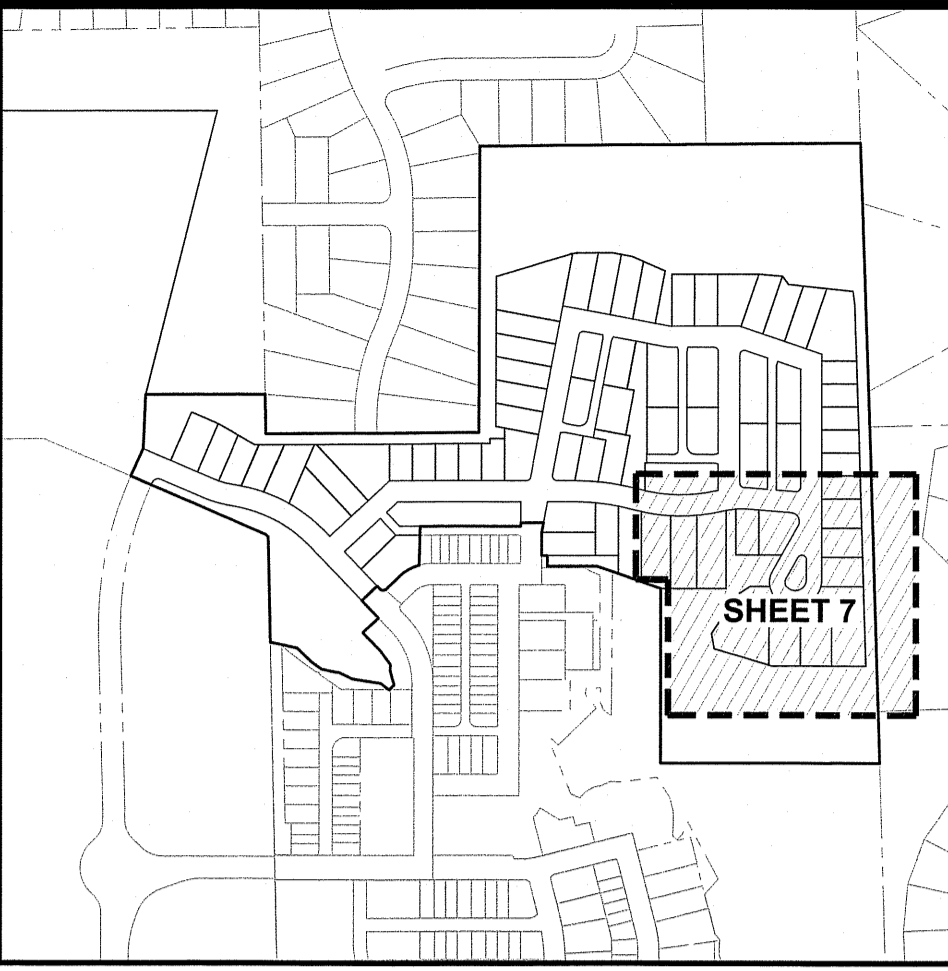
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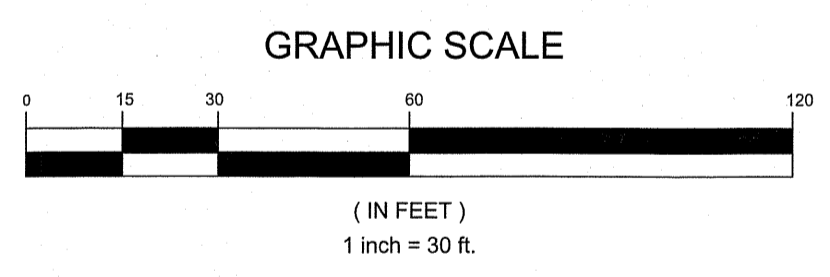
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SHEET KEY

PLAN BOOK	PAGE
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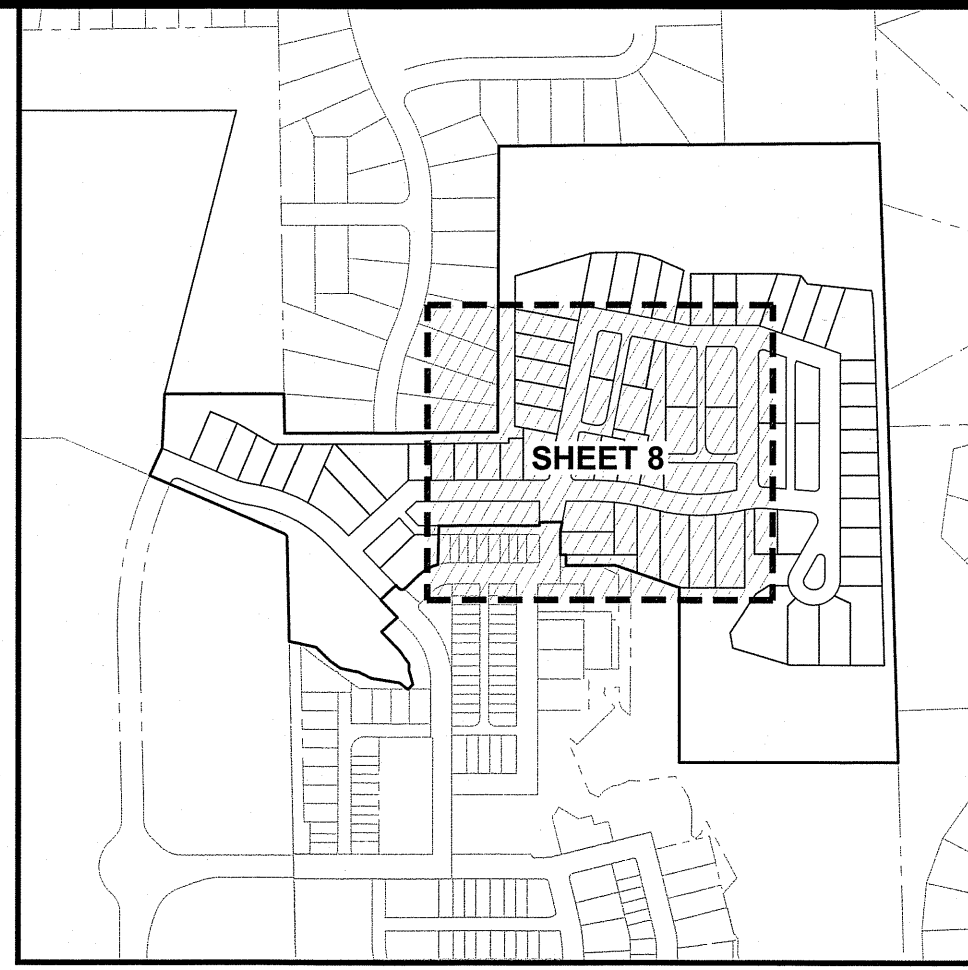
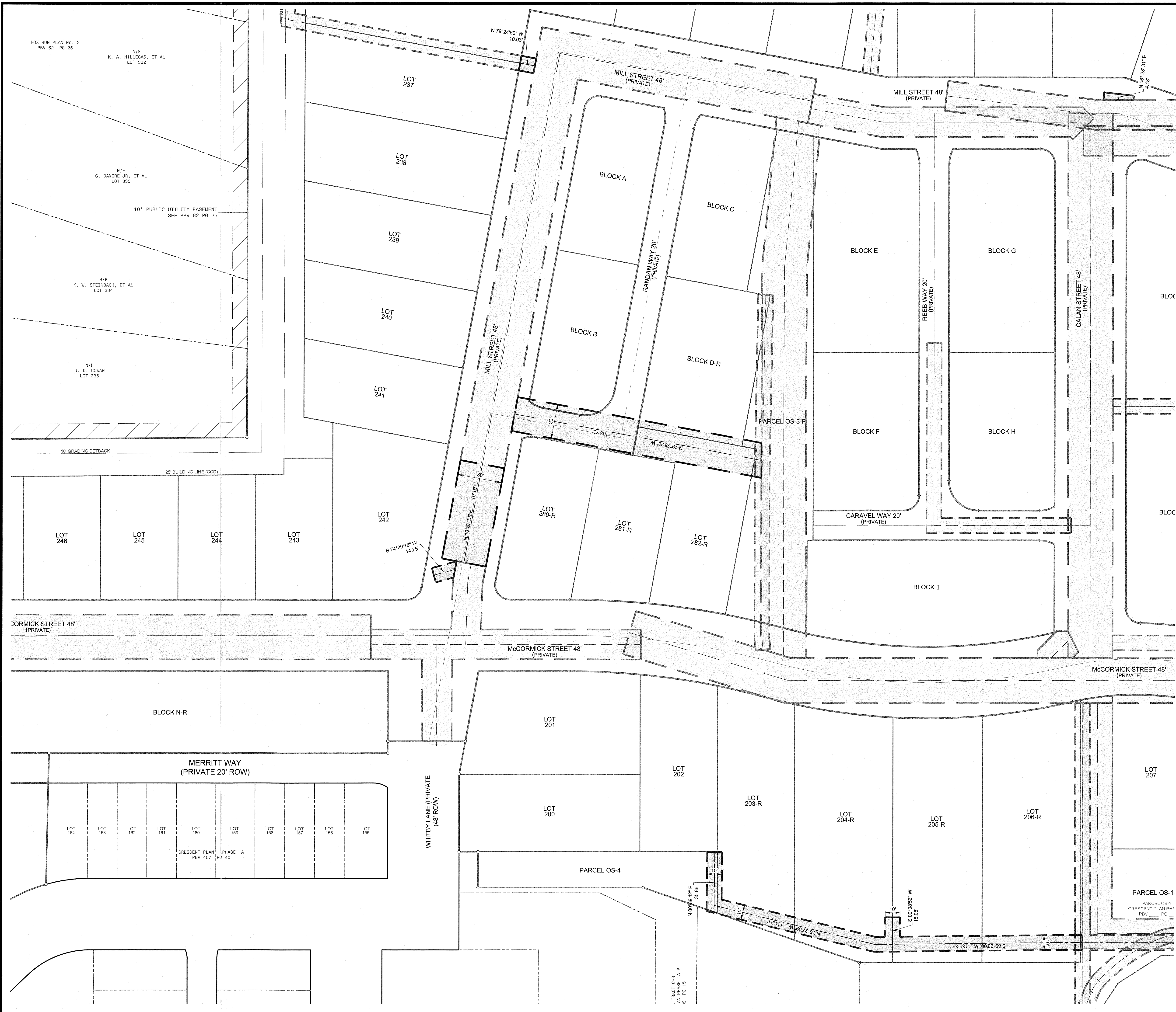
28' STORM SEWER RIGHT OF WAY PBV 173 PG 31

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MADE FOR
CHARTER HOMES AT CRESCENT, INC.

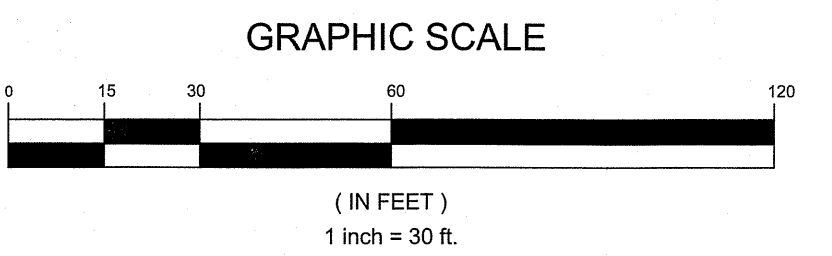


SHEET KEY

PLAN BOOK	PAGE
436	39

EASEMENT KEY:

- PUBLIC UTILITY EASEMENT
- CRANBERRY TOWNSHIP SANITARY EASEMENT
- CRANBERRY TOWNSHIP WATER EASEMENT
- PRIVATE STORMWATER EASEMENT
- STORMWATER ACCESS EASEMENT



NOTES:

1. ALL PRIVATE ROADS AND STORM WATER MANAGEMENT FACILITIES ARE TO BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.
2. THIS PLAN SUPERCEDES ALL PUBLIC AND PRIVATE ROAD RIGHT OF WAYS, LOT LINES, AND EASEMENTS AS SHOWN ON CRESCENT PLAN PHASE 2.

GATEWAY ENGINEERS

The Gateway Engineers, Inc.
Full-Service Civil Engineering & Surveying
100 McMorris Road, Pittsburgh, PA 15205
www.GatewayEngineers.com 855-634-9284

CRESCENT PLAN PHASE 2 - REVISION No. 1
BEING A REVISION OF CRESCENT PLAN PHASE 2, AS RECORDED IN THE BUTLER COUNTY RECORDER OF DEEDS OFFICE IN PLAN BOOK VOLUME ____, PAGE __.

SITUATE IN
**CRANBERRY TOWNSHIP
BUTLER COUNTY, PA**

MADE FOR
CRANBERRY REAL ESTATE HOLDINGS, LLC

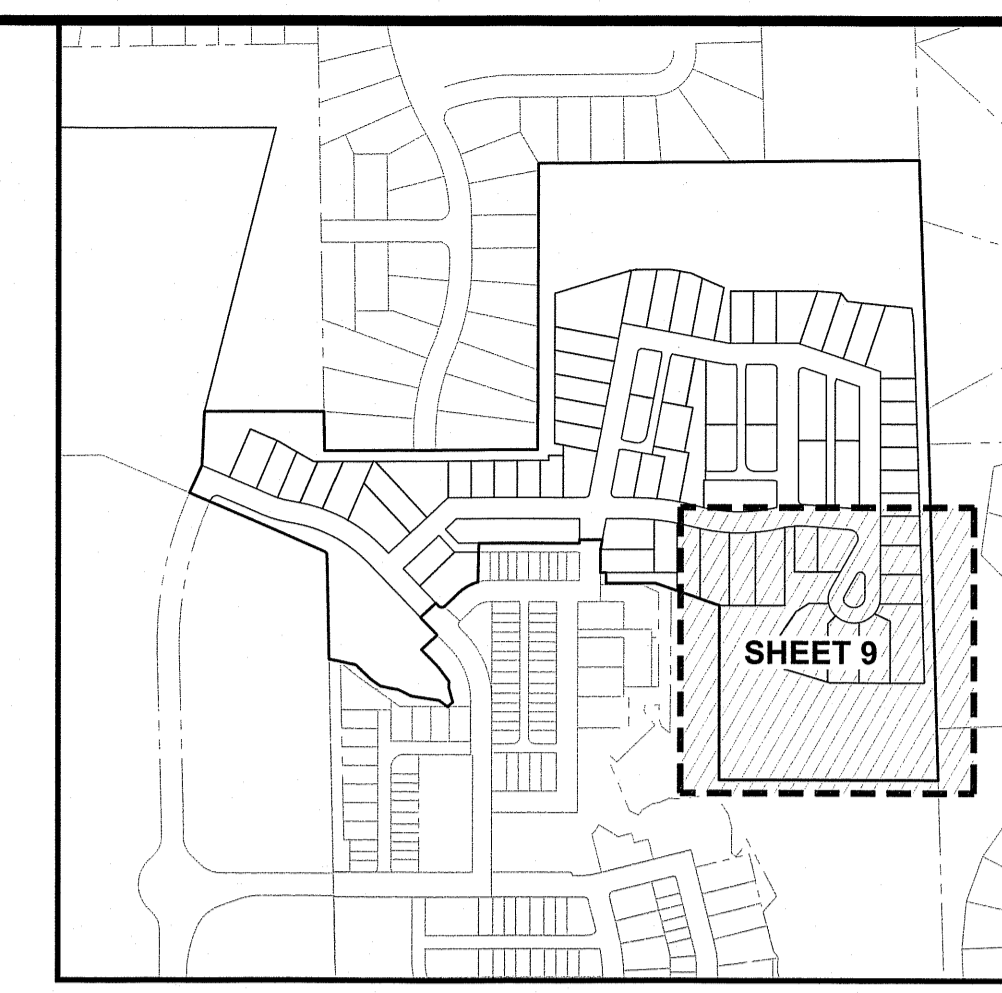
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Job Number: C-39677-0028

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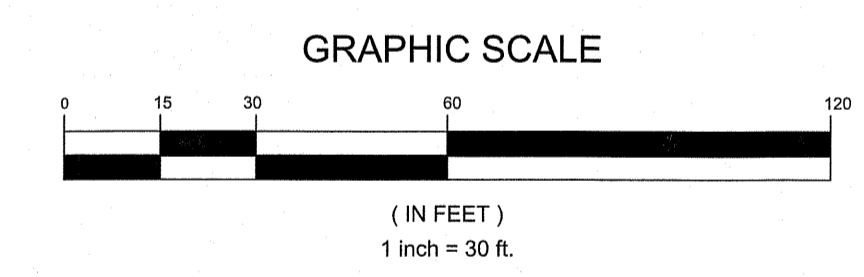
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PLAN BOOK	PAGE
436	40

EASEMENT KEY:

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3. ALL LOTS AND OPEN SPACES (OS) DESIGNATED WITH AN "R" HAVE BEEN REVISED SINCE THE RECORDING OF CRESCENT PLAN PHASE 2.

