

KNOW ALL MEN BY THESE PRESENTS That We, Paul J. & Peggy A. Shanor of the Township of Center, County of Butler and Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this as our plan of lots of our property, situate in the Township of Center, County of Butler and Commonwealth of Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever, for public use for highway purposes, all slope areas, drives, roads, streets, lanes and ways, and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in the consideration of the approval of said plan, and any future acceptance of said public highways by the Commonwealth of Pennsylvania, County of Butler and Township of Center, we hereby covenant and agree to and by these presents do release and forever discharge the Commonwealth of Pennsylvania, County of Butler and Township of Center, their successors and assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon the above named property owners, their heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, We hereunto set our hand and seal this 24 day of JANUARY 2025.

Paul J. Shanor
Owner

Peggy A. Shanor
Owner

COMMONWEALTH OF PENNSYLVANIA : SS
COUNTY OF BUTLER :

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally came Paul J. & Peggy A. Shanor and acknowledged the foregoing release and dedication and plan to be their act and deed and desired the same to be recorded as such.

WITNESS MY HAND AND NOTARIAL SEAL this 24 day of JANUARY 2025.

Debra L. DeLancy
Notary Public

Seal & Stamp

Commonwealth of Pennsylvania - Notary Seal
Debra L. DeLancy, Notary Public
Butler County
My commission expires February 17, 2027
Commission number 1152784
Member, Pennsylvania Association of Notaries

I, Stanley D. Graff, a Registered Professional Surveyor of the Commonwealth of Pennsylvania, do hereby certify, to the best of my knowledge, that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan correctly represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.

JANUARY 27, 2025
Date

Seal

P. L. S. # 30161-E

The Board of Supervisors of the Township of Center, hereby gives public notice that in approving this plan for recording purposes only, the Township of Center assumes no obligations, legal or otherwise, expressed or implied either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

Approved by the Supervisors of the Township of Center this 26th day of February 2025.

Mark R. Mary
Secretary

Seal

Chairman

Approved by the Center Township Planning Commission this 22nd day of January 2025.

Michelle A. Cugich
Secretary

Chairman

Reviewed by the Butler County Planning Commission this 17th day of FEB 2025.

R. J. Kinsch
Secretary

Chairman

COMMONWEALTH OF PENNSYLVANIA : SS
COUNTY OF BUTLER :

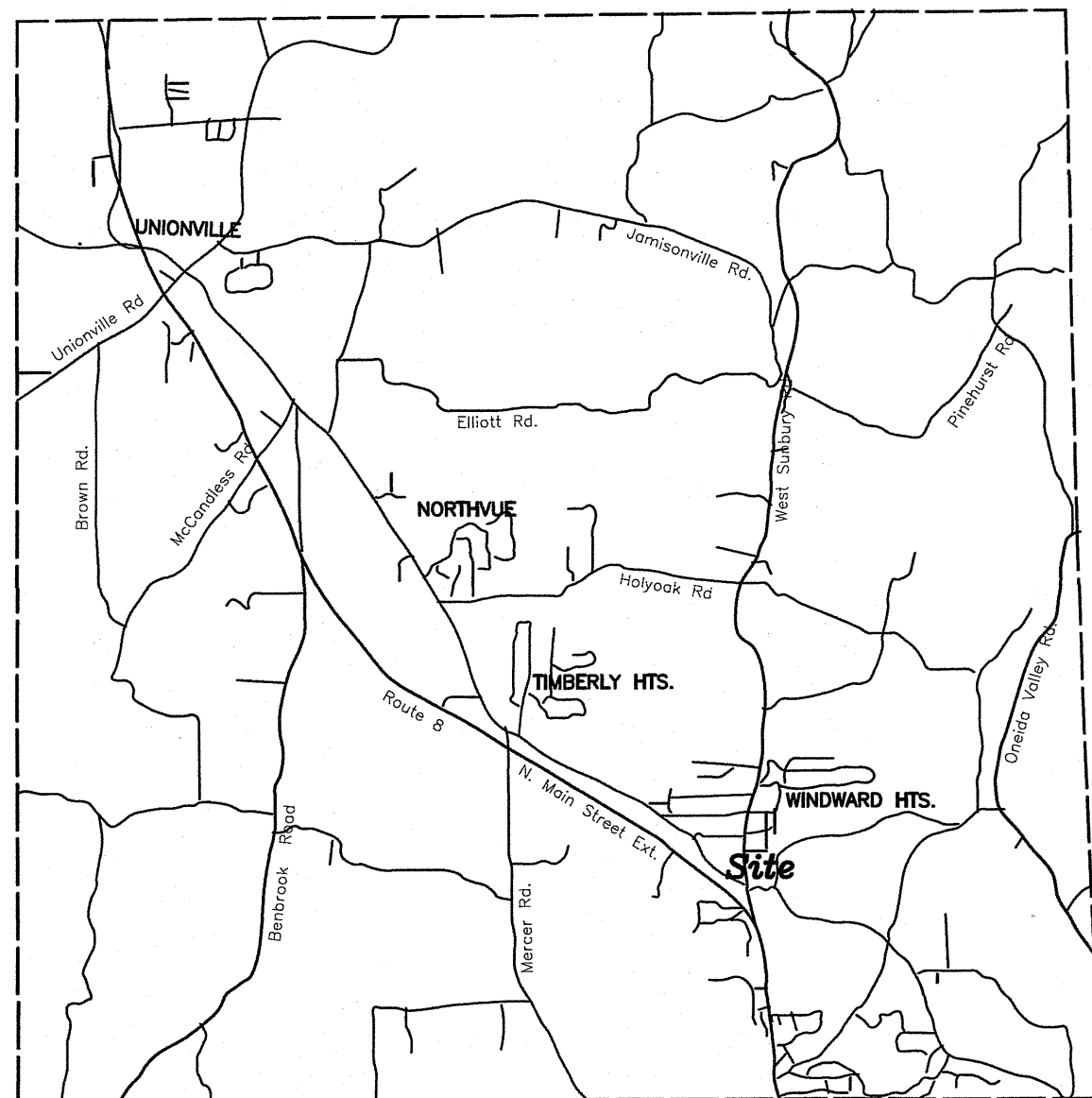
Recorded in the Recorder's Office for the recording of deeds, plans, etc., in said County in Plan Book Volume 425 Page 1

Given under my hand and seal this 25th day of FEBRUARY 2025.

Michele M. Mustello
Recorder

MICHELE M. MUSTELLO
RECORDER OF DEEDS

My Commission Expires First Monday in January 2028



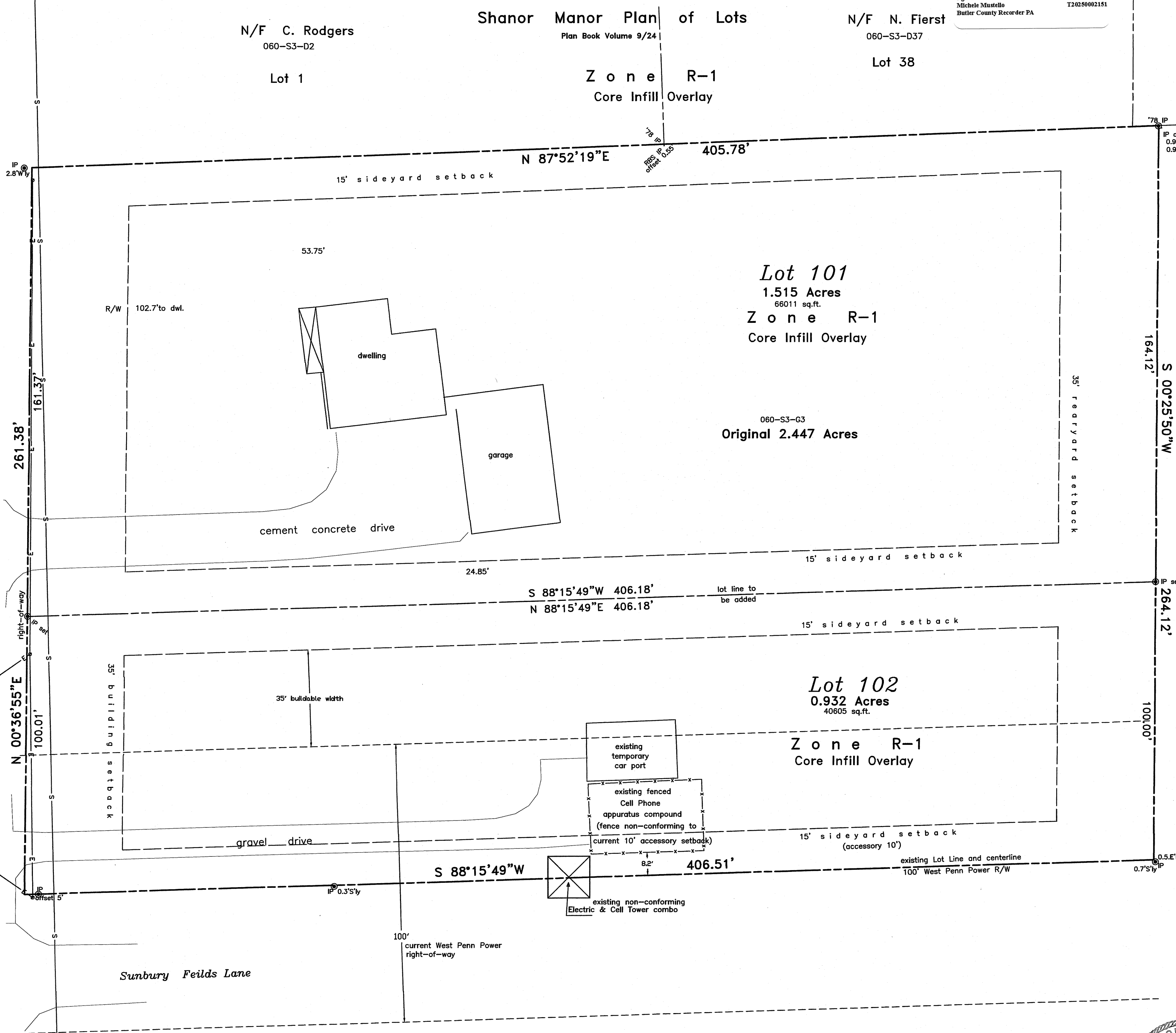
Vicinity Map

FLOOD HAZARD NOTE:
ZONE X - AREA OF MINIMAL FLOOD HAZARD
FIRM: 42019C0295D
FIRM EFFECTIVE: 8/2/2018

PLAN ORIENTATION NOTE: THE BEARINGS
SHOWN HEREON ARE BASED ON THE
PENNSYLVANIA STATE PLANE
COORDINATE SYSTEM (PA-S) / NAD 1983

HIGHWAY OCCUPANCY PERMIT:
A HIGHWAY OCCUPANCY PERMIT IS
REQUIRED PURSUANT TO SECTION 420 OF
THE STATE HIGHWAY LAW (P.L. 1242, NO. 428).

NOTE: Subject to and together with any and
all existing rights-of-way, easements
and conditional clauses of record or
established by due process.



Paul J. Shanor Subd.

Plan Book Volume 136/27

Lot 1

060-S3-G

Zone R-1
Core Infill Overlay

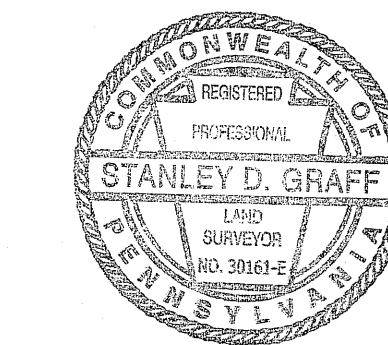
N/F Presbyterian
Seniorcare Portfolio

Reference:

'78 Kovac-Mackin Eng.
Survey for Paul & Peggy Shanor

'79 G.L. Shanor
Survey for Paul & Peggy Shanor

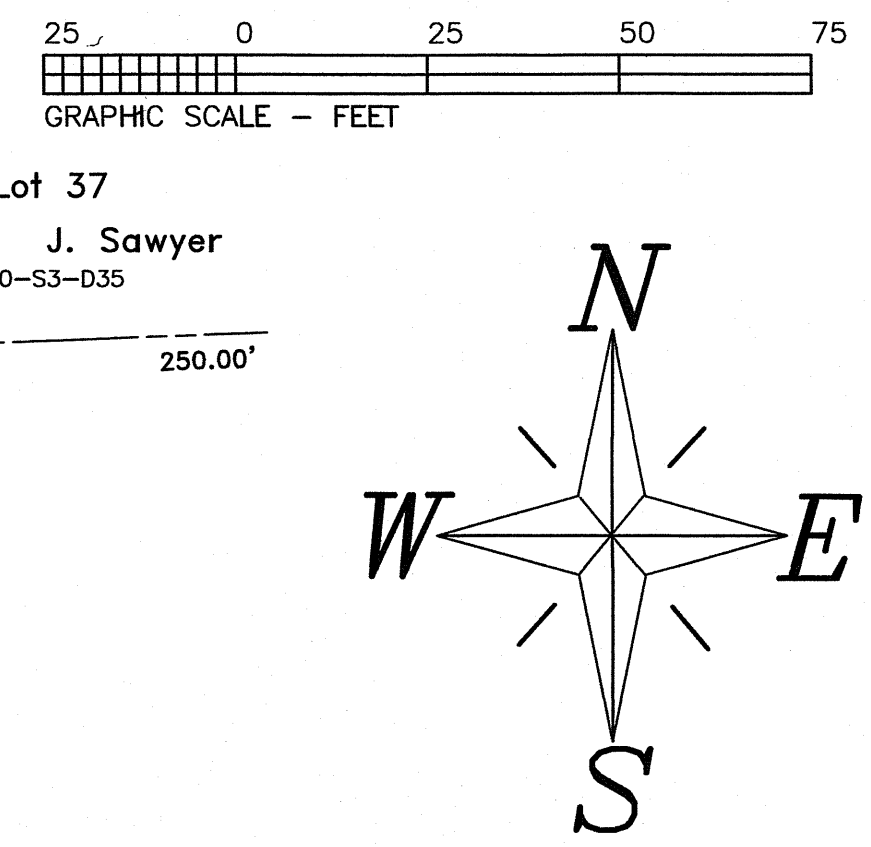
P.J. Shanor Subdivision
Lot 1; P.B. Vol. 136/27



OWNER:

Paul J. & Peggy A. Shanor
116 West Sunbury Road
Butler, PA 16001

Deed Book Volume 1066/701



N/F Presbyterian
Seniorcare Portfolio

Paul J. Shanor Subd.

Plan Book Volume 136/27

Lot 1

060-S3-G

Zone R-1
Core Infill Overlay

N/F Presbyterian
Seniorcare Portfolio

LEGEND

- PROPERTY LINE
- ROAD RIGHT-OF-WAY
- SURVEY MONUMENT
- UTILITY POLE

PROPERTY AREA SUMMARY:	
EXISTING TOTALS	
060-S3-G3	2.447 AC
REVISED TOTALS	
LOT 101	1.515 AC
+LOT 102	0.932 AC
REVISED TOTAL	2.447 AC

CENTER TOWNSHIP R-1 SINGLE FAMILY RESIDENTIAL	
DIMENSION	REQUIREMENT
Min. Lot Area	1/2 acre
Min. Lot Width	100 feet
Min. Front Yard Depth	35 ft from RAW
Min. Side Yard Depth	15 feet
Min. Rear Yard Depth	35 feet

REV	DESCRIPTION	BY	DATE
B	REVISIONS PER TOWNSHIP PLANNING COMMISSION MEETING ON 1/23/25	SDG	1/23/2025
A	REVISIONS PER TOWNSHIP ENGINEER REVIEW LETTER DATED 1/23/2025	SDG	1/22/2025

GRAFF
SURVEYING

GRAFF SURVEYING LLC
PO BOX 521 | SAXONBURG, PA 16056
P: 724-352-3811 | F: 724-352-1059
INFO@GRAFFSURVEYING.COM
WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION
PAUL & PEGGY SHANOR PLAN
BEING A
SUBDIVISION PLAN
FOR
PAUL J. SHANOR
PEGGY A. SHANOR

SITUATE
CENTER TOWNSHIP
BUTLER COUNTY, PENNSYLVANIA

DATE	DRAWN	CHECKED	SCALE
1/6/2025	SDG	Sdg	1" = 25'
PROJECT NO.	TAX PARCEL NO.	REVISION	
24-209	060-S3-G3	B	

RECORDED	20
PLAN BOOK	PAGE
425	1
SHEET	of

Paul & Peggy Shanor

Subdivision Plan

being a minor Subdivision of the Remnant Lot of the Paul J. Shanor Plan

OWNER'S CERTIFICATION
KNOW ALL MEN BY THESE PRESENTS THAT WE, GRANT A. WILLIAMS AND DEBRA J. FINUCAN, OF THE TOWNSHIP OF JEFFERSON, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS OUR PLAN OF LOTS OF OUR PROPERTY, SITUATE IN THE TOWNSHIP OF JEFFERSON, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO US, DO HEREBY DEDICATE FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, STREETS, LANES, RIGHTS-OF-WAY, EASEMENTS, WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHT-OF-WAY AND EASEMENTS BY SAID COUNTY OF BUTLER AND TOWNSHIP OF JEFFERSON, WE, GRANT A. WILLIAMS AND DEBRA J. FINUCAN, HEREBY AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE THE COUNTY OF BUTLER AND SAID TOWNSHIP OF JEFFERSON, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THE DEDICATION AND RELEASE SHALL BE BINDING UPON GRANT A. WILLIAMS AND DEBRA J. FINUCAN, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HAVE SET MY HAND AND SEAL THIS 21ST DAY OF FEBRUARY 2025

Grant A. Williams
GRANT A. WILLIAMS
Debra J. Finucan
DEBRA J. FINUCAN

ACKNOWLEDGMENT OF NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER } SS:

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED THE ABOVE NAMED, GRANT A. WILLIAMS AND DEBRA J. FINUCAN, AND ACKNOWLEDGED THE FOREGOING FINAL PLAN OF SUBDIVISION OR LAND DEVELOPMENT TO BE HIS ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 21 DAY OF FEBRUARY 2025

MY COMMISSION EXPIRES THE 17 DAY OF FEBRUARY 2027

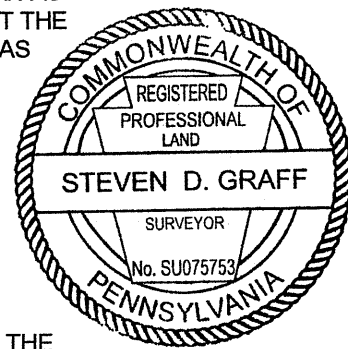
Debra L. DeLancey
NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
Debra L. DeLancey, Notary Public
Butler County
My commission expires February 17, 2027
Commission number 1152784
Member, Pennsylvania Association of Notaries

SURVEYOR'S CERTIFICATION

I, STEVEN D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME, OR UNDER MY DIRECTION, FOR THE OWNERS OR AGENTS.

FEBRUARY 11, 2025
DATE
Steven D. Graff
STEVEN D. GRAFF
REG. NO. SU-075753



MUNICIPAL DECLARATIONS

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF JEFFERSON, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF JEFFERSON ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF JEFFERSON THIS 12TH DAY OF FEBRUARY 2025

Justin Fennell
CHAIRPERSON
BOARD OF SUPERVISORS

Debra L. DeLancey
CHAIRPERSON
BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF JEFFERSON THIS 12TH DAY OF FEBRUARY 2025

Michelle Fleming
SECRETARY

Debra L. DeLancey
CHAIRPERSON
PLANNING COMMISSION

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 17TH DAY OF JULY 2024
#24139

Debra L. DeLancey
SECRETARY

Debra L. DeLancey
CHAIRPERSON
BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN

PLAN BOOK VOLUME 425, PAGE(S) 2

GIVEN UNDER MY HAND AND SEAL THIS 25TH DAY OF February 2025

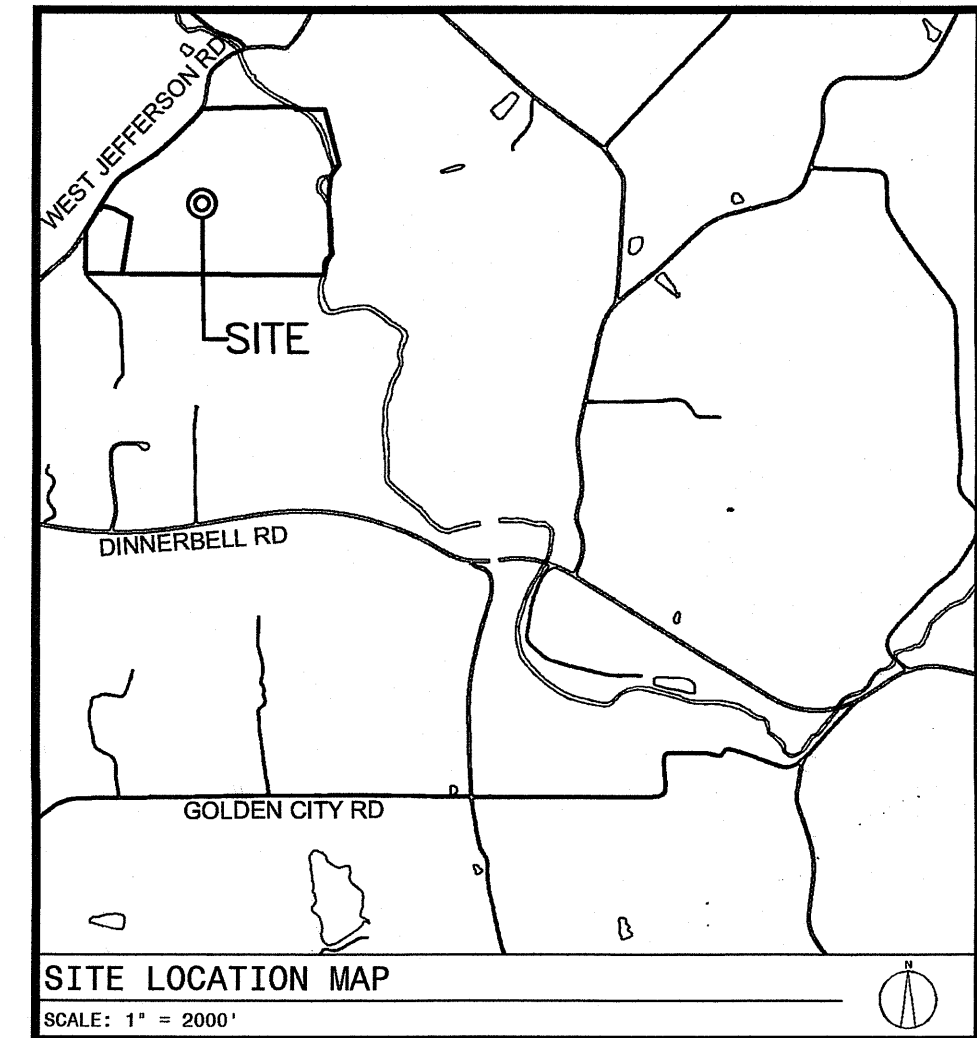
Michele M. Mustello
RECORDER OF DEEDS

MICHELE M. MUSTELLO
RECORDER OF DEEDS

My Commission Expires First Monday in January 2028

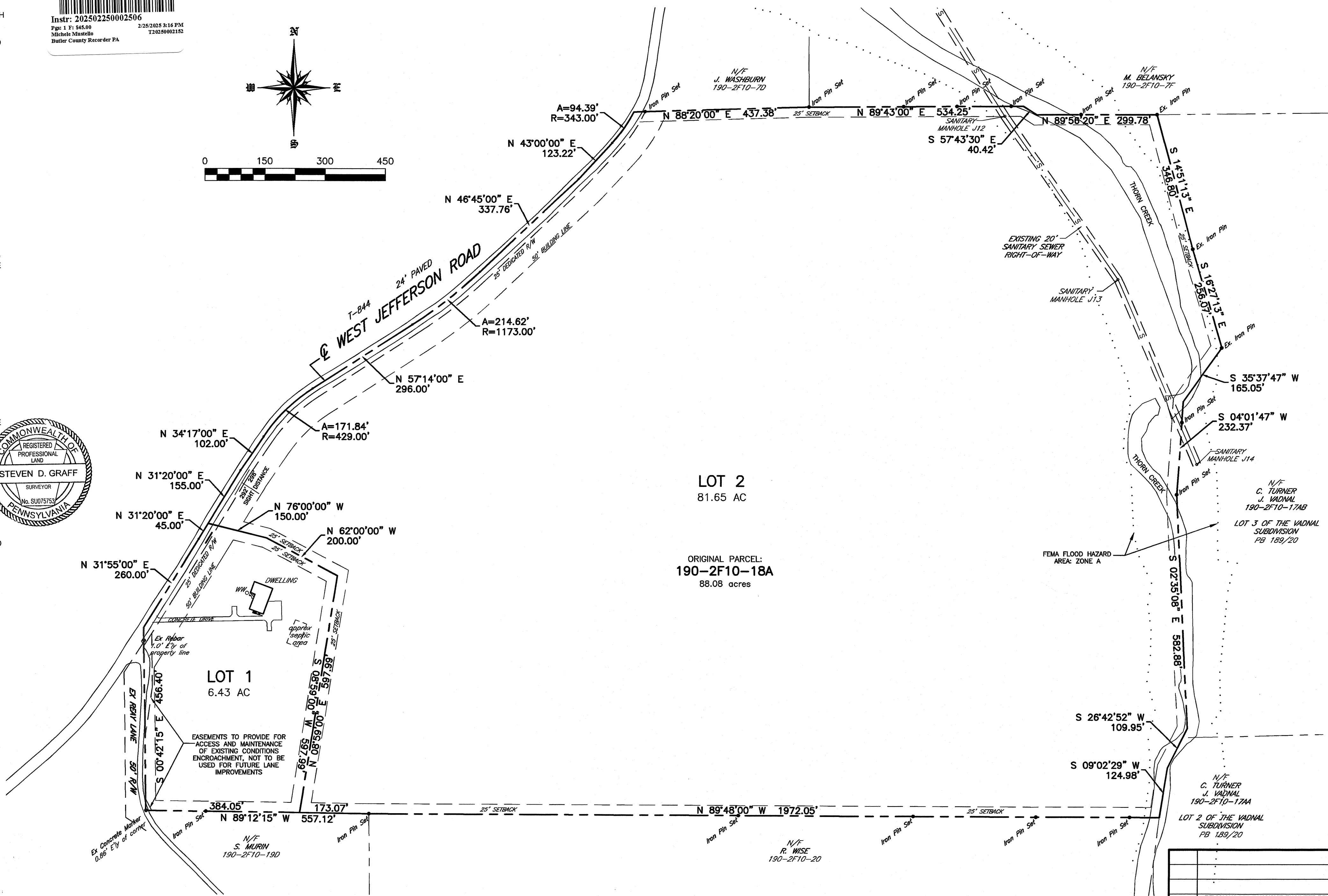
OWNER'S ACCEPTANCE OF RESPONSIBILITY FOR PROVIDING STORMWATER DRAINAGE FACILITIES AND CONTROL OF STORMWATER DRAINAGE

KNOW ALL MEN BY THESE PRESENTS THAT WE, GRANT A. WILLIAMS AND DEBRA J. FINUCAN, OF THE TOWNSHIP OF JEFFERSON, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, AND FOR OUR GRANTEES AND THEIR SUBSEQUENT PURCHASERS, DO HEREBY ACCEPT FULL AND COMPLETE RESPONSIBILITY, LIABILITY, EXPENSE AND PROVISION OF FACILITIES FOR THE CONTROL OF STORMWATER DRAINAGE OVER, ACROSS AND THROUGH THIS SUBDIVISION OF LAND UNTIL SUCH TIME AS WE, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS CONSTRUCT STORMWATER DRAINAGE FACILITIES IN ACCORDANCE WITH TOWNSHIP SPECIFICATIONS AND REQUIREMENTS AND THE SAME IS OFFICIALLY ACCEPTED BY ACTION OF THE BOARD OF SUPERVISORS AND UNTIL SUCH FORMAL ACCEPTANCE FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS DO HEREBY RELEASE THE TOWNSHIP OF JEFFERSON FROM ANY RESPONSIBILITY IN CONNECTION THEREWITH. THIS ACCEPTANCE OF RESPONSIBILITY SHALL BE BINDING UPON GRANT A. WILLIAMS AND DEBRA J. FINUCAN, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, AND ALL PURCHASERS OF LOTS IN THIS PLAN OF SUBDIVISION.



PLAN ORIENTATION NOTE: THE BEARINGS SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (PA-S) / NAD 1983

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.



LOT 2
81.65 AC

ORIGINAL PARCEL:
190-2F10-18A
88.08 acres

PROPERTY AREAS:

EXISTING TOTALS
ORIGINAL 190-2F10-18A 88.08 AC

REVISED TOTALS
LOT 1 6.43 AC
+LOT 2 81.65 AC
REVISED TOTAL 88.08 AC

GENERAL NOTES:

- PROPERTY OWNER: GRANT A. WILLIAMS AND DEBRA J. FINUCAN
- ADDRESS: 282 WEST JEFFERSON RD BUTLER PA 16002
- FEMA FLOOD ZONE: ZONE A - SPECIAL FLOOD HAZARD AREA ZONE X - AREA OF MINIMAL FLOOD HAZARD FIRM: 420160040D FIRM EFFECTIVE: 8/2/2018
- REFERENCES
4.1. CURRENT DEEDS OF RECORD
4.2. PREVIOUSLY RECORDED PLANS
4.2.1. LYNN PLAN PLAN BOOK 104 PG 36
4.2.2. VADNAL SUBDIVISION PLAN BOOK 189 PG 20

WILLIAMS / FINUCAN PLAN

Being a subdivision of Butler County Tax Parcel 190-2F10-18A

RECORDED		20
PLAN BOOK	PAGE	
425	2	
SHEET	of	

A	REVISIONS PER TOWNSHIP ENGINEER REVIEW LETTER DATED 7/8/2024	SDG	7/11/2024
REV	DESCRIPTION	BY	DATE
GRAFF SURVEYING GRAFF SURVEYING LLC PO BOX 521 SAXONBURG, PA 16056 P: 724-352-3811 F: 724-352-1059 INFO@GRAFFSURVEYING.COM WWW.GRAFFSURVEYING.COM			
PROJECT DESCRIPTION WILLIAMS / FINUCAN PLAN BEING A SUBDIVISION FOR GRANT A. WILLIAMS DEBRA J. FINUCAN			
SITUATE JEFFERSON TOWNSHIP BUTLER COUNTY, PENNSYLVANIA			
DATE 05/3/2024	DRAWN SDG	CHECKED Sdg	SCALE 1" = 150'
PROJECT NO. 23-172	TAX PARCEL NO. 190-2F10-18A	REVISION A	

NOTE: ALL SIGNATURES MUST BE MADE WITH A NAVY BLUE INK FELT TIP PEN.

CORPORATION ADOPTION

Known by all men by these Presents, that Belmont Investment Properties, LLC, a company duly registered under the laws of the Commonwealth of Pennsylvania, of the Township of Butler, County of Butler and State of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, does hereby adopt this Plan for its property situate in Butler Township and does hereby dedicate forever for public use for highway and utility purposes, all drives, roads, lanes, ways, right-of-way and other public highways shown upon the plan, and we release, remise and discharge the Township of Butler, its successor or assigns, of and from all liability, courses of action, claims or damages arising from or pertaining to in any manner said roads, and rights-of-way.

We further agree that said plan is approved by the Township of Butler for "Planning Purposes Only" and that said Township shall not issue any "Building Permits" for lots contained herein, nor shall any lots be deeded until either all of said roads and improvements in accordance with Butler Township Ordinance 730 and all other applicable ordinances have been completed and accepted by said Township or until the Township has approved a bond with sufficient surety to guarantee construction of the same. In Witness Whereof, We hereunto set our hand and seal this 20 day of February, 2025.

Notary Public *Witness* *President*

CORPORATION ACKNOWLEDGMENT

Commonwealth of Pennsylvania)SS:
County of Butler

Before me, the subscriber, a Notary Public in and for said Commonwealth and County personally appeared Joseph Gray, owner of Belmont Investment Properties, LLC, who being duly sworn, depose and say that he was personally present at the execution of the adoption, release and dedication and saw the common and corporate seal duly affixed and that the above release and dedication was duly signed and sealed by and as for the act and deed of the said (Name of Corporation), for the uses and purposes therein mentioned and that the name of this deponent subscribed to the said release and dedication as owner of said corporation, in attestation of the due execution and delivery of said release and dedication is this deponent's own and proper and respective handwriting.

Notary Public *Witness* *President*
Title of Officer *Notary Public*
Sworn and subscribed before me this day, 20th day of February, 2025.
WITNESS MY HAND AND NOTARIAL SEAL this 20th day of February, 2025.
My Commission Expires the 28 day of February, 2027.
Notary Public *Witness* *President*

TITLE CLAUSE

I, Joseph L. Gray, President of Belmont Investment Properties, LLC, owner of the The Oaks at Dutchtown Phase 1 Plan, do hereby certify that the title of this property is in the name of Belmont Investment Properties, LLC, as lot 103 recorded in Plan Book Volume 418 Pages 11 & 12, of the Butler County Recorder of Deeds Office. I further certify that there is no mortgage, lien or encumbrance against this property.

SURVEYOR CERTIFICATION

I, Michael A. Oglin, a Registered Professional Surveyor of the Commonwealth of Pennsylvania, do hereby certify that the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan correctly represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.

SEAL
Michael A. Oglin, P.L.S.
SU-075288
Registration Number

LOCAL AUTHORITY STIPULATION

The Board of Commissioners of the Township of Butler hereby gives public notice that in approving this plan for recording purposes only, the Township assumes no obligations, legal or otherwise, expressed or implied either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

Theresa Giesler SEAL *James L. Hannon* President
Secretary

MUNICIPAL APPROVAL

Approved by the Board of Commissioners of the Township of Butler this 21st day of January, 2025.
Theresa Giesler SEAL *James L. Hannon* President of the Board
Secretary

LOCAL PLANNING COMMISSION APPROVAL

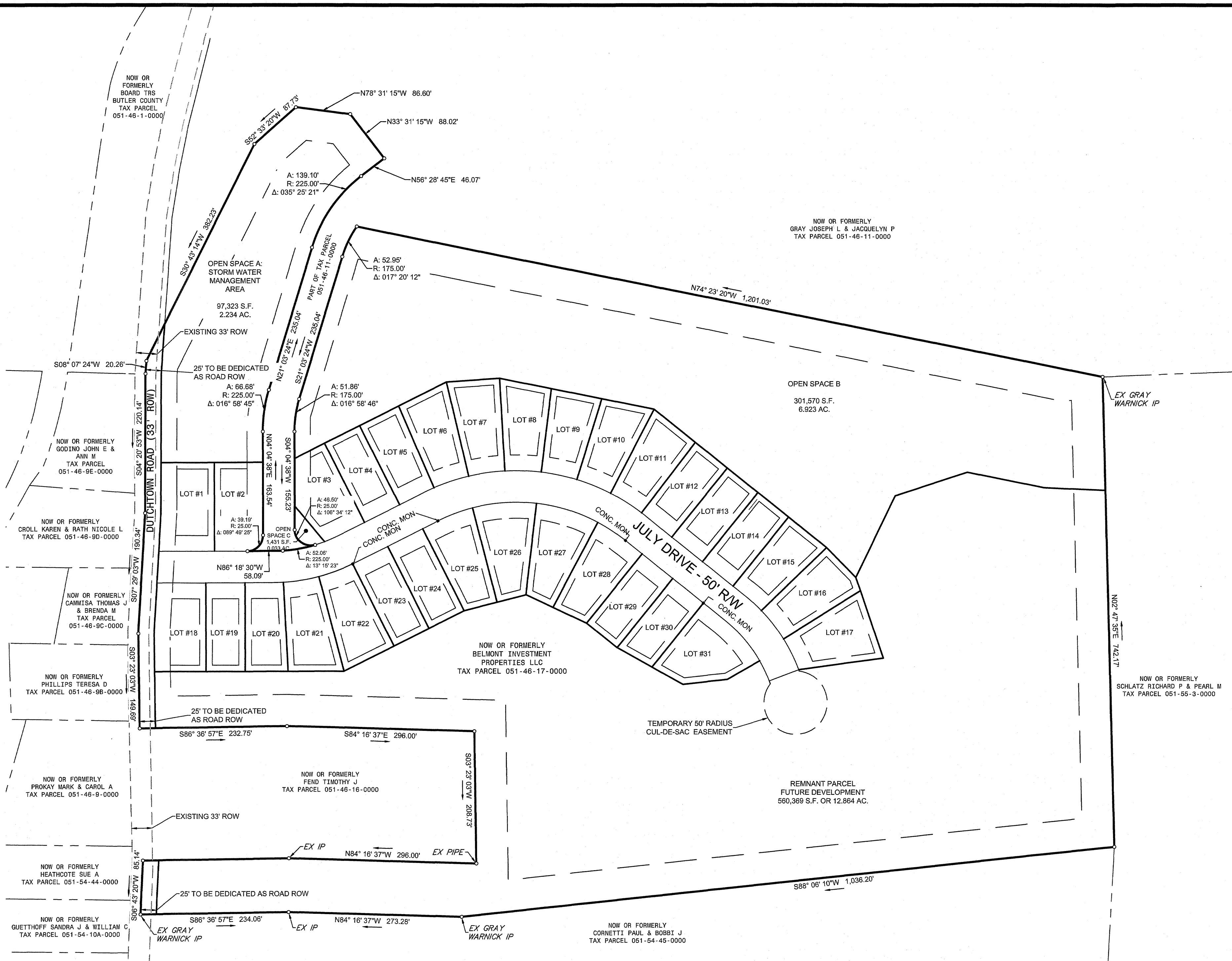
Approved by the Butler Township Planning Commission this 1st day of October, 2024.
F. Malle SEAL *R. Hannon* ASB
Secretary Chairman

COUNTY PLANNING COMMISSION APPROVAL #25041

Approved by the Butler County Planning Commission this 21st day of February, 2025.
B. Hannon SEAL *H. Hannon* Chairman
Secretary

MICHELE M. MUSTELLO
RECORDER OF DEEDS

My Commission Expires First Monday in January 2028



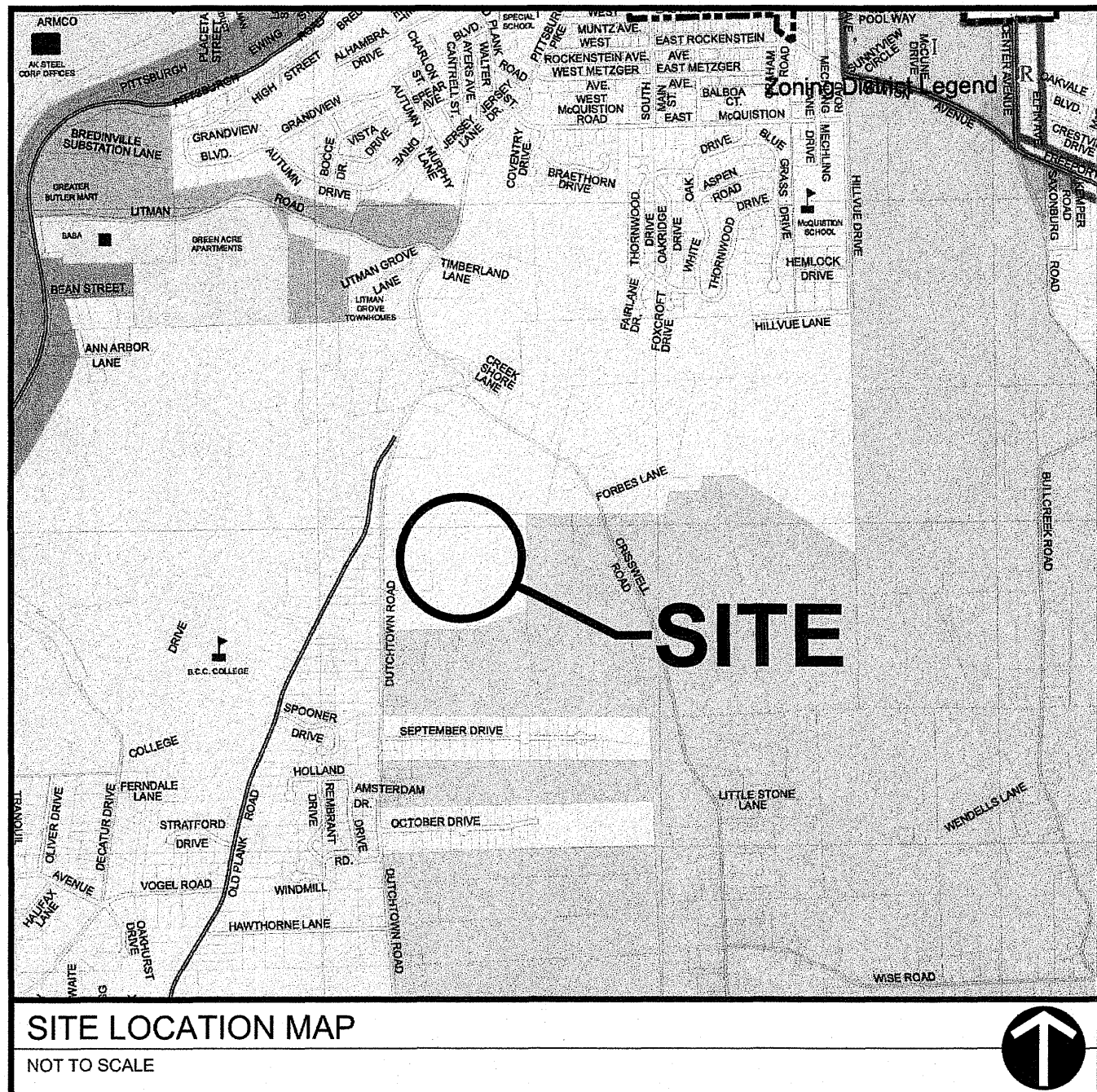
OWNER'S ADOPTION
KNOW ALL MEN BY THESE PRESENTS THAT WE, JOSEPH GRAY AND JACQUELYN P. GRAY, OF THE TOWNSHIP OF BUTLER, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS PLAN AS OUR PLAN OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF BUTLER, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND DO HEREBY DEDICATE FOREVER FOR PUBLIC USE FOR HIGHWAY AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANES, WAYS, RIGHTS-OF-WAY, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, AND WE RELEASE, REMISE AND DISCHARGE THE TOWNSHIP OF BUTLER, ITS SUCCESSORS OR ASSIGNS, OF AND FROM ALL LIABILITY, COURSES OF ACTION, CLAIMS OR DAMAGES ARISING FROM OR PERTAINING TO IN ANY MANNER SAID ROADS AND RIGHTS-OF-WAY.

