

KNOW ALL MEN BY THESE PRESENTS That We, Paul J. & Peggy A. Shanor of the Township of Center, County of Butler and Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this as our plan of lots of our property, situate in the Township of Center, County of Butler and Commonwealth of Pennsylvania, and for divers advantages according to us, do hereby dedicate forever, for public use for highway purposes, all slope areas, drives, roads, streets, lanes and ways, and other public highways now existing upon the plan, and hereinafter to be established, the same to be known as the plan of lots, and in consideration of the approval of the plan, and any future acceptance of said public highways by the Commonwealth, County of Butler and Township of Center, we hereby covenant and agree to and by these presents do release and forever discharge the Commonwealth of Pennsylvania, County of Butler and Township of Center, their successors and assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon the above named property owners, their heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, We hereunto set our hand and seal this 24 day of JANUARY 2025.

*Paul J. Shanor*  
Owner

*Peggy A. Shanor*  
Owner

COMMONWEALTH OF PENNSYLVANIA : SS  
COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally came Paul J. & Peggy A. Shanor and acknowledged the foregoing release and dedication and plan to be their act and deed and desired the same to be recorded as such.

WITNESS MY HAND AND NOTARIAL SEAL this 24 day of JANUARY 2025.

*Debra L. D'Antecoy*  
Notary Public

Seal & Stamp

Commonwealth of Pennsylvania - Notary Seal  
Debra L. D'Antecoy, Notary Public  
Butler County, PA  
My commission expires February 17, 2027  
Commission number 1152784  
Member, Pennsylvania Association of Notaries

I, Stanley D. Graff, a Registered Professional Surveyor of the Commonwealth of Pennsylvania, do hereby certify, to the best of my knowledge, that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan correctly represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.

*Stanley D. Graff*  
Date

Seal  
P. L. S. # 30161

The Board of Supervisors of the Township of Center, hereby gives public notice that in approving this plan for recording purposes only, the Township of Center assumes no obligations, legal or otherwise, expressed or implied either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

Approved by the Supervisors of the Township of Center this 20<sup>th</sup> day of February 2025.

*Yvonne R. Mary*  
Secretary

Seal  
Chairman

Approved by the Center Township Planning Commission this 22<sup>nd</sup> day of January 2025.

*Yvonne R. Mary*  
Secretary

Seal  
Chairman

Reviewed by the Butler County Planning Commission this 1<sup>st</sup> day of FEB 2025.

*Robert J. Mustello*  
Secretary

Seal  
Chairman

Recorded in the Recorder's Office for the recording of deeds, plans, etc., in said County in Plan Book Volume 425 Page 1

*Robert J. Mustello*  
Recorder

Seal  
Recorder

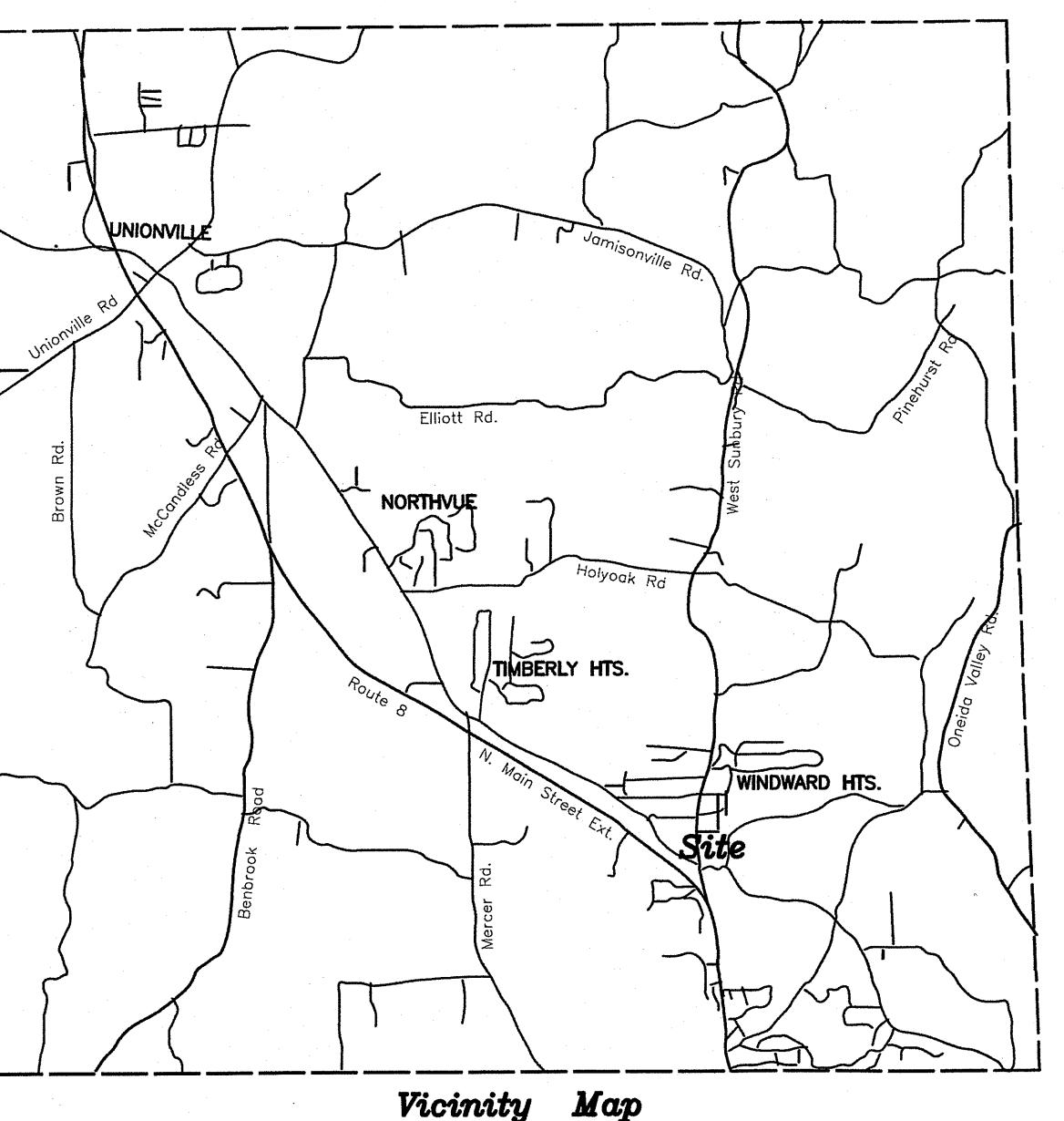
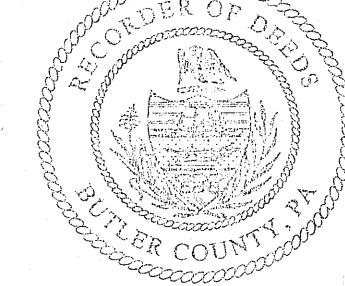
Given under my hand and seal this 25<sup>th</sup> day of FEBRUARY 2025.

*Michele M. Mustello*  
Recorder

Seal  
Recorder

**MICHELE M. MUSTELLO**  
RECORDER OF DEEDS

My Commission Expires First Monday in January 2028

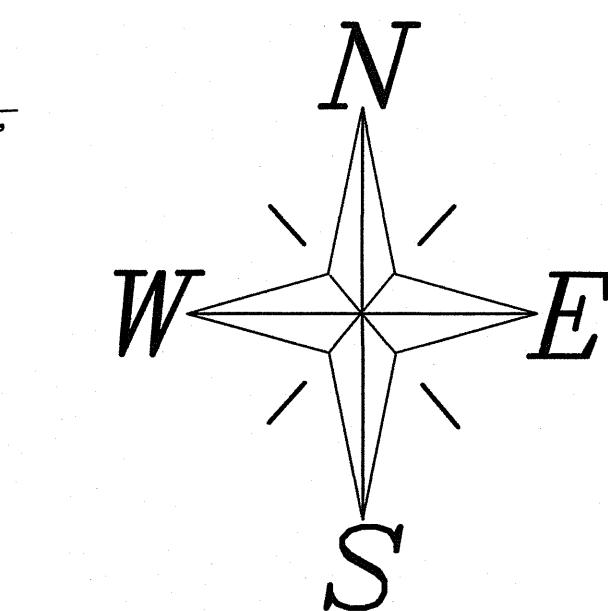
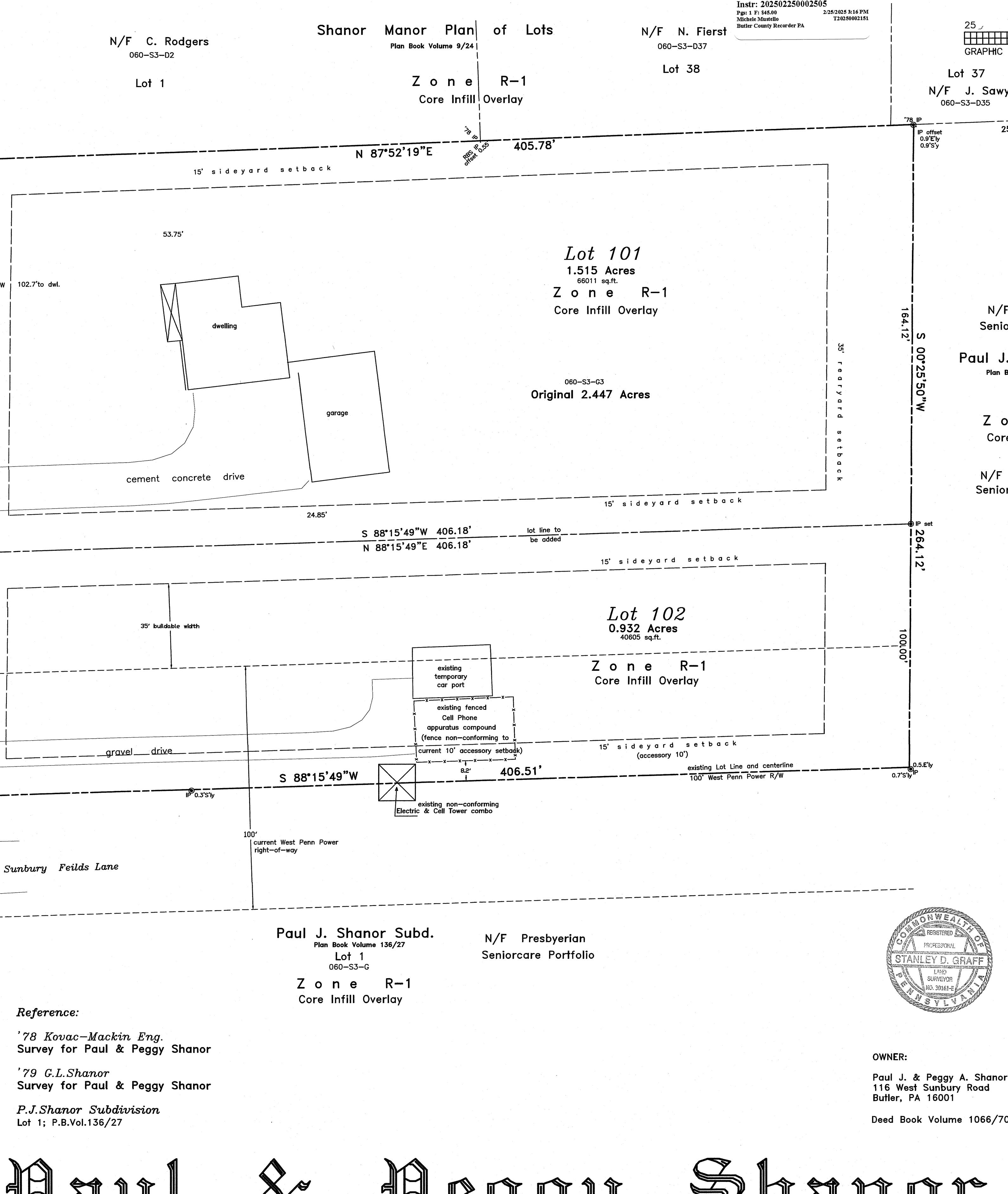


FLOOD HAZARD NOTE:  
ZONE X - AREA OF MINIMAL FLOOD HAZARD  
FIRM: 42019C0295D  
FIRM EFFECTIVE: 8/2/2018

PLAN ORIENTATION NOTE: THE BEARINGS  
SHOWN HEREON ARE BASED ON THE  
PENNSYLVANIA STATE PLANE  
COORDINATE SYSTEM (PA-S) / NAD 1983

HIGHWAY OCCUPANCY PERMIT:  
A HIGHWAY OCCUPANCY PERMIT IS  
REQUIRED PURSUANT TO SECTION 420 OF  
THE STATE HIGHWAY LAW (P.L. 1242, NO. 428).

NOTE: Subject to and together with any and  
all existing rights-of-way, easements  
and conditional clauses of record or  
established by due process.



N/F Presbyterian Seniorcare Portfolio

Paul J. Shanor Subd.  
Plan Book Volume 136/27  
Lot 1  
060-S3-G  
Zone R-1 Core Infill Overlay

N/F Presbyterian Seniorcare Portfolio

LEGEND

- PROPERTY LINE
- - - ROAD RIGHT-OF-WAY
- ◎ SURVEY MONUMENT
- UTILITY POLE

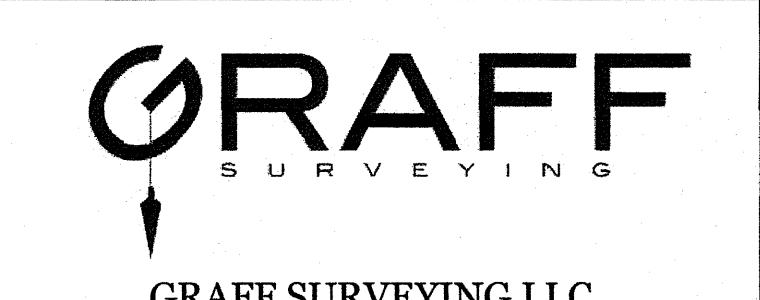
PROPERTY AREA SUMMARY:

EXISTING TOTALS 060-S3-G 2.447 AC

REVISED TOTALS LOT 101 1.515 AC  
+LOT 102 0.932 AC  
REVISED TOTAL 2.447 AC

CENTER TOWNSHIP R-1 SINGLE FAMILY RESIDENTIAL	
DIMENSION	REQUIREMENT
Min. Lot Area	1/2 acre
Min. Lot Width	100 feet
Min. Front Yard Depth	35 ft from RW
Min. Side Yard Depth	15 feet
Min. Rear Yard Depth	35 feet

B	REVISIONS PER TOWNSHIP PLANNING COMMISSION MEETING ON 1/23/25	SDG	1/23/2025
A	REVISIONS PER TOWNSHIP ENGINEER REVIEW LETTER DATED 1/2/2025	SDG	1/22/2025
REV	DESCRIPTION	BY	DATE



GRAFF SURVEYING LLC

PO BOX 521 SAXONBURG, PA 16056  
P: 724-352-3811 F: 724-352-1059  
INFO@GRAFFSURVEYING.COM  
WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION

PAUL & PEGGY SHANOR PLAN

BEING A

SUBDIVISION PLAN

FOR  
PAUL J. SHANOR  
PEGGY A. SHANOR

SITUATE

CENTER TOWNSHIP BUTLER COUNTY, PENNSYLVANIA

DATE DRAWN CHECKED SCALE

1/6/2025 SDG Sdg 1" = 25'

PROJECT NO. TAX PARCEL NO. REVISION

24-209 060-S3-G3 B

**Paul** & **Peggy** **Shanor**

Subdivision Plan  
being a minor Subdivision of the Remnant Lot of the Paul J. Shanor Plan

RECORDED	20
PLAN BOOK	PAGE
425	1

OWNER'S CERTIFICATION  
I, GRANT A. WILLIAMS AND DEBRA J. FINUCAN, OF THE TOWNSHIP OF JEFFERSON, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTY SITUATE IN THE TOWNSHIP OF JEFFERSON, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US DO HEREBY DEDICATE FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, STREETS, LANES, RIGHTS-OF-WAY, EASEMENTS, WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHT-OF-WAY AND EASEMENTS BY SAID COUNTY OF BUTLER AND TOWNSHIP OF JEFFERSON, WE, GRANT A. WILLIAMS AND DEBRA J. FINUCAN, HEREBY AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COUNTY OF BUTLER AND SAID TOWNSHIP OF JEFFERSON, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THE DEDICATION AND RELEASE SHALL BE BINDING UPON GRANT A. WILLIAMS AND DEBRA J. FINUCAN, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HAVE SET MY HAND AND SEAL THIS 21<sup>st</sup> DAY OF FEBRUARY 2024.

*Grant A. Williams*  
GRANT A. WILLIAMS  
*Debra J. Finucan*  
DEBRA J. FINUCAN

ACKNOWLEDGMENT OF NOTARY PUBLIC

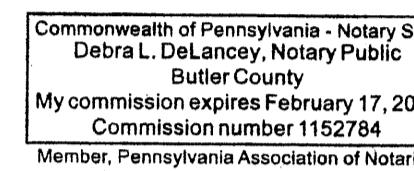
COMMONWEALTH OF PENNSYLVANIA  
} SS:  
COUNTY OF BUTLER  
}

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED THE ABOVE NAMED, GRANT A. WILLIAMS AND DEBRA J. FINUCAN, AND ACKNOWLEDGED THE FOREGOING FINAL PLAN OF SUBDIVISION OR LAND DEVELOPMENT TO BE HIS ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 21 DAY OF FEBRUARY 2024

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY 2027

*Debra L. DeLancey*  
NOTARY PUBLIC

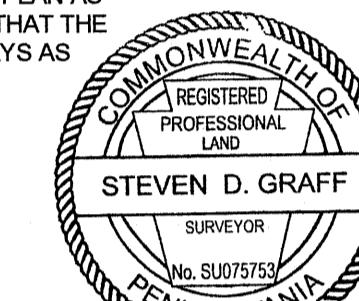


SURVEYOR'S CERTIFICATION

I, STEVEN D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

February 11, 2024

*Steven D. Graff*  
STEVEN D. GRAFF  
REG. NO. SU-07573



MUNICIPAL DECLARATIONS

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF JEFFERSON, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF JEFFERSON ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF JEFFERSON THIS 12<sup>th</sup> DAY OF FEBRUARY 2024

*Joseph Fennell*  
SECRETARY

*L. John Cade*  
CHAIRPERSON  
BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF JEFFERSON THIS 12<sup>th</sup> DAY OF FEBRUARY 2024

*Mark H. Flinney*  
SECRETARY

*J. D. Brewster*  
CHAIRPERSON  
PLANNING COMMISSION

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 17<sup>th</sup> DAY OF JULY 2024

*D. L. Kershaw*  
SECRETARY

*J. H. Kershaw*  
CHAIRPERSON  
BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN

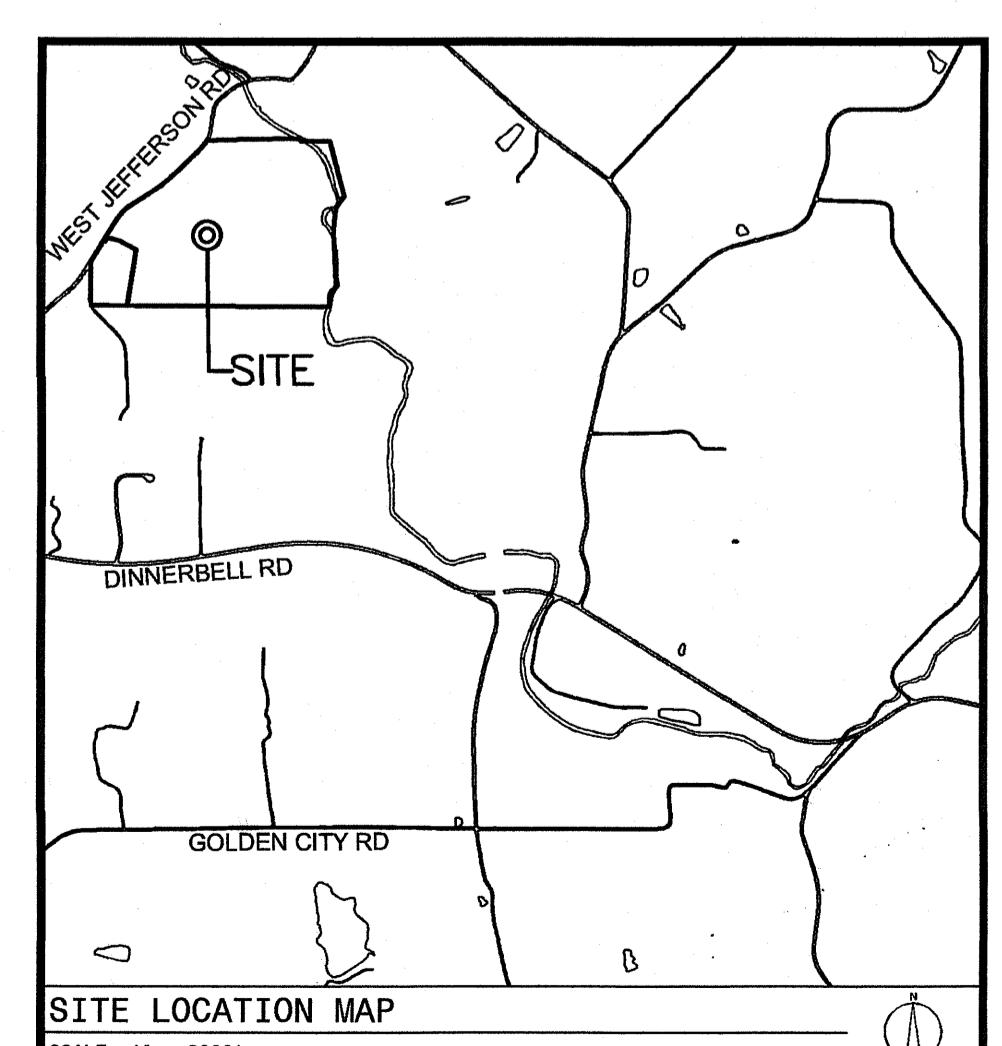
PLAN BOOK VOLUME 425, PAGE(S) 2

GIVEN UNDER MY HAND AND SEAL THIS 25<sup>th</sup> DAY OF February 2024

*Michele M. Mustello*  
RECORDER OF DEEDS



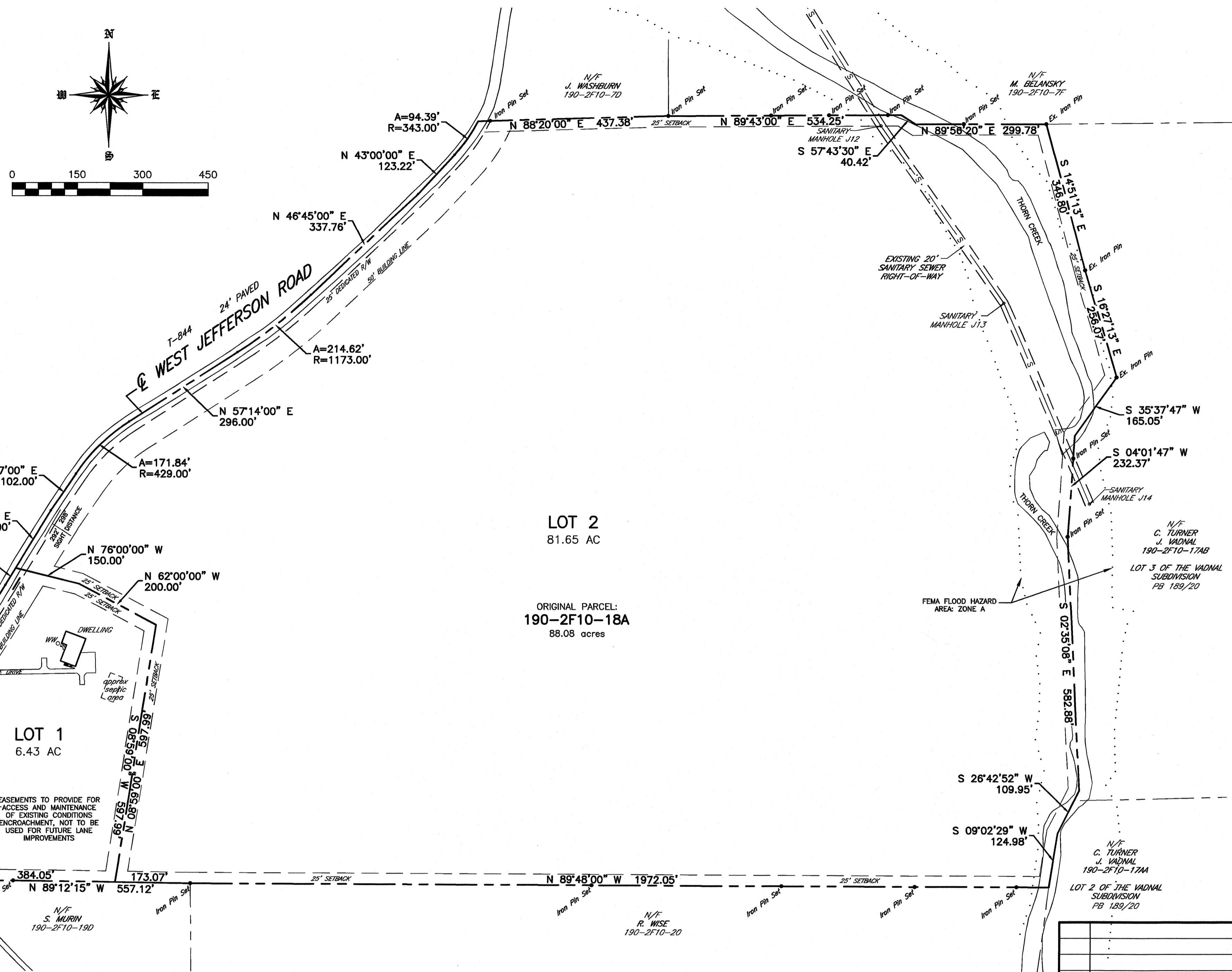
**MICHELE M. MUSTELLO**  
RECORDER OF DEEDS  
My Commission Expires First Monday in January 2028



PLAN ORIENTATION NOTE: THE BEARINGS SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (PA-S) / NAD 1983

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

Instr: 202502250002506  
Page 1 of 454  
2/25/2024 3:16 PM  
Michele M. Mustello  
Butler County Recorder PA



## WILLIAMS / FINUCAN PLAN

Being a subdivision of Butler County Tax Parcel 190-2F10-18A

PROPERTY AREAS:	
EXISTING TOTALS	
ORIGINAL 190-2F10-18A	88.08 AC
REVISED TOTALS	
LOT 1	6.43 AC
LOT 2	81.65 AC
REVISED TOTAL	88.08 AC

GENERAL NOTES:  
1. PROPERTY OWNER: GRANT A. WILLIAMS AND DEBRA J. FINUCAN  
2. ADDRESS: 282 WEST JEFFERSON RD  
3. FEMA FLOOD ZONE: BUTLER PA 16002  
ZONE A - SPECIAL FLOOD HAZARD AREA  
ZONE X - AREA OF MINIMAL FLOOD HAZARD  
FIRM: 42019C0440D  
FIRM EFFECTIVE: 8/2/2018  
4. REFERENCES  
4.1. CURRENT DEEDS OF RECORD  
4.2. PREVIOUSLY RECORDED PLANS  
4.2.1. LYNN PLAN  
PLAN BOOK 104 PG 36  
VADAL SUBDIVISION  
PLAN BOOK 109 PG 20

RECORDED	20
PLAN BOOK	PAGE
<b>425</b>	<b>2</b>
SHEET _____ of _____	

SITUATE	JEFFERSON TOWNSHIP BUTLER COUNTY, PENNSYLVANIA		
DATE	DRAWN	CHECKED	SCALE
05/3/2024	SDG	Sdg	1" = 150'
PROJECT NO.		TAX PARCEL NO.	190-2F10-18A
23-172		REVISION	A

**GRAFF**  
SURVEYING

GRAFF SURVEYING LLC  
PO BOX 521 | SAXONBURG, PA 16056  
P: 724-352-3811 | F: 724-352-1059  
INFO@GRAFFSURVEYING.COM  
WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION  
**WILLIAMS / FINUCAN PLAN**

BEING A

SUBDIVISION

FOR  
GRANT A. WILLIAMS  
DEBRA J. FINUCAN

NOTE: ALL SIGNATURES MUST BE MADE WITH A NAVY BLUE INK FELT TIP PEN.

CORPORATION ADOPTION

We further agree that said plan is approved by the Township of Butler for "Planning Purposes Only" and that said Township shall not issue any "Building Permits" for lots contained herein, nor shall any lots be deduced until either all of said roads and improvements in accordance with Butler Township Ordinance 730 and all other applicable ordinances have been completed and accepted by said Township or until the Township has approved a bond with sufficient surety to guarantee construction of the plan. In Witness Whereof, We hereunto set our hand and seal this 20th day of February 2025.

We further agree that said plan is approved by the Township of Butler for "Planning Purposes Only" and that said Township shall not issue any "Building Permits" for lots contained herein, nor shall any lots be deduced until either all of said roads and improvements in accordance with Butler Township Ordinance 730 and all other applicable ordinances have been completed and accepted by said Township or until the Township has approved a bond with sufficient surety to guarantee construction of the plan. In Witness Whereof, We hereunto set our hand and seal this 20th day of February 2025.

Notary Public Witness

President

CORPORATION ACKNOWLEDGMENT

Commonwealth of Pennsylvania)SS:

County of Butler

Before me, the subscriber, a Notary Public in and for said Commonwealth and County personally appeared Joseph Gray, of Belmont Investment Properties, LLC, who being duly sworn, deposed and saith that he was personally present at the execution of the adoption, release and dedication and saw the common and corporate seal duly affixed and that the above release and dedication was duly signed and sealed by and as for the act and deed of the said (Name of Corporation), for the uses and purposes theremintioned and that the name of this deponent subscribed to the said release and dedication as owner of said corporation, in attestation of the due execution.

and delivery of said release and dedication is this deponent's own and proper and respective handwriting.

Sworn and subscribed before me this 20th day of February, 2025.

My Commission Expires the 28th day of February, 2027.

Notary Public

President

TITLE CLAUSE

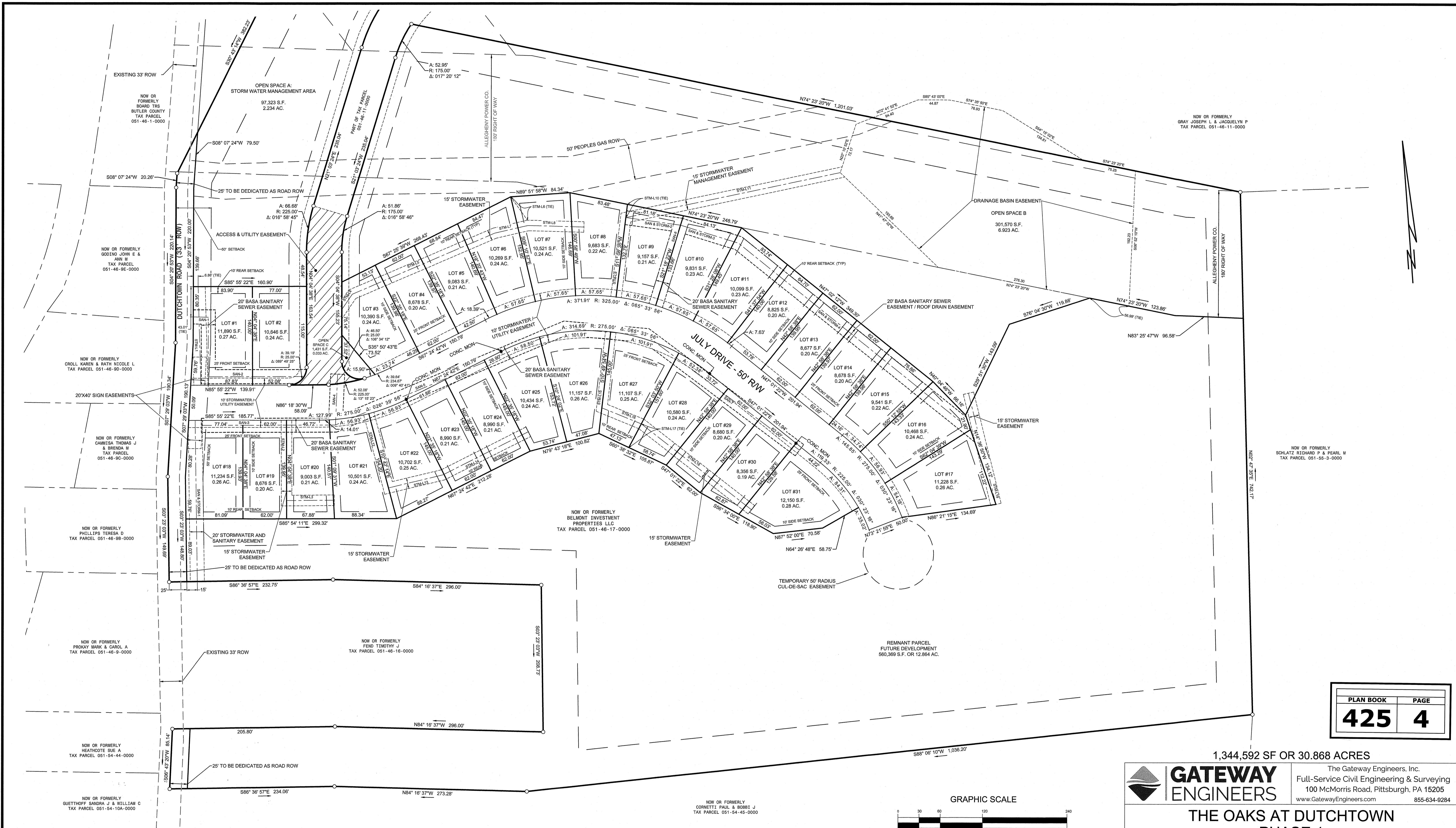
I, Joseph L. Gray, President of Belmont Investment Properties LLC, owner of the "The Oaks at Dutchtown Phase 1 Plan", do hereby certify that the title of this property is in the name of Belmont Investment Properties, LLC, as lot 103 recorded in Plan Book Volume 418 Pages 11 & 12, of the Butler County Recorder of Deeds Office. I further certify that there is no mortgage, lien or encumbrance against this property.

Witness

President

Notary Public

President



,344,592 SF OR 30.868 ACRES

the Gateway Engineers, Inc.  
ince Civil Engineering & Surveying  
Morris Road, Pittsburgh, PA 15205  
Engineers.com 855.224.2241

# PHASE 1

SITUATE IN  
**BUTLER TOWNSHIP  
BUTLER COUNTY, PENNSYLVANIA**  
MADE FOR  
**BELMONT INVESTMENT PROPERTIES, LLC  
75 DUTCHTOWN RD. BUTLER PA 16002**

SANITARY SEWER EASEMENT LINE TABLE			
LINE #	DIRECTION	LENGTH	DESCRIPTION
SAN-1	N 84° 28' 32" W	21.38	CL OF 20' EASEMENT
SAN-2	S 85° 55' 22" E	136.08	CL OF 20' EASEMENT
SAN-3	S 85° 55' 22" E	190.41	CL OF 20' EASEMENT
SAN-4	N 06° 40' 46" E	72.30	CL OF 20' EASEMENT
SAN-5	N 71° 20' 31" E	353.73	CL OF 20' EASEMENT
SAN-6	S 80° 40' 29" E	116.18	CL OF 20' EASEMENT
SAN-7	S 49° 04' 01" E	271.47	CL OF 20' EASEMENT
SAN-8	N 21° 18' 22" E	119.70	CL OF 20' EASEMENT

COMBINED SAN & STORM EASEMENT LINE TABLE			
LINE #	DIRECTION	LENGTH	DESCRIPTION
SAN & STORM-1	N 03° 23' 03" E	228.76	CL OF 20' EASEMENT
SAN & STORM-2	S 78° 00' 27" E	78.47	CL OF 20' EASEMENT
SAN & STORM-3	S 68° 41' 38" E	85.93	CL OF 20' EASEMENT
SAN & STORM-4	S 47° 03' 30" E	423.18	CL OF 20' EASEMENT

STORM SEWER EASEMENT LINE TABLE			
LINE #	DIRECTION	LENGTH	DESCRIPTION
STM-L1	N 02° 34' 37" E	140.05	CL OF 15' EASEMENT
STM-L2	S 04° 04' 38" W	113.99	CL OF 15' EASEMENT
STM-L3	S 86° 07' 32" E	67.70	CL OF 15' EASEMENT
STM-L4	N 38° 16' 57" E	26.29	CL OF 15' EASEMENT
STM-L5	N 70° 58' 57" E	220.28	CL OF 15' EASEMENT
STM-L6 (TIE)	S 31° 37' 04" E	40.69	TIE
STM-L7	S 81° 09' 35" W	48.21	CL OF 15' EASEMENT
STM-L8	N 84° 16' 25" W	79.52	CL OF 15' EASEMENT

STORM SEWER EASEMENT LINE TABLE			
LINE #	DIRECTION	LENGTH	DESCRIPTION
STM-L9	S 11° 08' 37" W	113.89	CL OF 15' EASEMENT
STM-L10 (TIE)	N 11° 08' 35" E	18.88	TIE
STM-L11	S 82° 17' 42" W	311.19	CL OF 15' EASEMENT
STM-L12	S 10° 42' 14" E	109.20	CL OF 15' EASEMENT
STM-L13	S 80° 41' 31" W	79.55	CL OF 15' EASEMENT
STM-L14	S 67° 25' 47" W	135.83	CL OF 15' EASEMENT
STM-L15	S 10° 49' 54" W	98.55	CL OF 15' EASEMENT
STM-L16	S 63° 45' 26" E	60.59	CL OF 15' EASEMENT

STORM SEWER EASEMENT LINE TABLE			
LINE #	DIRECTION	LENGTH	DESCRIPTION
M-L17 (TIE)	S 32° 03' 50" W	37.90	TIE
STM-L18	S 47° 59' 04" E	198.06	CL OF 15' EASEMENT
STM-L19	N 09° 44' 12" W	162.79	CL OF 15' EASEMENT

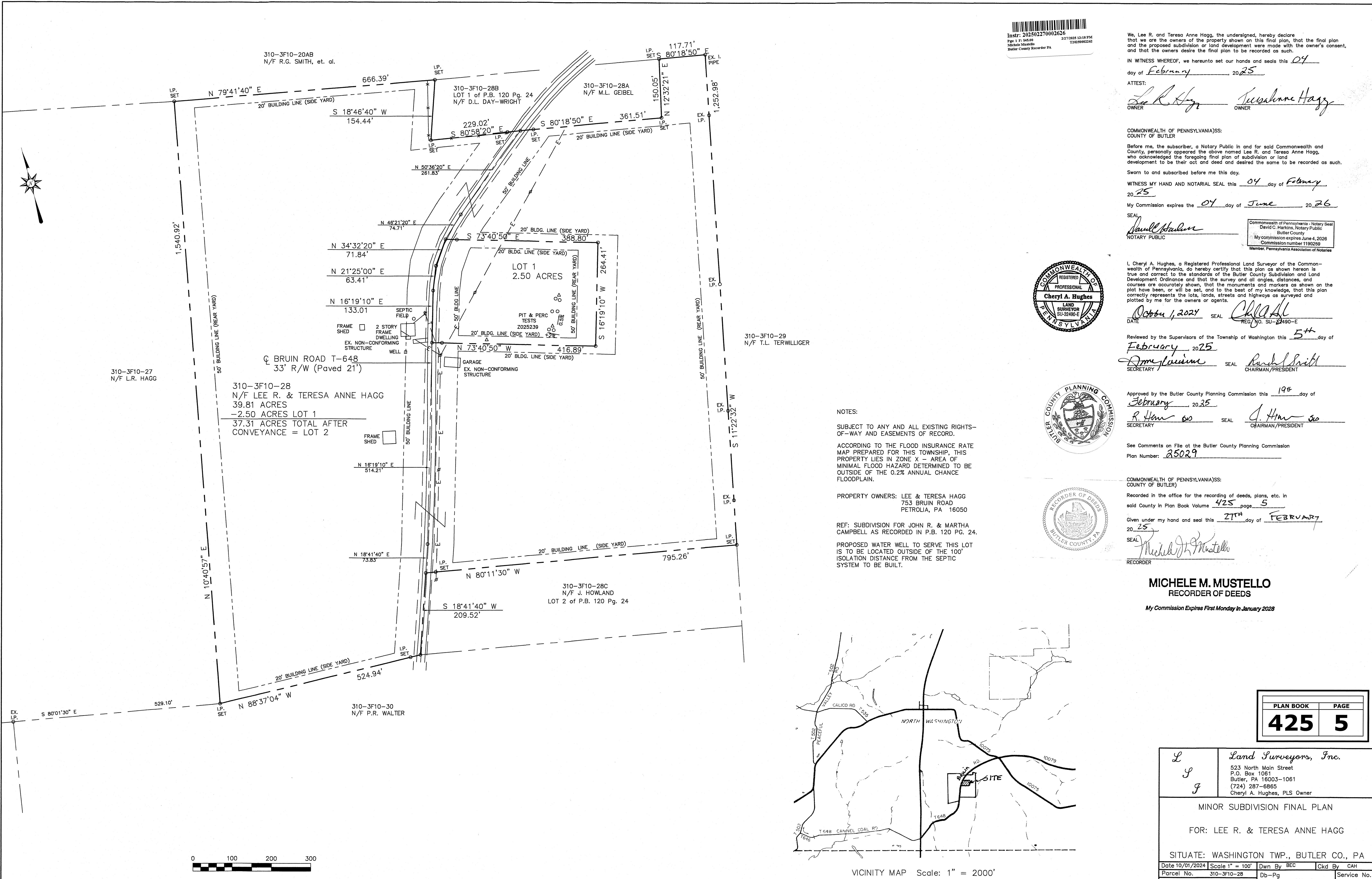
1. THE 15' STORMWATER EASEMENT IS TO BE CENTERED ON THE PHYSICAL LOCATION OF THE DRAINAGE FACILITIES. THE DRAINAGE FACILITIES CAN BE PIPING OR A SWALE WHICH DIRECTS STORMWATER THROUGH MULTIPLE LOTS. THE DRAINAGE FACILITIES MAY BE RELOCATED ON A LOT, BUT SHALL NOT BE REMOVED OR CAUSE DAMAGE TO ANY ADJOINING LOT.

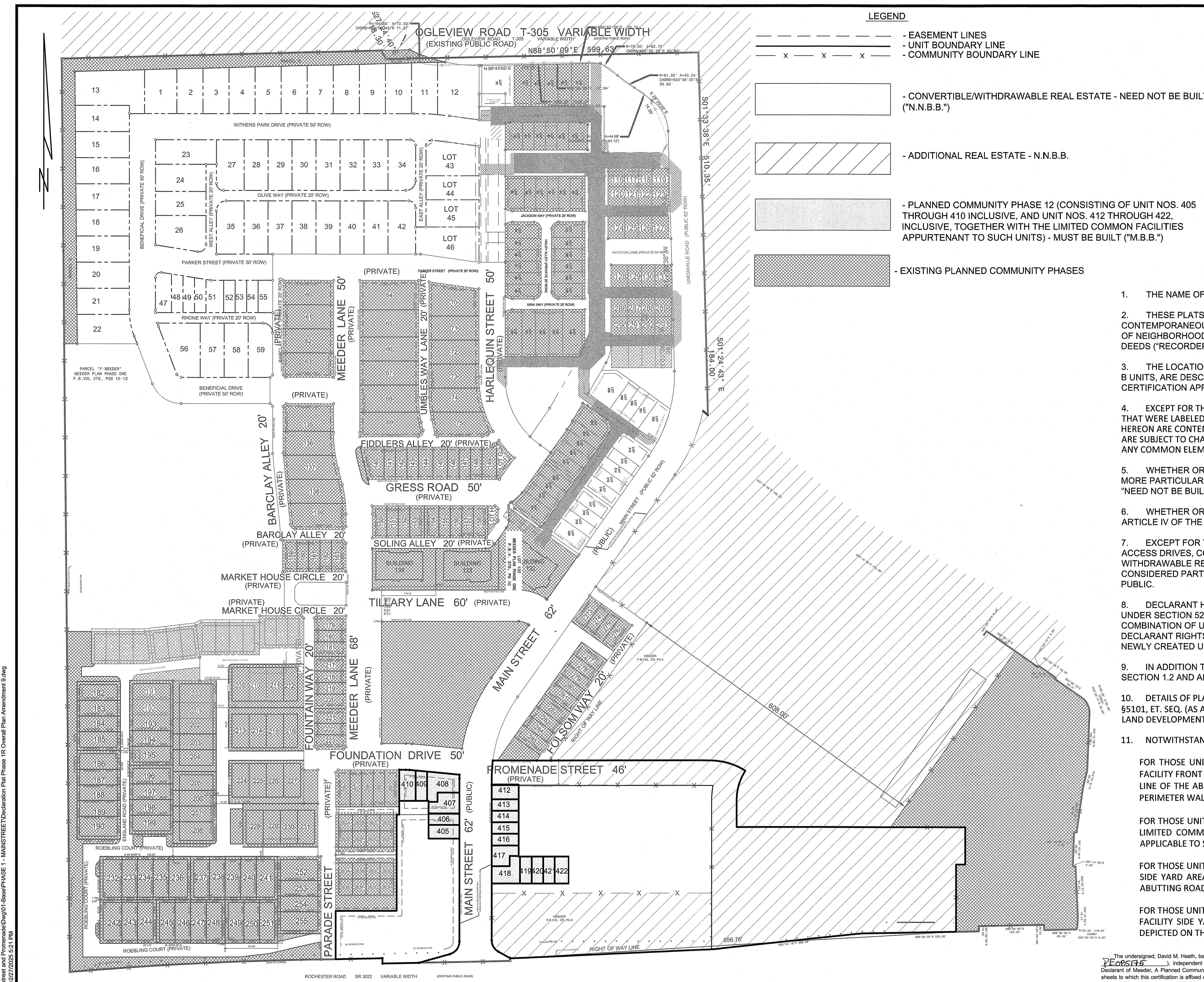
THE GATEWAY ENGINEERS, INC. RETAINS OWNERSHIP RIGHTS OF ALL DATA WITHIN THE PLANS. DATA CONTAINED WITHIN IS ONLY TO BE USED FOR ITS INTENDED PURPOSE BY ITS RESPONSIBLE PARTY. THE USE, REPLICATION, REPRODUCTION, OR REDISTRIBUTION OF DATA CONTAINED WITHIN IS STRICTLY PROHIBITED AND SUBJECT TO LEGAL ACTION.

I: MAO DB: JAP CB: MAO Date: 08/20/2024  
SCALE:1" = 60' Job Number 41693  
DWG No: RP-2

1100

Engineers Inc. All Rights Reserved

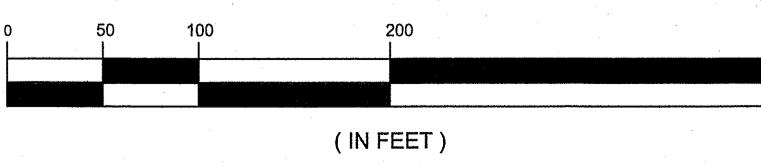




DATUM REFERENCE  
THE MERIDIAN SHOWN ON THIS PLAN IS BASED  
ON INSTRUMENT NO. 201106020013342, AS  
RECORDED IN THE OFFICE OF THE RECORDER  
OF DEEDS OF BUTLER COUNTY, PENNSYLVANIA

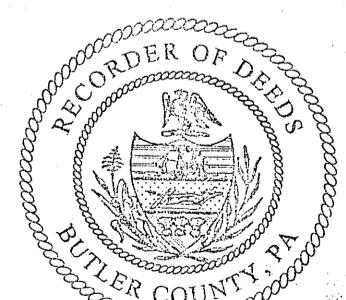
OWNER:  
ROCHESTER ROAD INVESTMENT CO.  
322 NORTH ARCH STREET, FIRST FLOOR  
LANCASTER, PA 17603  
PHONE: 717-560-1400

GRAPHIC SCALE



PLAN BOOK 425 PAGE 6

My Commission Expires First Monday in January 2023



BUTLER COUNTY  
PENNSYLVANIA  
Recorder of Deeds in the Recorder's office  
of the said County on this 28<sup>th</sup> day  
of FEBRUARY, 2025  
to HOMESTEAD PLAN BOOK 6-9  
No. 2425 PAGE 6-9  
Witness my hand and the seal of said office.  
MICHELE M. MUSTELLO  
RECORDER

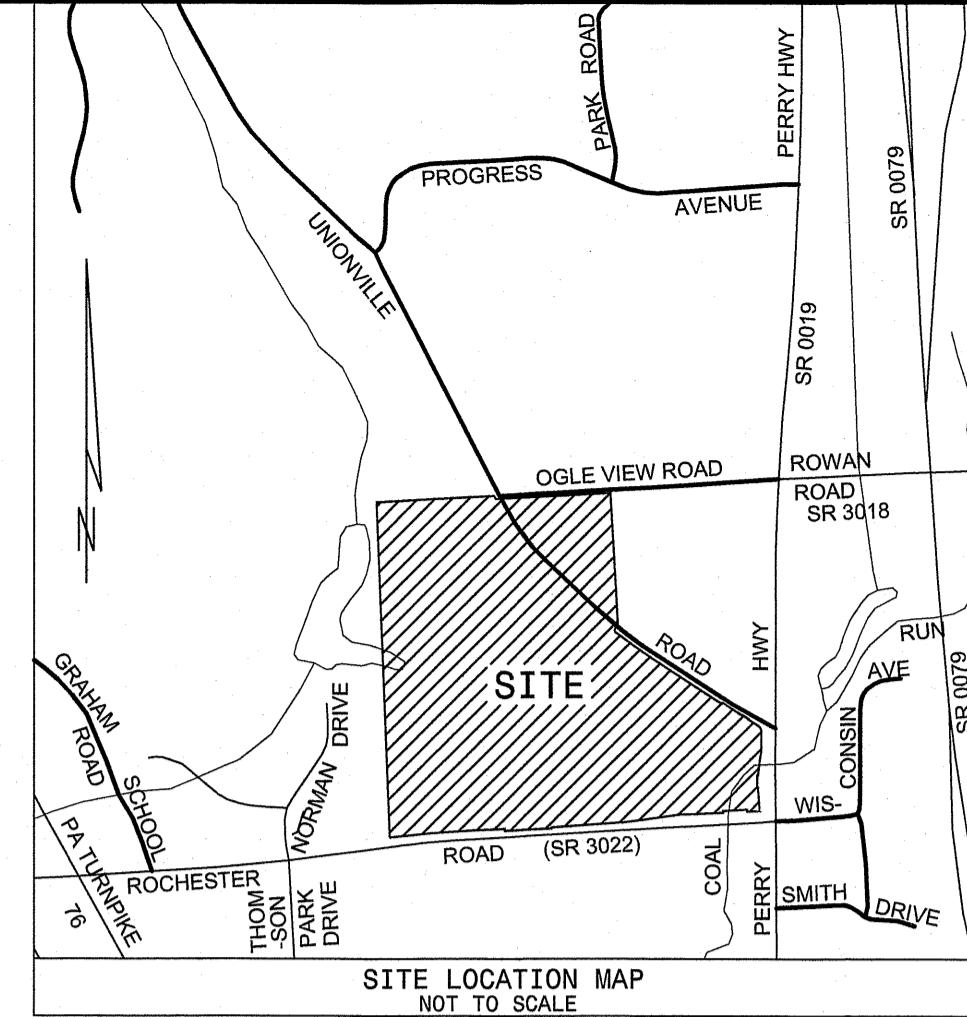
MICHELE M. MUSTELLO  
RECORDER OF DEEDS

My Commission Expires First Monday in January 2023

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PART OF EXHIBIT B TO THE  
15TH AMENDMENT TO  
DECLARATION PLATS AND  
PLANS FOR PLANNED  
COMMUNITY PHASE 12

INST: 20250228002708  
F: 1/28/2025  
Michele Mustello  
Butler County Recorder PA  
T283025 12:52 PM  
T2025002329



PLANNED COMMUNITY NOTES:

1. THE NAME OF THIS PLANNED COMMUNITY IS MEEDEER, A PLANNED COMMUNITY (THE "COMMUNITY").
2. THESE PLATS AND PLANS FOR PLANNED COMMUNITY PHASE 12 ARE PART OF THE FIFTEENTH AMENDMENT BEING RECORDED CONTEMPORANEOUSLY HEREWITHE ("FIFTEENTH AMENDMENT") TO THE DECLARATION OF COVENANTS, RESTRICTIONS, EASEMENTS AND ESTABLISHMENT OF NEIGHBORHOOD ASSOCIATION FOR MEEDEER, A PLANNED COMMUNITY DATED JANUARY 30, 2019 AND RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS ("RECORDER'S OFFICE") IN AND FOR BUTLER COUNTY, PENNSYLVANIA AS INSTRUMENT NO. 20190201001910 (AS AMENDED, THE "DECLARATION").
3. THE LOCATION AND DIMENSIONS OF THE PHASE 12 UNITS DESIGNATED AS UNITS 405-410, INCLUSIVE, AND UNITS 412-422, INCLUSIVE, BEING ALL TYPE B UNITS, ARE DESCRIBED IN SECTION 2.2.2 OF THE DECLARATION. THESE PLATS AND PLANS FOR PLANNED COMMUNITY PHASE 12 TOGETHER WITH THE CERTIFICATION APPENDED TO EXHIBIT B TO THE 15TH AMENDMENT TO DECLARATION SHALL SERVE AS THE PLATS AND PLANS FOR THE PHASE 12 UNITS.
4. EXCEPT FOR THE UNITS, COMMON ELEMENTS AND LIMITED COMMON ELEMENTS SHOWN HEREON AND WITHIN PLANNED COMMUNITY PHASES 1 THROUGH 11 THAT WERE LABELED M.B.B. ON THE PLATS AND PLANS OR AMENDED PLATS AND PLANS CREATING SUCH PHASES, ALL OTHER IMPROVEMENTS OF ANY KIND SHOWN HEREON ARE CONTEMPLATED IMPROVEMENTS ONLY AND ARE HEREBY LABELED "NEED NOT BE BUILT". THE LOCATION OF ALL SUCH CONTEMPLATED IMPROVEMENTS ARE SUBJECT TO CHANGE WITHOUT NOTICE. ADDITIONAL AMENDMENTS TO THE PLATS AND PLANS MAY BE RECORDED TO FURTHER DEFINE, DESIGNATE OR ALLOCATE ANY COMMON ELEMENTS, INCLUDING LIMITED COMMON ELEMENTS, UPON COMPLETION OF CONSTRUCTION THEREOF.
5. WHETHER OR NOT SPECIFICALLY SHOWN HEREON, THE LOCATION AND DIMENSIONS OF ANY AND ALL PARCELS OF ADDITIONAL REAL ESTATE ARE MORE PARTICULARLY BOUNDED AND DESCRIBED IN EXHIBIT E OF THE DECLARATION. ALL PARCELS OF ADDITIONAL REAL ESTATE ARE HEREBY LABELED "NEED NOT BE BUILT".
6. WHETHER OR NOT SPECIFICALLY DESIGNATED HEREON, PORTIONS OF THE COMMUNITY SHALL CONSTITUTE COMMON FACILITIES AS DESCRIBED IN ARTICLE IV OF THE DECLARATION. CONTROLLED FACILITIES ARE DESCRIBED IN ARTICLE V OF THE DECLARATION.
7. EXCEPT FOR THOSE ROADWAYS LABELED AS "PUBLIC" ON THESE PLATS AND PLANS, ALL OTHER PROPOSED ROADWAYS, PRIVATE STREETS, ALLEYS, ACCESS DRIVES, COMMON DRIVEWAYS, AND STREET SIGNAGE IN THE COMMUNITY ARE (I) EXPECTED TO REMAIN PRIVATE, (II) HEREBY DESIGNATED WITHDRAWABLE REAL ESTATE UNLESS INDICATED OTHERWISE ON THESE PLATS AND PLANS, AS MAY BE AMENDED FROM TIME TO TIME, AND (III) ARE CONSIDERED PART OF THE COMMON FACILITIES TO BE MAINTAINED BY THE ASSOCIATION UNLESS OR UNTIL DEDICATED TO AND ACCEPTED BY THE PUBLIC.
8. DECLARANT HAS RESERVED UNTO ITSELF ALL SPECIAL DECLARANT RIGHTS, AS DEFINED IN THE ACT, INCLUDING WITHOUT LIMITATION, THE RIGHT UNDER SECTION 5215 OF THE ACT TO SUBDIVIDE OR CONVERT ANY UNIT OWNED BY DECLARANT INTO TWO(2) OR MORE UNITS, COMMON ELEMENTS OR A COMBINATION OF UNITS AND COMMON ELEMENTS, AND THE RIGHT UNDER SECTION 5304 OF THE ACT TO TRANSFER ANY OR ALL OF THE SPECIAL DECLARANT RIGHTS TO ONE OR MORE SUCCESSORS. AT THE TIME A UNIT OR UNITS ARE CREATED IN THE COMMUNITY, DECLARANT SHALL OWN ALL SUCH NEWLY CREATED UNITS.
9. IN ADDITION TO THOSE EASEMENTS DEPICTED HEREON, THE COMMUNITY IS SUBJECT TO CERTAIN EASEMENTS MORE PARTICULARLY SET FORTH IN SECTION 1.2 AND ARTICLE VIII OF THE DECLARATION.
10. DETAILS OF PLANNED COMMUNITY PHASE 12, WHICH IS BEING CREATED PURSUANT TO THE PENNSYLVANIA UNIFORM PLANNED COMMUNITY ACT, 68 PA. C.S. §5101, ET. SEQ. (AS AMENDED, THE "ACT"), ARE DEPICTED HEREON AND PLANNED COMMUNITY PHASE 12 IS HEREBY DISTINGUISHED FROM ANY SUBDIVISION AND/OR LAND DEVELOPMENT PHASE.
11. NOTWITHSTANDING THE LOCATION AND DIMENSIONS OF THE LIMITED COMMON FACILITY AREAS DEPICTED ON SHEETS 3 THROUGH 4 HEREOF:

FOR THOSE UNITS THAT HAVE A LIMITED COMMON FACILITY FRONT AND/OR REAR YARD AREA THAT ABUTS A ROADWAY OR ALLEY, THE LIMITED COMMON FACILITY FRONT AREA OF SUCH UNIT SHALL EXTEND FROM THE FRONT PERIMETER WALL (AS DEFINED IN THE DECLARATION) OF SUCH UNIT TO THE RIGHT OF WAY LINE OF THE ABUTTING ROADWAY OR ALLEY (AS APPLICABLE) AND THE LIMITED COMMON FACILITY REAR YARD OF SUCH UNIT SHALL EXTEND FROM THE REAR PERIMETER WALL OF SUCH UNIT TO THE RIGHT OF WAY LINE OF THE ABUTTING ROADWAY OR ALLEY (AS APPLICABLE);

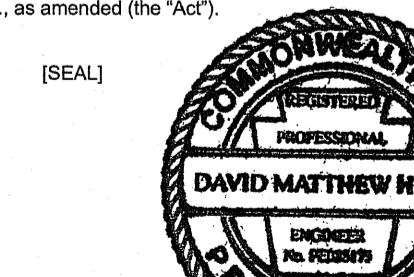
FOR THOSE UNITS THAT HAVE A LIMITED COMMON FACILITY FRONT AND/OR REAR YARD AREA THAT DOES NOT ABUT A ROADWAY OR ALLEY, THE WIDTH OF THE LIMITED COMMON FACILITY FRONT YARD AREA OR REAR YARD AREA OF SUCH UNIT, AS APPLICABLE, SHALL BE THE DISTANCE AS DEPICTED ON THE PLAN APPLICABLE TO SUCH UNIT, AS SHOWN ON SHEETS 3 THROUGH 4 HEREOF;

FOR THOSE UNITS THAT HAVE A LIMITED COMMON FACILITY SIDE YARD AREA THAT ABUTS A ROADWAY OR ALLEY, THE WIDTH OF THE LIMITED COMMON FACILITY SIDE YARD AREA OF SUCH UNIT SHALL BE THE DISTANCE MEASURED FROM THE SIDE PERIMETER WALL OF SUCH UNIT TO THE RIGHT OF WAY LINE OF THE ABUTTING ROADWAY OR ALLEY; AND

FOR THOSE UNITS THAT HAVE A LIMITED COMMON FACILITY SIDE YARD AREA THAT DOES NOT ABUT A ROADWAY OR ALLEY, THE WIDTH OF THE LIMITED COMMON FACILITY SIDE YARD AREA OF SUCH UNIT SHALL BE THE DISTANCE MEASURED FROM THE SIDE PERIMETER WALL OF SUCH UNIT SHALL BE THE DISTANCE AS DEPICTED ON THE PLAN APPLICABLE TO SUCH UNIT, AS SHOWN ON SHEETS 3 THROUGH 4 HEREOF.