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BEING A REVISION OF CRESCENT PLAN PHASE 2, AS RECORDED IN THE BUTLER COUNTY RECORDER OF DEEDS OFFICE IN PLAN BOOK VOLUME 431, PAGE 21.

SITUATE IN
**CRANBERRY TOWNSHIP
BUTLER COUNTY, PA**

MADE FOR
CHARTER HOMES AT CRESCENT, INC.

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*	4 C600	LIGHT STANDARD
♿	10 C600	ADA SYMBOL
—	7 C601	CONCRETE WHEEL STOP
—	13 C601	TYPE 4A CURB RAMP
—	1 C601	DEEPSET CONCRETE CURB
—	4-5 C601	GRANITE CURB
—	10 C601	DEPRESSED GRANITE CURB
—	14 C601	CONCRETE SIDEWALK
—	VARIES C606	CONCRETE PAVEMENT
—	VARIES C606	ALLEY & PARKING LOT BITUMINOUS PAVING
—	VARIES C606	STREET & DRIVEWAY BITUMINOUS PAVEMENT
—	12 C600	CROSSWALK - STANDARD PIANO KEY
—	12 C600	CROSSWALK - HEAVY DUTY THERMOPLASTIC
—		TOWNHOME/LOFT
—		SINGLE FAMILY HOME
—		EXISTING WETLAND
—		SIGN
—		R.O.W. LINE (PRIVATE)
—		PROPERTY LINE
—		PHASE LINE
—		MAILBOX CLUSTER REFER TO PATTERN BOOK
—		STREET PARKING COUNT
—		RETAINING WALL
—		PROPOSED STREET WALL REFER TO PATTERN BOOK
—		STORM MANHOLE
—		STORM INLET
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—		SANITARY MANHOLE
—		10' GRADING SETBACK
—		25' BUILDING LINE
—		CHANNEL

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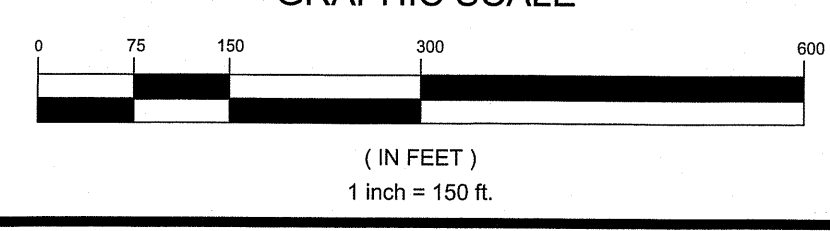
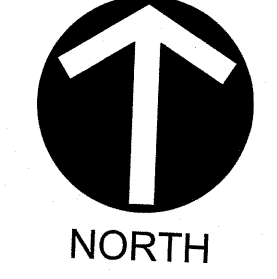
REVISED CRESCENT PHASE 2
MARS ROAD
CRANBERRY TOWNSHIP, PA 16066
PREPARED FOR:
CHARTER HOMES & NEIGHBORHOODS
322 NORTH ARCH STREET, FIRST FLOOR
LANCASTER, PA 17603

OVERALL SITE PLAN
Project Number: C-39977-0028
Drawing Scale: 1" = 150'
Date Issued: AUG. 2025
Index Number:
Drawn By: RRR
Checked By: DMH
Project Manager: DMH

PLAN BOOK	PAGE
436	42

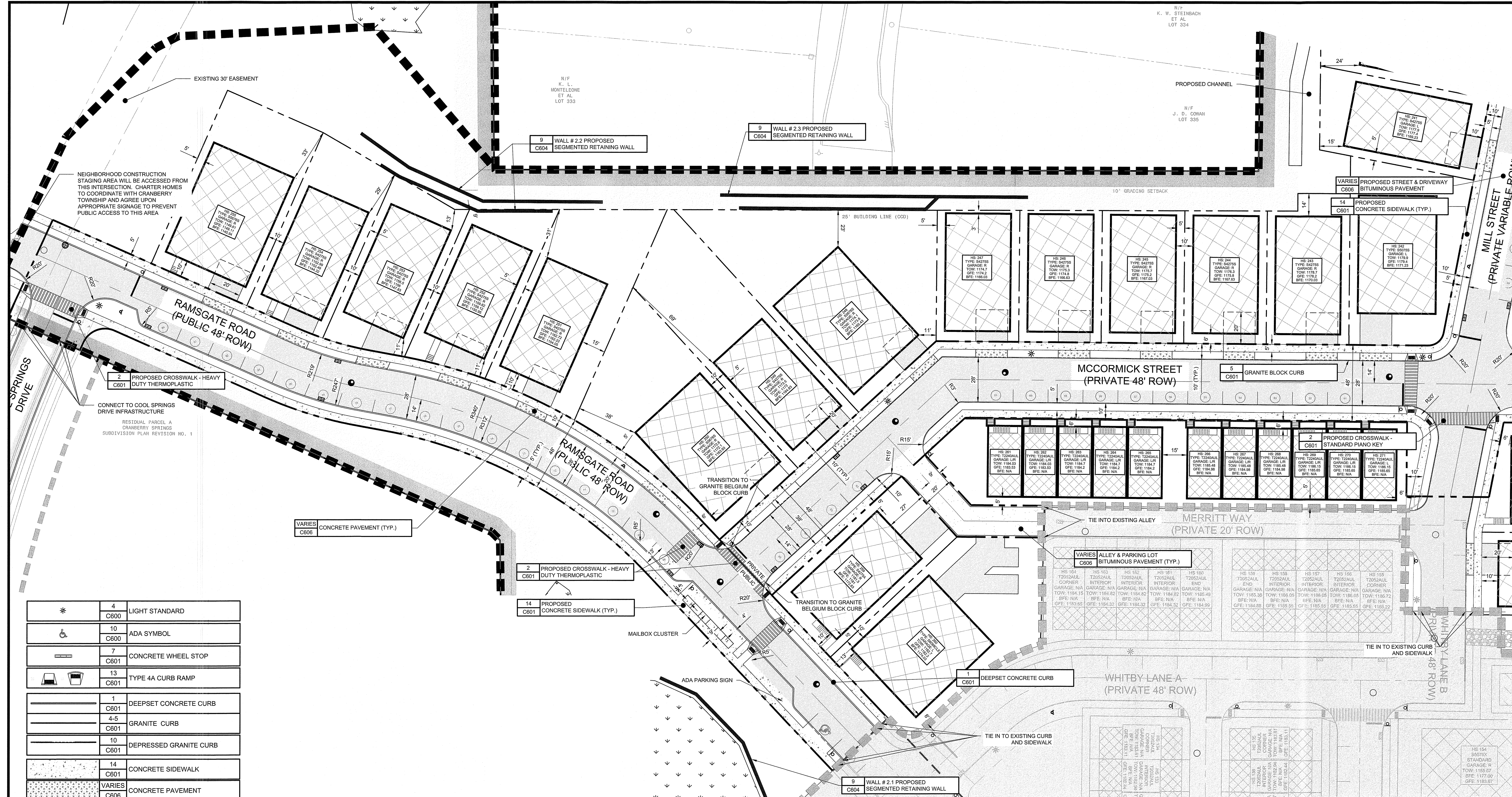


Serial No. 20243113219



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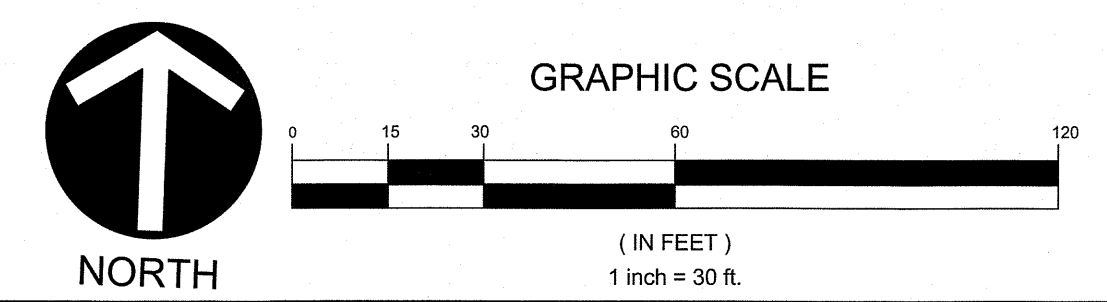
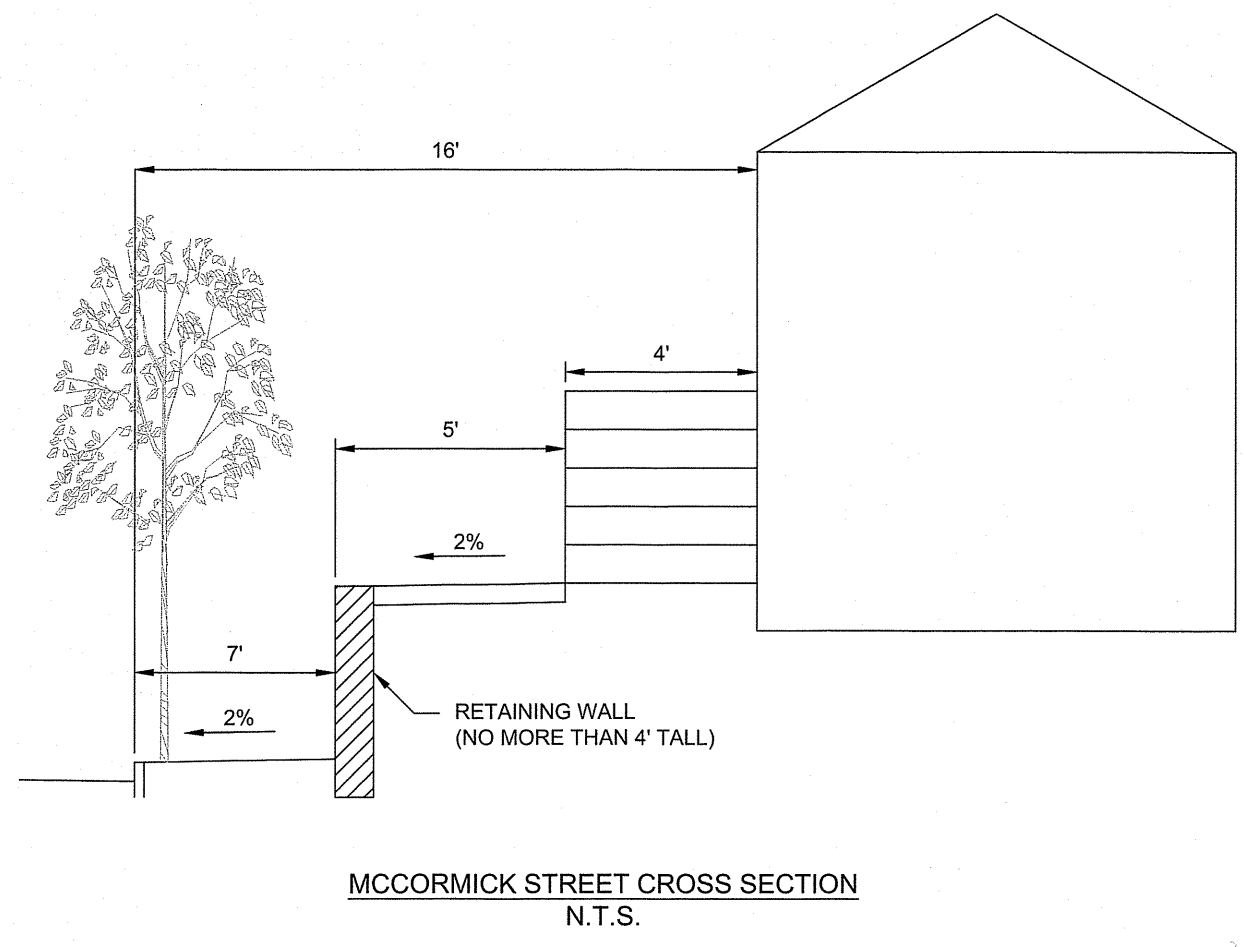


* C600	4	LIGHT STANDARD
♿ C600	10	ADA SYMBOL
— C601	7	CONCRETE WHEEL STOP
— C601	13	TYPE 4A CURB RAMP
— C601	1	DEEPCSET CONCRETE CURB
— C601	4-5	GRANITE CURB
— C601	10	DEPRESSED GRANITE CURB
— C601	14	CONCRETE SIDEWALK
VARIES C606		CONCRETE PAVEMENT
VARIES C606		ALLEY & PARKING LOT BITUMINOUS PAVING
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— C600	12	CROSSWALK - STANDARD PIANO KEY
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—		MAILBOX CLUSTER REFER TO PATTERN BOOK

○	STREET PARKING COUNT
—	RETAINING WALL
—	PROPOSED STREET WALL REFER TO PATTERN BOOK
⊗	STORM MANHOLE
⊞	STORM INLET
▼	FIRE HYDRANT
●	SANITARY MANHOLE
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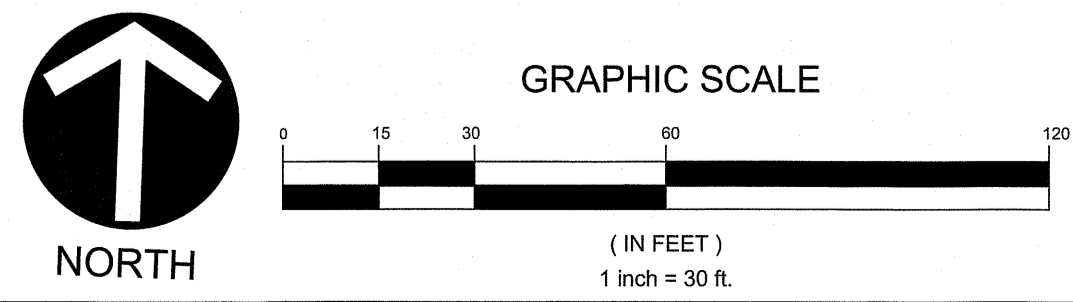
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REVISED CRESCENT PHASE 2
 MARS ROAD
 CRANBERRY TOWNSHIP, PA 16066