WE FURTHER AGREE THAT SAID PLAN IS APPROVED BY THE TOWNSHIP OF BUTLER FOR "PLANNING PURPOSES ONLY" AND THAT SAID TOWNSHIP SHALL NOT ISSUE ANY "BUILDING PERMITS" FOR LOTS CONTAINED HEREIN, NOR SHALL ANY LOTS BE DEEDED UNTIL EITHER ALL OF SAID ROADS AND IMPROVEMENTS IN ACCORDANCE WITH BUTLER TOWNSHIP ORDINANCE 730 AND ALL OTHER APPLICABLE ORDINANCES HAVE BEEN COMPLETED AND ACCEPTED BY SAID TOWNSHIP OR UNTIL THE TOWNSHIP HAS APPROVED A BOND WITH SUFFICIENT SURETY TO GUARANTEE CONSTRUCTION OF THE SAME.

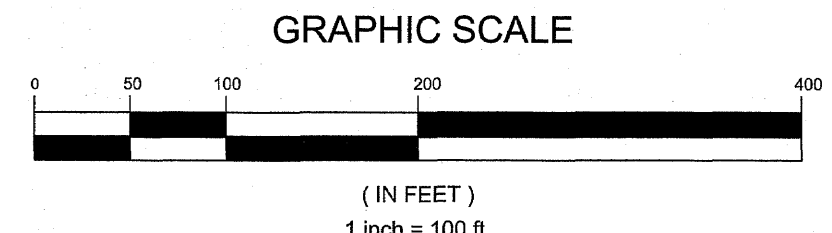
IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 20th day of February, 2025.
JOSEPH GRAY *Joseph L. Gray*
JACQUELYN P. GRAY *Jacquelyn P. Gray*

ACKNOWLEDGMENT OF NOTARY PUBLIC
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, JOSEPH GRAY AND JACQUELYN P. GRAY, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 20th day of February, 2025.
MY COMMISSION EXPIRES THE 28 day of February, 2027.
Notary Public
NOTARY PUBLIC



PLAN BOOK	PAGE
425	3



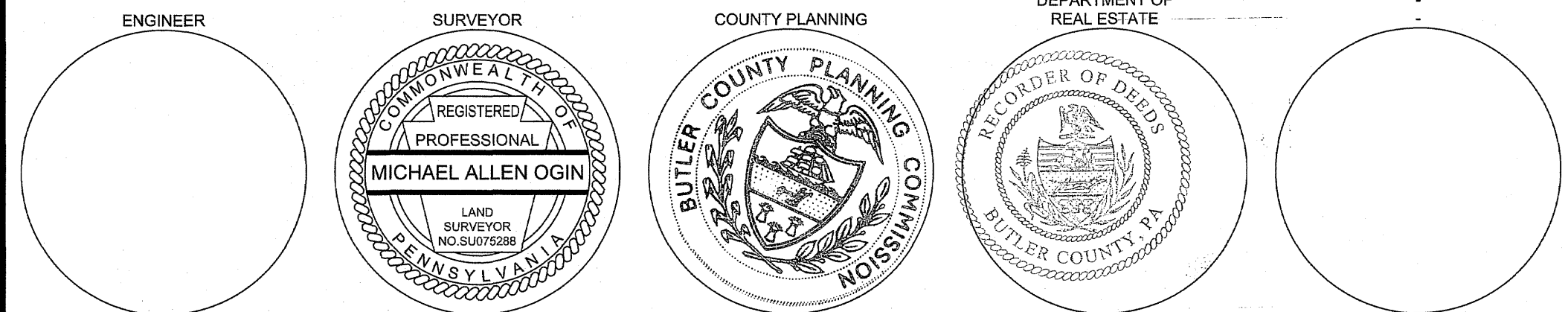
GATEWAY ENGINEERS

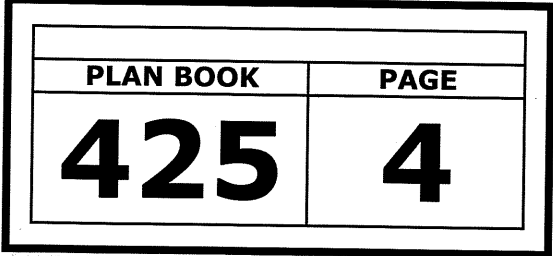
The Gateway Engineers, Inc.
Full-Service Civil Engineering & Surveying
100 McMorris Road, Pittsburgh, PA 15205
www.GatewayEngineers.com 855-634-9284

**THE OAKS AT DUTCHTOWN
PHASE 1**
SITUATE IN
**BUTLER TOWNSHIP
BUTLER COUNTY, PENNSYLVANIA**
MADE FOR
BELMONT INVESTMENT PROPERTIES, LLC
75 DUTCHTOWN RD, BUTLER, PA 16002

Date: 08/20/2024
Job Number: 41693
Dwg No: RP-1

PM: MAQ DB: JAP CB: MAQ
SCALE: 1" = 100'





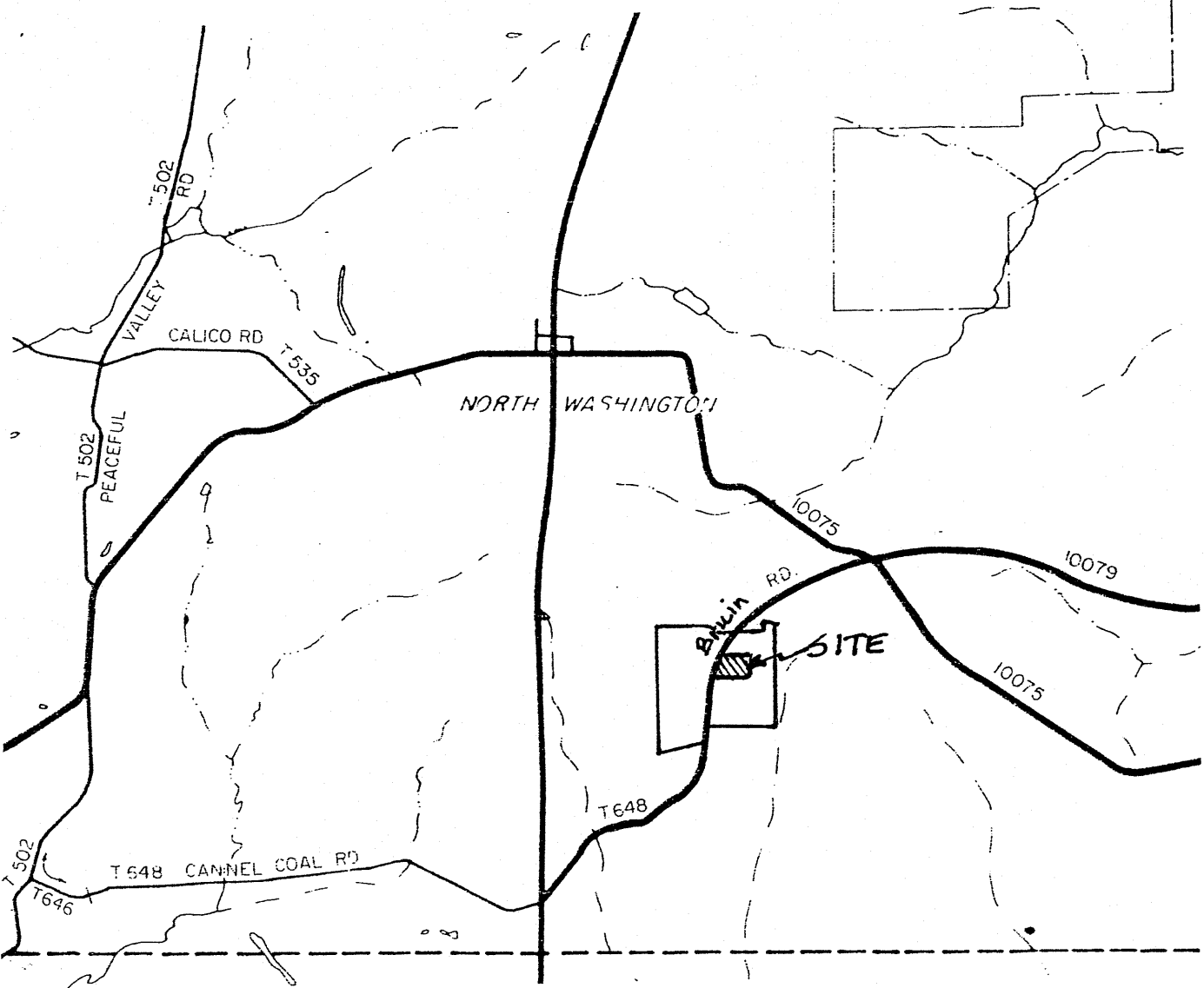
 <div> <div>GATEWAY</div> <div>ENGINEERS</div> </div>	<div> <div>The Gateway Engineers, Inc.</div> <div>Full-Service Civil Engineering & Surveying</div> <div>100 McMorris Road, Pittsburgh, PA 15205</div> <div> www.GatewayEngineers.com 855-634-9284 </div> </div>
---------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

SITUATE IN
BUTLER TOWNSHIP
BUTLER COUNTY, PENNSYLVANIA
MADE FOR
BELMONT INVESTMENT PROPERTIES, LLC
75 DUTCHTOWN RD. BUTLER, PA 16002

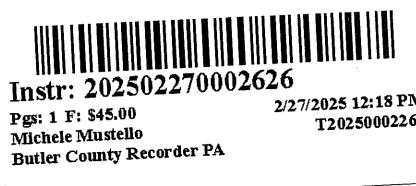
LINE #	DIRECTION	LENGTH	DESCRIPTION
STM-L17 (TIE)	S 32° 03' 50" W	37.90	TIE
STM-L18	S 47° 59' 04" E	198.06	CL OF 15' EASEMENT
STM-L19	N 09° 44' 12" W	162.79	CL OF 15' EASEMENT

(IN FEET)
1 inch = 60 ft

THE GATEWAY ENGINEERS, INC. RETAINS OWNERSHIP RIGHTS OF ALL DATA WITHIN THE PLANS. DATA CONTAINED WITHIN IS ONLY TO BE USED FOR ITS INTENDED PURPOSE BY ITS RESPONSIBLE PARTY. THE USE, REPLICATION, REPRODUCTION, OR REDISTRIBUTION OF DATA CONTAINED WITHIN IS STRICTLY PROHIBITED AND SUBJECT TO LEGAL ACTION.



VICINITY MAP Scale: 1" = 2000'



We, Lee R. and Teresa Anne Hagg, the undersigned, hereby declare that we are the owners of the property shown on this final plan, that the final plan and the proposed subdivision or land development were made with the owner's consent and that the owners desire the final plan to be recorded as such.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 04
day of February 2025

ATTEST:

Lee R. Hays Stephanne Hays
OWNER OWNER

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Lee R. and Teresa Anne Hagg, who acknowledged the foregoing final plan of subdivision or land development to be their act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day.

WITNESS MY HAND AND NOTARIAL SEAL this 04 day of February
2025

My Commission expires the 04 day of June, 2026.

NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
David C. Harkins, Notary Public
Butler County
My commission expires June 4, 2026
Commission number 1190259
Member, Pennsylvania Association of Notaries

I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is true and correct to the standards of the Butler County Subdivision and Land Development Ordinance and that the survey and all angles, distances, and courses are accurately shown, that the monuments and markers as shown on the plat have been, or will be set, and to the best of my knowledge, that this plan correctly represents the lots, lands, streets and highways as surveyed and platted by me for the owners or agents.

DATE October 1, 2024 SEAL Chen REG. NO. SU-22490-E

Reviewed by the Supervisors of the Township of Washington this 5th day of February, 2025

Donna Glavin
SECRETARY

SEAL Rachel Smith
CHAIRMAN/PRESIDENT

Approved by the Butler County Planning Commission this 19th day of _____

February 2025

SECRETARY R. Hahn 610 SEAL G. Hahn 310 CHAIRMAN/PRESIDENT

See Comments on File at the Butler County Planning Commission
25029

Plan Number: 05027

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER)

Recorded in the office for the recording of deeds, plans, etc. in
said County in Plan Book Volume 425 page 5.

Given under my hand and seal this 21TH day of FEBRUARY
1925

20 25
SEAL *[Signature]*

Michael J. Muller
RECORDER

MICHELE M. MUSTELLO

MICHELLE M. MUSTELLO
RECORDER OF DEEDS

My Commission Expires First Monday in January 2028

PLAN BOOK	PAGE
125	5

	425	5
--	-----	---

10	10	10	10
----	----	----	----

Land Surveyors, Inc.
523 North Main Street
P.O. Box 1061

Butler, PA 16003-1061
(724) 287-6865
Cheryl A. Hughes, P.L.S. Owner

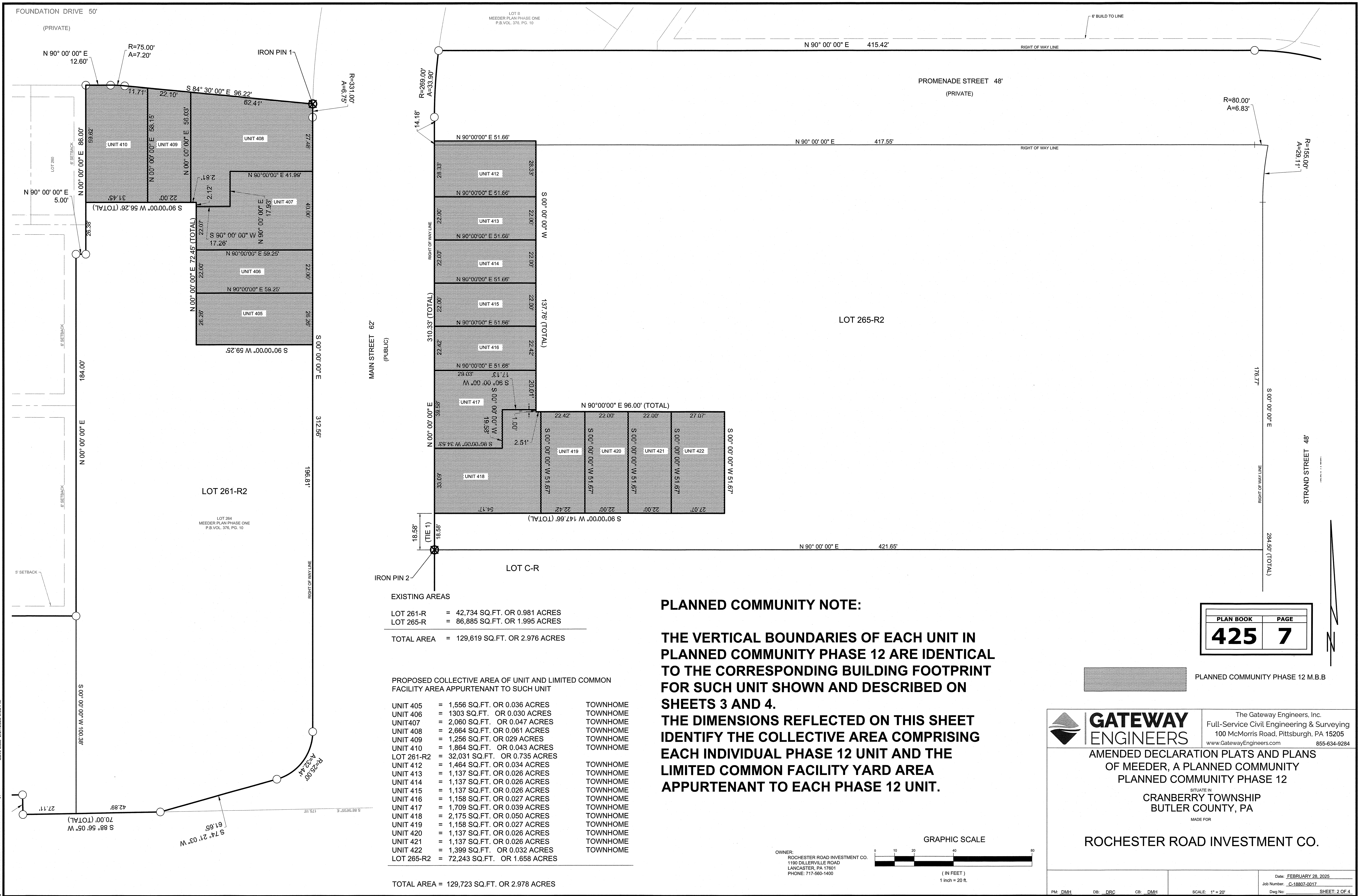
	Cheryl A. Hughes, PLS Owner
MINOR SUBDIVISION FINAL PLAN	

FOR: LEE B. & TERESA ANNE HAGO

FOR: ELL R. & TERESA ANNE HAGG

SITUATE: WASHINGTON TWP., BUTLER CO.			
Date 10/01/2024	Scale 1" = 100'	Dwn By BEC	Ckd By

Parcel No.	310-3F10-28	Db-Pg 2268-159	Ser
Address	753 BRUIN ROAD		



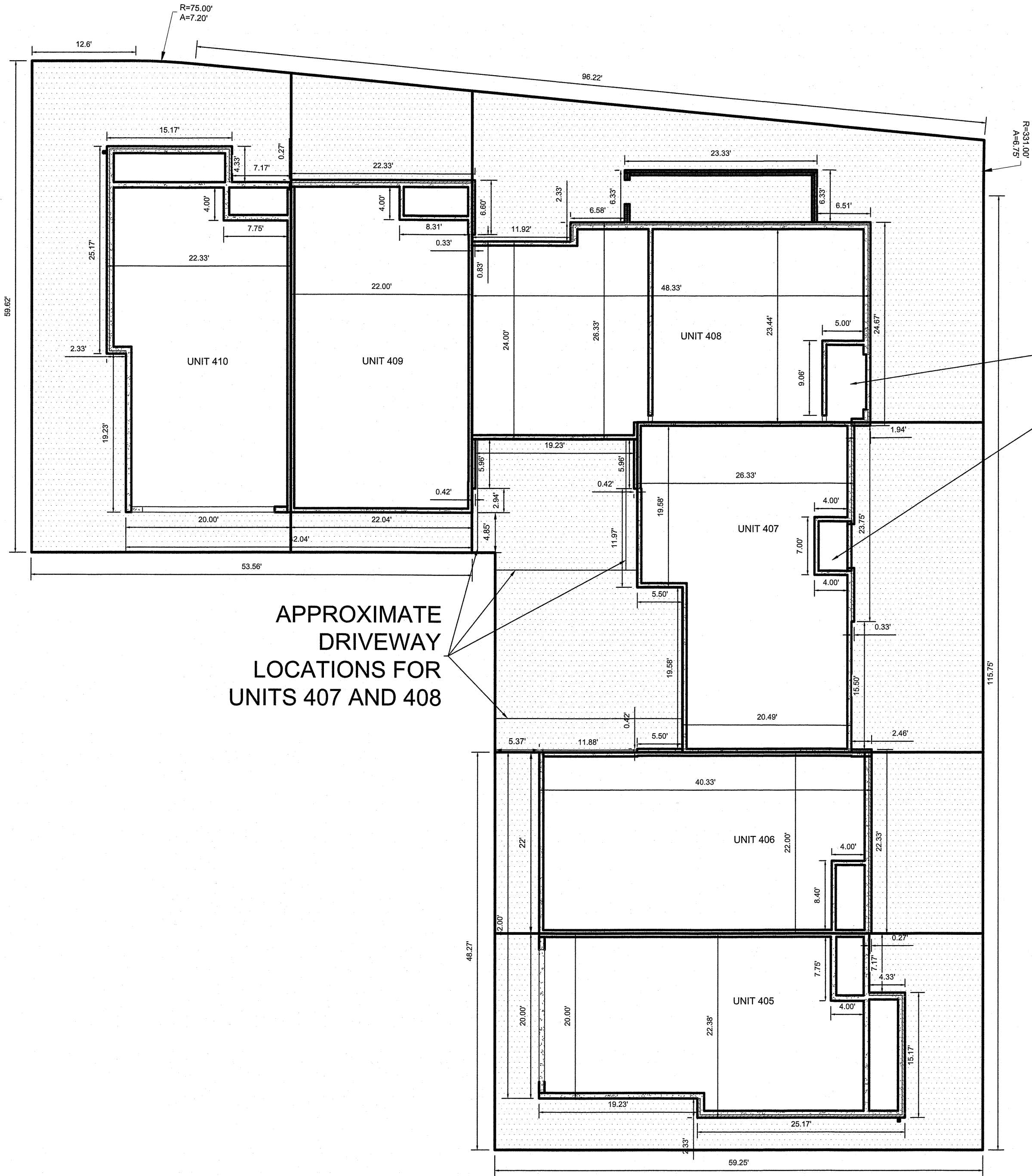
NOTWITHSTANDING THE LOCATION AND DIMENSIONS OF THE LIMITED COMMON FACILITY AREAS DEPICTED ON SHEETS 3 THROUGH 4 HEREOF:

FOR THOSE UNITS THAT HAVE A LIMITED COMMON FACILITY FRONT AND/OR REAR YARD AREA THAT ABUTS A ROADWAY OR ALLEY, THE LIMITED COMMON FACILITY FRONT AREA OF SUCH UNIT SHALL EXTEND FROM THE FRONT PERIMETER WALL (AS DEFINED IN THE DECLARATION) OF SUCH UNIT TO THE RIGHT OF WAY LINE OF THE ABUTTING ROADWAY OR ALLEY (AS APPLICABLE) AND THE LIMITED COMMON FACILITY REAR YARD OF SUCH UNIT SHALL EXTEND FROM THE REAR PERIMETER WALL OF SUCH UNIT TO THE RIGHT OF WAY LINE OF THE ABUTTING ROADWAY OR ALLEY (AS APPLICABLE);

FOR THOSE UNITS THAT HAVE A LIMITED COMMON FACILITY FRONT AND/OR REAR YARD AREA THAT DOES NOT ABUT A ROADWAY OR ALLEY, THE WIDTH OF THE LIMITED COMMON FACILITY FRONT YARD AREA OR REAR YARD AREA OF SUCH UNIT, AS APPLICABLE, SHALL BE THE DISTANCE AS DEPICTED ON THE PLAN APPLICABLE TO SUCH UNIT, AS SHOWN ON SHEETS 3 THROUGH 4 HEREOF;

FOR THOSE UNITS THAT HAVE A LIMITED COMMON FACILITY SIDE YARD AREA THAT ABUTS A ROADWAY OR ALLEY, THE WIDTH OF THE LIMITED COMMON FACILITY SIDE YARD AREA OF SUCH UNIT SHALL BE THE DISTANCE MEASURED FROM THE SIDE PERIMETER WALL OF SUCH UNIT TO THE RIGHT OF WAY LINE OF THE ABUTTING ROADWAY OR ALLEY; AND

FOR THOSE UNITS THAT HAVE A LIMITED COMMON FACILITY SIDE YARD AREA THAT DOES NOT ABUT A ROADWAY OR ALLEY, THE WIDTH OF THE LIMITED COMMON FACILITY SIDE YARD AREA OF SUCH UNIT SHALL BE THE DISTANCE MEASURED FROM THE SIDE PERIMETER WALL OF SUCH UNIT SHALL BE THE DISTANCE AS DEPICTED ON THE PLAN APPLICABLE TO SUCH UNIT, AS SHOWN ON SHEETS 3 THROUGH 4 HEREOF.



APPROXIMATE DRIVEWAY LOCATIONS FOR UNITS 407 AND 408

UNITS 407 AND 408 ARE "CORNER UNITS" AS DEFINED IN THE 15TH AMENDMENT TO THE DECLARATION

NOTE:

THE LIMITED COMMON FACILITY ("LCF") YARD AREAS SHOWN HEREON AND ABUTTING A UNIT SHALL BE A LCF SOLELY FOR SUCH UNIT IT ABUTS

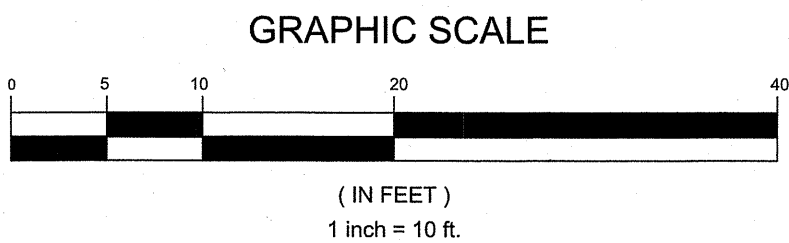
LEGEND



-LIMITED COMMON FACILITY ("LCF")

IRON PIN 1 COORDINATE
NAD83 PENNSYLVANIA STATE PLAN, SOUTH ZONE, US FOOT
N 40° 40' 59.83632309"
W 80° 06' 32.46800993"

OWNER:
ROCHESTER ROAD INVESTMENT CO.
1190 DILLERVILLE ROAD
LANCASTER, PA 17601
PHONE: 717-560-1400



GATEWAY
ENGINEERS

The Gateway Engineers, Inc.
Full-Service Civil Engineering & Surveying
100 McMorris Road, Pittsburgh, PA 15205
www.GatewayEngineers.com 855-634-9284

AMENDED DECLARATION PLATS AND PLANS
OF MEEDER, A PLANNED COMMUNITY
PLANNED COMMUNITY PHASE 12

SITUATE IN
CRANBERRY TOWNSHIP
BUTLER COUNTY, PA

MADE FOR

ROCHESTER ROAD INVESTMENT CO.

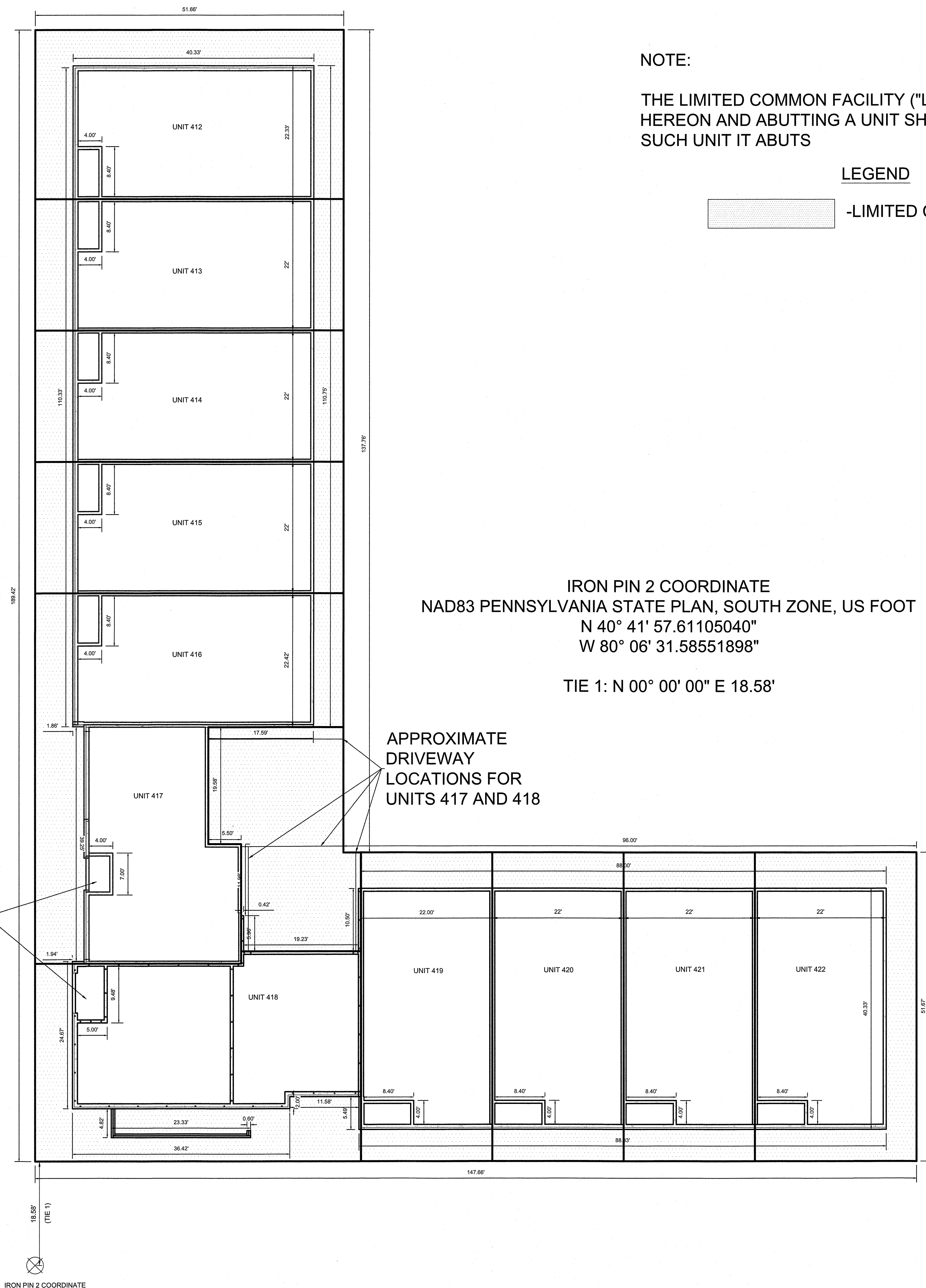
PM: DMH DB: DRC CB: DMH

SCALE: 1" = 10'

Date: FEBRUARY 28, 2025
Job Number: C-18807-0017
Dwg No: SHEET: 3 OF 4

© Gateway Engineers Inc. All Rights Reserved

\\Path & Filename=G:\Projects\18001\1807 Coventry Town Center\077 Mainstreet and Promenade\Draw\01-Base\PHASE 1 - MAINSTREET\Units 405-410 412-417 Declaration Plats.dwg
18 01
Save Date=2/27/2025 5:10 PM Daniel R. Conolly, E.I.T.



NOTE:

THE LIMITED COMMON FACILITY ("LCF") YARD AREAS SHOWN HEREON AND ABUTTING A UNIT SHALL BE A LCF SOLELY FOR SUCH UNIT IT ABUTS

LEGEND

-LIMITED COMMON FACILITY ("LCF")

NOTWITHSTANDING THE LOCATION AND DIMENSIONS OF THE LIMITED COMMON FACILITY AREAS DEPICTED ON SHEETS 3 THROUGH 4 HEREOF:

FOR THOSE UNITS THAT HAVE A LIMITED COMMON FACILITY FRONT AND/OR REAR YARD AREA THAT ABUTS A ROADWAY OR ALLEY, THE LIMITED COMMON FACILITY FRONT AREA OF SUCH UNIT SHALL EXTEND FROM THE FRONT PERIMETER WALL (AS DEFINED IN THE DECLARATION) OF SUCH UNIT TO THE RIGHT OF WAY LINE OF THE ABUTTING ROADWAY OR ALLEY (AS APPLICABLE) AND THE LIMITED COMMON FACILITY REAR YARD OF SUCH UNIT SHALL EXTEND FROM THE REAR PERIMETER WALL OF SUCH UNIT TO THE RIGHT OF WAY LINE OF THE ABUTTING ROADWAY OR ALLEY (AS APPLICABLE);

FOR THOSE UNITS THAT HAVE A LIMITED COMMON FACILITY FRONT AND/OR REAR YARD AREA THAT DOES NOT ABUT A ROADWAY OR ALLEY, THE WIDTH OF THE LIMITED COMMON FACILITY FRONT YARD AREA OR REAR YARD AREA OF SUCH UNIT, AS APPLICABLE, SHALL BE THE DISTANCE AS DEPICTED ON THE PLAN APPLICABLE TO SUCH UNIT, AS SHOWN ON SHEETS 3 THROUGH 4 HEREOF;

FOR THOSE UNITS THAT HAVE A LIMITED COMMON FACILITY SIDE YARD AREA THAT ABUTS A ROADWAY OR ALLEY, THE WIDTH OF THE LIMITED COMMON FACILITY SIDE YARD AREA OF SUCH UNIT SHALL BE THE DISTANCE MEASURED FROM THE SIDE PERIMETER WALL OF SUCH UNIT TO THE RIGHT OF WAY LINE OF THE ABUTTING ROADWAY OR ALLEY; AND

FOR THOSE UNITS THAT HAVE A LIMITED COMMON FACILITY SIDE YARD AREA THAT DOES NOT ABUT A ROADWAY OR ALLEY, THE WIDTH OF THE LIMITED COMMON FACILITY SIDE YARD AREA OF SUCH UNIT SHALL BE THE DISTANCE MEASURED FROM THE SIDE PERIMETER WALL OF SUCH UNIT SHALL BE THE DISTANCE AS DEPICTED ON THE PLAN APPLICABLE TO SUCH UNIT, AS SHOWN ON SHEETS 3 THROUGH 4 HEREOF.

PLAN BOOK	PAGE
425	9



**GATEWAY
ENGINEERS**

The Gateway Engineers, Inc.
Full-Service Civil Engineering & Surveying
100 McMorris Road, Pittsburgh, PA 15205
www.GatewayEngineers.com 855-634-9284

AMENDED DECLARATION PLATS AND PLANS
OF MEEDER, A PLANNED COMMUNITY
PLANNED COMMUNITY PHASE 12

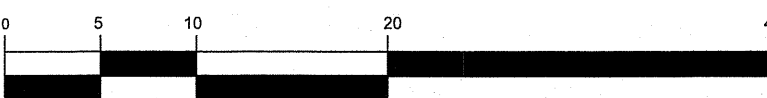
SITUATE IN
CRANBERRY TOWNSHIP
BUTLER COUNTY, PA

MADE FOR

ROCHESTER ROAD INVESTMENT CO.

OWNER:
ROCHESTER ROAD INVESTMENT CO.
1190 DILLERVILLE ROAD
LANCASTER, PA 17601
PHONE: 717-560-1400

GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.

PM: DMH

DB: DRC

CB: DMH

SCALE: 1" = 10'

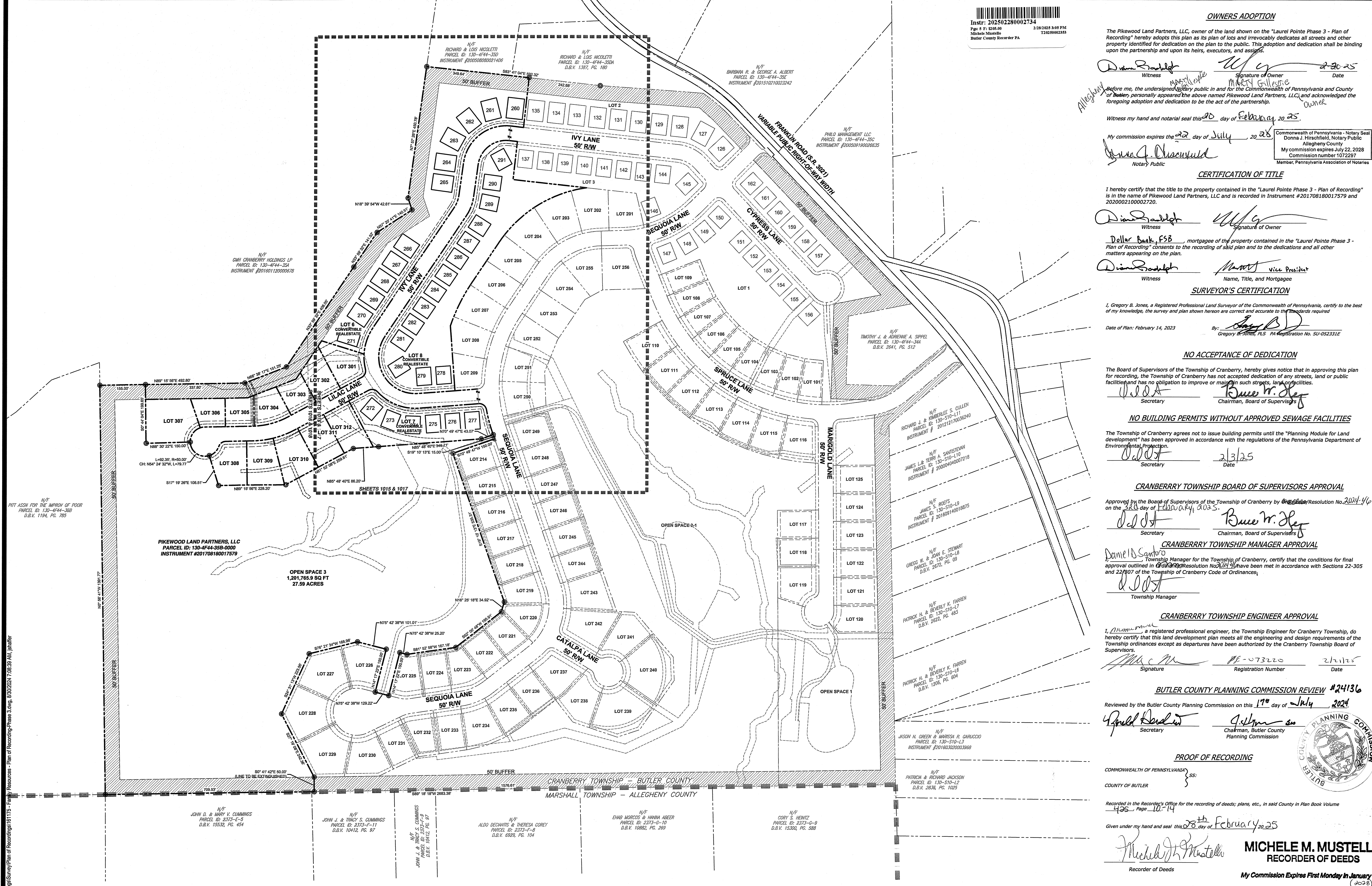
Date: FEBRUARY 26, 2025

Job Number: C-18807-0017

Dwg No:

SHEET: 4 OF 4

© Gateway Engineers Inc. All Rights Reserved



Inst: 20250238002734
Pg: 5 of 5
2/28/2025 3:08 PM
Michele Mustello
Butler County Recorder PA

OWNERS ADOPTION

The Pikewood Land Partners, LLC, owner of the land shown on the "Laurel Pointe Phase 3 - Plan of Recording" hereby adopts this plan as its plan of and irrevocably dedicates all streets and other property identified for dedication on the plan to the public. This adoption and dedication shall be binding upon the partnership and upon its heirs, executors, and assigns.

Witness: *[Signature]*
Signature of Owner: *[Signature]*
Date: *2-20-25*

Witness my hand and notarial seal this *20* day of *February*, 20*25*.

My commission expires the *22* day of *July*, 20*28*.
Notary Public: *[Signature]*
Commonwealth of Pennsylvania - Notary Seal
Allegheny County
My commission expires July 22, 2028
Commission number 1072237
Member, Pennsylvania Association of Notaries

CERTIFICATION OF TITLE

I hereby certify that the title to the property contained in the "Laurel Pointe Phase 3 - Plan of Recording" is in the name of Pikewood Land Partners, LLC and is recorded in Instrument #201708180017579 and 2020002100002720.

Witness: *[Signature]*
Signature of Owner: *[Signature]*

Dollar Bank, FSB, mortgagee of the property contained in the "Laurel Pointe Phase 3 - Plan of Recording" consents to the recording of said plan and to the dedications and all other matters appearing on the plan.

Witness: *[Signature]*
Name, Title, and Mortgagee: *[Signature]*
SURVEYOR'S CERTIFICATION

I, Gregory B. Jones, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, certify to the best of my knowledge, the survey and plan shown hereon are correct and accurate to the standards required.