The undersigned, David M. Heath, being a Registered Professional Engineer (Pennsylvania License No. PE00156), independent of Rochester Road Investment Company, a Pennsylvania corporation, the Declarant of Meedeer, A Planned Community, hereby certifies that the Plats and Plans consisting of (4) sheets to which this certification is affixed contains all information required by Section 5210 of the Pennsylvania Uniform Planned Community Act, 68 Pa. C.S. §5101, et seq., as amended (the "Act").

David M. Heath  
Date: 2/28/2025



COMMONWEALTH OF PENNSYLVANIA :  
COUNTY OF ALLEGHENY : SS.  
On this, the 28<sup>th</sup> day of February, 2025, before me, the undersigned Notary Public, personally appeared David M. Heath, known to me (or satisfactorily proven to be) the person whose name is subscribed to the within instrument, and acknowledged that he/she executed the same for the purpose therein contained.

In witness whereof, I have hereunto set my hand and official seal.

Shelley M. Condilin  
Notary Public  
Allegheny County  
My commission expires December 11, 2027  
Commission number 205179  
Member, Pennsylvania Association of Notaries

GATEWAY  
ENGINEERS

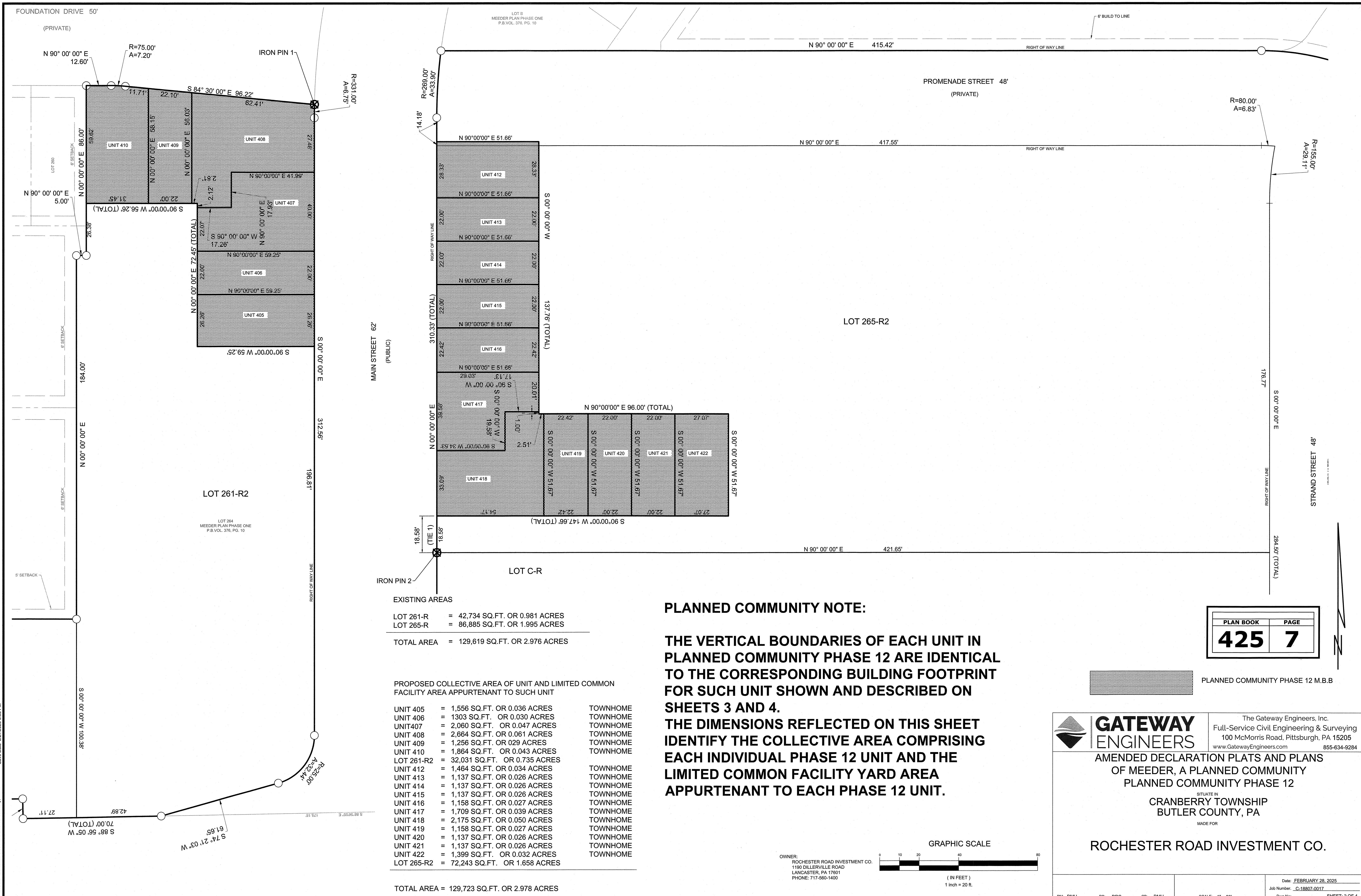
The Gateway Engineers, Inc.  
Full-Service Civil Engineering & Surveying  
100 McMorris Road, Pittsburgh, PA 15205  
www.GatewayEngineers.com  
855-634-9284

AMENDED DECLARATION PLATS AND PLANS  
OF MEEDEER, A PLANNED COMMUNITY  
PLANNED COMMUNITY PHASE 12

SITUATE IN  
CRANBERRY TOWNSHIP  
BUTLER COUNTY, PA  
MADE FOR

ROCHESTER ROAD INVESTMENT CO.

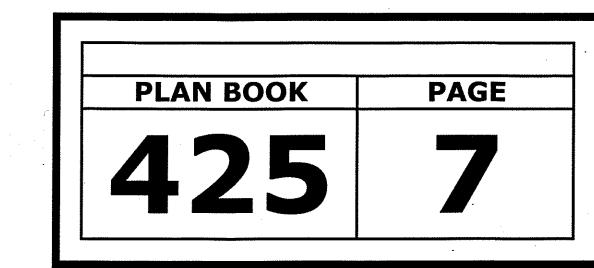
Date: FEBRUARY 28, 2025  
Job Number: C-18807-0017  
Dwg No: SHEET: 1 OF 4



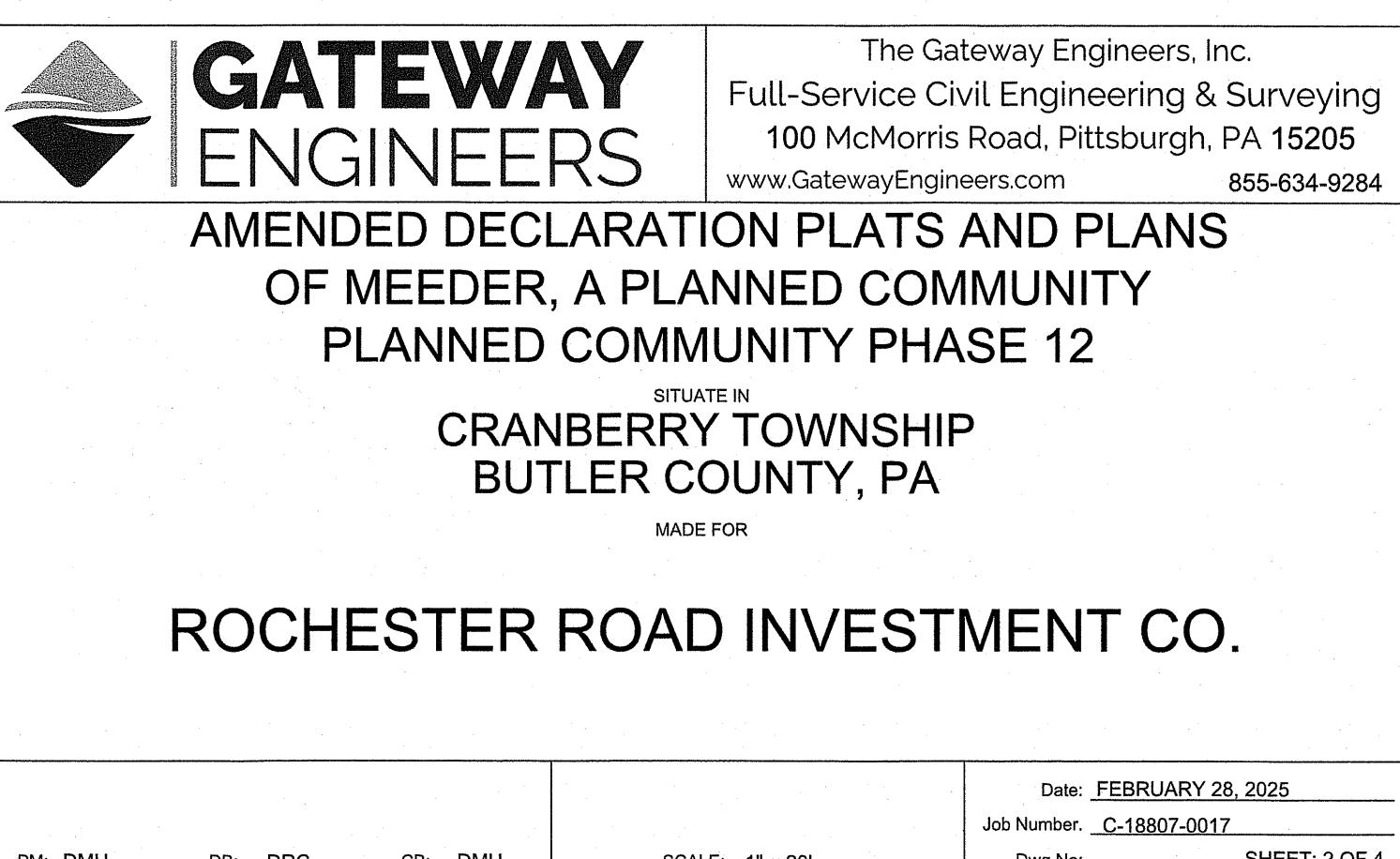
## PLANNED COMMUNITY NOTE:

**THE VERTICAL BOUNDARIES OF EACH UNIT IN PLANNED COMMUNITY PHASE 12 ARE IDENTICAL TO THE CORRESPONDING BUILDING FOOTPRINT FOR SUCH UNIT SHOWN AND DESCRIBED ON SHEETS 3 AND 4.**

**THE DIMENSIONS REFLECTED ON THIS SHEET IDENTIFY THE COLLECTIVE AREA COMPRISING EACH INDIVIDUAL PHASE 12 UNIT AND THE LIMITED COMMON FACILITY YARD AREA APPURTEnant TO EACH PHASE 12 UNIT.**



PLANNED COMMUNITY PHASE 12 M.B.B



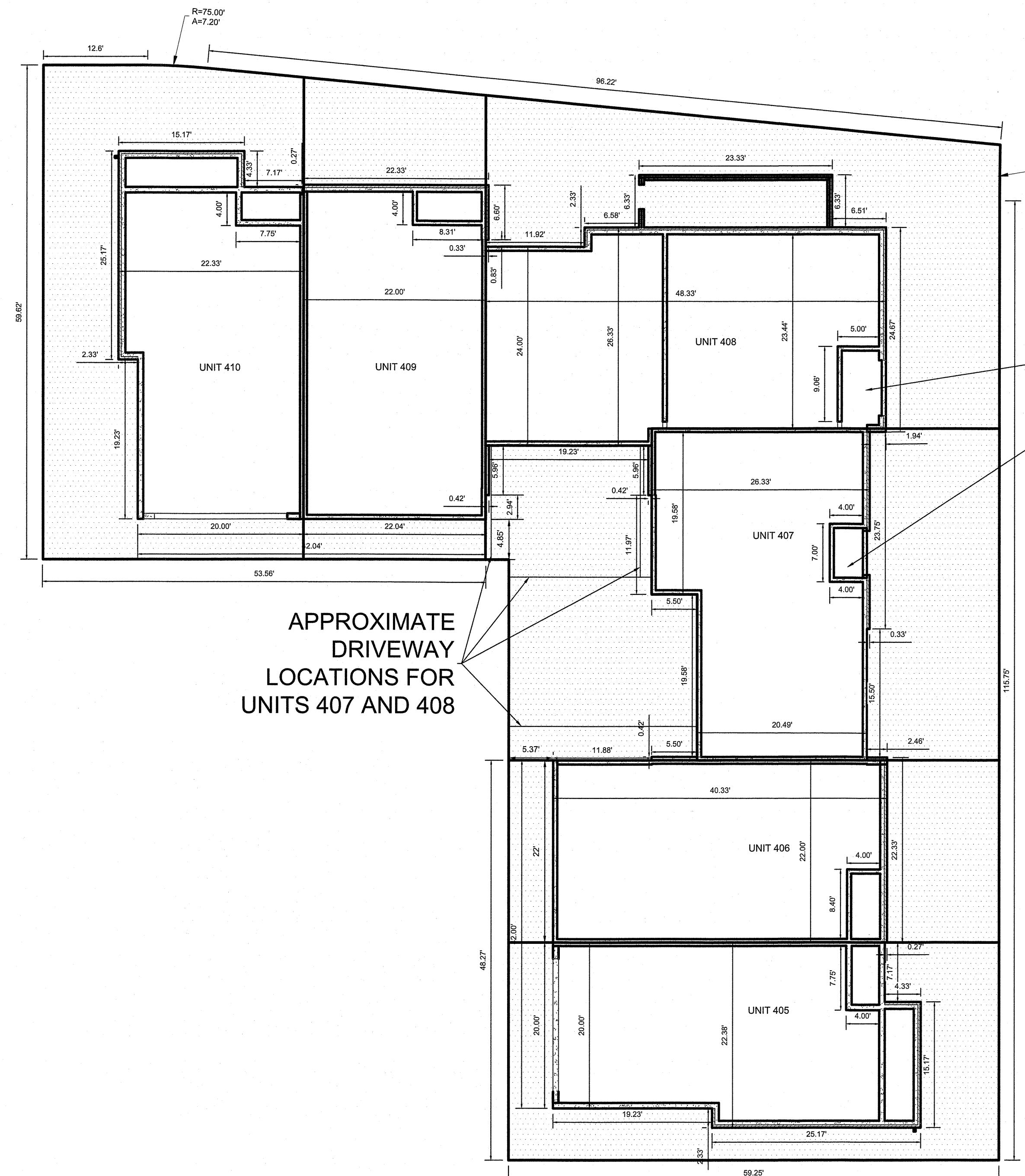
NOTWITHSTANDING THE LOCATION AND DIMENSIONS OF THE LIMITED COMMON FACILITY AREAS DEPICTED ON SHEETS 3 THROUGH 4 HEREOF:

FOR THOSE UNITS THAT HAVE A LIMITED COMMON FACILITY FRONT AND/OR REAR YARD AREA THAT ABUTS A ROADWAY OR ALLEY, THE LIMITED COMMON FACILITY FRONT AREA OF SUCH UNIT SHALL EXTEND FROM THE FRONT PERIMETER WALL (AS DEFINED IN THE DECLARATION) OF SUCH UNIT TO THE RIGHT OF WAY LINE OF THE ABUTTING ROADWAY OR ALLEY (AS APPLICABLE) AND THE LIMITED COMMON FACILITY REAR YARD OF SUCH UNIT SHALL EXTEND FROM THE REAR PERIMETER WALL OF SUCH UNIT TO THE RIGHT OF WAY LINE OF THE ABUTTING ROADWAY OR ALLEY (AS APPLICABLE);

FOR THOSE UNITS THAT HAVE A LIMITED COMMON FACILITY FRONT AND/OR REAR YARD AREA THAT DOES NOT ABUT A ROADWAY OR ALLEY, THE WIDTH OF THE LIMITED COMMON FACILITY FRONT YARD AREA OR REAR YARD AREA OF SUCH UNIT, AS APPLICABLE, SHALL BE THE DISTANCE AS DEPICTED ON THE PLAN APPLICABLE TO SUCH UNIT, AS SHOWN ON SHEETS 3 THROUGH 4 HEREOF;

FOR THOSE UNITS THAT HAVE A LIMITED COMMON FACILITY SIDE YARD AREA THAT ABUTS A ROADWAY OR ALLEY, THE WIDTH OF THE LIMITED COMMON FACILITY SIDE YARD AREA OF SUCH UNIT SHALL BE THE DISTANCE MEASURED FROM THE SIDE PERIMETER WALL OF SUCH UNIT TO THE RIGHT OF WAY LINE OF THE ABUTTING ROADWAY OR ALLEY; AND

FOR THOSE UNITS THAT HAVE A LIMITED COMMON FACILITY SIDE YARD AREA THAT DOES NOT ABUT A ROADWAY OR ALLEY, THE WIDTH OF THE LIMITED COMMON FACILITY SIDE YARD AREA OF SUCH UNIT SHALL BE THE DISTANCE MEASURED FROM THE SIDE PERIMETER WALL OF SUCH UNIT SHALL BE THE DISTANCE AS DEPICTED ON THE PLAN APPLICABLE TO SUCH UNIT, AS SHOWN ON SHEETS 3 THROUGH 4 HEREOF.



UNITS 407 AND 408 ARE "CORNER UNITS"  
AS DEFINED IN THE 15TH AMENDMENT TO  
THE DECLARATION

NOTE:

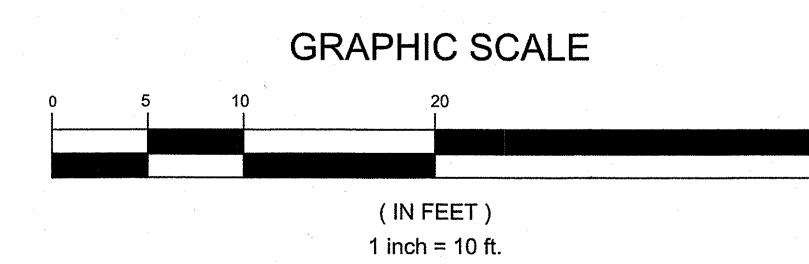
THE LIMITED COMMON FACILITY ("LCF") YARD AREAS SHOWN HEREON AND ABUTTING A UNIT SHALL BE A LCF SOLELY FOR SUCH UNIT IT ABUTS

LEGEND

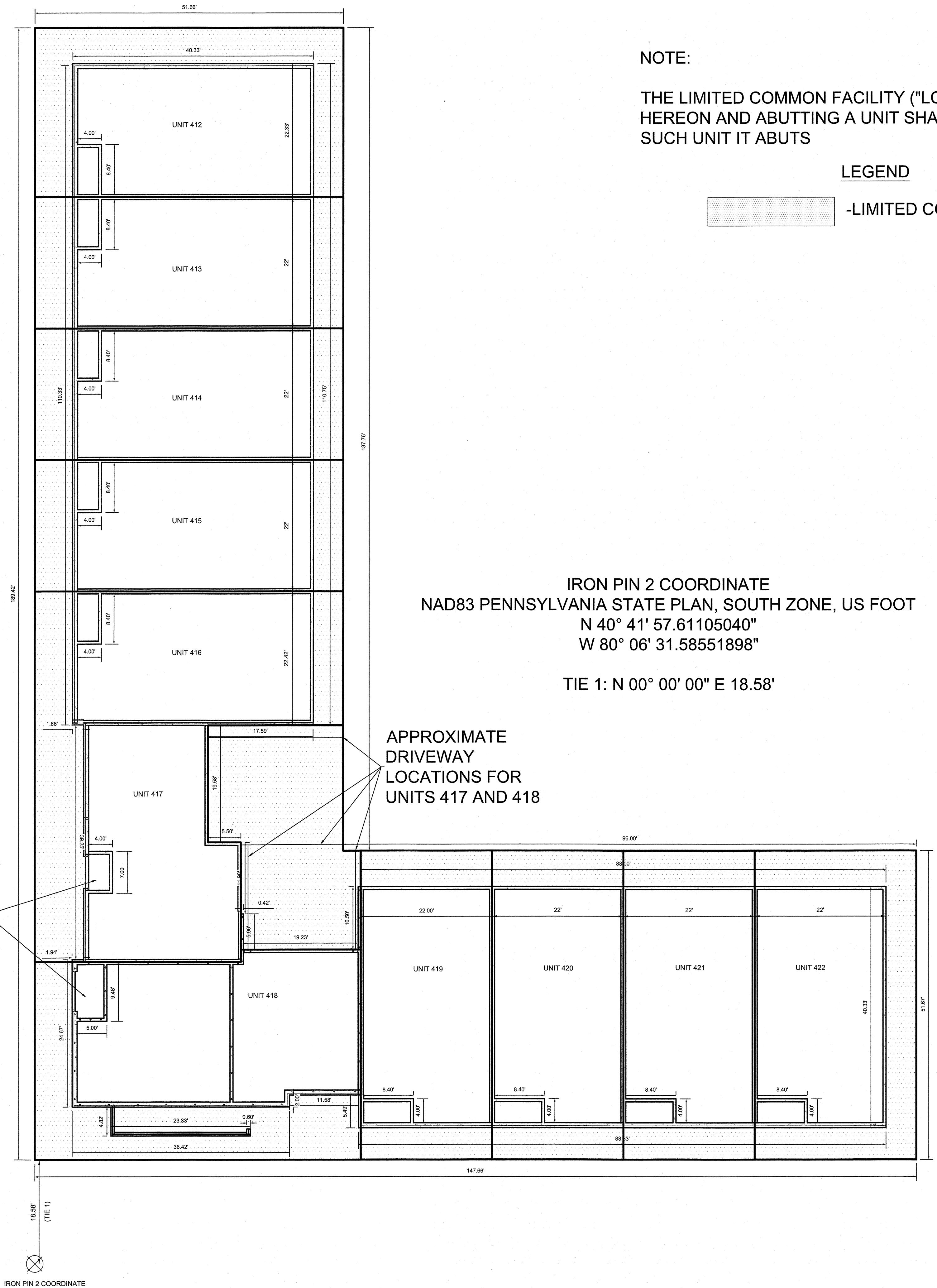
-LIMITED COMMON FACILITY ("LCF")

IRON PIN 1 COORDINATE  
NAD83 PENNSYLVANIA STATE PLAN, SOUTH ZONE, US FOOT  
N 40° 40' 59.83632309"  
W 80° 06' 32.46800993"

OWNER:  
ROCHESTER ROAD INVESTMENT CO.  
1190 DILLONVILLE ROAD  
LANCASTER, PA 17601  
PHONE: 717-560-1400



PLAN BOOK		PAGE
<b>425</b>		<b>8</b>
<b>GATEWAY</b> <b>ENGINEERS</b>		
The Gateway Engineers, Inc. Full-Service Civil Engineering & Surveying 100 McMorris Road, Pittsburgh, PA 15205 www.GatewayEngineers.com 855-634-9284		
AMENDED DECLARATION PLATS AND PLANS OF MEEDER, A PLANNED COMMUNITY PLANNED COMMUNITY PHASE 12 SITUATE IN CRANBERRY TOWNSHIP BUTLER COUNTY, PA MADE FOR		
ROCHESTER ROAD INVESTMENT CO.		
PM: DMH	DB: DRC	CB: DMH
SCALE: 1" = 10'	DATE: FEBRUARY 28, 2025	
Job Number: C-18807-0017		
Dwg No: SHEET: 3 OF 4		



NOTWITHSTANDING THE LOCATION AND DIMENSIONS OF THE  
LIMITED COMMON FACILITY AREAS DEPICTED ON SHEETS 3  
THROUGH 4 HEREOF:

FOR THOSE UNITS THAT HAVE A LIMITED COMMON FACILITY  
FRONT AND/OR REAR YARD AREA THAT ABUTS A ROADWAY  
OR ALLEY, THE LIMITED COMMON FACILITY FRONT AREA OF  
SUCH UNIT SHALL EXTEND FROM THE FRONT PERIMETER  
WALL (AS DEFINED IN THE DECLARATION) OF SUCH UNIT TO  
THE RIGHT OF WAY LINE OF THE ABUTTING ROADWAY OR  
ALLEY (AS APPLICABLE) AND THE LIMITED COMMON FACILITY  
REAR YARD OF SUCH UNIT SHALL EXTEND FROM THE REAR  
PERIMETER WALL OF SUCH UNIT TO THE RIGHT OF WAY LINE  
OF THE ABUTTING ROADWAY OR ALLEY (AS APPLICABLE);

FOR THOSE UNITS THAT HAVE A LIMITED COMMON FACILITY  
FRONT AND/OR REAR YARD AREA THAT DOES NOT ABUT A  
ROADWAY OR ALLEY, THE WIDTH OF THE LIMITED COMMON  
FACILITY FRONT YARD AREA OR REAR YARD AREA OF SUCH  
UNIT, AS APPLICABLE, SHALL BE THE DISTANCE AS DEPICTED  
ON THE PLAN APPLICABLE TO SUCH UNIT, AS SHOWN ON  
SHEETS 3 THROUGH 4 HEREOF;

FOR THOSE UNITS THAT HAVE A LIMITED COMMON FACILITY  
SIDE YARD AREA THAT ABUTS A ROADWAY OR ALLEY, THE  
WIDTH OF THE LIMITED COMMON FACILITY SIDE YARD AREA  
OF SUCH UNIT SHALL BE THE DISTANCE MEASURED FROM  
THE SIDE PERIMETER WALL OF SUCH UNIT TO THE RIGHT OF  
WAY LINE OF THE ABUTTING ROADWAY OR ALLEY; AND

FOR THOSE UNITS THAT HAVE A LIMITED COMMON FACILITY  
SIDE YARD AREA THAT DOES NOT ABUT A ROADWAY OR  
ALLEY, THE WIDTH OF THE LIMITED COMMON FACILITY SIDE  
YARD AREA OF SUCH UNIT SHALL BE THE DISTANCE  
MEASURED FROM THE SIDE PERIMETER WALL OF SUCH UNIT  
SHALL BE THE DISTANCE AS DEPICTED ON THE PLAN  
APPLICABLE TO SUCH UNIT, AS SHOWN ON SHEETS 3  
THROUGH 4 HEREOF.

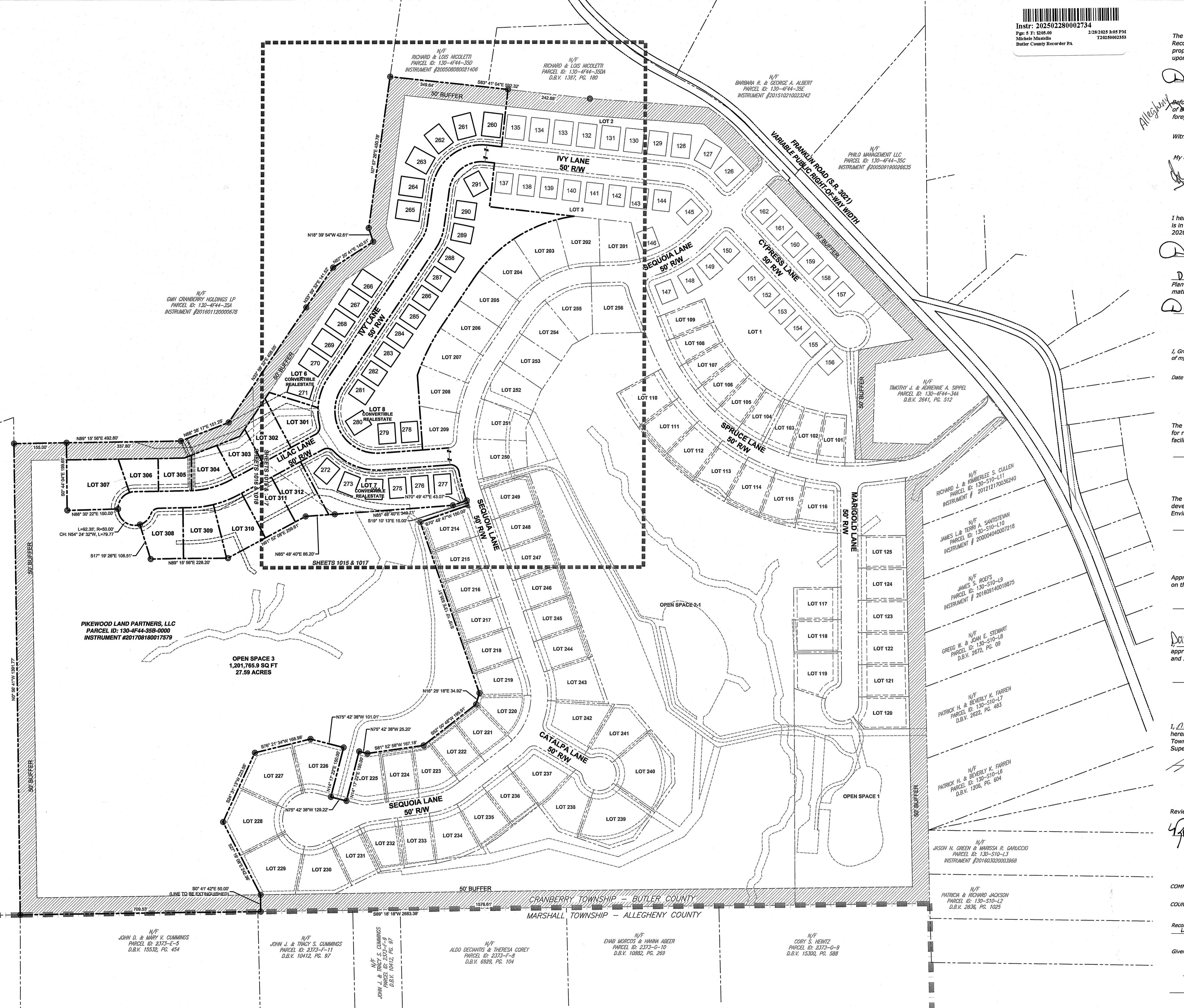
PLAN BOOK	PAGE
<b>425</b>	<b>9</b>

OWNER:  
ROCHESTER ROAD INVESTMENT CO.  
1109 DILLENVILLE ROAD  
LANCASTER, PA 17601  
PHONE: 717-560-1400

**GATEWAY**  
**ENGINEERS**  
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100 McMorris Road, Pittsburgh, PA 15205  
www.GatewayEngineers.com 855-634-9284  
AMENDED DECLARATION PLATS AND PLANS  
OF MEEDER, A PLANNED COMMUNITY  
PLANNED COMMUNITY PHASE 12  
SITUATE IN  
CRANBERRY TOWNSHIP  
BUTLER COUNTY, PA  
MADE FOR  
ROCHESTER ROAD INVESTMENT CO.  
Date: FEBRUARY 28, 2025  
Job Number: C-18807-0017  
Dwg No: SHEET: 4 of 4

## GENERAL NOTES

- AS PER THE APPROVED STORM WATER MANAGEMENT PLAN THE TOWNSHIP SHALL HAVE RIGHT OF ACCESS TO THE ON SITE DETENTION FACILITY FOR THE RIGHT OF MAINTENANCE, MONITORING, AND/OR SAMPLING, IN THE EVENT THAT THE ASSOCIATED HOMEOWNERS ASSOCIATION IS UNABLE TO MAINTAIN OR MONITOR THE FACILITY. THE OWNER, ASSIGNS OR HERIS SHALL REIMBURSE THE TOWNSHIP FOR THE COSTS OF MAINTENANCE AND MAINTENANCE. THE AFOREMENTIONED RIGHTS GRANTED THE TOWNSHIP IN NO WAY DIMINISH THE RESPONSIBILITY OF THE OWNER, ASSIGNS OR HERIS OF SAY. MAINTENANCE AND MONITORING LIABILITY WILL BE ASSUMED BY THE TOWNSHIP ASSOCIATED WITH REQUIRED ACCESS FOR MAINTENANCE OR MONITORING PURPOSES.
- PRIVATE STORM SEWERS AND SWALES SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.



Instr: 202502280002734  
Pgs: 5 F: \$205.00  
Michele Mustello  
Butler County Recorder PA

## OWNERS ADOPTION

The Pikedwood Land Partners, LLC, owner of the land shown on the "Laurel Pointe Phase 3 - Plan of Recording" hereby adopts this plan as its plan of lots and irrevocably dedicates all streets and other property identified for dedication on the plan to the public. This adoption and dedication shall be binding upon the partnership and upon its heirs, executors, and assigns.

*D. James Randolph* Witness *Michele Mustello* Signature of Owner *2-20-25* Date

*Allegany* Before me, the undersigned Notary Public in and for the Commonwealth of Pennsylvania and County of Butler, personally appeared the above named Pikedwood Land Partners, LLC, and acknowledged the foregoing adoption and dedication to be the act of the partnership.

Witness my hand and notarial seal this 20 day of February 2025.

My commission expires the 22 day of July, 2028  
*Michele J. Randolph* Notary Public

Commonwealth of Pennsylvania - Notary Seal  
Donna J. Hirschfield, Notary Public  
Allegheny County  
My commission expires 07/22/2028  
Commission number #0172257  
Member, Pennsylvania Association of Notaries

## CERTIFICATION OF TITLE

I hereby certify that the title to the property contained in the "Laurel Pointe Phase 3 - Plan of Recording" is in the name of Pikedwood Land Partners, LLC and is recorded in Instrument #201708180017579 and 2020002100002720.

*D. James Randolph* Witness *Michele Mustello* Signature of Owner

*Dollar Bank, FSB*, mortgagee of the property contained in the "Laurel Pointe Phase 3 - Plan of Recording" consents to the recording of said plan and to the dedications and all other matters appearing on the plan.

*D. James Randolph* Witness *Michele Mustello* Vice President  
Name, Title, and Mortgagee

## SURVEYOR'S CERTIFICATION

I, Gregory B. Jones, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, certify to the best of my knowledge, the survey and plan shown hereon are correct and accurate to the standards required

Date of Plan: February 14, 2023  
*Gregory B. Jones, PLS* PA Registration No. SU-052331E

## NO ACCEPTANCE OF DEDICATION

The Board of Supervisors of the Township of Cranberry, hereby gives notice that in approving this plan for recording, the Township of Cranberry has not accepted dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

*U. J. D. A.* Secretary *Bruce W. Hey* Chairman, Board of Supervisors

## NO BUILDING PERMITS WITHOUT APPROVED SEWAGE FACILITIES

The Township of Cranberry agrees not to issue building permits until the "Planning Module for Land Development" has been approved in accordance with the regulations of the Pennsylvania Department of Environmental Protection.

*U. J. D. A.* Secretary *2/1/25* Date

## CRANBERRY TOWNSHIP BOARD OF SUPERVISORS APPROVAL

Approved by the Board of Supervisors of the Township of Cranberry by *U. J. D. A.* Resolution No. 2024-144 on the 20 day of January 2024. *Bruce W. Hey*

## CRANBERRY TOWNSHIP MANAGER APPROVAL

*Daniel D. Santos* Manager for the Township of Cranberry, certify that the conditions for final approval outlined in *U. J. D. A.* Resolution No. 2024-144 have been met in accordance with Sections 22-305 and 22-307 of the Township of Cranberry Code of Ordinances.

*D. J. Santos* Township Manager

## CRANBERRY TOWNSHIP ENGINEER APPROVAL

*U. J. D. A.* a registered professional engineer, the Township Engineer for Cranberry Township, do hereby certify that this land development plan meets all the engineering and design requirements of the Township ordinances except as departures have been authorized by the Cranberry Township Board of Supervisors.

*U. J. D. A.* Signature *PE-073220* Registration Number *2/1/25* Date

## BUTLER COUNTY PLANNING COMMISSION REVIEW #24136

Reviewed by the Butler County Planning Commission on this 17 day of July 2024.

*U. J. D. A.* Secretary *J. Lynn* Chairman, Butler County Planning Commission

## PROOF OF RECORDING

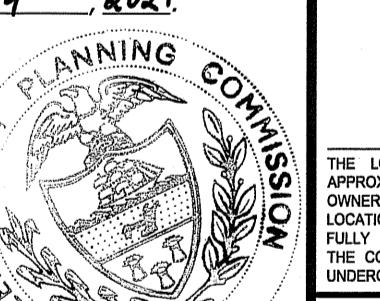
COMMONWEALTH OF PENNSYLVANIA *ss:*  
COUNTY OF BUTLER

Recorded in the Recorder's Office for the recording of deeds; plans, etc., in said County in Plan Book Volume *425*, Page *10-14*

Given under my hand and seal this 20 day of February 2025

*Michele J. Randolph* Recorder of Deeds

My Commission Expires First Monday in January 2028 *(2028)*



P 724-441100  
F 724-441100  
www.pve-lc.com

**PVE**  
Civil Engineering | Land Development | Structure Design  
Land Planning | Landscape Architecture | Environmental

Prepared For:  
Pikedwood Land Partners, LLC  
2543 Washington Road  
Pittsburgh, PA 15241

This plan has been prepared solely for the benefit of the name/s above and for the project named above. Its use for any other purpose, or for any other person, is prohibited without written consent from PVE Shaffer, LLC.

Waterfront Corporate Park III, Suite 101  
200 Geotronics Drive  
Sewickley, PA 15143

**811** Know what's below.  
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND DEPTH OF THESE UTILITIES AND SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DATE ISSUED: DECEMBER 06, 2019

PLAN REVISIONS

DATE	DESCRIPTION
4/09/2020	UPDATED SIDEYARD SETBACKS
5/02/2020	UPDATED PROPERTY LINES
6/01/2021	EASEMENT ADJUSTMENTS
7/02/18/2022	EASEMENT REVISIONS
8/03/08/2022	REQUESTED REVISIONS
9/10/03/2022	LOT CONFIGURATION REVISIONS
10/12/08/2022	AS-PER PLANS
11/02/14/2022	EASEMENT ADJUSTMENTS
12/02/14/2022	AS-PER PLANS
13/05/30/2024	ADDITIONAL LOTS 301-312
14/08/29/2024	ADDITION OF VILLA OUTLINES

Siteute In: Cranberry Township, Butler County, Pennsylvania

Project Name: **LAUREL POINTE**

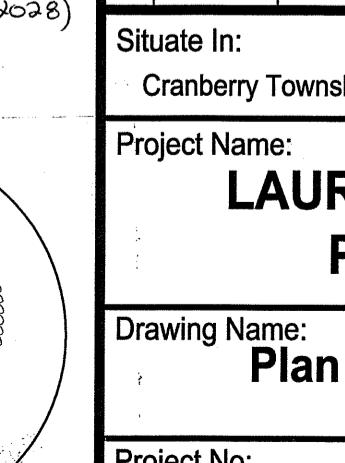
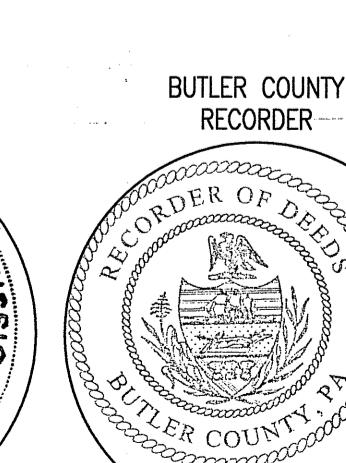
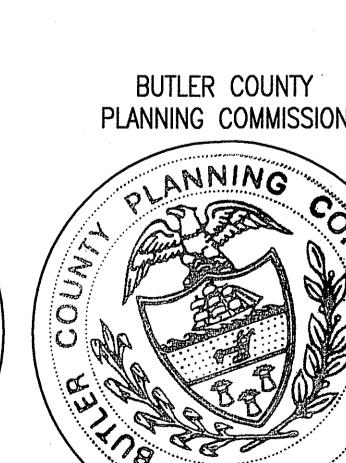
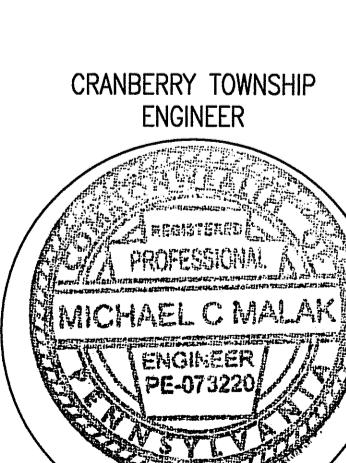
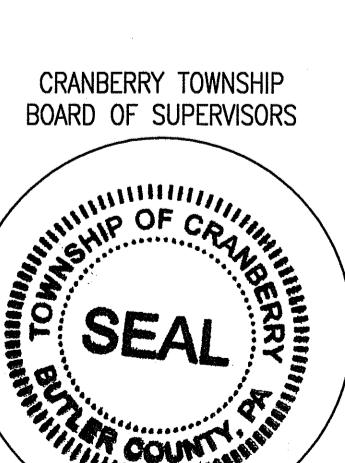
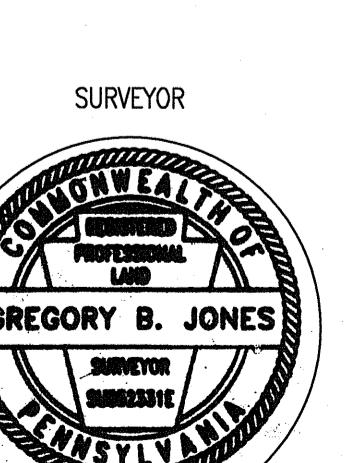
Phase 3

Drawing Name: **Plan of Recording**

Page 1 of 5

Project No: **161175**

Drawing No: **C-1014**



## GENERAL NOTES

- AS PER THE APPROVED STORM WATER MANAGEMENT PLAN, THE TOWNSHIP SHALL HAVE RIGHT OF ACCESS TO THE PROPERTY FOR MAINTENANCE, MONITORING, AND/OR SAMPLING IN THE EVENT THE OWNER ASSIGNS OR HEIRS DO NOT ADEQUATELY MAINTAIN OR MONITOR THE FACILITY. THE OWNER ASSIGNS OR HEIRS SHALL BE RESPONSIBLE TO THE TOWNSHIP FOR ALL COSTS ASSOCIATED WITH SAID MAINTENANCE. THE AFOREMENTIONED RIGHTS GRANTED THE TOWNSHIP ARE NOT TO BE CONSTRUED AS A RELEASE OF THE OWNER ASSIGNS OR HEIRS FROM THE RESPONSIBILITY OF MAINTENANCE AND MONITORING, AND NO LIABILITY WILL BE ASSUMED BY THE TOWNSHIP ASSOCIATED WITH REASONABLE ACCESS FOR MAINTENANCE OR MONITORING PURPOSES.
- PRIVATE STORM SEWERS AND SWALES SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

## AREA TABULATION

## EXISTING AREA:

PARCEL ID: 130-4F44-35B-0000 & 130-4F44-35B-0000  
OWNER: PIKEWOOD LAND PARTNERS LLC.  
DEED: INSTRUMENT #201708180017579 & #202002010002720  
AREA: 121.30 ACRES

## PROPOSED AREA:

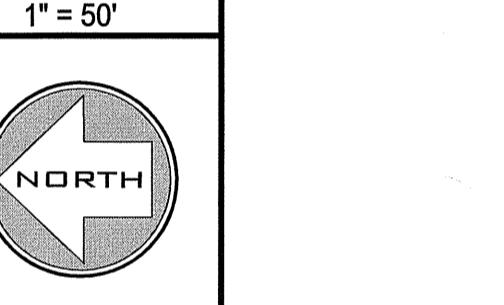
PHASE 2 & 3 (EXISTING): 78.65 ACRES  
LOTS 6, 8, 301-312: 14.64 ACRES  
OPEN SPACE: 3.27 ACRES  
ROAD RIGHT-OF-WAY: 2.42 ACRES  
TOTAL: 121.30 ACRES

## PHASE LOT/ UNIT BREAKDOWN

SINGLE FAMILY	VILLA UNITS	TOTAL
PHASE 1	25	36
PHASE 2	52	52
PHASE 3	12	32
<b>TOTAL</b>	<b>89</b>	<b>68</b>

0 50' 100'

Drawing Scale:  
1" = 50'



Waterfront Corporate Park III, Suite 101  
2000 Georgetowne Drive  
Sewickley, PA 15143

PVE

Civil Engineering | Land Development | Structure Design  
Land Planning | Landscape Architecture | Environmental

Prepared For:  
Pikewood Land Partners, LLC  
2543 Washington Road  
Pittsburgh, PA 15241

This plan has been prepared solely for the benefit of the person(s) named above and for the project noted on this drawing. The use of this plan by any third party, or for any other purpose other than specified, is prohibited without written consent from PVE Shaffer, LLC.



Know what's below.  
Call before you dig.