PREPARED FOR:
CHARTER HOMES & NEIGHBORHOODS
 322 NORTH ARCH STREET, FIRST FLOOR
 LANCASTER, PA 17603



* 4	C600	LIGHT STANDARD
10	C600	ADA SYMBOL
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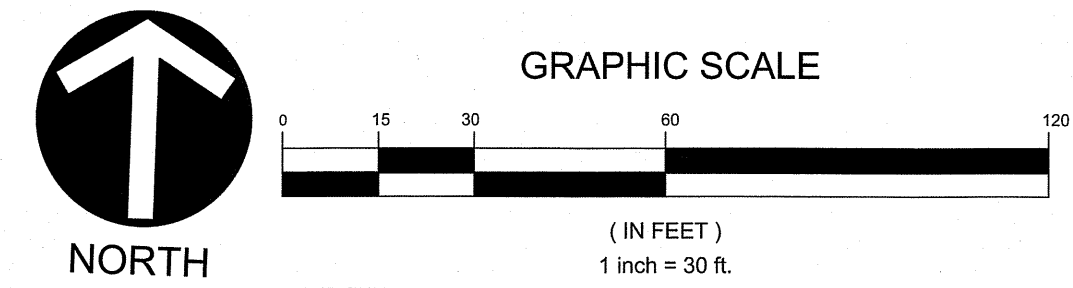
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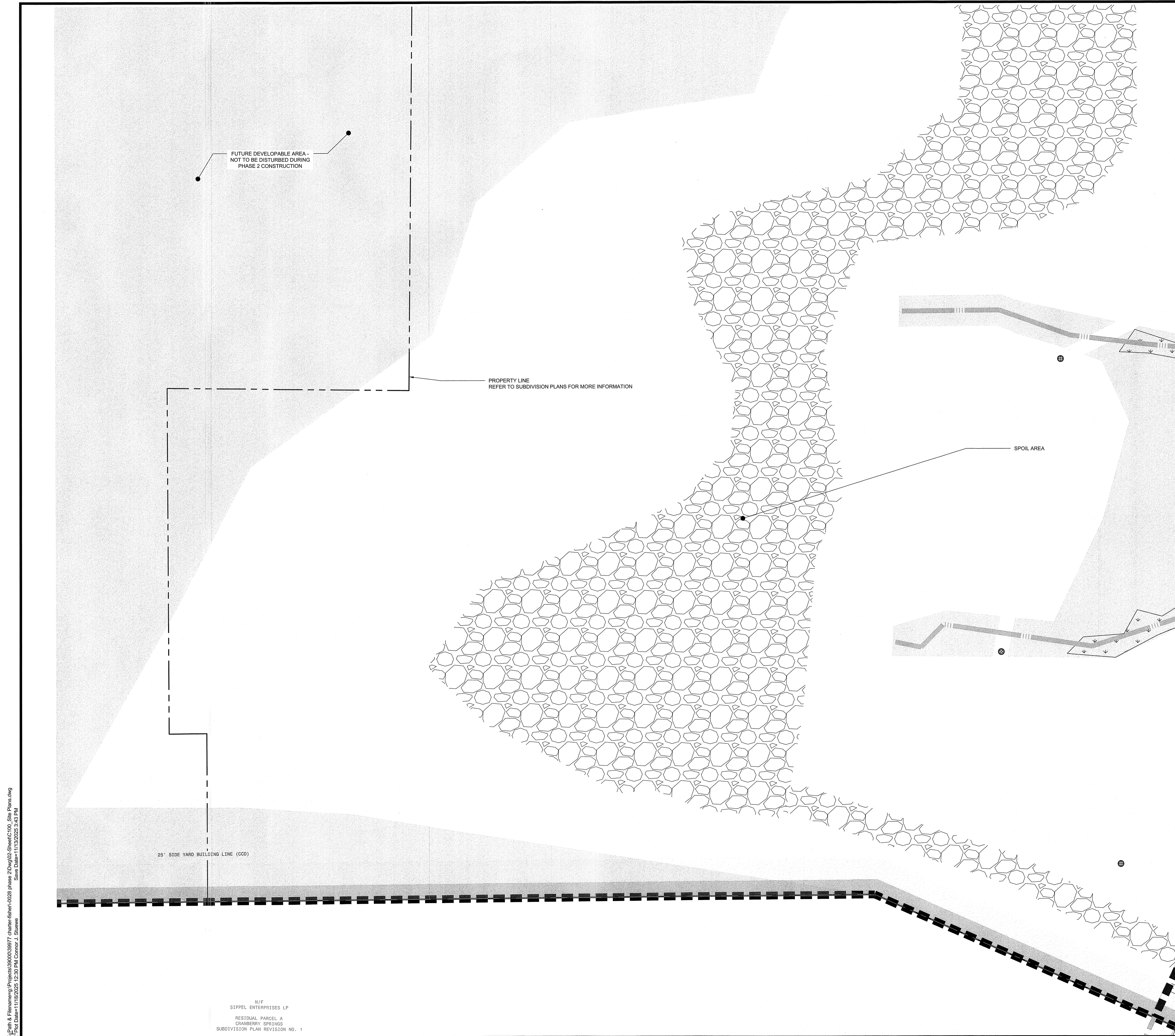
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PLAN BOOK	PAGE
436	45



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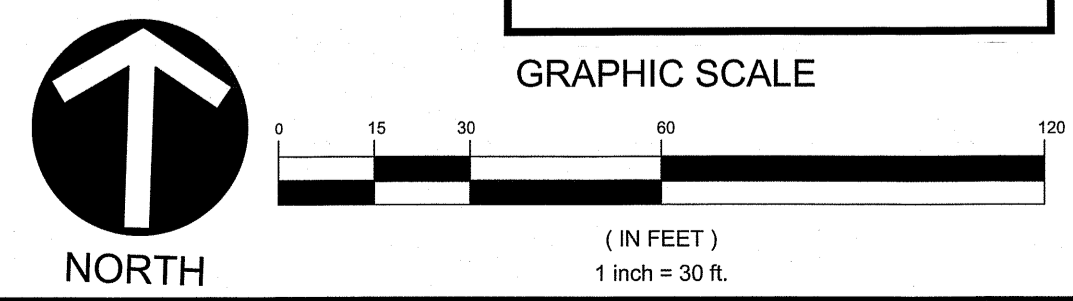
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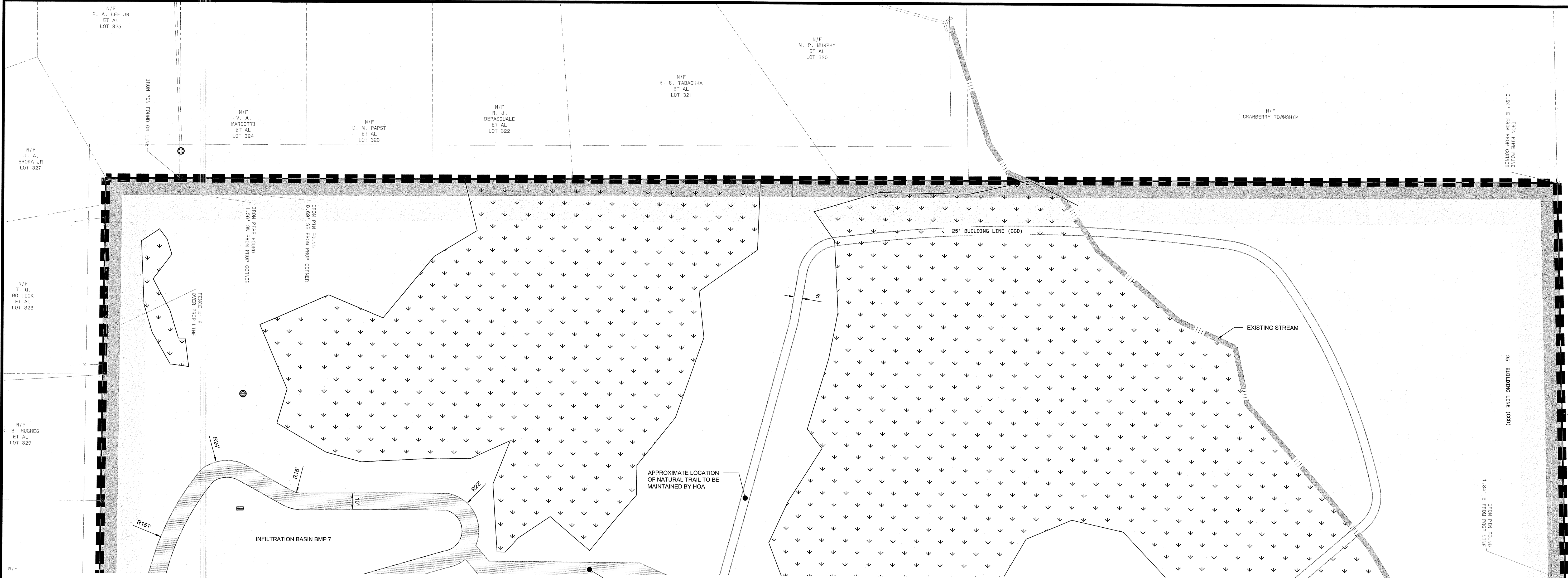
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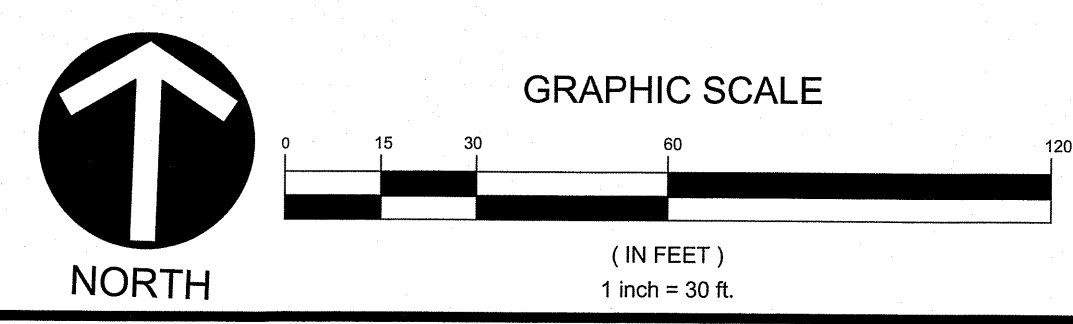
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- A MINIMUM OF TWO NEW MONUMENTS WILL BE PLACED IN ACCORDANCE WITH DETAIL 14 ON SHEET C600.
- PURSUANT TO SECTION 7.2 OF THE DECLARATION OF COVENANTS, RESTRICTIONS EASEMENTS AND ESTABLISHMENT OF NEIGHBORHOOD ASSOCIATION AT CRESCENT, A PLANNED COMMUNITY, RECORDED FEBRUARY 23, 2023 IN THE BUTLER COUNTY RECORDERS OFFICE AS INSTRUMENT NUMBER 202302230002464, THE CRESCENT NEIGHBORHOOD ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL RETAINING WALLS SHOWN ON THIS PLAN AND ASSOCIATED DRAINAGE FACILITIES.
- THE PRECISE LOCATION AND GEOMETRICAL LAYOUT OF ALL PEDESTRIAN FACILITIES DEPICTED ON THIS PLAN WILL BE ALTERED BY DEVELOPER TO FIT ACTUAL SITE CONDITIONS, RESOLVE ADDITIONAL CONFLICTS (ESPECIALLY WITH UTILITIES), AND IMPROVE DESIGN AND AESTHETICS. ALL PEDESTRIAN FACILITIES ARE OPEN TO THE PUBLIC AND CREATE A CONTINUOUS PEDESTRIAN PATHWAY CONNECTING THE POINTS OF ORIGIN AND TERMINUS OF SAID PEDESTRIAN FACILITIES AS SHOWN ON THIS PLAN.

6 BITUMINOUS PAVEMENT TRAIL

REVISION RECORD	
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02	2025-11-18
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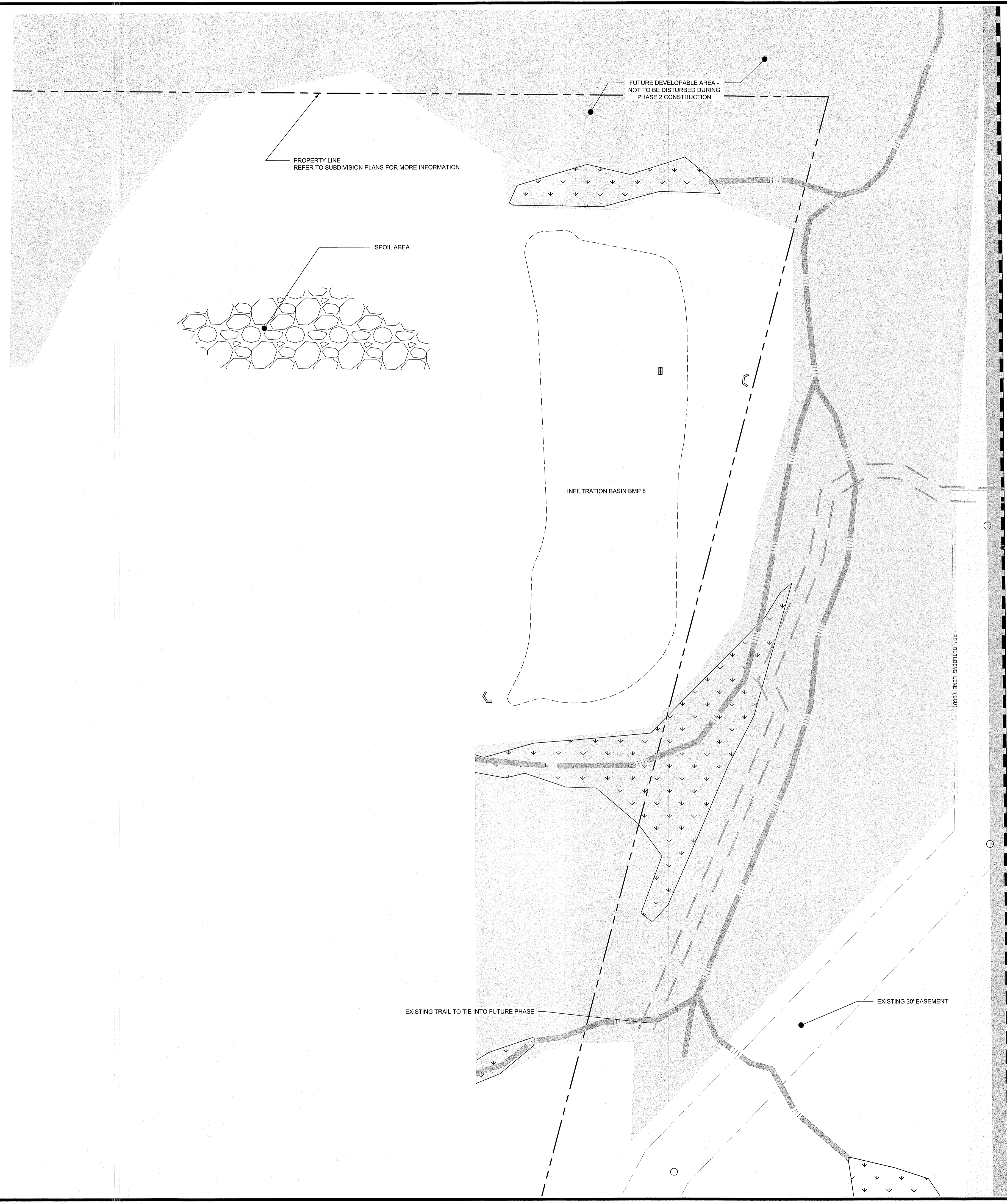
REVISED CRESCENT PHASE 2
MARS ROAD
CRANBERRY TOWNSHIP, PA 16066
PREPARED FOR:
CHARTER HOMES & NEIGHBORHOODS
322 NORTH ARCH STREET, FIRST FLOOR
LANCASTER, PA 17603