Date of Plan: February 14, 2023
By: *[Signature]*
Gregory B. Jones, PLS PA Registration No. SU-052331E

NO ACCEPTANCE OF DEDICATION

The Board of Supervisors of the Township of Cranberry, hereby gives notice that in approving this plan for recording, the Township of Cranberry has not accepted dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

Secretary: *[Signature]*
Chairman, Board of Supervisors: *[Signature]*

NO BUILDING PERMITS WITHOUT APPROVED SEWAGE FACILITIES

The Township of Cranberry agrees not to issue building permits until the "Planning Module for Land development" has been approved in accordance with the regulations of the Pennsylvania Department of Environmental Protection.

Secretary: *[Signature]*
Date: *2/23/25*

CRANBERRY TOWNSHIP BOARD OF SUPERVISORS APPROVAL

Approved by the Board of Supervisors of the Township of Cranberry by Resolution No. *2024-46* on the *20* day of *February*, 20*25*.

Secretary: *[Signature]*
Chairman, Board of Supervisors: *[Signature]*

CRANBERRY TOWNSHIP MANAGER APPROVAL

I, *[Signature]*, Township Manager for the Township of Cranberry, certify that the conditions for final approval outlined in *[Signature]* Resolution No. *2024-46* have been met in accordance with Sections 22-305 and 22-907 of the Township of Cranberry Code of Ordinances.

Township Manager: *[Signature]*

CRANBERRY TOWNSHIP ENGINEER APPROVAL

I, *[Signature]*, a registered professional engineer, the Township Engineer for Cranberry Township, do hereby certify that this land development plan meets all the engineering and design requirements of the Township ordinances except as departures have been authorized by the Cranberry Township Board of Supervisors.

Signature: *[Signature]* PE-073220
Registration Number: *2/21/25*
Date: *2/21/25*

BUTLER COUNTY PLANNING COMMISSION REVIEW #24136

Reviewed by the Butler County Planning Commission on this *17* day of *July*, 20*24*.

Secretary: *[Signature]*
Chairman, Butler County Planning Commission: *[Signature]*

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA } ss:
COUNTY OF BUTLER

Recorded in the Recorder's Office for the recording of deeds, plans, etc., in said County in Plan Book Volume *425*, Page *10-14*.

Given under my hand and seal this *20* day of *February*, 20*25*.

Recorder of Deeds: *[Signature]*
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2028

GENERAL NOTES

- AS PER THE APPROVED STORM WATER MANAGEMENT PLAN, THE TOWNSHIP SHALL HAVE RIGHT OF ACCESS TO THE ONSITE DETENTION FACILITY FOR THE RIGHT OF MAINTENANCE MONITORING, AND/OR SAMPLING, IN THE EVENT THE OWNER ASSIGNS OR HEIRS DO NOT ADEQUATELY MAINTAIN OR MONITOR THE FACILITY. THE OWNER ASSIGNS OR HEIRS SHALL REIMBURSE THE TOWNSHIP FOR ALL COSTS ASSOCIATED WITH SAID MAINTENANCE, THE AFOREMENTIONED RIGHTS GRANTED TO THE TOWNSHIP IN NO WAY DIMINISH THE RESPONSIBILITY OF THE OWNER, ASSIGNS OR HEIRS OF SAID MAINTENANCE AND MONITORING, AND NO LIABILITY WILL BE ASSUMED BY THE TOWNSHIP ASSOCIATED WITH REQUIRED ACCESS FOR MAINTENANCE OR MONITORING PURPOSES.
- PRIVATE STORM SEWERS AND SWALES SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

AREA TABULATION

EXISTING AREA:

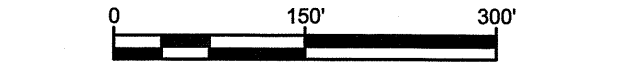
PARCEL ID: 130-4F44-35B-0000 & 130-4F44-35B-0000
OWNER: PIKEWOOD LAND PARTNERS LLC.
DEED INSTRUMENT #201708180017579 & #2020002100002720
AREA: 121.30 ACRES

PROPOSED AREA:

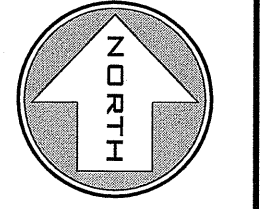
PHASE 2 & 3 (EXISTING): 76.65 ACRES
LOTS 6-8, 301-312: 14.64 ACRES
OPEN SPACE 3: 27.59 ACRES
ROAD RIGHT-OF-WAY: 2.42 ACRES
TOTAL: 121.30 ACRES

PHASE LOT/ UNIT BREAKDOWN

	SINGLE FAMILY	VILLA UNITS	TOTAL
PHASE 1	25	36	61
PHASE 2	52	0	52
PHASE 3	12	32	44
TOTAL	89	68	157



Drawing Scale:
1" = 150'



Waterfront Corporate Park III, Suite 101
2000 Gaughran Drive
Sewickley, PA 15143
P: 724-444-1100
F: 724-444-1104
www.pve-tx.com



Prepared For:
Pikewood Land Partners, LLC
2543 Washington Road
Pittsburgh, PA 15241

This plan has been prepared solely for the benefit of the person(s) named above and for the project noted on this drawing. The use of this plan by any third party, or for any other purpose other than specified, is prohibited without written consent from PVE Shaffer, LLC.



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DATE ISSUED: DECEMBER 06, 2019

PLAN REVISIONS	
DATE	DESCRIPTION
4 09/10/2020	UPDATED SIDEYARD SETBACKS
5 10/23/2020	UPDATED PROPERTY LINES
6 01/22/2021	EASEMENT ADJUSTMENTS
7 02/18/2022	REQUESTED REVISIONS
8 03/08/2022	REQUESTED REVISIONS
9 10/03/2022	LOT CONFIGURATION REVISIONS
10 12/08/2022	AS-PER PLANS
11 12/12/2022	EASEMENT ADJUSTMENTS
12 02/14/2023	AS-PER SET
13 06/20/2024	ADDITIONAL LOTS 301-312
14 08/29/2024	ADDITION OF VILLA OUTLINES

Situate In:
Cranberry Township, Butler County, Pennsylvania

Project Name:
LAUREL POINTE
Phase 3

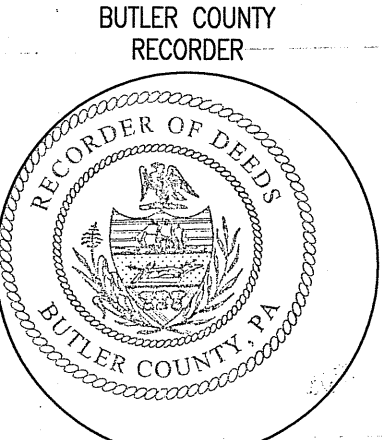
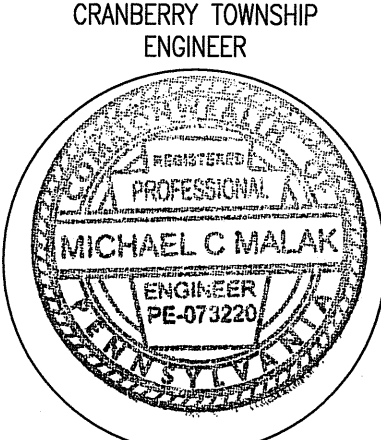
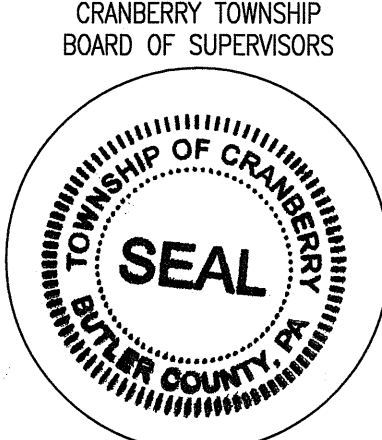
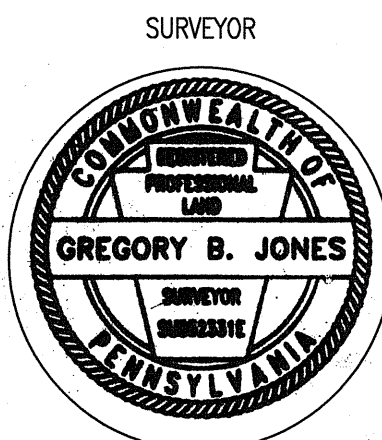
Drawing Name:
Plan of Recording
Page 1 of 5

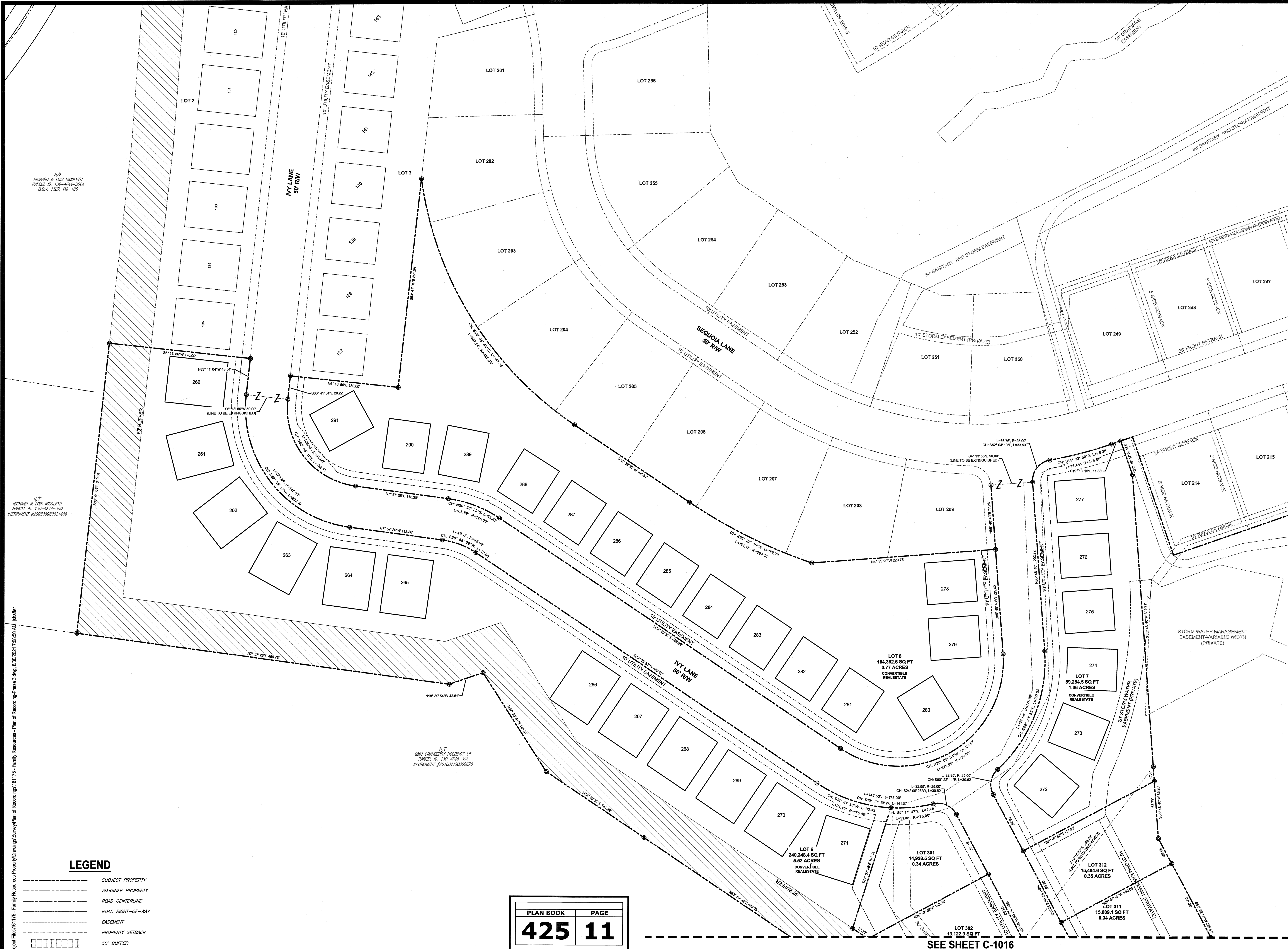
Project No: 161175
Drawing No: C-1014

LEGEND

- SUBJECT PROPERTY
- ADJOINER PROPERTY
- ROAD CENTERLINE
- ROAD RIGHT-OF-WAY
- EASEMENT
- PROPERTY SETBACK
- 50' BUFFER

PLAN BOOK	PAGE
425	10





N/F
RICHARD & LOS NICOLETTI
PARCEL ID: 130-4F44-35B-0000
D.B.V. 1387, PG. 180

N/F
RICHARD & LOS NICOLETTI
PARCEL ID: 130-4F44-35B-0000
INSTRUMENT #202008021405

N/F
RICHARD & LOS NICOLETTI
PARCEL ID: 130-4F44-35B-0000
INSTRUMENT #202008021405

N/F
CRANBERRY HOLDINGS LP
PARCEL ID: 130-4F44-35B-0000
INSTRUMENT #201801120020878

LEGEND

- SUBJECT PROPERTY
- ADJOINER PROPERTY
- ROAD CENTERLINE
- ROAD RIGHT-OF-WAY
- EASEMENT
- PROPERTY SETBACK
- 50' BUFFER

PLAN BOOK	PAGE
425	11

SEE SHEET C-1016

GENERAL NOTES

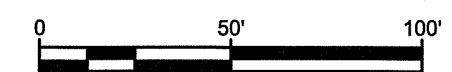
- AS PER THE APPROVED STORM WATER MANAGEMENT PLAN, THE TOWNSHIP SHALL HAVE RIGHT OF ACCESS TO THE ON-SITE DETENTION FACILITY FOR THE RIGHT OF MAINTENANCE MONITORING, AND/OR SAMPLING, IN THE EVENT THE OWNER ASSIGNS OR HEIRS DO NOT ADEQUATELY MAINTAIN OR MONITOR THE FACILITY. THE OWNER, ASSIGNS OR HEIRS SHALL REIMBURSE THE TOWNSHIP FOR ALL COSTS ASSOCIATED WITH SAID MAINTENANCE. THE AFORESAID RIGHTS GRANTED TO THE TOWNSHIP IN NO WAY DIMINISH THE RESPONSIBILITY OF THE OWNER, ASSIGNS OR HEIRS OF SAID MAINTENANCE AND MONITORING, AND NO LIABILITY WILL BE ASSUMED BY THE TOWNSHIP ASSOCIATED WITH REQUIRED ACCESS FOR MAINTENANCE OR MONITORING PURPOSES.
- PRIVATE STORM SEWERS AND SWALES SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

AREA TABULATION

EXISTING AREA:	
PARCEL ID: 130-4F44-35B-0000 & 130-4F44-35B-0000	
OWNER: PIKEWOOD LAND PARTNERS LLC.	
DEED INSTRUMENT #201708180017579 & #202002100020720	
AREA: 121.30 ACRES	
PROPOSED AREA:	
PHASE 2 & 3 (EXISTING):	76.65 ACRES
LOTS 6-8, 301-312:	14.64 ACRES
OPEN SPACE 3:	27.59 ACRES
ROAD RIGHT-OF-WAY:	2.42 ACRES
TOTAL:	121.30 ACRES

PHASE LOT/ UNIT BREAKDOWN

	SINGLE FAMILY	VILLA UNITS	TOTAL
PHASE 1	25	36	61
PHASE 2	52	0	52
PHASE 3	12	32	44
TOTAL	89	68	157



Drawing Scale:
1" = 50'



Waterfront Corporate Park II, Suite 101
2000 Georgiowine Drive
Sewickley, PA 15143
P: 724-444-1100
F: 724-444-1104
www.pve-lc.com

PVE
Civil Engineering | Land Development | Structure Design
Land Planning | Landscape Architecture | Environmental

Prepared For:
Pikewood Land Partners, LLC
2543 Washington Road
Pittsburgh, PA 15241

This plan has been prepared solely for the benefit of the person(s) named above and for the project noted on this drawing. The use of this plan by any other party, for any other purpose other than specified, is prohibited without written consent from PVE Sewickley, LLC.

811 Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGENCIES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DATE ISSUED:		DECEMBER 06, 2019	
PLAN REVISIONS			
DATE	DESCRIPTION		
09/10/2020	UPDATED SIDEYARD SETBACKS	4	
10/23/2020	UPDATED PROPERTY LINES	5	
01/22/2021	EASEMENT ADJUSTMENTS	6	
02/18/2022	REQUESTED REVISIONS	7	
03/08/2022	REQUESTED REVISIONS	8	
10/03/2022	LOT CONFIGURATION REVISIONS	9	
12/08/2022	AS-PER PLANS	10	
12/14/2022	EASEMENT ADJUSTMENTS	11	
02/14/2023	AS-PER SET	12	
05/30/2024	ADDITIONAL LOTS 301-312	13	
08/29/2024	ADDITION OF VILLA OUTLINES	14	

Situate In:
Cranberry Township, Butler County, Pennsylvania

Project Name:
LAUREL POINTE
Phase 3

Drawing Name:
Plan of Recording
Page 2 of 5

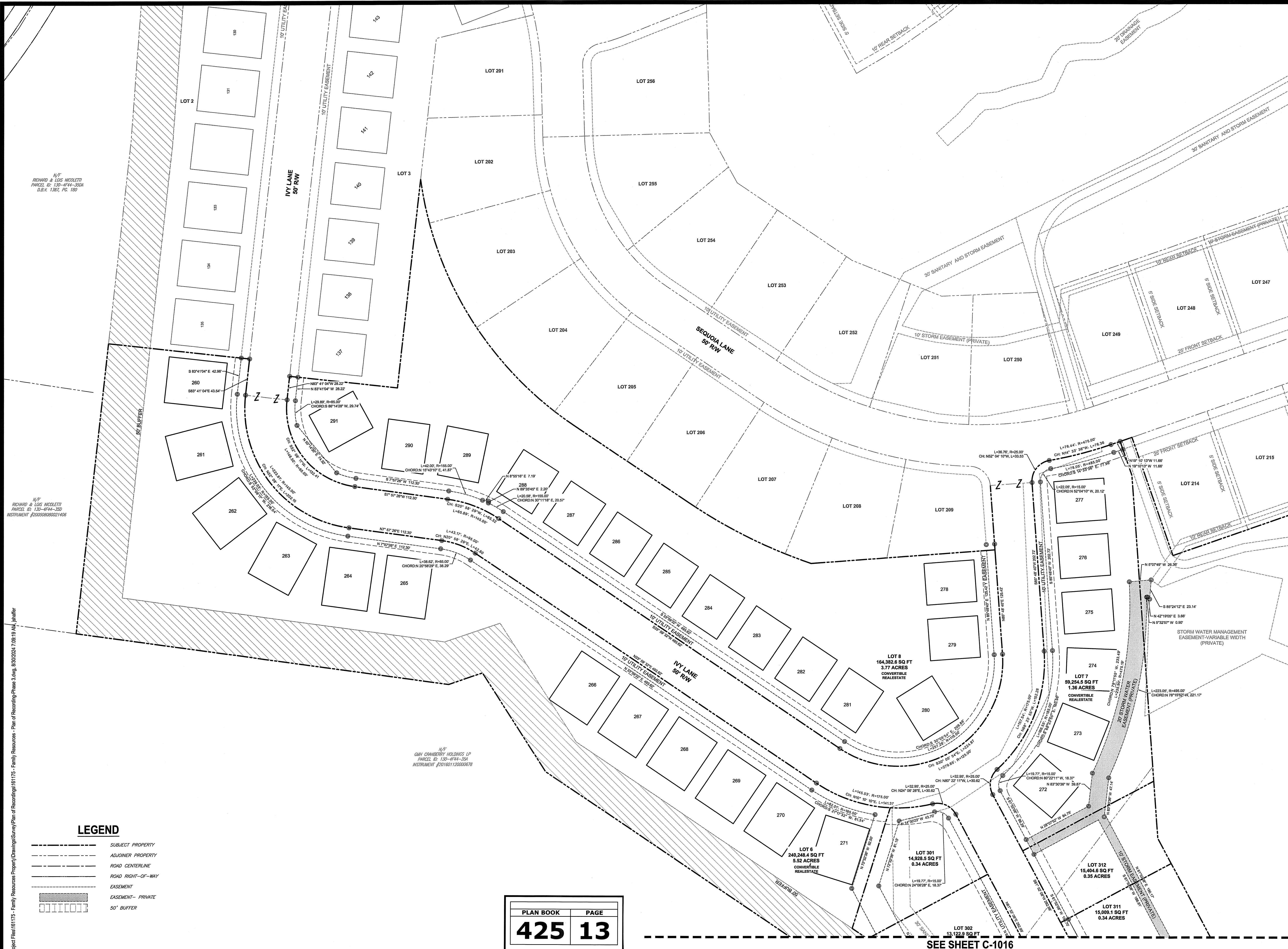
Project No:
161175
Drawing No:
C-1015



SUBJECT PROPERTY
ADJOINER PROPERTY
ROAD CENTERLINE
ROAD RIGHT-OF-WAY
EASEMENT
PROPERTY SETBACK
50' BUFFER

PLAN BOOK	PAGE
425	12

161175	C-1016
---------------	---------------



N/F
RICHARD & LOS NICOLETTI
PARCEL ID: 130-4F44-350A
D.B.V. 1387, PG. 180

N/F
RICHARD & LOS NICOLETTI
PARCEL ID: 130-4F44-350B
INSTRUMENT #20200020021605

Project File: 161175 - Family Resources Property Drawings/Survey/Plan of Recordings/Phase 3.dwg, 8/30/2024 7:08:19 AM, jshaller

LEGEND

- SUBJECT PROPERTY
- ADJOINER PROPERTY
- ROAD CENTERLINE
- ROAD RIGHT-OF-WAY
- EASEMENT
- EASEMENT- PRIVATE
- 50' BUFFER

PLAN BOOK	PAGE
425	13

SEE SHEET C-1016

GENERAL NOTES

- AS PER THE APPROVED STORM WATER MANAGEMENT PLAN, THE TOWNSHIP SHALL HAVE RIGHT OF ACCESS TO THE ON-SITE DETENTION FACILITY FOR THE RIGHT OF MAINTENANCE MONITORING, AND/OR SAMPLING IN THE EVENT THE OWNER ASSIGNS OR HEIRS DO NOT ADEQUATELY MAINTAIN OR MONITOR THE FACILITY. THE OWNER, ASSIGNS OR HEIRS SHALL REIMBURSE THE TOWNSHIP FOR ALL COSTS ASSOCIATED WITH SAID MAINTENANCE. THE APPOINTMENTED RIGHTS GRANTED TO THE TOWNSHIP IN NO WAY DIMINISH THE RESPONSIBILITY OF THE OWNER, ASSIGNS OR HEIRS OF SAID MAINTENANCE AND MONITORING, AND NO LIABILITY WILL BE ASSUMED BY THE TOWNSHIP ASSOCIATED WITH REQUIRED ACCESS FOR MAINTENANCE OR MONITORING PURPOSES.
- PRIVATE STORM SEWERS AND SWALES SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

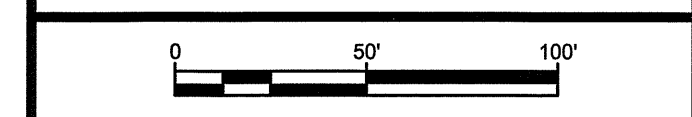
AREA TABULATION

EXISTING AREA:
PARCEL ID: 130-4F44-350B-0000
OWNER: PIKEWOOD LAND PARTNERS LLC.
DEED INSTRUMENT #201708180017579 & #2020002100002720
AREA: 121.30 ACRES

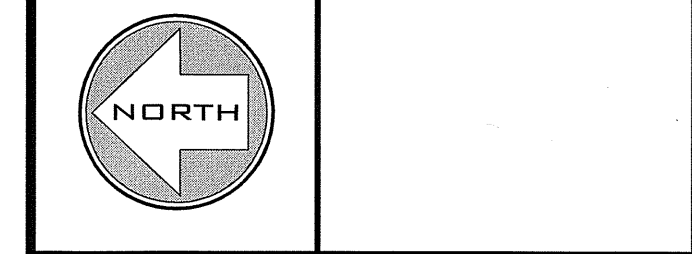
PROPOSED AREA:
PHASE 2 & 3 (EXISTING): 76.65 ACRES
LOTS 6-8, 301-312: 14.64 ACRES
OPEN SPACE 3: 27.59 ACRES
ROAD RIGHT-OF-WAY: 2.42 ACRES
TOTAL: 121.30 ACRES

PHASE LOT/ UNIT BREAKDOWN

	SINGLE FAMILY	VILLA UNITS	TOTAL
PHASE 1	25	36	61
PHASE 2	52	0	52
PHASE 3	12	32	44
TOTAL	89	68	157



Drawing Scale:
1" = 50'



Waterfront Corporate Park II, Suite 101
2000 Georgianna Drive
Stowickley, PA 15143
P: 724-444-1100
F: 724-444-1104
www.pve-llc.com



Prepared For:
Pikewood Land Partners, LLC
2543 Washington Road
Pittsburgh, PA 15241

This plan has been prepared solely for the benefit of the person(s) named above and for the project noted on this drawing. The use of this plan by any third party, or for any other purpose other than specified, is prohibited without written consent from PVE Shaffer, L.L.C.



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DATE ISSUED: DECEMBER 06, 2019

DATE	DESCRIPTION
09/10/2020	UPDATED SIDEYARD SETBACKS
10/23/2020	UPDATED PROPERTY LINES
01/22/2021	EASEMENT ADJUSTMENTS
02/18/2022	REQUESTED REVISIONS
03/08/2022	REQUESTED REVISIONS
10/03/2022	LOT CONFIGURATION REVISIONS
12/08/2022	AS-PER PLANS
12/12/2022	EASEMENT ADJUSTMENTS
02/14/2023	AS-PER SET
05/30/2024	ADDITIONAL LOTS 301-312
08/29/2024	ADDITION OF VILLA OUTLINES

Situate In:
Cranberry Township, Butler County, Pennsylvania

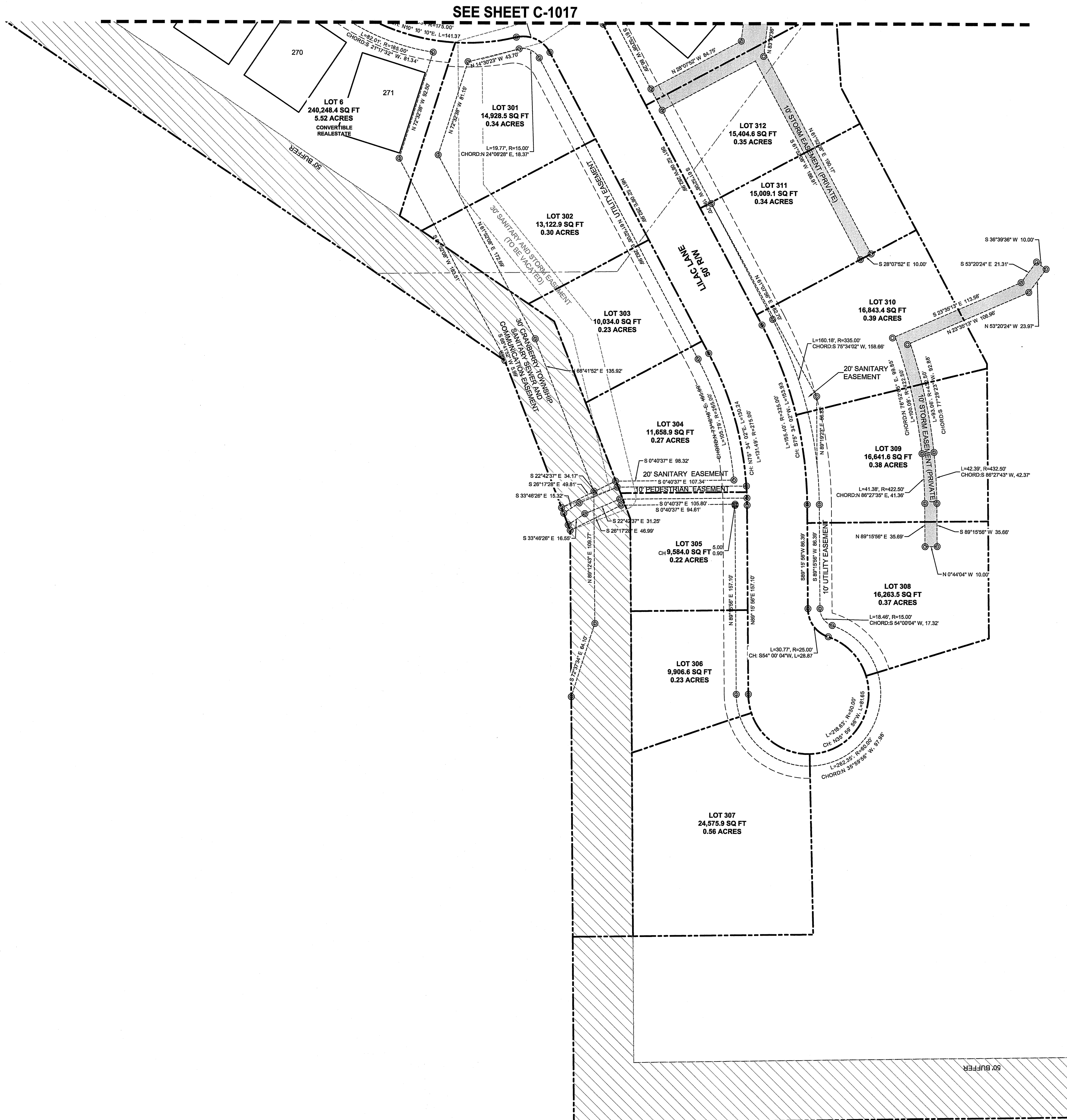
Project Name:
**LAUREL POINTE
Phase 3**

Drawing Name:
**Plan of Recording
Page 4 of 5**

Project No: **161175**
Drawing No: **C-1017**

J:\Project Files\161175 - Family Resources Property\Drawings\Survey\Plan of Recording-Phase 3.dwg, 8/30/2024 7:10:48 AM, jstahler

LEGEND	
	SUBJECT PROPERTY
	ADJOINER PROPERTY
	ROAD CENTERLINE
	ROAD RIGHT-OF-WAY
	EASEMENT
	EASEMENT - PRIVATE
	50' BUFFER



GENERAL NOTES

- AS PER THE APPROVED STORM WATER MANAGEMENT PLAN, THE TOWNSHIP SHALL HAVE RIGHT OF ACCESS TO THE ON-SITE DETENTION FACILITY FOR THE RIGHT OF MAINTENANCE MONITORING, AND/OR SAMPLING. IN THE EVENT THE OWNER ASSIGNS OR HEIRS DO NOT ADEQUATELY MAINTAIN OR MONITOR THE FACILITY, THE OWNER, ASSIGNS OR HEIRS SHALL REIMBURSE THE TOWNSHIP FOR ALL COSTS ASSOCIATED WITH SAID MAINTENANCE. THE AFOREMENTIONED RIGHTS GRANTED TO THE TOWNSHIP IN NO WAY DIMINISH THE RESPONSIBILITY OF THE OWNER, ASSIGNS OR HEIRS OF SAID MAINTENANCE AND MONITORING, AND NO LIABILITY WILL BE ASSUMED BY THE TOWNSHIP ASSOCIATED WITH REQUIRED ACCESS FOR MAINTENANCE OR MONITORING PURPOSES.
- PRIVATE STORM SEWERS AND SWALES SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

AREA TABULATION

EXISTING AREA:

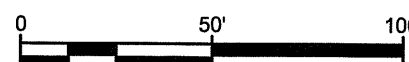
PARCEL ID: 130-4F44-35B-0000 &
130-4F44-35B8-0000
OWNER: PIKEWOOD LAND PARTNERS LLC.
DEED INSTRUMENT #201708160017579 &
#2020002100002720
AREA: 121.30 ACRES

PROPOSED AREA:

PHASE 2 & 3 (EXISTING):	76.65 ACRES
LOTS 6-8, 301-312:	14.64 ACRES
OPEN SPACE 3:	27.59 ACRES
ROAD RIGHT-OF-WAY:	2.42 ACRES
TOTAL:	121.30 ACRES

PHASE LOT/ UNIT BREAKDOWN

	SINGLE FAMILY	VILLA UNITS	TOTAL
PHASE 1	25	36	61
PHASE 2	52	0	52
PHASE 3	12	32	44
TOTAL	89	68	157

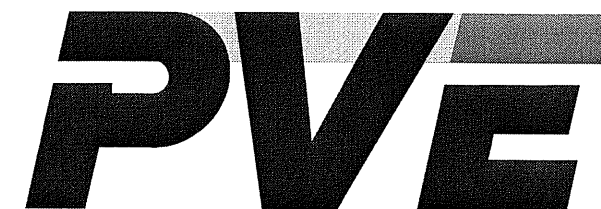


Drawing Scale:
1" = 50'



Waterfront Corporate Park III, Suite 101
2000 Georgetown Drive
Sewickley, PA 15143

P: 724-444-1100
F: 724-444-1104
www.pve-llc.com



Civil Engineering | Land Development | Structure Design
Land Planning | Landscape Architecture | Environmental

Prepared For:

Pikewood Land Partners, LLC
2543 Washington Road
Pittsburgh, PA 15241

This plan has been prepared solely for the benefit of the person(s) named above and for the project stated on this drawing. The use of this plan for any other purpose, or for any other purpose other than specified, is prohibited without written consent from PVE Shaffer, L.L.C.



Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DATE ISSUED: DECEMBER 06, 2019

PLAN REVISIONS	
DATE	DESCRIPTION
09/10/2020	UPDATED SIDEYARD SETBACKS
10/23/2020	UPDATED PROPERTY LINES
01/22/2021	EASEMENT ADJUSTMENTS
02/18/2022	REQUESTED REVISIONS
03/08/2022	REQUESTED REVISIONS
10/03/2022	LOT CONFIGURATION REVISIONS
12/08/2022	AS-PER PLANS
12/12/2022	EASEMENT ADJUSTMENTS
02/14/2023	AS-PER SET
05/30/2024	ADDITIONAL LOTS 301-312
08/28/2024	ADDITION OF VILLA OUTLINES

Situate In:

Cranberry Township, Butler County, Pennsylvania

Project Name:

LAUREL POINTE
Phase 3

Drawing Name:

Plan of Recording
Page 5 of 5

Project No:

161175

Drawing No:

C-1018

PLAN BOOK	PAGE
425	14

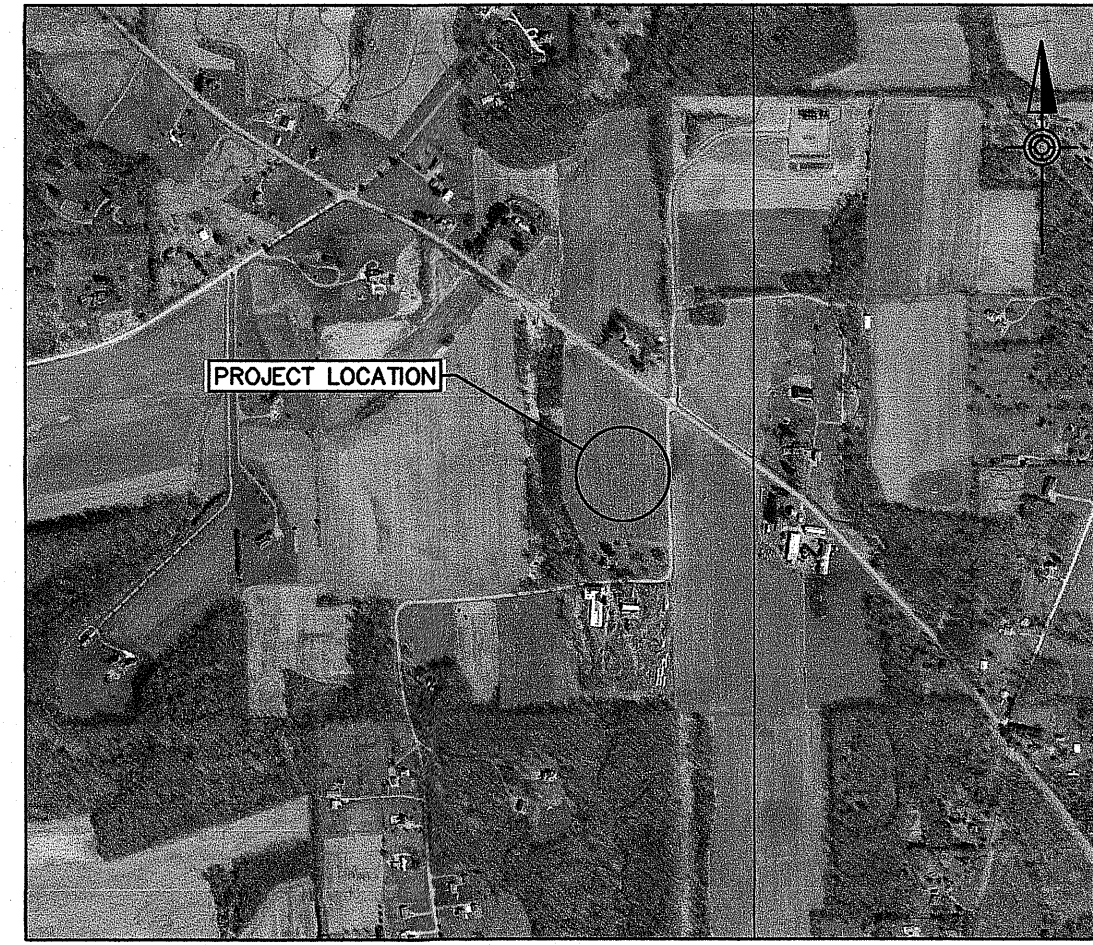
POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

FOR

FOUR SEASONS FARM LLC - AG BMP PROJECT

PENN TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

Instr: 202503050002782
Top: 7 P: 12:05:00
Michele Muscolo
Butler County Recorder PA



LOCATION MAP
SCALE: 1"=2000'

HRG
HERBERT, ROWLAND & GRUBIC, INC.
220 WEST KENSINGER DRIVE
SUITE 100
CRANBERRY TOWNSHIP, PA 16066
724.779.4777 | hrg-inc.com

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
FOR
FOUR SEASONS FARM LLC - AG BMP PROJECT
FOUR SEASONS FARM, LLC
120 ROYAL OAK DRIVE
BUTLER, PA 16002
PENN TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

PROPOSED LEGEND

	PROPOSED MONUMENT		PROPOSED ABOVE GROUND TELEPHONE LINE	
	PROPOSED REBAR		PROPOSED UNDERGROUND TELEPHONE LINE	
	PROPOSED PROPERTY LINE		PROPOSED TELEPHONE - DIRECT BURIED	
	PROPOSED EASEMENT		PROPOSED ABOVE GROUND CABLE TV LINE	
	PROPOSED/REQUIRED RIGHT-OF-WAY LINE		PROPOSED UNDERGROUND CABLE TV LINE	
	PROPOSED CONTOUR		PROPOSED ABOVE GROUND TELEPHONE AND CABLE TV LINE	
	PROPOSED SPOT ELEVATION		PROPOSED ABOVE GROUND FIBER OPTIC LINE	
	PROPOSED BOTTOM OF CURB SPOT ELEVATION		PROPOSED UNDERGROUND FIBER OPTIC LINE	
	PROPOSED TOP OF CURB SPOT ELEVATION		PROPOSED CONDUIT	
	PROPOSED HIGH POINT SPOT ELEVATION		PROPOSED CABLE TV PEDESTAL	
	PROPOSED LOW POINT SPOT ELEVATION		PROPOSED TELEPHONE PEDESTAL	
	PROPOSED TOP OF WALL SPOT ELEVATION		PROPOSED TELEPHONE MANHOLE	
	PROPOSED FINISHED GRADE AT WALL FACE SPOT ELEVATION		PROPOSED TELEPHONE POLE	
	PROPOSED DITCH OR SWALE		PROPOSED ABOVE GROUND ELECTRIC LINE	
	PROPOSED BITUMINOUS WEDGE CURB		PROPOSED UNDERGROUND ELECTRIC LINE	
	PROPOSED CURB		PROPOSED ELECTRIC - DIRECT BURIED	
	PROPOSED CONCRETE SIDEWALK		PROPOSED ABOVE GROUND ELECTRIC AND TELEPHONE LINE	
	PROPOSED ACCESSIBLE RAMP		PROPOSED ABOVE GROUND ELECTRIC AND CABLE TV LINE	
	PROPOSED TYPE 2-S GUIDE RAIL		PROPOSED ABOVE GROUND ELECTRIC, TELEPHONE AND CABLE TV LINE	
	PROPOSED PARKING SPACE QUANTITY TAG		PROPOSED ELECTRIC POLE	
	PROPOSED BUILDING ENTRANCE		PROPOSED PRIVATE UTILITY POLE	
	PROPOSED FENCE		PROPOSED GUY POLE	
	PROPOSED FENCE		PROPOSED GUY WIRE	
	PROPOSED SIGN		PROPOSED ELECTRICAL BOX	
	PROPOSED SIGN		PROPOSED ELECTRICAL MANHOLE	
	PROPOSED DOUBLE SIGN		PROPOSED LIGHT STANDARD	
	PROPOSED BOLLARD		PROPOSED TRAFFIC SIGNAL POLE	
	LIMIT OF DISTURBANCE		PROPOSED GAS LINE	
	TOPSOIL STOCKPILE		PROPOSED GAS VALVE	
	ROCK CONSTRUCTION ENTRANCE		PROPOSED GAS METER	
	SEDIMENT TRAP		PROPOSED STORM SEWER & INLET	
	ROCK FILTER		PROPOSED UNDERGROUND DETENTION	
	SILT FENCE		CORRUGATED METAL PIPE	
	SILT FENCE - 18" HIGH		SMOOTH LINED CORRUGATED PLASTIC PIPE	
	SILT FENCE - 30" HIGH		HDPPE	HIGH DENSITY POLYETHYLENE
	SUPER SILT FENCE		RCP	REINFORCED CONCRETE PIPE
	SILT SOXX		PVC	POLYVINYL CHLORIDE
	SILT SOXX - 8"		DIP	DUCTILE IRON PIPE
	SILT SOXX - 12"		PD	PROPOSED PERIMETER DRAIN LINE
	SILT SOXX - 18"		RD	PROPOSED ROOF DRAIN LINE
	SILT SOXX - 24"		S	PROPOSED SANITARY LINE
	INLET PROTECTION		FM	PROPOSED FORCEMAIN LINE
	EROSION CONTROL BLANKET		●	PROPOSED SANITARY/STORM MANHOLE
	DRAINAGE BASIN		○ CO	PROPOSED SANITARY CLEANOUT
	INLET DRAINAGE BASIN		⊙	PROPOSED MONITORING WELL
	CHANNEL FLOW		Ⓢ	PROPOSED SEPTIC TANK
			—W—	PROPOSED WATER LINE
			Ⓜ	PROPOSED WELL
			Ⓜ WV	PROPOSED WATER VALVE
			□ FH	PROPOSED FIRE HYDRANT
			Ⓜ WM	PROPOSED WATER METER
			○	PROPOSED WATER SPIGOT