APPROXIMATE WAY OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROPRIATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. THE OWNER AGREES TO CALL 811 AND NOT LOCATE OR DAMAGE ANY EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE AND LIABLE FOR ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DATE ISSUED: DECEMBER 06, 2019

PLAN REVISIONS

DATE	DESCRIPTION
4 09/10/2020	UPDATED SIDEYARD SETBACKS
5 10/23/2020	UPDATED PROPERTY LINES
6 01/26/2021	ADJUSTED PROPERTY ADJUSTMENTS
7 02/01/2021	REQUESTED REVISIONS
8 03/02/2022	REQUESTED REVISIONS
9 10/29/2022	LOT CONFIGURATION REVISIONS
10 12/02/2022	AS-PER PLANS
11 1/21/2022	FASEMENT ADJUSTMENTS
12 02/14/2023	AS-PER SET
13 05/02/2024	ADDITION OF VILLA OUTLINES
14 08/29/2024	ADDITION OF VILLA OUTLINES

Situate In:  
Cranberry Township, Butler County, Pennsylvania

Project Name:  
**LAUREL POINTE**  
Phase 3

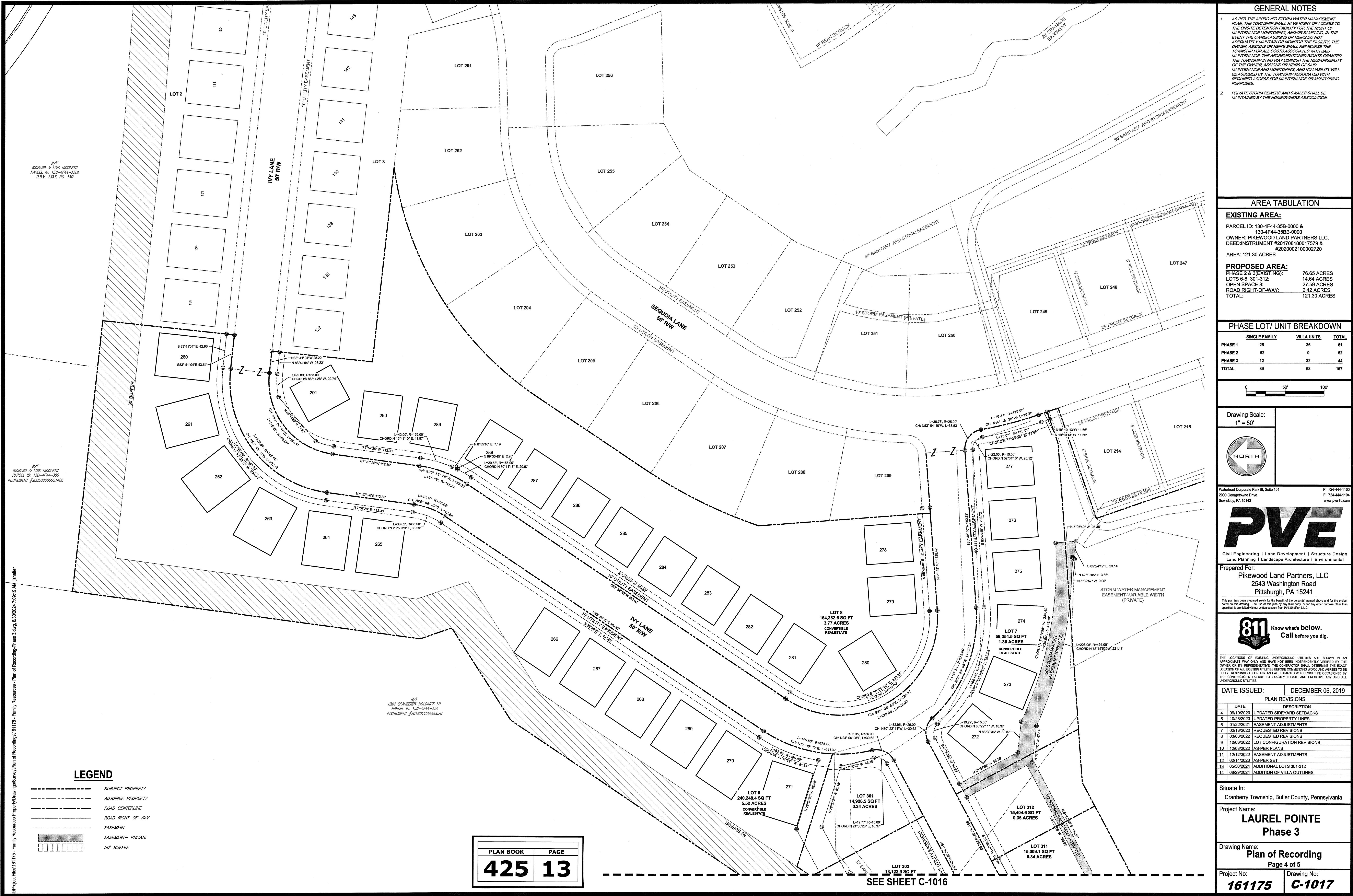
Drawing Name:  
**Plan of Recording**  
Page 2 of 5

Project No: **161175** Drawing No: **C-1015**

## LEGEND

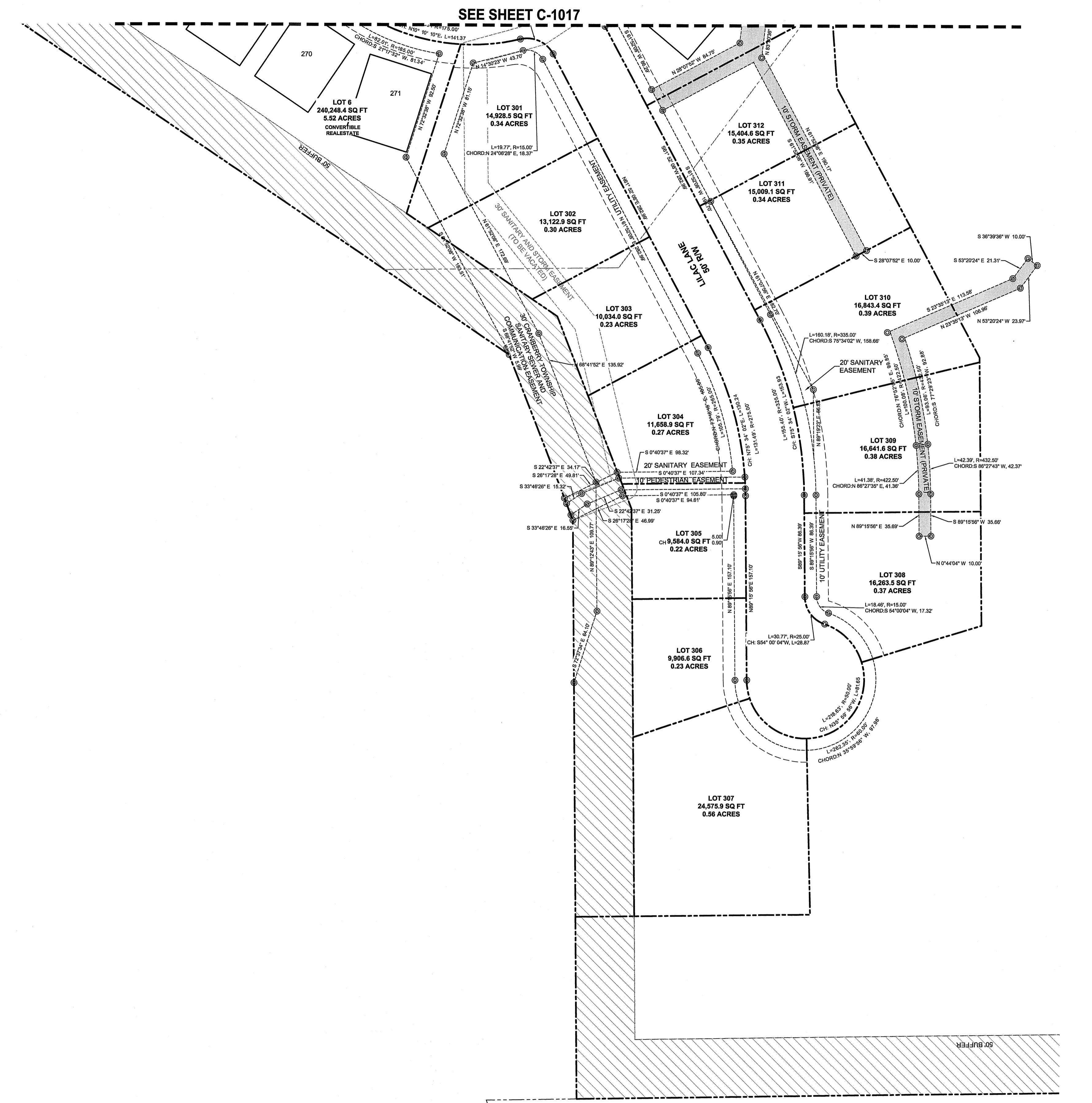
- SUBJECT PROPERTY
- ADJOINER PROPERTY
- ROAD CENTERLINE
- ROAD RIGHT-OF-WAY
- EASEMENT
- PROPERTY SETBACK
- 50' BUFFER





## GENERAL NOTES

- AS PER THE APPROVED STORM WATER MANAGEMENT PLAN, THE TOWNSHIP SHALL HAVE RIGHT OF ACCESS TO THE ON SITE DETENTION FACILITY FOR THE RIGHT OF MAINTENANCE MONITORING, AND/OR SAMPLING. IN THE EVENT THE OWNER OR HEIRS FAIL TO MAINTAIN OR ADEQUATELY MAINTAIN OR MONITOR THIS FACILITY, THE OWNER, ASSIGNS OR HEIRS SHALL REIMBURSE THE TOWNSHIP FOR ALL COSTS ASSOCIATED WITH SAID MAINTENANCE. THE TOWNSHIP SHALL NOT IMPOSE ON THE TOWNSHIP IN NO WAY DIMINISH THE RESPONSIBILITY OF THE OWNER, ASSIGNS OR HEIRS OF SAID MAINTENANCE. THE TOWNSHIP'S LIABILITY WILL BE ASSUMED BY THE TOWNSHIP ASSOCIATED WITH REQUIRED ACCESS FOR MAINTENANCE OR MONITORING PURPOSES.
- PRIVATE STORM SEWERS AND SWALES SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.



## LEGEND

- SUBJECT PROPERTY
- ADJOINER PROPERTY
- ROAD CENTERLINE
- ROAD RIGHT-OF-WAY
- EASEMENT
- EASEMENT - PRIVATE
- 50' BUFFER

## AREA TABULATION

## EXISTING AREA:

PARCEL ID: 130-4F44-35B-0000 &  
130-4F44-35B-0000  
OWNER: PIKEWOOD LAND PARTNERS LLC.  
DEED/INSTRUMENT #201708180017579 &  
#202000210002720  
AREA: 121.30 ACRES

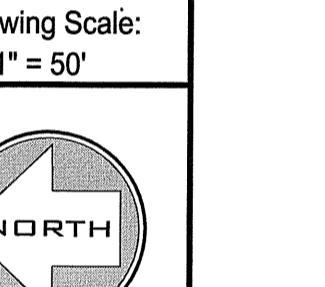
## PROPOSED AREA:

PHASE 2 & 3 (EXISTING): 76.65 ACRES  
LOTS 6-8, 301-312: 14.64 ACRES  
OPEN SPACE: 27.59 ACRES  
ROAD RIGHT-OF-WAY: 2.42 ACRES  
TOTAL: 121.30 ACRES

## PHASE LOT/UNIT BREAKDOWN

	SINGLE FAMILY	VILLA UNITS	TOTAL
PHASE 1	25	36	61
PHASE 2	52	0	52
PHASE 3	12	32	44
TOTAL	89	68	157

0 50' 100'



Waterfront Corporate Park III, Suite 101  
2000 Georgetown Drive  
Severna Park, MD 21143  
P: 724-444-1100  
F: 724-444-1104  
www.pve-lc.com

**PVE**  
Civil Engineering | Land Development | Structure Design  
Land Planning | Landscape Architecture | Environmental

Prepared For:  
Pikewood Land Partners, LLC  
2543 Washington Road  
Pittsburgh, PA 15241

This plan has been prepared solely for the benefit of the person(s) named above and for the project identified above. It is the responsibility of the person(s) named above to fully understand and interpret the information contained herein. It is the responsibility of the contractor to fully understand and interpret the information contained herein and to be fully responsible for any and all damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.

DATE ISSUED: DECEMBER 06, 2019

## PLAN REVISIONS

DATE	DESCRIPTION
4 09/02/2020	UPDATED SIDEYARD SETBACKS
5 10/23/2020	UPDATED PROPERTY LINES
6 01/22/2021	EASEMENT ADJUSTMENTS
7 02/18/2022	REQUESTED REVISIONS
8 03/08/2022	REQUESTED REVISIONS
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12 02/14/2023	AS-SET
13 05/02/2024	ADDITIONAL LOTS 301-312
14 08/29/2024	ADDITION OF VILLA OUTLINES

Situate In:  
Cranberry Township, Butler County, Pennsylvania

Project Name:  
**LAUREL POINTE**  
Phase 3

Drawing Name:  
**Plan of Recording**  
Page 5 of 5

Project No: 161175 Drawing No: C-1018

425 14

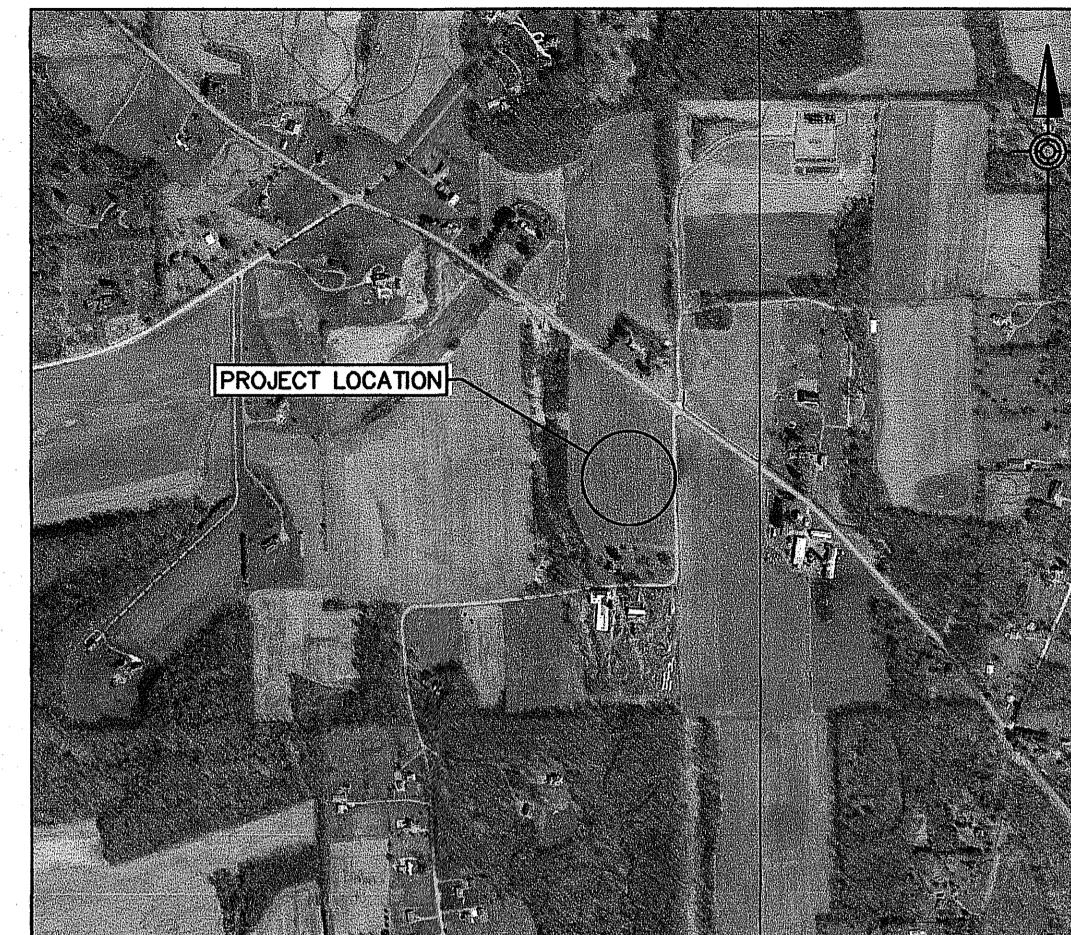
# POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

## FOR

# FOUR SEASONS FARM LLC - AG BMP PROJECT

PENN TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

Instrument No. 3030002782  
Page F-02880  
Michele Martello  
Butler County Recorder PA  
3/3/2025 2:07 PM  
T2025002192



LOCATION MAP

SCALE: 1" = 2000'

### PROPOSED LEGEND

■	PROPOSED MONUMENT
●	PROPOSED REBAR
—	PROPOSED PROPERTY LINE
—	PROPOSED EASEMENT
—	PROPOSED/REQUIRED RIGHT-OF-WAY LINE
1010	PROPOSED CONTOUR
x 410.00	PROPOSED SPOT ELEVATION
x BC 410.00	PROPOSED BOTTOM OF CURB SPOT ELEVATION
x TC 410.00	PROPOSED TOP OF CURB SPOT ELEVATION
x HP 410.00	PROPOSED HIGH POINT SPOT ELEVATION
x LP 410.00	PROPOSED LOW POINT SPOT ELEVATION
x TW 410.00	PROPOSED TOP OF WALL SPOT ELEVATION
x GR 410.00	PROPOSED FINISHED GRADE AT WALL FACE SPOT ELEVATION
—	PROPOSED DITCH OR SWALE
—	PROPOSED BITUMINOUS WEDGE CURB
—	PROPOSED CURB
—	PROPOSED CONCRETE SIDEWALK
—	PROPOSED ACCESSIBLE RAMP
—	PROPOSED TYPE 2-S GUIDE RAIL
—	PROPOSED PARKING SPACE QUANTITY TAG
—	PROPOSED BUILDING ENTRANCE
—	PROPOSED FENCE
—	PROPOSED FENCE
—	PROPOSED SIGN
—	PROPOSED DOUBLE SIGN
—	PROPOSED BOLLARD
—	LIMIT OF DISTURBANCE
—	TOPSOIL STOCKPILE
RE	ROCK CONSTRUCTION ENTRANCE
ST	SEDIMENT TRAP
RF	ROCK FILTER
SF	SILT FENCE
SF-18	SILT FENCE - 18" HIGH
SF-30	SILT FENCE - 30" HIGH
SSF	SUPER SILT FENCE
SS	SILT SOXX
SS-8	SILT SOXX - 8"
SS-12	SILT SOXX - 12"
SS-18	SILT SOXX - 18"
SS-24	SILT SOXX - 24"
—	INLET PROTECTION
—	EROSION CONTROL BLANKET
—	DRAINAGE BASIN
—	INLET DRAINAGE BASIN
—	CHANNEL FLOW

### EXISTING LEGEND

×	Angle Iron	—	Existing Above Ground Telephone Line
●	Axle	—	Existing Underground Telephone Line
○	Drill Hole	—	Existing Telephone - Direct Buried
□	Hub	—	Existing Above Ground Cable TV Line
■	Monument	—	Existing Underground Cable TV Line
○	Nail	—	Existing Above Ground Telephone and Cable TV Line
◎	Iron Pipe	—	Existing Above Ground Fiber Optic Line
○	Iron Pin	—	Existing Underground Fiber Optic Line
△	PK Nail	—	Existing Conduit
■	Rail Road Spike	—	Existing Cable TV Pedestal
●	Benchmark	—	Existing Telephone Pedestal
○	Stone Monument	—	Existing Telephone Manhole
○	Tree Monument	—	Existing Telephone Pole
—	Railroad Track	—	Existing Above Ground Electric Line
—	Municipal Boundaries	—	Existing Underground Electric Line
—	Property Line	—	Existing Electric - Direct Buried
—	Legal Right-of-Way Line	—	Existing Above Ground Electric and Telephone Line
—	Setback Line	—	Existing Above Ground Electric and Cable TV Line
—	Zoning Boundaries	—	Existing Above Ground Electric, Telephone and Cable TV Line
—	Soil Boundaries	—	Existing Electrical Manhole
—	Existing Easement	—	Existing Electric Pole
—	—	—	Existing Private Utility Pole
—	—	—	Existing Guy Pole
—	Existing Contour Major	—	Existing Light Standard
—	Existing Contour Minor	—	Existing Guy Wire
—	Existing Stream Line	—	Existing Electrical Box
—	Existing Ground Elevation	—	Existing Traffic Signal Pole
—	Existing Ditch Or Swale	—	Control Box
—	Existing Shrub	—	Existing Gas Line
—	Existing Coniferous Tree	—	Existing Petroleum Pipeline
—	Existing Deciduous Tree	—	Existing Gas Manhole
—	Existing Stream Line	—	Existing Gas Valve
—	Existing Ditch Or Swale	—	Existing Gas Meter
—	Existing Shrub	—	Existing Sanitary Sewer Line
—	Existing Coniferous Tree	—	Existing Forcemain Line
—	Existing Deciduous Tree	—	Existing Storm Sewer Line
—	Existing Curb	—	Existing Sanitary Sewer Manhole
—	Existing Edge of Road	—	○ CO
—	Existing Edge of Gravel	—	○ S
—	Existing Guide Rail	—	○ Storm MH
—	Existing Fence	—	○ CO
—	Existing Fence Post	—	○ S
—	Existing Stone Wall	—	○ Storm MH
—	Existing Retaining Wall	—	○ W
—	Existing Field	—	○ W
—	Existing Sign	—	○ W
—	Existing Sign And Posts	—	○ W
—	Existing One-Sided Billboard	—	○ W
—	Existing Two-Sided Billboard	—	○ W
—	Existing Rail Road Sign	—	○ W
—	Existing Rail Road Crossing Gate	—	○ FH
—	Existing Rail Road Signal Light	—	○ MM
—	Existing Bollard	—	○ MM
—	Existing Road Delineation Post	—	○ W
—	Existing Flag Pole	—	○ W
—	Existing Lamp Post	—	○ W
—	Existing Post	—	○ W
—	Existing Mailbox	—	○ W

Sheet List Table		
Sheet Number	Sheet Description	Sheet Title
01	CV-1	COVER SHEET
02	EC-1	EXISTING CONDITIONS
03	PC-1	STORMWATER MANAGEMENT PLAN
04	PR-1	STORMWATER PROFILES
05	PCNT-1	PCSM PLAN NOTES
06	PCDT-1	PCSM PLAN DETAILS
07	PCDT-2	PCSM PLAN DETAILS

### ACKNOWLEDGEMENT OF DESIGN PROFESSIONAL

I, DANIEL J. BARNA, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE PENN TOWNSHIP, BUTLER COUNTY, STORMWATER MANAGEMENT ORDINANCE.

DANIEL J. BARNA  
R.D. #30340-0425

3/3/2025

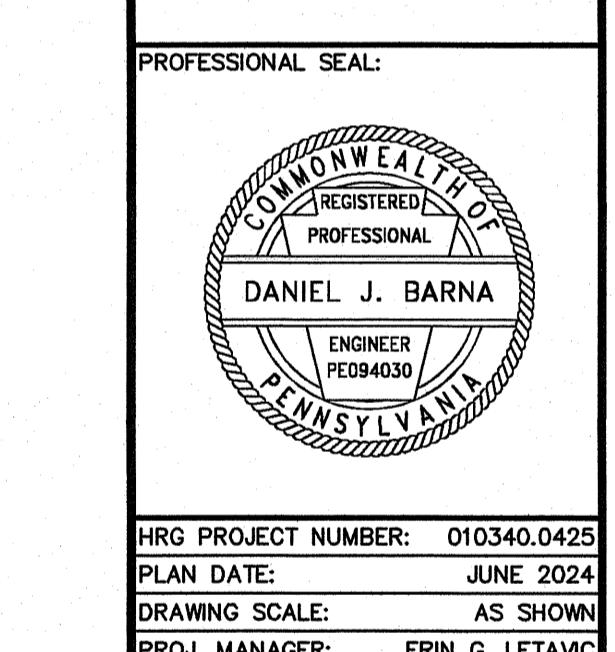
### ACKNOWLEDGEMENT OF NOTARY PUBLIC

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED Daniel J. Barna, THE ABOVE NAMED ENGINEER.

WITNESS MY HAND AND NOTARIAL SEAL THIS 3 DAY OF March 2025

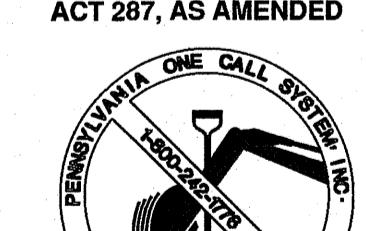
(SEAL)

Commonwealth of Pennsylvania - Notary Seal  
Kirsten L. Barna, Notary Public  
Butler County  
My commission expires April 1, 2028  
Commission number 1268346  
Member, Pennsylvania Association of Notaries



### PA ONE CALL

ACT 287, AS AMENDED



PENNSYLVANIA ACT 287 (1974) AS AMENDED REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR CONTRACTORS PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

PA ONE-CALL SERIAL NO. 2024082202 HAS BEEN ASSIGNED TO THIS PROJECT ON 03-26-2024.

### PA ONE CALL-UTILITY LIST

ADAMS TOWNSHIP MUNICIPAL WATER AUTHORITY	(724) 625-3166
PEOPLES GAS COMPANY LLC	(412) 258-4415
BRIGHTSPED	(704) 314-2503
FIRSTENERGY CORPORATION	(330) 604-4073
MARKWEST LIBERTY MIDSTREAM AND RESOURCES	(724) 579-0786
PENNENERGY RESOURCES LLC	(412) 432-9217
PENN TOWNSHIP BUTLER COUNTY	(724) 285-9317

SHEET TITLE:  
COVER SHEET

FILE NAME: CV-1  
PAGE: 01

**HRG**  
HERBERT, ROWLAND & GRUBIN, INC.  
220 WEST KENSINGER DRIVE  
SUITE 100  
CRANBERRY TOWNSHIP, PA 16066  
724.779.4777 | hrg-inc.com

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN  
FOR  
FOUR SEASONS FARM LLC - AG BMP PROJECT  
120 ROYAL OAK DRIVE  
BUTLER, PA 16002  
PENN TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA



**HERBERT, ROWLAND & GRUBIC, INC.**  
220 WEST KENSINGER DRIVE  
SUITE 100  
**CRANBERRY TOWNSHIP, PA 16066**  
**724.779.4777 | hrg-inc.com**

GRAPHIC SCALE

50' 25' 0' 50'

SCALE: 1" = 50'

PLAN BOOK	PAGE
425	17

# STORMWATER MANAGEMENT PLAN FOR

# FOUR SEASONS FARM LLC - AG BMP PROJECT

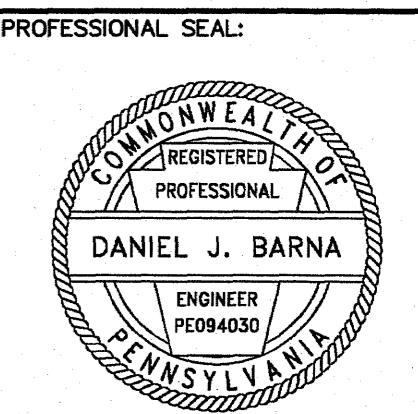
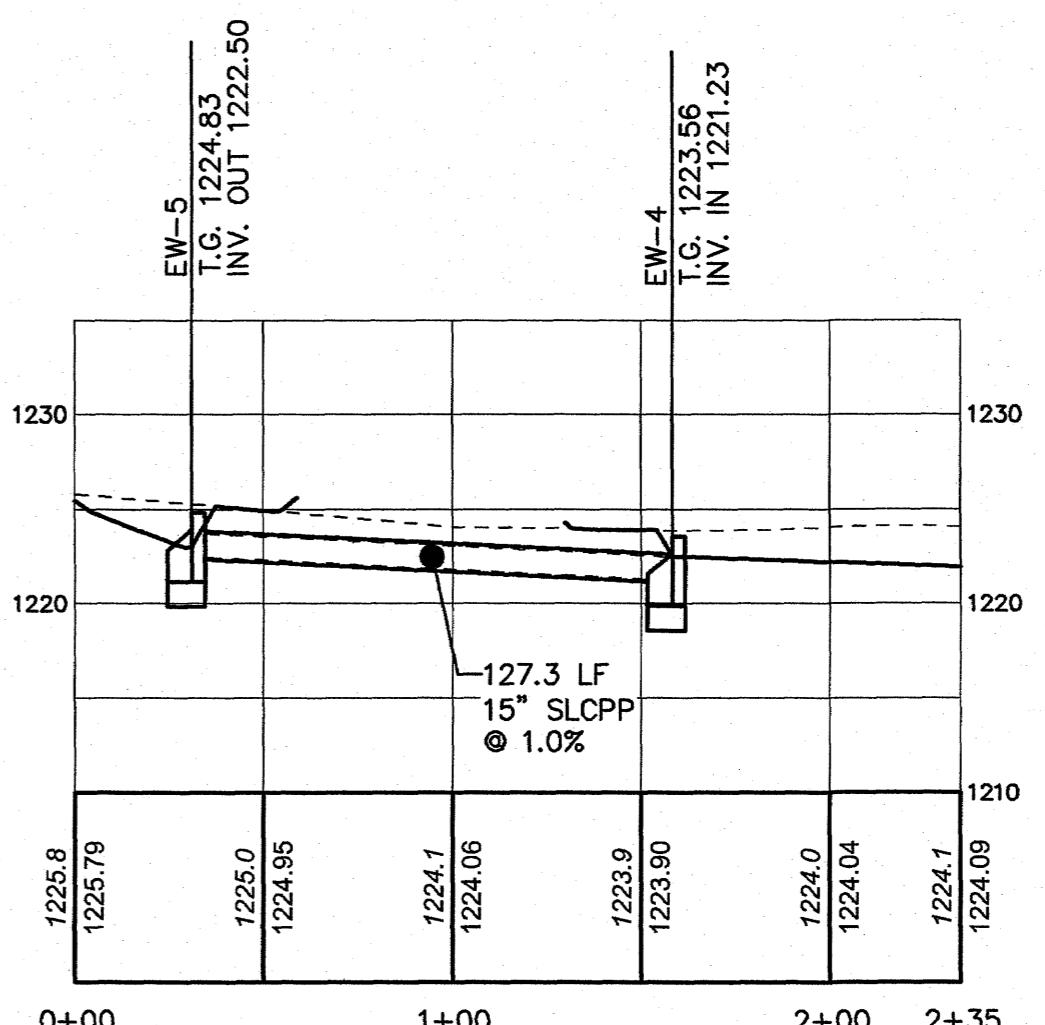
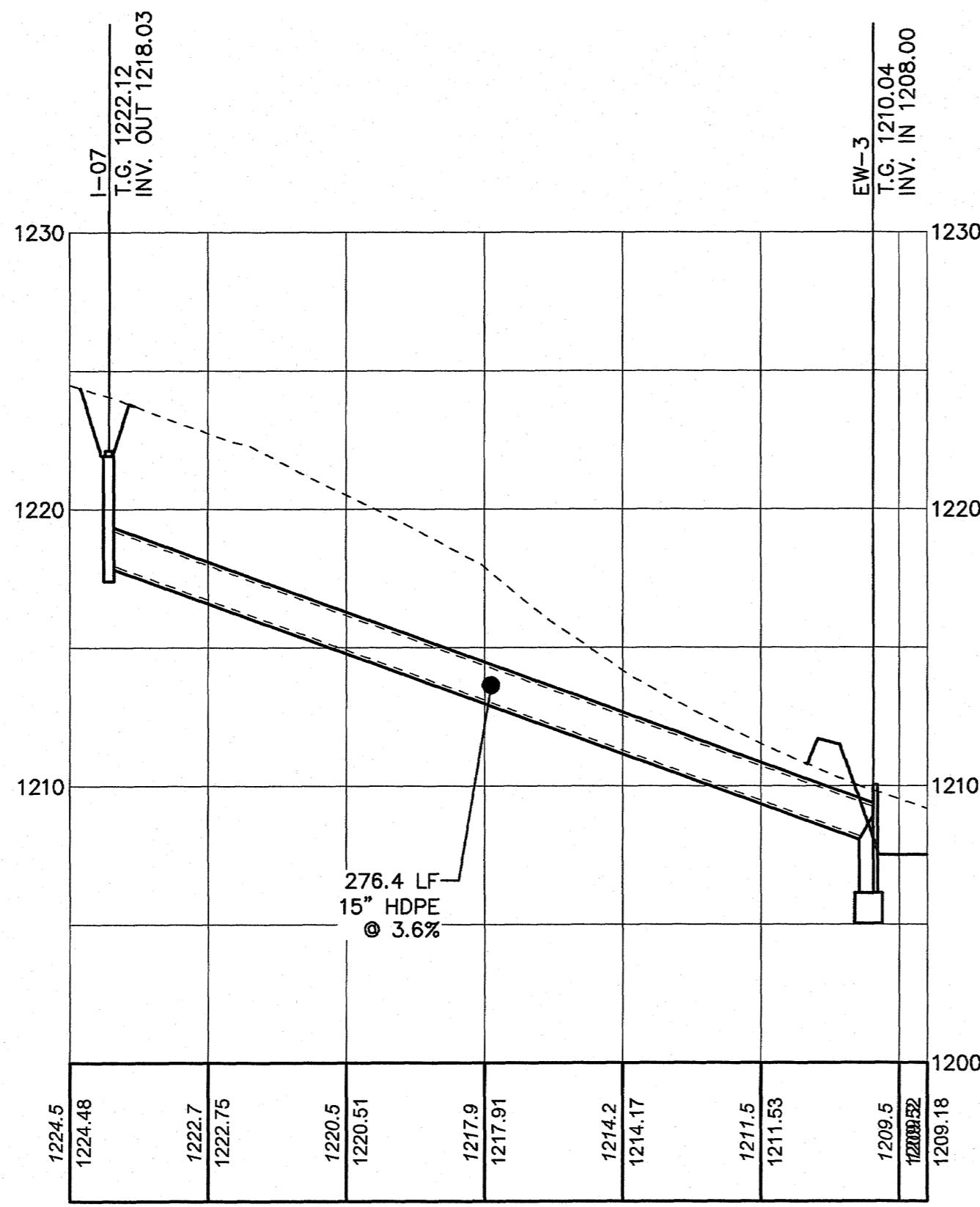
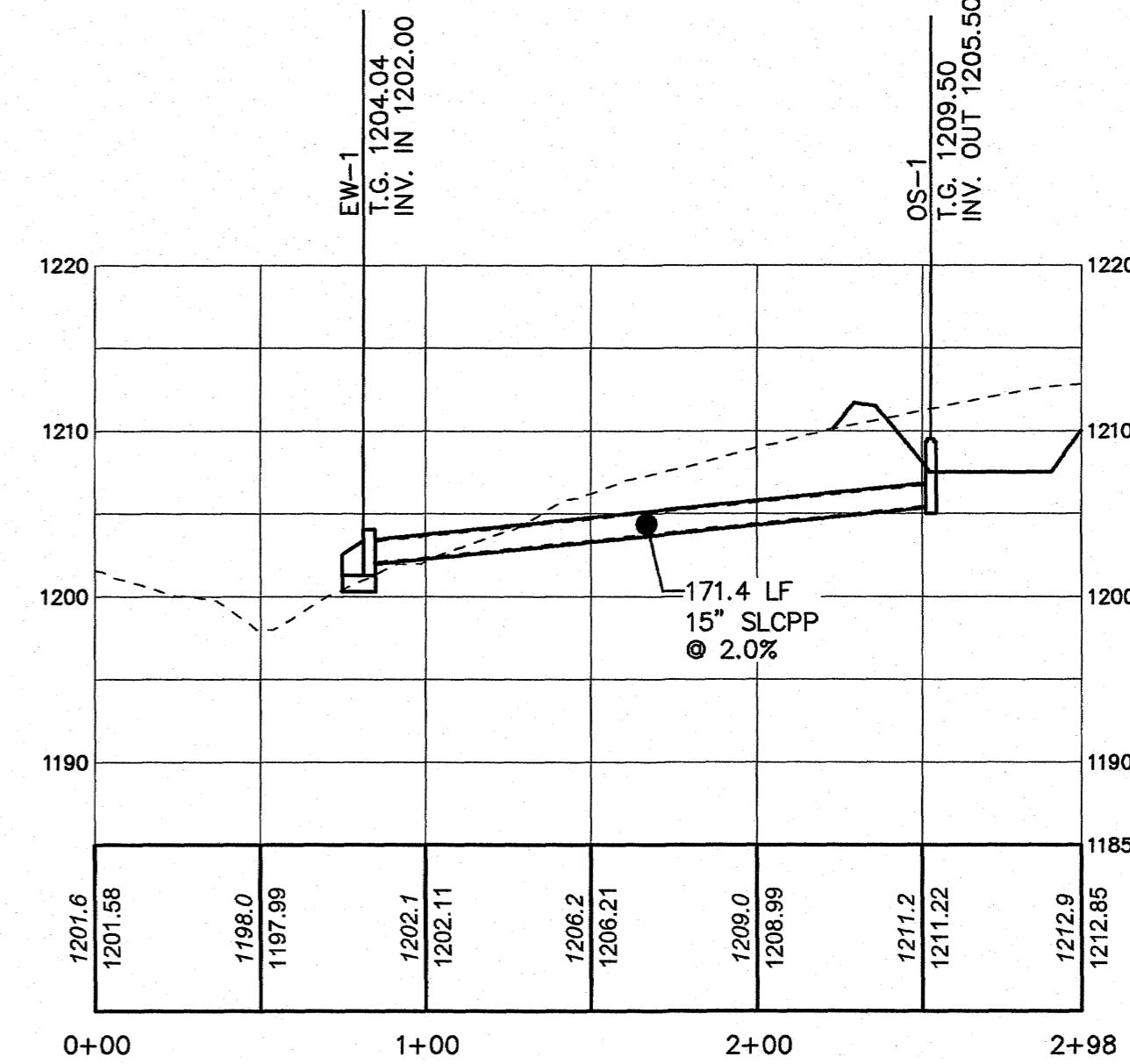
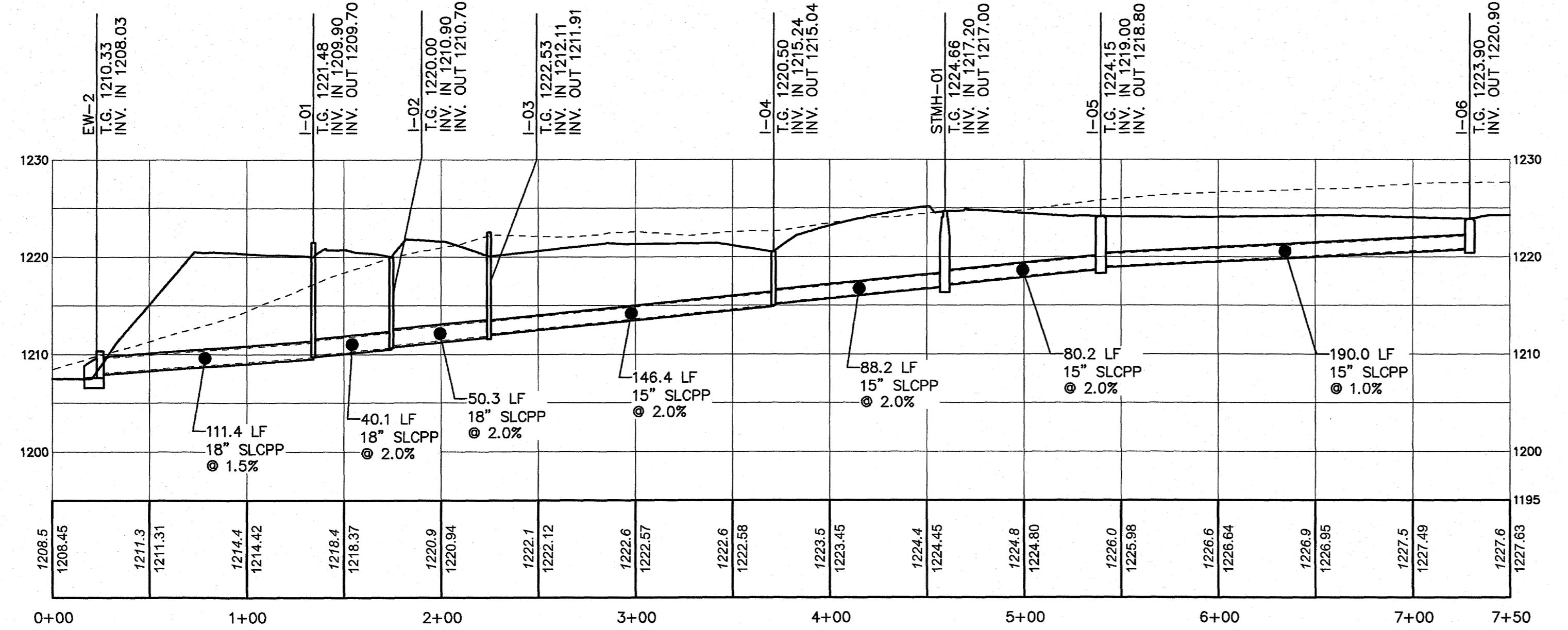
A circular professional seal. The outer ring contains the text "PROFESSIONAL SEAL:" at the top and "PENNSYLVANIA" at the bottom, both in a stylized font. The inner circle features a rope-like border. The top half of the inner circle contains the text "COMMONWEALTH OF" above "REGISTERED" and "PROFESSIONAL". The bottom half contains the name "DANIEL J. BARNA". Below this, another horizontal line contains the text "ENGINEER" above "PE094030".

RG PROJECT NUMBER: 010340.0425  
LAN DATE: JUNE 2024  
RAWING SCALE: AS SHOWN  
ROJ. MANAGER: ERIN G. LETAVIC

REVISIONS			
NO.	DATE	DESCRIPTION	
1	JUNE 2024	NPDES	COMPLETION COMMENTS
2	JULY 2024	NPDES	COMPLETION COMMENTS
3	JULY 2024	NPDES	TECHNICAL COMMENTS
4			
5			

HEET TITLE: STORMWATER MANAGEMENT PLAN

HEET: **PC-1** | **03**



HRG PROJECT NUMBER: 010340.0425  
PLAN DATE: JUNE 2024  
DRAWING SCALE: AS SHOWN  
PROJ. MANAGER: ERIN G. LETAVIC

REVISIONS  
NO. DATE DESCRIPTION  
1 JUNE 2024 NPDPS COMPLETION COMMENTS  
2 JULY 2024 NPDPS COMPLETION COMMENTS #2  
3 JULY 2024 NPDPS TECHNICAL COMMENTS  
4  
5  
6  
7  
8  
9

STORMWATER  
PROFILES

PLAN BOOK PAGE  
425 18

PR-1 04

## POST CONSTRUCTION STORMWATER MANAGEMENT STANDARD NOTES

### PCSM REQUIREMENTS

A LICENSED PROFESSIONAL OR A DESIGNEE SHALL BE PRESENT ONSITE AND BE RESPONSIBLE DURING CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN. THE CRITICAL STAGES MAY INCLUDE THE INSTALLATION OF UNDERGROUND TREATMENT OR STORAGE BMPs, STRUCTURALLY ENGINEERED BMPs, OR OTHER BMPs AS DEEMED APPROPRIATE BY THE DEPARTMENT OR THE CONSERVATION DISTRICT. THE PCSM PLAN, INSPECTION REPORTS, AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OR THE CONSERVATION DISTRICT.

### PCSM LONG TERM OPERATION AND MAINTENANCE REQUIREMENTS

THE PERMITTEE OR CO-PERMITTEE SHALL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPs UNLESS A DIFFERENT PERSON IS IDENTIFIED IN THE NOTICE OF TERMINATION AND HAS AGREED TO LONG TERM OPERATION AND MAINTENANCE OF PCSM BMPs. A PERMITTEE OR CO-PERMITTEE THAT FAILS TO TRANSFER LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP OR OTHERWISE FAILS TO COMPLY WITH THIS REQUIREMENT SHALL REMAIN JOINTLY AND SEVERALLY RESPONSIBLE WITH THE LANDOWNER FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPs LOCATED ON THE PROPERTY.

### PERMIT TERMINATION

UPON PERMANENT STABILIZATION OF THE EARTH DISTURBANCE ACTIVITY AND INSTALLATION OF BMPs IN ACCORDANCE WITH AN APPROVED PLAN, THE PERMITTEE OR CO-PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE DEPARTMENT OR CONSERVATION DISTRICT. THE NOTICE OF TERMINATION MUST INCLUDE:

1. THE FACILITY NAME, ADDRESS AND LOCATION
2. THE OPERATOR NAME AND ADDRESS
3. THE NPDES PERMIT NUMBER
4. THE REASON OF PERMIT TERMINATION
5. IDENTIFICATION OF THE PERSONS WHO HAVE AGREED TO AND WILL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPs.
6. COPY OF LEGAL INSTRUMENT: FOR ANY PROPERTY CONTAINING A PCSM BMP, THE PERMITTEE OR CO-PERMITTEE SHALL RECORD AN INSTRUMENT WITH THE RECORDER OF DEEDS WHICH WILL ASSURE DISCLOSURE OF THE PCSM BMP AND THE RELATED OBLIGATIONS IN THE ORDINARY COURSE OF A TITLE SEARCH OF THE SUBJECT PROPERTY. THE RECORDED INSTRUMENT MUST IDENTIFY THE PCSM BMP, PROVIDE FOR NECESSARY ACCESS RELATED TO LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPs AND PROVIDE NOTICE THAT THE RESPONSIBILITY FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP IS COVENANT THAT RUNS WITH THE LAND THAT IS BINDING UPON AND ENFORCEABLE BY SUBSEQUENT GRANTEES, AND PROVIDE PROOF FOR FILING WITH THE NOTICE OF TERMINATION.
7. FINAL CERTIFICATION: THE PERMITTEE SHALL INCLUDE WITH THE NOTICE OF TERMINATION RECORD DRAWINGS WITH A FINAL CERTIFICATION STATEMENT FROM A LICENSED PROFESSIONAL, WHICH READS AS FOLLOWS:

"(NAME) DO HEREBY CERTIFY PURSUANT TO THE PENALTIES OF 18 PA. C.S.A. §4904 TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE ACCOMPANYING RECORD DRAWINGS ACCURATELY REFLECT THE AS-BUILD CONDITIONS, ARE TRUE AND CORRECT, AND ARE IN CONFORMANCE WITH CHAPTER 102 OF THE RULES AND REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THAT THE PROJECT SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PCSM PLAN, ALL APPROVED PLAN CHANGES AND ACCEPTED CONSTRUCTION PRACTICES."

- 7.1. THE PERMITTEE SHALL RETAIN A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM PLAN.
- 7.2. THE PERMITTEE SHALL PROMISE A COPY OF THE RECORD DRAWINGS AS PART OF THE APPROVED PCSM PLAN TO THE PERSON IDENTIFIED IN THIS SECTION AS BEING RESPONSIBLE FOR THE LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPs.

### RECYCLING AND DISPOSAL OF MATERIALS

1. CONSTRUCTION WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHOULD BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL. RECYCLING OF MATERIAL, WHERE FEASIBLE, SHOULD BE THE PREFERRED METHOD OF WASTE DISPOSAL.
2. ALL E&S CONTROL MATERIAL, UNLESS SPECIFIED, SHOULD BE REMOVED AND DISPOSED OF FROM SITE IN THE APPROPRIATE MANNER SPECIFIED. ANY CAPTURED SEDIMENT SHOULD BE RETURNED AND SPREAD ON SITE, OR DISPOSED OF PROPERLY.
3. THE CONTRACTOR MUST USE ENVIRONMENTAL DUE DILIGENCE TO ENSURE THAT THE FILL MATERIAL ASSOCIATED WITH THIS PROJECT (IF ANY) QUALIFIES AS CLEAN FILL MATERIAL. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ANY REQUIRED PERMITS.
4. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)
5. ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUE, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECT TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEP POLICY "MANAGEMENT OF FILL."

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.

### DEFINITION OF ENVIRONMENTAL DUE DILIGENCE

ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUE, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECT TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEP POLICY "MANAGEMENT OF FILL."

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.

### DEFINITION OF CLEAN FILL

CLEAN FILL: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)

DESCRIBED BELOW ARE THE MAJOR CONSTRUCTION ACTIVITIES THAT ARE THE SUBJECT OF THE PCSM PLAN. THEY ARE PRESENTED IN THE ORDER (OR SEQUENCE) THAT THEY ARE EXPECTED TO BEGIN, HOWEVER EACH ACTIVITY WILL NOT NECESSARILY BE COMPLETED BEFORE THE NEXT BEGINS. THESE ACTIVITIES COULD OCCUR IN A DIFFERENT ORDER IF NECESSARY TO MAINTAIN ADEQUATE PCSM CONTROL.

### GENERAL CONSTRUCTION NOTES:

REFER TO THE CONSTRUCTION SEQUENCE FOR SPECIFIC NOTES THAT ARE TO BE STRICTLY FOLLOWED DURING CONSTRUCTION. NOTES IN THIS SECTION ARE GENERAL CONSTRUCTION NOTES.

1. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARED, PCSM PLAN PREPARED, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE OF THE BUTLER COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
2. AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
3. CLEAR AND GRUB EXISTING VEGETATION AND STRIP TOPSOIL ONLY AS NEEDED AS WORK PROGRESSES. TOPSOIL RESERVED FOR SEDED AREAS SHALL BE PLACED IN THE TEMPORARY TOPSOIL STOCKPILE LOCATIONS SHOWN ON THE PLAN.
4. UPON TEMPORARY CESSION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSION OF EARTH DISTURBANCE ACTIVITIES WILL EXCEED 4 DAYS, THE SITE SHALL BE IMMEDIATELY SEDED, MULCHED, OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION PENDING FUTURE EARTH DISTURBANCE ACTIVITIES.
5. PLACE TOPSOIL FOR ALL AREAS NEARING FINAL GRADE AS CONSTRUCTION PROGRESSES. IMMEDIATELY STABILIZE WITH SEED AND MULCH OR EROSION CONTROL MATTING, AS REQUIRED, FOR ALL AREAS REACHING FINAL GRADE.
6. PROVIDE A CONCRETE WASHOUT FACILITY FOR THE CLEANING OF CHUTES, MIXERS, AND HOPPERS OF THE DELIVERY VEHICLES UNLESS SUCH A FACILITY WILL BE USED AT THE SOURCE OF THE CONCRETE. UNDER NO CIRCUMSTANCES MAY WASH WATER FROM THESE VEHICLES BE ALLOWED TO ENTER ANY SURFACE WATERS. WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES OR SURFACE WATERS. PROVIDE PROPER SIGNAGE SO THAT DRIVERS ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES.
7. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. ANY DEVIATION FROM THE FOLLOWING SEQUENCE MUST BE APPROVED IN WRITING FROM THE BUTLER COUNTY CONSERVATION DISTRICT.
8. THE TOTAL TRENCH OPEN IN ONE DAY SHALL BE LIMITED TO THE LENGTH OF TRENCH THAT CAN BE EXCAVATED, PIPE INSTALLED, AND BACKFILLED UP TO GRADE. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT. ANY GROUNDWATER ENCOUNTERED DURING EXCAVATION SHALL BE PUMPED THROUGH A FILTER BAG PRIOR TO DISCHARGING.
9. AS SOON AS SLOPES, CHANNELS, DITCHES AND ALL OTHER DISTURBED AREAS MEET FINAL GRADE, INSTALL TOPSOIL, SEED, AND MULCH.
10. NO MORE THAN 15,000 S.F. OF DISTURBED AREA MAY REACH FINAL GRADE BEFORE INITIATING SEEDING AND MULCHING OPERATIONS.
11. ALL APPLICABLE PERMITS AND APPROVALS REQUIRED FOR THIS PROJECT SHALL BE SECURED PRIOR TO THE START OF CONSTRUCTION. COPIES OF PERMITS, PLANS AND APPROVALS SHALL BE KEPT ON-SITE AT ALL TIMES.
12. RESPONSIBILITY FOR IMPLEMENTING THE E&S CONTROLS SHALL BE DESIGNATED TO AT LEAST ONE (1) INDIVIDUAL WHO WILL BE PRESENT AT THE PROJECT SITE DAILY.
13. LIMIT OF TREE CLEARING AND LIMIT OF DISTURBANCE SHOULD BE FIELD MARKED PRIOR TO CONSTRUCTION.

### CONSTRUCTION SEQUENCE - TO BE STRICTLY FOLLOWED DURING CONSTRUCTION

1. FIELD-MARK THE LIMITS OF DISTURBANCE AND ESTABLISH SURVEY BENCHMARKS AND REFERENCE POINTS.
2. CLEAR AND GRUB FOR ROCK CONSTRUCTION ENTRANCE.
3. INSTALL ROCK CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN.
  - a. NO CONSTRUCTION VEHICLES ARE PERMITTED TO LEAVE THE SITE OTHER THAN OVER THE ROCK CONSTRUCTION ENTRANCE.
4. BEGIN ANY CLEARING AND GRUBBING LOCATIONS NECESSARY FOR THE E&S CONTROLS.
5. INSTALL COMPOST FILTER SOCKS 1-5 AS SHOWN ON PLANS. CFS 6 WILL BE INSTALLED ONCE FINAL GRADE IS ESTABLISHED.
6. INSTALL INFILTRATION BASIN.
  - a. CLEAR AND GRUB AREA FOR INFILTRATION BASINS.
  - b. GRADE IN INFILTRATION BASIN AS SHOWN ON PLANS. BOTTOM OF BASIN SHALL NOT BE COMPACTED. 2 FEET BELOW BASIN BOTTOM TO BE EXCAVATED AND REPLACED WITH ENGINEERED SOIL MEDIA CONSISTING OF 20% COMPOST, 40% SAND, AND 40% TOPSOIL. THIS IS A CRITICAL STAGE OF CONSTRUCTION, AND A LICENSED PROFESSIONAL OR DESIGNEE SHALL BE PRESENT ONSITE AND BE RESPONSIBLE DURING CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN.
  - c. INSTALL COMPOST FILTER SOCK 6 AND ENSURE THAT THE COMPOST FILTER SOCKS WILL PREVENT ANY SEDIMENT FROM ENTERING THE EXCAVATED BASIN. REPLACE SOCKS AS NEEDED TO ENSURE ADEQUATE E&S CONTROL.
  - d. INSTALL OUTLET STRUCTURE, ANTI-SEEP COLLARS, OUTFALL PIPE AND RIPRAP AS SPECIFIED ON PLAN. THE INSTALLATION OF THE OUTLET STRUCTURES IS A CRITICAL STAGE OF THE PCSM PLAN, AND A LICENSED PROFESSIONAL OR A DESIGNEE SHALL BE PRESENT ONSITE AND BE RESPONSIBLE DURING CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN.
7. INSTALL VEGETATED SWALE PER PLANS.
8. BEGIN CLEARING AND GRUBBING FOR THE REMAINDER OF THE SITE.
9. INSTALL ALL SITE UTILITIES AS PER THE PLANS.
10. ROUGH GRADE THE SITE AND THEN STABILIZE ANY AREAS THAT WILL REMAIN UN-DISTURBED FOR MORE THAN FOUR (4) DAYS ACCORDING TO THE TEMPORARY SEEDING SCHEDULE. ONCE AN AREA HAS REACHED FINAL GRADE, STABILIZE IT IMMEDIATELY. NO MORE THAN 15,000 SQUARE FEET OF DISTURBED AREA MAY REACH FINAL GRADE BEFORE INITIATING SEEDING AND MULCHING OPERATIONS. FILL SLOPES SHOULD BE STABILIZED IN 15 TO 25 FOOT VERTICAL INCREMENTS.
11. BEGIN INSTALLATION OF STORMWATER CONVEYANCE SYSTEM AND CORRESPONDING CONVEYANCES STARTING DOWNSTREAM AND WORKING UPSTREAM
  - a. INSTALL INLET PROTECTION ON PROPOSED INLETS.
12. BRING THE SITE TO FINAL GRADE. INCLUDE THE SUBBASE MATERIAL FOR PROPOSED ACCESS DRIVES AND PARKING LOT. STABILIZE ANY AREAS THAT WILL REMAIN UN-DISTURBED FOR MORE THAN FOUR (4) DAYS ACCORDING TO THE TEMPORARY SEEDING SCHEDULE. ONCE AN AREA HAS REACHED FINAL GRADE, STABILIZE IT IMMEDIATELY. NO MORE THAN 15,000 SQUARE FEET OF DISTURBED AREA MAY REACH FINAL GRADE BEFORE INITIATING SEEDING AND MULCHING OPERATIONS. FILL SLOPES SHOULD BE STABILIZED IN 15 TO 25 FOOT VERTICAL INCREMENTS.
  - a. THE CONTRACTOR MUST ENSURE THAT RUNOFF IS DIRECTED TO THE EROSION CONTROL FACILITIES AND MUST MAINTAIN POSITIVE DRAINAGE TO THOSE FACILITIES AS CONSTRUCTION PROGRESSES.
  - b. THE CONTRACTOR SHALL SEED AND MULCH THE TOPSOIL STOCKPILE IMMEDIATELY UPON ESTABLISHMENT.
  - c. UPON REACHING FINAL GRADE, SPREAD TOPSOIL, SEED, MULCH, AND INSTALL EROSION CONTROL BLANKET ON ALL SLOPES THAT ARE GREATER THAN 3:1 UNLESS SPECIFICALLY INDICATED ON THE PLAN.
13. COMPLETE INSTALLATION OF CONCRETE AND BUILDING PADS AS SHOWN ON PLANS. USE THE CONCRETE WASHOUT ON PLANS FOR EXCESS CONCRETE.
14. INSTALL OTHER SITE IMPROVEMENT FEATURES (STRUCTURES, ROADS, ACCESS PATHS, ETC.) ACCORDING TO SITE CONSTRUCTION PLANS.
15. SPREAD TOPSOIL, SEED, AND MULCH DURING ESTABLISHMENT OF PERMANENT GROUND COVER. RESEED AND RE-MULCH, ACCORDING TO THE SEEDING SCHEDULE ON THE PLANS, ANY AREAS THAT HAVE BECOME ERODED OR DO NOT PROPERLY ESTABLISH AS SHOWN ON THE PLANS. INSTALL THE PROPOSED LANDSCAPING.
16. UPON FINAL STABILIZATION OF THE NEWLY DISTURBED AREAS (UNIFORM 70% PERENNIAL VEGETATIVE COVER OR PERMANENT ASPHALT COVER), TEMPORARY EROSION CONTROLS MAY BE REMOVED. REMOVE COMPOST FILTER SOCKS, ROCK CONSTRUCTION ENTRANCE, AND CONCRETE WASHOUTS UPON FINAL UPSTREAM STABILIZATION.
  - a. PRIOR TO REMOVAL OF BMPs ALL ACCUMULATED SEDIMENT SHALL BE REMOVED
17. INSPECT FOR POOLS OF STANDING WATER; DEWATER AND DISCHARGE TO AN APPROVED LOCATION AND RESTORE TO DESIGN GRADE
18. MOW AND TRIM VEGETATION TO ENSURE SAFETY, AESTHETICS, PROPER SWALE OPERATION, OR TO SUPPRESS WEEDS AND INVASIVE VEGETATION; DISPOSE OF CUTTINGS IN A LOCAL COMPOSTING FACILITY; MOW ONLY WHEN SWALE IS DRY TO AVOID RUTTING
19. INSPECT FOR LITTER; REMOVE PRIOR TO MOWING
20. INSPECT FOR UNIFORMITY IN CROSS-SECTION AND LONGITUDINAL SLOPE, CORRECT AS NEEDED
21. INSPECT SWALE INFILT (CURB CUTS, PIPES, ETC.) AND OUTLET FOR SIGNS OF EROSION OR BLOCKAGE. CORRECT AS NEEDED

### SEEDING SCHEDULE

#### SEEDING NOTES

1. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE THE DISTURBED AREAS. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED WITH SEED AND MULCH. THE SEEDING SCHEDULE IS SPECIFIC TO THE SPECIFIC CONDITIONS OF THE DISTURBED AREAS WHICH ARE AT FINAL GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
2. SOIL STOCKPILES, WATERWAYS, DIVERSIONS, SEDIMENT BASINS, AND SEDIMENT TRAPS, MUST BE SEADED AND MULCHED IMMEDIATELY.
3. TEMPORARY SEEDING FOLLOW SOIL TEST RECOMMENDATIONS. IF NONE AVAILABLE, APPLY FOLLOWING RATES
4. PERMANENT SEEDING FOLLOW SOIL TEST RECOMMENDATIONS. IF NONE AVAILABLE, APPLY FOLLOWING RATES
5. ALL SEDED AREAS SHALL BE MULCHED WITH HAY OR STRAW APPLIED AT A RATE OF 6000 LBS./ACRE (140 LBS./1000 S.F.)
6. ALL AREAS RECEIVING SEEDING SHALL HAVE A MINIMUM OF 6" OF ORGANIC TOPSOIL.
7. 70% UNIFORM VEGETATED COVER IS REQUIRED FOR ACCEPTANCE.