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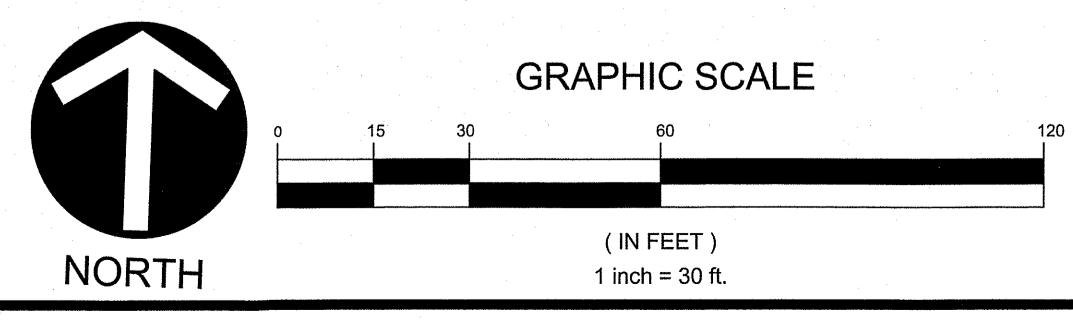
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*	4 C600	LIGHT STANDARD
♿	10 C600	ADA SYMBOL
—	7 C601	CONCRETE WHEEL STOP
⏏	13 C601	TYPE 4A CURB RAMP
—	1 C601	DEEPCSET CONCRETE CURB
—	4-5 C601	GRANITE CURB
—	10 C601	DEPRESSED GRANITE CURB
—	14 C601	CONCRETE SIDEWALK
—	VARIES C606	CONCRETE PAVEMENT
—	VARIES C606	ALLEY & PARKING LOT BITUMINOUS PAVING
—	VARIES C606	STREET & DRIVEWAY BITUMINOUS PAVEMENT
—	12 C600	CROSSWALK - STANDARD PIANO KEY
—	12 C600	CROSSWALK - HEAVY DUTY THERMOPLASTIC
—		TOWNHOME/LOFT
—		SINGLE FAMILY HOME
—		EXISTING WETLAND
—		SIGN
—		R.O.W. LINE (PRIVATE)
—		PROPERTY LINE
—		PHASE LINE
—		MAILBOX CLUSTER REFER TO PATTERN BOOK
—		STREET PARKING COUNT
—		RETAINING WALL
—		PROPOSED STREET WALL REFER TO PATTERN BOOK
⊕		STORM MANHOLE
⊞		STORM INLET
⋄		FIRE HYDRANT
⦿		SANITARY MANHOLE
—		10' GRADING SETBACK
—		25' BUILDING LINE
→		CHANNEL

- GENERAL SITE NOTES:
- ALL PROPOSED WALLS ARE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.
 - ALL SIDEWALKS WILL BE SEPARATED FROM DOWNGRADE SLOPES GREATER THAN 3:1 BY GUIDERAIL, FENCING, A FIVE-FOOT GRADING STRIP OR SHRUBBERY.
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 - A MINIMUM OF TWO NEW MONUMENTS WILL BE PLACED IN ACCORDANCE WITH DETAIL 14 ON SHEET C600.
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 -

PLAN BOOK	PAGE
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REVISION RECORD

No	Date	REVISION
01	2025-08-29	REVISED PHASE 2 SUBMISSION
02	2025-11-18	REVISED PHASE 2 SUBMISSION
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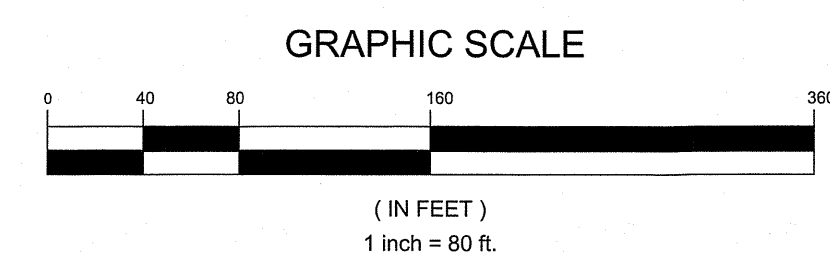
REFER TO THE FOLLOWING SHEETS FOR PLAN PROFILES

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C331	STORM SEWER PROFILES	C350	WATER PLAN / PROFILES
C332	STORM SEWER PROFILES	C351	WATER PLAN / PROFILES
C333	STORM SEWER PROFILES	C352	WATER PLAN / PROFILES
C334	STORM SEWER PROFILES	C353	WATER PLAN / PROFILES
C335	STORM SEWER PROFILES	C354	WATER PLAN / PROFILES
C340	SANITARY SEWER PROFILES	C355	WATER PLAN / PROFILES
C341	SANITARY SEWER PROFILES	C356	WATER LATERAL TABLE
C342	SANITARY SEWER PROFILES		
C343	SANITARY SEWER PROFILES		
C344	SANITARY SEWER PROFILES		

	PROPOSED STORM LINE
	PROPOSED SANITARY LINE
	PROPOSED WATER LINE
	PROPOSED 3-PHASE LOOP ELECTRIC CONDUIT
	PROPOSED TRANSFORMER PROPOSED PEDESTAL
	PROPOSED GAS LINE
	PROPOSED WATER LATERAL CONNECTION
	PROPOSED WATER VALVE
	5 C603 PROPOSED HYDRANT
	PROPOSED SANITARY LATERAL CONNECTION
	PROPOSED ROOF DRAINS
	CHANNEL

UTILITY PLAN NOTES:

- THE WATERLINE SHALL HAVE A MINIMUM OF 48" OF COVER AND HAVE AT LEAST 18" OF VERTICAL SEPARATION AND 3' HORIZONTAL SEPARATION FROM OTHER UTILITIES, UNLESS OTHERWISE NOTED ON THESE PLANS. REFER TO WATER PLAN/PROFILES FOR DETAILS OF WATERLINE CONSTRUCTION.
- WATERLINES LOCATED UNDER PROPOSED WALL SHALL BE SLEEVED IN ACCORDANCE WITH TOWNSHIP DETAIL SW-6.
- PROPOSED DOMESTIC SERVICE SHALL BE ONE CONTINUOUS RUN FROM CURB BOX TO METER SPREAD 1' INSIDE CURB UNLESS OTHERWISE NOTED.
- ALL ROOF DRAINS ARE TO BE 6" SDR-40 AT A MINIMUM 2% SLOPE UNLESS OTHERWISE NOTED.
- REFER TO SHEET C345 FOR ALL SANITARY SEWER LATERAL INFORMATION.
- ALL SANITARY SEWER LATERALS HAVE CLEANOUTS AT 1' INSIDE SIDEWALK UNLESS OTHERWISE NOTED. REFER TO DETAIL TOWNSHIP FOR CONNECTION TO BUILDINGS.
- ALL TRANSFORMERS AND PEDESTALS TO BE MOVED TO PROPERTY LINE/BACK OF SIDEWALK.
- SDR-35 PIPE IS NOT ACCEPTABLE FOR STORM WATER SYSTEM.
- FOR STORM SEWER DESIGN DETAIL REFER TO PLAN/PROFILE SHEETS C339-C358.
- FOR SANITARY SEWER DESIGN DETAIL REFER TO PLAN/PROFILE SHEETS C340-C344. SANITARY SERVICE TABLE ON SHEET C345.
- FOR WATERLINE DESIGN DETAIL REFER TO PLAN/PROFILE SHEETS C350-C355. WATER SERVICE TABLE ON SHEET C356.
- VENT PIPES AND CLEANOUTS ARE NOT PERMITTED TO BE LOCATED IN DRIVEWAYS, CART PATHS, WALKWAYS OR OTHER FINISHED SURFACE AREAS UNLESS PRIOR APPROVAL IS GRANTED BY THE TOWNSHIP. THE VENT CAP SHALL BE INSTALLED FOUR INCHES ABOVE GRADE TO PREVENT THE INFLOW OF WATER INTO THE SEWER LINE.



PLAN BOOK	PAGE
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REVISED CRESCENT PHASE 2
 MARS ROAD
 GRANBERRY TOWNSHIP, PA 16066
 PREPARED FOR:
 CHARTER HOMES & NEIGHBORHOODS
 322 NORTH ARCH STREET, FIRST FLOOR
 LANCASTER, PA 17603

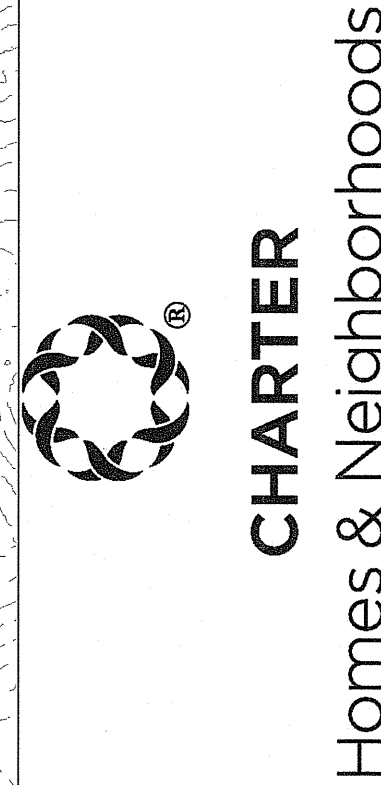
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 Index Number: --
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 Project Manager: DMH

C300

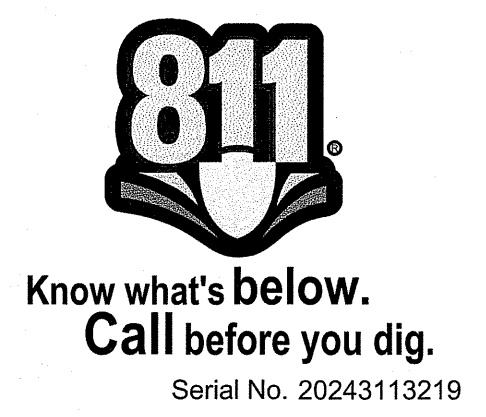


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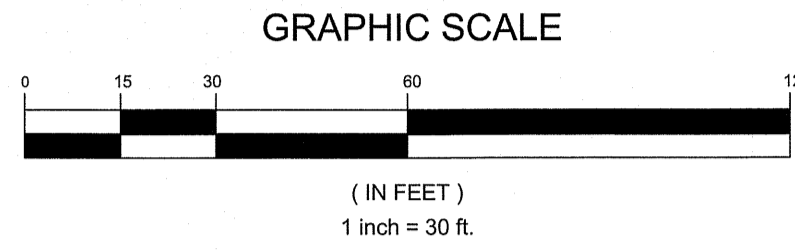
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	PROPOSED TRANSFORMER
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	PROPOSED GAS LINE
	PROPOSED WATER LATERAL CONNECTION
	PROPOSED WATER VALVE
	PROPOSED HYDRANT
	PROPOSED SANITARY LATERAL CONNECTION
	PROPOSED ROOF DRAINS
	CHANNEL

UTILITY PLAN NOTES:

1. THE WATERLINE SHALL HAVE A MINIMUM OF 48" OF COVER AND HAVE AT LEAST 18" OF VERTICAL SEPARATION AND 3' HORIZONTAL SEPARATION FROM OTHER UTILITIES, UNLESS OTHERWISE NOTED ON THESE PLANS. REFER TO WATER PLAN/PROFILES FOR DETAILS OF WATERLINE CONSTRUCTION.
2. WATERLINES LOCATED UNDER PROPOSED WALL SHALL BE SLEEVED IN ACCORDANCE WITH TOWNSHIP DETAIL SW-6.
3. PROPOSED DOMESTIC SERVICE SHALL BE ONE CONTINUOUS RUN FROM CURB BOX TO METER SPREAD 1' INSIDE CURB UNLESS OTHERWISE NOTED.
4. ALL ROOF DRAINS ARE TO BE 6" SDR-40 AT A MINIMUM 2% SLOPE UNLESS OTHERWISE NOTED.
5. REFER TO SHEET C345 FOR ALL SANITARY SEWER LATERAL INFORMATION.
6. ALL SANITARY SEWER LATERALS HAVE CLEANOUTS AT 1' INSIDE SIDEWALK UNLESS OTHERWISE NOTED. REFER TO DETAIL 7/C004 FOR CONNECTION TO BUILDINGS.
7. ALL TRANSFORMERS AND PEDESTALS TO BE MOVED TO PROPERTY LINE/BACK OF SIDEWALK.
8. SDR-36 PIPE IS NOT ACCEPTABLE FOR STORM WATER SYSTEM.
9. FOR STORM SEWER DESIGN DETAIL REFER TO PLAN/PROFILE SHEETS C330-C336.
10. FOR SANITARY SEWER DESIGN DETAIL REFER TO PLAN/PROFILE SHEETS C340-C344. SANITARY SERVICE TABLE ON SHEET C345.
11. FOR WATERLINE DESIGN DETAIL REFER TO PLAN/PROFILE SHEETS C350-C356. WATER SERVICE TABLE ON SHEET C356.
12. VENT PIPES AND CLEANOUTS ARE NOT PERMITTED TO BE LOCATED IN DRIVEWAYS, CART PATHS, WALKWAYS OR OTHER FINISHED SURFACE AREAS UNLESS PRIOR APPROVAL IS GRANTED BY THE TOWNSHIP. THE VENT CAP SHALL BE INSTALLED FOUR INCHES ABOVE GRADE TO PREVENT THE INFLOW OF WATER INTO THE SEWER LINE.



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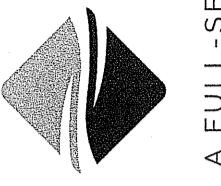