EXISTING LEGEND

X	Angle Iron	—T—	Existing Above Ground Telephone Line
⊕	Axle	—TU—	Existing Underground Telephone Line
⊕	Drill Hole	—DBT—	Existing Telephone - Direct Buried
⊕	Hub	—CTV—	Existing Above Ground Cable TV Line
⊕	Monument	—CTW—	Existing Underground Cable TV Line
⊕	Nail	—T,CTV—	Existing Above Ground Telephone and Cable TV Line
⊕	Iron Pipe	—FO—	Existing Above Ground Fiber Optic Line
⊕	Iron Pin	—FOU—	Existing Underground Fiber Optic Line
⊕	PK Nail	—C—	Existing Conduit
⊕	Rail Road Spike	□	Existing Cable TV Pedestal
⊕	Benchmark	⊕	Existing Telephone Pedestal
⊕	Stone Monument	⊕ Tel. MH	Existing Telephone Manhole
⊕	Tree Monument	⊕	Existing Telephone Pole
⊕	Railroad Track	—E—	Existing Above Ground Electric Line
⊕	Municipal Boundaries	—EU—	Existing Underground Electric Line
⊕	Property Line	—DBE—	Existing Electric - Direct Buried
⊕	Legal Right-of-Way Line	—E,T—	Existing Above Ground Electric and Telephone Line
⊕	Setback Line	—E,CTV—	Existing Above Ground Electric and Cable TV Line
⊕	Zoning Boundaries	—E,T,CTV—	Existing Above Ground Electric, Telephone and Cable TV Line
⊕	Soil Boundaries	⊕	Existing Electrical Manhole
⊕	Existing Easement	⊕	Existing Electric Pole
⊕	Floodplain	⊕	Existing Private Utility Pole
⊕	Existing Contour Major	⊕	Existing Guy Pole
⊕	Existing Contour Minor	⊕	Existing Light Standard
⊕	Existing Stream Line	⊕	Existing Guy Wire
⊕	Existing Ground Elevation	⊕	Existing Electrical Box
⊕	Existing Ditch Or Swale	⊕	Existing Traffic Signal Pole
⊕	Existing Shrub	⊕	Control Box
⊕	Existing Coniferous Tree	⊕	Existing Gas Line
⊕	Existing Deciduous Tree	⊕	Existing Petroleum Pipeline
⊕	Tree/Brush Line	⊕	Existing Gas Manhole
⊕	Shrub Row	⊕	Existing Gas Valve
⊕	Wetland Flag	⊕	Existing Gas Meter
⊕	Road Centerline	⊕	Existing Sanitary Sewer Line
⊕	Existing Curb	⊕	Existing Forcemain Line
⊕	Existing Edge of Road	⊕	Existing Storm Sewer Line
⊕	Existing Edge of Gravel	⊕	Existing Sanitary Sewer Manhole
⊕	Existing Guide Rail	⊕	Existing Cleanout
⊕	Existing Fence	⊕	Existing Septic Tank
⊕	Existing Fence Post	⊕	Existing Storm Sewer Inlet
⊕	Existing Stone Wall	⊕	Existing Storm Sewer Manhole
⊕	Existing Retaining Wall	⊕	Probe (passed)
⊕	Existing Field	⊕	Probe (failed)
⊕	Existing Sign	⊕	Perc (passed)
⊕	Existing Sign And Posts	⊕	Perc (failed)
⊕	Existing One-Sided Billboard	⊕	Existing Water Line
⊕	Existing Two-Sided Billboard	⊕	Existing Well
⊕	Existing Rail Road Sign	⊕	Existing Water Valve
⊕	Existing Rail Road Crossing Gate	⊕	Existing Fire Hydrant
⊕	Existing Rail Road Signal Light	⊕	Existing Water Meter
⊕	Existing Ballard	⊕	Existing Water Spigot
⊕	Existing Road Delineation Post	⊕	Existing Monitoring Well
⊕	Existing Flag Pole		
⊕	Existing Lamp Post		
⊕	Existing Post		
⊕	Existing Mailbox		

Sheet List Table		
Sheet Number	Sheet Description	Sheet Title
01	CV-1	COVER SHEET
02	EC-1	EXISTING CONDITIONS
03	PC-1	STORMWATER MANAGEMENT PLAN
04	PR-1	STORMWATER PROFILES
05	PCNT-1	PCSM PLAN NOTES
06	PCDT-1	PCSM PLAN DETAILS
07	PCDT-2	PCSM PLAN DETAILS

ACKNOWLEDGEMENT OF DESIGN PROFESSIONAL

I, DANIEL J. BARNA, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE PENN TOWNSHIP, BUTLER COUNTY, STORMWATER MANAGEMENT ORDINANCE.

DANIEL J. BARNA
3/3/2025

ACKNOWLEDGEMENT OF NOTARY PUBLIC

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED Daniel J. Barna, THE ABOVE NAMED ENGINEER.

WITNESS MY HAND AND NOTARIAL SEAL THIS 3 DAY OF March, 2025

(SEAL)

Commonwealth of Pennsylvania - Notary Seal
Kirsten K. Bender, Notary Public
Butler County
My commission expires April 11, 2028
Commission number 1288346
Member, Pennsylvania Association of Notaries

PA ONE CALL

ACT 287, AS AMENDED



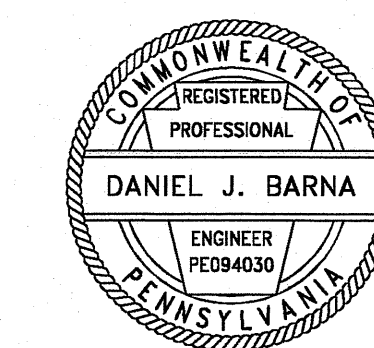
PENNSYLVANIA ACT 287 (1974) AS AMENDED, REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH, PA ONE-CALL SERIAL NO. 20240862202 HAS BEEN ASSIGNED TO THIS PROJECT ON 03-26-2024.

PA ONE CALL-UTILITY LIST

ADAMS TOWNSHIP MUNICIPAL WATER AUTHORITY	(724) 625-3166
PEOPLES GAS COMPANY LLC	(412) 258-4415
BRIGHTSPEED	(704) 314-2503
FIRSTENERGY CORPORATION	(330) 604-4073
MARKWEST LIBERTY MIDSTREAM AND RESOURCES	(724) 579-0786
PENNENERGY RESOURCES LLC	(412) 432-9217
PENN TOWNSHIP BUTLER COUNTY	(724) 285-9317

PLAN BOOK	PAGE
425	15

PROFESSIONAL SEAL:



HRG PROJECT NUMBER: 010340.0425

PLAN DATE: JUNE 2024

DRAWING SCALE: AS SHOWN

PROJ. MANAGER: ERIN G. LETAVIC

REVISIONS		DESCRIPTION
NO.	DATE	DESCRIPTION
1	JUNE 2024	NPDES COMPLETION COMMENTS
2	JULY 2024	NPDES COMPLETION COMMENTS #2
3	JULY 2024	NPDES TECHNICAL COMMENTS
4		
5		
6		
7		
8		
9		

SHEET TITLE:
COVER SHEET

SHEET:
CV-1 01



POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

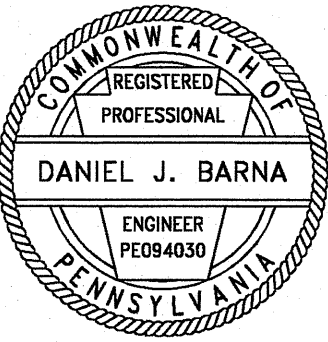
FOUR SEASONS FARM LLC - AG BMP PROJECT

FOUR SEASONS FARM, LLC
120 ROYAL OAK DRIVE
BUTLER, PA 16002

PENN TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

PLAN BOOK	PAGE
425	16

PROFESSIONAL SEAL:



RG PROJECT NUMBER:	010340.0425
LAN DATE:	JUNE 2024
DRAWING SCALE:	AS SHOWN
PROJ. MANAGER:	ERIN G. LETAVIC

REVISIONS		
NO.	DATE	DESCRIPTION
1	JUNE 2024	NPDES COMPLETION COMMENTS
2	JULY 2024	NPDES COMPLETION COMMENTS #2
3	JULY 2024	NPDES TECHNICAL COMMENTS
4		
5		
6		
7		
8		
9		

HEET TITLE:

**EXISTING
CONDITIONS**

HEET:	EC-1	02
-------	------	----

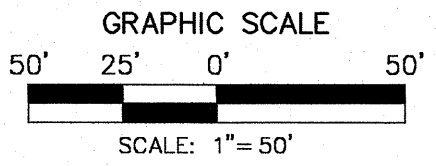
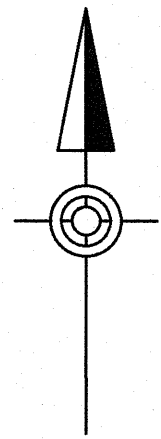


FOR PUSI CONSTRUCTION STORMWATER MANAGEMENT PLAN

CONSTRUCTION STORMWATER MANAGEMENT
FOR
FOUR SEASONS FARM LLC - AG BMP PROJECT

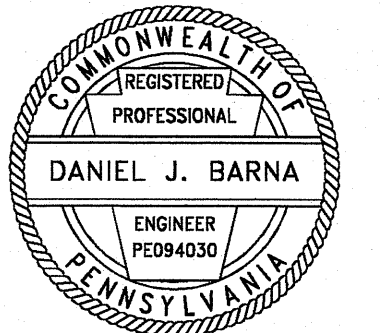
**120 ROYAL OAK DRIVE
BUTLER, PA 16002**

PENN TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA



PLAN BOOK	PAGE
425	17

PROFESSIONAL SEAL:



PROJECT NUMBER: 010340.0425

AN DATE: JUNE 2024

DRAWING SCALE: AS SHOWN

COJ. MANAGER: ERIN G. LETAVIC

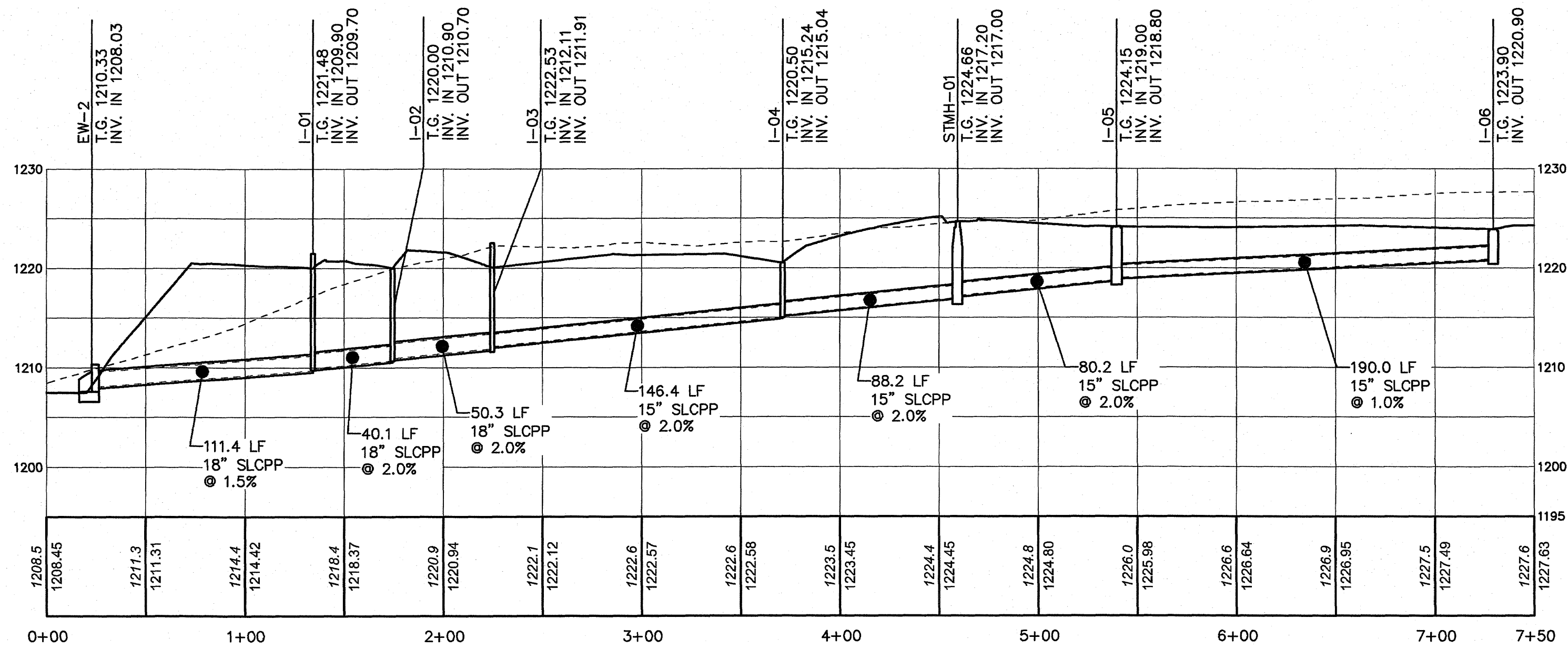
NO.	DATE	DESCRIPTION
1	JUNE 2024	NPDES COMPLETION COMMENTS
2	JULY 2024	NPDES COMPLETION COMMENTS #2
3	JULY 2024	NPDES TECHNICAL COMMENTS
4		
5		
6		
7		
8		
9		

HEET TITLE:

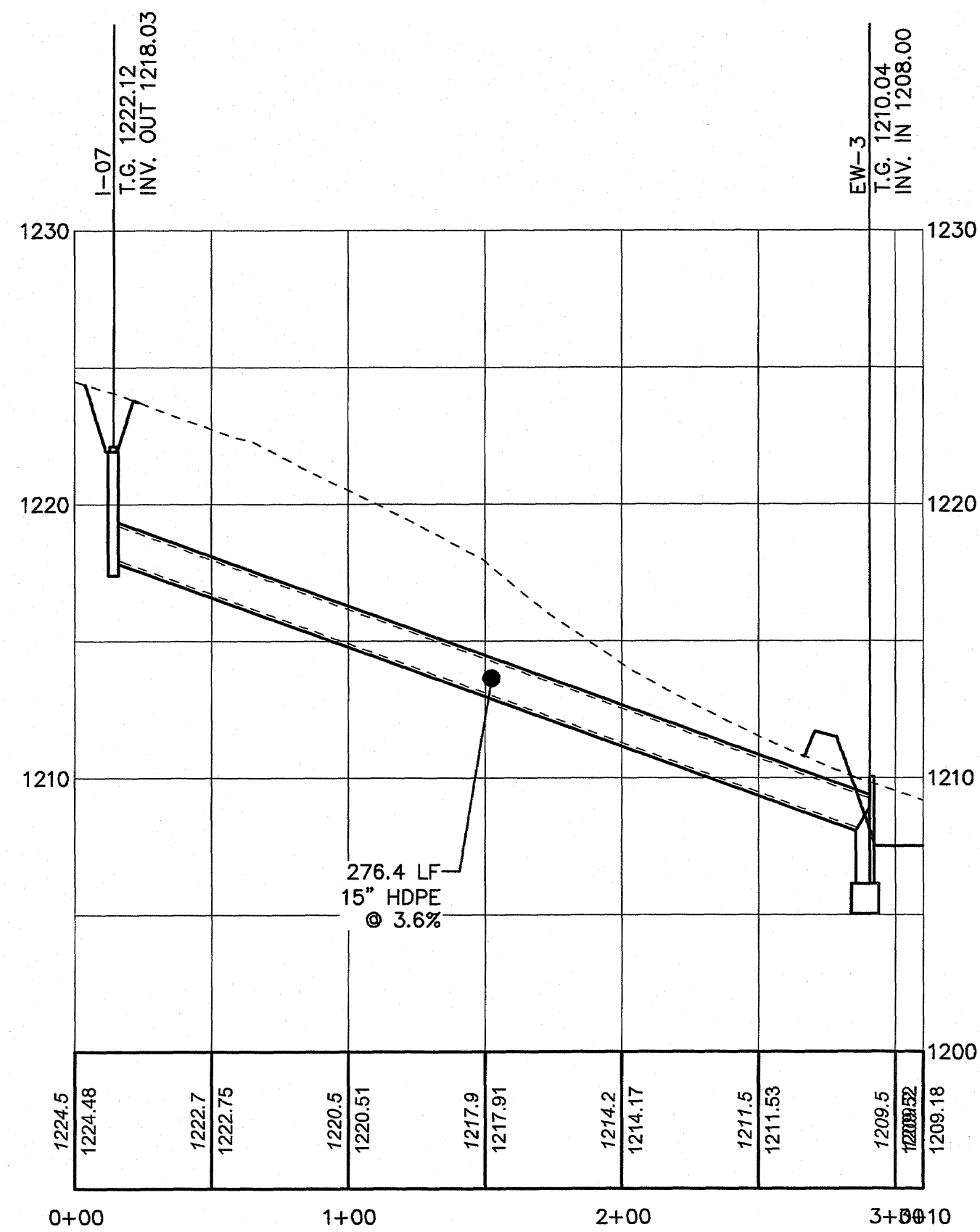
STORMWATER MANAGEMENT PLAN

PC-1

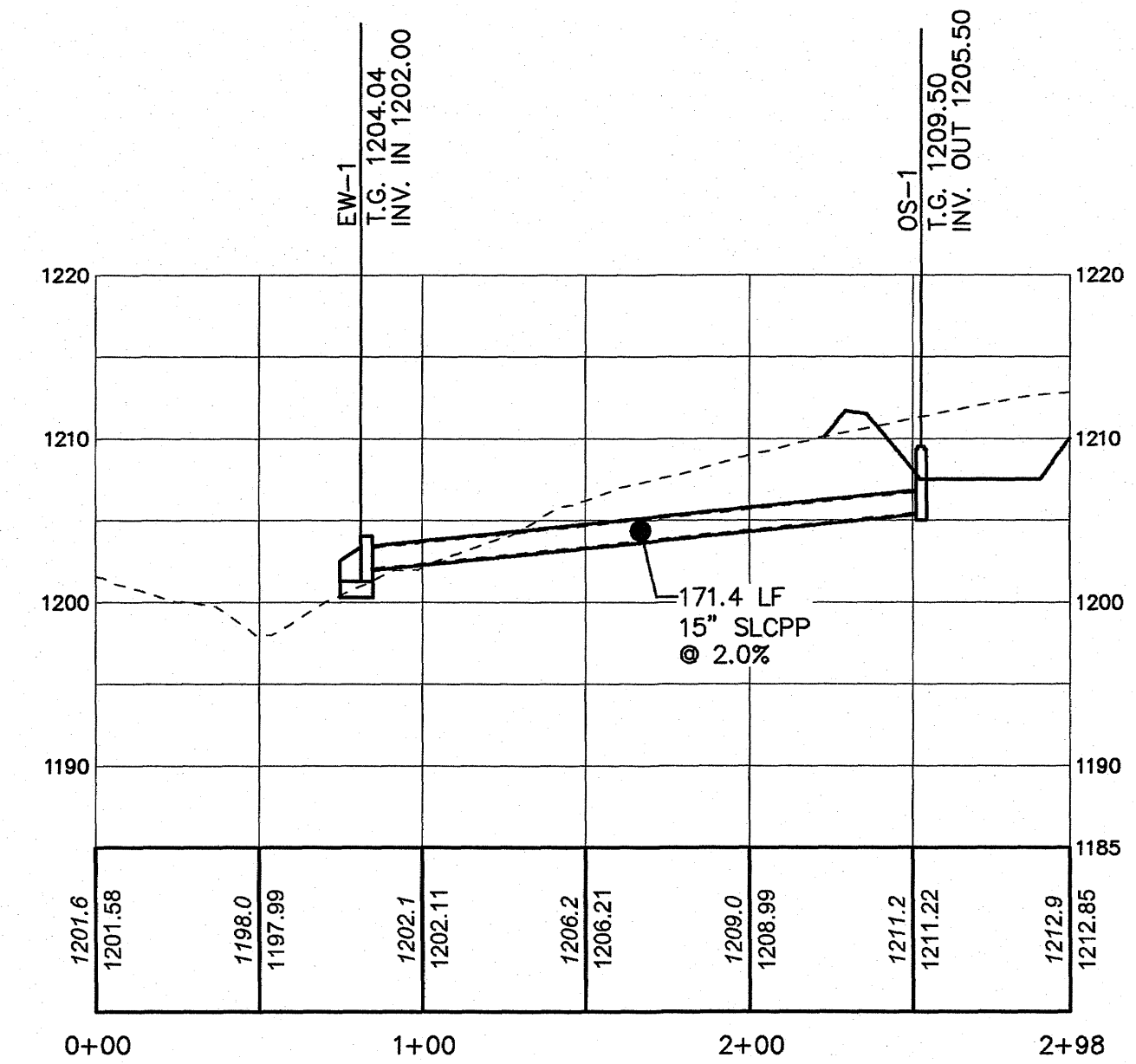
03



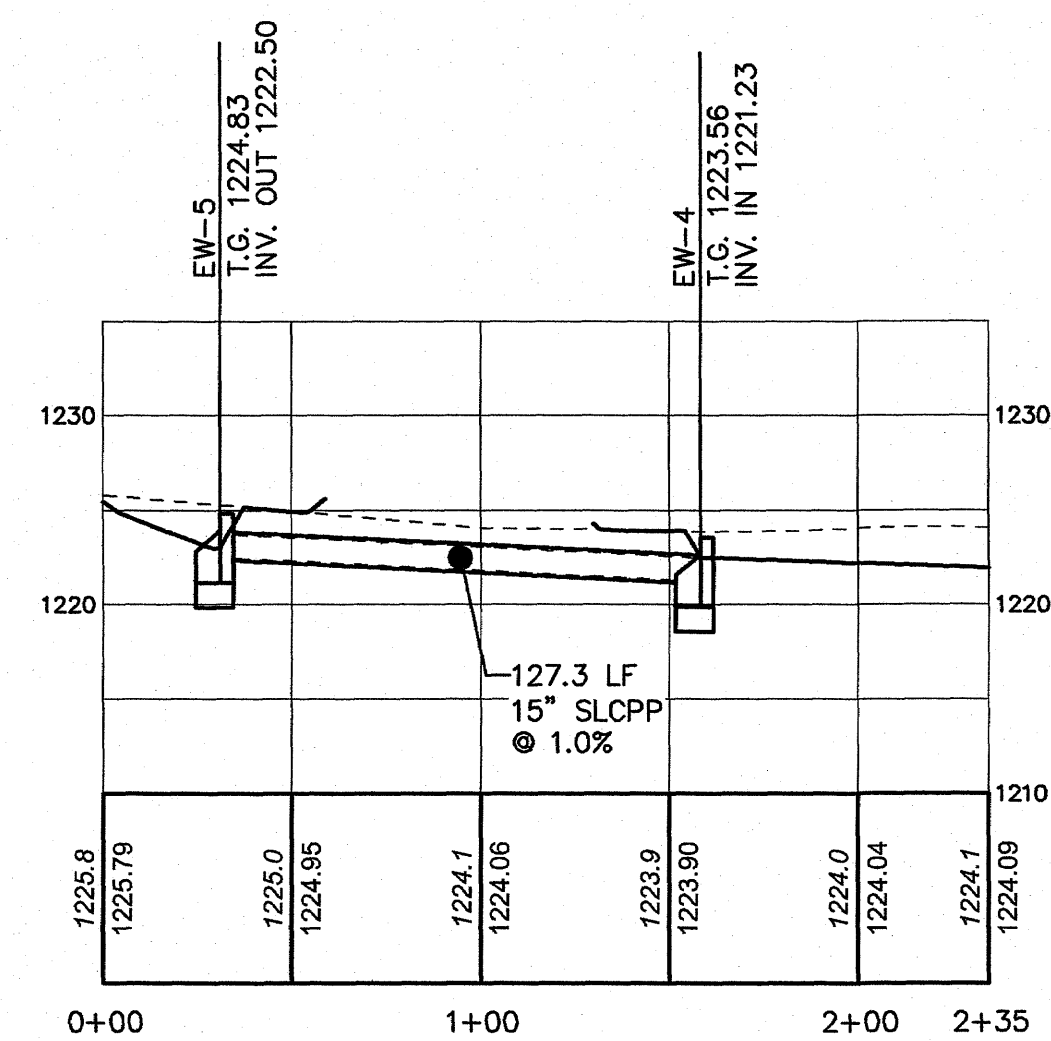
EW-2 to I-06



I-07 to EW-3



OS-1 to EW-1

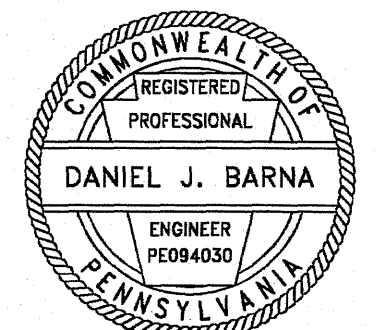


EW-3 to EW-4

PLAN BOOK	PAGE
425	18

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
FOR
FOUR SEASONS FARM LLC - AG BMP PROJECT
FOUR SEASONS FARM, LLC
120 ROYAL OAK DRIVE
BUTLER, PA 16002
PENN TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

PROFESSIONAL SEAL:



HRG PROJECT NUMBER: 010340.0425
PLAN DATE: JUNE 2024
DRAWING SCALE: AS SHOWN
PROJ. MANAGER: ERIN G. LETAVIC

NO.	DATE	DESCRIPTION
1	JUNE 2024	NIDES COMPLETION COMMENTS
2	JULY 2024	NIDES COMPLETION COMMENTS #2
3	JULY 2024	NIDES TECHNICAL COMMENTS
4		
5		
6		
7		
8		
9		

SHEET TITLE:
**STORMWATER
PROFILES**

SHEET: **PR-1** **04**

POST CONSTRUCTION STORMWATER MANAGEMENT STANDARD NOTES

PCSM REQUIREMENTS

A LICENSED PROFESSIONAL OR A DESIGNEE SHALL BE PRESENT ONSITE AND BE RESPONSIBLE DURING CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN. THE CRITICAL STAGES MAY INCLUDE THE INSTALLATION OF UNDERGROUND TREATMENT OR STORAGE BMPS, STRUCTURALLY ENGINEERED BMPS, OR OTHER BMPS AS DEEMED APPROPRIATE BY THE DEPARTMENT OR THE CONSERVATION DISTRICT. THE PCSM PLAN, INSPECTION REPORTS, AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OR THE CONSERVATION DISTRICT.

PCSM LONG TERM OPERATIONS AND MAINTENANCE REQUIREMENTS

THE PERMITTEE OR CO-PERMITTEE SHALL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPS UNLESS A DIFFERENT PERSON IS IDENTIFIED IN THE NOTICE OF TERMINATION AND HAS AGREED TO LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPS. A PERMITTEE OR CO-PERMITTEE THAT FAILS TO TRANSFER LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP OR OTHERWISE FAILS TO COMPLY WITH THIS REQUIREMENT SHALL REMAIN JOINTLY AND SEVERALLY RESPONSIBLE WITH THE LANDOWNER FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPS LOCATED ON THE PROPERTY.

PERMIT TERMINATION

UPON PERMANENT STABILIZATION OF THE EARTH DISTURBANCE ACTIVITY AND INSTALLATION OF BMPS IN ACCORDANCE WITH AN APPROVED PLAN, THE PERMITTEE OR CO-PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE DEPARTMENT OR CONSERVATION DISTRICT. THE NOTICE OF TERMINATION MUST INCLUDE:

1. THE FACILITY NAME, ADDRESS AND LOCATION
2. THE OPERATOR NAME AND ADDRESS
3. THE NPDES PERMIT NUMBER
4. THE REASON OF PERMIT TERMINATION
5. IDENTIFICATION OF THE PERSONS WHO HAVE AGREED TO AND WILL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPS.
6. COPY OF LEGAL INSTRUMENT: FOR ANY PROPERTY CONTAINING A PCSM BMP, THE PERMITTEE OR CO-PERMITTEE SHALL RECORD AN INSTRUMENT WITH THE RECORDER OF DEEDS WHICH WILL ASSURE DISCLOSURE OF THE PCSM BMP AND THE RELATED OBLIGATIONS IN THE ORDINARY COURSE OF A TITLE SEARCH OF THE SUBJECT PROPERTY. THE RECORDED INSTRUMENT MUST IDENTIFY THE PCSM BMP, PROVIDE FOR NECESSARY ACCESS RELATED TO LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPS AND PROVIDE NOTICE THAT THE RESPONSIBILITY FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP IS COVENANT THAT RUNS WITH THE LAND THAT IS BINDING UPON AND ENFORCEABLE BY SUBSEQUENT GRANTEEES, AND PROVIDE PROOF FOR FILING WITH THE NOTICE OF TERMINATION.
7. FINAL CERTIFICATION:THE PERMITTEE SHALL INCLUDE WITH THE NOTICE OF TERMINATION 'RECORD DRAWINGS' WITH A FINAL CERTIFICATION STATEMENT FROM A LICENSED PROFESSIONAL, WHICH READS AS FOLLOWS:
- 7.1. THE PERMITTEE SHALL RETAIN A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM PLAN.
- 7.2. THE PERMITTEE SHALL PROVIDE A COPY OF THE RECORD DRAWINGS AS PART OF THE APPROVED PCSM PLAN TO THE PERSON IDENTIFIED IN THIS SECTION AS BEING RESPONSIBLE FOR THE LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPS.

RECYCLING AND DISPOSAL OF MATERIALS

1. CONSTRUCTION WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHOULD BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL. RECYCLING OF MATERIAL, WHERE FEASIBLE, SHOULD BE THE PREFERRED METHOD OF WASTE DISPOSAL.
2. ALL E&S CONTROL MATERIAL, UNLESS SPECIFIED, SHOULD BE REMOVED AND DISPOSED OF FROM SITE IN THE APPROPRIATE MANOR SPECIFIED. ANY CAPTURED SEDIMENT SHOULD BE RETURNED AND SPREAD ON SITE, OR DISPOSED OF PROPERLY.
3. THE CONTRACTOR MUST USE ENVIRONMENTAL DUE DILIGENCE TO ENSURE THAT THE FILL MATERIAL ASSOCIATED WITH THIS PROJECT (IF ANY) QUALIFIES AS CLEAN FILL MATERIAL. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ANY REQUIRED PERMITS.
4. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)
5. ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUE, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.

DEFINITION OF ENVIRONMENTAL DUE DILIGENCE

ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEP POLICY "MANAGEMENT OF FILL." FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.

DEFINITION OF CLEAN FILL

CLEAN FILL: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)

DESCRIBED BELOW ARE THE MAJOR CONSTRUCTION ACTIVITIES THAT ARE THE SUBJECT OF THE PCSM PLAN. THEY ARE PRESENTED IN THE ORDER (OR SEQUENCE) THAT THEY ARE EXPECTED TO BEGIN, HOWEVER EACH ACTIVITY WILL NOT NECESSARILY BE COMPLETED BEFORE THE NEXT BEGINS. THESE ACTIVITIES COULD OCCUR IN A DIFFERENT ORDER IF NECESSARY TO MAINTAIN ADEQUATE PCSM CONTROL.

GENERAL CONSTRUCTION NOTES:

REFER TO THE CONSTRUCTION SEQUENCE FOR SPECIFIC NOTES THAT ARE TO BE STRICTLY FOLLOWED DURING CONSTRUCTION. NOTES IN THIS SECTION ARE GENERAL CONSTRUCTION NOTES.

1. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE OF THE BUTLER COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
2. AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
3. CLEAR AND GRUB EXISTING VEGETATION AND STRIP TOPSOIL ONLY AS NEEDED AS WORK PROGRESSES. TOPSOIL RESERVED FOR SEEDED AREAS SHALL BE PLACED IN THE TEMPORARY TOPSOIL STOCKPILE LOCATIONS SHOWN ON THE PLAN.
4. UPON TEMPORARY CESSATION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES WILL EXCEED 4 DAYS, THE SITE SHALL BE IMMEDIATELY SEEDED, MULCHED, OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION PENDING FUTURE EARTH DISTURBANCE ACTIVITIES.
5. PLACE TOPSOIL FOR ALL AREAS NEARING FINAL GRADE AS CONSTRUCTION PROGRESSES. IMMEDIATELY STABILIZE WITH SEED AND MULCH OR EROSION CONTROL MATTING, AS REQUIRED, FOR ALL AREAS REACHING FINAL GRADE.
6. PROVIDE A CONCRETE WASHOUT FACILITY FOR THE CLEANING OF CHUTES, MIXERS, AND HOPPERS OF THE DELIVERY VEHICLES UNLESS SUCH A FACILITY WILL BE USED AT THE SOURCE OF THE CONCRETE. UNDER NO CIRCUMSTANCES MAY WASH WATER FROM THESE VEHICLES BE ALLOWED TO ENTER ANY SURFACE WATERS. WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES OR SURFACE WATERS. PROVIDE PROPER SIGNAGE SO THAT DRIVERS ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES.
7. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. ANY DEVIATION FROM THE FOLLOWING SEQUENCE MUST BE APPROVED IN WRITING FROM THE BUTLER COUNTY CONSERVATION DISTRICT.
8. THE TOTAL TRENCH OPEN IN ONE DAY SHALL BE LIMITED TO THE LENGTH OF TRENCH THAT CAN BE EXCAVATED, PIPE INSTALLED, AND BACKFILLED UP TO GRADE. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT. ANY GROUNDWATER ENCOUNTERED DURING EXCAVATION SHALL BE PUMPED THROUGH A FILTER BAG PRIOR TO DISCHARGING.
9. AS SOON AS SLOPES, CHANNELS, DITCHES AND ALL OTHER DISTURBED AREAS MEET FINAL GRADE, INSTALL TOPSOIL, SEED, AND MULCH.
10. NO MORE THAN 15,000 S.F. OF DISTURBED AREA MAY REACH FINAL GRADE BEFORE INITIATING SEEDING AND MULCHING OPERATIONS.
11. ALL APPLICABLE PERMITS AND APPROVALS REQUIRED FOR THIS PROJECT SHALL BE SECURED PRIOR TO THE START OF CONSTRUCTION. COPIES OF PERMITS, PLANS AND APPROVALS SHALL BE KEPT ON-SITE AT ALL TIMES.
12. RESPONSIBILITY FOR IMPLEMENTING THE E&S CONTROLS SHALL BE DESIGNATED TO AT LEAST ONE (1) INDIVIDUAL WHO WILL BE PRESENT AT THE PROJECT SITE DAILY.
13. LIMIT OF TREE CLEARING AND LIMIT OF DISTURBANCE SHOULD BE FIELD MARKED PRIOR TO CONSTRUCTION.

CONSTRUCTION SEQUENCE - TO BE STRICTLY FOLLOWED DURING CONSTRUCTION

1. FIELD-MARK THE LIMITS OF DISTURBANCE AND ESTABLISH SURVEY BENCHMARKS AND REFERENCE POINTS.
2. CLEAR AND GRUB FOR ROCK CONSTRUCTION ENTRANCE.
3. INSTALL ROCK CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN.

a. NO CONSTRUCTION VEHICLES ARE PERMITTED TO LEAVE THE SITE OTHER THAN OVER THE ROCK CONSTRUCTION ENTRANCE.
4. BEGIN ANY CLEARING AND GRUBBING LOCATIONS NECESSARY FOR THE E&S CONTROLS.
5. INSTALL COMPOST FILTER SOCKS 1-5 AS SHOWN ON PLANS. CFS 6 WILL BE INSTALLED ONCE FINAL GRADE IS ESTABLISHED.
6. INSTALL INFILTRATION BASIN.

a. CLEAR AND GRUB AREA FOR INFILTRATION BASINS.

b. GRADE IN INFILTRATION BASIN AS SHOWN ON PLANS. BOTTOM OF BASIN SHALL NOT BE COMPACTED. 2 FEET BELOW BASIN BOTTOM TO BE EXCAVATED AND REPLACED WITH ENGINEERED SOIL MEDIA CONSISTING OF 20% COMPOST, 40% SAND, AND 40% TOPSOIL. THIS IS A CRITICAL STAGE OF CONSTRUCTION, AND A LICENSED PROFESSIONAL OR A DESIGNEE SHALL BE PRESENT ONSITE AND BE RESPONSIBLE DURING CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN.

c. INSTALL COMPOST FILTER SOCK 6 AND ENSURE THAT THE COMPOST FILTER SOCKS WILL PREVENT ANY SEDIMENT FROM ENTERING THE EXCAVATED BASIN. REPLACE SOCKS AS NEEDED TO ENSURE ADEQUATE E&S CONTROL.

d. INSTALL OUTLET STRUCTURE, ANTI-SEEP COLLARS, OUTFALL PIPE AND RIPRAP AS SPECIFIED ON PLAN. THE INSTALLATION OF THE OUTLET STRUCTURES IS A CRITICAL STAGE OF THE PCSM PLAN, AND A LICENSED PROFESSIONAL OR A DESIGNEE SHALL BE PRESENT ONSITE AND BE RESPONSIBLE DURING CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN.
7. INSTALL VEGETATED SWALE PER PLANS.
8. BEGIN CLEARING AND GRUBBING FOR THE REMAINDER OF THE SITE.
9. INSTALL ALL SITE UTILITIES AS PER THE PLANS.
11. ROUGH GRADE THE SITE AND THEN STABILIZE ANY AREAS THAT WILL REMAIN UN-DISTURBED FOR MORE THAN FOUR (4) DAYS ACCORDING TO THE TEMPORARY SEEDING SCHEDULE. ONCE AN AREA HAS REACHED FINAL GRADE, STABILIZE IT IMMEDIATELY. NO MORE THAN 15,000 SQUARE FEET OF DISTURBED AREA MAY REACH FINAL GRADE BEFORE INITIATING SEEDING AND MULCHING OPERATIONS. FILL SLOPES SHOULD BE STABILIZED IN 15 TO 25 FOOT VERTICAL INCREMENTS.
12. BEGIN INSTALLATION OF STORMWATER CONVEYANCE SYSTEM AND CORRESPONDING CONVEYANCES STARTING DOWNSTREAM AND WORKING UPSTREAM

a. INSTALL INLET PROTECTION ON PROPOSED INLETS.
13. BRING THE SITE TO FINAL GRADE. INCLUDE THE SUBBASE MATERIAL FOR PROPOSED ACCESS DRIVES AND PARKING LOT. STABILIZE ANY AREAS THAT WILL REMAIN UN-DISTURBED FOR MORE THAN FOUR (4) DAYS ACCORDING TO THE TEMPORARY SEEDING SCHEDULE. ONCE AND AREA HAS REACHED FINAL GRADE, STABILIZE IT IMMEDIATELY. NO MORE THAN 15,000 SQUARE FEET OF DISTURBED AREA MAY REACH FINAL GRADE BEFORE INITIATING SEEDING AND MULCHING OPERATIONS. FILL SLOPES SHOULD BE STABILIZED IN 15 TO 25 FOOT VERTICAL INCREMENTS.