APPLICATION	MIXTURE NUMBER	SPECIES	APPLICATION RATE LBS. PURE LIVE SEED/ACRE (1)
TEMPORARY OR NURSE	1	SPRING OATS, OR ANNUAL RYERGRASS - SPRING/FALL OR WINTER WHEAT - FALL OR WINTER RYE - FALL	48 20 90 56
LAWN AREA FLATTER THAN 3:1 (2)	2	TEMPORARY MIXTURE, PLUS TALL FESCUE, OR FINE FESCUE, OR KENTUCKY BLUEGRASS, PLUS REDTOP, OR PERENNIAL RYERGRASS	60 35 25 3 15
LAWN AREA 3:1 SLOPES OR STEEPER	3	BIRDSFOOT TREFOIL, PLUS TALL FESCUE	6 30
PERMANENT SWALES	4	TALL FESCUE PLUS RED OR HARD FESCUE	40 10

1. DATA FROM PA DEP E&S POLLUTION CONTROL PROGRAM MANUAL AND NRCS PA-342 CRITICAL AREA PLANTING PRACTICE SPECIFICATION.
2. SEEDING RATES ARE STATED AS POUNDS PER ACRES (LBS/ACRE) OF PURE LIVE SEED (PLS). PLS IS THE PRODUCT OF THE PERCENTAGE OF PURE SEED TIMES THE PERCENTAGE OF GERMINATION DIVIDED BY 100. (E.G. [85% PURE SEED X 72% GERMINATION] / 100 = 61% PLS). SEED SHOULD NOT BE USED LATER THAN ONE YEAR AFTER THE SEED DATE THAT APPEARS ON THE LABEL. USE OF SEED OLDER THAN ONE YEAR COULD RESULT IN LESS THAN SATISFACTORY VEGETATIVE COVERAGE AND THE NEED TO RE-SEED THE DISTURBED AREAS.

### POST-CONSTRUCTION BEST MANAGEMENT PRACTICES OWNERSHIP, OPERATIONS AND MAINTENANCE PROCEDURES

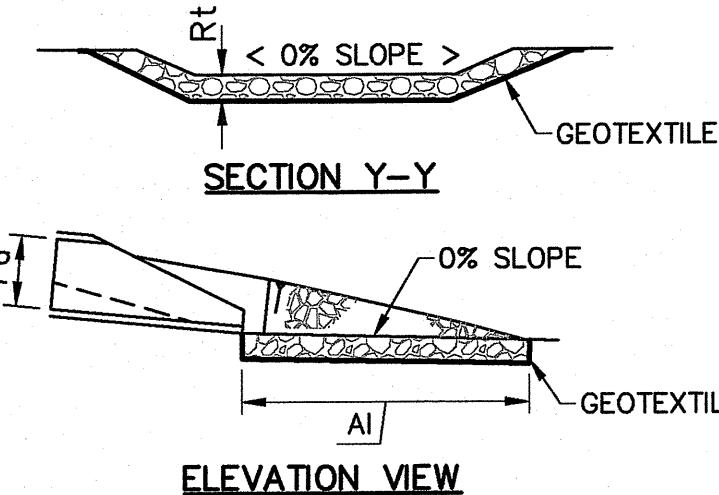
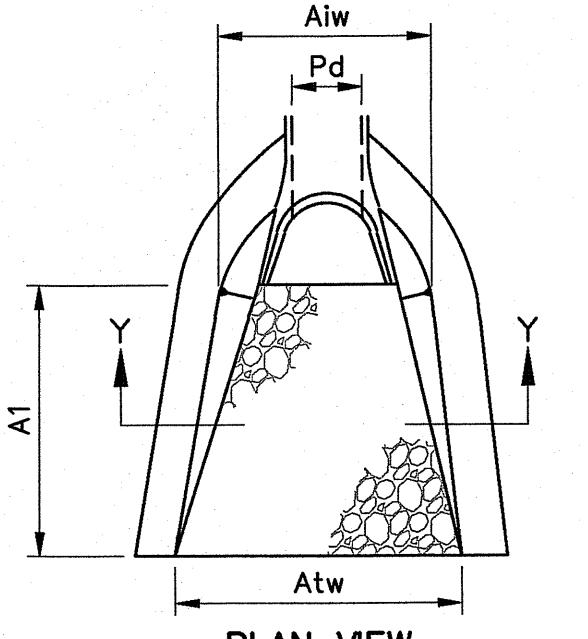
THE MAINTENANCE OF THE BMPs SHALL BE OWNED, MAINTAINED AND/OR REPAIRED BY THE PROPERTY OWNER. OWNERSHIP, OPERATION AND MAINTENANCE RESPONSIBILITY WILL BE THAT OF THE PROPERTY OWNER. THESE RESPONSIBILITIES INCLUDE OPERATION AND MAINTENANCE OF STORM SEWERS AND DRAINAGE STRUCTURES.

#### GENERAL MAINTENANCE

1. ALL STORMWATER MANAGEMENT FACILITIES SHOWN ON THIS PLAN SHALL BE CONSTRUCTED BY THE DEVELOPER IN ACCORDANCE WITH THE DESIGN, CONDITIONS, AND SPECIFICATIONS IDENTIFIED ON THE PLANS. OWNERSHIP AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE LANDOWNER, HIS SUCCESSORS AND ASSIGNS, UNLESS SPECIFICALLY IDENTIFIED HEREIN.
2. STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN GOOD WORKING CONDITION SO THAT THEY ARE PERFORMING THEIR DESIGN FUNCTION, IN A MANNER ACCEPTABLE TO THE COUNTY CONSERVATION DISTRICT. MAINTENANCE SHALL INCLUDE PERFORMING ROUTINE MAINTENANCE AND REPAIR OR REPLACEMENT OF DAMAGED FACILITIES, VEGETATION OR STORMWATER AREAS TO CONDITIONS AS SHOWN ON THE APPROVED PLAN. THE COUNTY CONSERVATION DISTRICT MUST BE NOTIFIED PRIOR TO PERFORMING REPAIRS.
3. INSPECT STORMWATER CONVEYANCE FACILITIES (INLETS, STORM SEWERS AND OUTLET PROTECTION) BI-ANNUALLY OR AFTER EACH SIGNIFICANT RAINFALL-PRODUCING EVENT. CLEAR DEBRIS FROM INLETS TO ALLOW UN-IMPEDED FLOW, FLUSH STORM SEWERS IF THEY BECOME PLUGGED AND CLEAN AND REPAIR SWALES SHOULD THEY BECOME BLOCKED OR ERODED.
5. INSPECTION OF EARTH DISTURBANCE ACTIVITIES MUST BE CONDUCTED WITHIN 24 HOURS FOLLOWING A 24-HOUR PERIOD IN WHICH AT LEAST 0.25 INCH OF PRECIPITATION OCCURS, OR WHEN SNOWMELT OCCURS THAT IS SUFFICIENT TO PRODUCE A DISCHARGE.

BEST MANAGEMENT PRACTICES MAINTENANCE SCHEDULE		
BMP	INSPECTION SCHEDULE	REQUIRED MAINTENANCE
RIP RAP APRON	INSPECT WEEKLY AND AFTER EVERY RUNOFF EVENT	DISPLACED RIP RAP SHOULD BE REPLACED IMMEDIATELY
VEGETATIVE STABILIZATION	INSPECT WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER IS ESTABLISHED	REPAIR AND RESEED ANY SECTIONS WHERE SEEDING MAY HAVE BECOME DAMAGED OR DISPLACED DUE TO RUNOFF.
VEGETATED CHANNEL	MAINTENANCE AND INSPECTION TO BE DONE ANNUALLY AND WITHIN 48 HOURS AFTER EVERY MAJOR STORM EVENT (> INCH RAINFALL DEPTH)	REPAIR EROSION PROBLEMS, DEWATER POOLS OF WATER, MOW SWALE ONLY IN DRY CONDITION, REMOVE LITTER, REPLANT VEGETATION AS NECESSARY

**NOTES:**  
INSPECTION MUST BE CONDUCTED WITHIN 24 HOURS FOLLOWING A 24-HOUR PERIOD IN WHICH AT LEAST 0.25 INCH OF PRECIPITATION OCCURS, OR WHEN SNOWMELT OCCURS THAT IS SUFFICIENT TO PRODUCE A DISCHARGE.



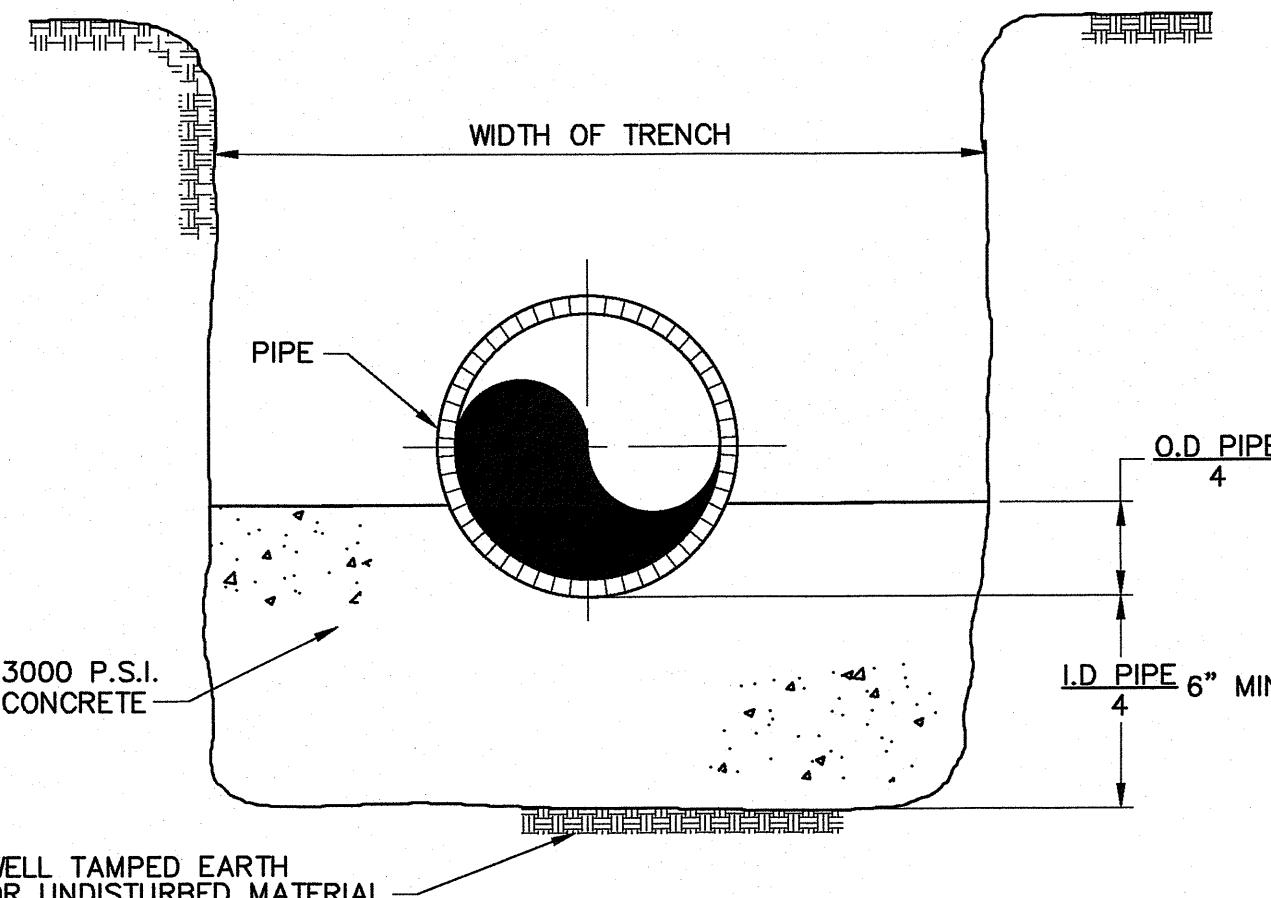
OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP		APRON	
		SIZE R-	THICK. Rt (IN)	LENGTH A1 (FT)	INITIAL WIDTH Aiw (FT)
EW-1	15	5	27	14	4
EW-2	18	4	18	11	5
EW-3	15	5	27	8	4
					16
					12

**NOTES:**

1. ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.
2. ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

#### STANDARD CONSTRUCTION DETAIL #9-1 RIPRAP APRON AT PIPE OUTLET WITH FLARED END SECTION OR ENDWALL

NOT TO SCALE

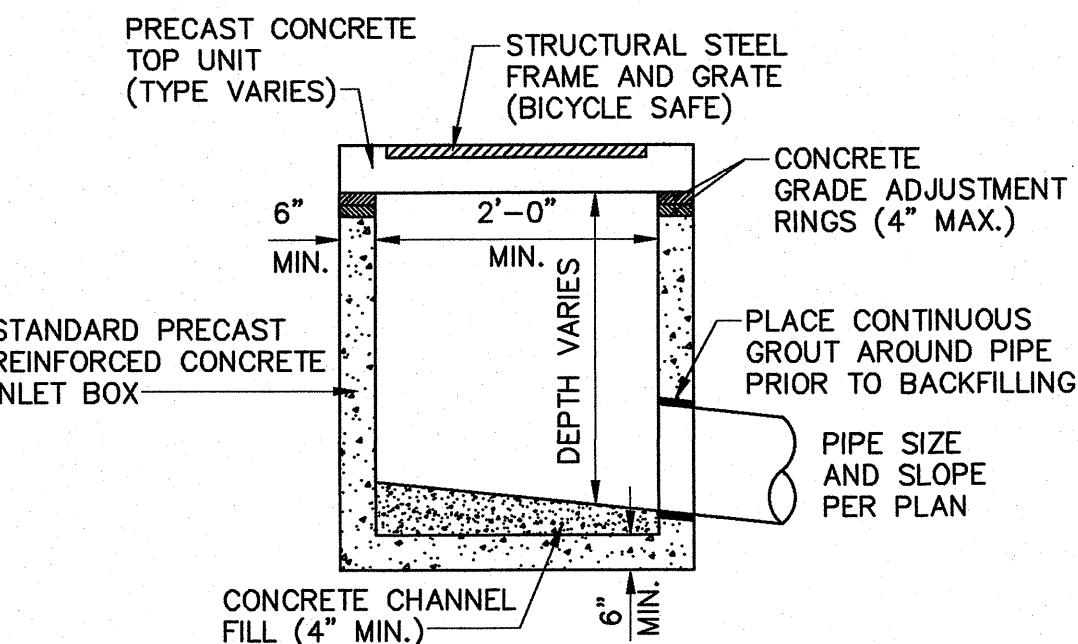
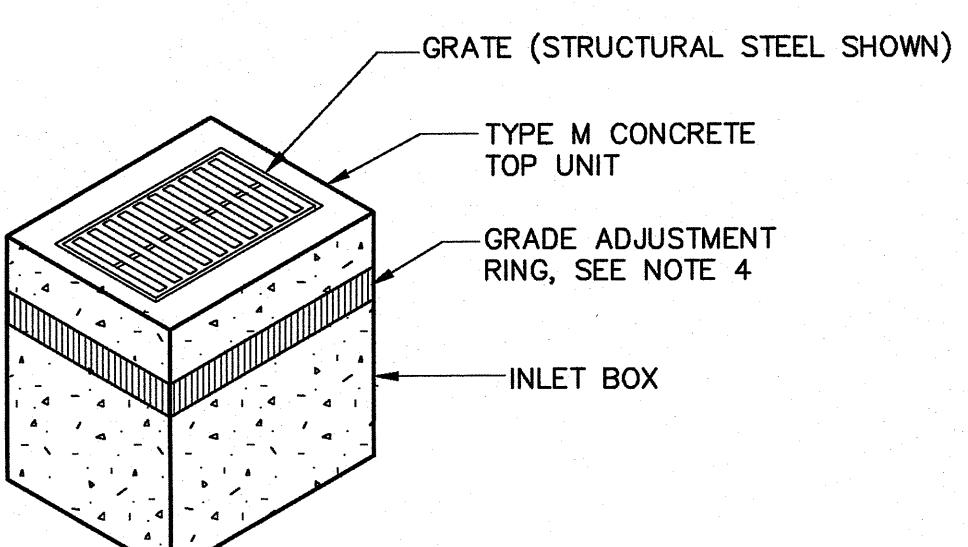


**NOTES:**

1. CONCRETE CRADLE SHALL BE PLACED FOR ALL BARREL PIPES DISCHARGING FROM BASINS A AND B.

#### CONCRETE CRADLE PIPE BEDDING

NOT TO SCALE

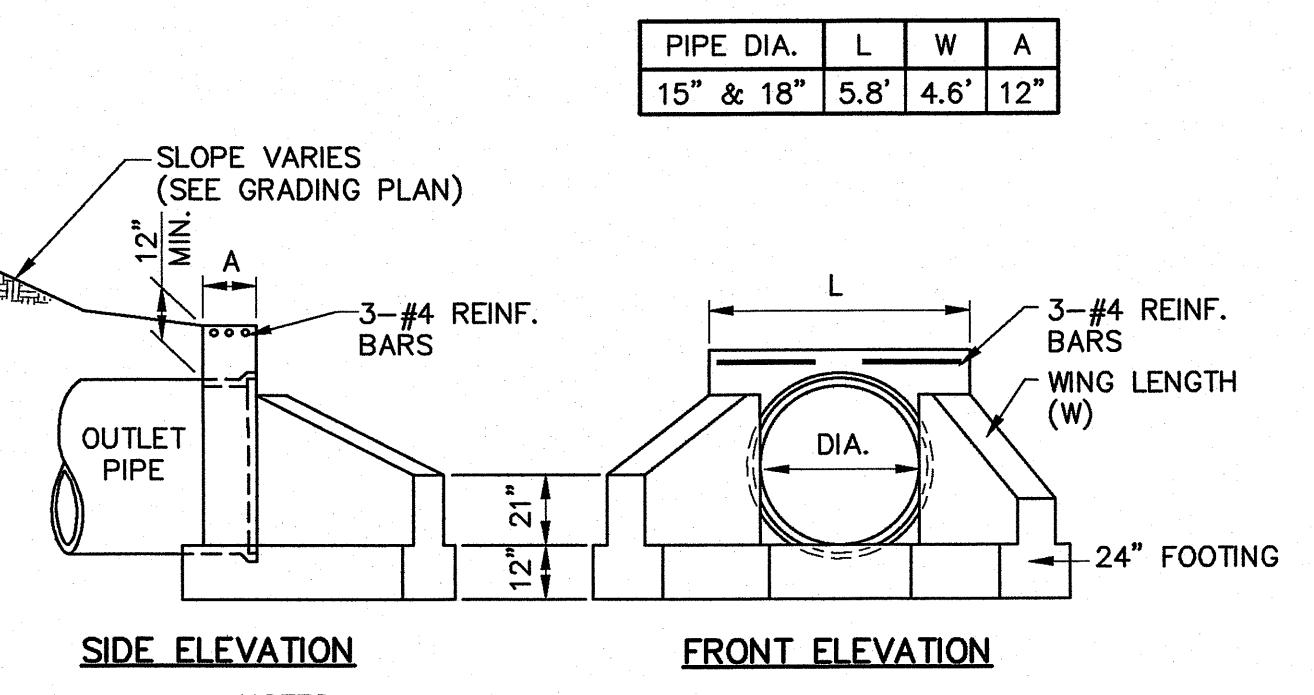


**NOTES:**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408, SECTION 605 AND STANDARDS FOR ROADWAY CONSTRUCTION, RC-34. CONTRACTOR SHALL VERIFY INLET BOX SIZING BASED ON PIPE SIZES AND ALIGNMENT PRIOR TO ORDERING PRECAST STRUCTURES.
2. ALL DRAINAGE STRUCTURES SHALL HAVE POURED-IN-PLACE CONCRETE CHANNEL BOTTOMS.
3. NO PIPES SHALL ENTER INLET BOX AT CORNER.
4. PROVIDE GRADE ADJUSTMENT RINGS WHEN REQUIRED. SEE RC-45M FOR DETAILS.

#### TYPE M INLET DETAIL

NOT TO SCALE

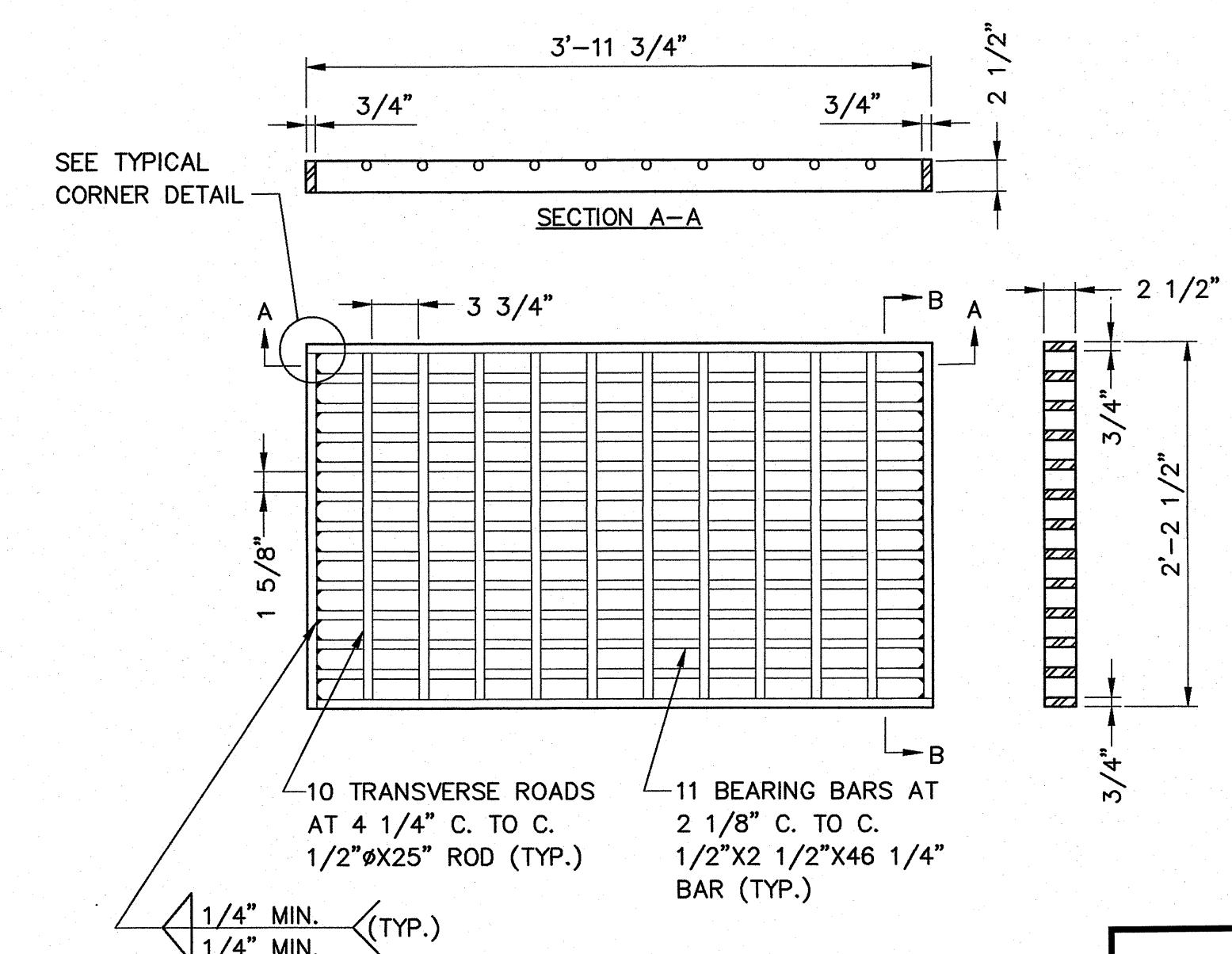


**NOTES:**

1. CONSTRUCT IN ACCORDANCE WITH PENNDOT PUBLICATION 72 RC-31
2. FOR PIPE SIZES LESS THAN 36" CONSTRUCT WING WALL TO DIMENSIONS FOR 36" PIPE DIAMETER AS LISTED IN PENNDOT RC-31.

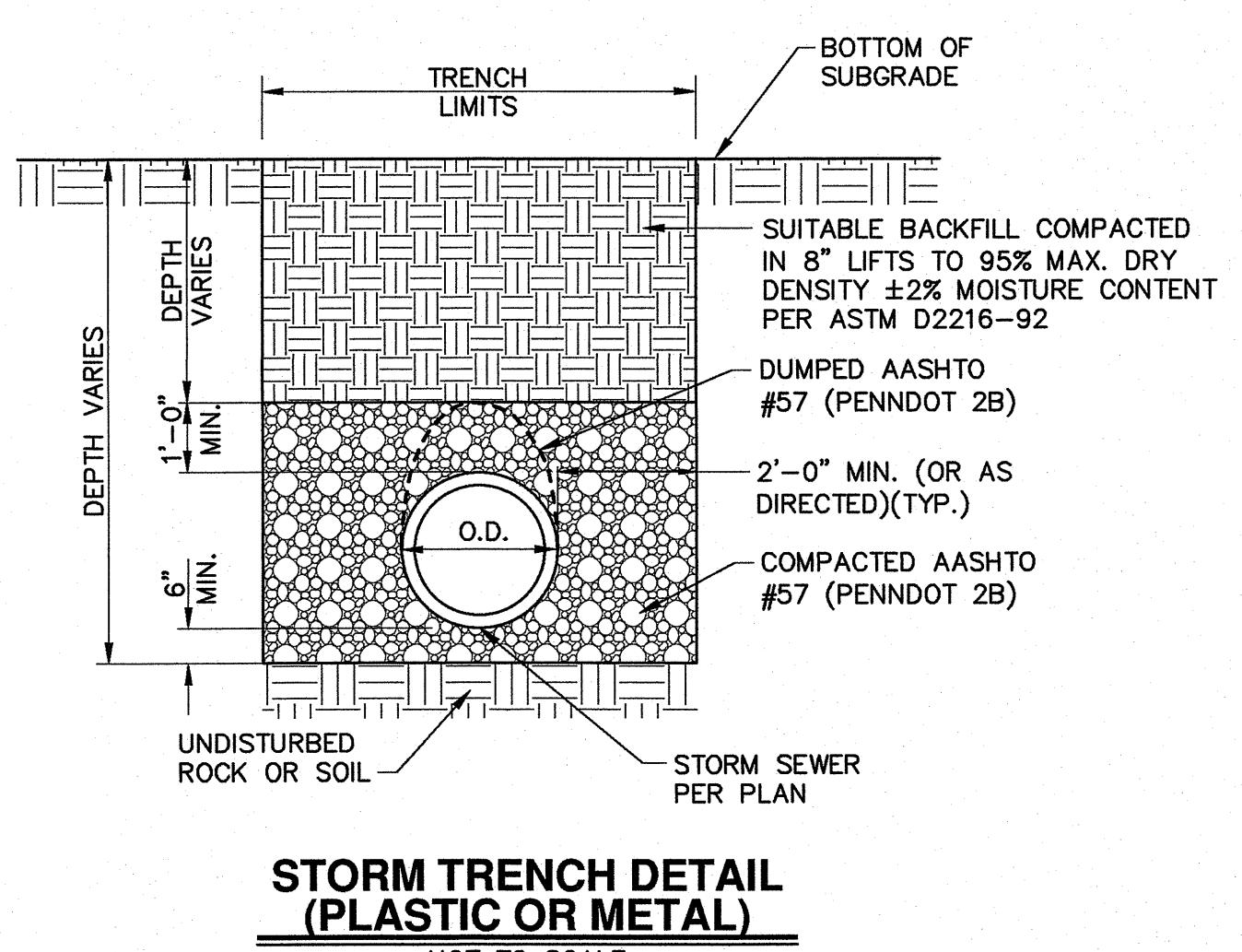
#### TYPE D-W ENDWALL DETAIL

NOT TO SCALE



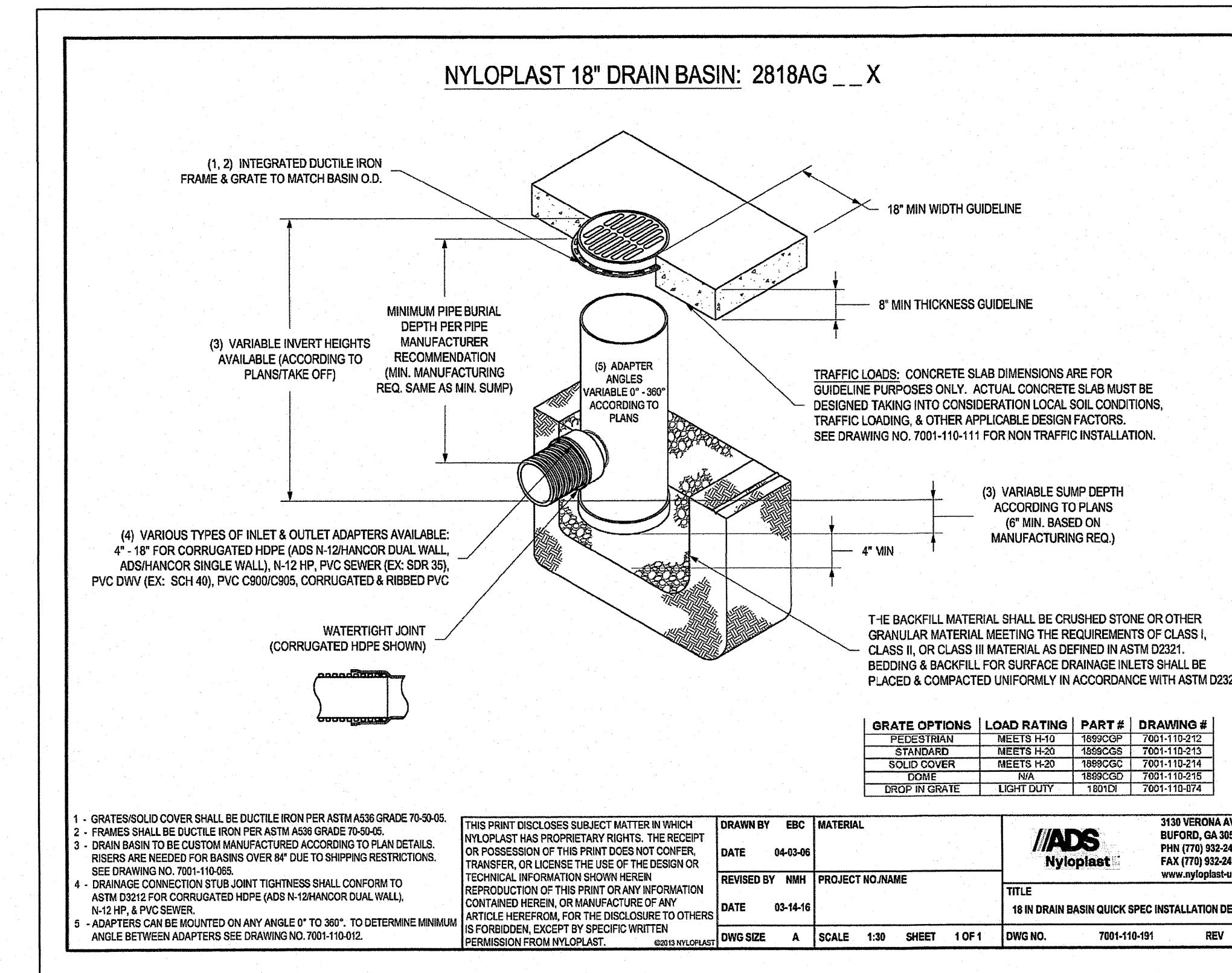
#### BICYCLE SAFE STRUCTURAL STEEL GRATE

PLAN BOOK	PAGE
425	20



#### STORM TRENCH DETAIL (PLASTIC OR METAL)

NOT TO SCALE



#### PCSM PLAN DETAILS

SHEET: PCDT-1

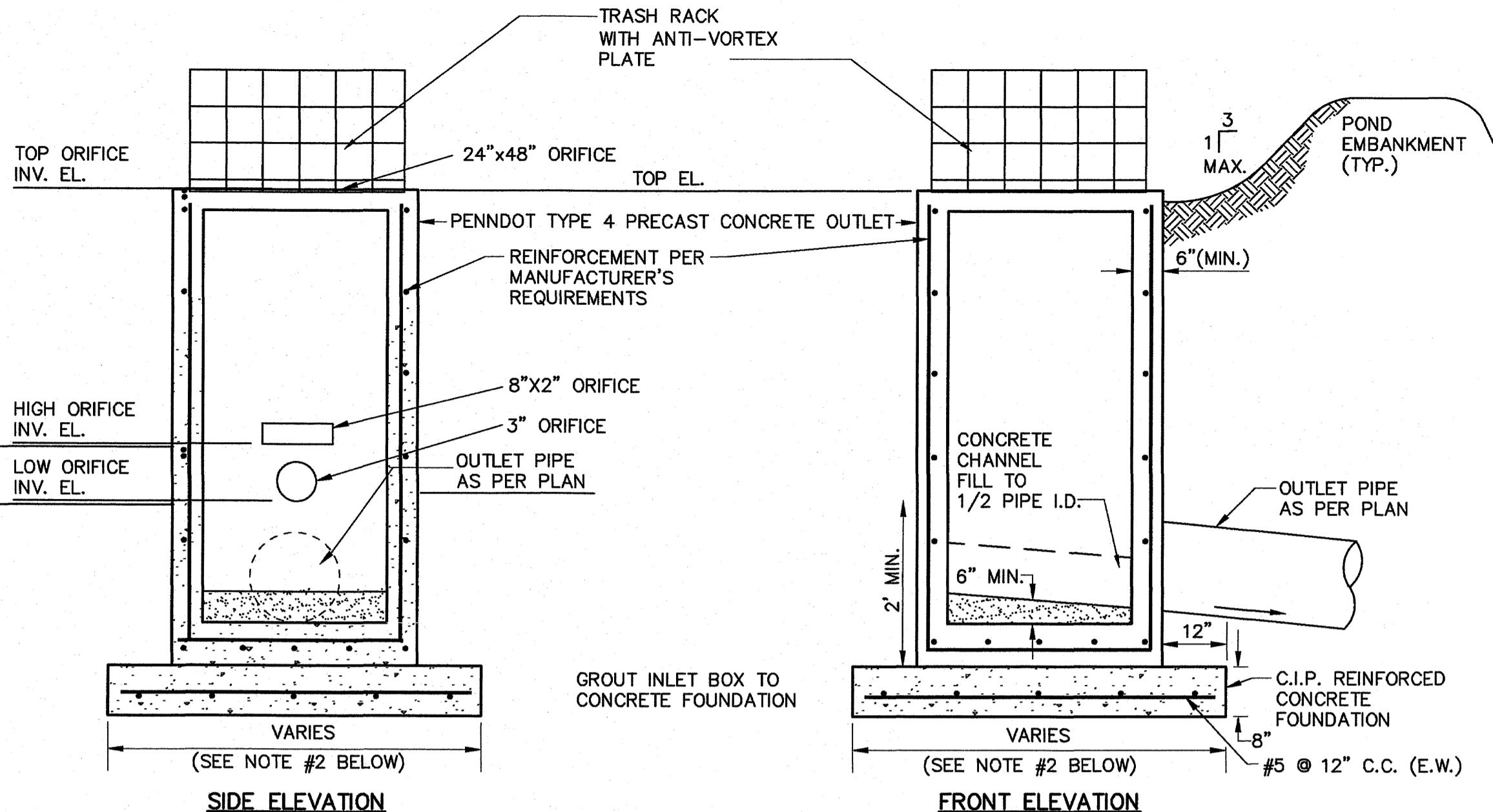
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HRG PROJECT NUMBER: 010340.425  
PLAN DATE: JUNE 2024  
DRAWING SCALE: AS SHOWN  
PROJ. MANAGER: ERIN G. LETAVIC

NO.	DATE	DESCRIPTION
1	JUNE 2024	NDPES COMPLETION COMMENTS
2	JULY 2024	NDPES COMPLETION COMMENTS
3	JULY 2024	NDPES TECHNICAL COMMENTS
4	JULY 2024	NDPES TECHNICAL COMMENTS
5	JULY 2024	NDPES TECHNICAL COMMENTS
6	JULY 2024	NDPES TECHNICAL COMMENTS
7	JULY 2024	NDPES TECHNICAL COMMENTS
8	JULY 2024	NDPES TECHNICAL COMMENTS

SHEET: PCDM-1

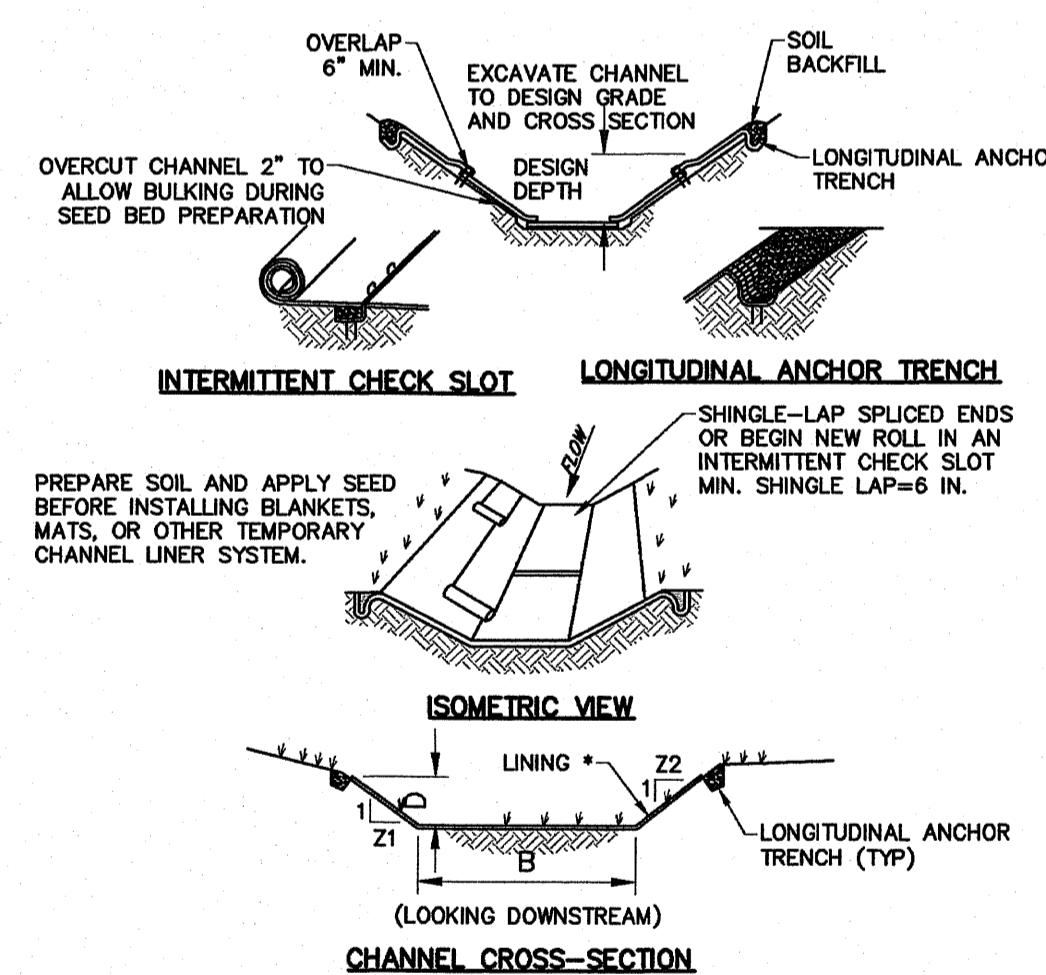
06



BASIN NUMBER	TOP ELEVATION	TOP DIM.	LOW ORIFICE INV. ELEVATION	HIGH ORIFICE INV. ELEVATION	LOW DIA.	HIGH SIZE	OUTLET PIPE INVERT ELEVATION
1	1209.50	24" x 48"	1207.75	1208.50	6"	16" W x 6" H	1205.50

#### BASIN #1 OUTLET STRUCTURE DETAIL (OS-1)

NOT TO SCALE



\* SEE MANUFACTURER'S LINING INSTALLATION DETAIL FOR STAPLE PATTERNS, VEGETATIVE STABILIZATION SPECIFICATIONS FOR SOIL AMENDMENTS, SEED MIXTURES AND MULCHING INFORMATION

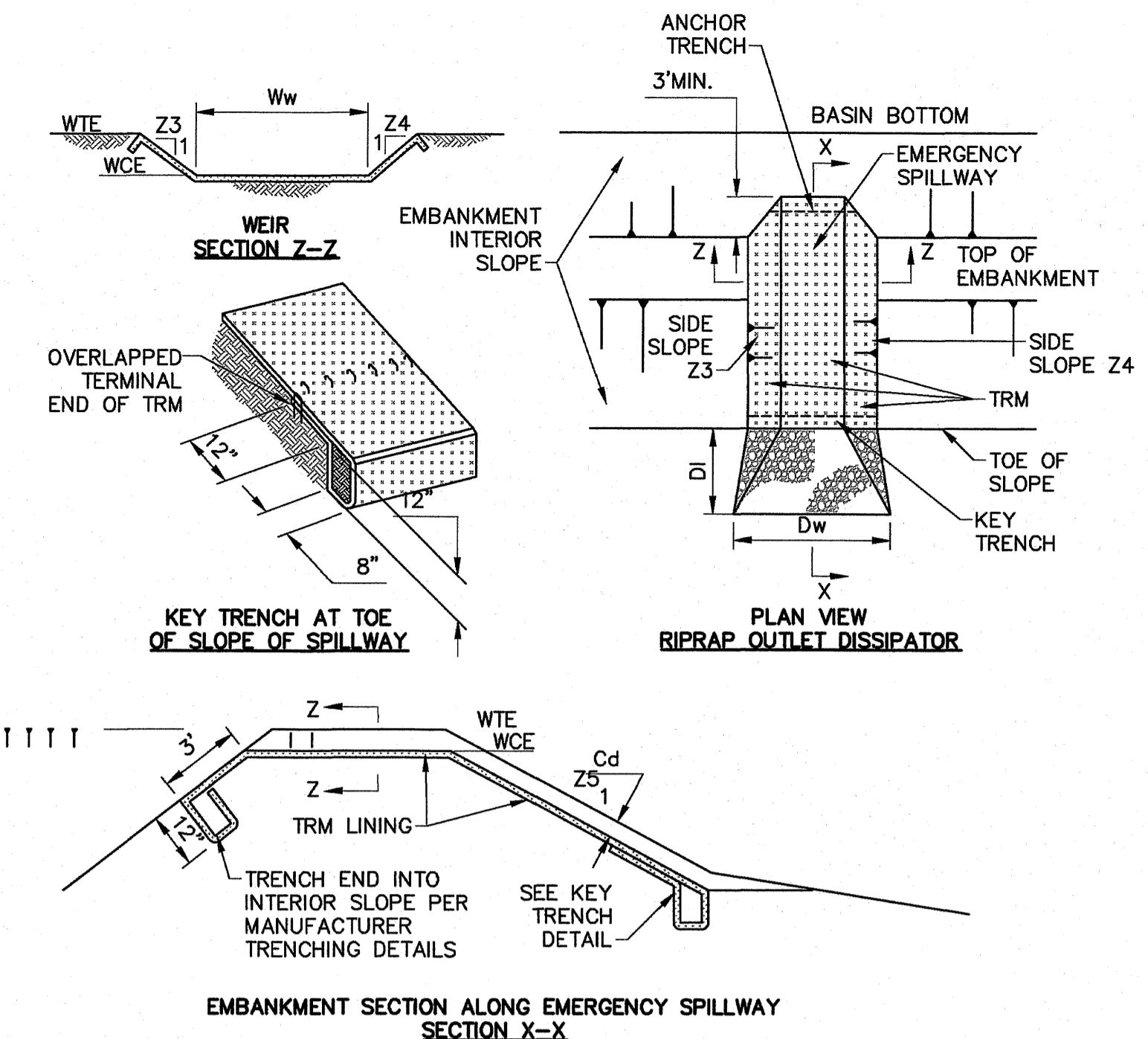
CHANNEL NO.	BOTTOM WIDTH B (FT)	DEPTH D (FT)	Z1 (FT)	Z2 (FT)	LINING *	STAPLE PATTERN
A	2	0.8	3	3	NAG SC150	D

NOTES:

- ANCHOR TRENCHES SHALL BE INSTALLED AT BEGINNING AND END OF CHANNEL IN THE SAME MANNER AS LONGITUDINAL ANCHOR TRENCHES.
- CHANNEL DIMENSIONS SHALL BE CONSTANTLY MAINTAINED. CHANNEL SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 25% AT ANY LOCATION. SEDIMENT DEPOSITS SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS SOIL CONDITIONS PERMIT ACCESS TO CHANNEL WITHOUT FURTHER DAMAGE. DAMAGED LINING SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCOVERY.
- NO MORE THAN ONE THIRD OF THE SHOOT (GRASS LEAF) SHALL BE REMOVED IN ANY MOVING GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHER SPECIFIED. EXCESS VEGETATION SHALL BE REMOVED FROM PERMANENT CHANNELS TO ENSURE SUFFICIENT CHANNEL CAPACITY.

#### STANDARD CONSTRUCTION DETAIL #6-1 VEGETATED CHANNEL

NOT TO SCALE



EMBANKMENT SECTION ALONG EMERGENCY SPILLWAY SECTION X-X

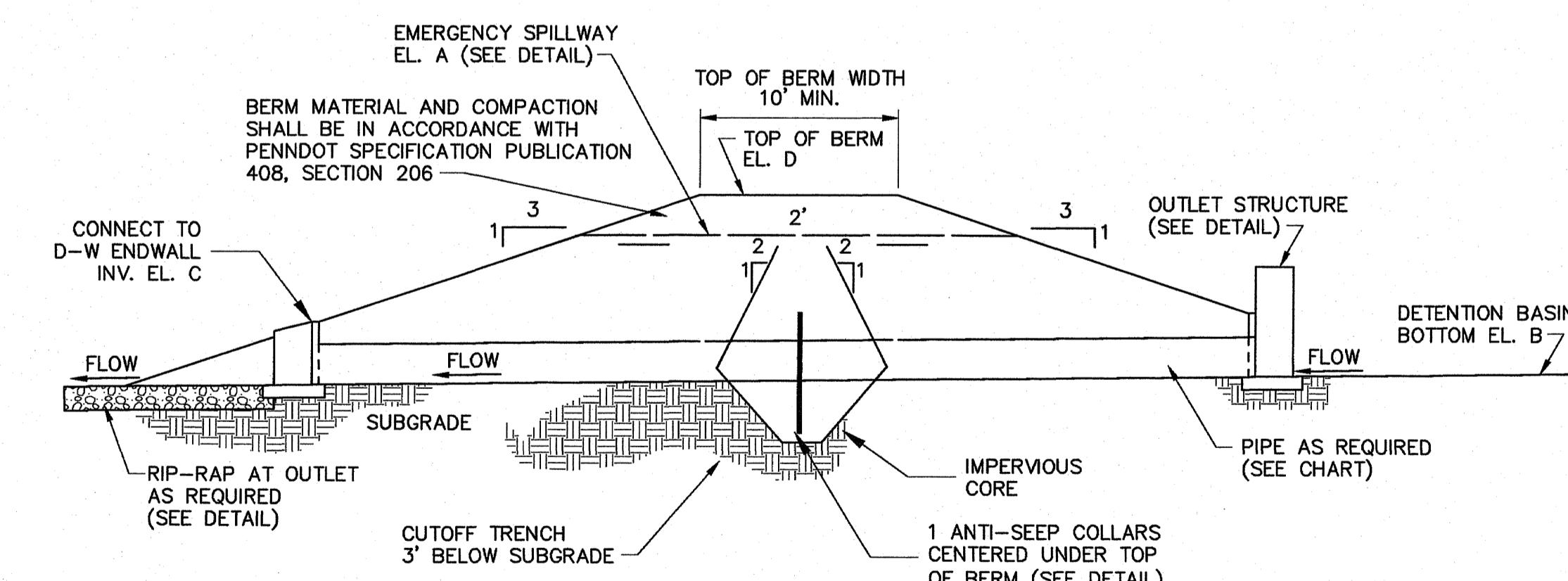
BASIN NO.	WEIR				LINING		CHANNEL		
	Z3 (FT)	Z4 (FT)	TOP ELEV WTE (FT)	CREST ELEV WCE (FT)	WIDTH Ww (FT)	TRM TYPE	STAPLE PATTERN	Z5 (FT)	DEPTH Cd (FT)
1	4:1	4:1	1211.70	1210.50	8	SC150	D	8	0.3

NOTES:

- HEAVY EQUIPMENT SHALL NOT CROSS OVER SPILLWAY WITHOUT PRECAUTIONS TAKEN TO PROTECT TRM LINING.
- DISPLACED LINER WITHIN THE SPILLWAY AND/OR OUTLET CHANNEL SHALL BE REPLACED IMMEDIATELY.
- RIPRAP AT TOE OF EMBANKMENT SHALL BE EXTENDED A SUFFICIENT LENGTH IN BOTH DIRECTIONS TO PREVENT SCOUR.
- THE USE OF BAFFLES THAT REQUIRE SUPPORT POSTS ARE RESTRICTED FROM USE IN BASINS REQUIRING IMPERVIOUS LINERS.

#### CONSTRUCTION DETAIL #7-13 EMERGENCY SPILLWAY WITH TRM LINING

NOT TO SCALE



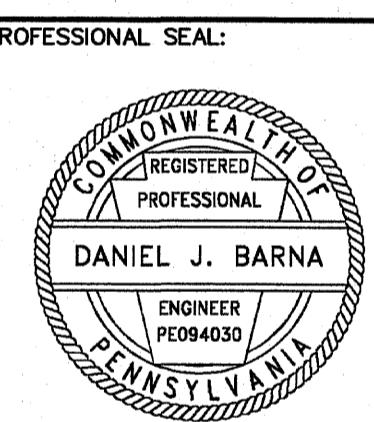
BASIN NO.	A	B	C	D	PIPE
1	1210.50	1207.50	1205.36	1211.70	15" SLCP @ 1.0%

NOTES:

- CORE MATERIAL UNIFIED CLASS, CH OR CL COMPAKTED TO 95% OF MAXIMUM DENSITY.
- HOMOGENEOUS EMBANKMENT MATERIAL TO BE COMPAKTED IN 8" LAYERS TO A MINIMUM FINAL DENSITY OF NOT LESS THAN 95% OF MAX. DRY WEIGHT AT OPTIMUM MOISTURE CONTENT.
- BASIN TO BE OVER-EXCAVATED 2' AND BACKFILLED WITH ENGINEERED AMENDED SOIL, CONSISTING OF 20% COMPOST, 40% SAND, AND 40% TOPSOIL.
- IF TOPSOIL FOR THE AMENDED SOILS IS TO BE TAKEN FROM ON SITE, IT SHOULD NOT HAVE MORE THAN 10% CLAY CONTENT.