REFER TO THE FOLLOWING SHEETS FOR PLAN PROFILES

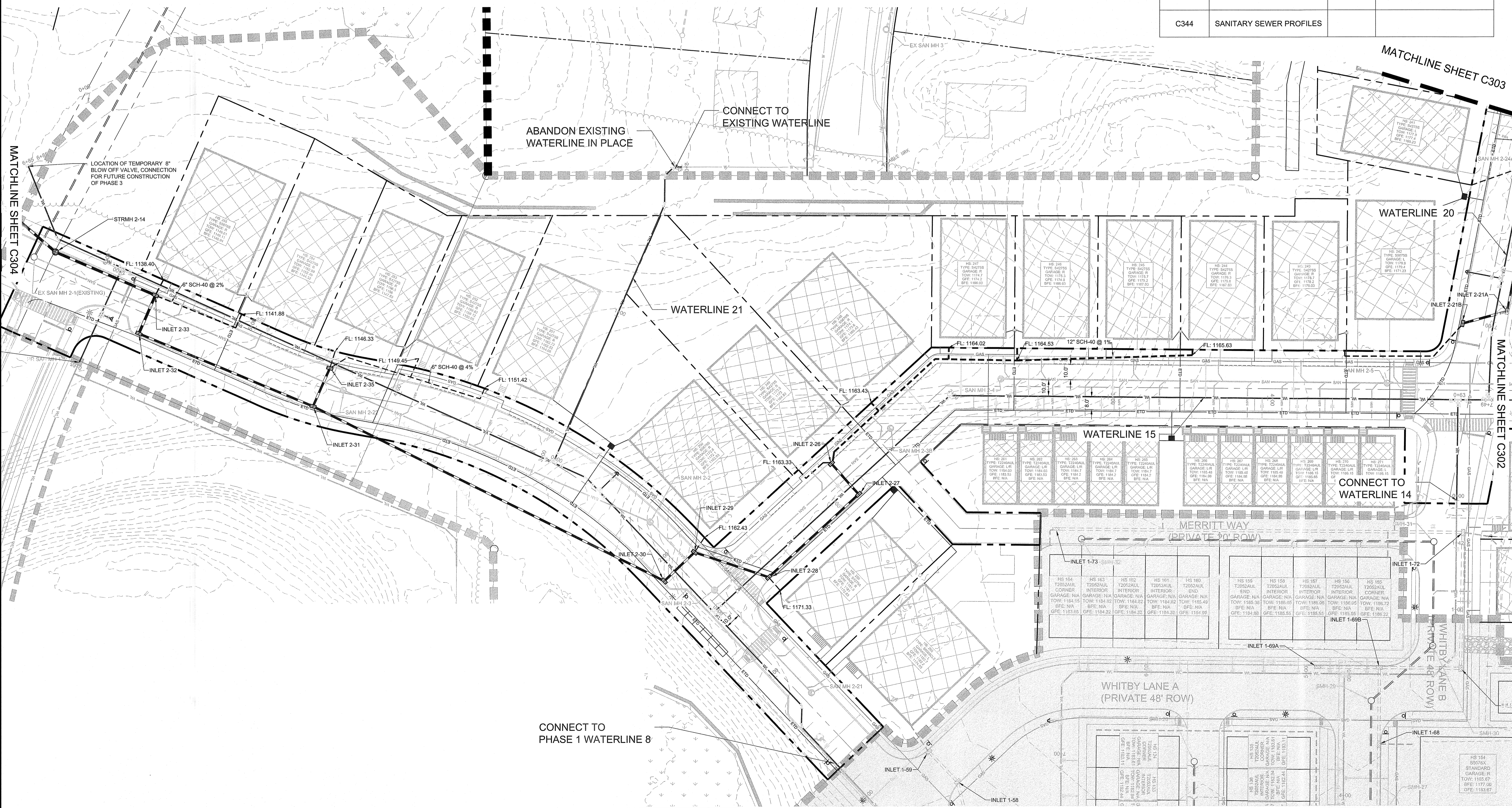
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C330	STORM SEWER PROFILES	C345	SANITARY SEWER PROFILES
C331	STORM SEWER PROFILES	C350	WATER PLAN / PROFILES
C332	STORM SEWER PROFILES	C351	WATER PLAN / PROFILES
C333	STORM SEWER PROFILES	C352	WATER PLAN / PROFILES
C334	STORM SEWER PROFILES	C353	WATER PLAN / PROFILES
C335	STORM SEWER PROFILES	C354	WATER PLAN / PROFILES
C340	SANITARY SEWER PROFILES	C355	WATER PLAN / PROFILES
C341	SANITARY SEWER PROFILES	C356	WATER LATERAL TABLE
C342	SANITARY SEWER PROFILES		
C343	SANITARY SEWER PROFILES		
C344	SANITARY SEWER PROFILES		

GATEWAY ENGINEERS



A FULL-SERVICE CIVIL ENGINEERING FIRM



REVISION RECORD	No	Date	Description
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REVISED PHASE 2 SUBMISSION	02	2025-11-18	
REVISED PHASE 2 SUBMISSION	03		
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CHARTER

Homes & Neighborhoods

REVISED CRESCENT PHASE 2

MARS ROAD
CRANBERRY TOWNSHIP, PA 16066

PREPARED FOR:

CHARTER HOMES & NEIGHBORHOODS

322 NORTH ARCH STREET, FIRST FLOOR
LANCASTER, PA 17603

UTILITY PLAN

Project Number: C-39977-0028
Drawing Scale: 1" = 30'
Date Issued: AUG. 2025
Index Number: --
Drawn By: RRR
Checked By: DMH
Project Manager: DMH

C301

	PROPOSED STORM LINE
	PROPOSED SANITARY LINE
	PROPOSED WATER LINE
	PROPOSED 3 PHASE LOOP ELECTRIC CONDUIT
	PROPOSED TRANSFORMER
	PROPOSED PEDESTAL
	PROPOSED GAS LINE
	PROPOSED WATER LATERAL CONNECTION
	PROPOSED WATER VALVE
	PROPOSED HYDRANT
	PROPOSED SANITARY LATERAL CONNECTION
	PROPOSED ROOF DRAINS
	CHANNEL

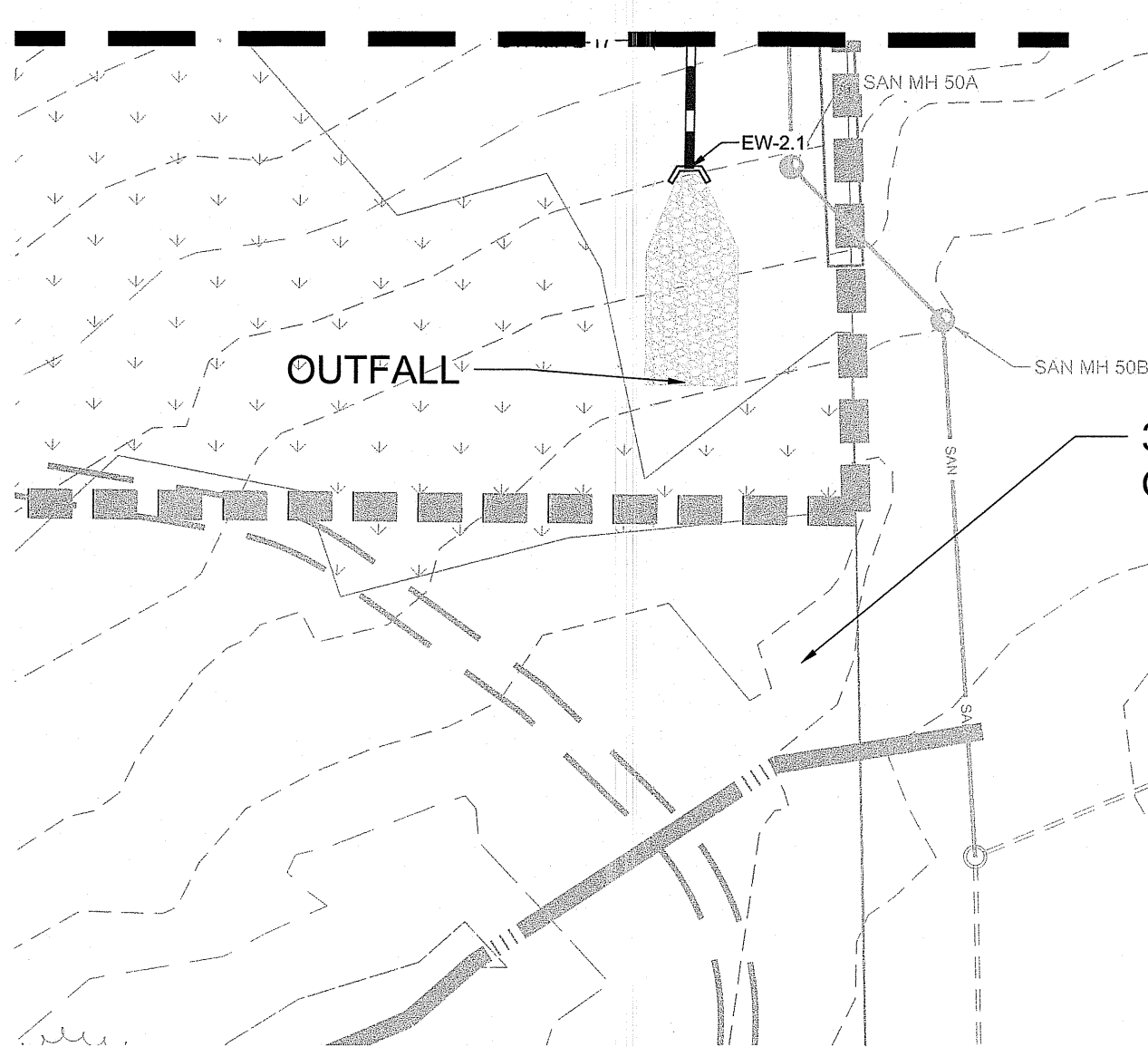
UTILITY PLAN NOTES:

1. THE WATERLINE SHALL HAVE A MINIMUM OF 48" OF COVER AND HAVE AT LEAST 16" OF VERTICAL SEPARATION AND 3" HORIZONTAL SEPARATION FROM OTHER UTILITIES, UNLESS OTHERWISE NOTED ON THESE PLANS. REFER TO WATER PLAN PROFILES FOR DETAILS OF WATERLINE CONSTRUCTION.
2. WATERLINES LOCATED UNDER PROPOSED WALL SHALL BE SLEEVED IN ACCORDANCE WITH TOWNSHIP DETAIL SW-4.
3. PROPOSED DOMESTIC SERVICE SHALL BE ONE CONTINUOUS RUN FROM CURB BOX TO METER SPREAD 1' INSIDE CURB UNLESS OTHERWISE NOTED.
4. ALL ROOF DRAINS ARE TO BE 6" SDR-40 AT A MINIMUM 2% SLOPE UNLESS OTHERWISE NOTED.
5. REFER TO SHEET C345 FOR ALL SANITARY SEWER LATERAL INFORMATION.
6. ALL SANITARY SEWER LATERALS HAVE CLEANOUTS AT 1' INSIDE SIDEWALK UNLESS OTHERWISE NOTED. REFER TO DETAIL 7/C604 FOR CONNECTION TO BUILDINGS.
7. ALL TRANSFORMERS AND PEDESTALS TO BE MOVED TO PROPERTY LINE/BACK OF SIDEWALK.
8. SDR-35 PIPE IS NOT ACCEPTABLE FOR STORM WATER SYSTEM.
9. FOR STORM SEWER DESIGN DETAIL REFER TO PLAN/PROFILE SHEETS C330-C336.
10. FOR SANITARY SEWER DESIGN DETAIL REFER TO PLAN/PROFILE SHEETS C340-C344. SANITARY SERVICE TABLE ON SHEET C345.
11. FOR WATERLINE DESIGN DETAIL REFER TO PLAN/PROFILE SHEETS C350-C355. WATER SERVICE TABLE ON SHEET C355.
12. VENT PIPES AND CLEANOUTS ARE NOT PERMITTED TO BE LOCATED IN DRIVEWAYS, CART PATHS, WALKWAYS OR OTHER FINISHED SURFACE AREAS UNLESS PRIOR APPROVAL IS GRANTED BY THE TOWNSHIP. THE VENT CAP SHALL BE INSTALLED FOUR INCHES ABOVE GRADE TO PREVENT THE INFLOW OF WATER INTO THE SEWER LINE.

REFER TO THE FOLLOWING SHEETS FOR PLAN PROFILES

C330	STORM SEWER PROFILES	C345	SANITARY SEWER PROFILES
C331	STORM SEWER PROFILES	C350	WATER PLAN / PROFILES
C332	STORM SEWER PROFILES	C351	WATER PLAN / PROFILES
C333	STORM SEWER PROFILES	C352	WATER PLAN / PROFILES
C334	STORM SEWER PROFILES	C353	WATER PLAN / PROFILES
C335	STORM SEWER PROFILES	C354	WATER PLAN / PROFILES
C340	SANITARY SEWER PROFILES	C355	WATER PLAN / PROFILES
C341	SANITARY SEWER PROFILES	C356	WATER LATERAL TABLE
C342	SANITARY SEWER PROFILES		
C343	SANITARY SEWER PROFILES		
C344	SANITARY SEWER PROFILES		

MATCHLINE THIS SHEET

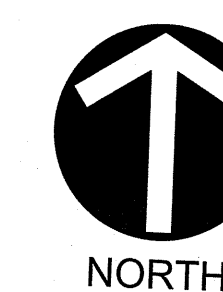


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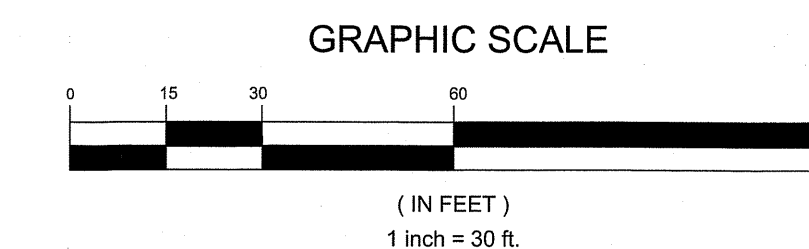


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NORTH



INSET #1
MATCHLINE THIS SHEET

GATEWAY ENGINEERS
A FULL-SERVICE CIVIL ENGINEERING FIRM

Date	No	REVISION RECORD	
		REVISED PHASE 2 SUBMISSION	REVISED PHASE 2 SUBMISSION
2025-08-29	01		
2025-11-18	02		
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CHARTER
Homes & Neighborhoods

REVISED CRESCENT PHASE 2
MARS ROAD
CRANBERRY TOWNSHIP, PA 16066

PREPARED FOR:
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322 NORTH ARCH STREET, FIRST FLOOR
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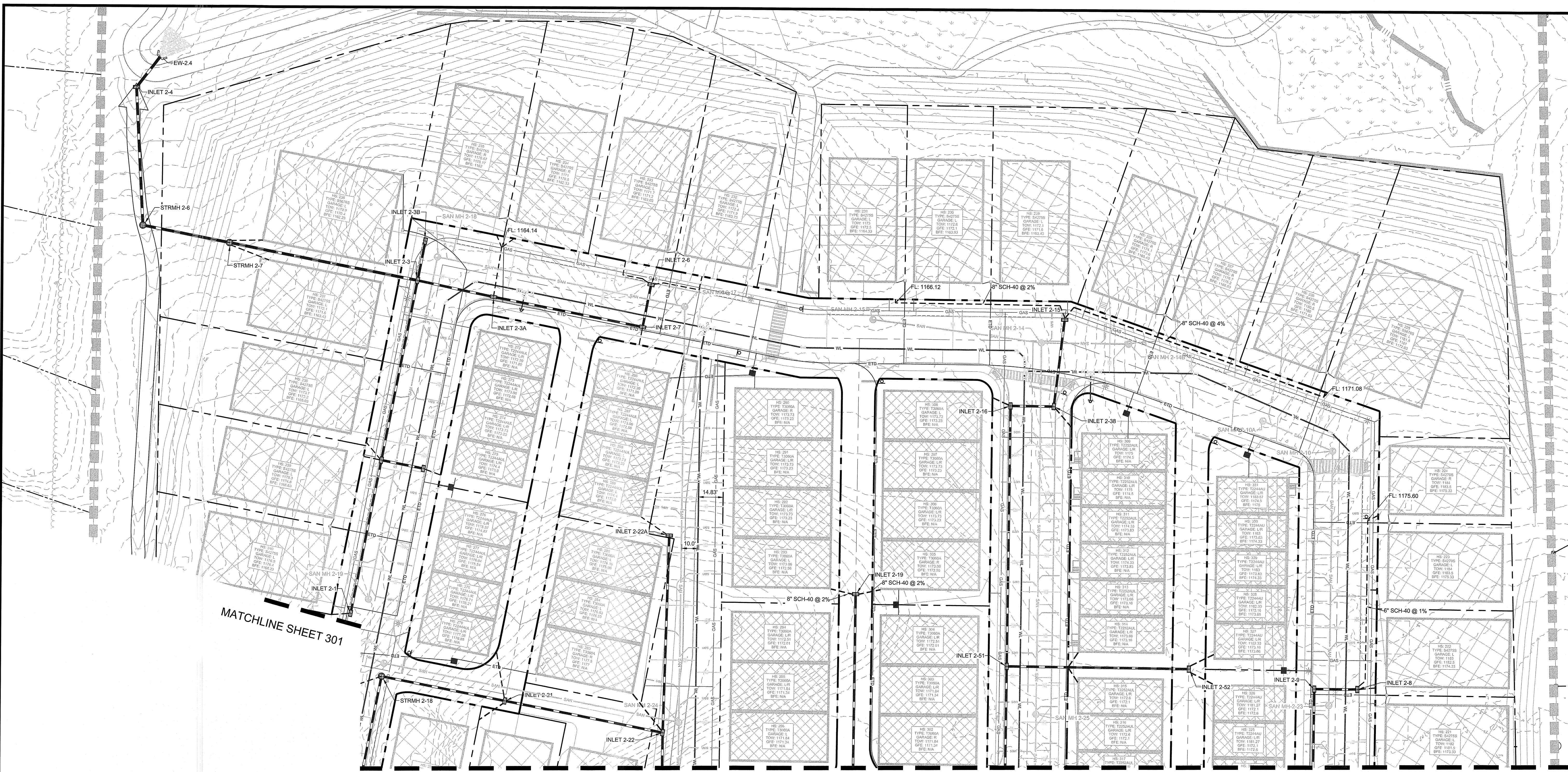
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Project Manager: DMH