NOTES:

a. THE CONTRACTOR MUST ENSURE THAT RUNOFF IS DIRECTED TO THE EROSION CONTROL FACILITIES AND MUST MAINTAIN POSITIVE DRAINAGE TO THOSE FACILITIES AS CONSTRUCTION PROGRESSES.

b. THE CONTRACTOR SHALL SEED AND MULCH THE TOPSOIL STOCKPILE IMMEDIATELY UPON ESTABLISHMENT.

c. UPON REACHING FINAL GRADE, SPREAD TOPSOIL, SEED, MULCH, AND INSTALL EROSION CONTROL BLANKET ON ALL SLOPES THAT ARE GREATER THAN 3:1 UNLESS SPECIFICALLY INDICATED ON THE PLAN.
14. COMPLETE INSTALLATION OF CONCRETE AND BUILDING PADS AS SHOWN ON PLANS. USE THE CONCRETE WASHOUT ON PLANS FOR EXCESS CONCRETE.
15. INSTALL OTHER SITE IMPROVEMENT FEATURES (STRUCTURES, ROADS, ACCESS PATHS, ETC.) ACCORDING TO SITE CONSTRUCTION PLANS.
16. SPREAD TOPSOIL, SEED, AND MULCH. DURING ESTABLISHMENT OF PERMANENT GROUND COVER, RESEED AND RE-MULCH, ACCORDING TO THE SEEDING SCHEDULE ON THE PLANS, ANY AREAS THAT HAVE BECOME ERODED OR DO NOT PROPERLY ESTABLISH AS SHOWN ON THE PLANS. INSTALL THE PROPOSED LANDSCAPING.
17. UPON FINAL STABILIZATION OF THE NEWLY DISTURBED AREAS (UNIFORM 70% PERENNIAL VEGETATIVE COVER OR PERMANENT ASPHALT COVER), TEMPORARY EROSION CONTROLS MAY BE REMOVED. REMOVE COMPOST FILTER SOCKS, ROCK CONSTRUCTION ENTRANCE, AND CONCRETE WASHOUTS UPON FINAL UPSTREAM STABILIZATION.

a.PRIOR TO REMOVAL OF BMPS ALL ACCUMULATED SEDIMENT SHALL BE REMOVED

SEEDING SCHEDULE

- SEEDING NOTES
1. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE THE DISTURBED AREAS. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINAL GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
2. SOIL STOCKPILES, WATERWAYS, DIVERSIONS, SEDIMENT BASINS, AND SEDIMENT TRAPS, MUST BE SEEDED AND MULCHED IMMEDIATELY.
3. TEMPORARY SEEDING: FOLLOW SOIL TEST RECOMMENDATIONS. IF NONE AVAILABLE, APPLY FOLLOWING RATES

3.1. AGRICULTURAL LIME AT 1 TON/ACRE (50 LB/1000 SF).

3.2. 10-10-10 FERTILIZER AT A RATE OF 500 LBS/ACRE (12 LB/1000 SF).

3.3. INCORPORATE LIME AND FERTILIZER 5 INCHES INTO SOIL.

3.4. APPLY TEMPORARY SEED MIX WITH A BROADCAST SEEDER OR DRILL AND MULCH IMMEDIATELY AFTER SEEDING.
4. PERMANENT SEEDING: FOLLOW SOIL TEST RECOMMENDATIONS. IF NONE AVAILABLE, APPLY FOLLOWING RATES.

4.1. AGRICULTURAL LIME AT 3 TON/ACRE (140 LB/1000 SF)

4.2. 10-10-20 FERTILIZER AT A RATE OF 1000 LBS/ACRE 24 LB/1000 SF).

4.3. INCORPORATE LIME AND FERTILIZER 5 INCHES INTO SOIL.

4.4. APPLY PERMANENT SEED MIX WITH A NURSE MIX. APPLY WITH A BROADCAST SEEDER OR DRILL AND MULCH IMMEDIATELY AFTER SEEDING.
5. ALL SEEDED AREAS SHALL BE MULCHED WITH HAY OR STRAW APPLIED AT A RATE OF 6000 LBS./AC. (140 LBS./1000 S.F.).
6. ALL AREAS RECEIVING SEEDING SHALL HAVE A MINIMUM OF 6" OF ORGANIC TOPSOIL.
7. 70% UNIFORM VEGETATED COVER IS REQUIRED FOR ACCEPTANCE.

APPLICATION	MIXTURE NUMBER	SPECIES	APPLICATION RATE LBS PURE LIVE SEED/ACRE (1)
TEMPORARY OR NURSE	1	SPRING OATS, OR ANNUAL RYEGRASS – SPRING/FALL OR WINTER WHEAT – FALL OR WINTER RYE – FALL	48 20 90 56
		TEMPORARY MIXTURE, PLUS	
		TALL FESCUE, OR FINE FESCUE, OR KENTUCKY BLUEGRASS, PLUS REDTOP, OR PERENNIAL RYEGRASS	60 35 25 3 15
LAWN AREA FLATTER THAN 3:1 (2)	2	TALL FESCUE, OR FINE FESCUE, OR KENTUCKY BLUEGRASS, PLUS REDTOP, OR PERENNIAL RYEGRASS	60 35 25 3 15
LAWN AREA 3:1 SLOPES OR STEEPER	3	TEMPORARY MIXTURE, PLUS BIRDSFOOT TREFOIL, PLUS TALL FESCUE	6 30
PERMANENT SWALES	4	TALL FESCUE PLUS RED OR HARD FESCUE	40 10

- TABLE NOTES:
1. ADAPTED FROM PA DEP E&S POLLUTION CONTROL PROGRAM MANUAL AND NRCS PA-342 CRITICAL AREA PLANTING PRACTICE SPECIFICATION.
2. SEEDING RATES ARE STATED AS POUNDS PER ACRES (LBS/ACRE) OF PURE LIVE SEED (PLS). PLS IS THE PRODUCT OF THE PERCENTAGE OF PURE SEED TIMES THE PERCENTAGE OF GERMINATION DIVIDED BY 100. (E.G. [85% PURE SEED X 72% GERMINATION] ÷ 100 = 61% PLS). SEED SHOULD NOT BE USED LATER THAN ONE YEAR AFTER THE TEST DATE THAT APPEARS ON THE LABEL. USE OF SEED OLDER THAN ONE YEAR COULD RESULT IN LESS THAN SATISFACTORY VEGETATIVE COVERAGE AND THE NEED TO RE-SEED THE DISTURBED AREAS.

POST-CONSTRUCTION BEST MANAGEMENT PRACTICES OWNERSHIP, OPERATIONS AND MAINTENANCE PROCEDURES

THE MAINTENANCE OF THE BMPS SHALL BE OWNED, MAINTAINED AND/OR REPAIRED BY THE PROPERTY OWNER. OWNERSHIP, OPERATION AND MAINTENANCE RESPONSIBILITY WILL BE THAT OF THE PROPERTY OWNER. THESE RESPONSIBILITIES INCLUDE OPERATION AND MAINTENANCE OF STORM SEWERS AND DRAINAGE STRUCTURES.

GENERAL MAINTENANCE

1. ALL STORMWATER MANAGEMENT FACILITIES SHOWN ON THIS PLAN SHALL BE CONSTRUCTED BY THE DEVELOPER IN ACCORDANCE WITH THE DESIGN, CONDITIONS, AND SPECIFICATIONS IDENTIFIED ON THE PLANS. OWNERSHIP AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE LANDOWNER, HIS SUCCESSORS AND ASSIGNS, UNLESS SPECIFICALLY IDENTIFIED HEREIN.
2. STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN GOOD WORKING CONDITION SO THAT THEY ARE PERFORMING THEIR DESIGN FUNCTION, IN A MANNER ACCEPTABLE TO THE COUNTY CONSERVATION DISTRICT. MAINTENANCE SHALL INCLUDE PERFORMING ROUTINE MAINTENANCE AND REPAIR OR REPLACEMENT OF DAMAGED FACILITIES, VEGETATION OR STORMWATER AREAS TO CONDITIONS AS SHOWN ON THE APPROVED PLAN. THE COUNTY CONSERVATION DISTRICT MUST BE NOTIFIED PRIOR TO PERFORMING REPAIRS.
3. INSPECT STORMWATER CONVEYANCE FACILITIES (INLETS, STORM SEWERS AND OUTLET PROTECTION) BI-ANNUALLY OR AFTER EACH SIGNIFICANT RAINFALL-PRODUCING EVENT. CLEAR DEBRIS FROM INLETS TO ALLOW UN-IMPEDED FLOW, FLUSH STORM SEWERS IF THEY BECOME PLUGGED AND CLEAN AND REPAIR SWALES SHOULD THEY BECOME BLOCKED OR ERODED.
5. INSPECTION OF EARTH DISTURBANCE ACTIVITIES MUST BE CONDUCTED WITHIN 24 HOURS FOLLOWING A 24-HOUR PERIOD IN WHICH AT LEAST 0.25 INCH OF PRECIPITATION OCCURS, OR WHEN SNOWMELT OCCURS THAT IS SUFFICIENT TO PRODUCE A DISCHARGE.

SPECIFIC MAINTENANCE

INFILTRATION BASIN

- UPGRADE/REPLACE CATCH BASINS AND INLETS SHOULD BE INSPECTED AND CLEANED AT LEAST TWO TIMES PER YEAR, OR MORE OFTEN IF HISTORICAL MAINTENANCE RECORDS SUGGEST A MORE FREQUENT CLEANING.
- THE VEGETATION (FOR THE MRC BMP AND CONTRIBUTING DRAINAGE AREA) SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED.
- CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS. MOW ONLY AS APPROPRIATE FOR VEGETATIVE SPECIES.
- INSPECT AT LEAST TWO TIMES PER YEAR AND AFTER RUNOFF EVENTS GREATER THAN 0.8 INCH AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN THE DESIGN PARAMETERS (A LICENSED PROFESSIONAL ENGINEER SHOULD CLEARLY IDENTIFY WHAT THESE PARAMETERS ARE).
- AT LEAST TWO TIMES PER YEAR, OR MORE IF HISTORICAL MAINTENANCE INDICATE IT IS NECESSARY, INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, EROSION, SIGNS OF WATER CONTAMINATION/SPILLS, AND INSTABILITY. LEAF LITTER NEEDS TO BE REMOVED ANNUALLY.
- AS NEEDED, REMOVE ACCUMULATED SEDIMENT AS REQUIRED TO MAINTAIN INFILTRATION THROUGH THE SOIL MEDIA AND TO MAINTAIN WATER QUALITY FUNCTIONALITY. RESTORE ORIGINAL CROSS SECTION. PROPERLY DISPOSE OF SEDIMENT.
- INSPECT THE BASIN AND AREAS AFTER RUNOFF EVENTS AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 72 HOURS.
- ALL MRC BMP COMPONENTS SHOULD BE MAINTAINED AS INDICATED IN THE STORMWATER BMP MANUAL.
- AS NOTED ABOVE, IF THE BMPS WILL MANAGE PEAK FLOWS IN EXCESS OF THE 2-YEAR/24-HOUR STORM EVENT, AN INCREASED INSPECTION AND MAINTENANCE FREQUENCY WILL TYPICALLY BE NECESSARY.

VEGETATED SWALE

- INSPECT AND CORRECT EROSION PROBLEMS, DAMAGE TO VEGETATION, AND SEDIMENT AND DEBRIS ACCUMULATION (ADDRESS WHEN > 3 INCHES AT ANY SPOT OR COVERING VEGETATION)
- INSPECT VEGETATION ON SIDE SLOPES FOR EROSION AND FORMATION OF RILLS OR GULLIES, CORRECT AS NEEDED
- INSPECT FOR POOLS OF STANDING WATER; DEWATER AND DISCHARGE TO AN APPROVED LOCATION AND RESTORE TO DESIGN GRADE
- MOW AND TRIM VEGETATION TO ENSURE SAFETY, AESTHETICS, PROPER SWALE OPERATION, OR TO SUPPRESS WEEDS AND INVASIVE VEGETATION; DISPOSE OF CUTTINGS IN A LOCAL COMPOSTING FACILITY; MOW ONLY WHEN SWALE IS DRY TO AVOID RUTTING
- INSPECT FOR LITTER; REMOVE PRIOR TO MOWING
- INSPECT FOR UNIFORMITY IN CROSS-SECTION AND LONGITUDINAL SLOPE, CORRECT AS NEEDED
- INSPECT SWALE INLET (CURB CUTS, PIPES, ETC.) AND OUTLET FOR SIGNS OF EROSION OR BLOCKAGE. CORRECT AS NEEDED



HERBERT, ROWLAND & GRUBIC, INC.
220 WEST KENSINGER DRIVE
SUITE 100
CRANBERRY TOWNSHIP, PA 16066
724.779.4777 | hrg-inc.com

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN FOR

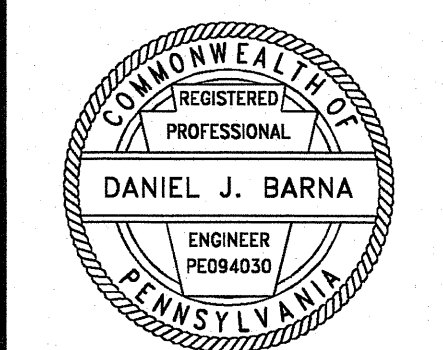
FOUR SEASONS FARM LLC - AG BMP PROJECT

FOUR SEASONS FARM, LLC
120 BUTLER OAK DRIVE
BUTLER, PA 16002

PENN TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

PLAN BOOK	PAGE
425	19

PROFESSIONAL SEAL:



HRG PROJECT NUMBER:	010340.0425
PLAN DATE:	JUNE 2024
DRAWING SCALE:	AS SHOWN
PROJ. MANAGER:	ERIN G. LETAVIC

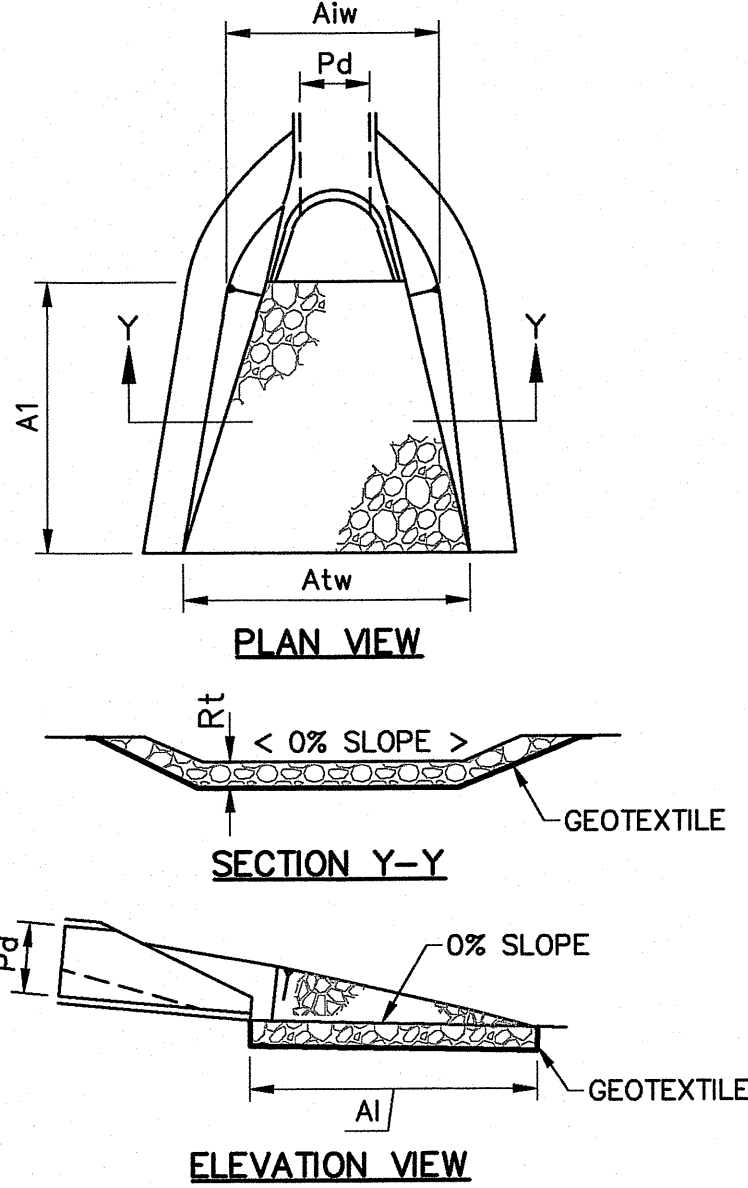
REVISONS	NO.	DATE	DESCRIPTION	1	2	3	4	5	6	7	8	9
				1	2	3	4	5	6	7	8	9
	1	JUNE 2024	NPDES COMPLETION COMMENTS									
	2	JULY 2024	NPDES COMPLETION COMMENTS #2									
	3	JULY 2024	NPDES TECHNICAL COMMENTS									

SHEET TITLE: PCSM PLAN NOTES

SHEET:	PCNT-1	05
--------	--------	----

BEST MANAGEMENT PRACTICES MAINTENANCE SCHEDULE		
BMP	INSPECTION SCHEDULE	REQUIRED MAINTENANCE
RIP RAP APRON	INSPECT WEEKLY AND AFTER EVERY RUNOFF EVENT	DISPLACED RIP RAP SHOULD BE REPLACED IMMEDIATELY
VEGETATIVE STABILIZATION	INSPECT WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER IS ESTABLISHED	REPAIR AND RESEED ANY SECTIONS WHERE SEEDING MAY HAVE BECOME DAMAGED OR DISPLACED DUE TO RUNOFF.
VEGETATED CHANNEL	MAINTENANCE AND INSPECTION TO BE DONE ANNUALLY AND WITHIN 48 HOURS AFTER EVERY MAJOR STORM EVENT (>1 INCH RAINFALL DEPTH)	REPAIR EROSION PROBLEMS, DEWATER POOLS OF WATER, MOW SWALE ONLY IN DRY CONDITION, REMOVE LITER, REPLANT VEGETATION AS NECESSARY

NOTES:
INSPECTION MUST BE CONDUCTED WITHIN 24 HOURS FOLLOWING A 24-HOUR PERIOD IN WHICH AT LEAST 0.25 INCH OF PRECIPITATION OCCURS, OR WHEN SNOWMELT OCCURS THAT IS SUFFICIENT TO PRODUCE A DISCHARGE.

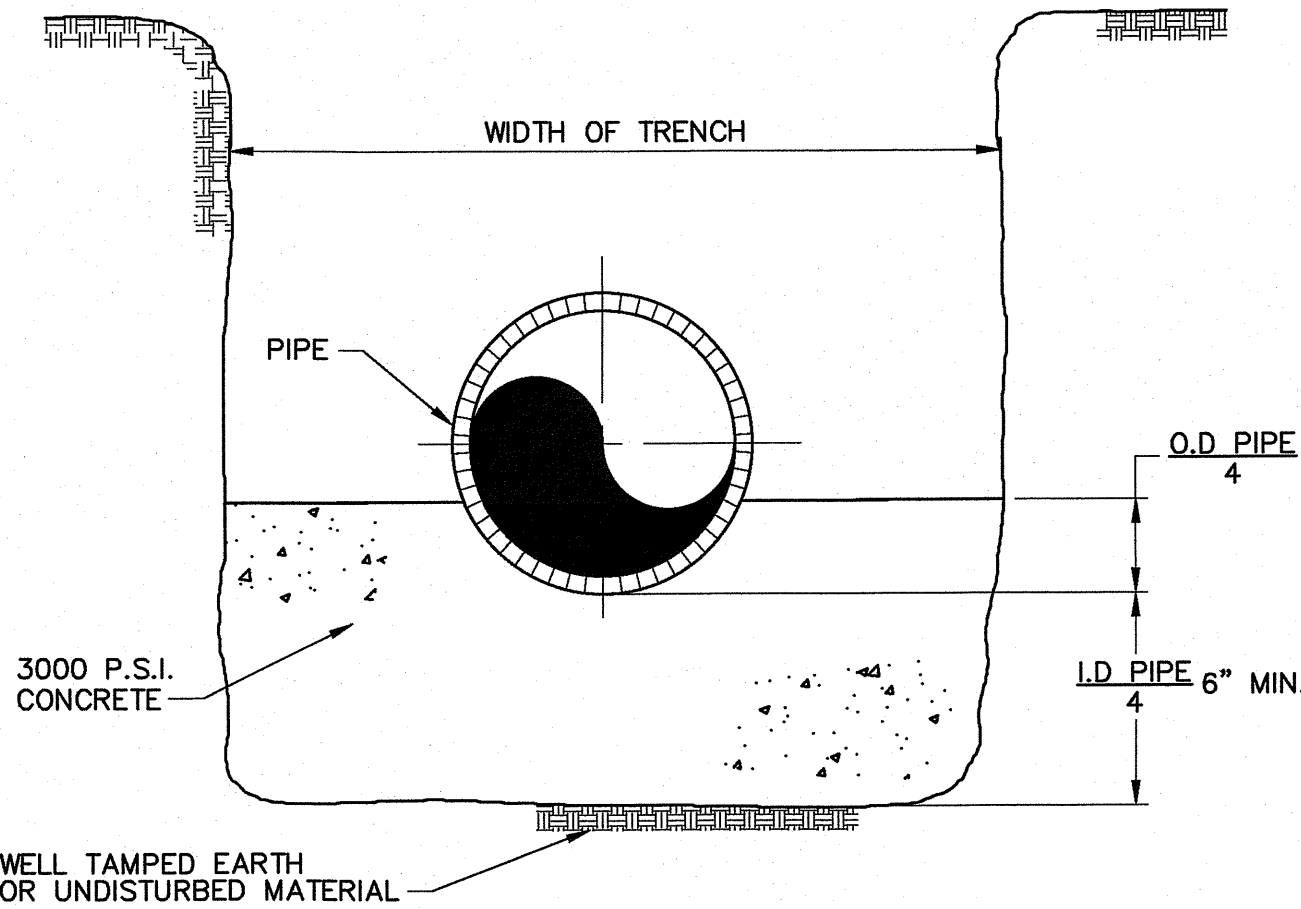


OUTLET NO.	PIPE DIA Pd (in)	RIPRAP		APRON	
		SIZE R--	THICK. Rt (in)	LENGTH Al (ft)	INITIAL WIDTH Aiw (ft)
EW-1	15	5	27	14	4
EW-2	18	4	18	11	5
EW-3	15	5	27	8	4

- NOTES:
- ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.
 - ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

STANDARD CONSTRUCTION DETAIL #9-1 RIPRAP APRON AT PIPE OUTLET WITH FLARED END SECTION OR ENDWALL

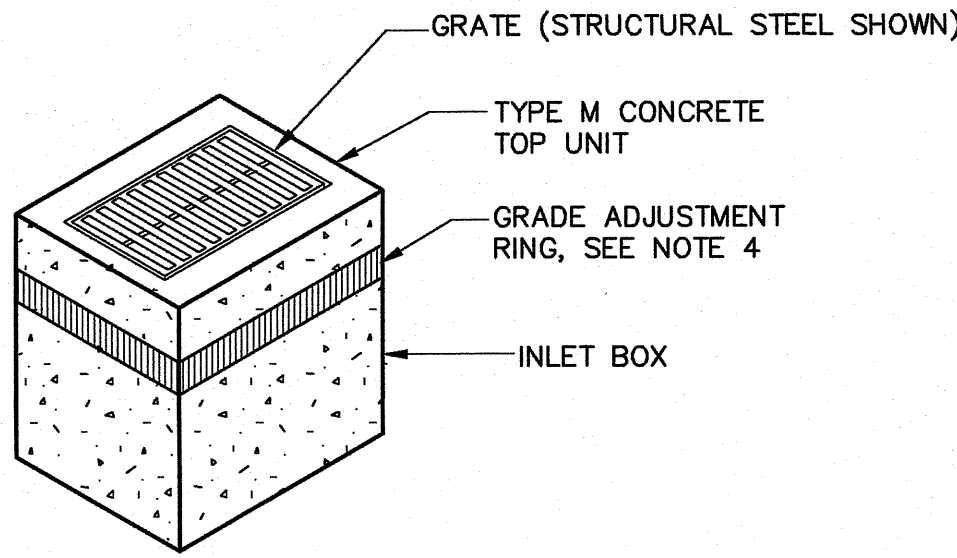
NOT TO SCALE



- NOTES:
- CONCRETE CRADLE SHALL BE PLACED FOR ALL BARREL PIPES DISCHARGING FROM BASINS A AND B.

CONCRETE CRADLE PIPE BEDDING

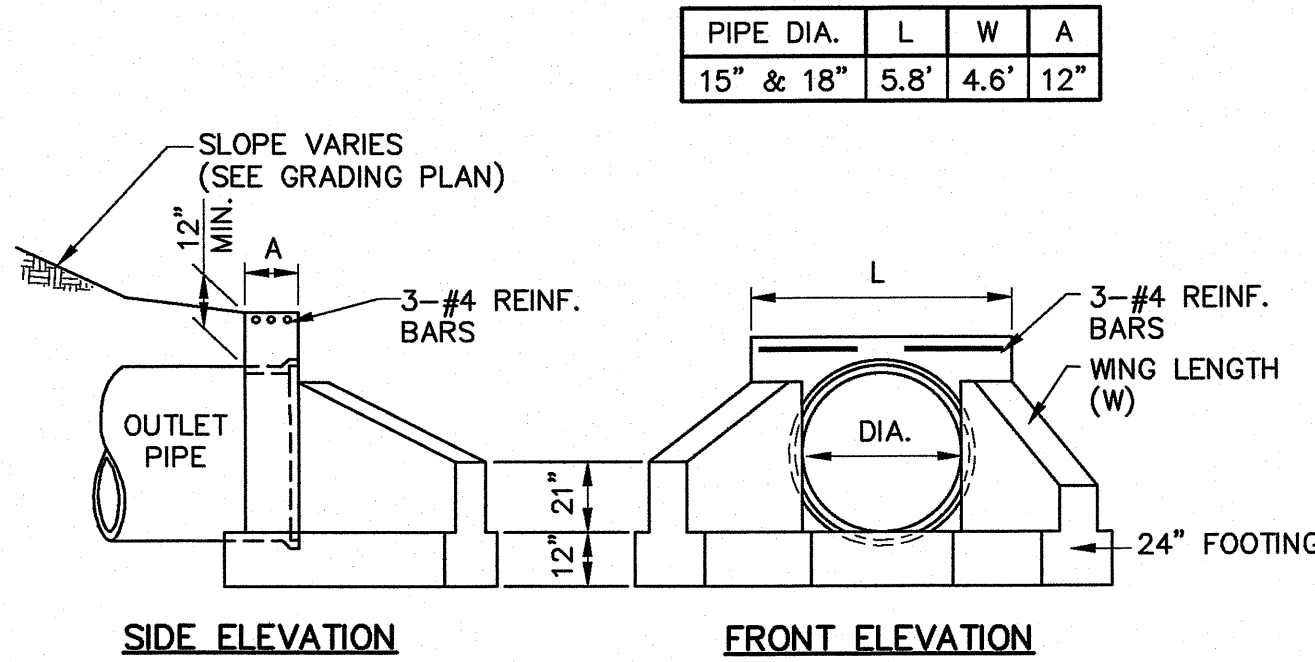
NOT TO SCALE



- NOTES:
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408, SECTION 605 AND STANDARDS FOR ROADWAY CONSTRUCTION, RC-34. CONTRACTOR SHALL VERIFY INLET BOX SIZING BASED ON PIPE SIZES AND ALIGNMENT PRIOR TO ORDERING PRECAST STRUCTURES.
 - ALL DRAINAGE STRUCTURES SHALL HAVE POURED-IN-PLACE CONCRETE CHANNEL BOTTOMS.
 - NO PIPES SHALL ENTER INLET BOX AT CORNER.
 - PROVIDE GRADE ADJUSTMENT RINGS WHEN REQUIRED. SEE RC-45M FOR DETAILS.

TYPE M INLET DETAIL

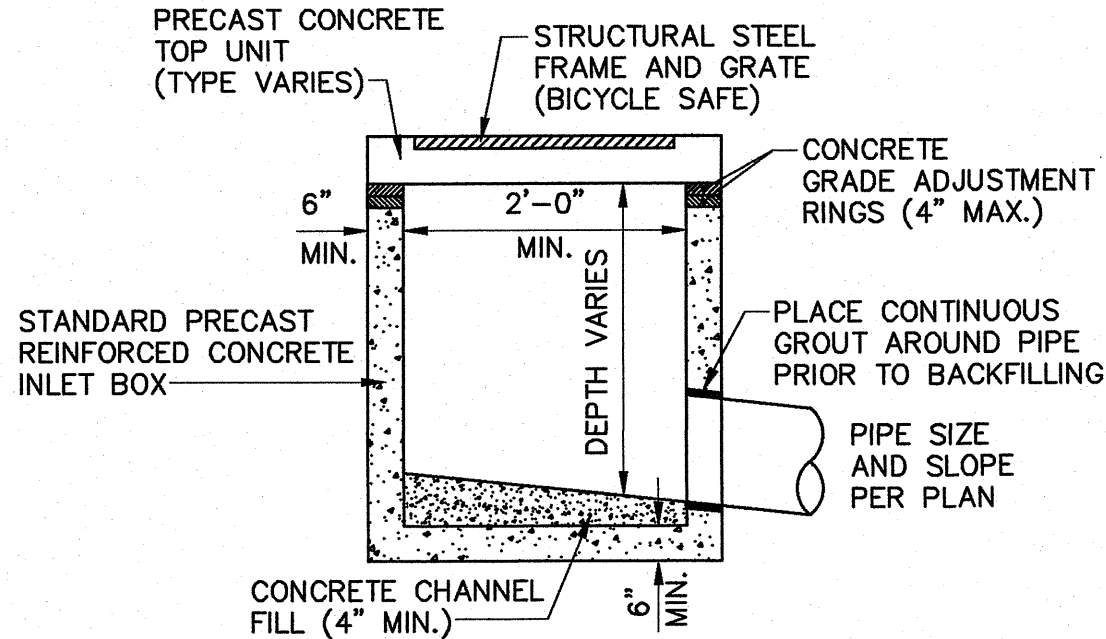
NOT TO SCALE



- NOTES:
- CONSTRUCT IN ACCORDANCE WITH PENNDOT PUBLICATION 72 RC-31
 - FOR PIPE SIZES LESS THAN 36\"/>

TYPE D-W ENDWALL DETAIL

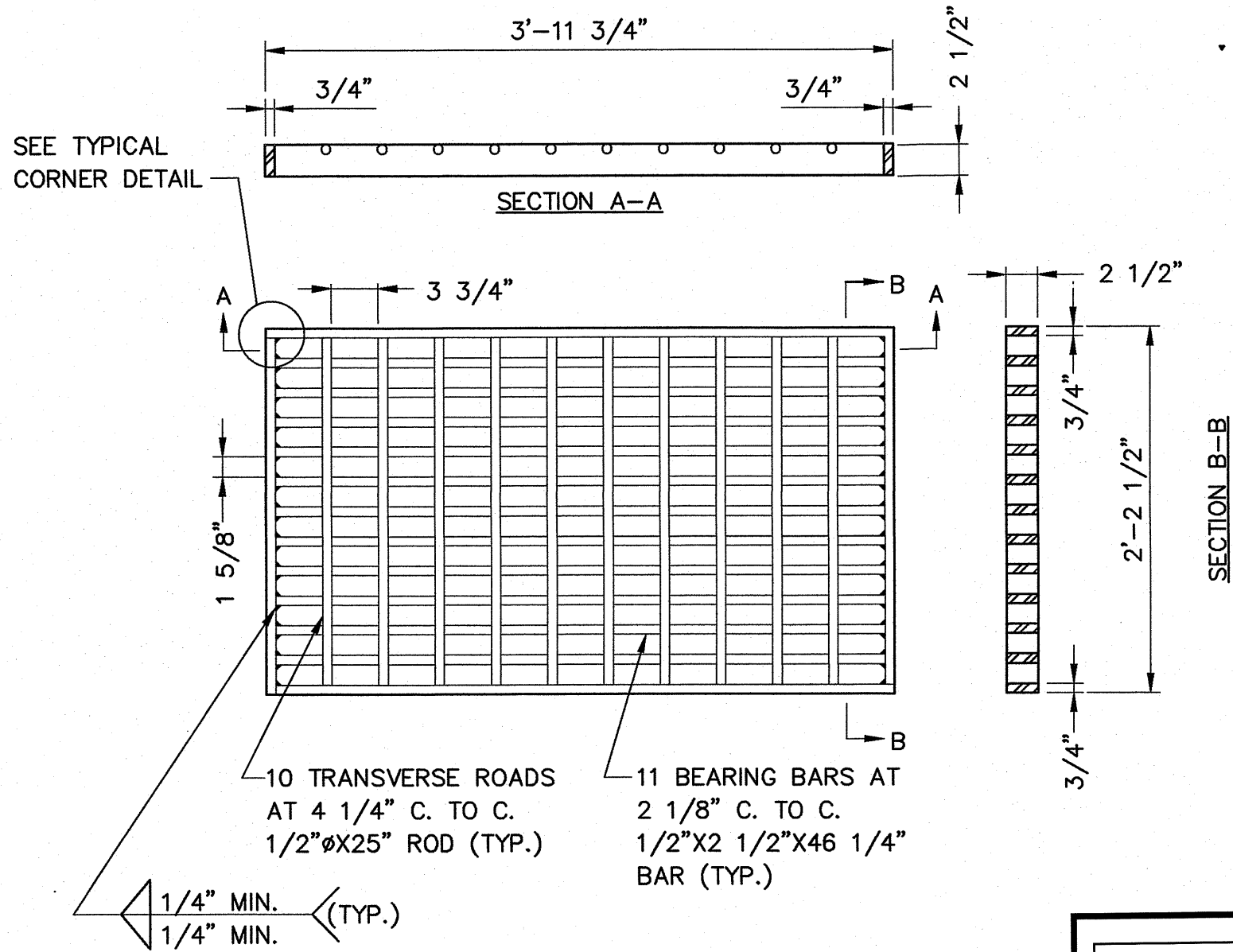
NOT TO SCALE



- NOTES:
- CONSTRUCT IN ACCORDANCE WITH PENNDOT PUBLICATION 408, CURRENT EDITION, AND ROADWAY CONSTRUCTION DRAWING (RC-34).
 - PROVIDE ALUMINUM STEPS IN INLETS OVER 5' DEEP.

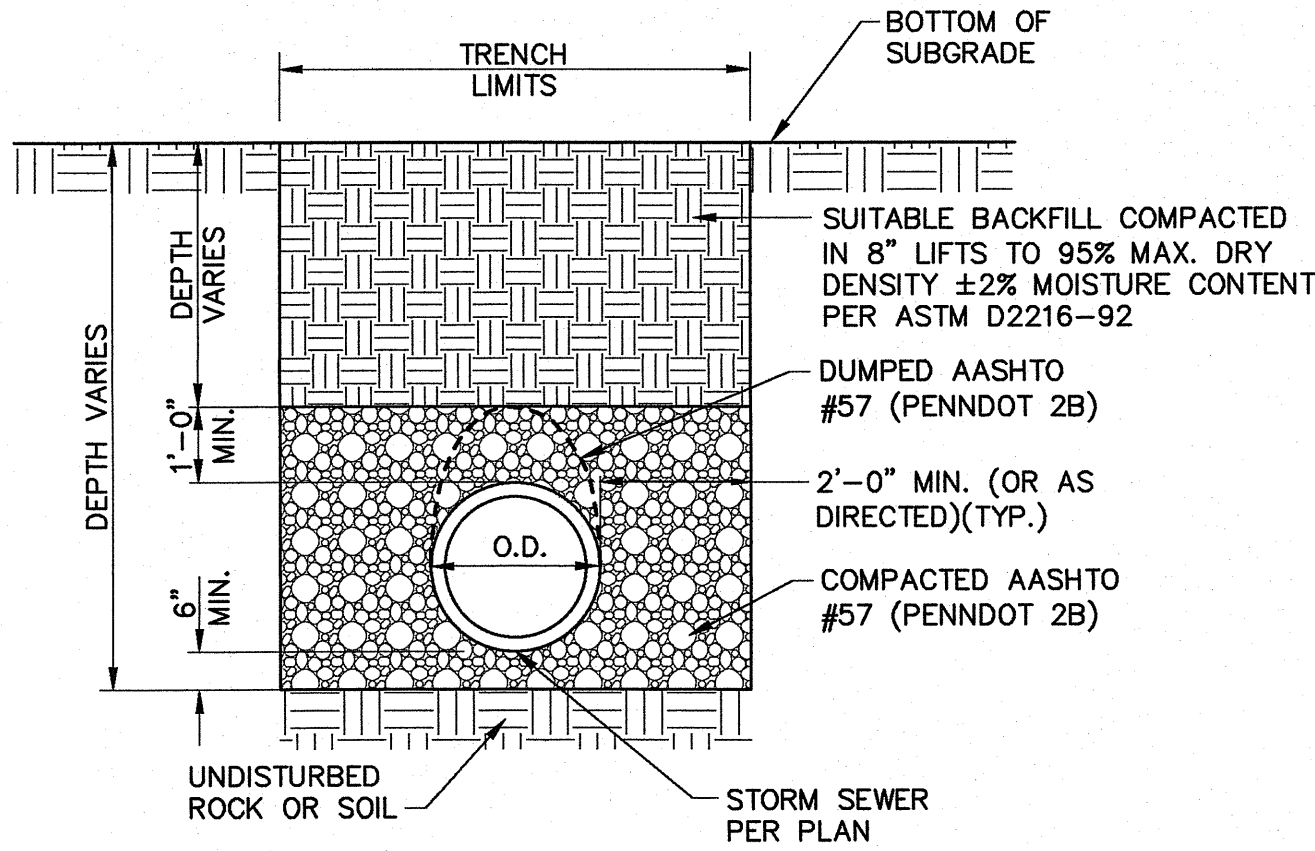
INLET BOX DETAIL

NOT TO SCALE



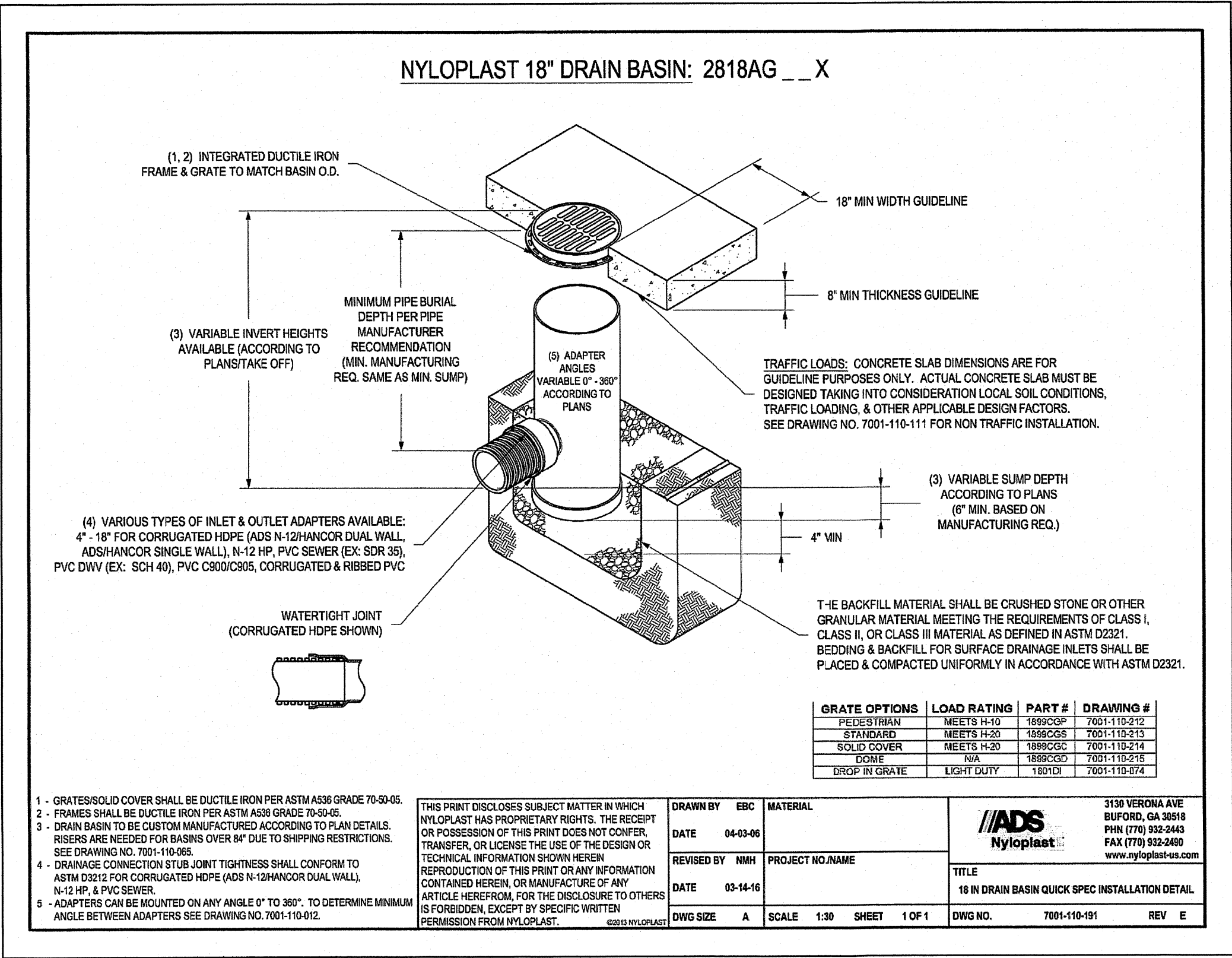
BICYCLE SAFE STRUCTURAL STEEL GRATE

PLAN BOOK	PAGE
425	20



STORM TRENCH DETAIL (PLASTIC OR METAL)