#### BASIN #1 SECTION AT OUTLET

NOT TO SCALE



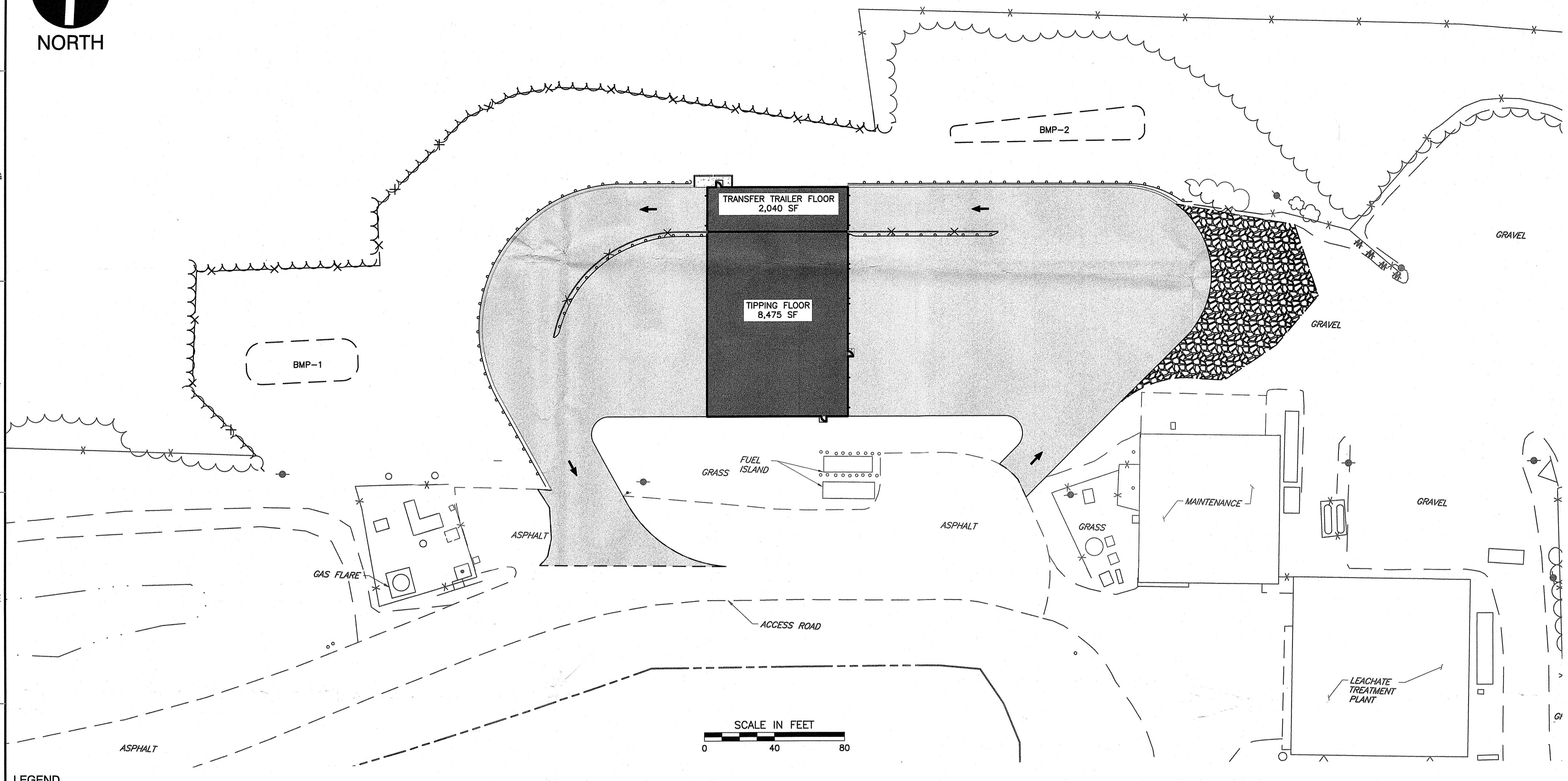
HRG PROJECT NUMBER: 010340.0425  
PLAN DATE: JUNE 2024  
DRAWING SCALE: AS SHOWN  
PROJ. MANAGER: ERIN G. LETAVIC

REVISIONS	DESCRIPTION
NO.	DATE
1	JUNE 2024 / NDPS COMPLETION COMMENTS
2	JULY 2024 / NDPS TECHNICAL COMMENTS
3	JULY 2024 / NDPS COMPLETION COMMENTS
4	JULY 2024 / NDPS TECHNICAL COMMENTS
5	JULY 2024 / NDPS COMPLETION COMMENTS
6	JULY 2024 / NDPS TECHNICAL COMMENTS
7	JULY 2024 / NDPS COMPLETION COMMENTS
8	JULY 2024 / NDPS TECHNICAL COMMENTS

SHEET TITLE: PCSM PLAN DETAILS	
PCDT-2	07



NORTH



LEGEND

- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING TREE LINE
- EXISTING ROAD
- EXISTING WALL
- EXISTING FENCE
- PROPOSED ASPHALT LIMITS
- PROPOSED GRAVEL
- PROPOSED GUIDERAIL
- PROPOSED WALL
- PROPOSED BUILDING
- PROPOSED FENCE
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED TREE LINE
- PROPOSED ASPHALT WEDGE CURB
- PROPOSED CONCRETE CURB
- PROPOSED SAW CUT LINE

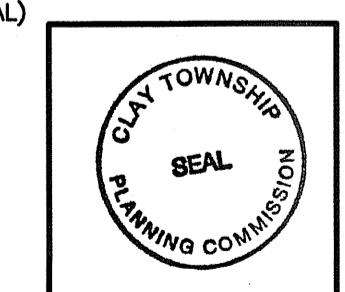
PL-1340-001-03402-001-001 (Rev. 1/12/2024) - 10:11:12/2024 - 1:48 PM

LOCAL AUTHORITY

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLAY HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF CLAY ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROAD OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

*Bell Slay*  
SECRETARY

*Jeffrey Scott*  
CHAIRMAN



CLAY TOWNSHIP PLANNING COMMISSION REVIEW

REVIEWED BY THE CLAY TOWNSHIP PLANNING COMMISSION THIS 21<sup>st</sup> DAY OF November, 2024

*Bell Slay*  
SECRETARY

*Richard Geyer*  
CHAIRMAN

REFERENCE

1. TOPOGRAPHIC BASE MAP PROVIDED BY SNYDER X FROM AERIAL PHOTOGRAPHY DATED APRIL 8, 2023.

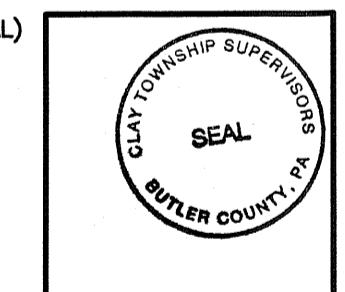
SECOND CLASS TOWNSHIP APPROVAL

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CLAY THIS 5<sup>th</sup> DAY OF December, 2024

ATTEST:

*Bell Slay*

*Jeffrey Scott*



Plan # 24106  
COUNTY PLANNING COMMISSION REVIEW

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 21<sup>st</sup> DAY OF August, 2024

ATTEST:

*R. Han* ss  
SECRETARY

*J. Han* ss  
CHAIRMAN OF BOARD

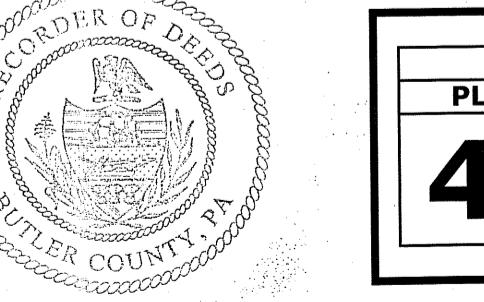


PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA : ss  
COUNTY OF BUTLER

RECORDER IN THE RECORDER'S OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC.,  
IN SAID COUNTY, IN PLAN BOOK VOLUME 425, PAGE 22-23  
GIVEN, UNDER MY HAND AND SEAL THIS 4<sup>th</sup> DAY OF March, 2024

*Michele M. Mustello*  
RECORDER



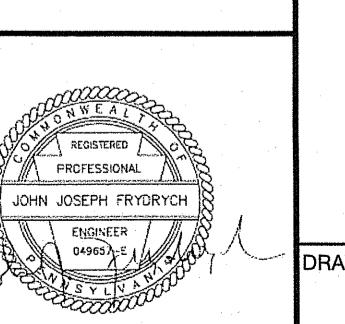
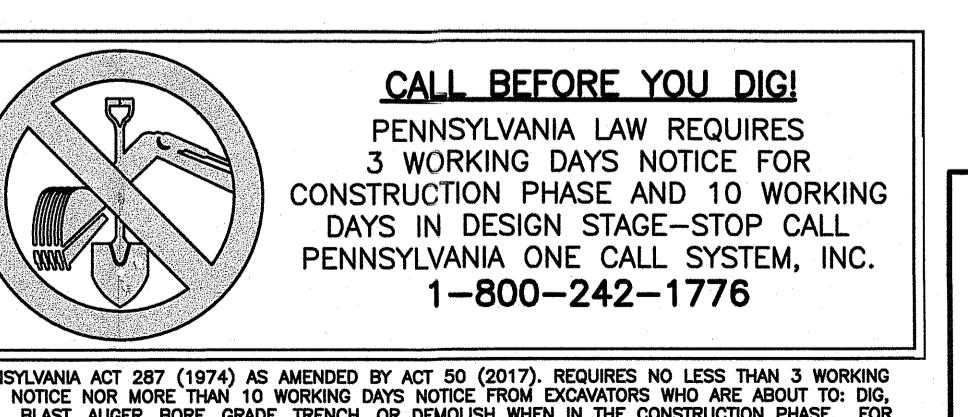
PLAN BOOK PAGE  
425 22

MICHELE M. MUSTELLO  
RECORDER OF DEEDS

My Commission Expires First Monday in January 2028



CALL BEFORE YOU DIG!  
PENNSYLVANIA LAW REQUIRES  
3 WORKING DAYS NOTICE FOR  
CONSTRUCTION PHASE AND 10 WORKING  
DAYS IN DESIGN STAGE-STOP CALL  
PENNSYLVANIA ONE CALL SYSTEM, INC.  
1-800-242-1776



SITE RECORD PLAN

**CEC**  
Civil & Environmental  
Consultants, Inc.

**Waste Management  
of Pennsylvania, Inc.**  
NORTHWEST TRANSFER STATION  
CLAY TOWNSHIP  
BUTLER COUNTY, PENNSYLVANIA

4350 Northern Pike  
Suite 141  
Monroeville, PA 15146  
Ph: 724.327.5200  
www.cecinc.com

Instr: 202503040002867  
Pg: 2 F: \$85.00  
Michele Mustello  
Butler County Recorder PA  
3/28/2025 3:27 PM  
T2025002464

**CEC**  
Civil & Environmental  
Consultants, Inc.

DRAWING NO.: A

DATE: JUNE 2024  
DRAWN BY: MFW  
AJMS  
334-047  
JUF

DWG SCALE: AS SHOWN  
CHECKED BY: PROJECT NO.: APPROVED BY:

A

OWNER'S ADOPTION  
WASTE MANAGEMENT OF PENNSYLVANIA, INC.  
(NAME OF OWNER OR OWNERS)

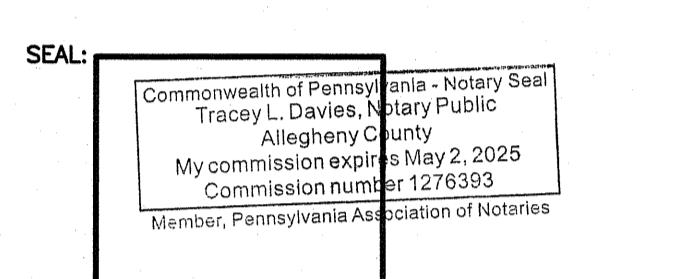
OF CLAY TOWNSHIP, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, FOR (MY, OUR) HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS (MY, OUR) PLAN OF LOTS OF (MY, OUR) PROPERTY SITTING IN (CITY, BOROUGH, TOWNSHIP), BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVISION, ADJUSTMENT, ACCORDING TO (NAME OF US), DO HEREBY DEED, FOR EVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPES, AREAS, AND ALL DRIVING ROADS, STREETS, LAKES, WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE SAID COMMONWEALTH OF PENNSYLVANIA COUNTY OF BUTLER, AND TOWNSHIP OF CLAY, (WE) HEREBY COVENANT AND AGREED TO AND BY THESE PRESENTS, TO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF CLAY, OF THE REVENGE, OBLIGATION, LIABILITY, AND LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME, THIS DEDICATION AND RELEASE SHALL BE BINDING UPON WASTE MANAGEMENT OF PENNSYLVANIA, INC.

(NAME OF OWNER OR OWNERS)

OF (MY, OUR) HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS PURCHASES OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, (I, OR WE) HEREBUNTO SET (MY, CUR) HAND(S) AND SEAL(S) THIS 16<sup>th</sup> DAY OF January, 2025

ATTEST: *Tracy L. Davis* *John J. T. T.*  
(NOTARY PUBLIC) (OWNER OR OWNERS)

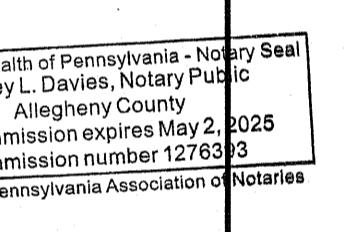


COMMONWEALTH OF PENNSYLVANIA : ss  
COUNTY OF BUTLER : ss

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED THE ABOVE NAMED *Tracy L. Davis*, AND ACKNOWLEDGED THE FORGOING RELEASE AND DEDICATION AND PLAN TO BE (HIS, HER) ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS DAY OF March, 2025  
WITNESS MY HAND AND NOTARIAL SEAL THIS 16<sup>th</sup> DAY OF May, 2025  
MY COMMISSION EXPIRES THE 16<sup>th</sup> DAY OF May, 2025

*Tracy L. Davis* (SEAL)  
NOTARY PUBLIC



TITLE CLAUSE (NO MORTGAGE)

I, (OR WE) *Adam Finley*, OWNERS OF THE NORTHWEST TRANSFER STATION,  
(NAME OF OWNER)

DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF *1811 162*, AS RECORDED IN DEED BOOK VOLUME *1969*, PAGE *252*, RECORD OF DEEDS OFFICE. (I, WE) FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR ENCUMBRANCE AGAINST THIS PROPERTY.

*John J. T. T.* (SEAL)  
WITNESS

*John J. T. T.* (SEAL)  
OWNER

SURVEYOR'S CERTIFICATE

I, *John J. T. T.*, A REGISTERED SURVEYOR OF THE STATE OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN AS SHOWN HEREON IS BASED ON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LINES, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

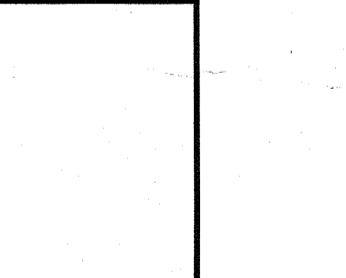
(SEAL)

(SURVEYOR)

REGISTRATION NO. \_\_\_\_\_

DATE \_\_\_\_\_

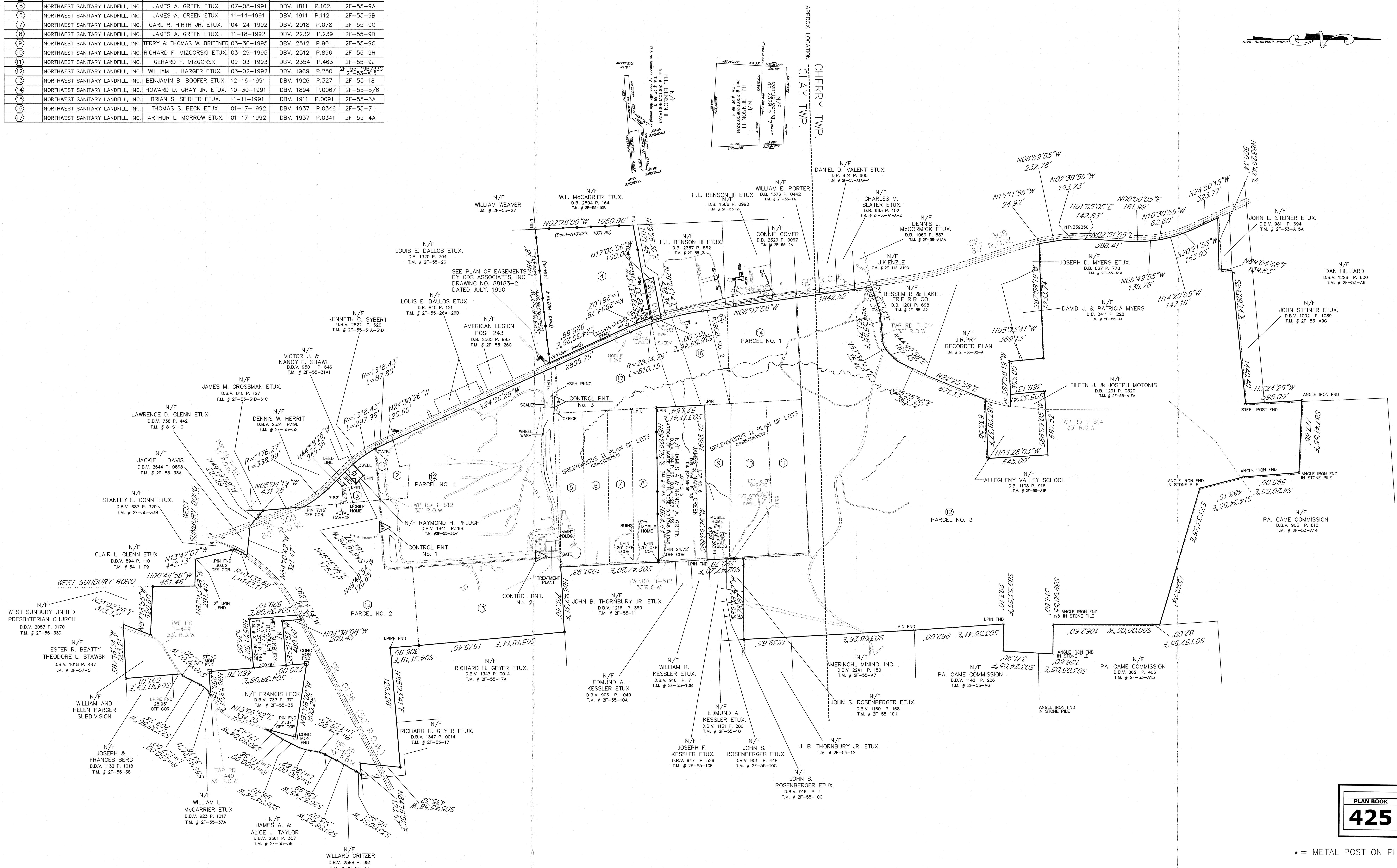
See Attached Plan of Property



PENNSYLVANIA ACT 207 (1974) AS AMENDED BY ACT 59 (2017), REQUIRES NO LESS THAN 3 WORKING DAYS NOTICE FROM EXCAVATORS WHO ARE ABOUT TO DIG, DRILL, BLAST, AUGER, BORE, GRADE, TRENCH, OR DEMOLISH WHEN IN THE CONSTRUCTION PHASE, FOR LOCATING UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THE LOCATION MUST BE CONSIDERED APPROXIMATE. OTHER UNDERRUN INFORMATION, EXCAVATION, ETC., NOT SHOWN ON THIS PLAN, WILL NOT BE LOCATED. EXCAVATORS ARE RESPONSIBLE FOR ASCERTAIN ALL PHYSICAL LOCATIONS OF UTILITIES LINES PRIOR TO THE TIME OF CONSTRUCTION. IN NO WAY SHALL THE CONTRACTOR HOLD THE SURVEYOR RESPONSIBLE FOR ANY UTILITY LOCATION SHOWN ON THIS PLAN.

PARCEL NO	GRANTEE	GRANTOR	DATE	INSTRUMENT	TAX MAP NO.
①	NORTHWEST SANITARY LANDFILL, INC.	HELEN & MARGARET KUZMA	08-15-1994	DBV. 2459 P.835	2F-55-19C
②	NORTHWEST SANITARY LANDFILL, INC.	NICHOLAS KUZMA JR. ETUX.	08-15-1994	DBV. 2459 P.839	2F-55-19
③	NORTHWEST SANITARY LANDFILL, INC.	JOSEPH HAYDEN ETUX.	12-07-1993	DBV. 2385 P.903	2F-55-32A
④	NORTHWEST SANITARY LANDFILL, INC.	LELAND M. READ ETUX.	09-14-1993	DBV. 2385 P.903	2F-55-4
⑤	NORTHWEST SANITARY LANDFILL, INC.	JAMES A. GREEN ETUX.	07-08-1991	DBV. 1811 P.162	2F-55-9A
⑥	NORTHWEST SANITARY LANDFILL, INC.	JAMES A. GREEN ETUX.	11-14-1991	DBV. 1911 P.112	2F-55-9B
⑦	NORTHWEST SANITARY LANDFILL, INC.	CARL R. HIRTH JR. ETUX.	04-24-1992	DBV. 2018 P.078	2F-55-9C
⑧	NORTHWEST SANITARY LANDFILL, INC.	JAMES A. GREEN ETUX.	11-18-1992	DBV. 2232 P.239	2F-55-9D
⑨	NORTHWEST SANITARY LANDFILL, INC.	TERRY THOMAS W. BRITNER	03-30-1995	DBV. 2512 P.901	2F-55-9C
⑩	NORTHWEST SANITARY LANDFILL, INC.	RICHARD F. MIZGORSKI ETUX.	03-29-1995	DBV. 2512 P.896	2F-55-9H
⑪	NORTHWEST SANITARY LANDFILL, INC.	GERARD F. MIZGORSKI	09-03-1993	DBV. 2354 P.463	2F-55-9I
⑫	NORTHWEST SANITARY LANDFILL, INC.	WILLIAM L. HARGER ETUX.	03-02-1992	DBV. 1969 P.250	2F-55-18
⑬	NORTHWEST SANITARY LANDFILL, INC.	BENJAMIN B. BOOFER ETUX.	12-16-1991	DBV. 1926 P.327	2F-55-18
⑭	NORTHWEST SANITARY LANDFILL, INC.	HOWARD D. GRAY JR. ETUX.	10-30-1991	DBV. 1894 P.0067	2F-55-5/6
⑮	NORTHWEST SANITARY LANDFILL, INC.	BRIAN S. SEIDLER ETUX.	11-11-1991	DBV. 1911 P.0091	2F-55-3A
⑯	NORTHWEST SANITARY LANDFILL, INC.	THOMAS S. BECK ETUX.	01-17-1992	DBV. 1937 P.0346	2F-55-7
⑰	NORTHWEST SANITARY LANDFILL, INC.	ARTHUR L. MORROW ETUX.	01-17-1992	DBV. 1937 P.0341	2F-55-4A

SITE GRID TRUE NORTH



PLAN BOOK PAGE  
425 23

• = METAL POST ON PL

I HEREBY CERTIFY THAT THIS MAP AND SURVEY WERE PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS JULY 26, 1985.

MILTON A. HIGHLANDS  
PA. LICENSE No. 17589-E

ONLY THOSE PLANS INCORPORATING THE RAISED SURVEYOR'S SEAL SHOULD BE CONSIDERED OFFICIAL AND RELIED UPON BY USER.  
THIS PLAN IS PREPARED SPECIFICALLY FOR THE CLIENT AND PROJECT DESIGNATED THEREON. MODIFICATION, REVISION, DUPLICATION OR USE WITHOUT THE WRITTEN CONSENT OF LAUREL HIGHLANDS SURVEY COMPANY IS PROHIBITED.



REV. DATE	DESCRIPTION	DR. BY	APP. BY
DATE	PROJECT No.	SCALE: 1" = 400'	
DES BY	PROJECT:	NORTHWEST SANITARY LANDFILL	
DRN BY	CLAY TOWNSHIP, BUTLER COUNTY, PA.		
CHK BY	SHEET TITLE:		
REV BY			
APP BY			

PLAN OF PROPERTY

SHEET 1 OF 2  
DRAWING No. NW060497

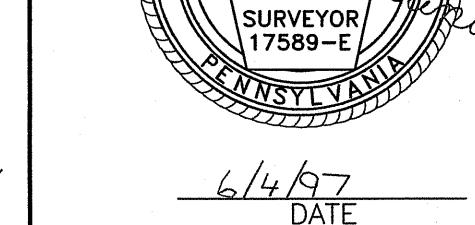
GPS MONUMENT COORDINATES

SITE GRID (FEET)	STATE PLANE (FEET)	STATE PLANE (METER)
CONTROL PNT.	NORTHING EASTING	NORTHING EASTING
GPS-1	3216.90	6301.36
GPS-2	4896.63	6612.85
GPS-3	5102.38	4951.17

FILE: NW-PROP1

1. THE HORIZONTAL CONTROL IS BASED ON A SITE SPECIFIC GRID PREVIOUSLY ESTABLISHED BY OTHERS FOR USE BY WASTE MANAGEMENT, INC.

2. VERTICAL DATUM IS BASED ON U.S.G.S. MONUMENT LL-4-BM-C, ELEVATION = 1359.454.



OWNER'S CERTIFICATION  
WE, THE ESTATE OF RUTH S. GRAFF, HEREBY DECLARE THAT WE ARE THE OWNERS OF THE PROPERTIES SHOWN ON THIS FINAL PLAN.  
THAT THE FINAL PLAN AND THE PROPOSED SUBDIVISION WERE MADE WITH THE OWNERS' CONSENT, AND THAT THE OWNERS DESIRE THE FINAL PLAN TO  
BE RECORDED AS SUCH.

IN WITNESS WHEREOF, WE HAVE SET OUR HAND AND SEAL THIS 3<sup>rd</sup> DAY OF MARCH 2025.

*William Edward Graff*  
EXECUTOR OF THE ESTATE OF RUTH S. GRAFF

ACKNOWLEDGMENT OF NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF BUTLER

WILLIAM EDWARD GRAFF

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED THE ABOVE NAMED, ESTATE OF RUTH S. GRAFF, AND ACKNOWLEDGED THE FOREGOING FINAL PLAN OF SUBDIVISION OR LAND DEVELOPMENT TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 5<sup>th</sup> DAY OF MARCH 2025.

MY COMMISSION EXPIRES THE 17<sup>th</sup> DAY OF FEBRUARY 2027

*Debra L. Delaney*  
NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal  
Debra L. Delaney, Notary Public  
Butler County  
My commission expires February 17, 2027  
Commission number 1152784  
Member, Pennsylvania Association of Notaries

SURVEYOR'S CERTIFICATION  
I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREIN IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN. THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

*Stanley D. Graff*  
DATE

STANLEY D. GRAFF  
REG. NO. SUA 001614

MUNICIPAL DECLARATIONS  
THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WINFIELD HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF WINFIELD ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS  
APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WINFIELD THIS 27<sup>th</sup> DAY OF February 2025.

*Patricia Knapp*  
SECRETARY

CHAIRPERSON  
BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF WINFIELD THIS 5 DAY OF FEBRUARY 2025.

*Patricia Knapp*  
SECRETARY

CHAIRPERSON  
PLANNING COMMISSION

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT #25021

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 19<sup>th</sup> DAY OF FEB. 2025.

*R. Hirschauer*  
SECRETARY

CHAIRPERSON  
BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN

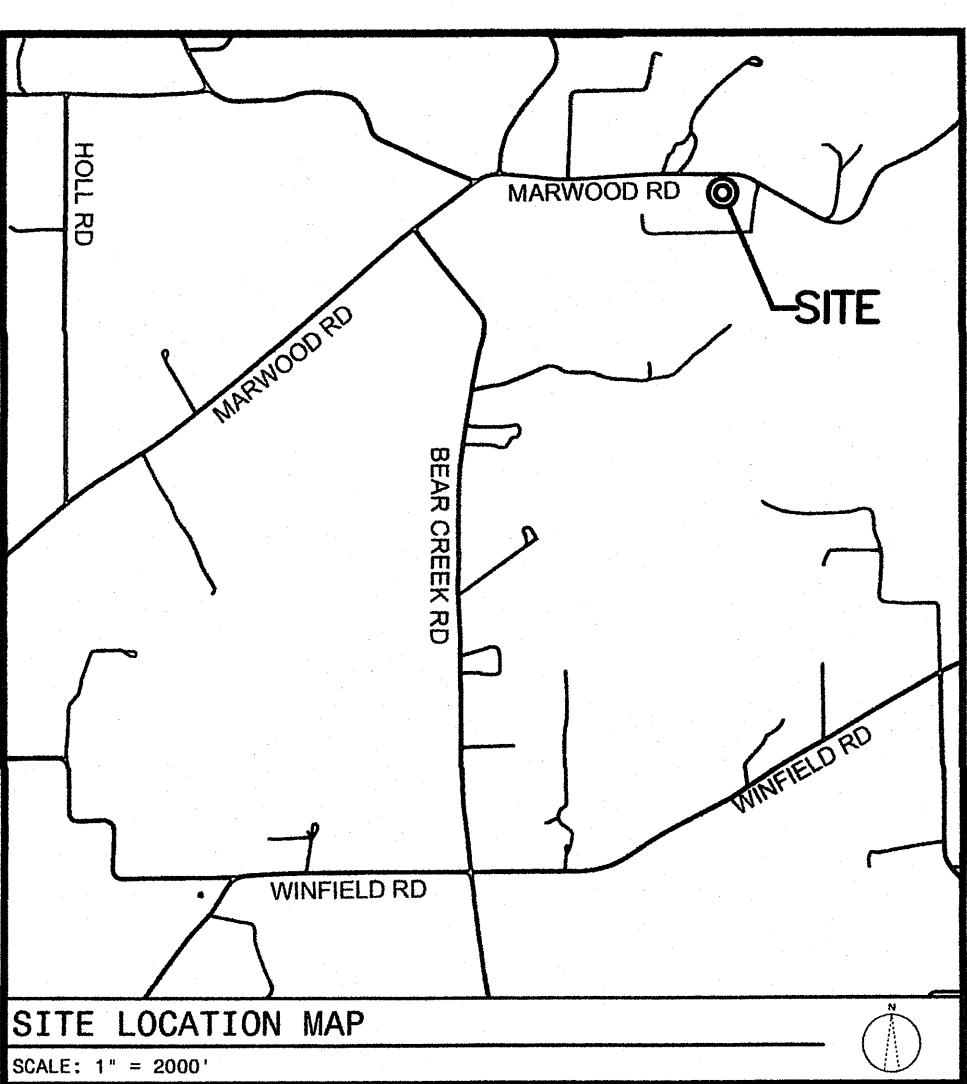
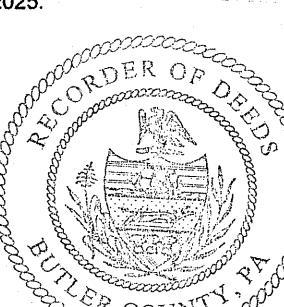
PLAN BOOK VOLUME 425 PAGE(S) 24

GIVEN UNDER MY HAND AND SEAL THIS 5<sup>th</sup> DAY OF MARCH 2025.

*Michele M. Mustello*  
RECORDER OF DEEDS

MICHELE M. MUSTELLO  
RECORDER OF DEEDS

My Commission Expires First Monday in January 2028



SCALE: 1" = 2000'

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

RECORDED 20 PAGE 24  
PLAN BOOK 425 SHEET 24 of 24

DATE 11/19/24 DRAWN SDG CHECKED Sdg SCALE 1" = 100'

PROJECT NO. 24-146 TAX PARCEL NO. 320-1F71-25 REVISION -

RECORDED 20 PAGE 24  
PLAN BOOK 425 SHEET 24 of 24

DATE 11/19/24 DRAWN SDG CHECKED Sdg SCALE 1" = 100'

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PLAN BOOK 425 SHEET 24 of 24

DATE 11/19/24 DRAWN SDG CHECKED Sdg SCALE 1" = 100'

PROJECT NO. 24-146 TAX PARCEL NO. 320-1F71-25 REVISION -

RECORDED 20 PAGE 24  
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KNOW ALL MEN BY THESE PRESENTS, that I, Chris Allen Detrick, of the Township of Oakland, of the County of Butler, Commonwealth of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this plan or my Plan of Lots of my property situated in Oakland Township, Butler County, Pennsylvania, and for divers advantages occurring to me, do hereby dedicate forever, for public use for highway purposes, all right, title, interest and estates, in fee simple, in whole or other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Township of Oakland, hereby covenant and agree that the same, and the same, or any part thereof, shall be held and forever charged to the Commonwealth of Pennsylvania, County of Butler and Township of Oakland, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grade that may be established hereafter at any time. This dedication and release shall be binding upon Chris Allen Detrick, my heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 25

day of 02 2025

ATTEST:

Chris Allen Detrick  
NOTARY PUBLIC

Chris Allen Detrick  
OWNER

My Commission Expires July 30, 2028  
Commonwealth of Pennsylvania - Notary Seal  
Angela K. Kouroufakis, Notary Public  
Butler County  
My Commission Expires July 30, 2028  
Commission Number 1450793

COMMONWEALTH OF PENNSYLVANIA:SS:  
COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Chris Allen Detrick, and acknowledged the foregoing release and dedication and plan to be his act and deed and desired the same to be recorded as such.

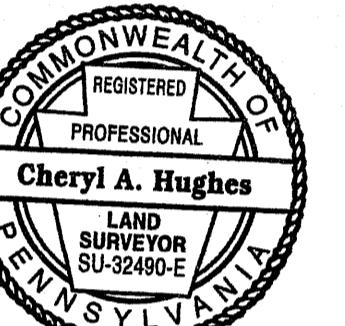
Sworn to and subscribed before me this day.

WITNESS MY HAND AND NOTARIAL SEAL this 25 day of 02  
2025

My Commission expires the 30 day of 07 2028  
SEAL

Chris Allen Detrick  
NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal  
Angela K. Kouroufakis, Notary Public  
Butler County  
My Commission Expires July 30, 2028  
Commission Number 1450793



I, Cheryl A. Hughes, a registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.

2/17/2025 Seal Cheryl A. Hughes  
RIO. NO. SU-2480-E

I, Chris Allen Detrick, owner of this plan of subdivision in my name, do hereby certify that the title of this property is in the name of Chris Allen Detrick, as recorded in instrument #200602010002475, Recorder of Deeds Office.

Chris Allen Detrick Witness Chris Allen Detrick Owner

MORTGAGE CLAUSE:  
I/we, Chris Allen Detrick, mortgagee of the property embraced in this plan of subdivision in the name of Chris Allen Detrick, do hereby consent to the recording of said plan in the Recorder's Office and covenants appearing hereon.

Chris Allen Detrick Witness Chris Allen Detrick Mortgagor

The Board of Supervisors of the Township of Oakland hereby gives public notice that in approving this plan for recording purposes only, the Township of Oakland assumes no obligation, legal or otherwise, expressed or implied, either to accept or reject the plan, or to require the owner to pave and curb the streets in said plan, or to construct sewers thereon, or to install any other such service ordinarily installed in Township streets or roads.

David J. Taylor Seal Chairman / President

Approved by the Supervisors of the Township of Oakland this 5th day of March 2025

David J. Taylor Seal Chairman / President

Approved by the Oakland Township Planning Commission this 5th day of March 2025

Patricia Anderson Seal Chairman / President

Reviewed by the Butler County Planning Commission this 18th day of December 2024

R. Harr Seal Chairman / President

Approved by the Butler County Planning Commission this 18th day of December 2024

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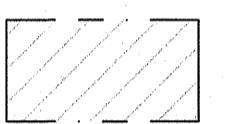
R. Harr Seal Chairman / President

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**LEGEND**

- Existing Fence Post
- Existing Sign
- Existing Bollard
- Existing Road Delineation Post
- Existing Mailbox
- Railroad Track
- Property Line
- Legal Right-of-Way Line
- Setback Line
- Soil Boundaries
- Existing Easement
- Floodplain
- Existing Contour Major
- Existing Contour Minor
- Existing Ditch Or Swale
- Existing Shrub
- Existing Coniferous Tree
- Existing Deciduous Tree
- Tree/Brush Line
- Shrub Row
- Existing Curb
- Existing Edge of Road
- Existing Edge of Gravel
- Existing Fence
- Existing Above Ground Electric, Telephone and Cable TV Line



Floodplain Area

- Existing Gas Line
- Existing Gas Valve
- Existing Gas Meter
- Existing Sanitary Sewer Line
- 12" CMP Existing Storm Sewer Line
- San. MH Existing Sanitary Sewer Manhole
- Existing Storm Sewer Inlet
- Existing Water Line
- WV Existing Water Valve
- FH Existing Fire Hydrant

- PROPOSED EASEMENT
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- x 490.00 PROPOSED BOTTOM OF CURB SPOT ELEVATION
- x TC 490.00 PROPOSED TOP OF CURB SPOT ELEVATION
- x HP 490.00 PROPOSED HIGH POINT SPOT ELEVATION
- x LP 490.00 PROPOSED LOW POINT SPOT ELEVATION
- PROPOSED CURB
- 20 PROPOSED PARKING SPACE QUANTITY TAG
- PROPOSED SIGN
- PROPOSED BOLLARD
- LOO LIMIT OF DISTURBANCE
- RCE ROCK CONSTRUCTION ENTRANCE
- SS SILT SOXX - 8" INLET PROTECTION
- PROPOSED TELEPHONE LINE
- PROPOSED ELECTRIC LINE
- FOT PROPOSED FIBER OPTIC LINE
- E PROPOSED ELECTRICAL BOX
- PROPOSED LIGHT STANDARD
- PROPOSED GAS LINE
- GV PROPOSED GAS VALVE
- GM PROPOSED GAS METER
- S PROPOSED SANITARY LINE
- PROPOSED SANITARY/STORM MANHOLE
- CCO PROPOSED SANITARY CLEANOUT
- W PROPOSED WATER LINE
- WV PROPOSED WATER VALVE
- FH PROPOSED FIRE HYDRANT
- WM PROPOSED WATER METER

**SITE DATA**

PROPERTY ADDRESS: 664 CENTERVILLE PIKE  
SLIPPERY ROCK, PA 16057

PROPERTY OWNER(S): G N' W, LLC

TAX PARCELS: 280-S13-AA-0000

ZONING DISTRICT: COMMERCIAL DISTRICT

SITE AREA: 1.033 AC. TOTAL

LOCAL JURISDICTION: SLIPPERY ROCK TOWNSHIP

PROPOSED USE: COMMERCIAL RETAIL

MINIMUM LOT AREA: REQUIRED 25,000 SF PROPOSED 1.033 AC.

MINIMUM SETBACKS: FRONT-20' 152.2' SIDE-20' 22.87', 46.02' REAR-20' 20'

MAXIMUM BUILDING HEIGHT: 45' 18'

MAXIMUM BUILDING COVERAGE: 25% 21%

**SURVEY NOTES**

1. THE TOPOGRAPHY AND PROPERTY BOUNDARY SHOWN ON THESE PLANS IS BASED UPON A FIELD SURVEY PREPARED BY HERBERT, ROWLAND & GRUBIC, INC., DATED AUGUST 29, 2024.
2. THE BEARING BASE AND HORIZONTAL DATUM FOR THIS PROJECT ARE BASED ON PENNSYLVANIA STATE PLANE COORDINATE SYSTEM PA SOUTH (NAD83). THE VERTICAL DATUM IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
3. IF THE CONTRACTOR DOES NOT ACCEPT THE EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.

**GENERAL NOTES**

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL & STATE REGULATIONS AND CODES AND OSHA STANDARDS.
2. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURB, EDGE OF PAVING, OR EDGE OF BUILDING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF STRUCTURES. ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
3. ALL CURBED RADII SHALL BE FIVE FEET UNLESS OTHERWISE NOTED.
4. BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE FOR LAND DEVELOPMENT APPROVAL ONLY. MINOR CHANGES THAT DO NOT VIOLATE MUNICIPAL REGULATIONS MAY OCCUR AT THE FINAL BUILDING DESIGN PHASE OF THE PROJECT.
5. HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428) KNOWN AS THE STATE HIGHWAY LAW, BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED.
6. THE CONTRACTOR SHALL NEATLY SAW CUT ALL JOINTS WHERE THE PROPOSED CONSTRUCTION MEETS EXISTING PAVING AND/OR CONCRETE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
8. THE CONTRACTOR IS ENCOURAGED TO OBTAIN COPIES AND BECOME FAMILIAR WITH THE COUNTY'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, BOROUGH'S STORMWATER MANAGEMENT ORDINANCE AND STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE TO MEET THE REQUIREMENTS OF THESE ORDINANCES AND SPECIFICATIONS FOR VARIOUS PUBLIC IMPROVEMENTS.
9. THE 100-YEAR FLOOD PLAIN BOUNDARY DOES NOT ENROACH ON THE PROPERTY ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 42019C0145D.
10. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH PENNDOT STANDARDS, AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
11. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.

**DEMOLITION NOTES**

1. ALL DEMOLITION SHALL BE CONDUCTED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
2. ALL UTILITIES SHALL BE TERMINATED AND SECURED PRIOR TO DEMOLITION ACTIVITIES. DISCONNECT, CUT, CAP AND/OR ABANDON SERVICE LINES TO BE DEMOLISHED IN ACCORDANCE WITH THE UTILITY COMPANY REQUIREMENTS.
3. UTILITY SERVICE TO ADJACENT PROPERTIES MUST REMAIN CONTINUOUSLY OPERABLE UNLESS SERVICE DISRUPTION IS AGREED TO IN ADVANCE BY THOSE AFFECTED.
4. ITEMS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. IF ANY ITEM TO REMAIN IS DAMAGED OR MADE INOPERABLE FOR ITS INTENDED FUNCTION, IT SHALL BE REPAVED OR REPLACED TO A CONDITION EQUAL TO OR BETTER THAN ITS CONDITION WHEN DAMAGED.
5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
6. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
7. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN AN APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
8. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
9. ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
10. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
11. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO DEMOLITION.
12. WHERE EXISTING PAVING AND CONCRETE IS TO REMAIN, THE CONTRACTOR SHALL NEATLY SAWCUT THE PAVING PRIOR TO REMOVAL OF PAVING/CONCRETE SCHEDULED FOR DEMOLITION.

**GRADING/UTILITY NOTES**

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS OF ACT 287, NOTIFICATION OF PUBLIC UTILITIES PRIOR TO CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITY LINES PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
2. THE CONTRACTOR IS RESPONSIBLE TO RELOCATE ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION.
4. ALL UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
5. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS. ALL AREAS OF THE SITE MUST BE GRADED TO MAINTAIN POSITIVE DRAINAGE TO A STORMWATER COLLECTION FACILITY, ANY LOCALIZED DEPRESSIONS WITHIN PAVED AREAS MUST BE ELIMINATED.
6. ALL SPOT ELEVATIONS ARE REFERENCED TO THE FINISHED GROUND SURFACE UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL NPDES PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES. NO EARTH DISTURBANCE MAY OCCUR OUTSIDE THE PERMITTED NPDES BOUNDARY LINE.
8. THE CONTRACTOR SHALL APPLY A STABILIZATION FABRIC, OR EQUIVALENT, TO ALL SLOPES STEEPER THAN 3:1 FOR ANY TEMPORARY OR PERMANENT CUTS OR FILLS.
9. THE CONTRACTOR SHALL OBTAIN THE SERVICES OF A GEOTECHNICAL ENGINEER AND IMPLEMENT RECOMMENDED CONTROLS NECESSARY FOR THE STABILIZATION OF ANY CUT SLOPES IN EXCESS OF 2:1 AND/OR FILL SLOPES IN EXCESS OF 3:1.
10. ALL STORMWATER PIPING ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURES IS WATERTIGHT.
11. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM Poured MORTAR FLOW CHANNEL FROM INVERT IN TO INVERT OUT.
12. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE SURROUNDING PAVEMENT AND HAVE TRAFFIC BEARING RING AND COVER. LIDS SHALL BE LABELED STORM.

**PRELIMINARY/FINAL LAND DEVELOPMENT PLANS****FOR****SLIPPERY ROCK #3 DOLLAR GENERAL**

PTV 1416, LLC

400 PENN CENTER BOULEVARD, BUILDING 4, SUITE 1000  
PITTSBURGH, PA 15225PTV 1416, LLC  
BUTLER COUNTY PENNSYLVANIA**PROFESSIONAL SEAL:**

HRG PROJECT NUMBER: R008385.0463  
PLAN DATE: SEPTEMBER 2024  
DRAWING SCALE: AS SHOWN  
PROJ. MANAGER: CRAIG A. BISHOP

**REVISIONS****DESCRIPTION****SHEET TITLE:**

GENERAL NOTES

FILE NAME &amp; NUMBER: PTV 1416, LLC - SLIPPERY ROCK #3 DOLLAR GENERAL - 09/2024

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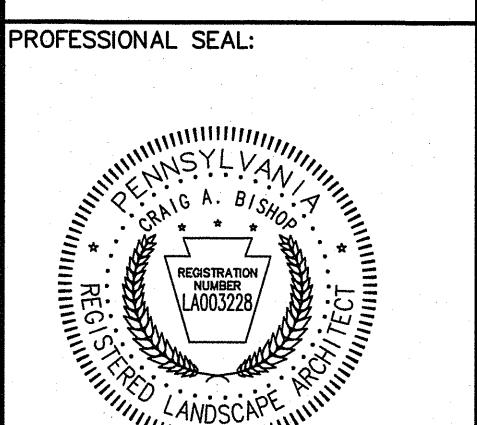
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PRELIMINARY/FINAL LAND DEVELOPMENT PLANS  
FOR  
SLIPPERY ROCK #3 DOLLAR GENERAL

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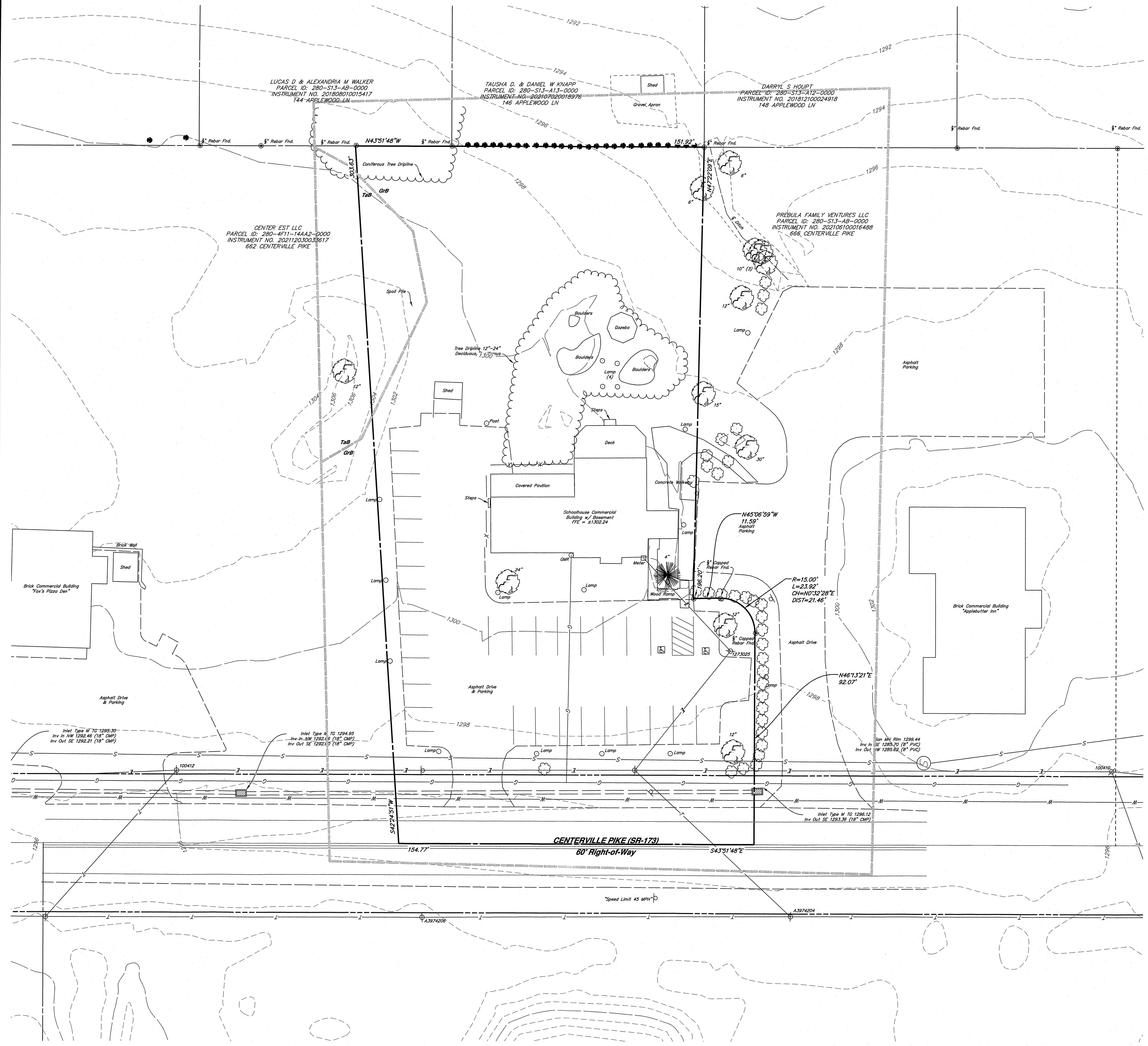
SLIPPERY ROCK, BUTLER COUNTY, PENNSYLVANIA



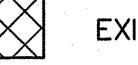
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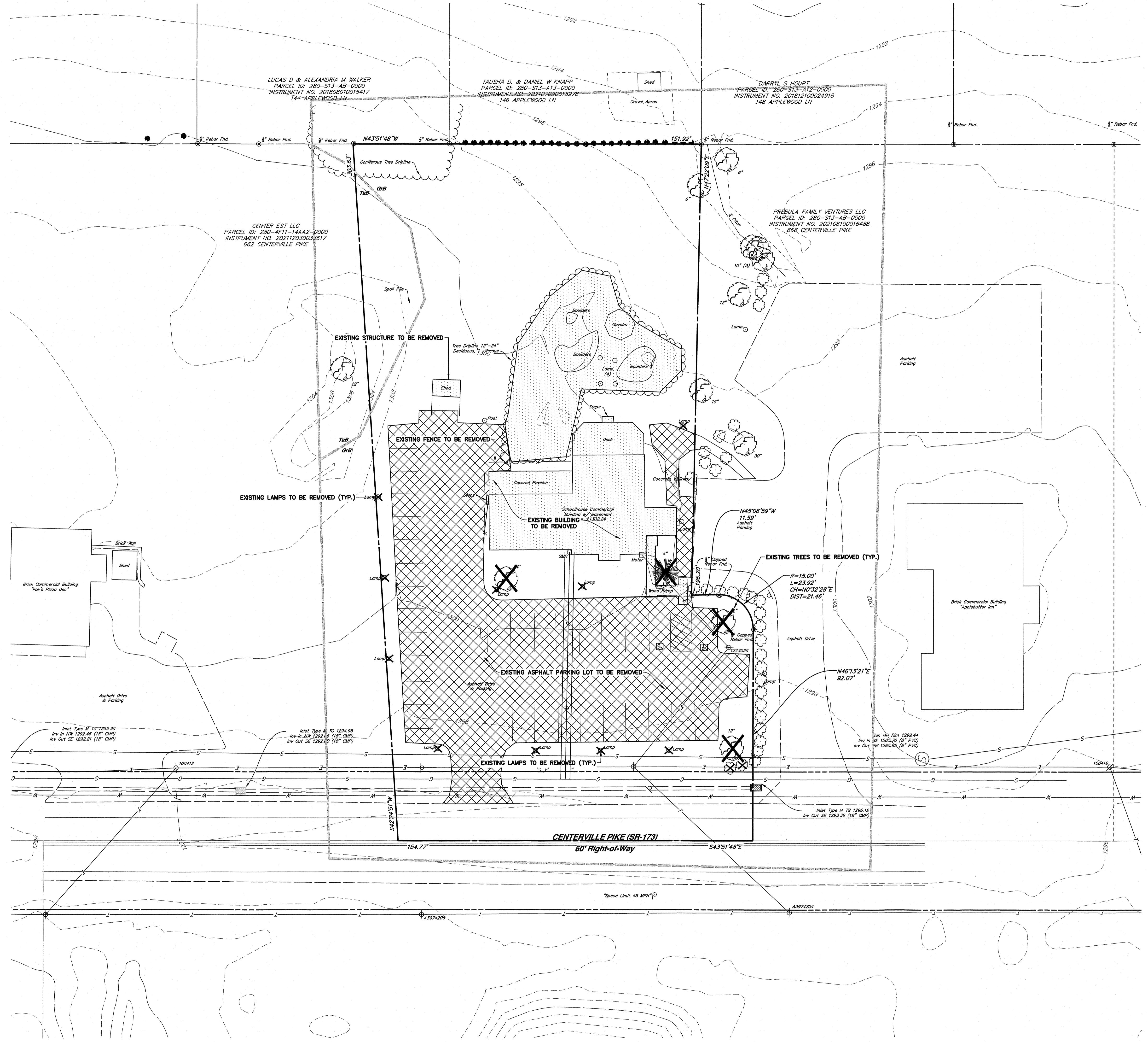
REVISIONS	DESCRIPTION
NO.	DATE
1	2024-11-20 REVISED FOR TOWNSHIP COMMENTS
2	2025-01-27 REVISED GRADING AND INLET
3	2025-02-05 LAND DEVELOPMENT PLANS FOR RECORDING
4	2025-02-05 REVISED SANITARY AND WATERLINE