C302

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MATCHLINE SHEET 301

MATCHLINE SHEET C302

REFER TO THE FOLLOWING SHEETS FOR PLAN PROFILES

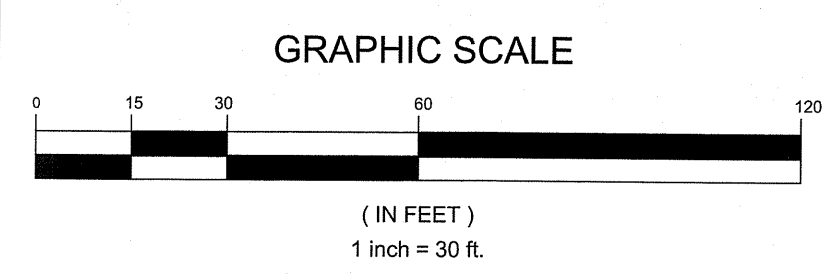
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C333	STORM SEWER PROFILES	C352	WATER PLAN / PROFILES
C334	STORM SEWER PROFILES	C353	WATER PLAN / PROFILES
C335	STORM SEWER PROFILES	C354	WATER PLAN / PROFILES
C340	SANITARY SEWER PROFILES	C355	WATER PLAN / PROFILES
C341	SANITARY SEWER PROFILES	C356	WATER LATERAL TABLE
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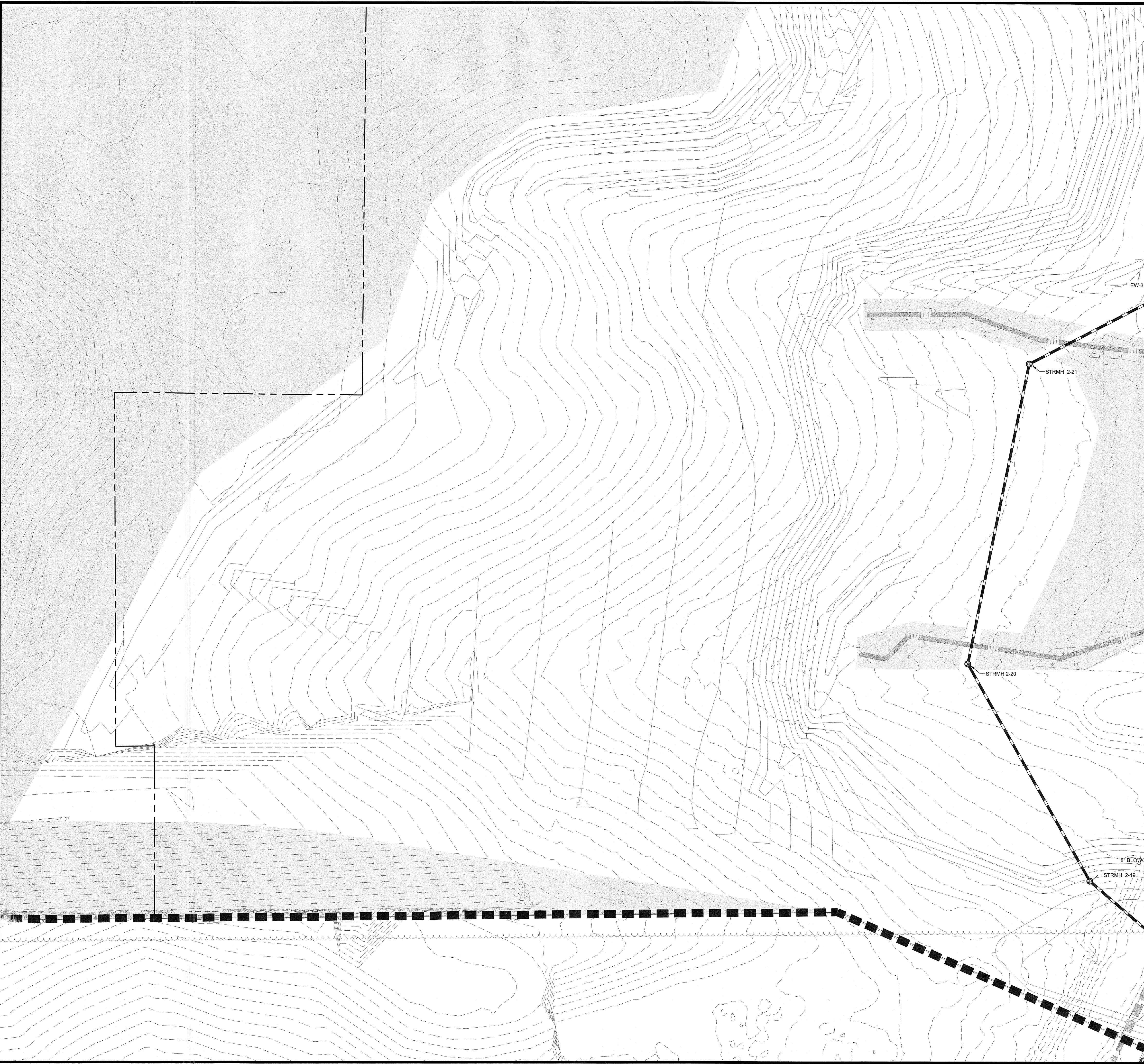
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	PROPOSED TRANSFORMER PEDESTAL
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	PROPOSED WATER LATERAL CONNECTION
	PROPOSED WATER VALVE
	PROPOSED HYDRANT
	PROPOSED SANITARY LATERAL CONNECTION
	PROPOSED ROOF DRAINS
	CHANNEL

UTILITY PLAN NOTES:

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- WATERLINES LOCATED UNDER PROPOSED WALL SHALL BE SLEEVED IN ACCORDANCE WITH TOWNSHIP DETAIL SW6.
- PROPOSED DOMESTIC SERVICE SHALL BE ONE CONTINUOUS RUN FROM CURB BOX TO METER SPREAD 1' INSIDE CURB UNLESS OTHERWISE NOTED.
- ALL ROOF DRAINS ARE TO BE 6" SDR-40 AT A MINIMUM 2% SLOPE UNLESS OTHERWISE NOTED.
- REFER TO SHEET C345 FOR ALL SANITARY SEWER LATERAL INFORMATION.
- ALL SANITARY SEWER LATERALS HAVE CLEANOUTS AT 1' INSIDE SIDEWALK UNLESS OTHERWISE NOTED. REFER TO DETAIL 710004 FOR CONNECTION TO BUILDINGS.
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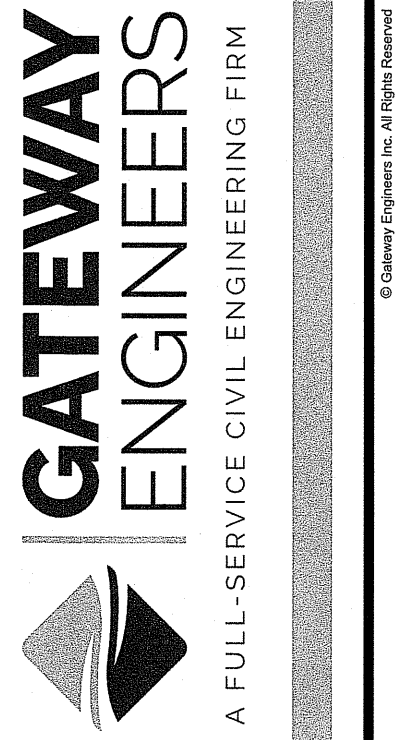
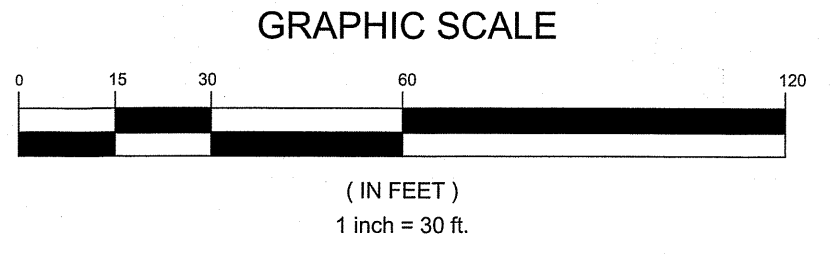
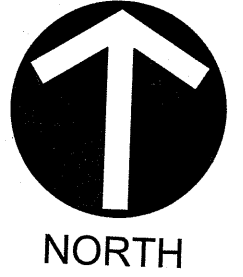
	PROPOSED STORM LINE
	PROPOSED SANITARY LINE
	PROPOSED WATER LINE
	PROPOSED 3 PHASE LOOP ELECTRIC CONDUIT
	PROPOSED TRANSFORMER PROPOSED PEDESTAL
	PROPOSED GAS LINE
	PROPOSED WATER LATERAL CONNECTION
	PROPOSED WATER VALVE
	PROPOSED HYDRANT
	PROPOSED SANITARY LATERAL CONNECTION
	PROPOSED ROOF DRAINS
	CHANNEL

- UTILITY PLAN NOTES:**
1. THE WATERLINE SHALL HAVE A MINIMUM OF 48" OF COVER AND HAVE AT LEAST 18" OF VERTICAL SEPARATION AND 3' HORIZONTAL SEPARATION FROM OTHER UTILITIES, UNLESS OTHERWISE NOTED ON THESE PLANS. REFER TO WATER PLAN PROFILES FOR DETAILS OF WATERLINE CONSTRUCTION.
 2. WATERLINES LOCATED UNDER PROPOSED WALL SHALL BE SLEEVED IN ACCORDANCE WITH TOWNSHIP DETAIL SW-4.
 3. PROPOSED DOMESTIC SERVICE SHALL BE ONE CONTINUOUS RUN FROM CURB BOX TO METER SPREAD 1' INSIDE CURB UNLESS OTHERWISE NOTED.
 4. ALL ROOF DRAINS ARE TO BE 6" SDR-40 AT A MINIMUM 2% SLOPE UNLESS OTHERWISE NOTED.
 5. REFER TO SHEET C345 FOR ALL SANITARY SEWER LATERAL INFORMATION.
 6. ALL SANITARY SEWER LATERALS HAVE CLEANOUTS AT 1' INSIDE SIDEWALK UNLESS OTHERWISE NOTED. REFER TO DETAIL 7/6/04 FOR CONNECTION TO BUILDINGS.
 7. ALL TRANSFORMERS AND PEDESTALS TO BE MOVED TO PROPERTY LINE/BACK OF SIDEWALK.
 8. SDR-35 PIPE IS NOT ACCEPTABLE FOR STORM WATER SYSTEM.
 9. FOR STORM SEWER DESIGN DETAIL REFER TO PLAN/PROFILE SHEET C330-C336.
 10. FOR SANITARY SEWER DESIGN DETAIL REFER TO PLAN/PROFILE SHEETS C340-C344. SANITARY SERVICE TABLE ON SHEET C345.
 11. FOR WATERLINE DESIGN DETAIL REFER TO PLAN/PROFILE SHEETS C350-C355. WATER SERVICE TABLE ON SHEET C356.
 12. VENT PIPES AND CLEANOUTS ARE NOT PERMITTED TO BE LOCATED IN DRIVEWAYS, CART PATHS, WALKWAYS OR OTHER FINISHED SURFACE AREAS UNLESS PRIOR APPROVAL IS GRANTED BY THE TOWNSHIP. THE VENT CAP SHALL BE INSTALLED FOUR INCHES ABOVE GRADE TO PREVENT THE INFLOW OF WATER INTO THE SEWER LINE.

REFER TO THE FOLLOWING SHEETS FOR PLAN PROFILES

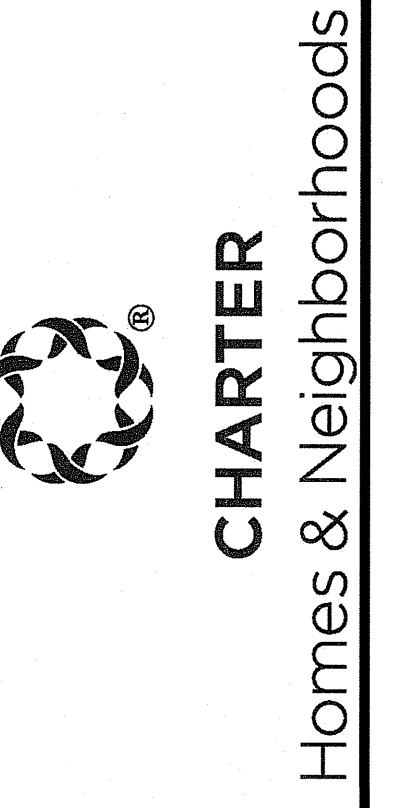
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C331	STORM SEWER PROFILES	C350	WATER PLAN / PROFILES
C332	STORM SEWER PROFILES	C351	WATER PLAN / PROFILES
C333	STORM SEWER PROFILES	C352	WATER PLAN / PROFILES
C334	STORM SEWER PROFILES	C353	WATER PLAN / PROFILES
C335	STORM SEWER PROFILES	C354	WATER PLAN / PROFILES
C340	SANITARY SEWER PROFILES	C355	WATER PLAN / PROFILES
C341	SANITARY SEWER PROFILES	C356	WATER LATERAL TABLE
C342	SANITARY SEWER PROFILES		
C343	SANITARY SEWER PROFILES		
C344	SANITARY SEWER PROFILES		

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REVISION RECORD

No	Date	Revised
01	2025-08-29	REVISED PHASE 2 SUBMISSION
02	2025-11-18	REVISED PHASE 2 SUBMISSION
03		
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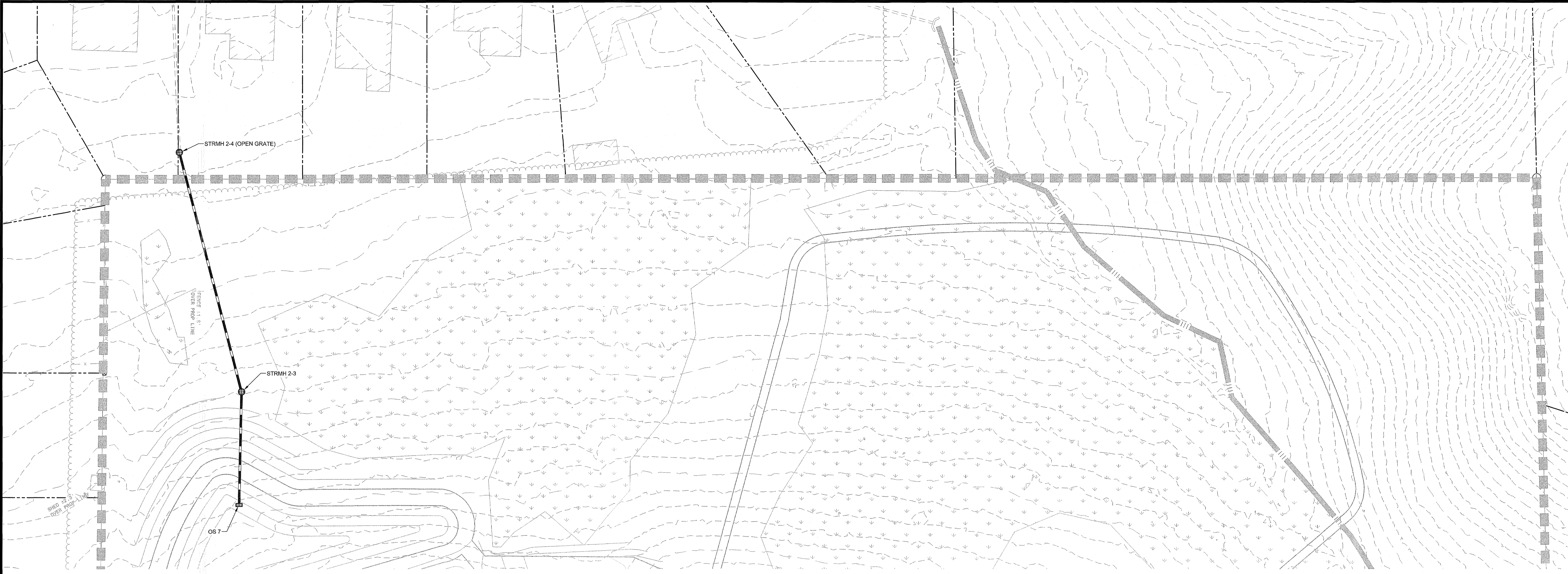
REVISED CRESCENT PHASE 2
 MARO ROAD
 CRANBERRY TOWNSHIP, PA 16066
 PREPARED FOR:
CHARTER HOMES & NEIGHBORHOODS
 322 NORTH ARCH STREET, FIRST FLOOR
 LANCASTER, PA 17603