NOT TO SCALE



HERBERT, ROWLAND & GRUBIC, INC.
220 WEST KENSINGER DRIVE
SUITE 100
CRANBERRY TOWNSHIP, PA 16066
724.778.4777 | hrg-inc.com

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

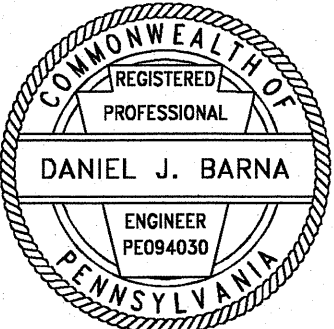
FOR

FOUR SEASONS FARM LLC - AG BMP PROJECT

FOUR SEASONS FARM, LLC
120 ROYAL OAK DRIVE
BUTLER, PA 16002

PENN TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

PROFESSIONAL SEAL:



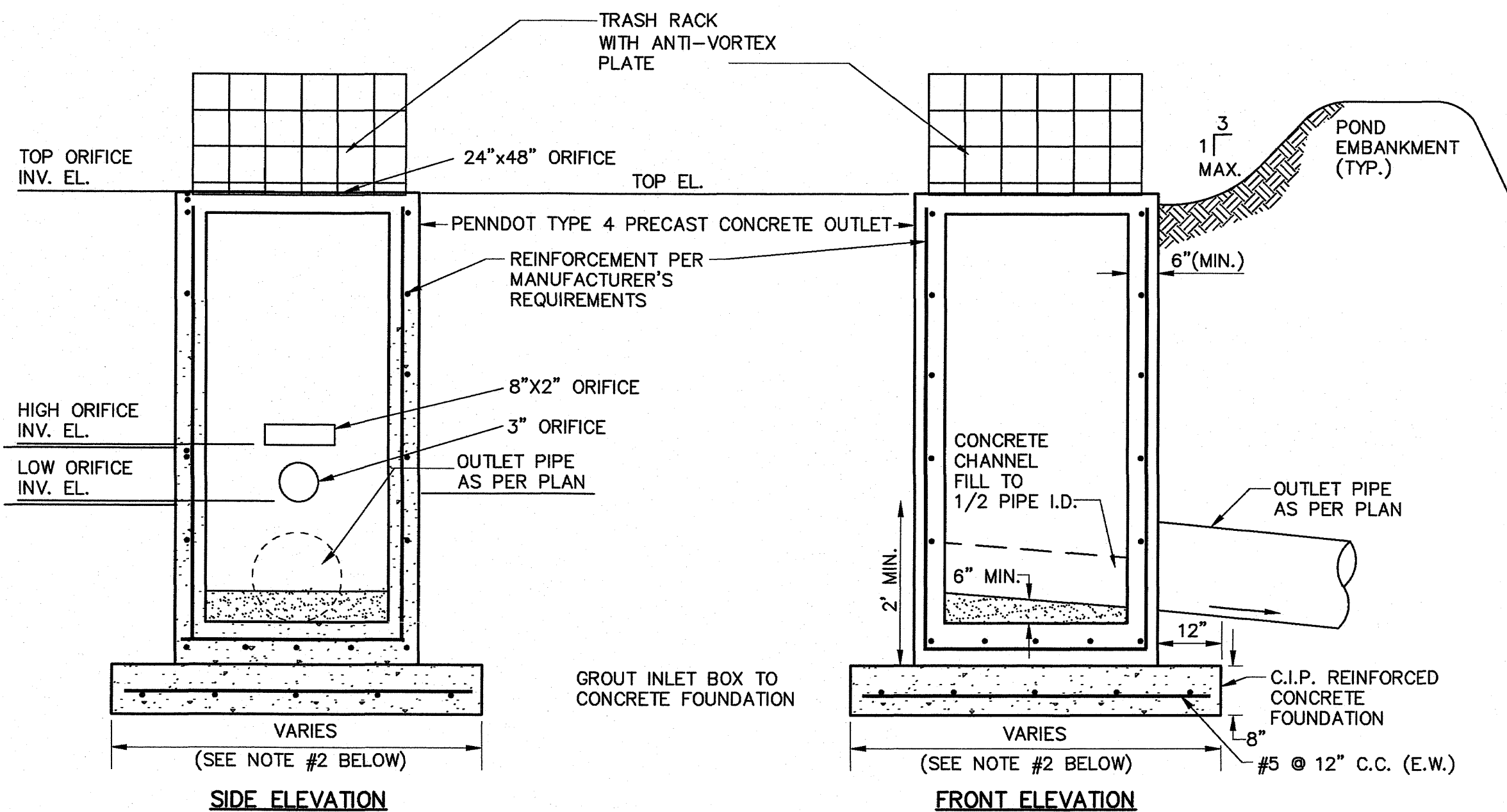
HRG PROJECT NUMBER: 010340.0425
PLAN DATE: JUNE 2024
DRAWING SCALE: AS SHOWN
PROJ. MANAGER: ERIN G. LETAVIC

REVISIONS		
NO.	DATE	DESCRIPTION
1	JUNE 2024	NIPDES COMPLETION COMMENTS
2	JULY 2024	NIPDES COMPLETION COMMENTS #2
3	JULY 2024	NIPDES TECHNICAL COMMENTS
4		
5		
6		
7		
8		
9		

SHEET TITLE: PCSM PLAN DETAILS

SHEET:
PCDT-1

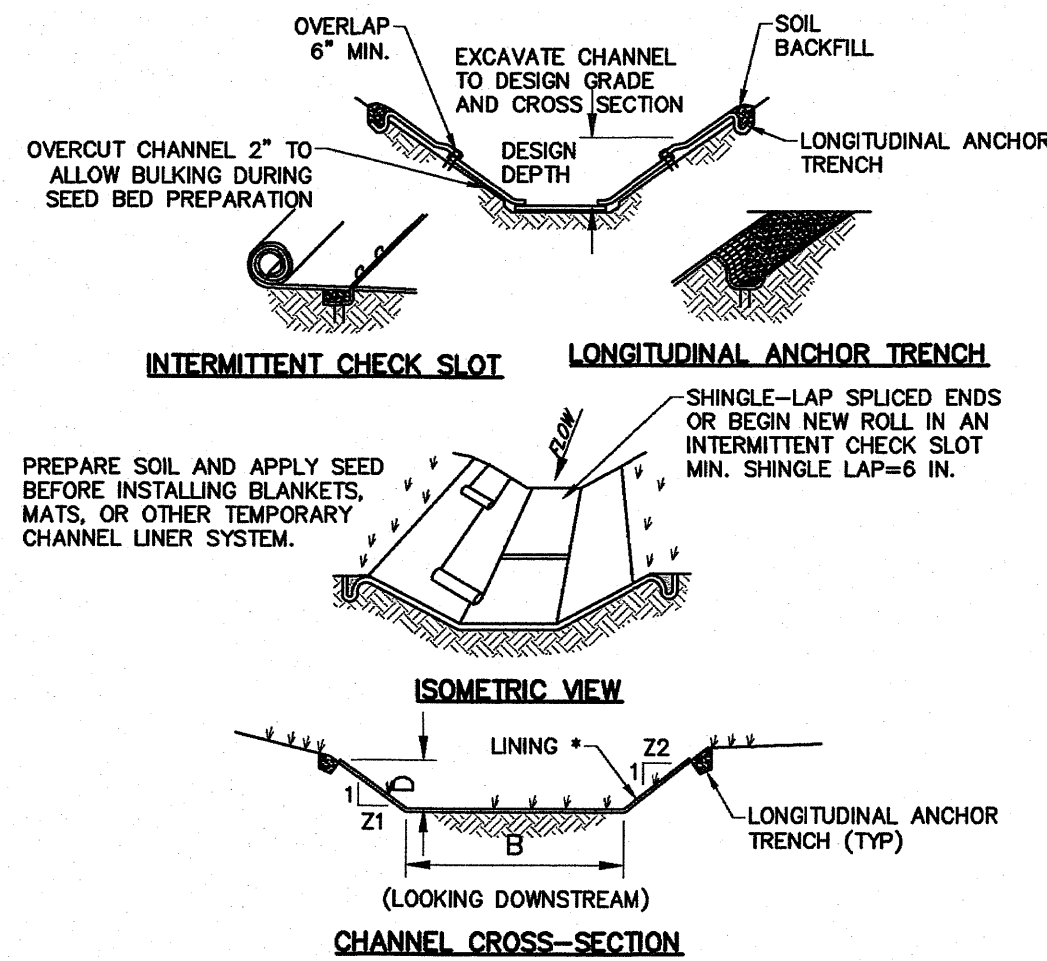
06



- NOTES:**
1. PROVIDE FIELD PLACED CONCRETE FILL IN THE BOTTOM OF ALL OUTLET STRUCTURES TO A DEPTH OF 1/2 OF THE PIPE I.D. PROVIDE AN ADEQUATE FLOW CHANNEL FOR THE TRANSITION TO THE OUTLET PIPE. SHAPE BOX BOTTOM FOR POSITIVE DRAINAGE.
 2. CONSTRUCT THE REINFORCED CONCRETE FOUNDATION TO A DIMENSION 24" LARGER THAN THE OUTSIDE DIMENSIONS OF THE OUTLET STRUCTURE.
 3. CONSTRUCT OUTLET STRUCTURE IN ACCORDANCE WITH PENNDOT PUBLICATION 72, RC-34 FOR PRECAST CONCRETE INLET BOXES.

BASIN NUMBER	TOP ELEVATION	TOP DIM.	LOW ORIFICE INV. ELEVATION	HIGH ORIFACE INV. ELEVATION	LOW DIA.	HIGH SIZE	OUTLET PIPE INVERT ELEVATION
1	1209.50	24"x48"	1207.75	1208.50	6"	16"W X 6"H	1205.50

BASIN #1 OUTLET STRUCTURE DETAIL (OS-1)
NOT TO SCALE



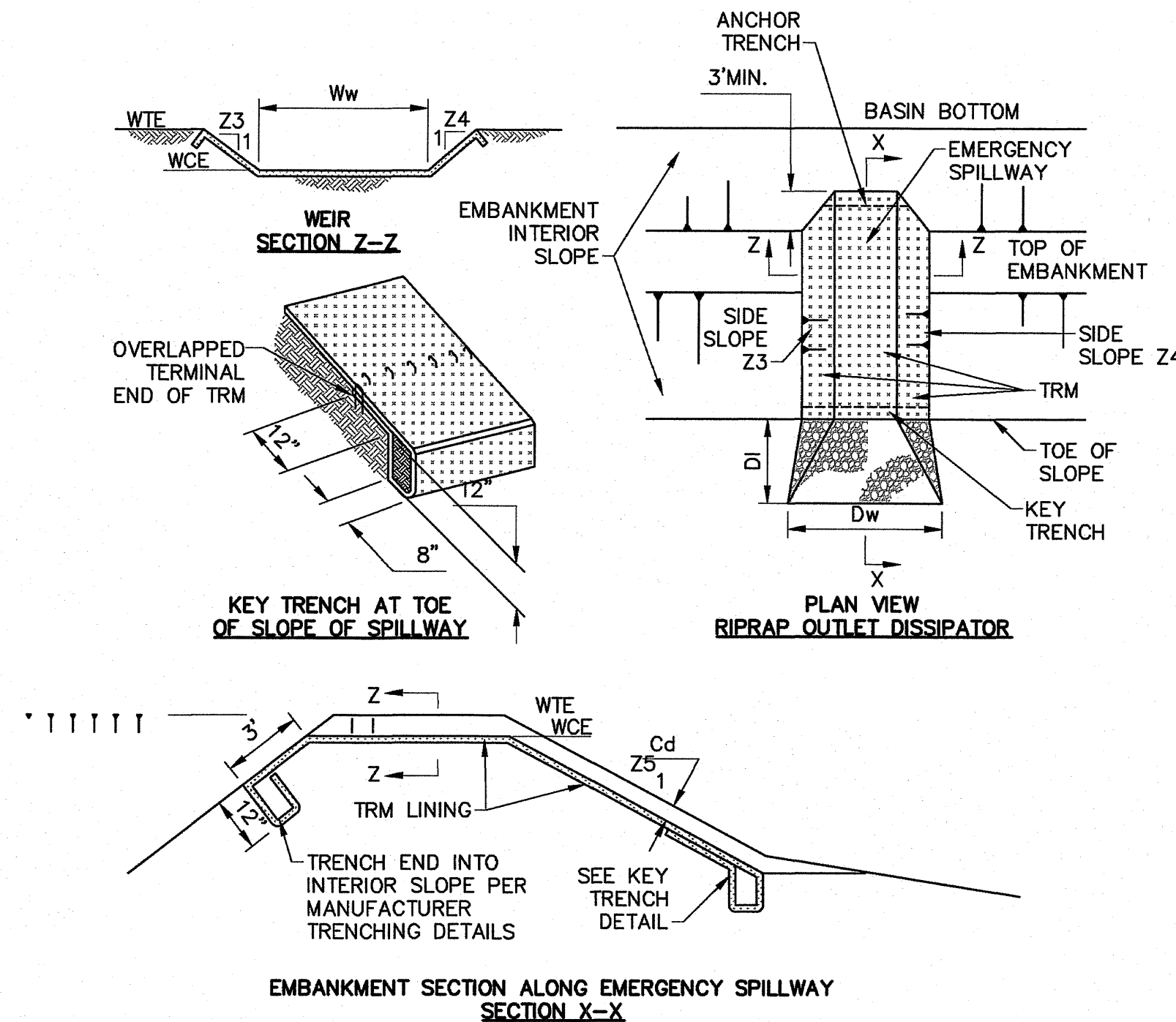
* SEE MANUFACTURER'S LINING INSTALLATION DETAIL FOR STAPLE PATTERNS, VEGETATIVE STABILIZATION SPECIFICATIONS FOR SOIL AMENDMENTS, SEED MIXTURES AND MULCHING INFORMATION

CHANNEL NO.	BOTTOM WIDTH B (FT)	DEPTH D (FT)	Z1 (FT)	Z2 (FT)	LINING *	STAPLE PATTERN
A	2	0.8	3	3	NAG SC150	D

- NOTES:**
1. ANCHOR TRENCHES SHALL BE INSTALLED AT BEGINNING AND END OF CHANNEL IN THE SAME MANNER AS LONGITUDINAL ANCHOR TRENCHES.
 2. CHANNEL DIMENSIONS SHALL BE CONSTANTLY MAINTAINED. CHANNEL SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 25% AT ANY LOCATION. SEDIMENT DEPOSITS SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS SOIL CONDITIONS PERMIT ACCESS TO CHANNEL WITHOUT FURTHER DAMAGE. DAMAGED LINING SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCOVERY.
 3. NO MORE THAN ONE THIRD OF THE SHOOT (GRASS LEAF) SHALL BE REMOVED IN ANY MOWING. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED. EXCESS VEGETATION SHALL BE REMOVED FROM PERMANENT CHANNELS TO ENSURE SUFFICIENT CHANNEL CAPACITY.

**STANDARD CONSTRUCTION
DETAIL #6-1 VEGETATED CHANNEL**

NOT TO SCALE

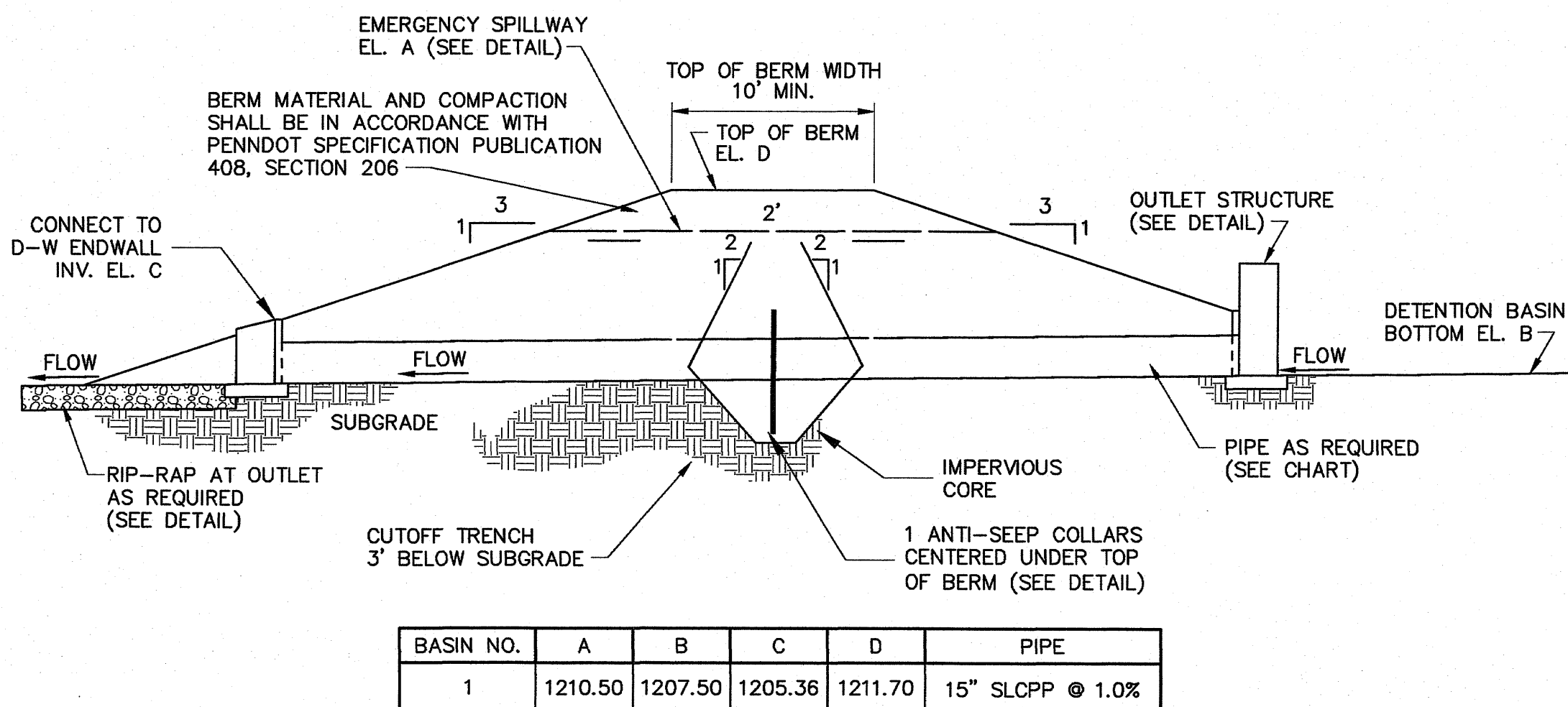


BASIN NO.	WEIR					LINING		CHANNEL	
	Z3 (FT)	Z4 (FT)	TOP ELEV WTE (FT)	CREST ELEV WCE (FT)	WIDTH Ww (FT)	TRM TYPE	STAPLE PATTERN	Z5 (FT)	DEPTH Cd (FT)
1	4:1	4:1	1211.70	1210.50	8	SC150	D	8	0.3

NOTES:

1. HEAVY EQUIPMENT SHALL NOT CROSS OVER SPILLWAY WITHOUT PRECAUTIONS TAKEN TO PROTECT TRM LINING.
2. DISPLACED LINER WITHIN THE SPILLWAY AND/OR OUTLET CHANNEL SHALL BE REPLACED IMMEDIATELY.
3. RIPRAP AT TOE OF EMBANKMENT SHALL BE EXTENDED A SUFFICIENT LENGTH IN BOTH DIRECTIONS TO PREVENT SCOUR.
4. THE USE OF BAFFLES THAT REQUIRE SUPPORT POSTS ARE RESTRICTED FROM USE IN BASINS REQUIRING IMPERVIOUS LINERS.

**CONSTRUCTION DETAIL #7-13
EMERGENCY SPILLWAY WITH TRM LINING**
NOT TO SCALE



BASIN NO.	A	B	C	D	PIPE
1	1210.50	1207.50	1205.36	1211.70	15" SLCP@ 1.0%

NOTES:

1. CORE MATERIAL UNIFIED CLASS, CH OR CL COMPACTED TO 95% OF MAXIMUM DENSITY.
2. HOMOGENEOUS EMBANKMENT MATERIAL TO BE COMPACTED IN 8" LAYERS TO A MINIMUM FINAL DENSITY OF NOT LESS THAN 95% OF MAX. DRY WEIGHT AT OPTIMUM MOISTURE CONTENT.
3. BASIN TO BE OVER-EXCAVATED 2' AND BACKFILLED WITH ENGINEERED AMENDED SOIL, CONSISTING OF 20% COMPOST, 40% SAND, AND 40% TOPSOIL.
4. IF TOPSOIL FOR THE AMENDED SOILS IS TO BE TAKEN FROM ONSITE, IT SHOULD NOT HAVE MORE THAN 10% CLAY CONTENT.

BASIN #1 SECTION AT OUTLET

NOT TO SCALE

PLAN BOOK	PAGE
425	21

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

FOR

FOUR SEASONS FARM LLC - AG BMP PROJECT

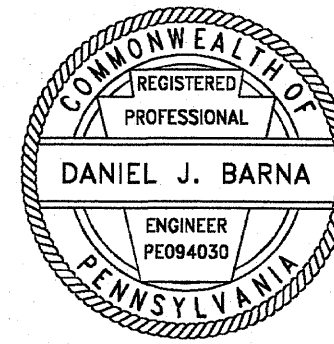
FOUR SEASONS FARM, LLC

120 ROYAL OAK DRIVE

BUTLER, PA 16002

PENNSYLVANIA

PROFESSIONAL SEAL:



HRG PROJECT NUMBER: 010340.0425

PLAN DATE: JUNE 2024

DRAWING SCALE: AS SHOWN

PROJ. MANAGER: ERIN G. LETAVIC

REVISIONS	DATE	DESCRIPTION
1	JUNE 2024	NPDES COMPLETION COMMENTS #2
2	JULY 2024	NPDES COMPLETION COMMENTS #2
3	JULY 2024	NPDES TECHNICAL COMMENTS
4		
5		
6		
7		
8		
9		

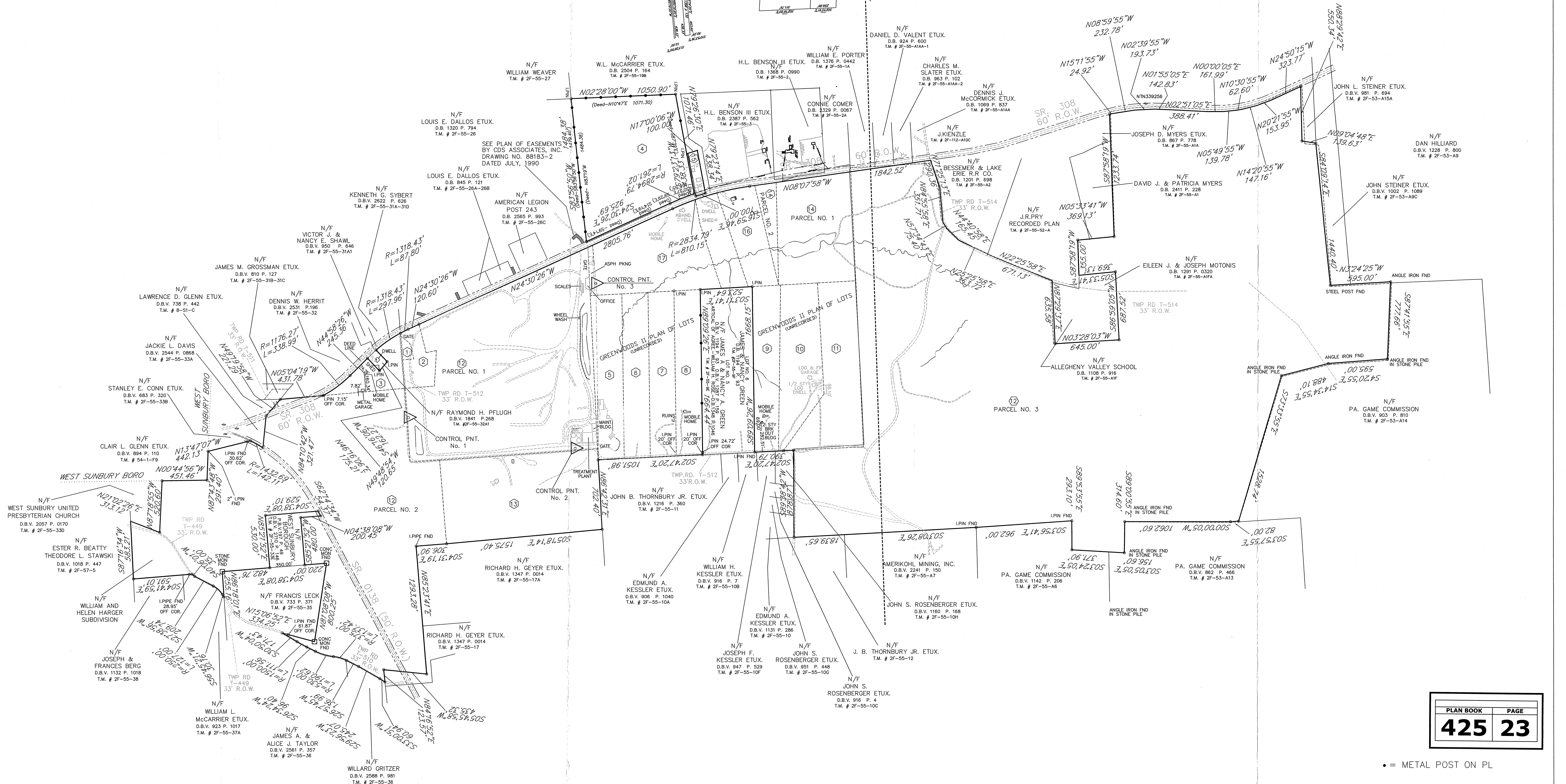
SHEET TITLE:

**PCSM PLAN
DETAILS**

SHEET: **PCDT-2**

07

PARCEL NO	GRANTEE	GRANTOR	DATE	INSTRUMENT	TAX MAP NO.
1	NORTHWEST SANITARY LANDFILL, INC.	HELEN & MARGARET KUZMA	08-15-1994	DBV. 2459 P.835	2F-55-19C
2	NORTHWEST SANITARY LANDFILL, INC.	NICHOLAS KUZMA JR. ETUX.	08-15-1994	DBV. 2459 P.839	2F-55-19
3	NORTHWEST SANITARY LANDFILL, INC.	JOSEPH HAYDEN ETUX.	12-07-1993	DBV. 2385 P.903	2F-55-32A
4	NORTHWEST SANITARY LANDFILL, INC.	LELAND M. READ ETUX.	09-14-1993	DBV. 2385 P.903	2F-55-4
5	NORTHWEST SANITARY LANDFILL, INC.	JAMES A. GREEN ETUX.	07-08-1991	DBV. 1811 P.162	2F-55-9A
6	NORTHWEST SANITARY LANDFILL, INC.	JAMES A. GREEN ETUX.	11-14-1991	DBV. 1911 P.112	2F-55-9B
7	NORTHWEST SANITARY LANDFILL, INC.	CARL R. HIRTH JR. ETUX.	04-24-1992	DBV. 2018 P.078	2F-55-9C
8	NORTHWEST SANITARY LANDFILL, INC.	JAMES A. GREEN ETUX.	11-18-1992	DBV. 2232 P.239	2F-55-9D
9	NORTHWEST SANITARY LANDFILL, INC.	TERRY & THOMAS W. BRITNER	03-30-1995	DBV. 2512 P.901	2F-55-9G
10	NORTHWEST SANITARY LANDFILL, INC.	RICHARD F. MIZGORSKI ETUX.	03-29-1995	DBV. 2512 P.896	2F-55-9H
11	NORTHWEST SANITARY LANDFILL, INC.	GERARD F. MIZGORSKI	09-03-1993	DBV. 2354 P.463	2F-55-9J
12	NORTHWEST SANITARY LANDFILL, INC.	WILLIAM L. HARGER ETUX.	03-02-1992	DBV. 1969 P.250	2F-55-19B/33C
13	NORTHWEST SANITARY LANDFILL, INC.	BENJAMIN B. BOOFER ETUX.	12-16-1991	DBV. 1926 P.327	2F-55-18
14	NORTHWEST SANITARY LANDFILL, INC.	HOWARD D. GRAY JR. ETUX.	10-30-1991	DBV. 1894 P.0067	2F-55-5/6
15	NORTHWEST SANITARY LANDFILL, INC.	BRIAN S. SEIDLER ETUX.	11-11-1991	DBV. 1911 P.0091	2F-55-3A
16	NORTHWEST SANITARY LANDFILL, INC.	THOMAS S. BECK ETUX.	01-17-1992	DBV. 1937 P.0346	2F-55-7
17	NORTHWEST SANITARY LANDFILL, INC.	ARTHUR L. MORROW ETUX.	01-17-1992	DBV. 1937 P.0341	2F-55-4A



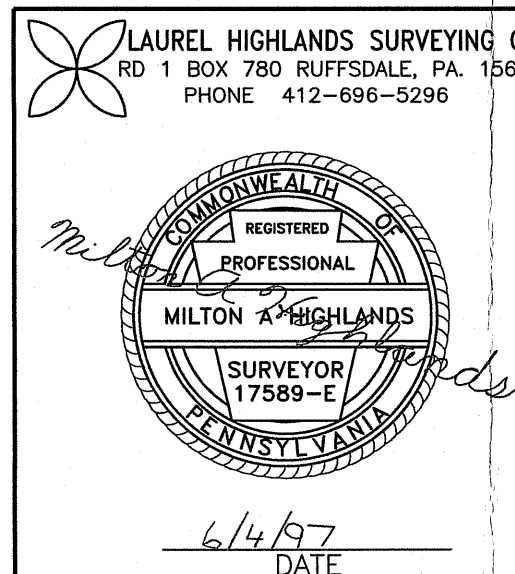
GPS MONUMENT COORDINATES						
CONTROL PNT.	SITE GRID (FEET)		STATE PLANE (FEET)		STATE PLANE (METRIC)	
	NORTHING	EASTING	NORTHING	EASTING	NORTHING	EASTING
GPS-1	3216.90	6301.36	294456.702	1454703.019	89750.58319	443394.37156
GPS-2	4896.63	6812.85	297377.238	1455121.042	90640.76444	443521.78504
GPS-3	5102.38	4951.17	293504.508	1456287.952	89460.35400	443877.46000

1. THE HORIZONTAL CONTROL IS BASED ON A SITE SPECIFIC GRID PREVIOUSLY ESTABLISHED BY OTHERS FOR USE BY WASTE MANAGEMENT, INC.
2. VERTICAL DATUM IS BASED ON U.S.G.S. MONUMENT LL-4-BM-C, ELEVATION = 1359.454.

I HEREBY CERTIFY THAT THIS MAP AND SURVEY WERE PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS JULY 26, 1985.

MILTON A. HIGHLANDS
PA. LICENSE No. 17589-E

ONLY THOSE PLANS INCORPORATING THE RAISED SURVEYOR'S SEAL SHOULD BE CONSIDERED OFFICIAL AND RELIED UPON BY USER. THIS PLAN IS PREPARED SPECIFICALLY FOR THE CLIENT AND PROJECT DESIGNATED HEREON. MODIFICATION, REVISION, DUPLICATION OR USE WITHOUT THE WRITTEN CONSENT OF LAUREL HIGHLANDS SURVEY COMPANY IS PROHIBITED.



REV.	DATE	DESCRIPTION	DR. BY	APP. BY
DES BY		PROJECT No.	SCALE: 1" = 400'	
DRN BY	BAJ	PROJECT: NORTHWEST SANITARY LANDFILL CLAY TOWNSHIP, BUTLER COUNTY, PA.		
CHK BY		SHEET TITLE:		
REV BY				
APP BY				

PLAN BOOK		PAGE
425		23

• = METAL POST ON PL

0 400 800 FEET

LAUREL HIGHLANDS SURVEYING CO.
RD 1 BOX 780 RUFFDALE, PA 15079
PHONE 412-696-5296

Waste Management Disposal Services of Pennsylvania, Inc.

SHEET 1 OF 2
DRAWING No.
NW060497

Instr: 202503050002907
Pg: 1 F: \$45.00 3/5/2025 9:25 AM
Michele Mustillo T20250002496
Butler County Recorder PA

SITE LOCATION MAP

SCALE: 1" = 2000'

The map displays a network of roads: Holl Rd (vertical on the left), Marwood Rd (diagonal from top-left to bottom-right), Bear Creek Rd (vertical in the center), and Winfield Rd (diagonal from bottom-left to top-right). A circled dot marks the 'SITE' location at the intersection of Marwood Rd and Bear Creek Rd. A north arrow is located in the bottom right corner.


GENERAL NOTES:

- 1. OWNERS: ESTATE OF RUTH S. GRAFF
- 2. TAX ID: 320-1771-25
- 3. ADDRESS: 372 MARWOOD RD
CABOT, PA 16803
- 4. ZONING: R/A - RESIDENTIAL/AGRICULTURAL DISTRICT
- 5. SETBACKS: SEE TABLE
- 6. REFERENCES
 - 6.1. CURRENT DEEDS OF RECORD
 - 6.2. PREVIOUSLY RECORDED PLANS
 - 6.2.1. L. F. GRAFF PLAN
PLAN BOOK 321 PG 2
 - 6.2.2. L. F. GRAFF PLAN No. 2
PLAN BOOK 320 PG 17
 - 6.2.3. L. F. GRAFF PLAN No. 3
PLAN BOOK 374 PG 1
 - 6.2.4. L. F. GRAFF PLAN No. 4
PLAN BOOK 412 PG 4
 - 7. SUBJECT TO GAS LINE OPERATION WATER LINE EASEMENT
AS RECORDED INSTRUMENT #201711270025957

WINFIELD TOWNSHIP R/A - RESIDENTIAL/AGRICULTURAL DISTRICT	
Dimension	Requirement
Min. Lot Area	2 ac (w/ on lot water and sewage)
Min. Lot Width	200 feet at building line
Min. Front Yard Depth	75 feet from centerline of street
Min. Side Yard Depth	10 feet
Min. Rear Yard Depth	50 feet principal (10 feet accessory)

NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.

RECORDED _____ 20 _____	
PLAN BOOK	PAGE
425	24
SHEET _____ of _____	

REV	DESCRIPTION			BY	DATE
<div>GRAFF SURVEYING</div> <div>GRAFF SURVEYING LLC PO BOX 521 SAXONBURG, PA 16056 P: 724-352-3811 F: 724-352-1059 INFO@GRAFFSURVEYING.COM WWW.GRAFFSURVEYING.COM</div>					
PROJECT DESCRIPTION					
GRAFF PLAN No. 5 BEING A SUBDIVISION FOR THE ESTATE OF RUTH S. GRAFF					
SITUATE					
WINFIELD TOWNSHIP BUTLER COUNTY, PENNSYLVANIA					
DATE	DRAWN	CHECKED	SCALE		
11/19/24	SDG	Sdg	1" = 100'		
PROJECT NO.	TAX PARCEL NO.			REVISION	
24-146	320-1F71-25			-	

KNOW ALL MEN BY THESE PRESENTS, that I, Chris Allen Detrick, of the Township of Oakland, of the County of Butler, Commonwealth of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this plan as my Plan of Lots of my property, situate in Oakland Township, Butler County, Pennsylvania, and for divers advantages accruing to me, do hereby dedicate forever, for public use for Highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Township of Oakland, I hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Oakland, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedications and release shall be binding upon Chris Allen Detrick, my heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 25 day of 02, 2025

ATTEST:

Notary Public: Angela K. Kautsoutakis Owner: Chris Allen Detrick

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Chris Allen Detrick, and acknowledged the foregoing release and dedication and plan to be his act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day.

WITNESS MY HAND AND NOTARIAL SEAL this 25 day of 02, 2025

My Commission expires the 30 day of 07, 2028

SEAL

Notary Public: Angela K. Kautsoutakis Commonwealth of Pennsylvania - Notary Seal
Butler County
My Commission Expires July 30, 2028
Commission Number 1450793

I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.

DATE 2/17/2025 SEAL Cheryl A. Hughes
REG. NO. SU-32490-E

I, Chris Allen Detrick, owner of this plan of subdivision in my name, do hereby certify that the title of this property is in the name of Chris Allen Detrick, as recorded in Instrument #200602010002475, Recorder of Deeds Office.

WITNESS Chris Allen Detrick OWNER

MORTGAGE CLAUSE:

I/we, Chris Allen Detrick, mortgagor of the property embraced in this plan of subdivision in the name of Chris Allen Detrick, do hereby consent to the recording of said plan in the Recorder's Office and covenants appearing hereon.

WITNESS Chris Allen Detrick MORTGAGEE

The Board of Supervisors of the Township of Oakland hereby gives public notice that in approving this plan for recording purposes only, the Township of Oakland assumes no obligation, legal or otherwise, expressed or implied, either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

Secretary: Deann Zup Chairman/President: Seal

Approved by the Supervisors of the Township of Oakland this 5th day of March, 2025

Secretary: Deann Zup Chairman/President: Seal

Approved by the Oakland Township Planning Commission this 5th day of March, 2025

Secretary: Patricia Anderson Chairman/President: Seal

Reviewed by the Butler County Planning Commission this 19th day of December, 2024

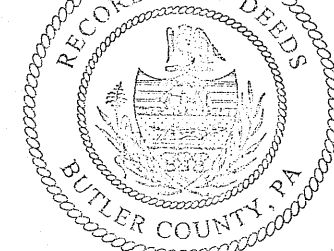
Secretary: R. Harv Chairman/President: Seal

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER

Recorded in the Recorder's Office for the recording of deeds, plans, etc. in said County in Plan Book Volume 425 page 25

Given under my hand and seal this 7th day of March, 2025

SEAL Michele M. Mustello



MICHELE M. MUSTELLO
RECORDER OF DEEDS

My Commission Expires First Monday in January 2028

PLAN BOOK	PAGE
425	25

L S J	Land Surveyors, Inc. 523 North Main Street P.O. Box 1061 Butler, PA 16003-1061 (724) 287-6865 Cheryl A. Hughes, PLS Owner				
	PLAN OF SUBDIVISION FOR: CHRIS ALLEN DETRICK SITUATE: OAKLAND TWP., BUTLER CO., PA.				
Date 12/06/2024	Scale 1" = 100'	Dwn By	BEC	Ckd By	CAH
Parcel No.	250-2F24-9AA	Instrument#	200602010002475	Service No.	24-128
Address		220 WHITMIRE ROAD			

REVISED 02/17/2025; ENGINEER'S REVIEW COMMENTS

PROPOSED 50' PRIVATE R/W

a S 87°28'05" E 30.32'
b N 86°09'14" E 54.58'
c N 83°14'54" E 54.01'
d N 81°24'45" E 44.09'
e N 74°15'35" E 39.59'
f N 63°11'12" E 46.56'
g N 53°45'34" E 34.02'

WHITMIRE ROAD T-517
50' R/W (Paved 18')
PER P.B. 176 Pg. 2

R=1,815.00' A=239.34'
Ch=N 35°14'27" E
239.17'

250-2F24-9AA
N/F CHRIS ALLEN DETRICK
EX. PARCEL A of P.B. 176 Pg. 2
14.63 ACRES
-1.00 ACRE LOT 1
13.63 ACRES TOTAL
AFTER CONVEYANCE =
REVISED PARCEL A
(Non-Building Lot)

250-2F22-2
EX. LOT 3 of P.B. 263 Pg. 14
N/F G.J. WULFF

NOTES:

SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.

ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREA OF MINIMAL FLOOD HAZARD DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

PROPERTY OWNER: CHRIS DETRICK
220 WHITMIRE ROAD
WEST SUNBURY, PA 16061

ALL CONVEYANCES UNDER THIS PLAN ARE SUBJECT TO THE GRANTEES, THEIR HEIRS, SUCCESSORS AND ASSIGNS SHARING EQUALLY IN THE COSTS AND EXPENSES OF MAINTAINING ANY AND ALL EASEMENTS IN GOOD REPAIR. THE USE BY THE GRANTEES, THEIR HEIRS, SUCCESSORS AND ASSIGNS OF SAID EASEMENTS SHALL BE LIMITED TO INGRESS, EGRESS AND REGRESS AND NO USE SHALL BE EXPANDED OR MODIFIED WITHOUT PRIOR WRITTEN CONSENT OF ANY AND ALL SIGNATORY LANDOWNERS.

THE PRIVATE RIGHT-OF-WAY SHOWN IS PER RIGHT-OF-WAY AGREEMENT BETWEEN CHRIS A. DETRICK AND DALE A. RILEY AND TANYA GREGOR DATED JANUARY 28, 2025 AND IS TO BE RECORDED ALONG WITH THIS PLAN.

UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS AND SHOULD BE LOCATED IN ACCORDANCE WITH PA ACT 38 PRIOR TO ANY EXCAVATION.

REF: PARCEL A OF SENOUR FOUCH SUBDIVISION RECORDED 08/05/94 IN P.B. 176 PG. 2.

ORIGINAL PARCEL A OF ABOVE PLAN DOES NOT CLOSE MATHEMATICALLY AND ERROR APPEARS TO BE ALONG ROAD AT THE NORTHEAST CORNER.



VICINITY MAP Scale: 1" = 2000'

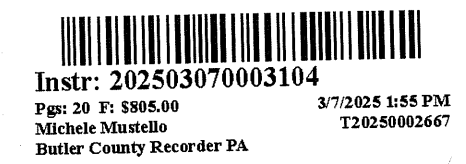
SLIPPERY ROCK #3 - DOLLAR GENERAL LAND DEVELOPMENT RECORDING PLANS

FOR

PTV 1416, LLC

SLIPPERY ROCK TOWNSHIP BUTLER COUNTY PENNSYLVANIA

FEBRUARY 2025



SLIPPERY ROCK TOWNSHIP REVIEW

REVIEWED AND RECOMMENDED BY THE SLIPPERY ROCK TOWNSHIP PLANNING COMMISSION
ON THIS 9TH DAY OF December, 2024.

Justin De... SECRETARY
Paul A. De... CHAIRPERSON

REVIEWED AND APPROVED BY THE BOARD OF SUPERVISORS ON THIS 9TH DAY OF
December, 2024.

Justin De... SECRETARY
Paul A. De... CHAIRPERSON

BUTLER COUNTY PLANNING COMMISSION APPROVAL REVIEW

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 20TH DAY OF November, 2024.

SIGNED AND NOTED AS REVIEWED THIS DAY OF 20TH Day of November, 2024.
B. Ham... SECRETARY
Jeffine... CHAIRPERSON

SEE COMMENTS ON FILE AT THE BUTLER COUNTY PLANNING COMMISSION

24220
PLAN NUMBER

OWNER'S CERTIFICATION

WE, PTV 1416, LLC OWNER(S) OF THE LAND SHOWN ON THE LAND DEVELOPMENT PLAN FOR PTV 1416, LLC, THE UNDERSIGNED, HEREBY DECLARE THAT WE ARE THE OWNERS(S) OF THE PROPERTY SHOWN ON THIS FINAL PLAN, THAT THE FINAL PLAN AND THE PROPOSED SUBDIVISION WERE MADE WITH THE OWNER(S)'S CONSENT, AND THAT THE OWNER(S) OF THE FINAL PLAN TO BE RECORDED AS SUCH.

IN WITNESS OF WHEREOF WE HAVE SET OUR HANDS AND SEALS THIS 10TH DAY OF FEBRUARY, 2025.

Austin Weinman (Owner)
PTV 1416, LLC

ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF ALLEGHENY }

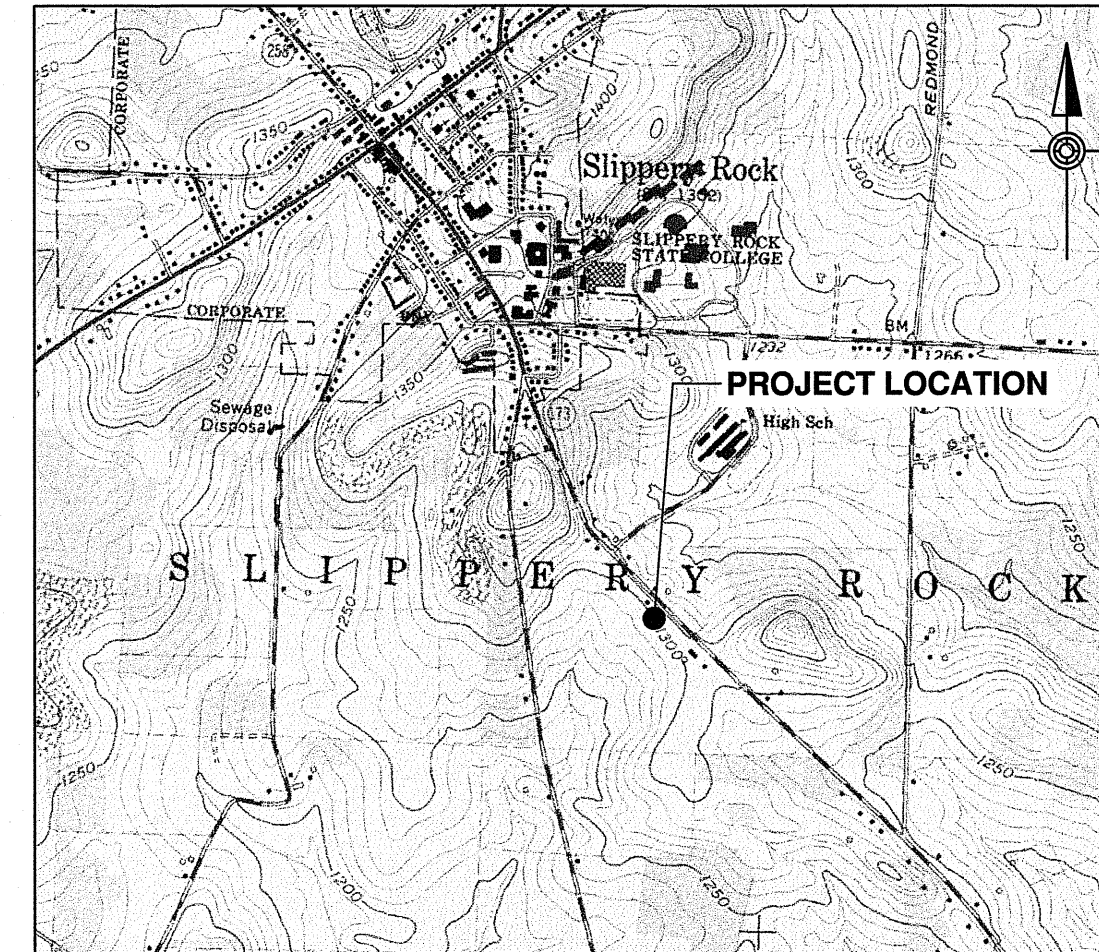
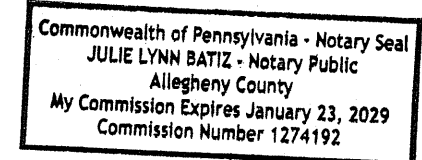
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED THE ABOVE NAMED SCOTT & MICHELLE BRADLEY Austin Weinman WHO ACKNOWLEDGED THE FOREGOING FINAL PLAN OF SUBDIVISION OR LAND DEVELOPMENT TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THIS 10TH DAY OF FEBRUARY, 2025.

Julie L. Saty
(NOTARY PUBLIC)

MY COMMISSION EXPIRES THE 23RD DAY OF JANUARY, 2029.

SEAL



LOCATION MAP
SCALE: 1"=2000'

Sheet List Table

Sheet Number	Sheet Title	Sheet Description
01	COVER SHEET	CV-1
02	GENERAL NOTES	GN-1
03	EXISTING CONDITIONS PLAN	EC-1
04	DEMOLITION PLAN	DM-1
05	SITE LAYOUT PLAN	SL-1
06	TURNING TEMPLATE	TT-1
07	SITE GRADING AND DRAINAGE PLAN	GR-1
08	SITE UTILITY PLAN	UT-1
09	SITE LANDSCAPING PLAN	LA-1
10	SITE DETAILS	DT-1
11	SITE DETAILS	DT-2
12	EROSION AND SEDIMENT CONTROL PLAN	ES-1
13	EROSION AND SEDIMENT CONTROL NOTES	ESNT-1
14	EROSION AND SEDIMENT CONTROL DETAILS	ESDT-1
15	EROSION AND SEDIMENT CONTROL DETAILS	ESDT-2
16	PCSM PLAN	PC-1
17	PCSM NOTES	PCNT-1
18	PCSM DETAILS	PCDT-1
19	PCSM DETAILS	PCDT-2

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER }

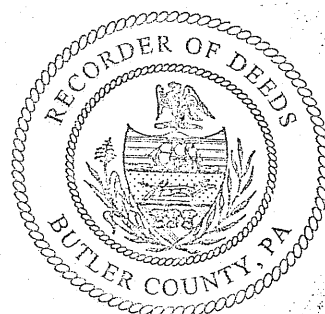
RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, PLATS AND PLANS IN SAID COUNTY, IN
PLAN BOOK VOLUME 425 PAGE(S) 26-45

GIVEN UNDER MY HAND AND SEAL THIS 7TH DAY OF MARCH, 2025.

Michele M. Mustello
RECORDER OF DEEDS

MICHELE M. MUSTELLO
RECORDER OF DEEDS

My Commission Expires First Monday in January 2028



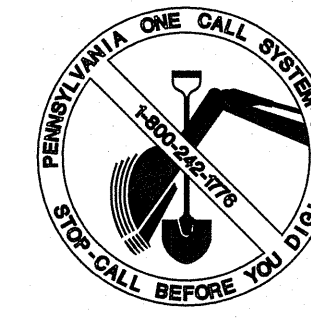
PROFESSIONAL'S CERTIFICATION

I CRAIG A. BISHOP, A PROFESSIONAL LANDSCAPE ARCHITECT OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS TRUE AND CORRECT TO THE STANDARDS OF THE WORTH TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND THAT THE SURVEY AND ALL ANGLES, DISTANCES, AND COURSES ARE ACCURATELY SHOWN, THAT THE MONUMENTS AND MARKERS AS SHOWN ON THE PLAT HAVE BEEN, OR WILL BE SET, AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

Craig A. Bishop
PROFESSIONAL'S SIGNATURE
LA003228
REGISTRATION NUMBER
2-8-25
DATE



PA ONE CALL
ACT 287, AS AMENDED



PENNSYLVANIA ACT 287 (1974) AS AMENDED, REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH. PA ONE-CALL SERIAL NO. 20242403351 HAS BEEN ASSIGNED TO THIS PROJECT ON 08-27-24.

HIGHWAY OCCUPANCY PERMIT REQUIREMENT

THIS PLAT REQUIRES A HIGHWAY OCCUPANCY PERMIT PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW." APPROVAL OF THE SLIPPERY ROCK TOWNSHIP PLANNING COMMISSION AND BOARD OF SUPERVISORS ARE CONDITIONAL, SUBJECT TO ACTION OF THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PURSUANT TO APPLICATION FOR A HIGHWAY OCCUPANCY PERMIT.

PLAN BOOK	PAGE
425	26

LEGEND

- Existing Fence Post
- ⋈

Existing Sign
- Existing Bollard
- Existing Road Delineation Post
- ▣ MB

Existing Mailbox
- Railroad Track
- Property Line
- Legal Right-of-Way Line
- Setback Line
- C&A

EB
- Soil Boundaries

Existing Easement

Floodplain

-540-

Existing Contour Major

- - - - -

Existing Contour Minor

- - - - -

Existing Ditch Or Swale

Existing Shrub

Existing Coniferous Tree

Existing Deciduous Tree

Tree/Brush Line

Shrub Row

Existing Curb

Existing Edge of Road

Existing Edge of Gravel

-X-

Existing Fence

-E,T,CTV-

Existing Above Ground Electric, Telephone and Cable TV Line

Floodplain Area

Existing Gas Line

⊗ GV

Existing Gas Valve

○ GM

Existing Gas Meter

-S-

Existing Sanitary Sewer Line

12" CMP

Existing Storm Sewer Line

San. MH

Existing Sanitary Sewer Manhole

Existing Storm Sewer Inlet

-W-

Existing Water Line

⊗ WV

Existing Water Valve

□ FH

Existing Fire Hydrant

PROPOSED EASEMENT

490

PROPOSED CONTOUR

X 490.00

PROPOSED SPOT ELEVATION

X BC 490.00

PROPOSED BOTTOM OF CURB SPOT ELEVATION

X TC 490.00

PROPOSED TOP OF CURB SPOT ELEVATION

X HP 490.00

PROPOSED HIGH POINT SPOT ELEVATION

X LP 490.00

PROPOSED LOW POINT SPOT ELEVATION

20

PROPOSED CURB

20

PROPOSED PARKING SPACE QUANTITY TAG

PROPOSED SIGN

PROPOSED BOLLARD

LOD

LIMIT OF DISTURBANCE

RCE

ROCK CONSTRUCTION ENTRANCE

SS

SILT SOXX - 8"

INLET PROTECTION

T

PROPOSED TELEPHONE LINE

E

PROPOSED ELECTRIC LINE

FOT

PROPOSED FIBER OPTIC LINE

E

PROPOSED ELECTRICAL BOX

PROPOSED LIGHT STANDARD

G

PROPOSED GAS LINE

⊗ GV

PROPOSED GAS VALVE

○ GM

PROPOSED GAS METER

S

PROPOSED SANITARY LINE

●

PROPOSED SANITARY/STORM MANHOLE

OCO

PROPOSED SANITARY CLEANOUT

W

PROPOSED WATER LINE

⊗ WV

PROPOSED WATER VALVE

□ FH

PROPOSED FIRE HYDRANT

WM

PROPOSED WATER METER

SITE DATA

PROPERTY ADDRESS:	664 CENTERVILLE PIKE SLIPPERY ROCK, PA 16057	
PROPERTY OWNER(S):	G N' W, LLC	
TAX PARCELS:	280-S13-AA-0000	
ZONING DISTRICT:	COMMERCIAL DISTRICT	
SITE AREA:	1.033 AC. TOTAL	
LOCAL JURISDICTION:	SLIPPERY ROCK TOWNSHIP	
PROPOSED USE:	COMMERCIAL RETAIL	
	<u>REQUIRED</u>	<u>PROPOSED</u>
MINIMUM LOT AREA:	25,000 SF	1.033 AC.
MINIMUM SETBACKS:	FRONT-20' SIDE-20' REAR-20'	152.2' 22.87', 46.02' 20'
MAXIMUM BUILDING HEIGHT:	45'	18'
MAXIMUM BUILDING COVERAGE:	25%	21%

SURVEY NOTES

- THE TOPOGRAPHY AND PROPERTY BOUNDARY SHOWN ON THESE PLANS IS BASED UPON A FIELD SURVEY PREPARED BY HERBERT, ROWLAND & GRUBIC, INC., DATED AUGUST 29, 2024.
- THE BEARING BASE AND HORIZONTAL DATUM FOR THIS PROJECT ARE BASED ON PENNSYLVANIA STATE PLANE COORDINATE SYSTEM PA SOUTH (NAD83). THE VERTICAL DATUM IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- IF THE CONTRACTOR DOES NOT ACCEPT THE EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.

GENERAL NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL & STATE REGULATIONS AND CODES AND OSHA STANDARDS.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURB, EDGE OF PAVING, OR EDGE OF BUILDING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF STRUCTURES. ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
- ALL CURBED RADII SHALL BE FIVE FEET UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS SHOWN ON THIS PLAN ARE FOR LAND DEVELOPMENT APPROVAL ONLY. MINOR CHANGES THAT DO NOT VIOLATE MUNICIPAL REGULATIONS MAY OCCUR AT THE FINAL BUILDING DESIGN PHASE OF THE PROJECT.
- HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428) KNOWN AS THE STATE HIGHWAY LAW, BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED.
- THE CONTRACTOR SHALL NEATLY SAW CUT ALL JOINTS WHERE THE PROPOSED CONSTRUCTION MEETS EXISTING PAVING AND/OR CONCRETE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- THE CONTRACTOR IS ENCOURAGED TO OBTAIN COPIES AND BECOME FAMILIAR WITH THE COUNTY'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, BOROUGH'S STORMWATER MANAGEMENT ORDINANCE AND STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE TO MEET THE REQUIREMENTS OF THESE ORDINANCES AND SPECIFICATIONS FOR VARIOUS PUBLIC IMPROVEMENTS.
- THE 100-YEAR FLOOD PLAIN BOUNDARY DOES NOT ENCROACH ON THE PROPERTY ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 42019C0145D.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH PENNDOT STANDARDS, AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.

DEMOLITION NOTES

- ALL DEMOLITION SHALL BE CONDUCTED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL UTILITIES SHALL BE TERMINATED AND SECURED PRIOR TO DEMOLITION ACTIVITIES. DISCONNECT, CUT, CAP AND/OR ABANDON SERVICE LINES TO BE DEMOLISHED IN ACCORDANCE WITH THE UTILITY COMPANY REQUIREMENTS.
- UTILITY SERVICE TO ADJACENT PROPERTIES MUST REMAIN CONTINUOUSLY OPERABLE UNLESS SERVICE DISRUPTION IS AGREED TO IN ADVANCE BY THOSE AFFECTED.
- ITEMS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. IF ANY ITEM TO REMAIN IS DAMAGED OR MADE INOPERABLE FOR ITS INTENDED FUNCTION, IT SHALL BE REPAIRED OR REPLACED TO A CONDITION EQUAL TO OR BETTER THAN ITS CONDITION WHEN DAMAGED.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN AN APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
- THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
- ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
- CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO DEMOLITION.
- WHERE EXISTING PAVING AND CONCRETE IS TO REMAIN, THE CONTRACTOR SHALL NEATLY SAWCUT THE PAVING PRIOR TO REMOVAL OF PAVING/CONCRETE SCHEDULED FOR DEMOLITION.

GRADING/UTILITY NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS OF ACT 287. NOTIFICATION OF PUBLIC UTILITIES PRIOR TO CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITY LINES PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE TO RELOCATE ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION.
- ALL UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
- THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS. ALL AREAS OF THE SITE MUST BE GRADED TO MAINTAIN POSITIVE DRAINAGE TO A STORMWATER COLLECTION FACILITY, ANY LOCALIZED DEPRESSIONS WITHIN PAVED AREAS MUST BE ELIMINATED.
- ALL SPOT ELEVATIONS ARE REFERENCED TO THE FINISHED GROUND SURFACE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL NPDES PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES. NO EARTH DISTURBANCE MAY OCCUR OUTSIDE THE PERMITTED NPDES BOUNDARY LINE.
- THE CONTRACTOR SHALL APPLY A STABILIZATION FABRIC, OR EQUIVALENT, TO ALL SLOPES STEEPER THAN 3:1 FOR ANY TEMPORARY OR PERMANENT CUTS OR FILLS.
- THE CONTRACTOR SHALL OBTAIN THE SERVICES OF A GEOTECHNICAL ENGINEER AND IMPLEMENT RECOMMENDED CONTROLS NECESSARY FOR THE STABILIZATION OF ANY CUT SLOPES IN EXCESS OF 2:1 AND/OR FILL SLOPES IN EXCESS OF 3:1.
- ALL STORMWATER PIPING ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURES IS WATERTIGHT.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR FLOW CHANNEL FROM INVERT IN TO INVERT OUT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE SURROUNDING PAVEMENT AND HAVE TRAFFIC BEARING RING AND COVER. LIDS SHALL BE LABELED "STORM".



HERBERT, ROWLAND & GRUBIC, INC.
220 WEST KENSINGER DRIVE
SUITE 100
CRANBERRY TOWNSHIP, PA 16066
724.779.4777 | hrg-inc.com

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

FOR

SLIPPERY ROCK #3 DOLLAR GENERAL

PTV 1416, LLC

400 PENN CENTER BOULEVARD, BUILDING 4, SUITE 1000

PITTSBURGH, PA 15235

SLIPPERY ROCK BUTLER COUNTY PENNSYLVANIA

PROFESSIONAL SEAL:



HRG PROJECT NUMBER: R008385.0463

PLAN DATE: SEPTEMBER 2024

DRAWING SCALE: AS SHOWN

PROJ. MANAGER: CRAIG A. BISHOP

NO.	DATE	DESCRIPTION	REVISIONS
1	2024.11.20	REVISED PER TOWNSHIP COMMENTS	
2	2025.01.20	REVISED GRADING AND INLET	
3	2025.01.27	REVISED SANITARY AND WATERLINE	
4	2025.02.05	LAND DEVELOPMENT PLANS FOR RECORDING	
5			
6			
7			
8			
9			

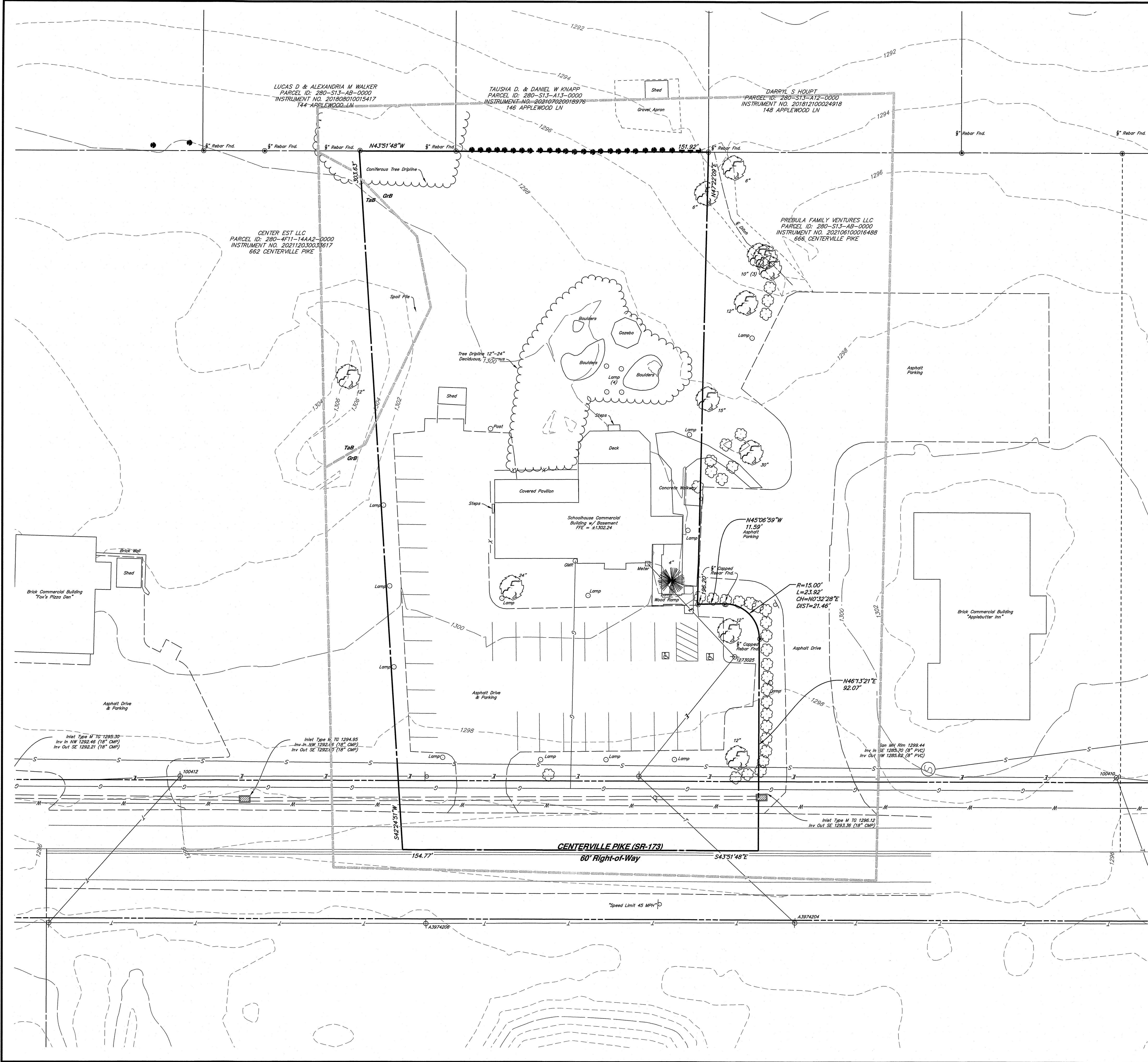
SHEET TITLE:

GENERAL NOTES

SHEET: GN-1

02

PLAN BOOK	PAGE
425	27



SURVEY NOTES

1. THE TOPOGRAPHY AND PROPERTY BOUNDARY SHOWN ON THESE PLANS IS BASED UPON A FIELD SURVEY PREPARED BY HERBERT, ROWLAND & GRUBIC, INC., DATED AUGUST 29, 2024.
2. THE BEARING BASE AND HORIZONTAL DATUM FOR THIS PROJECT ARE BASED ON PENNSYLVANIA STATE PLANE COORDINATE SYSTEM PA SOUTH (NAD83). THE VERTICAL DATUM IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
3. IF THE CONTRACTOR DOES NOT ACCEPT THE EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.

HRG
HERBERT, ROWLAND & GRUBIC, INC.
220 WEST KENSINGER DRIVE
SUITE 100
CRANBERRY TOWNSHIP, PA 16066
724.779.4777 | hrg-inc.com

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS
FOR
SLIPPERY ROCK #3 DOLLAR GENERAL
PTV 1416, LLC
400 PENN CENTER BOULEVARD, BUILDING 4, SUITE 1000
PITTSBURGH, PA 15235
SLIPPERY ROCK BUTLER COUNTY PENNSYLVANIA

PROFESSIONAL SEAL:

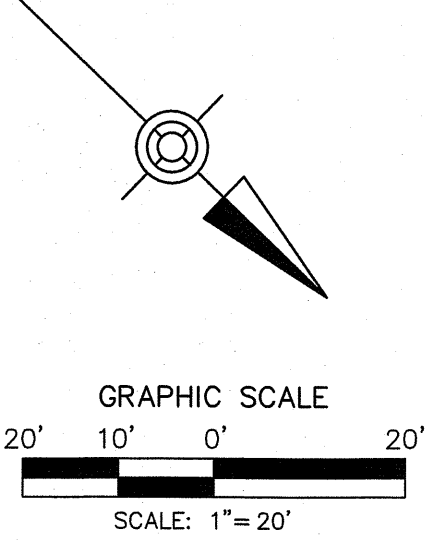


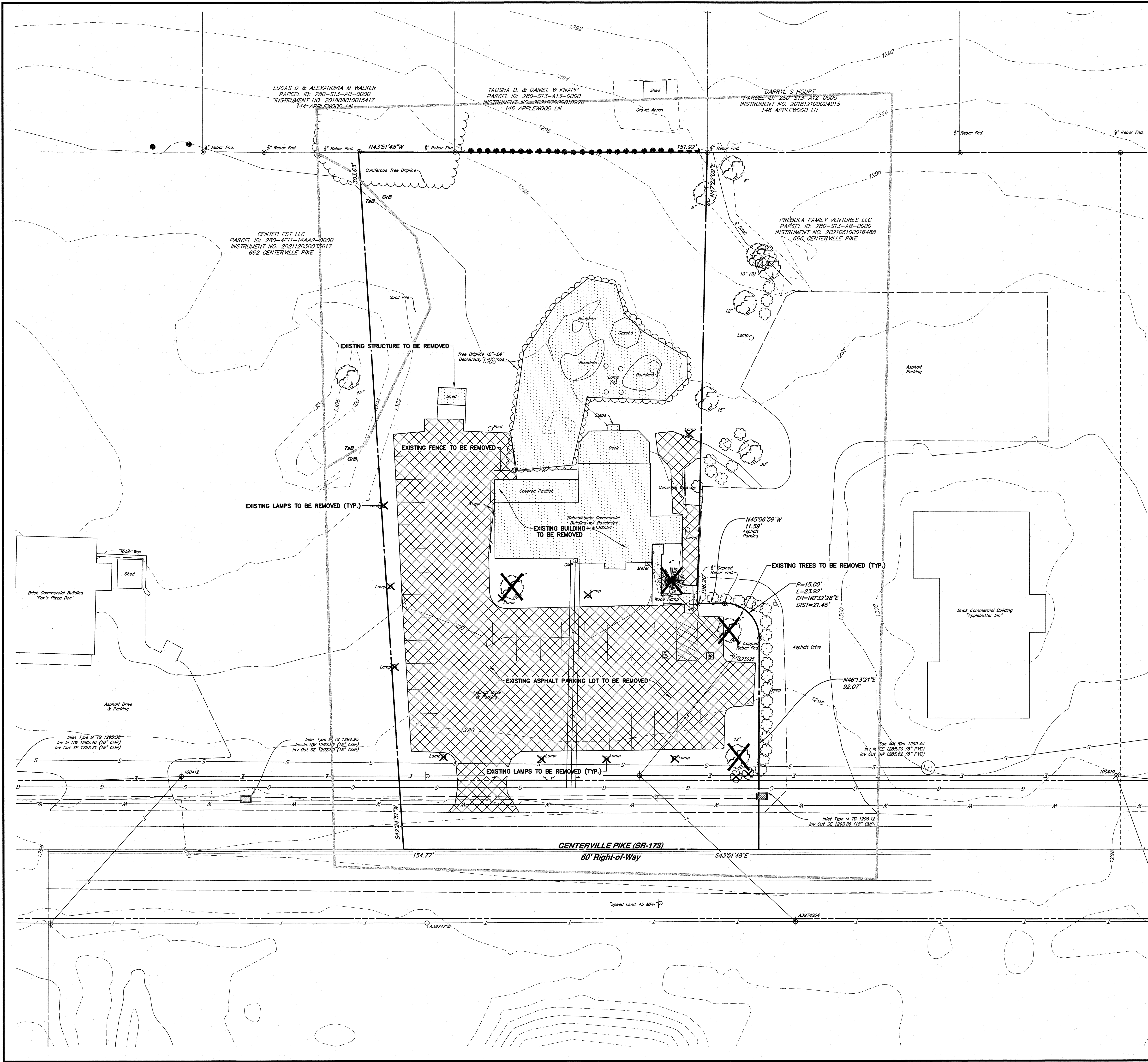
HRG PROJECT NUMBER: R008385.0463
PLAN DATE: SEPTEMBER 2024
DRAWING SCALE: AS SHOWN
PROJ. MANAGER: CRAIG A. BISHOP

REVISIONS		DESCRIPTION
NO.	DATE	
1	2024.11.20	REVISED PER TOWNSHIP COMMENTS
2	2025.01.20	REVISED GRADING AND INLET
3	2025.01.27	REVISED SANITARY AND WATERLINE
4	2025.02.05	LAND DEVELOPMENT PLANS FOR RECORDING
5		
6		
7		
8		
9		

SHEET TITLE:
EXISTING CONDITIONS PLAN

SHEET: EC-1 03





DEMOLITION LEGEND

EXISTING PAVE TO BE REMOVE

EXISTING TO BE DEMOLISHED

HERBERT, ROWLAND & GRUBIC, INC.
220 WEST KENSINGER DRIVE
SUITE 100
CRANBERRY TOWNSHIP, PA 16066
724.779.4777 | hrg-inc.com

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS
FOR
SLIPPERY ROCK #3 DOLLAR GENERAL
PTV 1416, LLC
400 PENN CENTER BOULEVARD, BUILDING 4, SUITE 1000
PITTSBURGH, PA 15235
SLIPPERY ROCK BUTLER COUNTY PENNSYLVANIA

PROFESSIONAL SEAL:

HRG PROJECT NUMBER: R008385.0463
PLAN DATE: SEPTEMBER 2024
DRAWING SCALE: AS SHOWN
PROJ. MANAGER: CRAIG A. BISHOP

REVISIONS	
NO.	DESCRIPTION
1	2024.11.20 REVISED PER TOWNSHIP COMMENTS
2	2025.01.20 REVISED GRADING AND INLET
3	2025.01.27 REVISED SANITARY AND WATERLINE
4	2025.02.05 LAND DEVELOPMENT PLANS FOR RECORDING
5	
6	
7	
8	
9	

SHEET TITLE:
DEMOLITION PLAN

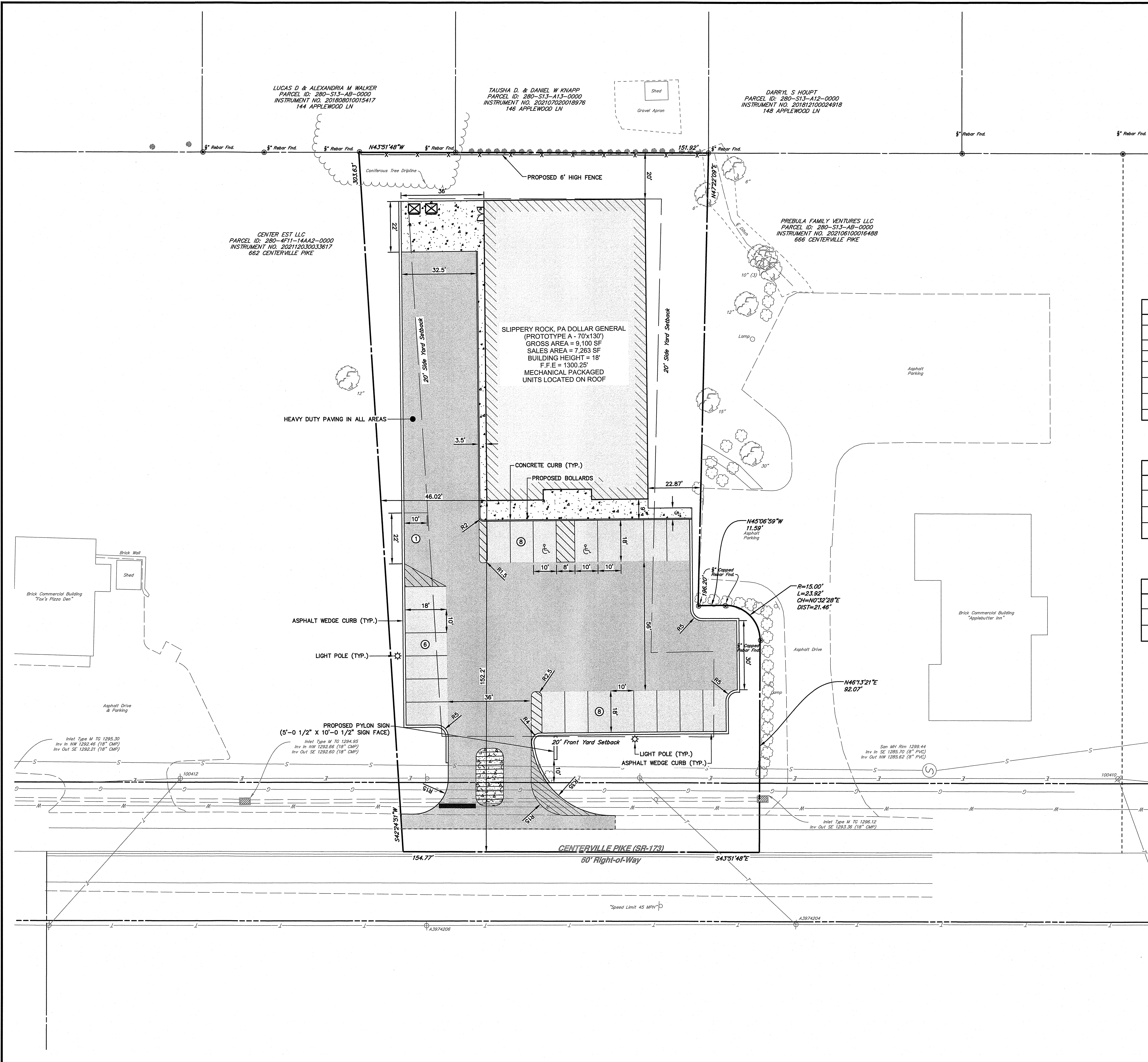
SHEET: **DM-1** **04**

PLAN BOOK	PAGE
425	29

GRAPHIC SCALE

20' 10' 0' 20'

SCALE: 1"= 20'



LEGEND

- CONCRETE
- HEAVY DUTY BITUMINOUS PAVEMENT
- LIGHT DUTY BITUMINOUS PAVEMENT

SITE DATA

PROPERTY ADDRESS: 664 CENTERVILLE PIKE, SLIPPERY ROCK, PA 16057
PROPERTY OWNER(S): G N W, LLC.
TAX PARCEL: 280-S13-AA-0000
ZONING DISTRICT: COMMERCIAL DISTRICT
SITE AREA: 1.033 AC.
LOCAL JURISDICTION: SLIPPERY ROCK TOWNSHIP
PROPOSED USE: RETAIL BUSINESS

SITE REQUIREMENTS

ZONE	REQUIRED	PROPOSED
MINIMUM LOT AREA	25,000 SF	1,033 AC.
MINIMUM LOT WIDTH	100 FT.	151.92 FT.
MINIMUM FRONT YARD SETBACK	20 FT.	152.2 FT.
MINIMUM SIDE YARD SETBACK	20 FT.	22.87, 46.02 FT.
MINIMUM REAR YARD SETBACK	20 FT.	20 FT.
MAXIMUM BUILDING HEIGHT	45 FT.	18 FT.