EXISTING CONDITIONS PLAN	
PLAN BOOK	PAGE
425	28
GRAPHIC SCALE	20' 10' 0' 20'
SCALE: 1" = 20'	
HEET:	EC-1
	03



## DEMOLITION LEGEND

-  EXISTING PAVE TO BE REMOVE
-  EXISTING TO BE DEMOLISHED



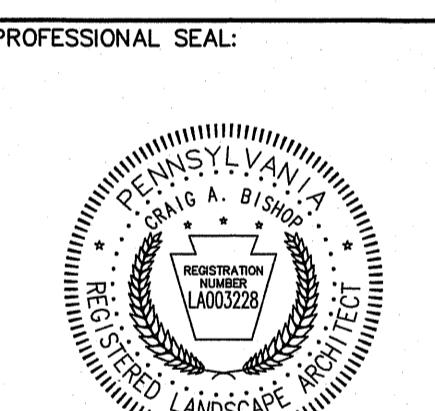
PRELIMINARY/FINAL LAND DEVELOPMENT PLANS  
FOR  
SLIPPERY ROCK #3 DOLLAR GENERAL

PTV 1416, LLC

400 PENN CENTER BOULEVARD, BUILDING 4, SUITE 1000

PITTSBURGH, PA 15255

BUTLER COUNTY PENNSYLVANIA

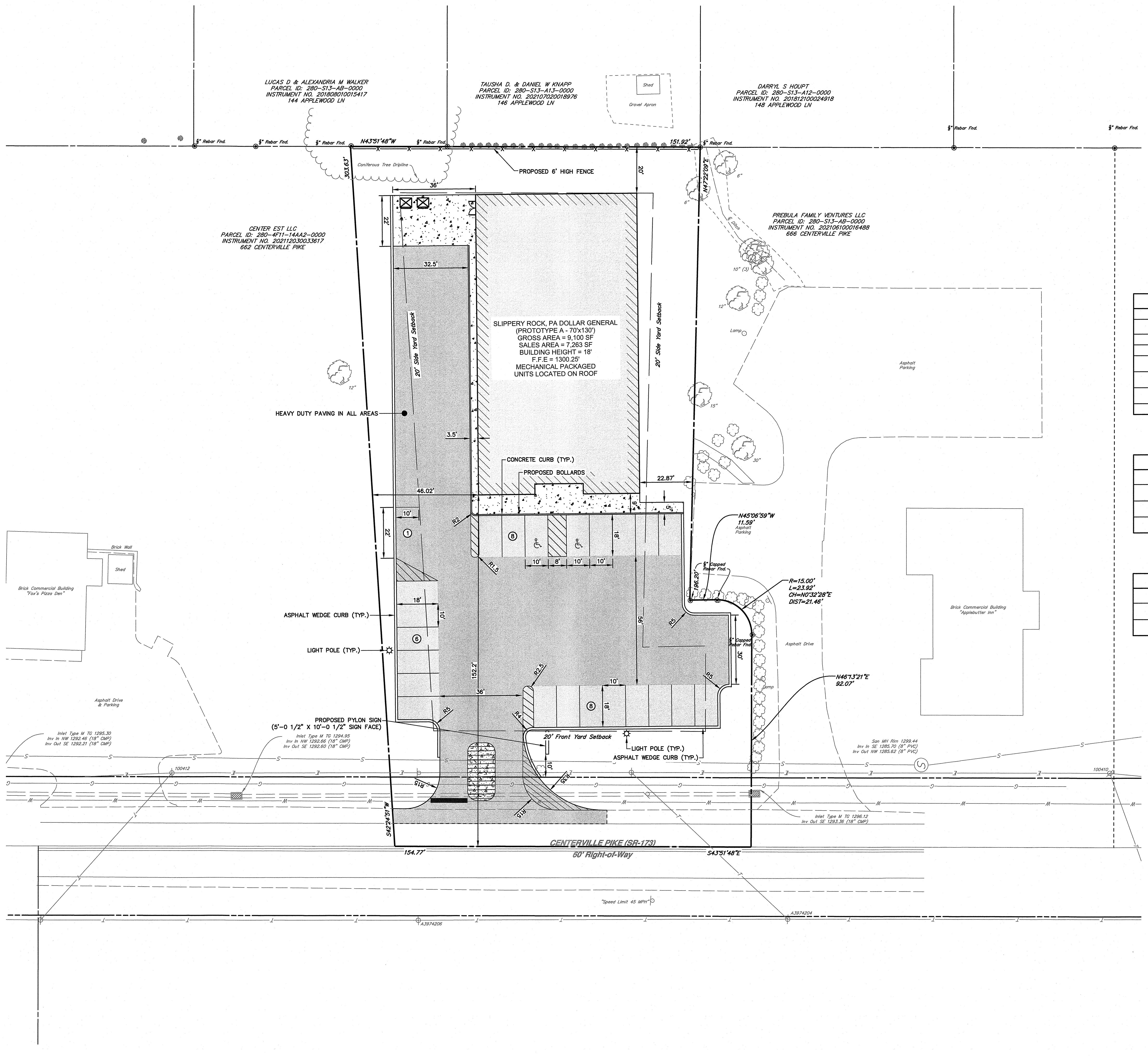


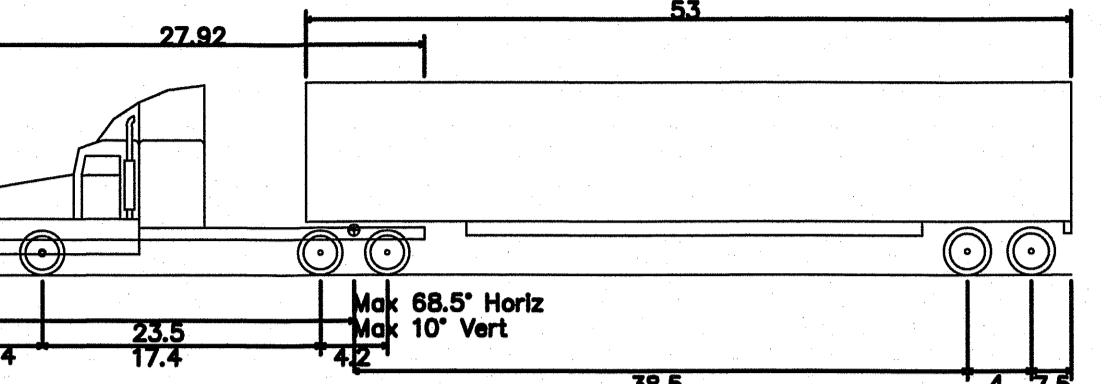
HRG PROJECT NUMBER: R008385.0463  
PLAN DATE: SEPTEMBER 2024  
DRAWING SCALE: AS SHOWN  
PROJ. MANAGER: CRAIG A. BISHOP

REVISIONS  
NO. DATE  
1 2024-11-20 REVISED PER TOWNSHIP COMMENTS  
2 2025-01-20 REVISED GRAVING AND INLET  
3 2025-01-27 REVISED SANITARY AND WATERLINE  
4 2025-02-05 LAND DEVELOPMENT PLANS FOR RECORDING

SHEET TITLE:  
DEMOLITION  
PLAN

SHEET: DM-1 04





## WB-62 - Interstate Semi-Trailer

Overall Length  
Overall Width  
Overall Body Height  
Min Body Ground Clearance  
Max Track Width  
lock-to-lock time  
Max Steering Angle (Virtual)

# WB-62 VEHICLE PROFILE

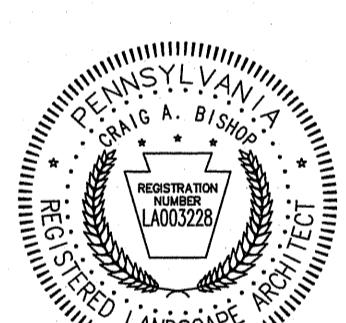
**PRELIMINARY/FINAL LAND DEVELOPMENT PLANS  
FOR  
SLIPPERY ROCK #3 DOLLAR GENERAL**

PRELIMINARY/FINAL

## ROCK #3 DOLLAR GENERAL

400 PENN CENTER BOULEVARD BUREAU SUITE 1000  
PTV 1416, LLC

SLIPPERY ROCK BUTLER COUNTY PENNSYLVANIA  
HISBURGH, PA 15233



PROJECT NUMBER: R008385.0463  
PLAN DATE: SEPTEMBER 2024

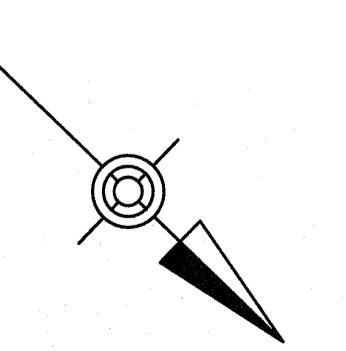
DRAWING SCALE: AS SHOWN

D.J. MANAGER: CRAIG A. BISHOP

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

IO.	DATE	DESCRIPTION
1	2024.11.20	REVISED PER TOWNSHIP COMMENTS
2	2025.01.20	REVISED GRADING AND INLET
3	2025.01.27	REVISED SANITARY AND WATERLINE
4	2025.02.05	LAND DEVELOPMENT PLANS FOR RECORDING
5		
6		
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2  
EET TITLE:  
**TURNING  
TEMPLATE**



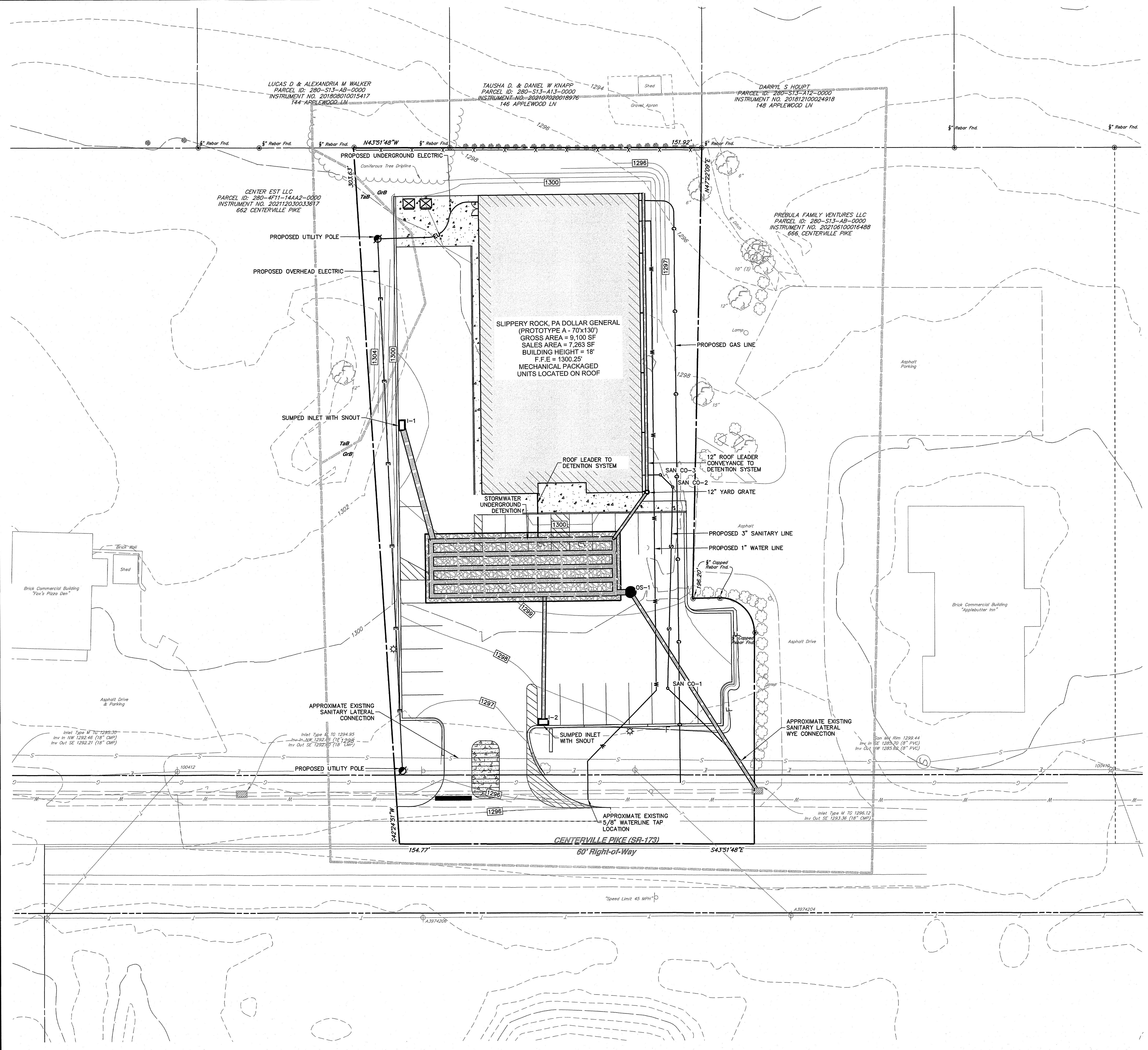
A graphic scale bar consisting of a horizontal line with three distinct segments. The first segment is labeled '10'' at its left end. The second segment is labeled '0'' at its center. The third segment is labeled '20'' at its right end. The entire scale is enclosed in a black rectangular frame.

EEET:

10

This architectural site plan illustrates the layout of a commercial complex. The central feature is a building labeled "SLIPPERY ROCK, PA DOLLAR GENERAL (PROTOTYPE A - 70'x130')". The building's dimensions are 70' wide by 130' deep, with a gross area of 9,100 SF and a sales area of 7,263 SF. The building height is 18', and the F.F.E. is 1300.25'. Mechanical packaged units are located on the roof. To the left of the main building is a "Brick Commercial Building 'Fox's Pizza Den'" with a "Brick Wall" and a "Shed". To the right is a "Brick Commercial Building 'Applebutter Inn'" with "Asphalt Parking". The site includes "Asphalt Drive" and "Asphalt Parking" areas. A "Gravel Apron" and "Shed" are located near the top right. The plan shows "Rebar Fnd." (Rebar Foundations) at various points along the building's foundation. A "Coniferous Tree Dripline" is marked with "TaB GrB" and "12", "6", "10 (3)", "12", "15", and "30". A "Speed Limit 45 MPH" sign is present. The "CENTERVILLE PIPE (SR-173)" is shown at the bottom, with a "60' Right-of-Way". Specific pipe and valve details are labeled, such as "Inlet Type M TG 1294.30 Inv In NW 1292.46 (18" CMP) Inv Out SE 1292.21 (18" CMP)" and "Inlet Type M TG 1294.95 Inv In NW 1292.25 (18" CMP) Inv Out SE 1292.30 (18" CMP)". Other labels include "San MH Rim 1299.44 Inv In SE 1285.70 (8" PVC) Inv Out NW 1285.62 (8" PVC)" and "Inlet Type M TG 1296.12 Inv Out SE 1293.36 (18" CMP)". The plan also includes "A3974206" and "A3974204" at the bottom.

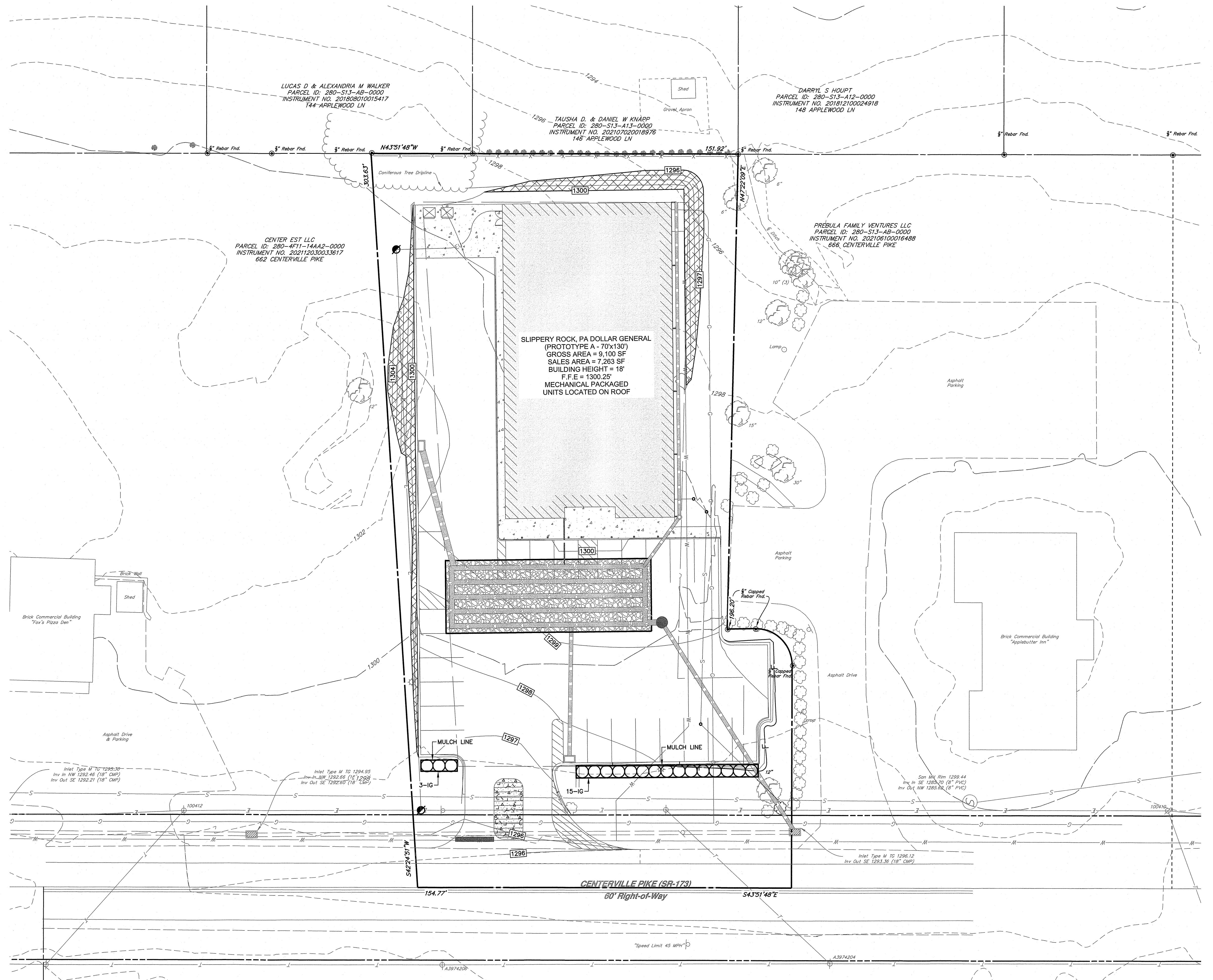




**PRELIMINARY/FINAL LAND DEVELOPMENT PLANS**  
FOR  
**SLIPPERY ROCK #3 DOLLAR GENERAL**

PTV 1416, LLC  
400 PENN CENTER BOULEVARD, BUILDING 4, SUITE 1000  
PITTSBURGH, PA 15225

SLIPPERY ROCK, BUTLER COUNTY, PENNSYLVANIA



**PLANTING SCHEDULE**

ID	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	CONDITION	SPACING	NOTES
PARKING LOT & BUFFER LANDSCAPE SHRUB							
IG	18	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	24" HT.	CONT.	AS SHOWN	

**PROPOSED LANDSCAPE LEGEND**

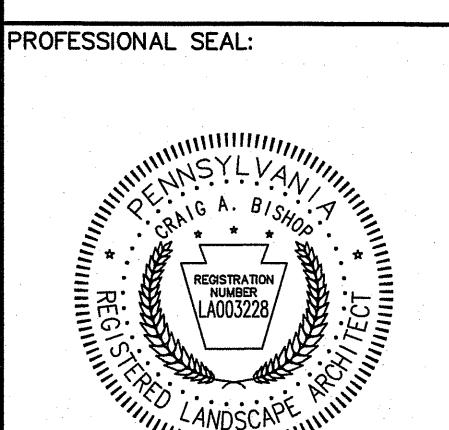
—	PROPOSED PROPERTY LINE
1010	PROPOSED CONTOUR
—	PROPOSED CURB
■	PROPOSED STORM SEWER & INLET
○	PROPOSED SHRUB
—	PROPOSED MULCH LINE
▨	PROPOSED STEEP SLOPE MIX

**LANDSCAPE REQUIREMENTS**

PARKING LOT LANDSCAPE (SECTION 407.B.5):  
REQUIRED PARKING LANDSCAPE: 5 FT. OF PLANTING STRIP BETWEEN FRONT  
LOT LINE AND PARKING LOT  
PROVIDED PARKING LANDSCAPE: 5 FT. WIDE PLANTING STRIP;  
WITH 18 SHRUBS AND MULCH

**LANDSCAPE NOTES**

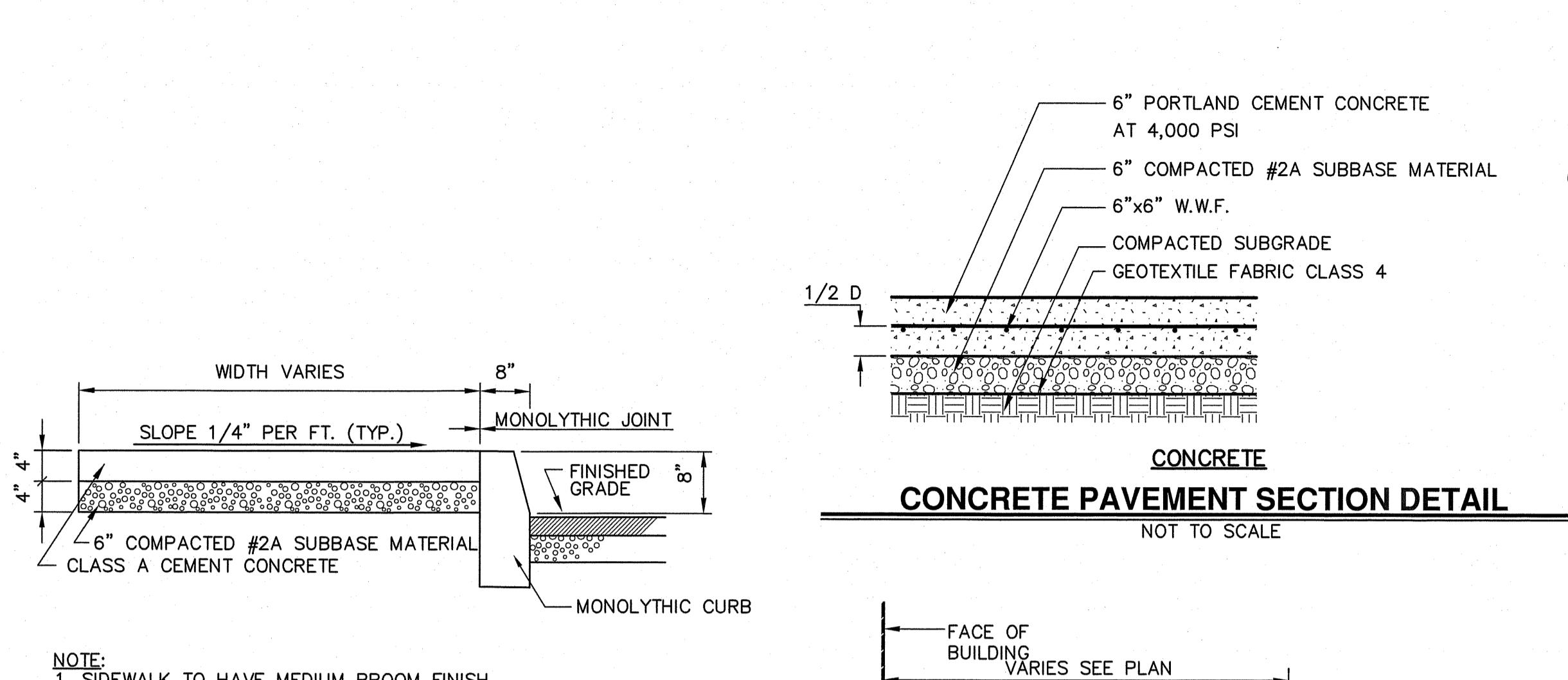
1. ALL DISTURBED OR DAMAGED AREAS SHALL BE REPAIRED AND REFINISHED WITH MATERIALS TO MATCH EXISTING ADJACENT SURFACES.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF WORK. LOCATIONS OF EXISTING AERIAL OR SUB-SURFACE UTILITY LINES INDICATED ARE APPROXIMATE AND NEITHER THE OWNER OR ENGINEER GUARANTEE THE ACCURACY OR COMPLETENESS OF THESE LOCATIONS. IF THERE ARE ANY CONFLICTS DUE TO EXISTING OR AS-BUILT CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR FIELD ADJUSTMENT APPROVAL.
3. THE CONTRACTOR SHALL NOTIFY PA ONE-CALL BY CALLING 1-800-242-1776. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DISTURBING ALL EXISTING UTILITY LINES WHETHER MAPPED, MARKED OR ENCOUNTERED DURING CONSTRUCTION.
4. ALL SHRUBBERY AND PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH, AND SHALL BE SOUND, HEALTHY, VIGOROUS AND FREE OF DISEASE, INSECTS, INSECT EGGS AND LARVAE.
5. COORDINATE THE PLACEMENT OF THE LANDSCAPING MATERIALS WITH WINDOW OR VENT LOCATIONS AND OTHER SITE IMPROVEMENTS.
6. ALL DISTURBED AREAS 4:1 OR LESS NOT LANDSCAPED, PAVED OR BUILT UPON SHALL BE SEDED, FERTILIZED AND MULCHED IN ACCORDANCE WITH PENNDOT FORMULA B MIX UNLESS OTHERWISE NOTED.
7. ALL DISTURBED AREAS GREATER THAN 4:1 NOT LANDSCAPED, PAVED OR BUILT UPON SHALL BE SEDED, FERTILIZED AND MULCHED WITH A NO MOW SEED MIX UNLESS OTHERWISE NOTED.
8. DECIDUOUS TREES THAT OVERHANG PEDESTRIAN OR VEHICULAR ROUTES SHALL BE MAINTAINED TO KEEP AWAY FROM GROUND TO A HEIGHT OF 8 FT. FREE OF BRANCHES AND FOLIAGE.
9. THE CONTRACTOR SHALL PROVIDE CLEANUP, PROTECTION AND MAINTENANCE OF LANDSCAPED AREA UNTIL OWNER INSPECTION AND ACCEPTANCE.
10. QUANTITIES SHOWN ON THE PLAN SHALL GOVERN IF TOTALS DO NOT AGREE WITH PLANTING SCHEDULE QUANTITIES.
11. PLANTING AREAS IDENTIFIED AS MULCH AREA ON PLANS SHALL HAVE DOUBLE SHREDDED MULCH AS GROUND COVER AND ALL OTHER PLANTING AREAS WILL HAVE LAWN AS GROUND COVER.
12. SHRUBS AND TREES SHALL REMAIN IN GOOD CONDITION AS DETERMINED BY THE TOWNSHIP ENGINEER OR LANDSCAPE ARCHITECT THROUGH THE LIFE OF THE PROJECT. TREES OR SHRUBS THAT ARE DETERMINED TO NOT BE IN GOOD CONDITION, SHALL BE REPLACED WITH THE SAME SPECIES OR AN APPROVED EQUAL BY THE TOWNSHIP.
13. LAWN AREA SHALL BE MAINTAINED AND IN GOOD CONDITION AS DETERMINED BY THE TOWNSHIP ENGINEER OR LANDSCAPE ARCHITECT THROUGH THE LIFE OF THE PROJECT. AREAS THAT ARE DETERMINED TO NOT BE IN GOOD CONDITION, SHALL BE REPAIRED AND RESEED.



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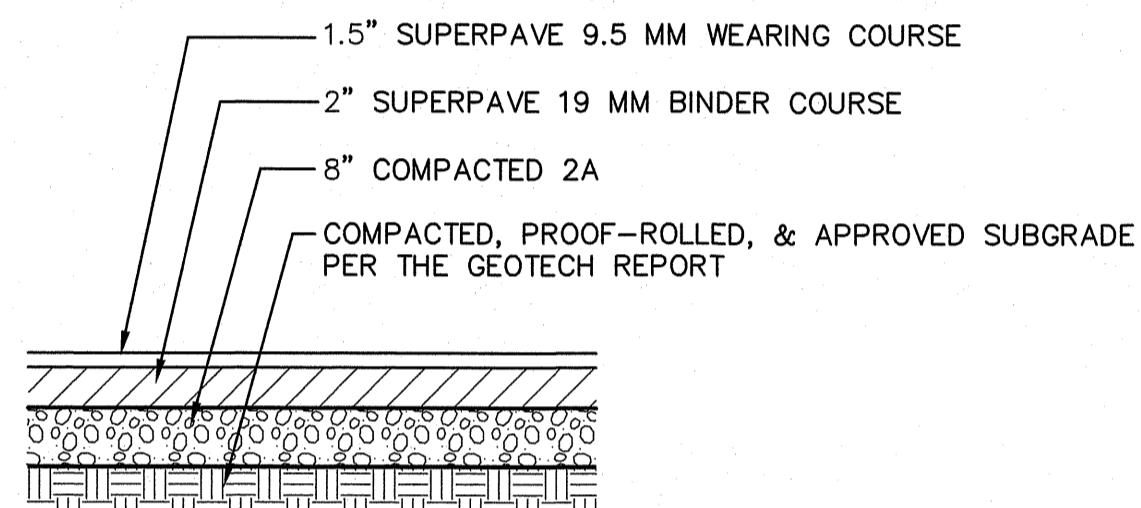
REVISIONS	DESCRIPTION
No.	DATE
1	2024-11-20 REVISED PER TOWNSHIP COMMENTS
2	2025-01-27 REVISED SANITARY AND WATERLINE
3	2025-02-05 AND DEVELOPMENT PLANS FOR RECORDING
4	2025-02-05
5	

SHEET TITLE:		SITE		LANDSCAPING PLAN	
PLAN BOOK	PAGE				
425	34				
GRAPHIC SCALE					
20'	10'	0'	20'		
SCALE: 1" = 20'					
SHEET:	LA-1				09



**NOTE:**  
1. SIDEWALK TO HAVE MEDIUM BROOM FINISH PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAFFIC.  
2. SEE SITE PLAN FOR SIDEWALK LOCATION.

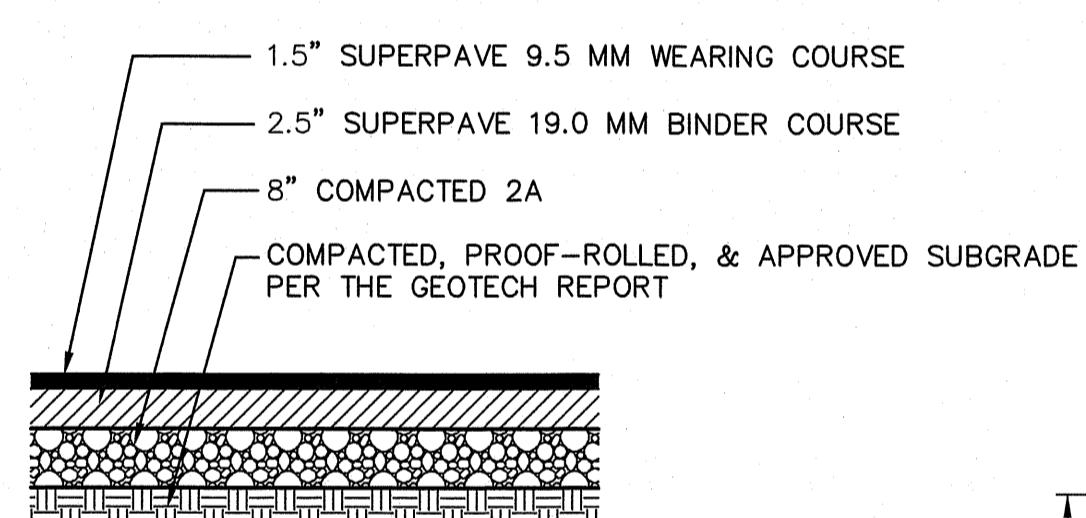
**SIDEWALK DETAIL ADJACENT TO CURB**  
NOT TO SCALE



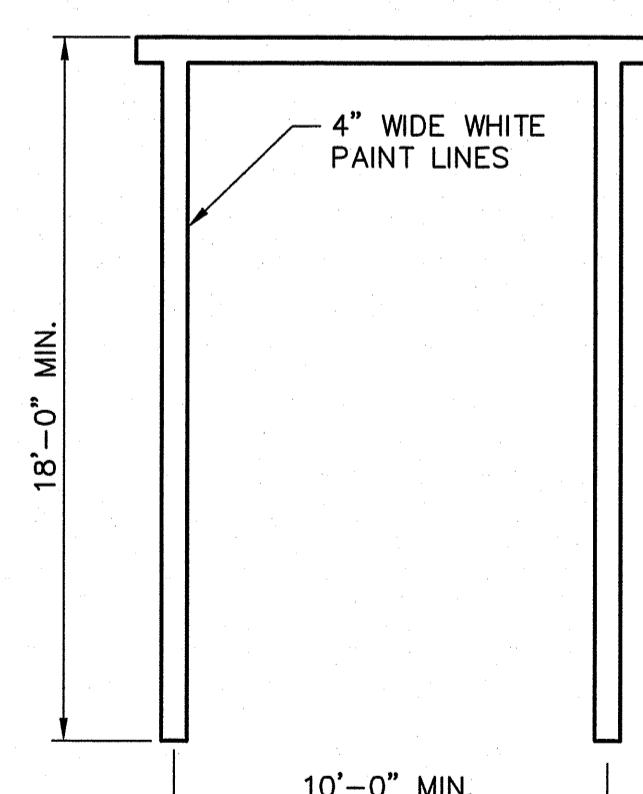
**NOTES:**  
1. SIDEWALK TO HAVE MEDIUM BROOM FINISH PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAFFIC.  
2. SEE SITE PLAN FOR SIDEWALK LOCATION.

**STANDARD DUTY**

**LIGHT DUTY PAVEMENT**  
NOT TO SCALE

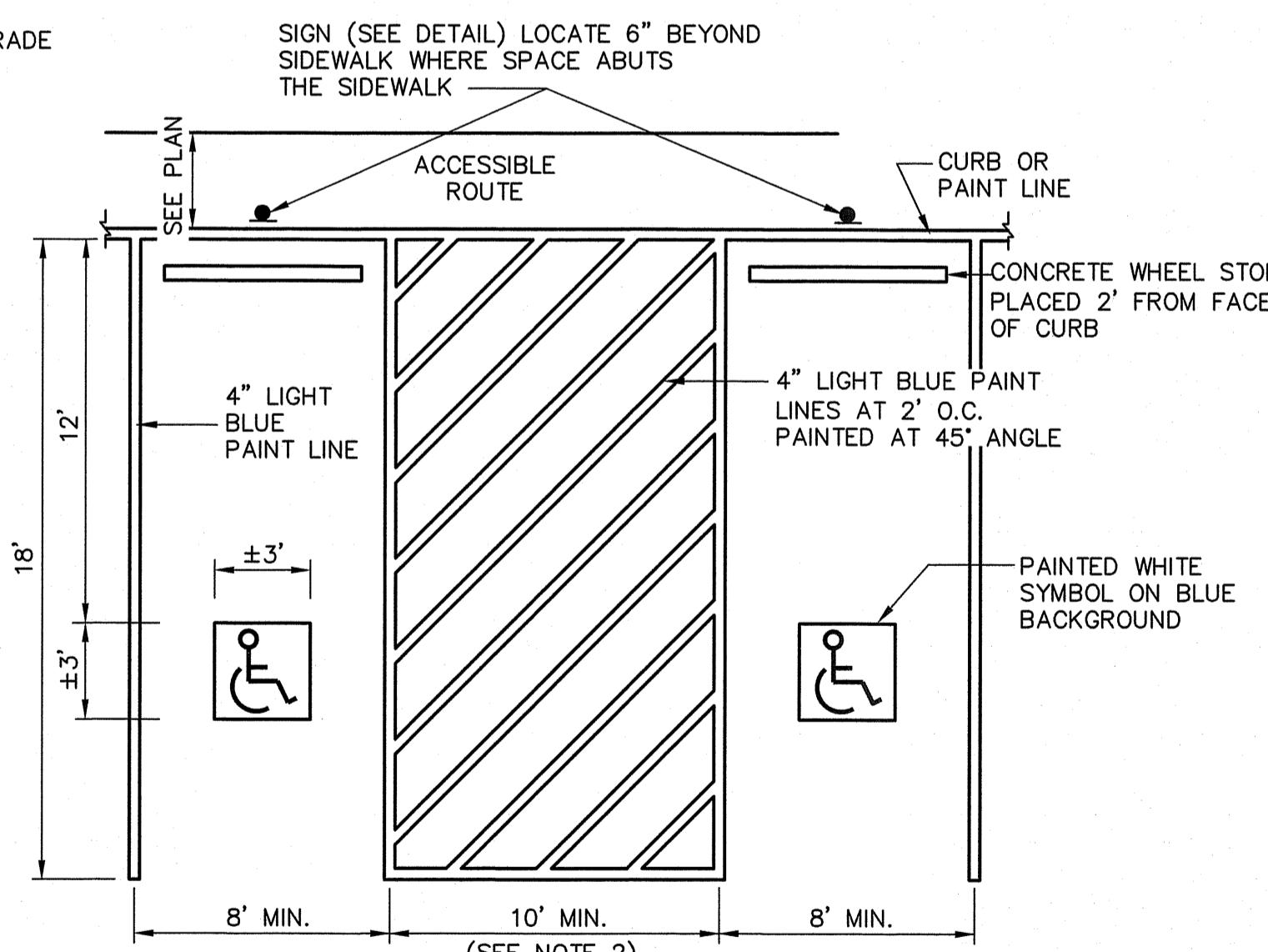


**HEAVY DUTY PAVEMENT SECTION**  
NOT TO SCALE

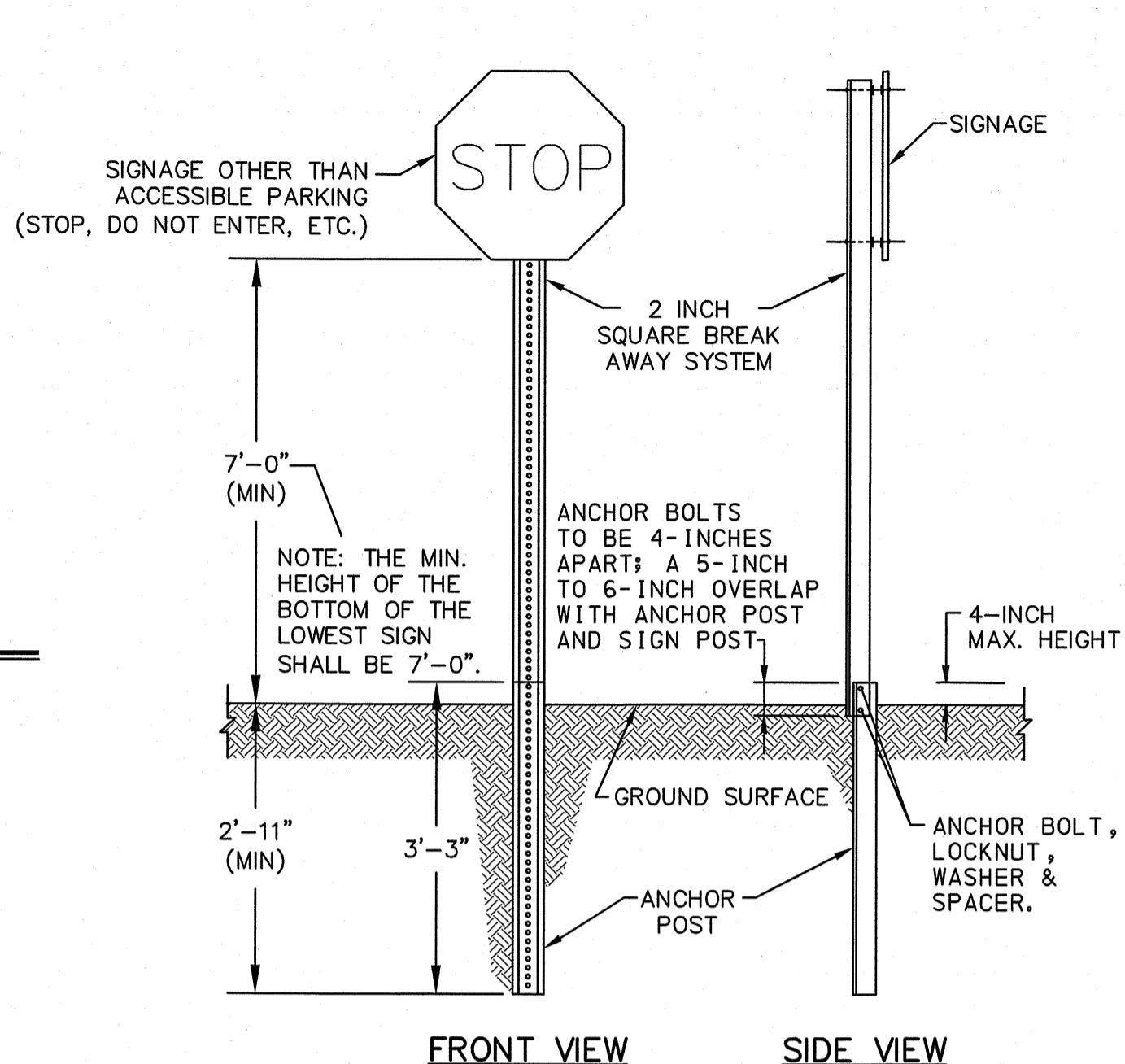


**NOTES:**  
1. ALL PARKING SPACES SHALL BE MARKED WITH ALL WEATHER PAINT.

**PARKING SPACE STRIPING**  
NOT TO SCALE

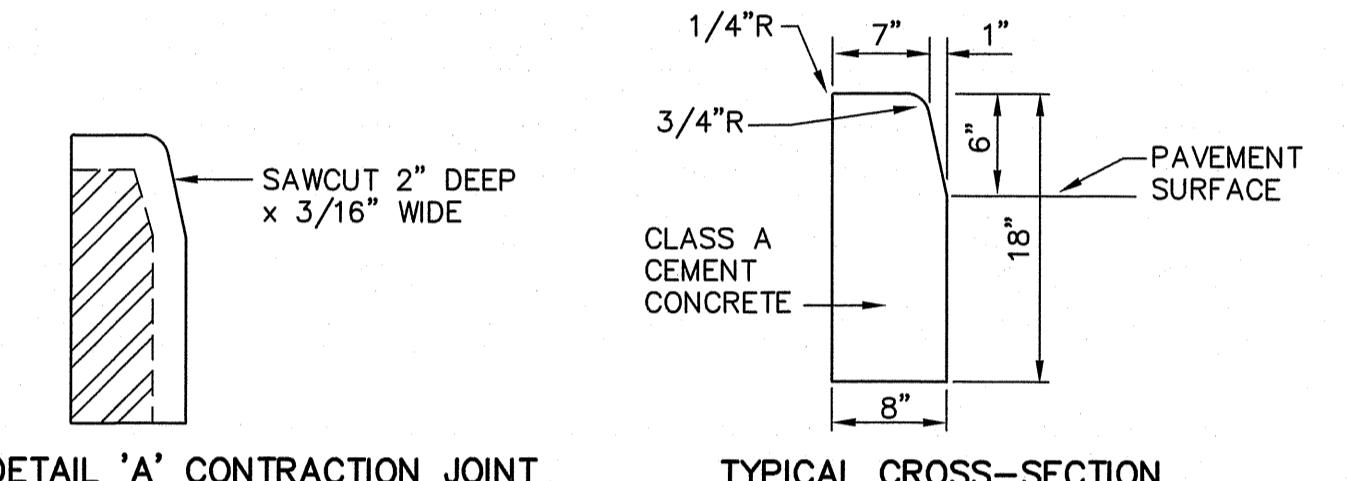
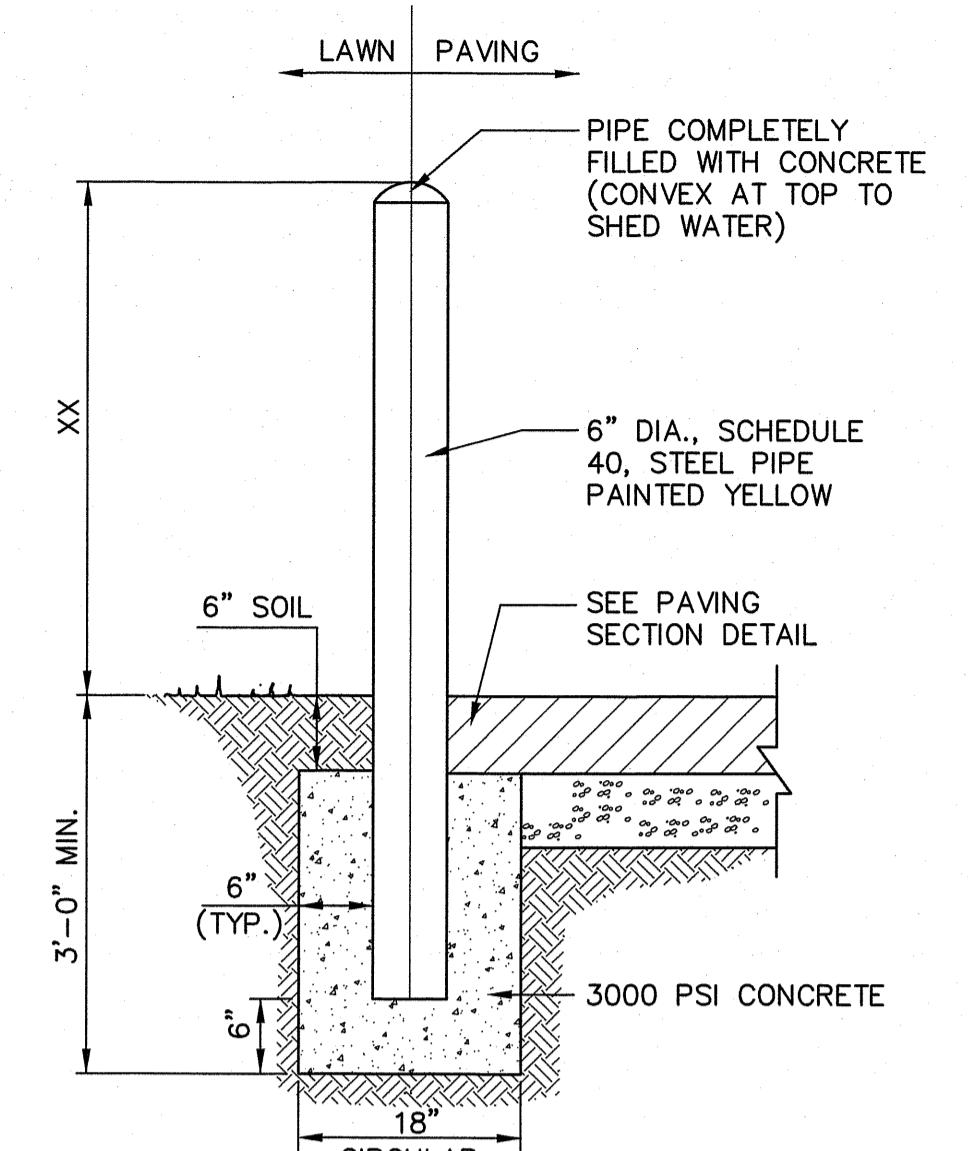


**NOTES:**  
1. SEE SITE PLAN FOR ACCESSIBLE SPACE LOCATIONS AND DIMENSIONS.  
2. ACCESS AISLE SHALL BE 8'-0" MIN. WIDTH FOR VAN ACCESSIBLE SPACES.  
3. APPLY TWO COATS OF PAINT ON ALL SURFACES.  
4. FOR CURB APPLICATIONS, STALL DIMENSIONS SHALL BE MEASURED FROM FACE OF CURB; FOR PAINT APPLICATIONS, STALL DIMENSIONS SHALL BE MEASURED FROM THE CENTERLINE OF THE PAINT LINE.  
5. PARKING SPACES AND ACCESS AISLE AREAS SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.

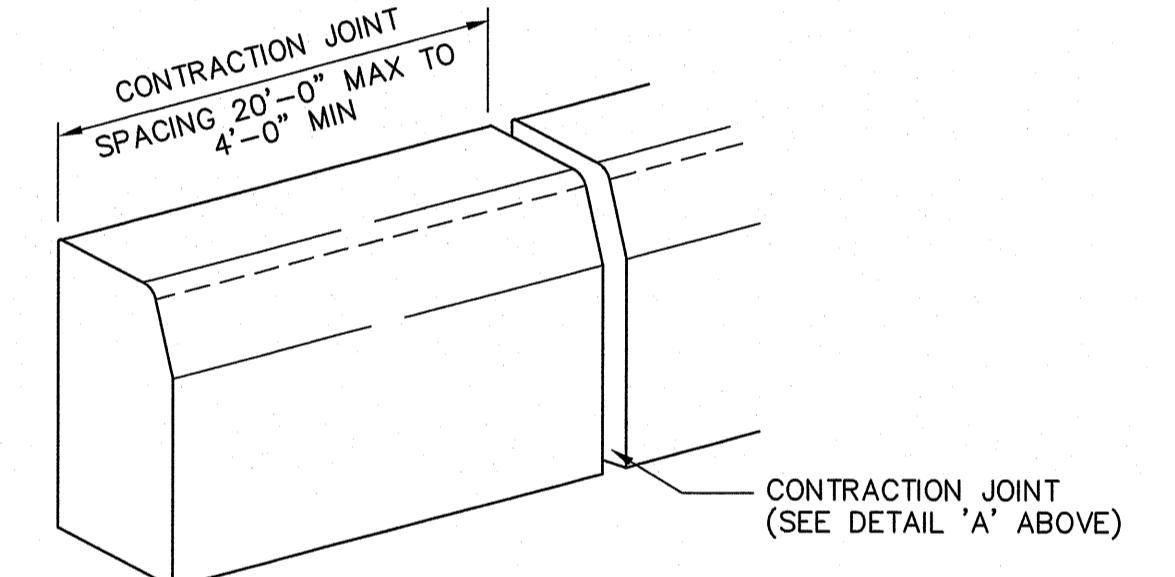


**FRONT VIEW** **SIDE VIEW**

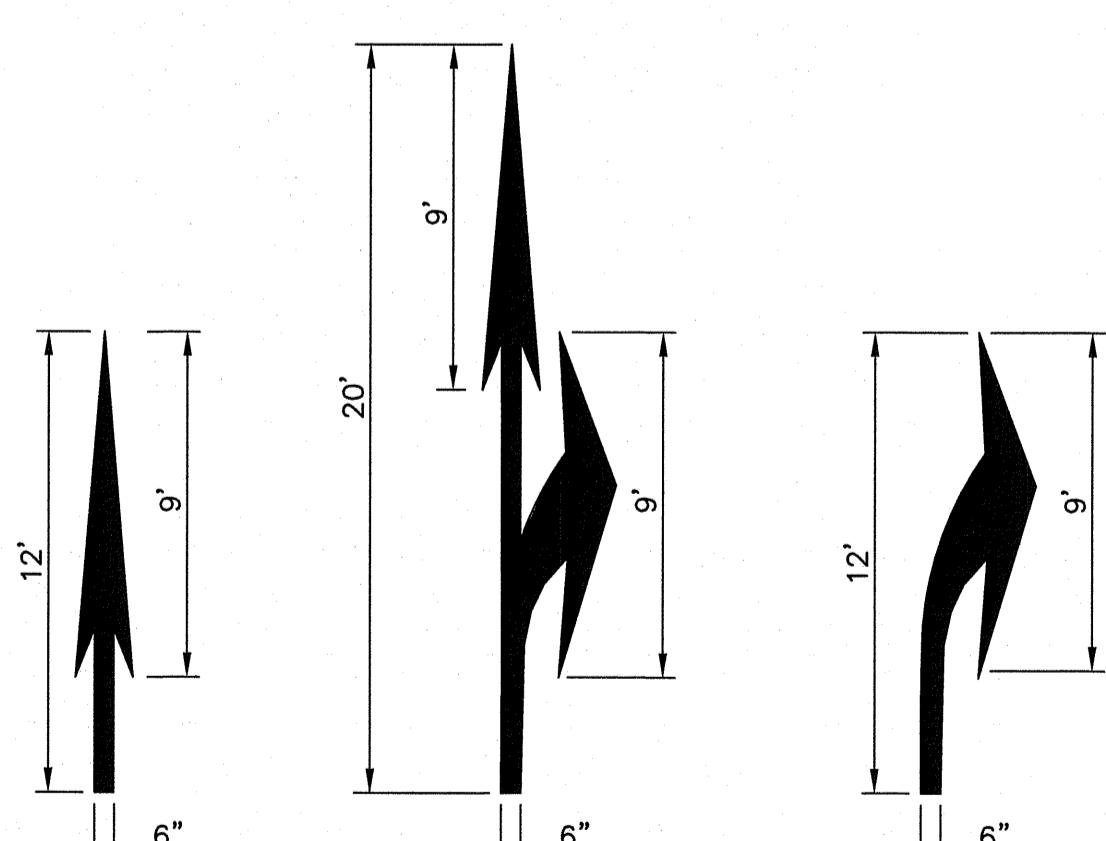
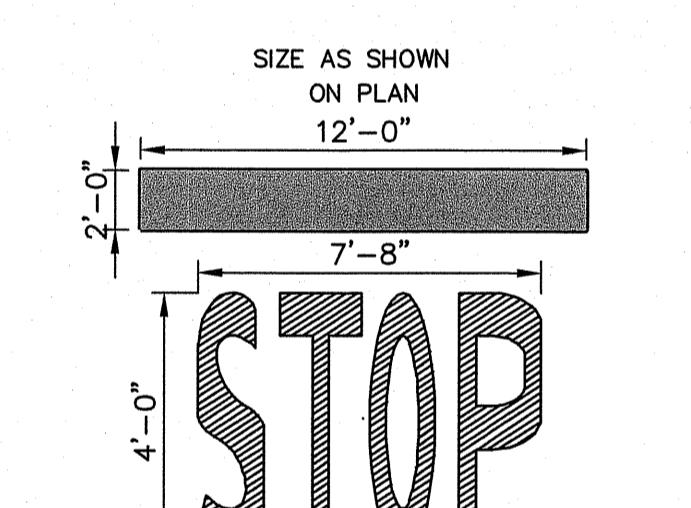
**NOTE:** THE MIN. HEIGHT OF THE BOTTOM OF THE LOWEST SIGN SHALL BE 7'-0".