UTILITY PLAN

Project Number: C-39977-0028
 Drawing Scale: 1" = 30'
 Date Issued: AUG. 2025
 Index Number: --
 Drawn By: RRR
 Checked By: DMH
 Project Manager: DMH

C304

REVISION RECORD		
Date	No	Description
2025-06-29	01	REVISED PHASE 2 SUBMISSION
2025-11-18	02	REVISED PHASE 2 SUBMISSION
-	03	-
-	04	-
-	05	-
-	06	-
-	07	-
-	08	-



REFER TO THE FOLLOWING SHEETS FOR PLAN PROFILES

C330	STORM SEWER PROFILES	C345	SANITARY SEWER PROFILES
C331	STORM SEWER PROFILES	C350	WATER PLAN / PROFILES
C332	STORM SEWER PROFILES	C351	WATER PLAN / PROFILES
C333	STORM SEWER PROFILES	C352	WATER PLAN / PROFILES
C334	STORM SEWER PROFILES	C353	WATER PLAN / PROFILES
C335	STORM SEWER PROFILES	C354	WATER PLAN / PROFILES
C340	SANITARY SEWER PROFILES	C355	WATER PLAN / PROFILES
C341	SANITARY SEWER PROFILES	C356	WATER LATERAL TABLE
C342	SANITARY SEWER PROFILES		
C343	SANITARY SEWER PROFILES		
C344	SANITARY SEWER PROFILES		

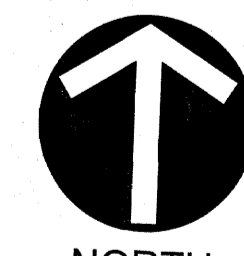
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	PROPOSED 3 PHASE LOOP ELECTRIC CONDUIT
	PROPOSED TRANSFORMER PROPOSED PEDESTAL
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	PROPOSED WATER VALVE
	PROPOSED HYDRANT 5 C803
	PROPOSED SANITARY LATERAL CONNECTION
	PROPOSED ROOF DRAINS
	CHANNEL

UTILITY PLAN NOTES:

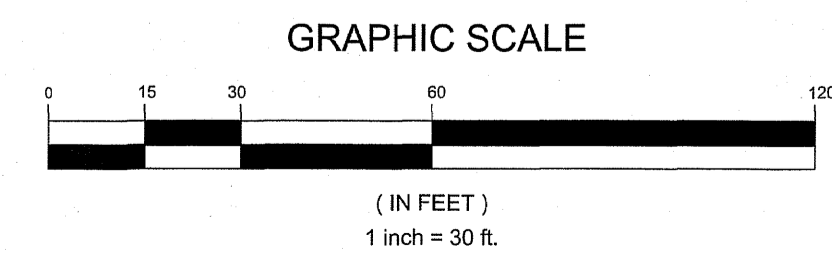
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- WATERLINES LOCATED UNDER PROPOSED WALL SHALL BE SLEEVED IN ACCORDANCE WITH TOWNSHIP DETAIL SW-6.
- PROPOSED DOMESTIC SERVICE SHALL BE ONE CONTINUOUS RUN FROM CURB BOX TO METER SPREAD 1' INSIDE CURB UNLESS OTHERWISE NOTED.
- ALL ROOF DRAINS ARE TO BE 6" SDR-40 AT A MINIMUM 2% SLOPE UNLESS OTHERWISE NOTED.
- REFER TO SHEET C345 FOR ALL SANITARY SEWER LATERAL INFORMATION.
- ALL SANITARY SEWER LATERALS HAVE CLEANOUTS AT 1' INSIDE SIDEWALK UNLESS OTHERWISE NOTED. REFER TO DETAIL 7/C604 FOR CONNECTION TO BUILDINGS.
- ALL TRANSFORMERS AND PEDESTALS TO BE MOVED TO PROPERTY LINE/BACK OF SIDEWALK.
- SDR-35 PIPE IS NOT ACCEPTABLE FOR STORM WATER SYSTEM.
- FOR STORM SEWER DESIGN DETAIL REFER TO PLAN/PROFILE SHEETS C330-C336.
- FOR SANITARY SEWER DESIGN DETAIL REFER TO PLAN/PROFILE SHEETS C340-C344. SANITARY SERVICE TABLE ON SHEET C345.
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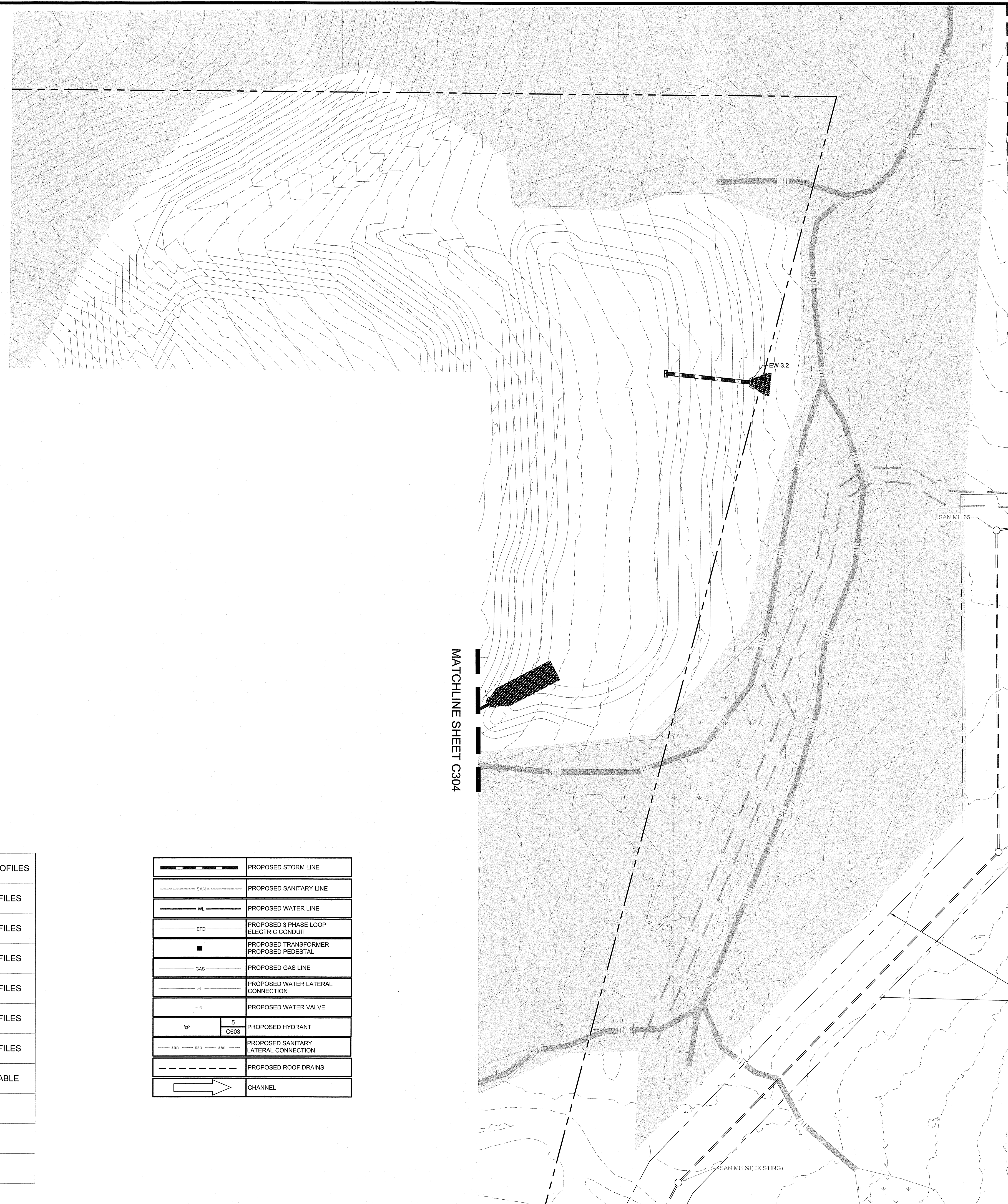
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NORTH



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UTILITY PLAN NOTES:

1. THE WATERLINE SHALL HAVE A MINIMUM OF 48" OF COVER AND HAVE AT LEAST 18" OF VERTICAL SEPARATION AND 3" HORIZONTAL SEPARATION FROM OTHER UTILITIES, UNLESS OTHERWISE NOTED ON THESE PLANS. REFER TO WATER PLAN/PROFILES FOR DETAILS OF WATERLINE CONSTRUCTION.
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REFER TO THE FOLLOWING SHEETS FOR PLAN PROFILES

C330	STORM SEWER PROFILES	C345	SANITARY SEWER PROFILES
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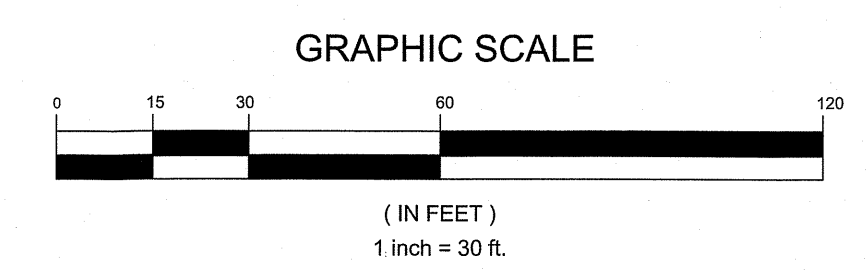
	PROPOSED STORM LINE
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	CHANNEL

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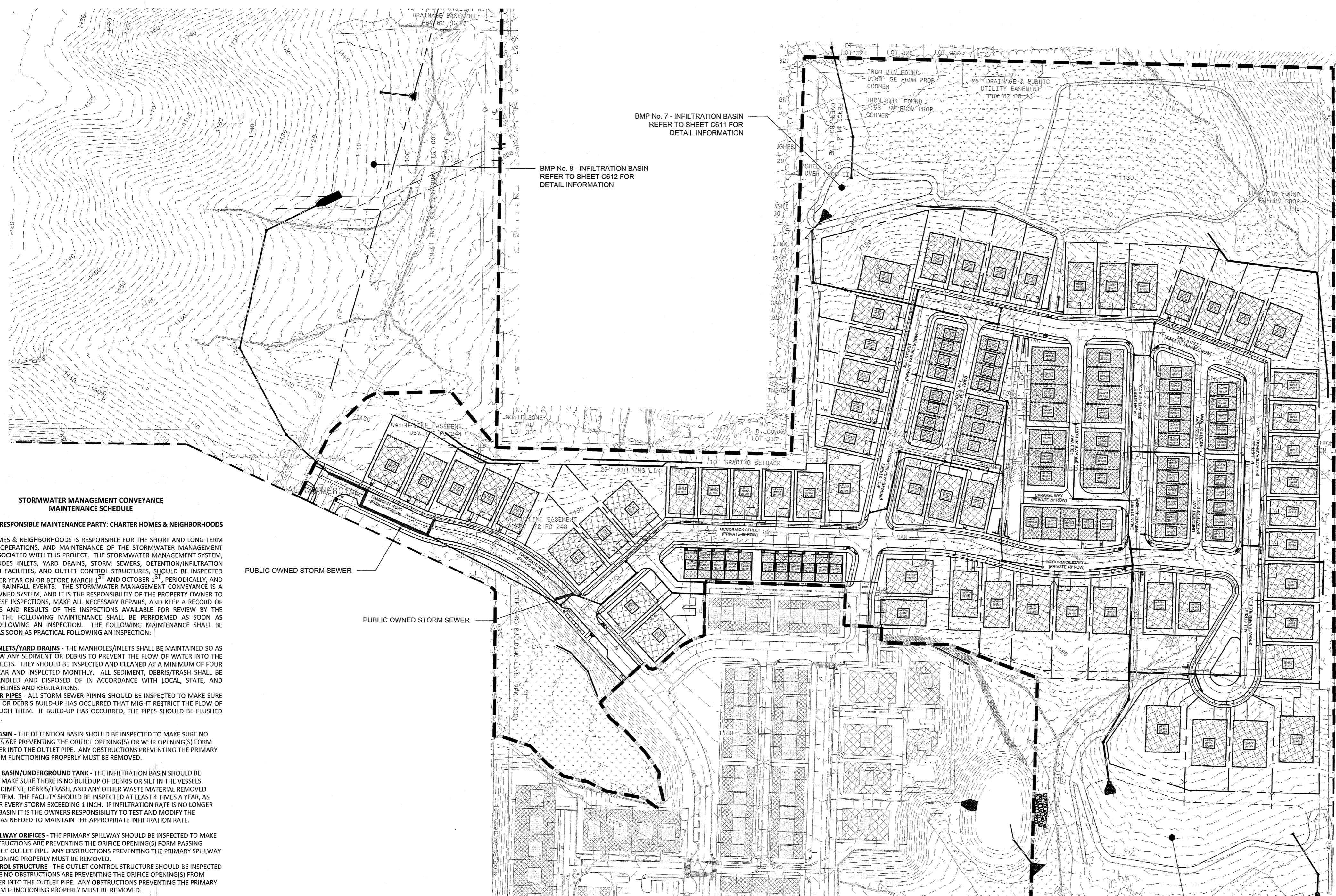
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- POST CONSTRUCTION STORMWATER MANAGEMENT NOTES:**
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF THE BID. SUBMISSION OF A BID SHALL BE CONSIDERED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
 - BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PENNSYLVANIA ONE CALL SYSTEMS, INC. AT 1-800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER MAN-HOLES, INLETS, AND DETENTION SYSTEMS.
 - AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
 - ALL STORM PIPE SHALL BE HDPE, SMOOTH INTERIOR, CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED. ALL STORM SEWER CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS. ALL JOINTS SHALL BE WATERTIGHT.
 - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
 - THE CONTRACTOR SHALL ASSURE THAT THERE IS POSITIVE DRAINAGE TO THE INLETS UPON PLACEMENT OF NEW PAVEMENT.

SWM NOTES:

IT SHALL BE UNLAWFUL TO ALTER OR REMOVE ANY PERMANENT STORMWATER BMP REQUIRED BY AN APPROVED SWM SITE PLAN OR TO ALLOW THE PROPERTY TO REMAIN IN A CONDITION THAT DOES NOT CONFORM TO AN APPROVED SWM SITE PLAN, UNLESS THE TOWNSHIP GRANTS AN EXCEPTION IN WRITING.

THE OWNER IS RESPONSIBLE FOR OPERATION AND MAINTENANCE OF THE STORMWATER BMPs. IF THE OWNER FAILS TO ADHERE TO THE OPERATION AND MAINTENANCE (O&M) AGREEMENT, THE TOWNSHIP MAY PERFORM THE SERVICES REQUIRED AND CHARGE THE OWNER APPROPRIATE FEES. NONPAYMENT OF FEES MAY RESULT IN A LIEN AGAINST THE PROPERTY. A NOTE SHALL BE PLACED ON THE RECORDED PLAN AS PER THE APPROVED STORMWATER MANAGEMENT PLAN, THE TOWNSHIP SHALL HAVE RIGHT OF ACCESS TO THE ON-SITE DETENTION FACILITY FOR THE RIGHT OF MAINTENANCE, MONITORING, AND/OR SAMPLING, IN THE EVENT THE OWNER, ASSIGNS OR HEIRS DO NOT ADEQUATELY MAINTAIN OR MONITOR THE FACILITY. THE OWNER, ASSIGNS OR HEIRS SHALL REIMBURSE THE TOWNSHIP FOR ALL COSTS ASSOCIATED WITH SAID MAINTENANCE, THE AFORESAID RIGHTS GRANTED TO THE TOWNSHIP IN NO WAY DIMINISH THE RESPONSIBILITY OF THE OWNER, ASSIGNS OR HEIRS OF SAID MAINTENANCE AND MONITORING, AND NO LIABILITY WILL BE ASSUMED BY THE TOWNSHIP ASSOCIATED WITH REQUIRED ACCESS FOR MAINTENANCE OR MONITORING PURPOSES. THE OWNER IS RESPONSIBLE FOR OPERATION AND MAINTENANCE OF THE STORMWATER BMPs. IF THE OWNER FAILS TO ADHERE TO THE OPERATION AND MAINTENANCE (O&M) AGREEMENT, THE TOWNSHIP MAY PERFORM THE SERVICES REQUIRED AND CHARGE THE OWNER APPROPRIATE FEES. NONPAYMENT OF FEES MAY RESULT IN A LIEN AGAINST THE PROPERTY. A NOTE SHALL BE PLACED ON THE RECORDED PLAN AS PER THE APPROVED STORMWATER MANAGEMENT PLAN, THE TOWNSHIP SHALL HAVE RIGHT OF ACCESS TO THE ON-SITE DETENTION FACILITY FOR THE RIGHT OF MAINTENANCE, MONITORING, AND/OR SAMPLING, IN THE EVENT THE OWNER, ASSIGNS OR HEIRS DO NOT ADEQUATELY MAINTAIN OR MONITOR THE FACILITY. THE OWNER, ASSIGNS OR HEIRS SHALL REIMBURSE THE TOWNSHIP FOR ALL COSTS ASSOCIATED WITH SAID MAINTENANCE, THE AFORESAID RIGHTS GRANTED TO THE TOWNSHIP IN NO WAY DIMINISH THE RESPONSIBILITY OF THE OWNER, ASSIGNS OR HEIRS OF SAID MAINTENANCE AND MONITORING, AND NO LIABILITY WILL BE ASSUMED BY THE TOWNSHIP ASSOCIATED WITH REQUIRED ACCESS FOR MAINTENANCE OR MONITORING PURPOSES.

NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, OR ALTER ANY EXISTING STORMWATER BMP, FACILITIES, AREAS, OR STRUCTURES, UNLESS IT IS PART OF AN APPROVED MAINTENANCE PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE TOWNSHIP.

FACILITIES, AREAS, OR STRUCTURES USED AS STORMWATER BMPs SHALL BE ENUMERATED AS PERMANENT REAL ESTATE APPURTENANCES AND RECORDED AS DEED RESTRICTIONS OR EASEMENTS THAT RUN WITH THE LAND.

ALL STORMWATER BMPs, STORM SEWER, AND ROOF DRAINS ARE TO BE OWNED AND MAINTAINED BY THE CRESCENT HOA UNLESS OTHERWISE NOTED AS PUBLIC STORM SEWER.

APPROVAL OF A STORMWATER MANAGEMENT PLAN BY THE TOWNSHIP SHALL NOT BE CONSTRUED AS AN INDICATION THAT SAID PLAN COMPLIES WITH THE REQUIREMENTS, LAWS OR STANDARDS OF ANY AGENCY OF THE COMMONWEALTH WHICH MAY OR MAY NOT GOVERN SAID ACTIVITY.

BASIN INSTALLATION CONSTRUCTION SEQUENCE:
 CONTRACTOR TO CONTACT ENGINEER DURING CONSTRUCTION OF BASINS AS THESE ARE CRITICAL STAGES OF CONSTRUCTION. ENGINEER TO BE ON SITE FOR BASIN AND OUTLET CONTROL INSTALLATION TO VERIFY CONSISTENCY WITH PROPOSED DESIGN.

STRIP TOPSOIL AND BEGIN CLEARING AND GRUBBING OPERATIONS FOR CONSTRUCTION OF INFILTRATION BASIN AS SHOWN ON C700R AND IN ACCORDANCE WITH CONSTRUCTION DETAILS ON C812. THESE FACILITIES WILL BE CONSTRUCTED AS PCSM BMPs ONLY.

- EXCAVATE BASIN AREA AND GRADE TO THE SLOPES INDICATED ON THE DETAIL SHEET.
- INSTALL ENDWALL AND OUTLET PIPE THROUGH EMBANKMENT WITH RIP RAP APRON ACCORDING TO DETAIL 4 ON SHEET C442.
- INSTALL OUTLET STRUCTURE.
- CONSTRUCT EMERGENCY OVERFLOW PER DETAIL SHEET.
- SEED AND MULCH AREA PER THE PERMANENT SEEDING SPECIFICATIONS.

STORMWATER MANAGEMENT CONVEYANCE MAINTENANCE SCHEDULE

OWNER AND RESPONSIBLE MAINTENANCE PARTY - CHARTER HOMES & NEIGHBORHOODS

CHARTER HOMES & NEIGHBORHOODS IS RESPONSIBLE FOR THE SHORT AND LONG TERM OWNERSHIP, OPERATIONS, AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES ASSOCIATED WITH THIS PROJECT. THE STORMWATER MANAGEMENT SYSTEM WHICH INCLUDES INLETS, YARD DRAINS, STORM SEWERS, DETENTION/INFILTRATION STORMWATER FACILITIES, AND OUTLET CONTROL STRUCTURES, SHOULD BE INSPECTED TWO TIMES PER YEAR ON OR BEFORE MARCH 31 AND OCTOBER 31 PERIODICALLY AND AFTER HEAVY RAINFALL EVENTS. THE STORMWATER MANAGEMENT CONVEYANCE IS A PRIVATELY OWNED SYSTEM, AND IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO PERFORM THESE INSPECTIONS, MAKE ALL NECESSARY REPAIRS, AND KEEP A RECORD OF THE FINDINGS AND RESULTS OF THE INSPECTIONS AVAILABLE FOR REVIEW BY THE TOWNSHIP. THE FOLLOWING MAINTENANCE SHALL BE PERFORMED AS SOON AS PRACTICAL FOLLOWING AN INSPECTION. THE FOLLOWING MAINTENANCE SHALL BE PERFORMED AS SOON AS PRACTICAL FOLLOWING AN INSPECTION:

MANHOLES/INLETS/YARD DRAINS - THE MANHOLES/INLETS SHALL BE MAINTAINED SO AS NOT TO ALLOW ANY SEDIMENT OR DEBRIS TO PREVENT THE FLOW OF WATER INTO THE MANHOLES/INLETS. THEY SHOULD BE INSPECTED AND CLEANED AT A MINIMUM OF FOUR TIMES PER YEAR AND INSPECTED MONTHLY. ALL SEDIMENT, DEBRIS/TRASH SHALL BE PROPERLY HANDLED AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL GUIDELINES AND REGULATIONS.

STORM SEWER PIPES - ALL STORM SEWER PIPING SHOULD BE INSPECTED TO MAKE SURE NO SEDIMENT OR DEBRIS BUILD-UP HAS OCCURRED THAT MIGHT RESTRICT THE FLOW OF WATER THROUGH THEM. IF BUILD-UP HAS OCCURRED, THE PIPES SHOULD BE FLUSHED AND CLEANED.

DETENTION BASIN - THE DETENTION BASIN SHOULD BE INSPECTED TO MAKE SURE NO OBSTRUCTIONS ARE PREVENTING THE ORIFICE OPENING(S) FROM PASSING WATER INTO THE OUTLET PIPE. ANY OBSTRUCTIONS PREVENTING THE PRIMARY SPILLWAY FROM FUNCTIONING PROPERLY MUST BE REMOVED.

INFILTRATION BASIN/UNDERGROUND TANK - THE INFILTRATION BASIN SHOULD BE INSPECTED TO MAKE SURE THERE IS NO BUILDUP OF DEBRIS OR SILT IN THE VESSELS. DISPOSE OF SEDIMENT, DEBRIS/TRASH, AND ANY OTHER WASTE MATERIAL REMOVED FROM THE SYSTEM. THE FACILITY SHOULD BE INSPECTED AT LEAST 4 TIMES A YEAR, AS WELL AS AFTER EVERY STORM EXCEEDING 1 INCH. IF INFILTRATION RATE IS NO LONGER ACHIEVED BY BASIN IT IS THE OWNERS RESPONSIBILITY TO TEST AND MODIFY THE EXISTING SOIL AS NEEDED TO MAINTAIN THE APPROPRIATE INFILTRATION RATE.

PRIMARY SPILLWAY ORIFICES - THE PRIMARY SPILLWAY SHOULD BE INSPECTED TO MAKE SURE NO OBSTRUCTIONS ARE PREVENTING THE ORIFICE OPENING(S) FROM PASSING WATER INTO THE OUTLET PIPE. ANY OBSTRUCTIONS PREVENTING THE PRIMARY SPILLWAY FROM FUNCTIONING PROPERLY MUST BE REMOVED.

OUTLET CONTROL STRUCTURE - THE OUTLET CONTROL STRUCTURE SHOULD BE INSPECTED TO MAKE SURE NO OBSTRUCTIONS ARE PREVENTING THE ORIFICE OPENING(S) FROM PASSING WATER INTO THE OUTLET PIPE. ANY OBSTRUCTIONS PREVENTING THE PRIMARY SPILLWAY FROM FUNCTIONING PROPERLY MUST BE REMOVED.

UNDERDRAIN - THE UNDERDRAIN FOR THE BASIN SHALL BE IN THE CLOSED POSITION, EXCEPT FOR MAINTENANCE PURPOSES. IF THE UNDERDRAIN IS OPENED, RETURN IT TO THE CLOSED POSITION ONCE MAINTENANCE OPERATIONS ARE COMPLETED. THE UNDERDRAIN SHOULD BE INSPECTED AND TESTED 4 TIMES PER YEAR.

RIPPRAP APRONS - INSPECT WEEKLY AND AFTER EVERY RUNOFF EVENT FOR SEDIMENT ACCUMULATIONS AND/OR APRON WASHOUT. RESHAPE AS NECESSARY AND REPLACE WITH LARGER SIZE RIPRAP IF NECESSARY.

IN ADDITION TO THESE MEASURES, ALL MAINTENANCE REQUIREMENTS OF CRANBERRY TOWNSHIP MUST BE FOLLOWED.

ENGINEER:

"I, _____, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE CRANBERRY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE."

 SIGNATURE DATE

TOWNSHIP ENGINEER/APPROVED REPRESENTATIVE:

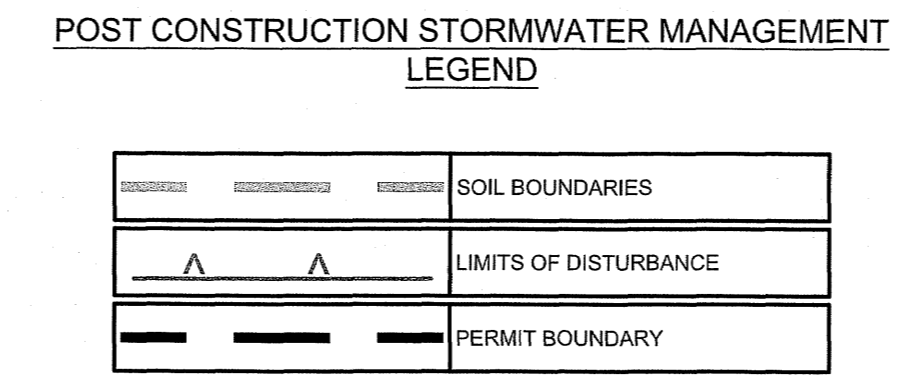
"I, _____, HAVE REVIEWED THIS STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF THE CRANBERRY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE."

 SIGNATURE DATE

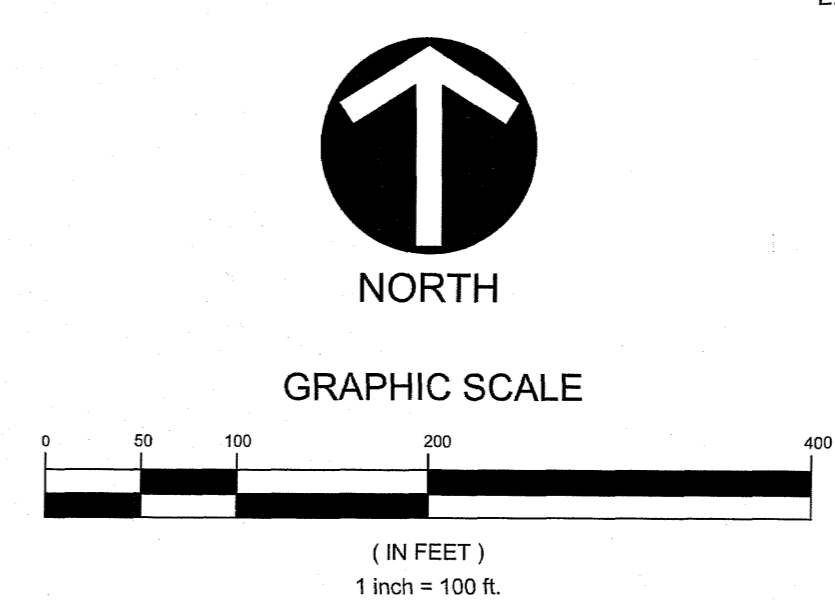
LANDOWNER:

IT SHALL BE UNLAWFUL TO ALTER OR REMOVE ANY PERMANENT STORMWATER BMP REQUIRED BY AN APPROVED STORMWATER MANAGEMENT PLAN OR ALLOW THE PROPERTY TO REMAIN IN A CONDITION WHICH DOES NOT CONFORM TO AN APPROVED STORMWATER MANAGEMENT PLAN, UNLESS THE TOWNSHIP GRANTS AN EXCEPTION IN WRITING.

 OWNER SIGNATURE DATE



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REVISED CRESCENT PHASE 2
 MARS ROAD
 CRANBERRY TOWNSHIP, PA 16066

PREPARED FOR:
CHARTER HOMES & NEIGHBORHOODS
 322 NORTH ARCH STREET, FIRST FLOOR
 LANCASTER, PA 17603

PCSM RECORDING PLAN

REVISION RECORD	No.	Date
REVISED PHASE 2 SUBMISSION	01	2025-06-29
REVISED PHASE 2 SUBMISSION	02	2025-11-18
	03	
	04	
	05	
	06	
	07	
	08	

Project Number: C-39977-0028
 Drawing Scale: 1" = 100'
 Date Issued: AUG. 2025
 Index Number: --
 Drawn By: RRR
 Checked By: DMH
 Project Manager: DMH

C700R