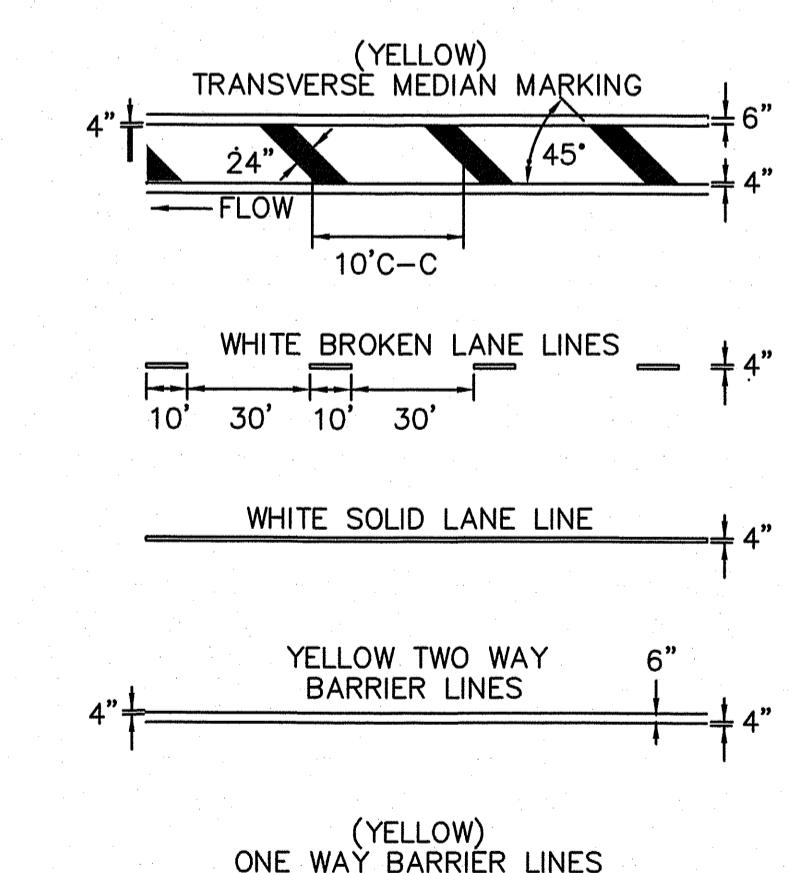
**TYPICAL CROSS-SECTION**



**NOTE:**  
1. CONSTRUCT CURBING IN ACCORDANCE WITH PENNDOT SPECIFICATIONS PUBLICATION 408 AND ROADWAY CONSTRUCTION DRAWINGS (RC-64)



**NOTE:**  
1. ALL PAVEMENT MARKINGS SHALL BE COLD WHITE INLAID PLASTIC.



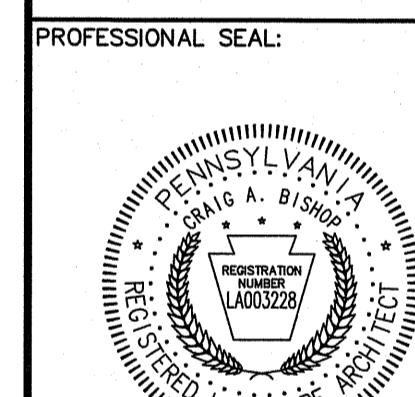
**NOTE:**  
PAINT SHALL CONFORM TO DOT STANDARD. APPLY 2 COATS, ALLOWING 1 WEEK MINIMUM BETWEEN COATS.

**PRELIMINARY/FINAL LAND DEVELOPMENT PLANS**  
FOR  
**SLIPPERY ROCK #3 DOLLAR GENERAL**

**PTV 1416, LLC**  
**PITTSBURGH, PA 15235**

**400 PENN CENTER BOULEVARD, BUILDING 4, SUITE 1000**

**SLIPPERY ROCK, BUTLER COUNTY, PENNSYLVANIA**

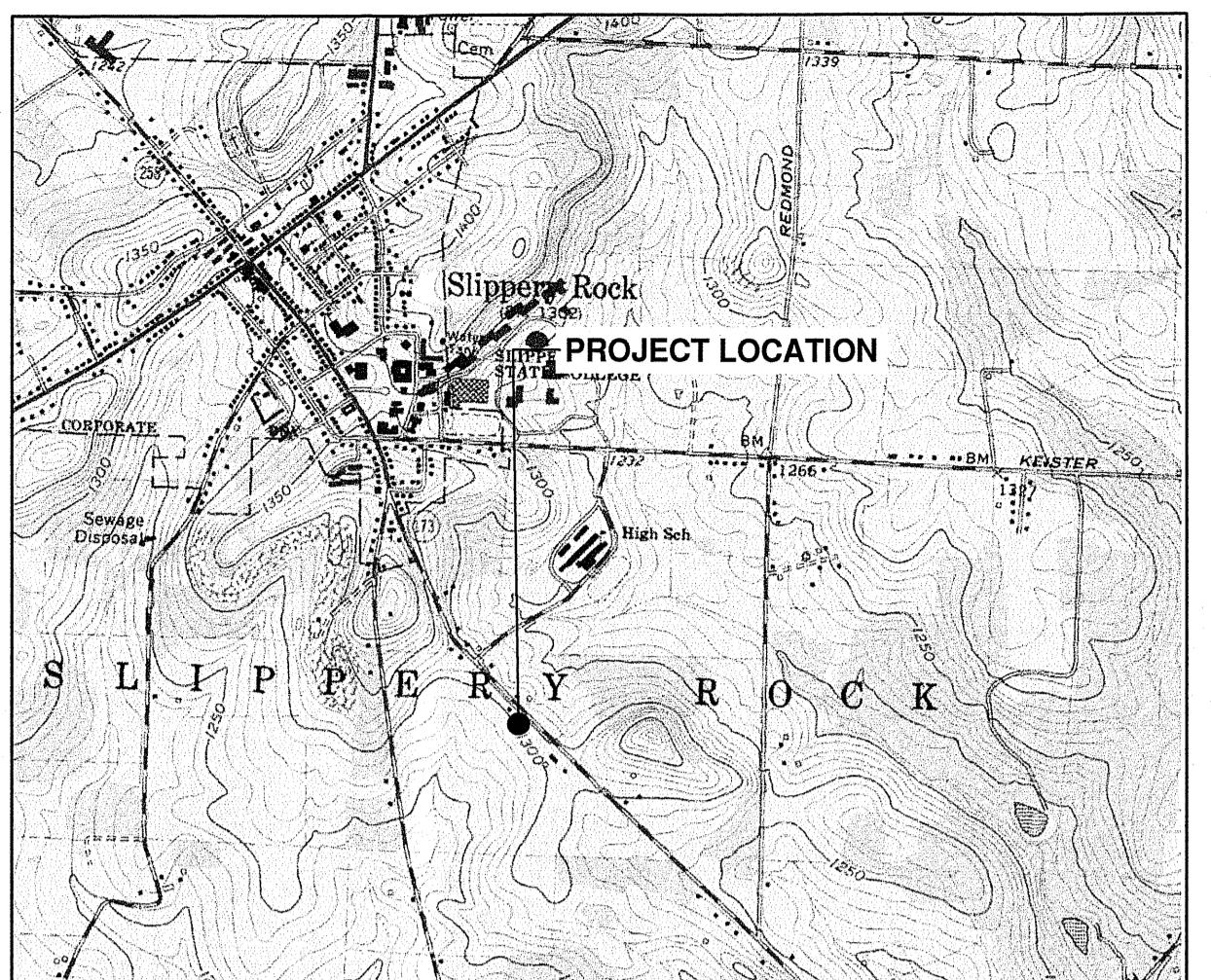
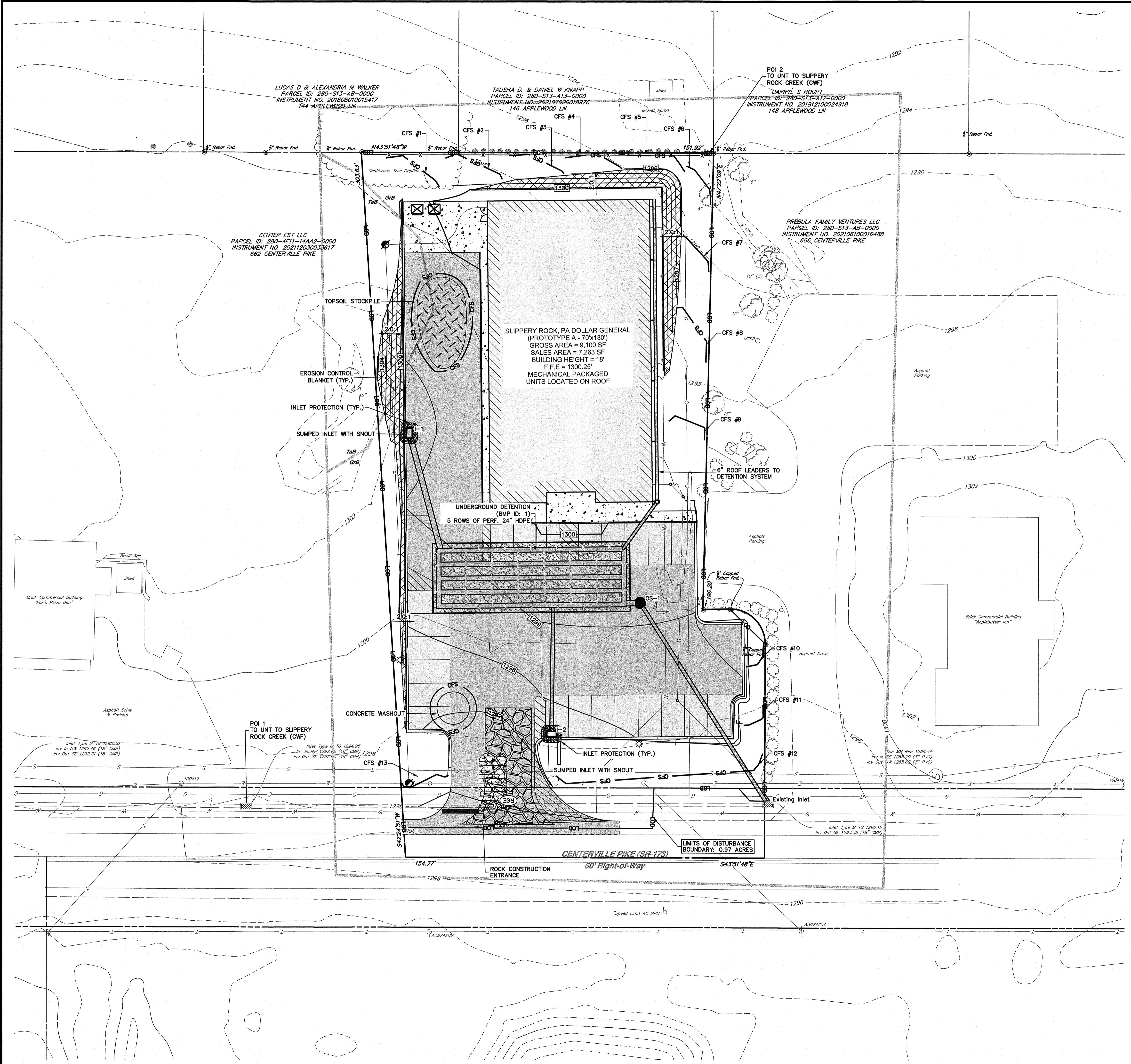


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PROJ. MANAGER: CRAIG A. BISHOP

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1	2024-11-20 REVISED FOR TOWNSHIP COMMENTS
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3	2025-02-27 LAND DEVELOPMENT PLANS FOR RECORDING
4	2025-02-05 SITE DETAILS

PLAN BOOK	PAGE
425	35
DT-1	10





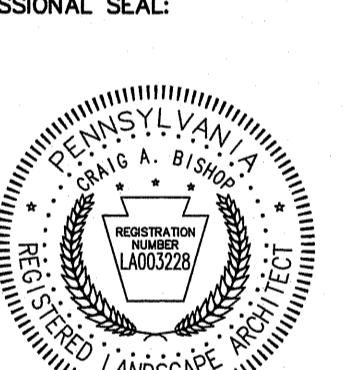
# LOCATION MAP

SCALE: 1"=2,000'  
IMAGE SOURCE: USGS SLIPPERY ROCK

## **EROSION & SEDIMENT CONTROL LEGEND**

1010	PROPOSED CONTOUR
X 410.00	PROPOSED SPOT ELEVATION
	ROCK CONSTRUCTION ENTRANCE
<u>CFS</u>	COMPOST FILTER SOCK
	INLET PROTECTION
	EROSION CONTROL BLANKET
<u>LOD</u>	LIMIT OF DISTURBANCE
	PROPOSED STORM SEWER & INLET
<i>CeA</i> <i>ErB</i>	<i>Soil Boundaries</i>
— 540 —	<i>Existing Contour Major</i>
— — — — —	<i>Existing Contour Minor</i>

LIMIT OF DISTURBANCE:	0.97 AC
RECEIVING STREAM:	UNT TO SLIPPERY ROCK CREEK (CWF)



PROJECT NUMBER: R008385.0463  
IN DATE: SEPTEMBER 2024  
WING SCALE: AS SHOWN  
MANAGER: CRAIG A. BISHOP

J. MANAGER: CRAIG A. BISHOP

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

11. *Leucosia* (Leucosia) *leucosia* (Linnaeus)

NO.	DATE	DESCRIPTION
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5		
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8		
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# EROSION AND SEDIMENT CONTROL PLAN

1. *What is the relationship between the two concepts of the self?*

PLAN BOOK	PAGE
425	37

Graphic Scale

0' 10' 0' 20'

SCALE: 1" = 20'

ET: **ES-1** | **12**

**PURPOSE**

THIS PLAN WAS DESIGNED TO MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND EXISTING VEGETATION, MINIMIZE THE EXTEND AND DURATION OF EARTH DISTURBANCE, COMPACTION, AND GRADING, WHERE FEASIBLE. THIS PLAN UTILIZES OTHER MEASURES OR CONTROLS THAT PREVENT OR MINIMIZE GENERATION OF AN INCREASE IN STORMWATER RUNOFF. THE MAJORITY OF THE LAND CONSISTS OF EXISTING IMPERVIOUS. STORMWATER RUNOFF DURING CONSTRUCTION WILL BE MANAGED THROUGH THE USE OF INLET FILTER BAGS AND COMPOST FILTER SOCKS.

**GENERAL E&S POLLUTION CONTROL NOTES**

- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE TOWNSHIP OFFICIALS, THE E&S PLAN PREPARED, THE PCSM PLAN PREPARED, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE BUTLER CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE BUTLER CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAPS IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE BUTLER CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- VEHICLES AND EQUIPMENT MAY ONLY ENTER DIRECTLY OR EXIT DIRECTLY FROM THE ROCK CONSTRUCTION ENTRANCE.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELLED, OR SWEEPED INTO ANY ROADSIDE DITCH, STREAM SEWER, OR SURFACE WATER.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAge, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 8 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE, CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE BUTLER CONSERVATION DISTRICT OR THE DEPARTMENT.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE BUTLER CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE SOMERSET CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
- FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
- ALL CHANNELS SHALL BE KEPT FREE OF OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FILL, ROCKS, LEAVES, WOODY DEBRIS, ACCUMULATED SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIAL/WASTES.

29. ANY DAMAGE THAT OCCURS IN WHOLE OR IN PART AS A RESULT OF BASIN OR TRAP DISCHARGE SHALL BE IMMEDIATELY REPAIRED BY THE PERMITTEE IN A PERMANENT MANNER SATISFACTORY TO THE MUNICIPALITY, LOCAL CONSERVATION DISTRICT, AND THE OWNER OF THE DAMAGED PROPERTY.

30. FILL MATERIAL FOR EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN ACCORDANCE WITH THE LATEST EDITION OF PENNDOT SPECIFICATIONS, PUB. 408, SECTION 206. EMBANKMENTS.

31. THE EROSION AND SEDIMENT POLLUTION CONTROL PLAN AND PLAN NARRATIVE ARE FOR THE INSTALLATION, MAINTENANCE AND MEASURES TO CONTROL EROSION AND SEDIMENT POLLUTION ONLY. REFER TO APPROPRIATE PLAN SHEETS FOR ALL UTILITY, STORMWATER, SITE IMPROVEMENT AND OTHER CONSTRUCTION INFORMATION.

32. UPON PERMANENT STABILIZATION OF THE EARTH DISTURBANCE ACTIVITY UNDER § 102.22(A)(2) (RELATING TO PERMANENT STABILIZATION), AND INSTALLATION OF BMPs IN ACCORDANCE WITH AN APPROVED PLAN PREPARED AND IMPLEMENTED IN ACCORDANCE WITH §102.4 AND §102.8 (RELATING TO EROSION AND SEDIMENT CONTROL REQUIREMENTS; AND PCSM REQUIREMENTS), THE PERMITTEE OR CO-PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE DEPARTMENT OR CONSERVATION DISTRICT. THE NOTICE OF TERMINATION MUST INCLUDE THE FACILITY NAME, ADDRESS AND LOCATION; THE OPERATOR NAME AND ADDRESS; THE PERMIT NUMBER; THE REASON FOR PERMIT TERMINATION; IDENTIFICATION OF THE PERSONS WHO HAVE AGREED TO AND WILL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPs IN ACCORDANCE WITH §102.6(M) AND PROOF OF COMPLIANCE WITH §102.6(M)(2). UNTIL THE PERMITTEE OR CO-PERMITTEE HAS RECEIVED WRITTEN APPROVAL OF A NOTICE OF TERMINATION, THE PERMITTEE OR CO-PERMITTEE WILL REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PERMIT TERMS AND CONDITIONS INCLUDING LONG-TERM OPERATION AND MAINTENANCE OF ALL PCSM BMPs ON THE PROJECT SITE AND IS RESPONSIBLE FOR VIOLATIONS OCCURRING ON THE PROJECT SITE. THE DEPARTMENT OR CONSERVATION DISTRICT WILL CONDUCT A FINAL INSPECTION AND APPROVE OR DENY THE NOTICE OF TERMINATION WITHIN 30 DAYS.

33. A LICENSED PROFESSIONAL OR A DESIGNEE SHALL BE PRESENT ONSITE AND BE RESPONSIBLE DURING CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN. THE CRITICAL STAGES MAY INCLUDE THE INSTALLATION OF UNDERGROUND TREATMENT OR STORAGE BMPs, STRUCTURALLY ENGINEERED BMPs, OR OTHER BMPs AS DEEMED APPROPRIATE BY THE DEPARTMENT OR THE CONSERVATION DISTRICT.

34. ALL PUMPING OF SEDIMENT-LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.

35. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ANY EXCESS MATERIAL AND MAKE SURE THE SITE(S) RECEIVING THE EXCESS HAS AN APPROVED AND FULLY IMPLEMENTED EROSION AND SEDIMENT CONTROL PLAN THAT MEETS THE CONDITIONS OF CHAPTER 102 AND/OR OTHER STATE OR FEDERAL REGULATIONS.

**RECYCLING AND DISPOSAL OF WASTES**

## ANTICIPATED WASTES

- DEMOLITION WASTES
- CONCRETE WASH WATER
- EXCESS BUILDING MATERIALS

1. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.

2. CONCRETE WASHOUTS MUST BE PROVIDED ON-SITE FOR CLEANING OF CHUTES, MIXERS, AND HOPPERS OF THE DELIVERY VEHICLES. TREES AND WOODY DEBRIS MAY BE HAULED OFF-SITE OR MAY BE SHREDDED INTO WOOD CHIPS AND USED AS MULCH TO AID IN STABILIZATION OF DISTURBED AREAS. AN ALTERNATIVE USE FOR WOOD CHIPS MAY BE USED TO CONSTRUCT WOOD CHIP BERMS IN LIEU OF COMPOST FILTER SOCKS. PLACEMENT AND CONSTRUCTION OF WOOD CHIP FILTER BERMS SHALL BE IN ACCORDANCE WITH THE CURRENT VERSION OF THE EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL.

**STABILIZATION NOTES**

1. UPON TEMPORARY CESSION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSION OF EARTH DISTURBANCE ACTIVITIES WILL EXCEED 4 DAYS, THE SITE SHALL BE IMMEDIATELY SEEDED, MULCHED, OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION PENDING FUTURE EARTH DISTURBANCE ACTIVITIES.

2. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

3. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN DRAWINGS IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SIDE SLOPES MUST BE 2:1 OR FLATTER.

4. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES, 6 TO 12 INCHES ON COMPACTED SOILS – PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 4 INCHES OF TOPSOIL.

5. TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETERIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION. COMPACTED SOILS SHOULD BE SCARIFIED 6 TO 12 INCHES ALONG CONTOUR WHENEVER POSSIBLE PRIOR TO SEEDING.

6. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE THE DISTURBED AREAS. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINAL GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.

7. AN EROSION CONTROL BLANKET WILL BE INSTALLED ON ALL DISTURBED SLOPES 3:1 OR STEEPER, ALL AREAS OF CONCENTRATED FLOWS, AND DISTURBED AREAS WITHIN 50' OF A SURFACE WATER.

9. SURFACE ROUGHENING, STAIR STEPPING, GROOVING, AND TRACKING SHALL BE INCORPORATED INTO THE GRADING TECHNIQUES.

A. SURFACE ROUGHENING IS THE PRACTICE OF PROVIDING A ROUGH SOIL SURFACE WITH HORIZONTAL DEPRESSIONS FOR THE PURPOSE OF REDUCING RUNOFF VELOCITY, INCREASING INFILTRATION, AIDING THE ESTABLISHMENT OF VEGETATION, AND REDUCING EROSION.

B. STAIR STEP GRADING MAY BE CONDUCTED ON SLOPES HAVING BEDROCK SOFT ENOUGH TO BE RIPPED BY A BULLDOZER. WHEREVER STAIR STEP GRADING IS USED THE SIZE OF THE HORIZONTAL CUT SHOULD EXCEED THAT OF THE VERTICAL CUT BY AT LEAST 10-INCHES. INDIVIDUAL VERTICAL CUTS SHOULD NOT EXCEED 30-INCHES IN SOFT MATERIALS OR 40-INCHES IN HARDER ROCK. THE HORIZONTAL CUT SHOULD BE GRADED TOWARD THE VERTICAL CUT.

C. GROOVING SLOPES CONSISTS OF USING MACHINERY TO CREATE DEPRESSIONS PARALLEL TO CONTOUR ALONG THE SLOPE. IN SOFTER MATERIALS AND ON SLOPES GENTLER THAN 3:1, THIS MAY BE DONE WITH DISCS, TILLERS, OR HARROWS; THE TEETH OF A FRONT END LOADER MAY BE USED FOR HARDER MATERIALS. GROOVES SHALL BE AT LEAST THREE-INCHES DEEP AND NOT MORE THAN 15-INCHES APART. GROOVING SHALL BE USED ON SLOPES GENTLER THAN 3:1.

D. TRACKING SLOPES SHALL BE DONE BY RUNNING TRACKED MACHINERY UP AND DOWN THE SLOPE, LEAVING TREAD MARKS PARALLEL TO THE CONTOUR. CARE SHALL BE EXERCISED ON SOILS HAVING A HIGH CLAY CONTENT TO AVOID OVER-COMPACITION.

**RECEIVING WATER COURSE**

STORMWATER FROM THE SITE FLOWS INTO UNT TO SLIPPERY ROCK CREEK, CLASSIFIED AS A CWF.

**CONSTRUCTION SEQUENCE**

1. FIELD-MARK THE LIMITS OF DISTURBANCE AND ESTABLISH SURVEY BENCHMARKS AND REFERENCE POINTS.

1.1. NO DISTURBANCE MAY OCCUR IN EXISTING WETLANDS ON SITE. TAKE NOTE OF EXISTING WETLANDS ONSITE AND TAKE NECESSARY PRECAUTIONS SO THAT WETLAND IS NOT DISTURBED.

2. INSTALL THE ROCK CONSTRUCTION ENTRANCE AS SHOWN ON PLANS NOTES:

A. NO CONSTRUCTION VEHICLES ARE PERMITTED TO LEAVE THE SITE OTHER THAN OVER THE ROCK CONSTRUCTION ENTRANCE.

3. INSTALL COMPOST FILTER SOCKS AS SHOWN ON PLANS.

4. BEGIN CLEARING AND GRUBBING THE SITE. PROPERLY DISPOSE OF ANY DEBRIS.

5. BEGIN ROUGH GRADING THE SITE. STABILIZE ANY AREAS THAT WILL REMAIN UN-DISTURBED FOR MORE THAN 4 DAYS ACCORDING TO THE TEMPORARY SEEDING SCHEDULE. ONCE BUILDING FOOTPRINT IS GRADED BUILDING CONSTRUCTION MAY BEGIN. STABILIZE IT IMMEDIATELY. ONCE BUILDING CONSTRUCTION IS NEAR COMPLETION, INSTALL THE LEVEL SPREADER AS SHOWN ON PLANS AND DETAILS, AND ROUTE ROOF LEADERS TO LEVEL SPREADER AS SHOWN ON PLANS.

6. BEGIN EXCAVATION AND INSTALLATION OF UNDERGROUND STORAGE DETENTION. INSTALL PERMANENT OUTLET STRUCTURE. THIS IS A CRITICAL STAGE OF CONSTRUCTION AND A LICENSED PROFESSIONAL SHALL BE NOTIFIED WHEN IT IS TO OCCUR.

9.1. DO NOT COMPACT IN-SITU SOILS DURING INSTALLATION OF UNDERGROUND DETENTION.

9.2. INSTALL AND ADJUST COMPOST FILTER SOCK AROUND UPGRADIENT PERIMETER OF BMP AS NEEDED TO PREVENT SEDIMENT-LADEN RUNOFF FROM ENTERING BMP

10. ONCE INSTALLATION OF UNDERGROUND DETENTION SYSTEM IS COMPLETE, ALL UPSTREAM STORMWATER CONVEYANCES MAY BE INSTALLED, WORKING DOWNSTREAM TO UPSTREAM.

10.1. INSTALL INLET PROTECTION ON INSTALLED INLETS IMMEDIATELY.

11. GRADE IN BUILDING FOOTPRINT. ONCE FOOTPRINT IS GRADED BUILDING CONSTRUCTION MAY BEGIN.

12. ONCE BUILDING CONSTRUCTION IS NEAR COMPLETION, INSTALL THE LEVEL SPREADER AS SHOWN ON PLANS AND DETAILS, AND ROUTE ROOF LEADERS TO LEVEL SPREADER AS SHOWN ON PLANS.

13. FINISH GRADE ON PROPOSED PAVED AREAS AND INSTALL SUBBASE AND BASE COURSE.

14. COMPLETE INSTALLATION OF ASPHALT SURFACES AND CONCRETE AS PER SPECIFIED DETAILS AND STRIPE ACCORDING TO PLANS.

15. FINISH SITE GRADING AND LANDSCAPING. ONCE FINAL GRADE IS REACHED, SPREAD TOPSOIL, SEED, AND MULCH. DURING ESTABLISHMENT OF PERMANENT GROUND COVER, RESEED AND RE-MULCH, ACCORDING TO THE SEEDING SCHEDULE ON THE PLANS. ANY AREAS THAT HAVE BECOME ERODED OR DO NOT PROPERLY ESTABLISH AS SHOWN ON THE PLANS.

16. UPON FINAL STABILIZATION (UNIFORM 70% PERENNIAL VEGETATIVE COVER OR PERMANENT ASPHALT COVER), REMOVE AND PROPERLY DISPOSE OF ALL SEDIMENT ACCUMULATED BEHIND COMPOST FILTER SOCKS AND INLET PROTECTION. REMOVE SITE E&S CONTROLS (ROCK ENTRANCE, CFS, AND INLET FILTER PROTECTION).

17. DO NOT ALLOW CONSTRUCTION VEHICLES TO ENTER GRAVEL FILL OR PIPES DURING OR AFTER CONSTRUCTION OF SUBSURFACE BED.

18. DO NOT ALLOW CONSTRUCTION VEHICLES TO ENTER GRAVEL FILL OR PIPES DURING OR AFTER CONSTRUCTION OF SUBSURFACE BED.

19. DO NOT ALLOW CONSTRUCTION VEHICLES TO ENTER GRAVEL FILL OR PIPES DURING OR AFTER CONSTRUCTION OF SUBSURFACE BED.

20. DO NOT ALLOW CONSTRUCTION VEHICLES TO ENTER GRAVEL FILL OR PIPES DURING OR AFTER CONSTRUCTION OF SUBSURFACE BED.

21. DO NOT ALLOW CONSTRUCTION VEHICLES TO ENTER GRAVEL FILL OR PIPES DURING OR AFTER CONSTRUCTION OF SUBSURFACE BED.

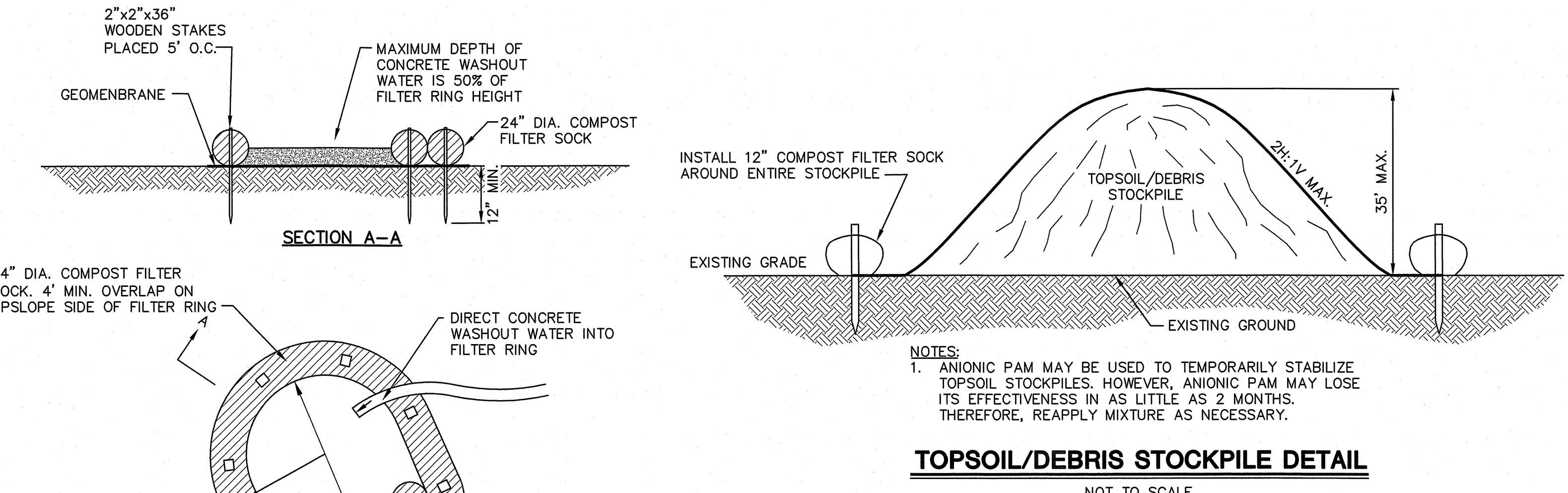
22. DO NOT ALLOW CONSTRUCTION VEHICLES TO ENTER GRAVEL FILL OR PIPES DURING OR AFTER CONSTRUCTION OF SUBSURFACE BED.

23. DO NOT ALLOW CONSTRUCTION VEHICLES TO ENTER GRAVEL FILL OR PIPES DURING OR AFTER CONSTRUCTION OF SUBSURFACE BED.

24. DO NOT ALLOW CONSTRUCTION VEHICLES TO ENTER GRAVEL FILL OR PIPES DURING OR AFTER CONSTRUCTION OF SUBSURFACE BED.

25. DO NOT ALLOW CON





### TOPSOIL/DEBRIS STOCKPILE DETAIL

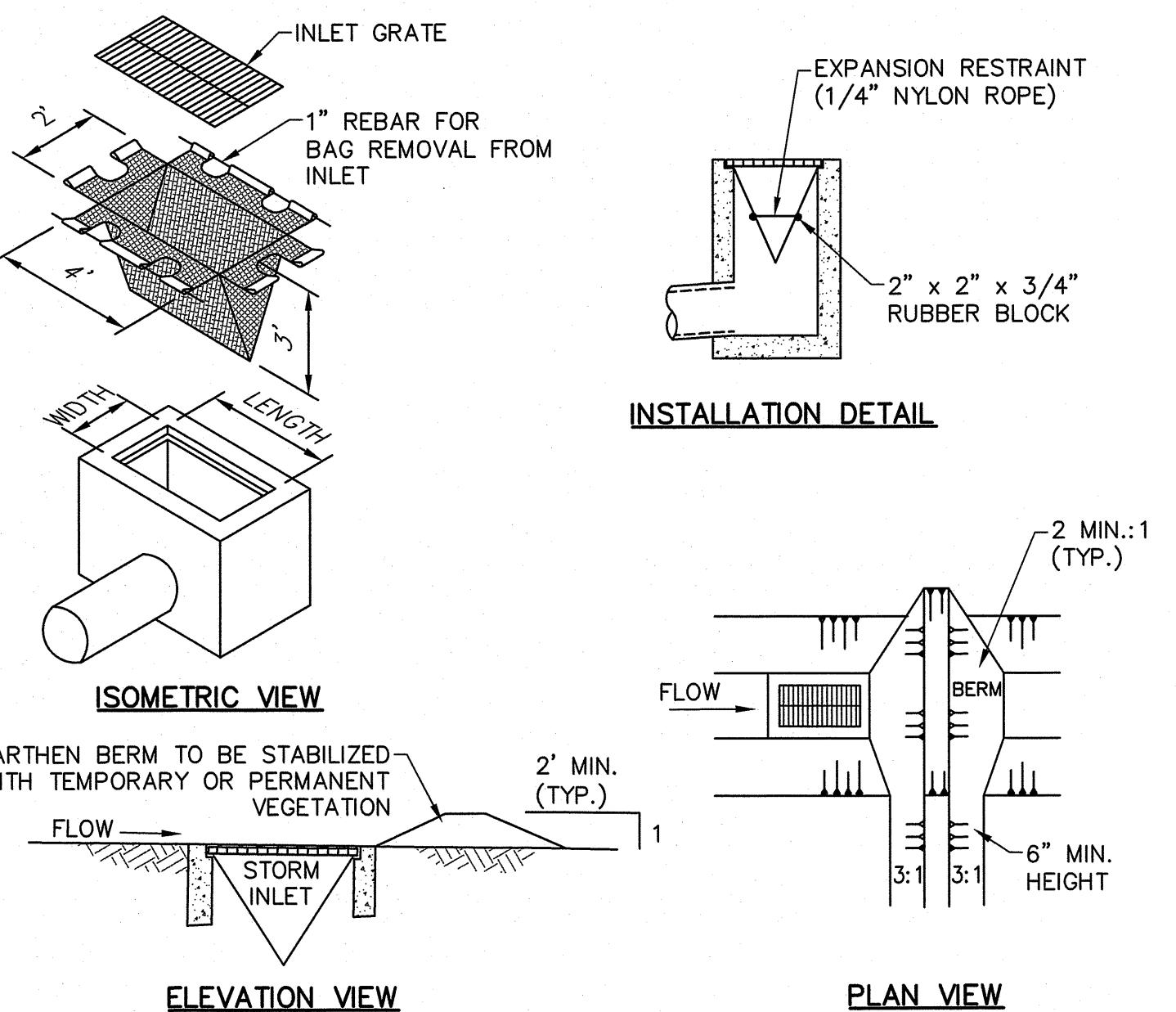
NOT TO SCALE

NOTES:

1. PROVIDE PROPER SIGNAGE FOR CONCRETE DELIVERY VEHICLE DRIVERS SO THAT THEY ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES.
2. WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50' OF STORM DRAINS, OPEN DITCHES, OR SURFACE WATERS. UNDER NO CIRCUMSTANCES SHOULD WASH WATER BE ALLOWED TO ENTER ANY SURFACE WATERS.
3. WHEREVER POSSIBLE, CONCRETE WASHOUTS SHOULD BE LOCATED ON SLOPES NOT EXCEEDING A 2% GRADE.
4. A SUITABLE IMPERVIOUS GEOMEMBRANE SHOULD BE PLACED AT THE LOCATION OF THE WASHOUT. COMPOST SOCKS SHOULD BE STAKED IN THE MANNER RECOMMENDED BY THE MANUFACTURER AROUND PERIMETER OF THE GEOMEMBRANE SO AS TO FORM A RING WITHIN THE ENDS OF THE SOCK LOCATED AT THE UPSLOPE CORNER. CARE MUST BE TAKEN TO ENSURE CONTINUOUS CONTACT OF THE SOCK WITH THE GEOMEMBRANE AT ALL LOCATIONS. WHERE NECESSARY, 18" SOCKS MAY BE STACKED ONTO 24" SOCKS AND STAKED SO AS TO FORM A TRIANGULAR CROSS SECTION.

### TYPICAL COMPOST SOCK WASHOUT INSTALLATION

NOT TO SCALE



NOTES:

1. MAXIMUM DRAINAGE AREA = 1/2 ACRE.
2. INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
3. ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.
4. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
5. INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON-SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.
6. DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

### STANDARD CONSTRUCTION DETAIL #4-16

#### FILTER BAG INLET PROTECTION - TYPE M INLET

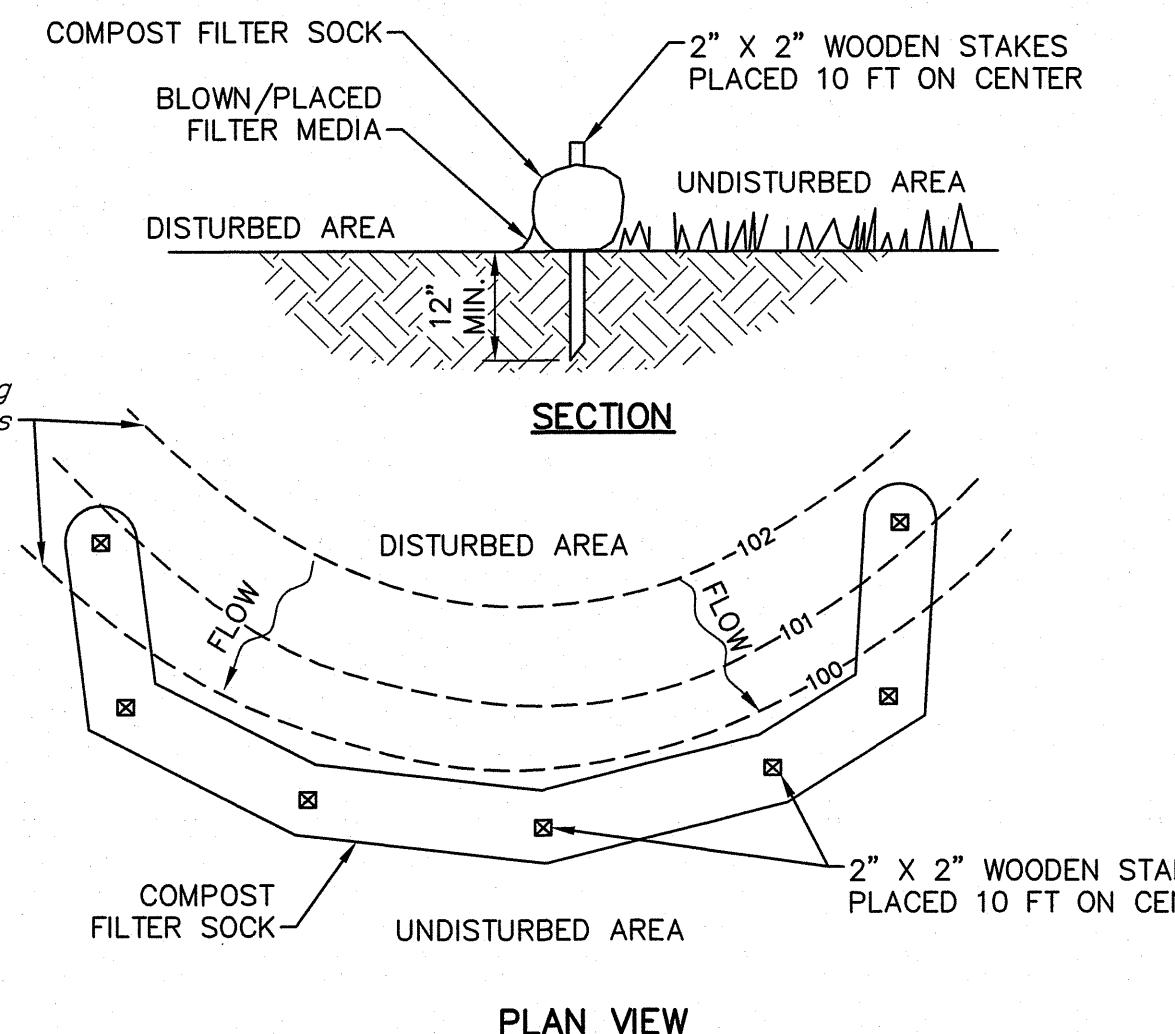
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### COMPOST FILTER SOCK SIZE TABLE

COMPOST FILTER SOCK NUMBER	SIZE (INCHES)
CFS-1	12
CFS-2	12
CFS-3	12
CFS-4	12
CFS-5	12
CFS-6	12
CFS-7	12
CFS-8	12
CFS-9	12
CFS-10	12
CFS-11	12
CFS-12	12
CFS-13	12

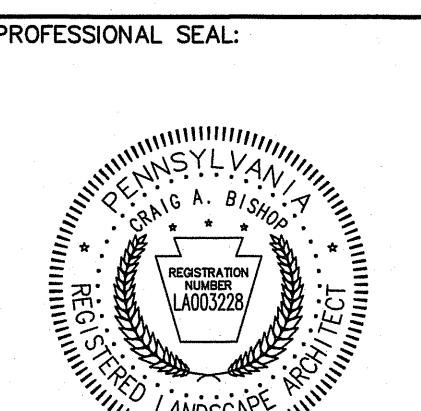
TABLE 4.1 COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS					
MATERIAL TYPE	3 MIL HDPE	5 MIL HDPE	5 MIL HDPE	MULTI-FILAMENT POLYPROPYLENE (MFPP)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (MFPP)
MATERIAL CHARACTERISTICS	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	BIO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE
SOCK DIAMETERS	12" 18" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	1/8"
TENSILE STRENGTH	—	26 PSI	26 PSI	44 PSI	202 PSI
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% @ 1000 HRS	23% @ 1000 HRS	—	100% @ 1000 HRS	100% @ 1000 HRS
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS
TWO-PLY SYSTEMS					
INNER CONTAINMENT NETTING		HDPE BIAXIAL NET CONTINUOUSLY WOUND FUSION-WELDED JUNCTURES 3/4" x 3/4" MAX. APERTURE SIZE			
OUTER FILTRATION MESH		COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER AND NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH) 3/16" MAX. APERTURE SIZE			
SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS.					

TABLE 4.2 COMPOST STANDARDS	
ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.5
MOISTURE CONTENT	30% - 60%
PARTICLE SIZE	30% - 50% PASS THROUGH 3/8" SIEVE
SOLUBLE SALT CONCENTRATION	5.0 dS/m (mmhos/cm) MAX.



### STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK

NOT TO SCALE



HRG PROJECT NUMBER: R008385.0463

PLAN DATE: SEPTEMBER 2024

DRAWING SCALE: AS SHOWN

PROJ. MANAGER: CRAIG A. BISHOP

REVISIONS	DESCRIPTION	DATE	COMMENTS
1	REVISED PER TOWNSHIP COMMENTS	2024-11-20	REVISED GRAVING AND INLET
2	REVISED SANITARY AND WATERLINE	2025-01-27	REVISED SANITARY AND WATERLINE
3	REVISED LAND DEVELOPMENT PLANS FOR RECORDING	2025-02-05	REVISED LAND DEVELOPMENT PLANS FOR RECORDING
4	REVISED LAND DEVELOPMENT PLANS FOR RECORDING	2025-02-05	REVISED LAND DEVELOPMENT PLANS FOR RECORDING
5			
6			
7			
8			

EROSION AND SEDIMENT CONTROL DETAILS	
PLAN BOOK	PAGE

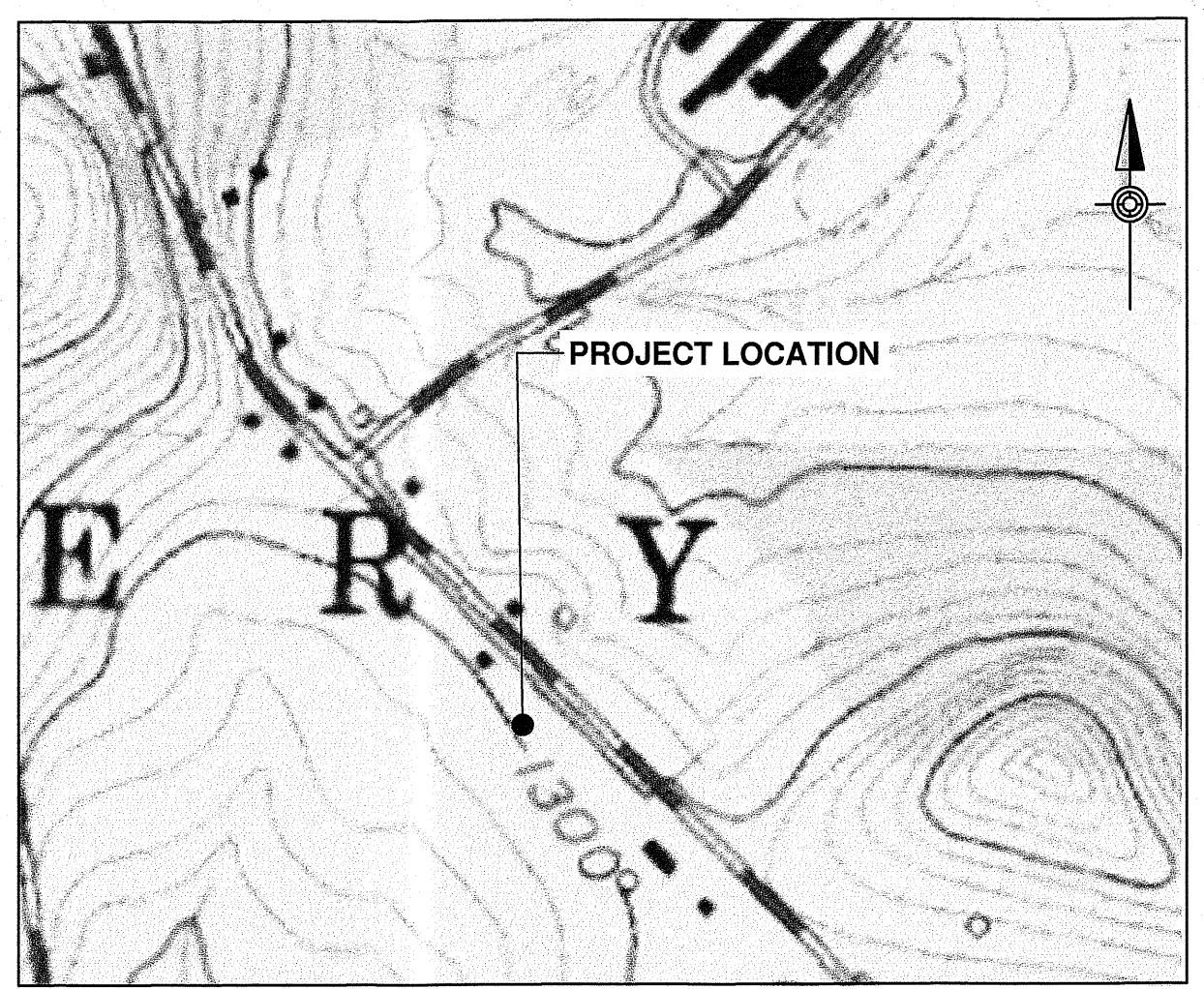
425 40

ESDT-2 15

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS  
FOR  
SLIPPERY ROCK #3 DOLLAR GENERAL

PTV 1416, LLC  
PITTSBURGH, PA 15225

SLIPPERY ROCK, BUTLER COUNTY, PENNSYLVANIA



LOCATION MAP

SCALE: 1" = 50' (H) 1" = 10' (V)

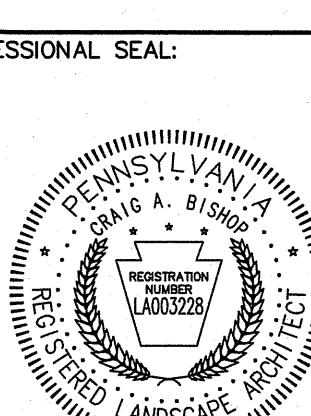
IMAGE SOURCE: USGS SLIPPERY ROCK

STORMWATER DEVELOPMENT LEGEND

PROPOSED EASEMENT
PROPOSED/REQUIRED RIGHT-OF-WAY LINE
PROPOSED CONTOUR
X 410.00 PROPOSED SPOT ELEVATION
PROPOSED STORM SEWER & INLET
PROPOSED SANITARY LINE
PROPOSED WATER LINE
NPDES NPDES BOUNDARY
LOD LIMIT OF DISTURBANCE
Cea Soil Boundaries
ErB Floodplain
540 Existing Contour Major
Existing Contour Minor
Existing Stream Line

NOTES:

1. THE MUNICIPALITY SHALL HAVE RIGHT OF ACCESS TO THE STORMWATER EASEMENTS FROM THE NEAREST RIGHT-OF-WAY TO ACCESS THE ON-SITE STORMWATER FACILITIES FOR THE RIGHT OF MAINTENANCE, MONITORING, AND/OR SAMPLING.
2. THE OPERATION AND MAINTENANCE (O&M) AGREEMENT IS PART OF THE STORMWATER SITE PLAN.
3. RECORD DRAWINGS TO BE PROVIDED TO THE TOWNSHIP FOR ALL STORMWATER FACILITIES PRIOR TO OCCUPANCY, OR THE RELEASE OF THE SURETY BOND.
4. ALL BUILDING ROOF LEADERS SHALL BE ROUTED TO THE UNDERGROUND DETENTION SYSTEM BMP ID 1.



PROFESSIONAL SEAL:  
HRG PROJECT NUMBER: R008385.0463  
PLAN DATE: SEPTEMBER 2024  
DRAWING SCALE: AS SHOWN  
PROJ. MANAGER: CRAIG A. BISHOP

LANDOWNER ACKNOWLEDGMENT

AS THE LANDOWNER, I ACKNOWLEDGE THAT THE STORMWATER BMPs ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY THE MUNICIPALITY.

SIGNATURE DATE

MUNICIPAL ENGINEER CERTIFICATION

I, HAVE REVIEWED THIS STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF THE SLIPPERY ROCK TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

MUNICIPAL ENGINEER SIGNATURE DATE

DESIGN PROFESSIONAL CERTIFICATION

I, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE SLIPPERY ROCK TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

REVISIONS	DESCRIPTION
1	2024.11.20 REVISED PER TOWNSHIP COMMENTS
2	2025.01.20 REVISED GRAVING AND INLET
3	2025.01.27 AND DEVELOPMENT PLANS FOR RECORDING
4	2025.02.05 LAND DEVELOPMENT PLANS FOR RECORDING

PCSM PLAN

PLAN BOOK PAGE  
425 41

GRAPHIC SCALE  
20' 10' 0' 20'  
SCALE: 1" = 20'

SHEET: PC-1 16

## PURPOSE OF PLAN

THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN HAS BEEN DEVELOPED WITHIN ESTABLISHED GUIDELINES AND STANDARDS TO PREVENT AN INCREASE IN THE RATE OF STORMWATER RUNOFF. THE PLAN WAS DEVELOPED TO MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION WHILE PRESERVING THE INTEGRITY OF STREAM CHANNELS AND PROTECT THE PHYSICAL, BIOLOGICAL, AND CHEMICAL QUALITIES OF THE RECEIVING STREAM. THE PLAN ALSO MINIMIZES THE INCREASE IN STORMWATER RUNOFF VOLUME, BY MINIMIZING LAND CLEARING, GRADING, SOIL COMPACTION AND IMPERVIOUS AREAS WHILE UTILIZING STRUCTURAL OR NONSTRUCTURAL BMP'S THAT PREVENT OR MINIMIZE CHANGES IN STORMWATER RUNOFF.

## CRITICAL STAGES OF CONSTRUCTION

LISTED BELOW ARE THE CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN FOR WHICH A LICENSED PROFESSIONAL OR DESIGNEE WILL BE PRESENT ON SITE TO OBSERVE CONSTRUCTION OR CERTIFY CONSTRUCTION:

### THE INSTALLATION OF:

#### UNDERGROUND DETENTION:

- OUTLET STRUCTURE AND OUTLET BARREL
- LEVEL SPREADER

## RECYCLING AND DISPOSAL OF WASTES

### ANTICIPATED WASTES:

- LITTER
- GRASS CLIPPINGS
- TRASH
- DEBRIS

ANY TRASH, DEBRIS, LITTER, OR LAWN CLIPPINGS COLLECTED DURING ROUTINE MAINTENANCE OF THE SITE MUST BE DISPOSED OF IN A REGULATED FACILITY.

## NOTICE OF TERMINATION

UPON PERMANENT STABILIZATION OF THE EARTH DISTURBANCE ACTIVITY UNDER § 102.22(A)(2) (RELATING TO PERMANENT STABILIZATION), AND INSTALLATION OF BMP'S IN ACCORDANCE WITH AN APPROVED PLAN PREPARED AND IMPLEMENTED IN ACCORDANCE WITH § 102.4 AND § 102.8 (RELATING TO EROSION AND SEDIMENT CONTROL REQUIREMENTS; AND PCSM REQUIREMENTS), THE PERMITTEE OR CO-PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE DEPARTMENT OR CONSERVATION DISTRICT. THE NOTICE OF TERMINATION MUST INCLUDE THE FACILITY NAME, ADDRESS AND LOCATION; THE OPERATOR NAME AND ADDRESS; THE PERMIT NUMBER; THE REASON FOR PERMIT TERMINATION; IDENTIFICATION OF THE PERSONS WHO HAVE AGREED TO AND WILL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP'S IN ACCORDANCE WITH § 102.8(M) AND PROOF OF COMPLIANCE WITH § 102.8(M)(2). UNTIL THE PERMITTEE OR CO-PERMITTEE HAS RECEIVED WRITTEN APPROVAL OF A NOTICE OF TERMINATION, THE PERMITTEE OR CO-PERMITTEE WILL REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PERMIT TERMS AND CONDITIONS INCLUDING LONG-TERM OPERATION AND MAINTENANCE OF ALL PCSM BMP'S ON THE PROJECT SITE AND IS RESPONSIBLE FOR VIOLATIONS OCCURRING ON THE PROJECT SITE. THE DEPARTMENT OR CONSERVATION DISTRICT WILL CONDUCT A FINAL INSPECTION AND APPROVE OR DENY THE NOTICE OF TERMINATION WITHIN 30 DAYS.

## POST-CONSTRUCTION BEST MANAGEMENT PRACTICES OWNERSHIP, OPERATIONS AND MAINTENANCE PROCEDURES

THE MAINTENANCE OF THE BMPS SHALL BE OWNED, MAINTAINED AND/OR REPAIRED BY THE PROPERTY OWNER, SAIPH XI, LLC, OR SUCCESSOR OWNERSHIP, OPERATION AND MAINTENANCE RESPONSIBILITY WILL BE OF THE PROPERTY OWNER. THESE RESPONSIBILITIES INCLUDE OPERATION AND MAINTENANCE OF BMPS, STORM SEWERS AND DRAINAGE STRUCTURES.

### GENERAL MAINTENANCE

1. ALL STORMWATER MANAGEMENT FACILITIES SHOWN ON THIS PLAN SHALL BE CONSTRUCTED BY THE DEVELOPER IN ACCORDANCE WITH THE DESIGN, CONDITIONS, AND SPECIFICATIONS IDENTIFIED ON THE PLANS. OWNERSHIP AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE LANDOWNER, HIS SUCCESSORS AND ASSIGNS, UNLESS SPECIFICALLY IDENTIFIED HEREIN.
2. STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN GOOD WORKING CONDITION SO THAT THEY ARE PERFORMING THEIR DESIGN FUNCTION, IN A MANNER ACCEPTABLE TO THE TOWNSHIP AND THE COUNTY CONSERVATION DISTRICT. MAINTENANCE SHALL INCLUDE PERFORMING ROUTINE MAINTENANCE AND REPAIR OR REPLACEMENT OF DAMAGED FACILITIES, VEGETATION OR STORMWATER AREAS TO CONDITIONS AS SHOWN ON THE APPROVED PLAN. THE TOWNSHIP AND COUNTY CONSERVATION DISTRICT MUST BE NOTIFIED PRIOR TO PERFORMING REPAIRS.
3. INSPECT STORMWATER CONVEYANCE FACILITIES (INLETS, STORM SEWERS AND OUTLET PROTECTION) BI-ANNUALLY OR AFTER EACH SIGNIFICANT RAINFALL-PRODUCING EVENT. CLEAR DEBRIS FROM INLETS TO ALLOW UN-IMPEDED FLOW, FLUSH STORM SEWERS IF THEY BECOME PLUGGED AND CLEAN AND REPAIR SWALES SHOULD THEY BECOME BLOCKED OR ERODED.

### SPECIFIC MAINTENANCE

#### UNDERGROUND DETENTION BED

- INLETS SHOULD BE INSPECTED AND CLEANED AT LEAST TWO (2) TIMES PER YEAR AND AFTER RUNOFF EVENTS.
- INSPECT THE STORAGE PIPES AND INLETS AFTER RUNOFF EVENTS AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 72 HOURS.
- ALSO INSPECT FOR ACCUMULATION OF TRASH OR SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, SIGNS OF WATER CONTAMINATION/SPILLS, AND INTEGRITY OF STORAGE PIPE.
- REMOVE ACCUMULATED TRASH AND OR SEDIMENT FROM THE UNDERGROUND STORAGE PIPE AS REQUIRED. PROPERLY DISPOSE OF SEDIMENT.

## RECOMMENDED STAGING OF MAJOR CONSTRUCTION ACTIVITIES

### GENERAL CONSTRUCTION SEQUENCE

1. AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LAND OWNER, REPRESENTATIVES FROM THE BUTLER COUNTY CONSERVATION DISTRICT [(724) 284-5270], THE E&S PLAN PREPARER, PCSM PLAN PREPARER, AND THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN TO AN ON-SITE PRE-CONSTRUCTION MEETING.
2. AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
3. CLEAR AND GRUB EXISTING VEGETATION AND STRIP TOPSOIL ONLY AS NEEDED AS WORK PROGRESSES. TOPSOIL RESERVED FOR SEEDED AREAS SHALL BE PLACED IN THE TEMPORARY TOPSOIL STOCKPILE LOCATIONS SHOWN ON THE PLAN. TOPSOIL NOT REQUIRED FOR SEEDED AREAS SHALL BE PERMANENTLY PLACED IN LANDSCAPE BERM'S OR REMOVED FROM THE SITE.
4. UPON CESSION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSION OF EARTH DISTURBANCE ACTIVITIES WILL EXCEED FOUR (4) DAYS, THE SITE SHALL BE IMMEDIATELY SEEDED, MULCHED, OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION PENDING FUTURE EARTH DISTURBANCE ACTIVITIES.
5. PLACE TOPSOIL FOR ALL AREAS NEARING FINAL GRADE AS CONSTRUCTION PROGRESSES. IMMEDIATELY STABILIZE WITH SEED AND MULCH OR EROSION CONTROL MATTING, AS REQUIRED, FOR ALL AREAS REACHING FINAL GRADE.
6. PROVIDE A CONCRETE WASHOUT FACILITY FOR THE CLEANING OF CHUTES, MIXERS, AND HOPPERS OF DELIVERY VEHICLES UNLESS SUCH A FACILITY WILL BE USED AT THE SOURCE OF THE CONCRETE. UNDER NO CIRCUMSTANCES MAY WASH WATER FROM THESE VEHICLES BE ALLOWED TO ENTER ANY SURFACE WATERS. WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES, OR SURFACE WATERS. PROVIDE PROPER SIGNAGE SO THAT DRIVERS ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES.
7. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. ANY DEVIATION FROM THE FOLLOWING SEQUENCE MUST BE APPROVED IN WRITING FROM THE BUTLER COUNTY CONSERVATION DISTRICT.
8. AS CONSTRUCTION PROGRESSES, CONTRACTOR IS RESPONSIBLE FOR MAINTAINING DRAINAGE TO E&S BMPS.

## CONSTRUCTION SEQUENCE

1. FIELD-MARK THE LIMITS OF DISTURBANCE AND ESTABLISH SURVEY BENCHMARKS AND REFERENCE POINTS.
2. NO DISTURBANCE MAY OCCUR IN EXISTING WETLANDS ON SITE. TAKE NOTE OF EXISTING WETLAND ONSITE AND TAKE NECESSARY PRECAUTIONS SO THAT WETLAND IS NOT DISTURBED.
3. INSTALL THE ROCK CONSTRUCTION ENTRANCE AS SHOWN ON PLANS
4. NO CONSTRUCTION VEHICLES ARE PERMITTED TO LEAVE THE SITE OTHER THAN OVER THE ROCK CONSTRUCTION ENTRANCE.
5. INSTALL COMPOST FILTER SOCKS AS SHOWN ON PLANS.
6. BEGIN CLEARING AND GRUBBING THE SITE. PROPERLY DISPOSE OF ANY DEBRIS.
7. BEGIN ROUGH GRADING THE SITE. STABILIZE ANY AREAS THAT WILL REMAIN UN-DISTURBED FOR MORE THAN 4 DAYS ACCORDING TO THE TEMPORARY SEEDING SCHEDULE. ONCE AN AREA HAS REACHED FINAL GRADE, STABILIZE IT IMMEDIATELY. ONCE BUILDING FOOTPRINT IS GRADED BUILDING CONSTRUCTION MAY BEGIN. NO MORE THAN 15,000 S.F. OF DISTURBED AREA CAN REACH FINAL GRADE PRIOR TO INITIATING SEEDING AND MULCHING OPERATIONS.

### NOTES:

- A. THE CONTRACTOR SHALL SEED AND MULCH THE TOPSOIL STOCKPILE IMMEDIATELY UPON ESTABLISHMENT.
- B. UPON REACHING FINAL GRADE, SPREAD TOPSOIL, SEED, MULCH, AND INSTALL EROSION CONTROL BLANKET ON ALL SLOPES THAT ARE GREATER THAN OR EQUAL TO 3:1 UNLESS SPECIFICALLY INDICATED ON THE PLAN.
7. INSTALLATION OF SITE UTILITIES: GAS, SANITARY, WATER AND ELECTRIC, MAY BEGIN.
8. ONCE READY TO BEGIN EXCAVATION FOR UNDERGROUND DETENTION (BMP ID: 1), INSTALL COMPOST FILTER SOCK AROUND PERIMETER OF BMP TO PROTECT FROM SEDIMENT LADEN RUNOFF, ADJUST AS NEEDED.
9. BEGIN EXCAVATION AND INSTALLATION OF UNDERGROUND STORAGE DETENTION. INSTALL PERMANENT OUTLET STRUCTURE. THIS IS A CRITICAL STAGE OF CONSTRUCTION AND A LICENSED PROFESSIONAL SHALL BE NOTIFIED WHEN IT IS TO OCCUR.

- 9.1 DO NOT COMPACT IN-SITU SOILS DURING INSTALLATION OF UNDERGROUND DETENTION.
- 9.2 INSTALL AND ADJUST COMPOST FILTER SOCK ALONG UPGRADE PERIMETER OF BMP AS NEEDED TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING BMP
10. ONCE INSTALLATION OF UNDERGROUND DETENTION SYSTEM IS COMPLETE, ALL UPSTREAM STORMWATER CONVEYANCES MAY BE INSTALLED, WORKING DOWNSTREAM TO UPSTREAM.
- 10.1. INSTALL INLET PROTECTION ON INSTALLED INLETS IMMEDIATELY.
11. GRADE IN BUILDING FOOTPRINT. ONCE FOOTPRINT IS GRADED BUILDING CONSTRUCTION MAY BEGIN.
12. ONCE BUILDING CONSTRUCTION IS NEAR COMPLETION, INSTALL THE LEVEL SPREADER AS SHOWN ON PLANS AND DETAILS, AND ROUTE ROOF LEADERS TO LEVEL SPREADER AS SHOWN ON PLANS.
13. FINISH GRADE ON PROPOSED PAVED AREAS AND INSTALL SUBBASE AND BASE COURSE.
14. COMPLETE INSTALLATION OF ASPHALT SURFACES AND CONCRETE AS PER SPECIFIED DETAILS AND STRIPE ACCORDING TO PLANS.
15. FINISH SITE GRADING AND LANDSCAPING. ONCE FINAL GRADE IS REACHED, SPREAD TOPSOIL, SEED, AND MULCH. DURING ESTABLISHMENT OF PERMANENT GROUND COVER RESEED AND RE-MULCH, ACCORDING TO THE SEEDING SCHEDULE ON THE PLANS, ANY AREAS THAT HAVE BECOME ERODED OR DO NOT PROPERLY ESTABLISH AS SHOWN ON THE PLANS.
16. UPON FINAL STABILIZATION (UNIFORM 70% PERENNIAL VEGETATIVE COVER OR PERMANENT ASPHALT COVER), REMOVE AND PROPERLY DISPOSE OF ALL SEDIMENT ACCUMULATED BEHIND COMPOST FILTER SOCKS AND INLET PROTECTION. REMOVE SITE E&S CONTROLS (ROCK ENTRANCE, CFS, AND INLET FILTER PROTECTION).

## SEQUENCE FOR INDIVIDUAL BMP INSTALLATION

### UNDERGROUND DETENTION SYSTEM

1. INSTALL AND MAINTAIN PROPER EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
2. INSTALL OUTLET PIPE AND PERMANENT OUTLET STRUCTURE WITH LEVEL SPREADER AS SHOWN ON DETAILS.
3. EXCAVATE AND INSTALL GEOTEXTILE LINER, STONE, AND PIPE STORAGE CHAMBERS AS SHOWN ON DETAILS.
4. UPON FINAL STABILIZATION TEMPORARY EROSION CONTROLS MAY BE REMOVED AND NO SEDIMENT RUNOFF IS TO ENTER GRAVEL FILL OR PIPES DURING OR AFTER CONSTRUCTION OF SUBSURFACE BED.

## SOIL LIMITATION RESOLUTIONS

LIMITATION	RESOLUTION
CUTBANKS CAVE	CONDUCT TRENCHING OPERATIONS IN ACCORDANCE WITH OSHA TECHNICAL MANUAL FOR TRENCHING. STABILIZE BANKS IMMEDIATELY WITH SEED, MULCH, EROSION CONTROL MATS, BONDED FIBER MATRIX, OR A COMBINATION OF THESE AND/OR OTHER METHODS.
CORROSIVE TO CONCRETE OR STEEL	PROTECT CONCRETE AND STEEL WITH PROTECTIVE COATINGS, SELECT ALTERNATIVE MATERIALS IN LIEU OF CONCRETE OR STEEL, OR A COMBINATION OF THESE AND/OR OTHER METHODS.
DROUGHTY	SELECT VEGETATIVE SPECIES TOLERANT TO DRY CONDITIONS, IRRIGATE VEGETATED AREAS, OR IMPLEMENT COMBINATIONS OF THESE AND/OR OTHER METHODS.
EASILY ERODIBLE	PROVIDE TEMPORARY OR PERMANENT CHANNEL LINING, INCREASE CHANNEL GRADE, INCREASE CHANNEL WIDTH, SELECT VEGETATION WITH A GREATER RETARDANCE, SELECT PERMANENT LININGS OTHER THAN GRASSES, OR IMPLEMENTING COMBINATIONS OF THESE AND/OR OTHER METHODS.
DEPTH TO SATURATED ZONE, SEASONAL HIGH WATER TABLE, WETNESS & HYDRIC SOILS	SELECT VEGETATIVE SPECIES TOLERANT TO WET CONDITIONS, TILE VEGETATED AREAS, OR IMPLEMENT COMBINATIONS OF THESE AND/OR OTHER METHODS. UTILIZE PUMPED WATER FILTER BAGS TO Dewater DISTURBED AREAS DURING CONSTRUCTION.
LOW STRENGTH \ LANDSLIDE PRONE	LOCATE ROADWAYS TO OTHER SOIL TYPES, IMPORT OTHER SOILS FOR THESE ROADWAY CONSTRUCTION, OR IMPLEMENT A COMBINATION OF THESE AND/OR OTHER METHODS. FOR CUT/FILL SLOPES, REDUCE SLOPE, INSTALL EROSION CONTROL MATTING, OR IMPLEMENT A COMBINATION OF THESE AND/OR OTHER METHODS.
SLOW PERCOLATION	LOCATE INFILTRATION FACILITIES TO ANOTHER SOIL TYPE, RESTRICT CONSTRUCTION TRAFFIC AT THOSE LOCATIONS, TILL SOIL IN THOSE LOCATIONS, ADD SOIL AMENDMENTS SUCH AS COMPOST AT THOSE LOCATIONS.
PIPING	IMPORT OTHER SOIL FOR EMBANKMENTS OF SEDIMENT BASINS, SEDIMENT TRAPS, STORM WATER RETENTION BASINS AND STORM WATER DETENTION BASINS, LOCATE THOSE FACILITIES ON OTHER SOIL TYPES, LIMIT EMBANKMENT SLOPE STEEPNESS, OR IMPLEMENT COMBINATIONS OF THESE AND/OR OTHER METHODS.
POOR SOURCE OF TOPSOIL	IDENTIFY AND RESOLVE CHARACTERISTICS THAT RENDER THE SOIL TYPES POORLY SUITED AS TOPSOIL. PERFORM SOIL TESTS TO DETERMINE THE REQUIRED SOIL AMENDMENTS AND APPLICATION RATES. IDENTIFY SOILS ON-SITE THAT ARE ADEQUATE SOURCES OF TOPSOIL AND STOCKPILE THESE FOR USE DURING RESTORATION.
FROST ACTION	IMPORT OTHER SOIL FOR EMBANKMENTS OF SEDIMENT BASINS, SEDIMENT TRAPS, STORM WATER RETENTION BASINS AND STORM WATER DETENTION BASINS, LOCATE THOSE FACILITIES ON OTHER SOIL TYPES, DO NOT CONSTRUCT EMBANKMENTS DURING PERIODS PRONE TO FROST, OR IMPLEMENT COMBINATIONS OF THESE AND/OR OTHER METHODS.
SHRINK-SWELL	LOCATE FACILITIES THAT MAY BE SUSCEPTIBLE TO DAMAGE FROM SHRINK OR SWELLING TO ANOTHER SOIL TYPE, IMPORT OTHER SOILS FOR THESE FACILITIES, OR IMPLEMENT COMBINATION OF THESE AND/OR OTHER METHODS.

## SOIL LIMITATIONS

SOIL NAME	CUTBACK CAVE	CORROSIVE TO CONCRETE \ STEEL*	DROUGHTY	EASILY ERODIBLE	FLOODING	DEPTH TO SATURATED ZONE \ SEASONAL HIGH WATER TABLE HYDRIC\HYDRIC INCLUSIONS	LOW STRENGTH \ LANDSLIDE PRONE	SLOW PERCOLATION	POOR SOURCE OF TOPSOIL	PIPING	FROST ACTION	SHRINK-SWELL	POTENTIAL SINKHOLE	PONDING	WETNESS
GRESHAM	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
TITUSVILLE	X	C/S	X	X	X	X	X	X	X	X	X	X	X	X	X

## SOILS LEGEND

G-B- GRESHAM SILT LOAM, 3 TO 8 PERCENT SLOPES  
Te-B- TITUSVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES

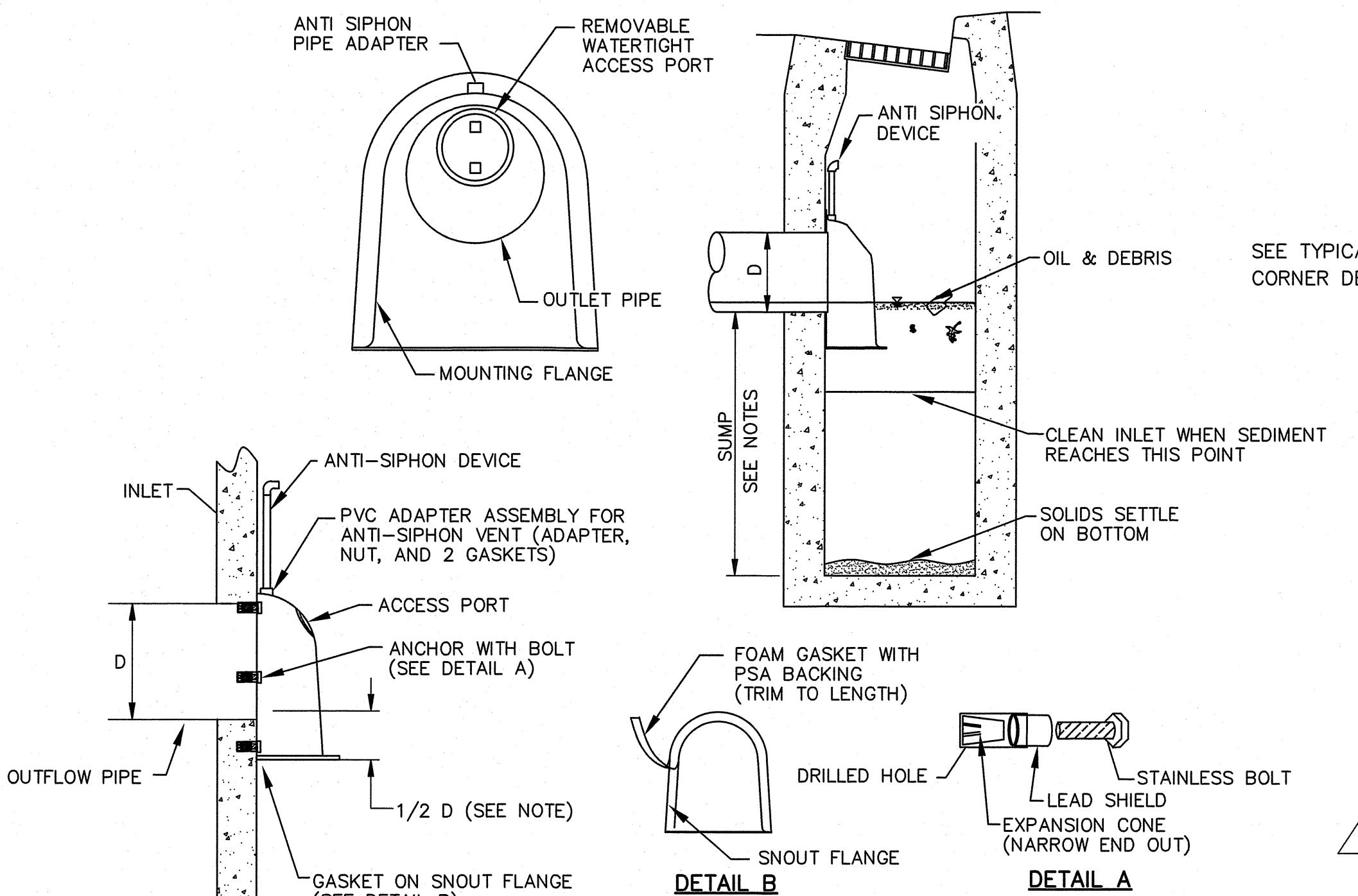
## SOILS LIMITATION NOTES

1. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
2. ALL FILLS SHALL BE COMPAKTED AS REQUIRED TO REDUCE EROSION, SLIPAGE, SETTLEMENT, SUBLIMATION OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPAKTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
3. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
4. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
5. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
6. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
7. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.

PLAN BOOK	PAGE
425	42

## SEEDING SCHEDULE

APPLICATION	TOPSOIL PLACEMENT DEPTH	SPECIES - %	SEEDING APPLICATION RATE (LBS./AC.)	FERTILIZER TYPE	FERTILIZER APPLICATION RATE (LBS./AC.)	LIMING RATE (TONS/AC.)	MULCH TYPE	MULCHING RATE (TONS/AC.)	SEEDING DATES
TEMPORARY									

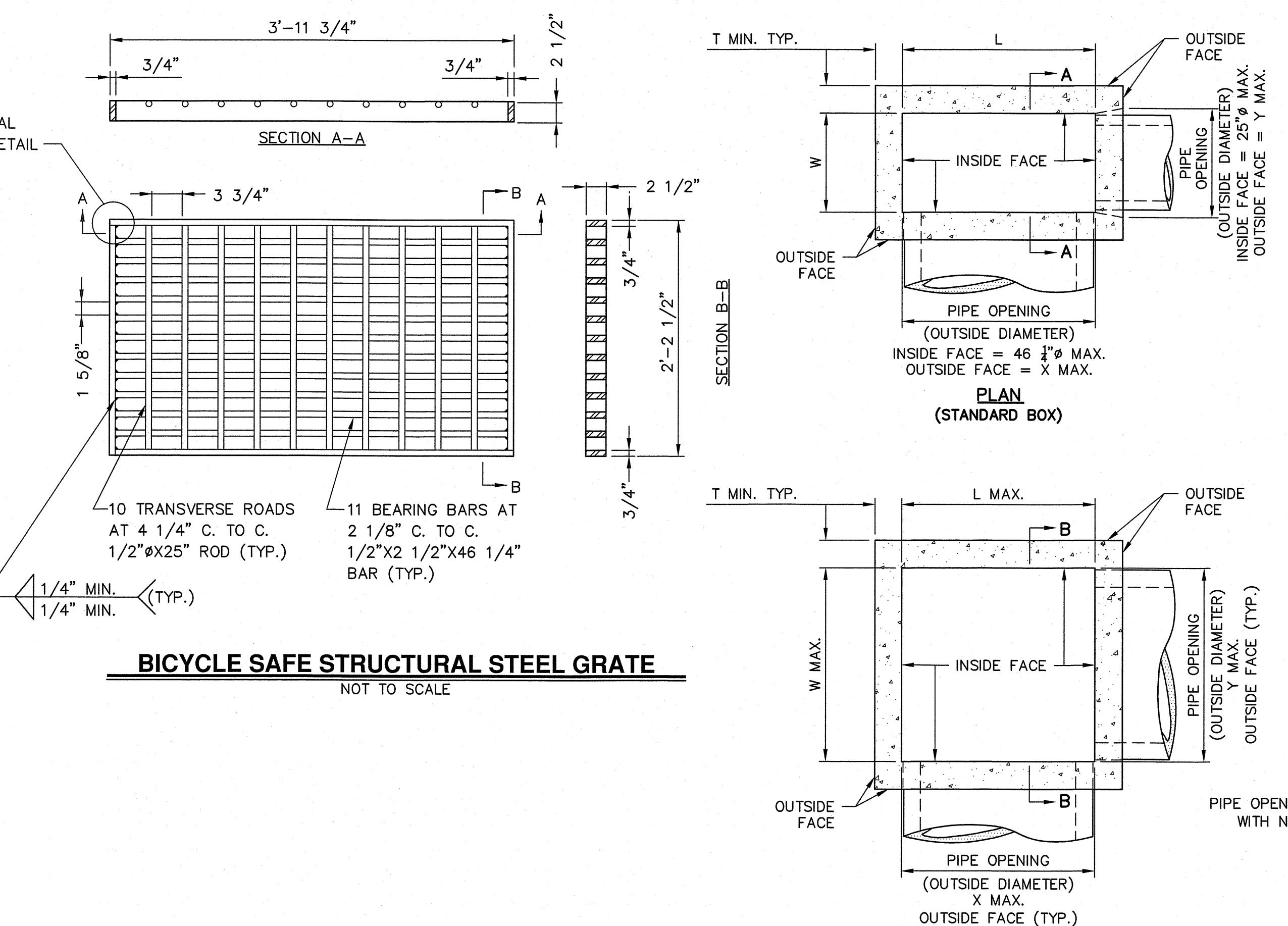


**NOTES:**

1. POSITION HOOD SO THAT BOTTOM FLANGE OF SNOUT IS 1/2 THE PIPE DIAMETER BELOW THE BOTTOM OF THE PIPE.
2. CONTACT MANUFACTURER FOR ADDITIONAL INSTALLATION DETAILS AND PRODUCT AVAILABILITY.
3. SUMP DEPTH OF 36" MIN. FOR  $\leq 12"$  DIA. OUTLET. FOR OUTLETS  $\geq 15"$ , DEPTH = 2.5 TIMES DIA.
4. PROVIDE A 1" DIAMETER WEEP HOLE ON THE BOTTOM OF ALL STRUCTURES WITH A SUMP.

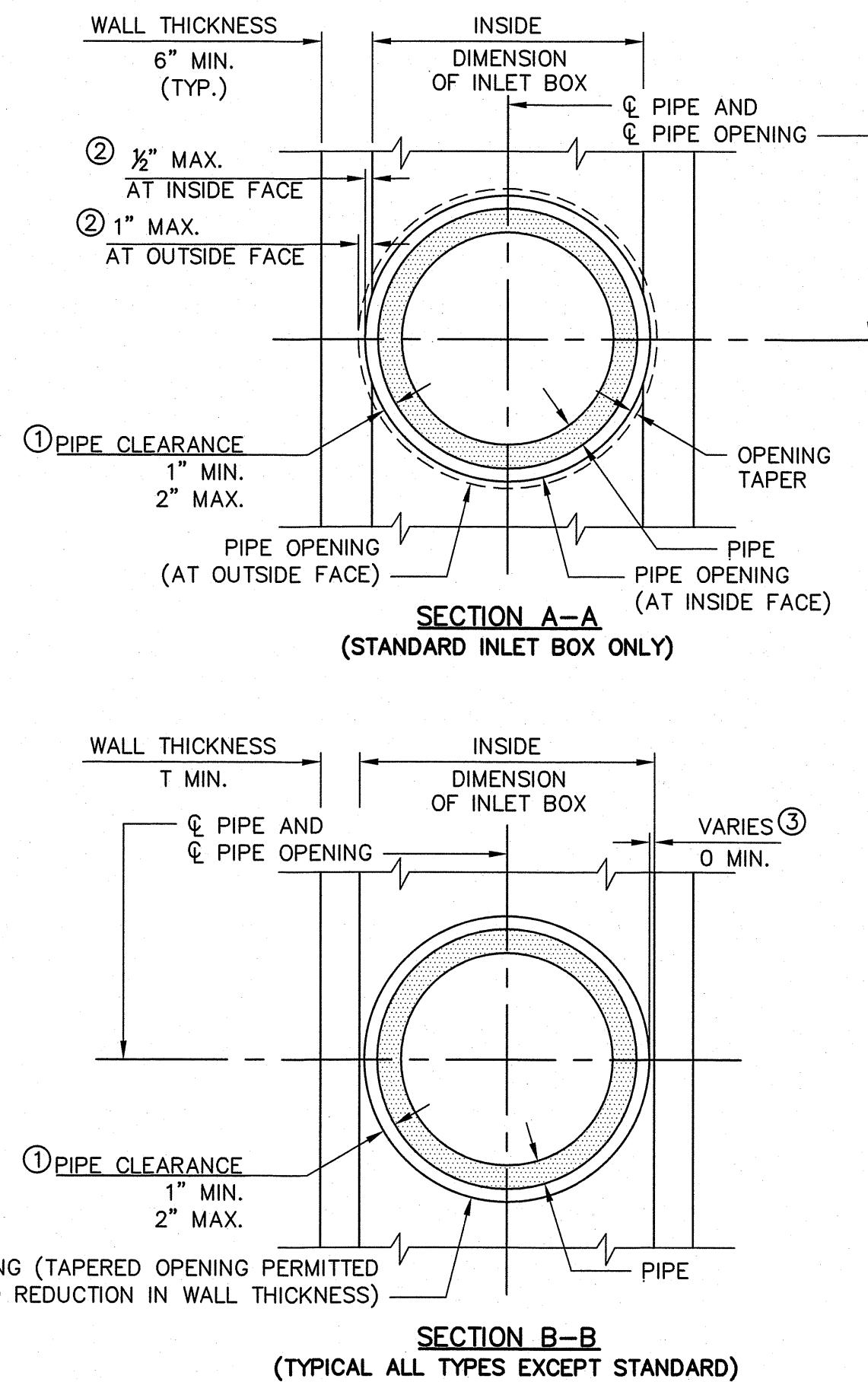
#### "SNOUT" OIL AND DEBRIS SEPARATOR

NOT TO SCALE



#### BICYCLE SAFE STRUCTURAL STEEL GRATE

NOT TO SCALE



#### LEGEND

- ① OUTSIDE DIAMETER OF PIPE TO PIPE OPENING
- ② REDUCTION IN WALL THICKNESS DIMENSION
- ③ INSIDE FACE OF BOX WALL TO OUTSIDE DIAMETER OF PIPE OPENING

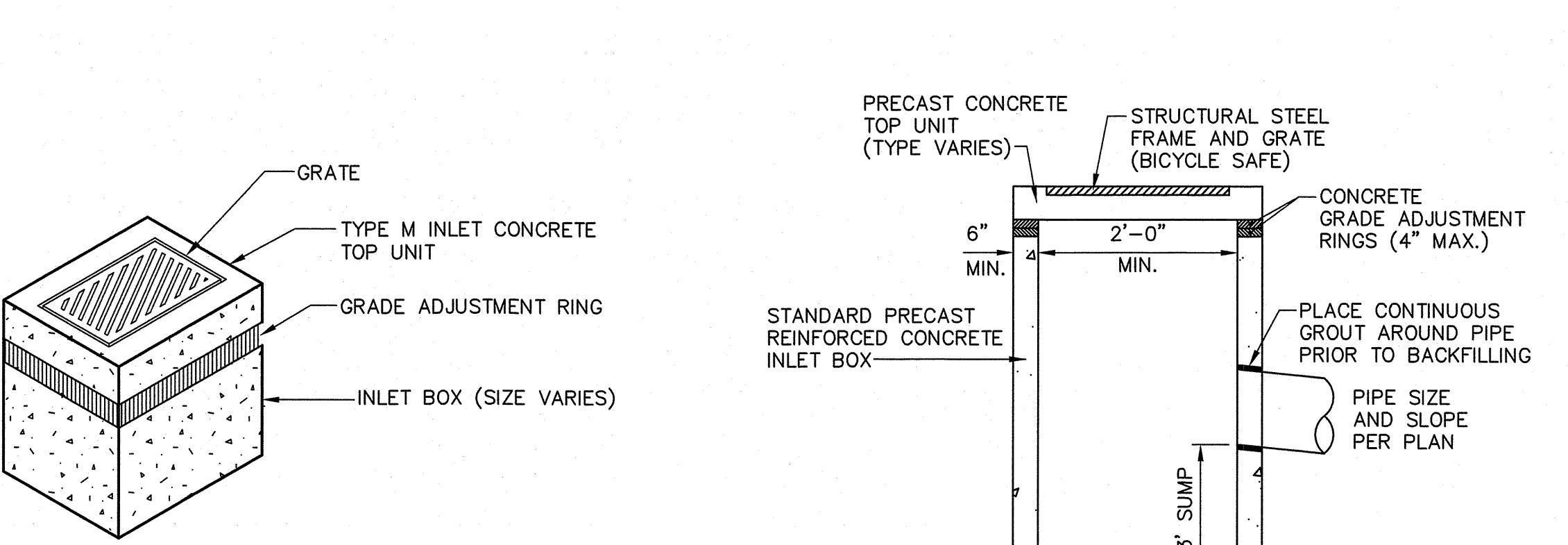
BOX TYPE	INSIDE BOX DIMENSIONS		WALL THICKNESS T	PIPE OPENING AT OUTSIDE FACE
	W	L		
STANDARD	2'-0"	3'-9 1/4"	6"	47 1/4"
				26"

#### NOTES

1. CONSTRUCT INLET BOXES IN ACCORDANCE WITH THE REQUIREMENTS OF PADOT PUB. 408, SECTION 714, AND PUB. 72M, RC-43M.
2. PERMIT ONLY PRECAST INLET BOXES SUPPLIED BY A MANUFACTURER LISTED IN PADOT BULLETIN 15. USE CLASS AA CEMENT CONCRETE FOR PRECAST BOXES.
3. SEE PADOT PUB. 72M, RC-43M FOR CONCRETE TOP UNITS, TRANSITION SLABS, RISER SECTIONS AND GRADE ADJUSTMENT RINGS.
4. PROVIDE 2" DIAMETER WEEPHOLES IN THE WALLS WHEN THE DEPTH BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF THE SLAB ELEVATION IS GREATER THAN (10'-0").
  - VERTICAL PLACEMENT: 5'-0" MAXIMUM SPACING
  - HORIZONTAL PLACEMENT: PLACE WEEPHOLES IN THE SIDE WALLS THAT ARE PERPENDICULAR TO TRAFFIC.
  - LOCATE WEEPHOLES A MINIMUM OF 6" FROM PIPE OPENING OR JOINTS.
  - LOCATE WEEPHOLES A MINIMUM OF 1'-0" ABOVE OUTLET PIPE INVERT.
5. LOCATE PIPE OR PIPES, AS INDICATED, WITH THE INLET BOTTOM SHAPED TO CHANNEL THE FLOW TOWARD THE OUTLET PIPE. WHEN PROJECT CONDITIONS REQUIRE PIPE BLOCKOUTS TO BE FORMED WITHIN 4' FROM THE TOP OF THE INLET BOX, PROVIDE AN ADDITIONAL #3 REINFORCEMENT BAR LOCATED 1 5/8" FROM THE TOP OF THE INLET BASE, FULL WIDTH ALONG THE INLET FACE. REMOVE ANY VISIBLE PORTION OF THE BAR, IF REQUIRED DURING INSTALLATION AND PRIOR TO JOINING THE PIPE TO THE INLET. IF REINFORCED CONCRETE PIPE IS USED, THE PIPE BLOCKOUT MAY BE FORMED 'FLUSH' WITH THE INLET BASE. LIMIT PIPE BLOCKOUT OF WALL TO 1".
6. PLACE SUBBASE MATERIAL MEETING THE REQUIREMENTS OF PADOT PUB. 408, SECTION 350.2, TO A DEPTH OF 12", IN LAYERS 4" THICK, COMPAKTED TO A DENSITY SATISFACTORY TO THE ENGINEER.
7. PROVIDE SUITABLE LIFTING DEVICES FOR HANDLING AND INSTALLATION. GALVANIZE METAL DEVICES AS SPECIFIED IN PADOT PUB. 408 SECTION 1105.
8. PROVIDE MANHOLE STEPS WHEN THE DEPTH BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF THE BOTTOM SLAB ELEVATION IS GREATER THAN 5'-0". SHALLOW RECESSES, ON THE INSIDE FACE OF THE INLET, NOT GREATER THAN 3/8" IN DEPTH, FORMED BY MAGNETIC STEP FORMERS ARE ACCEPTABLE AND DO NOT REQUIRE PATCHING. FOR DETAILS, REFER TO RC-39M.

#### PRECAST INLET BOXES

NOT TO SCALE

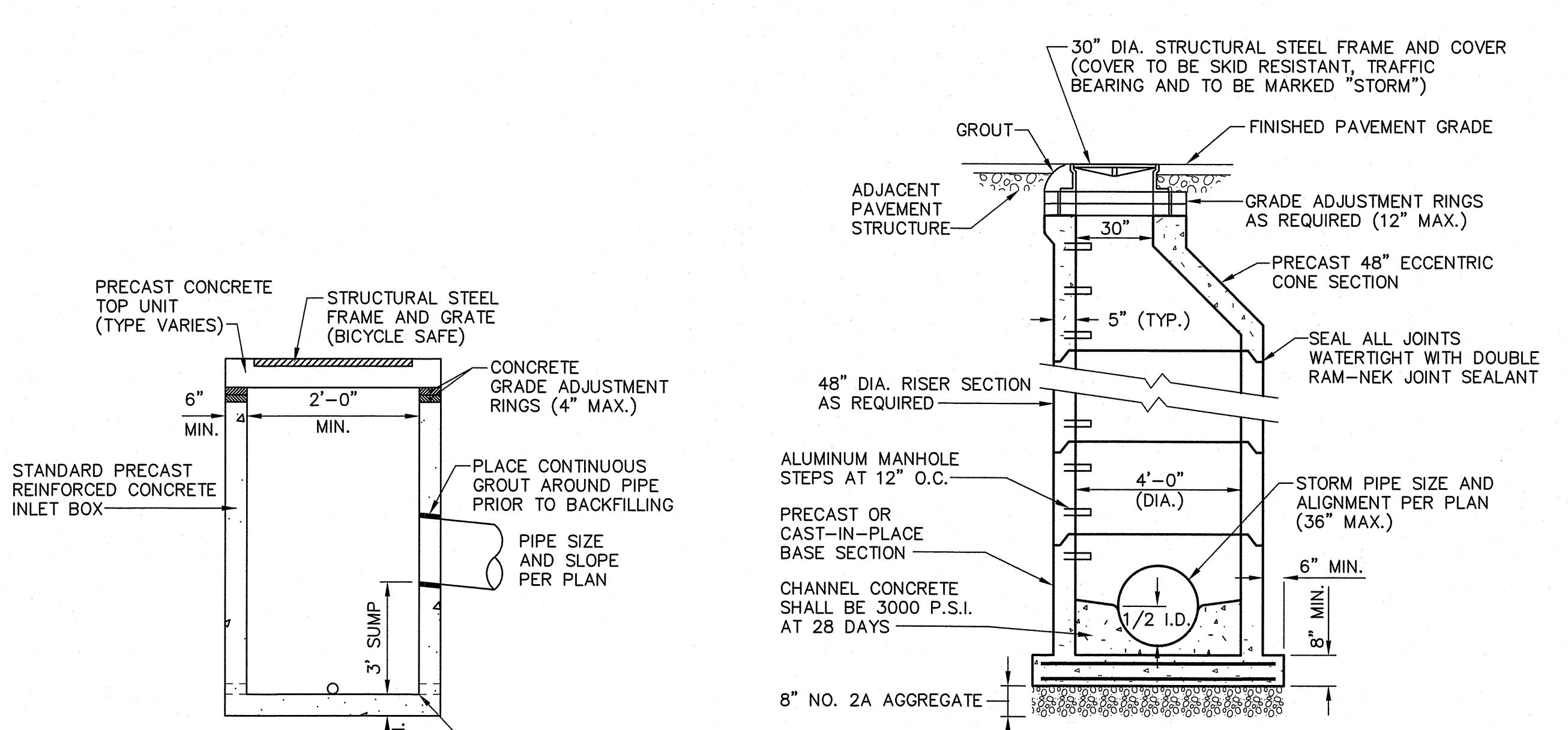


**NOTES:**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408, SECTION 605 AND STANDARDS FOR ROADWAY CONSTRUCTION, RC-46. CONTRACTOR SHALL VERIFY INLET BOX SIZING BASED ON PIPE SIZES AND ALIGNMENT PRIOR TO ORDERING PRECAST STRUCTURES.
2. ALL DRAINAGE STRUCTURES SHALL HAVE Poured-in-Place CONCRETE CHANNEL BOTTOMS.
3. NO PIPES SHALL ENTER INLET BOX AT CORNER.
4. ALL GRATES SHALL BE BICYCLE SAFE.

#### TYPE M INLET DETAIL

NOT TO SCALE



**NOTES:**

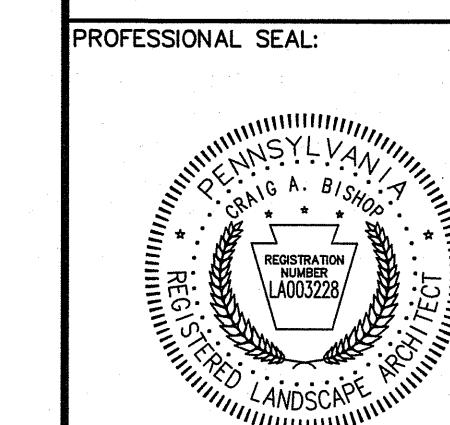
1. CONSTRUCT IN ACCORDANCE WITH PENNDOT PUBLICATION 408, CURRENT EDITION, AND PUB. 72M, STANDARDS FOR ROADWAY CONSTRUCTION DRAWING.
2. PROVIDE ALUMINUM STEPS IN INLETS OVER 5' DEEP.
3. REMOVE SEDIMENT WHEN DEPTH REACHES HALF OF THE SUMP DEPTH.
4. PROVIDE INLET SUMP FOR INLETS I-UG1.1, I-UG1.2, I-IB3.2, I-IB3.3, I-IB5.2, I-IB5.3 AND I-IB5.4.

#### INLET SUMP DETAIL

NOT TO SCALE

#### STORM SEWER MANHOLE

NOT TO SCALE



HRG PROJECT NUMBER: R008385.0463

PLAN DATE: SEPTEMBER 2024

DRAWING SCALE: AS SHOWN

PROJ. MANAGER: CRAIG A. BISHOP

REVISIONS	DESCRIPTION
NO.	DATE
1	2024.11.20 REVISED PER TOWNSHIP COMMENTS
2	2025.01.20 REVISED GRADING AND INLET
3	2025.01.27 REVISED SANITARY AND WATERLINE
4	2025.02.05 LAND DEVELOPMENT PLANS FOR RECORDING

SHEET TITLE: PCSM DETAILS

SHEET: PCDT-1

PAGE: 18

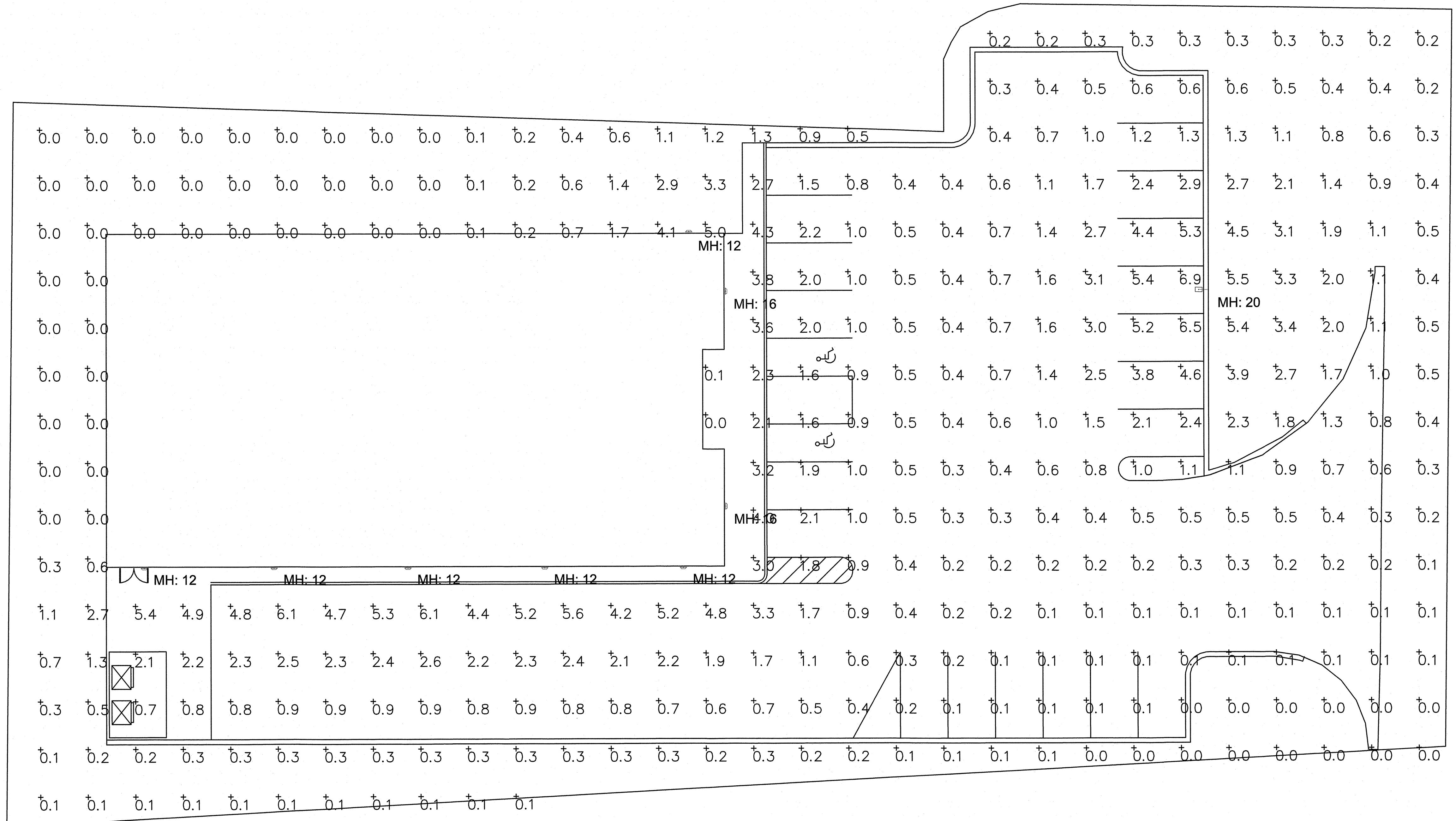
PLAN BOOK	PAGE
425	43
5	6
6	7
7	8
8	9





**HART**  
ARCHITECTS

**Dollar General**  
Store # 31173  
664 Centerville Pike  
Slippery Rock, PA 16057

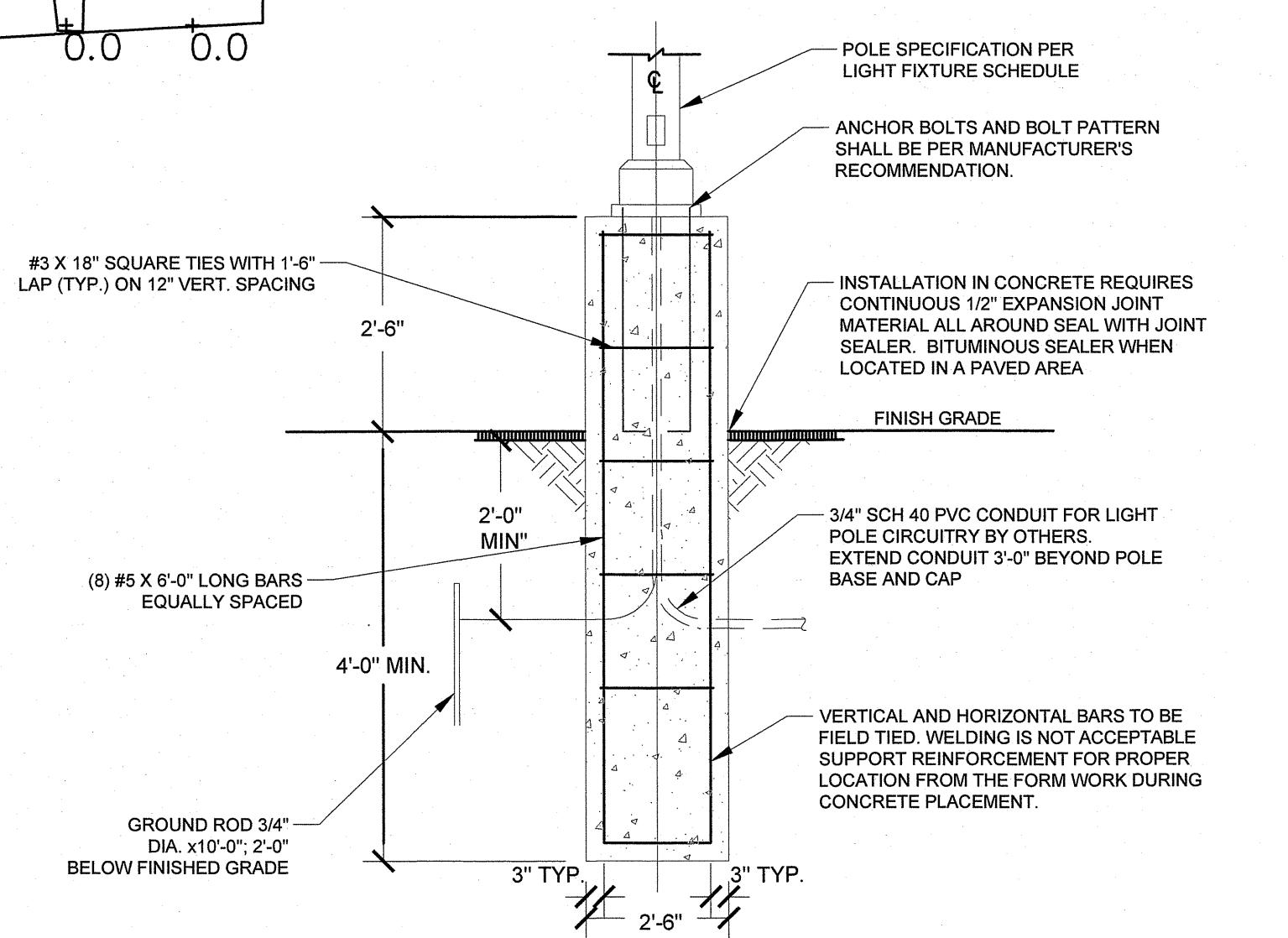


Calculation Summary @ GRADE - Calculation Points = 10'x10'						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground 1 Planar	Fc	1.09	6.9	0.0	N.A.	N.A.

Luminaire Schedule			Arrangement	LLF	Lum. Watts	Total Watts	Lum. Lumens	MH
8	WPR3-UNVL-30-4-50-BZ	Wall Pack   37.1W   4701 Lumens   5000K   Bronze	SINGLE	0.963	30	240	4616	12'/16'
1	RCALR-15-50-UNVL-1-5-10SP-Z5	Pole Single RCAL   147W   19456 Lumens   5000K   Bronze	SINGLE	0.963	147.5	147.5	19456	20'

PLAN NOTES:  
\* CALCULATIONS AT GRADE LEVEL.  
\* REFER TO LUMINAIRE LOCATION SUMMARY FOR MOUNTING HEIGHT OF WALL FIXTURES.  
\* POLE MOUNTED FIXTURES ON 16' POLE AND 2' BASE FOR AN OAH OF 18' AFF.

GENERAL NOTES:  
\* DUE TO CHANGING LIGHTING ORDINANCES IT IS THE CONTRACTOR'S RESPONSIBILITY TO SUBMIT THE SITE PHOTOMETRICS AND LUMINAIRE SPECS TO THE LOCAL INSPECTOR BEFORE ORDERING TO ENSURE THIS PLAN COMPLIES WITH LOCAL LIGHTING ORDINANCES.  
\* THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. CHANGES IN ELECTRICAL SUPPLY, AREA GEOMETRY AND OBJECTS WITHIN THE LIGHTED AREA MAY PRODUCE ILLUMINATION VALUES DIFFERENT FROM THE PREDICTED RESULTS SHOWN ON THIS LAYOUT.  
\* THIS LAYOUT IS BASED ON .IES FILES THAT WERE LAB TESTED OR COMPUTER GENERATED, ACTUAL RESULTS MAY VARY.  
\* STREETLIGHTS SHALL BE AUTOMATICALLY LIGHTED FROM DUSK TO DAWN.



Date  
10.30.2024  
Client  
PennTex Ventures

Project No.  
2410.031

Drawing Title  
Site Lighting

Sheet  
PH1.1

2 Site Lighting Pole Base Detail  
NTS

PLAN BOOK  
425  
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