PARKING REQUIREMENTS

	REQUIRED	PROPOSED
MINIMUM PARKING STALL QUANTITY	23 SPACES	23 SPACES
MINIMUM PARKING STALL AREA	10' W x 18' L	10' W x 18' L
MINIMUM LOADING SPACE	1 LOADING BERTH	1 LOADING BERTH

SIGNAGE DATA

	SIGN FACE DIMENSIONS	SIGN FACE AREA
BUILDING SIGN	3'-9" X 26'-0"	97.50 SF
PYLON SIGN	5'-0 1/2" X 10'-0 1/2"	50.63 SF

PROFESSIONAL SEAL:



HRG PROJECT NUMBER: R008385.0463
PLAN DATE: SEPTEMBER 2024
DRAWING SCALE: AS SHOWN
PROJ. MANAGER: CRAIG A. BISHOP

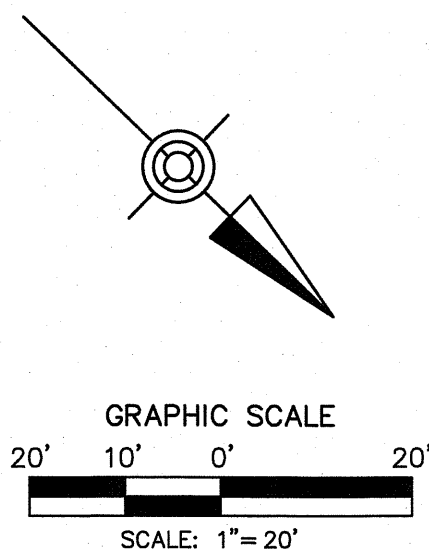
NO.	DATE	DESCRIPTION
1	2024.11.20	REVISED PER TOWNSHIP COMMENTS
2	2025.01.20	REVISED GRADING AND INLET
3	2025.01.27	REVISED SANITARY AND WATERLINE
4	2025.02.05	LAND DEVELOPMENT PLANS FOR RECORDING
5		
6		
7		
8		
9		

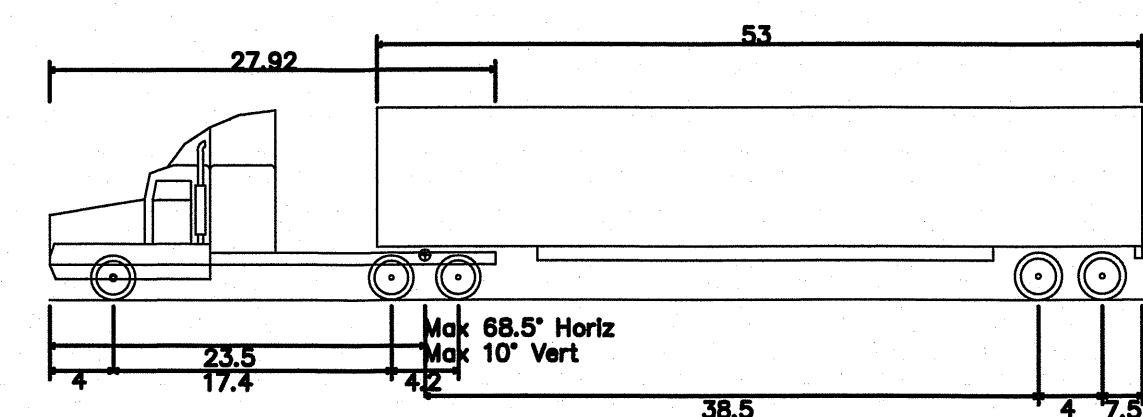
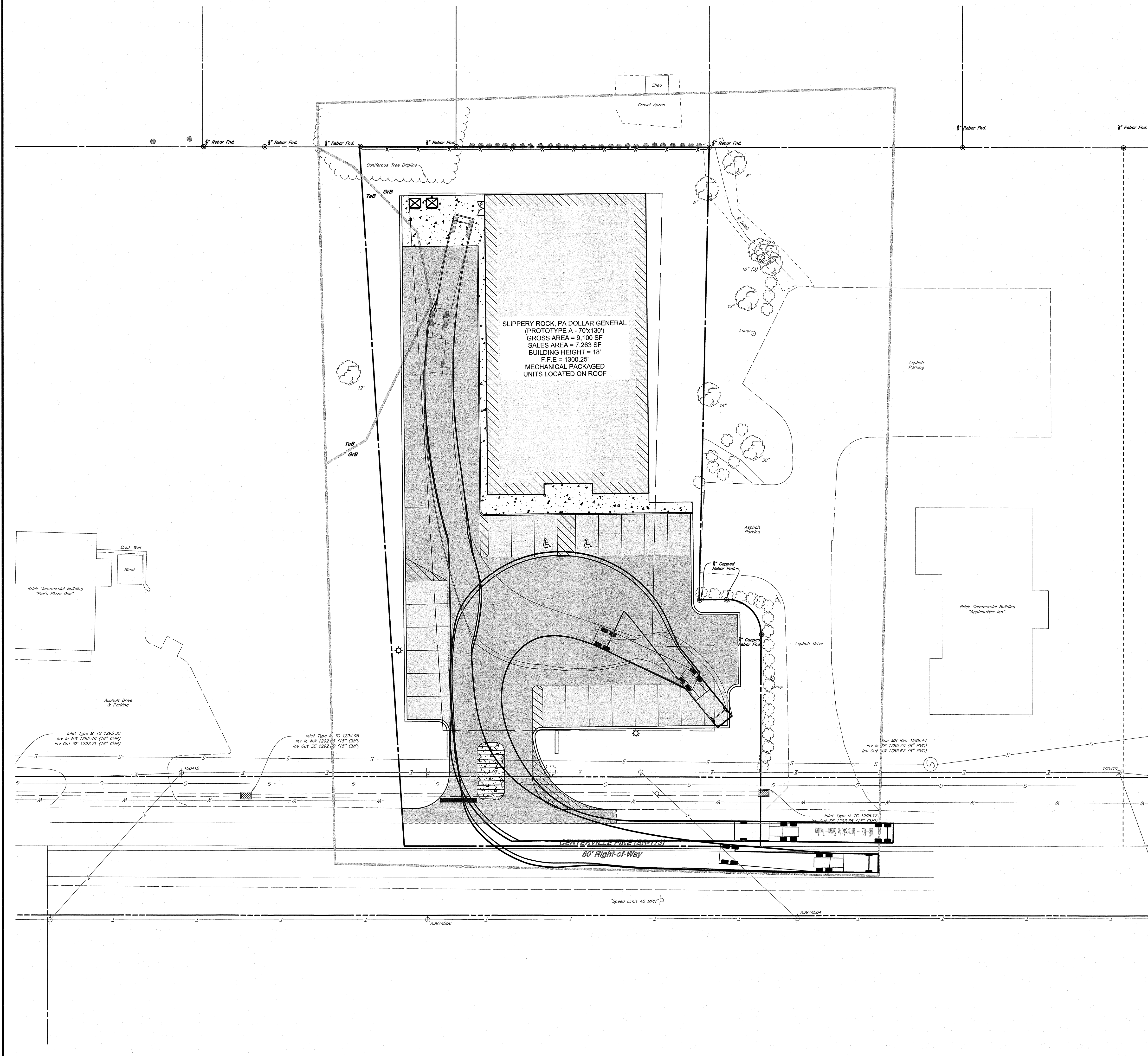
SHEET TITLE:

**SITE LAYOUT
PLAN**

SHEET: **SI-1**

05





WB-62 - Interstate Semi-Trailer
Overall Length 73.50ft
Overall Width 8.50ft
Overall Body Height 13.50ft
Min Body Ground Clearance 1.354ft
Max Track Width 8.50ft
Lock-to-lock time 6.00s
Max Steering Angle (Virtual) 28.40°

WB-62 VEHICLE PROFILE

HERBERT, ROWLAND & GRUBIC, INC.
220 WEST KENSINGER DRIVE
SUITE 100
CRANBERRY TOWNSHIP, PA 16066
724.779.4777 | hrg-inc.com

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS
FOR
SLIPPERY ROCK #3 DOLLAR GENERAL
PTV 1416, LLC
400 PENN CENTER BOULEVARD, BUILDING 4, SUITE 1000
PITTSBURGH, PA 15235
SLIPPERY ROCK BUTLER COUNTY PENNSYLVANIA

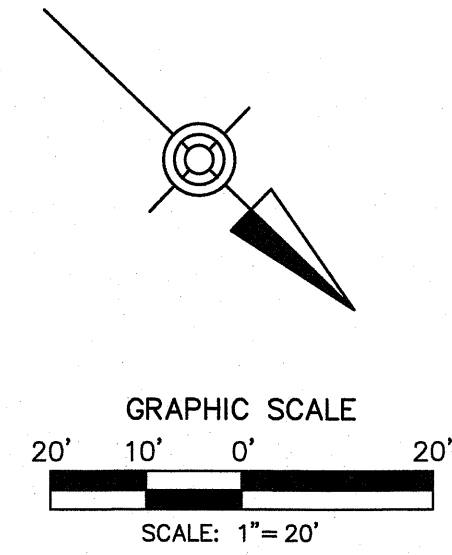
PROFESSIONAL SEAL:

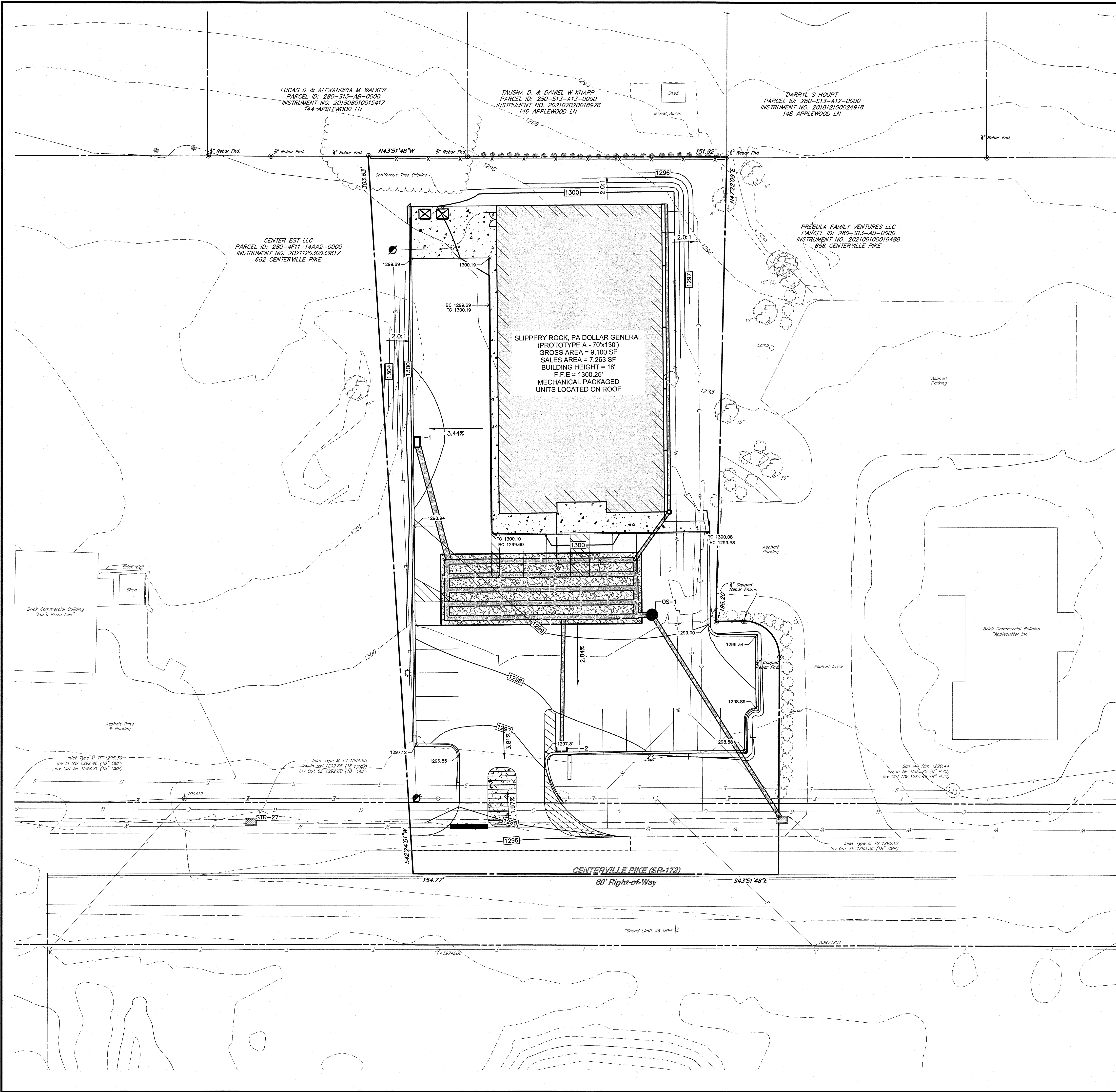
HRG PROJECT NUMBER: R008385.0463
PLAN DATE: SEPTEMBER 2024
DRAWING SCALE: AS SHOWN
PROJ. MANAGER: CRAIG A. BISHOP

REVISIONS	
NO.	DESCRIPTION
1	2024.11.20 REVISED PER TOWNSHIP COMMENTS
2	2025.01.20 REVISED GRADING AND INLET
3	2025.01.27 REVISED SANITARY AND WATERLINE
4	2025.02.05 LAND DEVELOPMENT PLANS FOR RECORDING
5	
6	
7	
8	
9	

SHEET TITLE:
**TURNING
TEMPLATE**

SHEET: TT-1 06



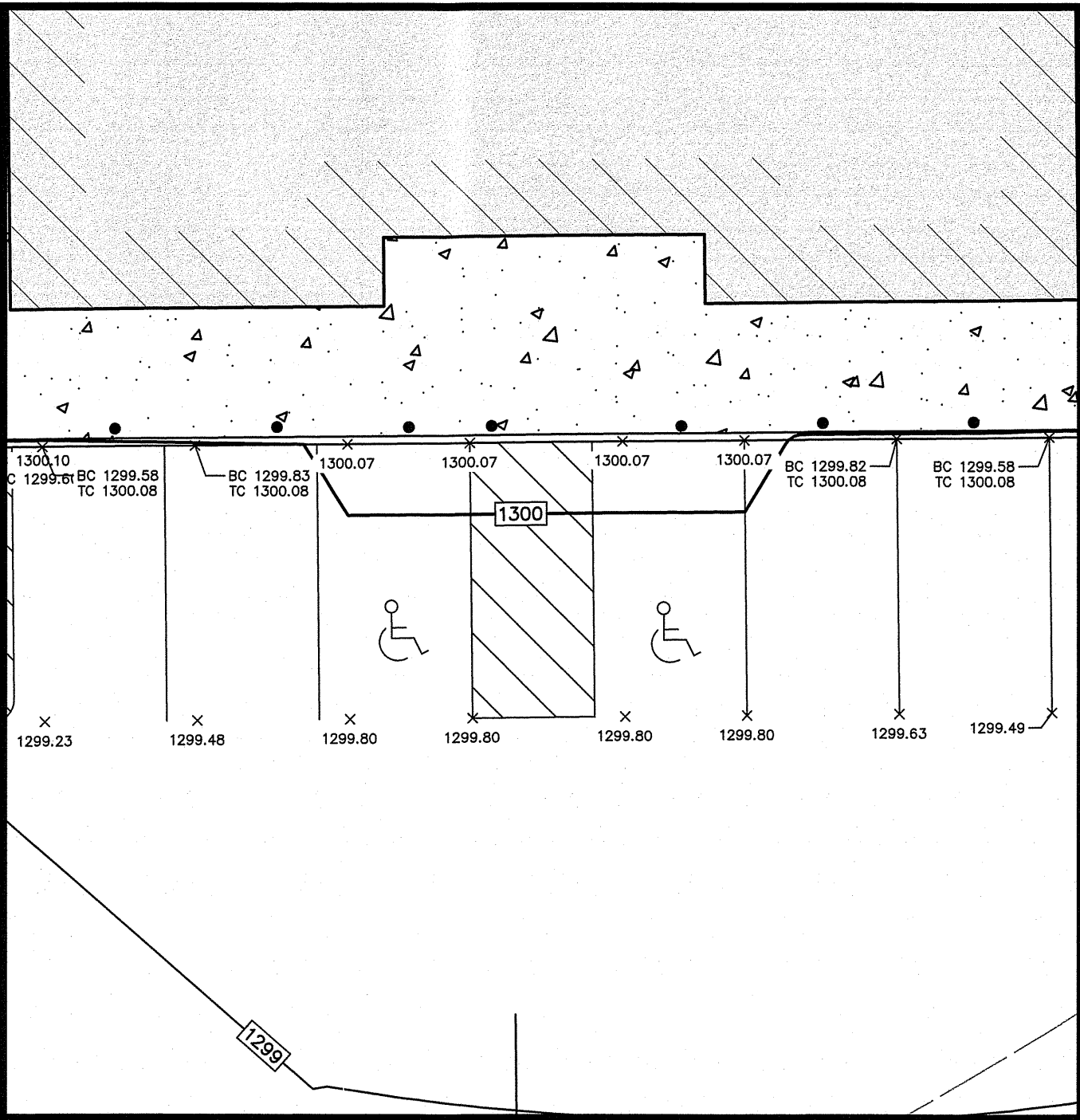


PROPOSED GRADING LEGEND

- 1010 PROPOSED CONTOUR
- X 410.00 PROPOSED SPOT ELEVATION
- X HP 410.00 PROPOSED HIGH POINT
- X LP 410.00 PROPOSED LOW POINT
- X TC 410.00 PROPOSED TOP CURB
- X BC 410.00 PROPOSED BOTTOM CURB

EARTHWORK EVALUATION

CUT: 716.06 CY
FILL: 494.26 CY
NET: 221.80 CY CUT
(SITE TO BALANCE WITH REMOVAL OF PAVEMENT AND BUILDING)



ACCESSIBLE STALL LAYOUT

SCALE: 1" = 10'

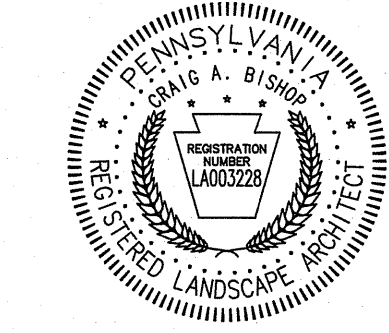
HRG
HERBERT, ROWLAND & GRUBIC, INC.
220 WEST KENSINGER DRIVE
SUITE 100
CRANBERRY TOWNSHIP, PA 16066
724.778.4777 | hrg-inc.com

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

FOR
SLIPPERY ROCK #3 DOLLAR GENERAL

PTV 1416, LLC
400 PENN CENTER BOULEVARD, BUILDING 4, SUITE 1000
PITTSBURGH, PA 15235
SLIPPERY ROCK BUTLER COUNTY PENNSYLVANIA

PROFESSIONAL SEAL:



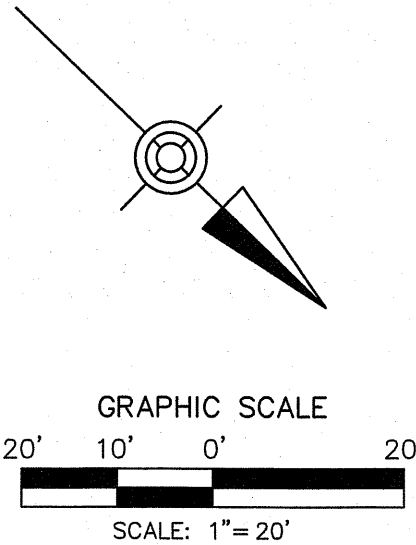
HRG PROJECT NUMBER: R008385.0463
PLAN DATE: SEPTEMBER 2024
DRAWING SCALE: AS SHOWN
PROJ. MANAGER: CRAIG A. BISHOP

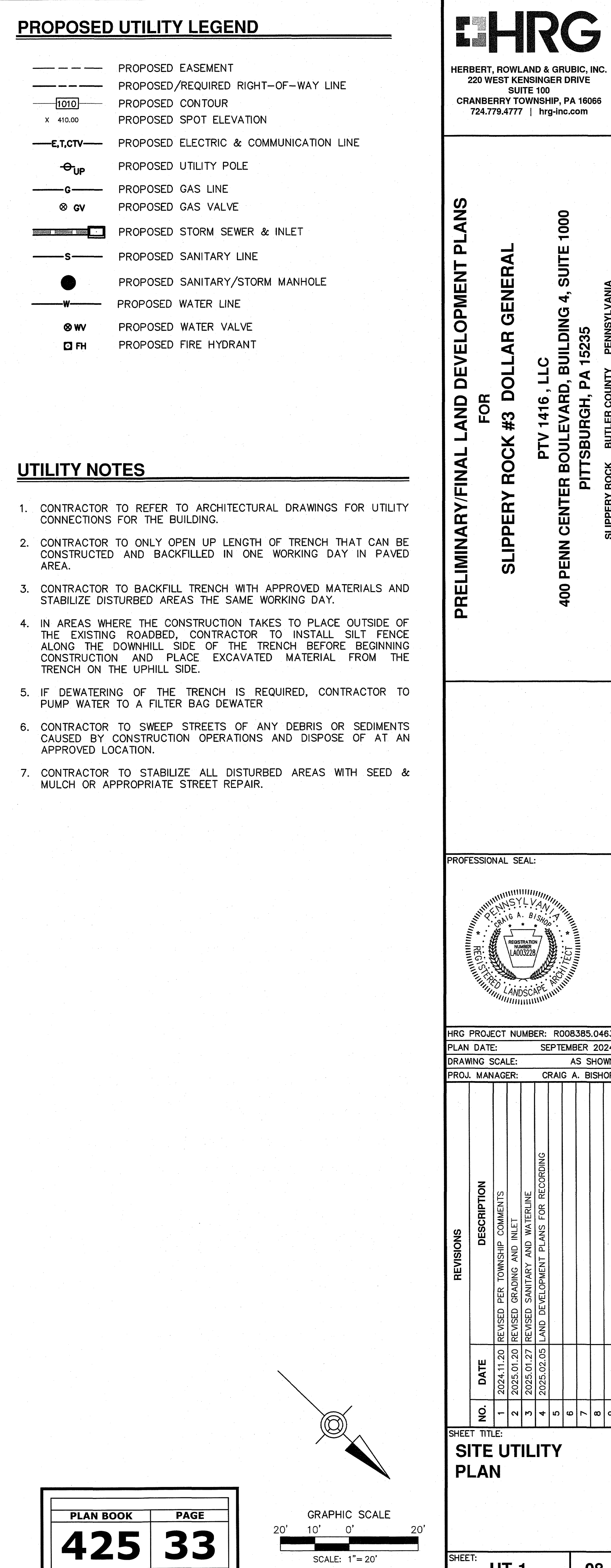
REVISIONS		DESCRIPTION
NO.	DATE	
1	2024.11.20	REVISED PER TOWNSHIP COMMENTS
2	2025.01.20	REVISED GRADING AND INLET
3	2025.01.27	REVISED SANITARY AND WATERLINE
4	2025.02.05	LAND DEVELOPMENT PLANS FOR RECORDING
5		
6		
7		
8		
9		

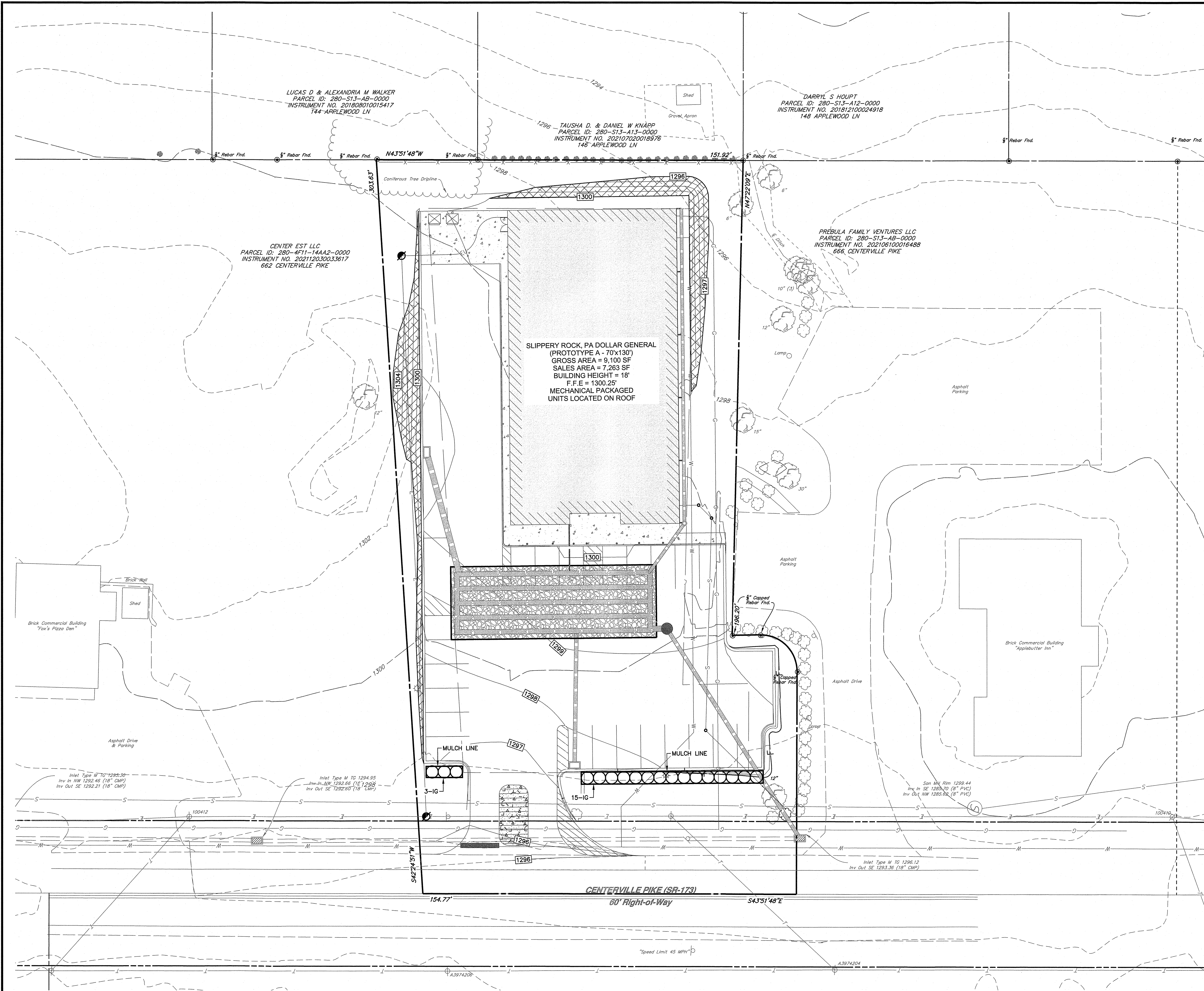
SHEET TITLE:
**SITE GRADING
AND DRAINAGE
PLAN**

SHEET: GR-1

07







PROPOSED LANDSCAPE LEGEND

- PROPOSED PROPERTY LINE
- PROPOSED CONTOUR
- PROPOSED CURB
- PROPOSED STORM SEWER & INLET
- PROPOSED SHRUB
- PROPOSED MULCH LINE
- PROPOSED STEEP SLOPE MIX

LANDSCAPE REQUIREMENTS

PARKING LOT LANDSCAPE (SECTION 407.B.5):
REQUIRED PARKING LANDSCAPE: MIN. 5 FT. OF PLANTING STRIP BETWEEN FRONT LOT LINE AND PARKING LOT
PROVIDED PARKING LANDSCAPE: 5 FT. WIDE PLANTING STRIP; WITH 18 SHRUBS AND MULCH

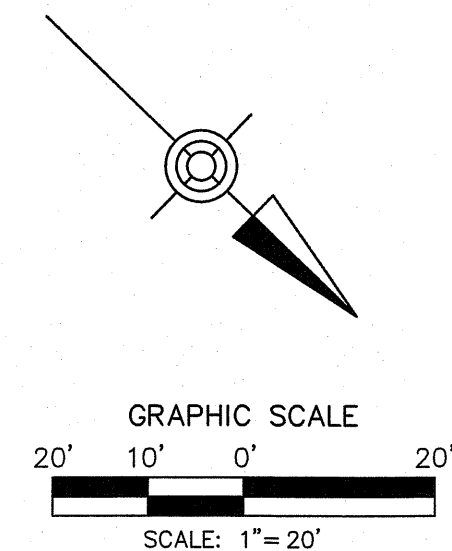
LANDSCAPE NOTES

- ALL DISTURBED OR DAMAGED AREAS SHALL BE REPAIRED AND REFINISHED WITH MATERIALS TO MATCH EXISTING ADJACENT SURFACES.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF WORK. LOCATIONS OF EXISTING AERIAL OR SUB-SURFACE UTILITY LINES INDICATED ARE APPROXIMATE AND NEITHER THE OWNER OR ENGINEER GUARANTEE THE ACCURACY OR COMPLETENESS OF THESE LOCATIONS. IF THERE ARE ANY CONFLICTS DUE TO EXISTING OR AS-BUILT CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR FIELD ADJUSTMENT APPROVAL.
- THE CONTRACTOR SHALL NOTIFY PA ONE-CALL BY CALLING 1-800-242-1776. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DISTURBING ALL EXISTING UTILITY LINES WHETHER MAPPED, MARKED OR ENCOUNTERED DURING CONSTRUCTION.
- ALL SHRUBBERY AND PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH, AND SHALL BE SOUND, HEALTHY, VIGOROUS AND FREE OF DISEASE, INSECTS, INSECT EGGS AND LARVAE.
- COORDINATE THE PLACEMENT OF THE LANDSCAPING MATERIALS WITH WINDOW OR VENT LOCATIONS AND OTHER SITE IMPROVEMENTS.
- ALL DISTURBED AREAS 4:1 OR LESS NOT LANDSCAPED, PAVED OR BUILT UPON SHALL BE SEEDED, FERTILIZED AND MULCHED IN ACCORDANCE WITH PENNDOT FORMULA B MIX UNLESS OTHERWISE NOTED.
- ALL DISTURBED AREAS GREATER THAN 4:1 NOT LANDSCAPED, PAVED OR BUILT UPON SHALL BE SEEDED, FERTILIZED AND MULCHED WITH A NO MOW SEED MIX UNLESS OTHERWISE NOTED.
- DECIDUOUS TREES THAT OVERHANG PEDESTRIAN OR VEHICULAR ROUTES SHALL BE MAINTAINED TO KEEP AWAY FROM GROUND TO A HEIGHT OF 8 FT. FREE OF BRANCHES AND FOLIAGE.
- THE CONTRACTOR SHALL PROVIDE CLEANUP, PROTECTION AND MAINTENANCE OF LANDSCAPED AREA UNTIL OWNER INSPECTION AND ACCEPTANCE.
- QUANTITIES SHOWN ON THE PLAN SHALL GOVERN IF TOTALS DO NOT AGREE WITH PLANTING SCHEDULE QUANTITIES.
- PLANTING AREAS IDENTIFIED AS MULCH AREA ON PLANS SHALL HAVE DOUBLE SHREDDED MULCH AS GROUND COVER AND ALL OTHER PLANTING AREAS WILL HAVE LAWN AS GROUND COVER.
- SHRUBS AND TREES SHALL REMAIN IN GOOD CONDITION AS DETERMINED BY THE TOWNSHIP ENGINEER OR LANDSCAPE ARCHITECT THROUGHOUT THE LIFE OF THE PROJECT. TREES OR SHRUBS THAT ARE DETERMINED TO NOT BE IN GOOD CONDITION, SHALL BE REPLACED WITH THE SAME SPECIES OR AN APPROVED EQUAL BY THE TOWNSHIP.
- LAWN AREA SHALL BE MAINTAINED AND IN GOOD CONDITION AS DETERMINED BY THE TOWNSHIP ENGINEER OR LANDSCAPE ARCHITECT THROUGH THE LIFE OF THE PROJECT. AREAS THAT ARE DETERMINED TO NOT BE IN GOOD CONDITION, SHALL BE REPAIRED AND RESEED.

PLANTING SCHEDULE

ID	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	CONDITION	SPACING	NOTES
PARKING LOT & BUFFER LANDSCAPE SHRUB							
IG	18	Ilex glabra 'SHAMROCK'	SHAMROCK INKERRY	24" HT.	CONT.	AS SHOWN	

PLAN BOOK	PAGE
425	34



PROFESSIONAL SEAL:



HRG PROJECT NUMBER: R008385.0463
PLAN DATE: SEPTEMBER 2024
DRAWING SCALE: AS SHOWN
PROJ. MANAGER: CRAIG A. BISHOP

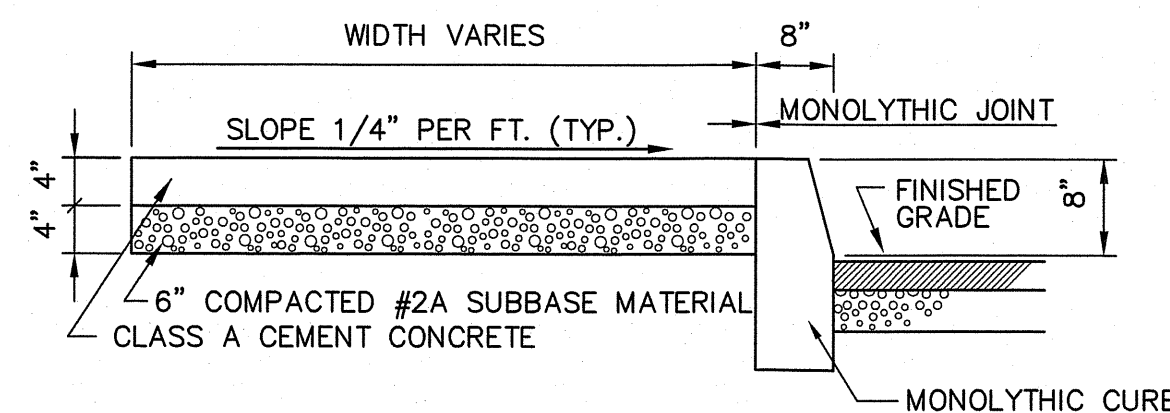
REVISIONS		DESCRIPTION
NO.	DATE	
1	2024.11.20	REVISED PER TOWNSHIP COMMENTS
2	2025.01.20	REVISED GRADING AND INLET
3	2025.01.27	REVISED SANITARY AND WATERLINE
4	2025.02.05	LAND DEVELOPMENT PLANS FOR RECORDING
5		
6		
7		
8		
9		

SHEET TITLE:

**SITE
LANDSCAPING
PLAN**

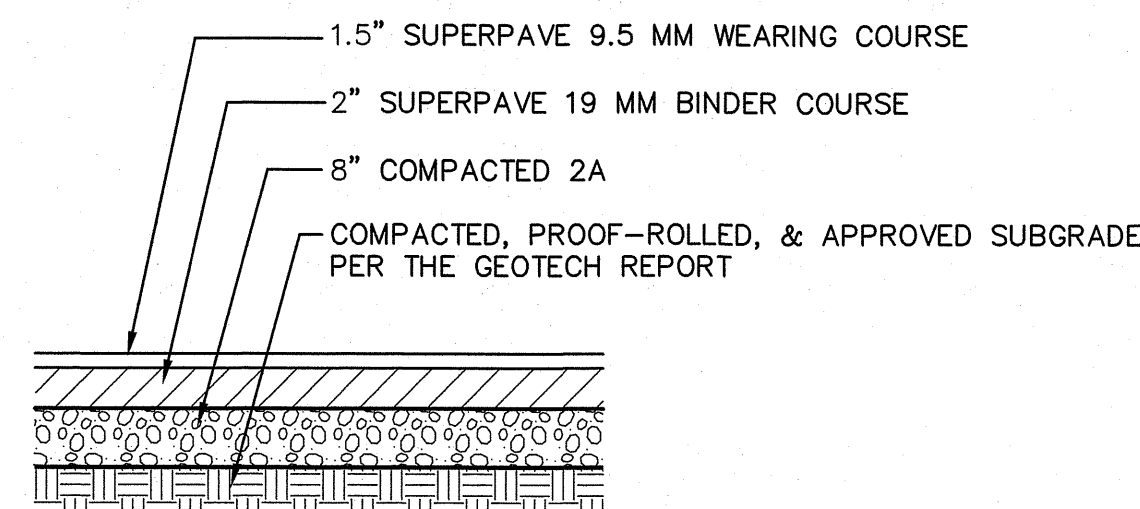


NO.	DATE	DESCRIPTION
1	2024.11.20	REVISED PER TOWNSHIP COMMENTS
2	2025.01.20	REVISED GRADING AND INLET
3	2025.01.27	REVISED SANITARY AND WATERLINE
4	2025.02.05	LAND DEVELOPMENT PLANS FOR RECORDING
5		
6		
7		
8		
9		

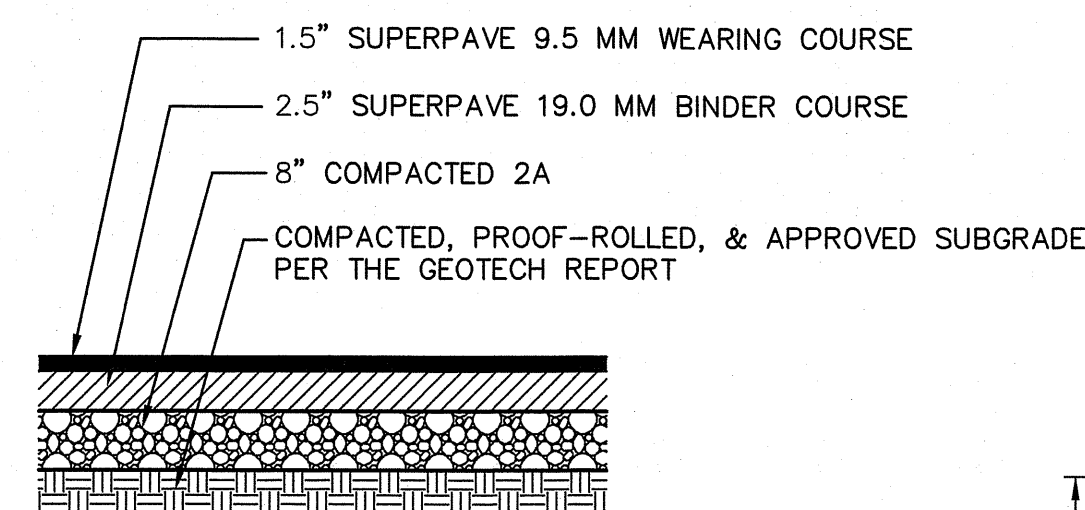


NOTE:
1. SIDEWALK TO HAVE MEDIUM BROOM FINISH PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAFFIC
2. SEE SITE PLAN FOR SIDEWALK LOCATION.

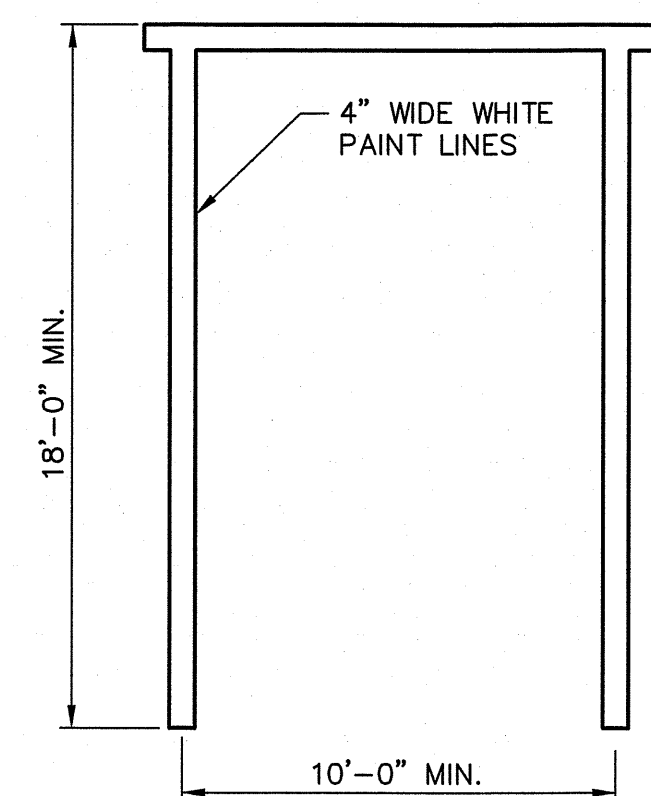
SIDEWALK DETAIL ADJACENT TO CURB
NOT TO SCALE



STANDARD DUTY LIGHT DUTY PAVEMENT
NOT TO SCALE

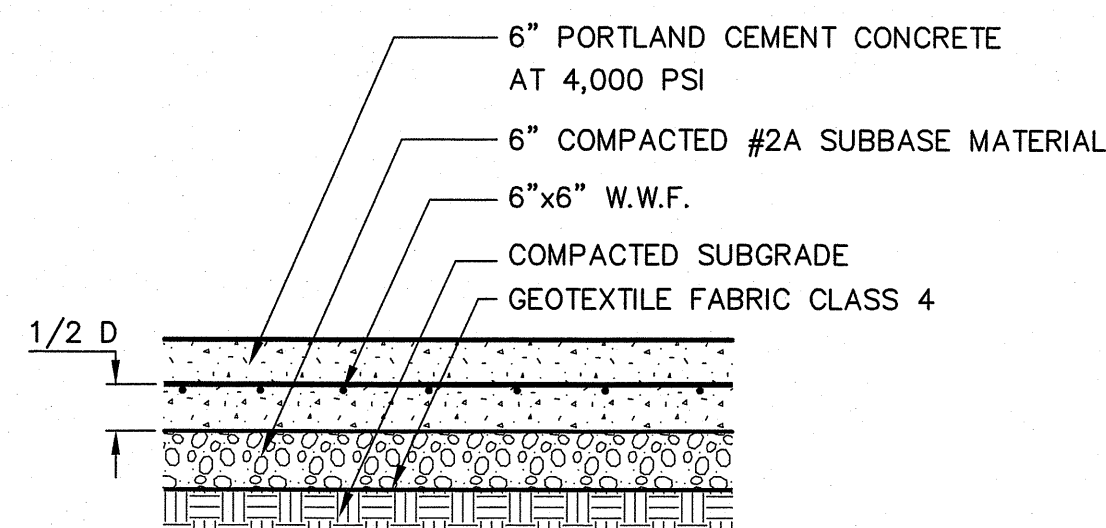


HEAVY DUTY PAVEMENT SECTION
NOT TO SCALE

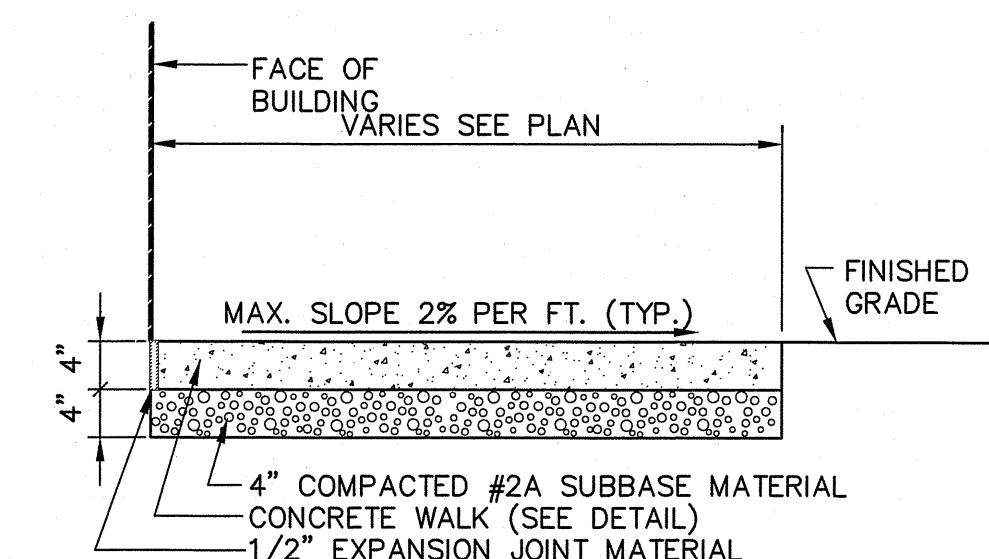


NOTES:
1. ALL PARKING SPACES SHALL BE MARKED WITH ALL WEATHER PAINT.

PARKING SPACE STRIPING
NOT TO SCALE

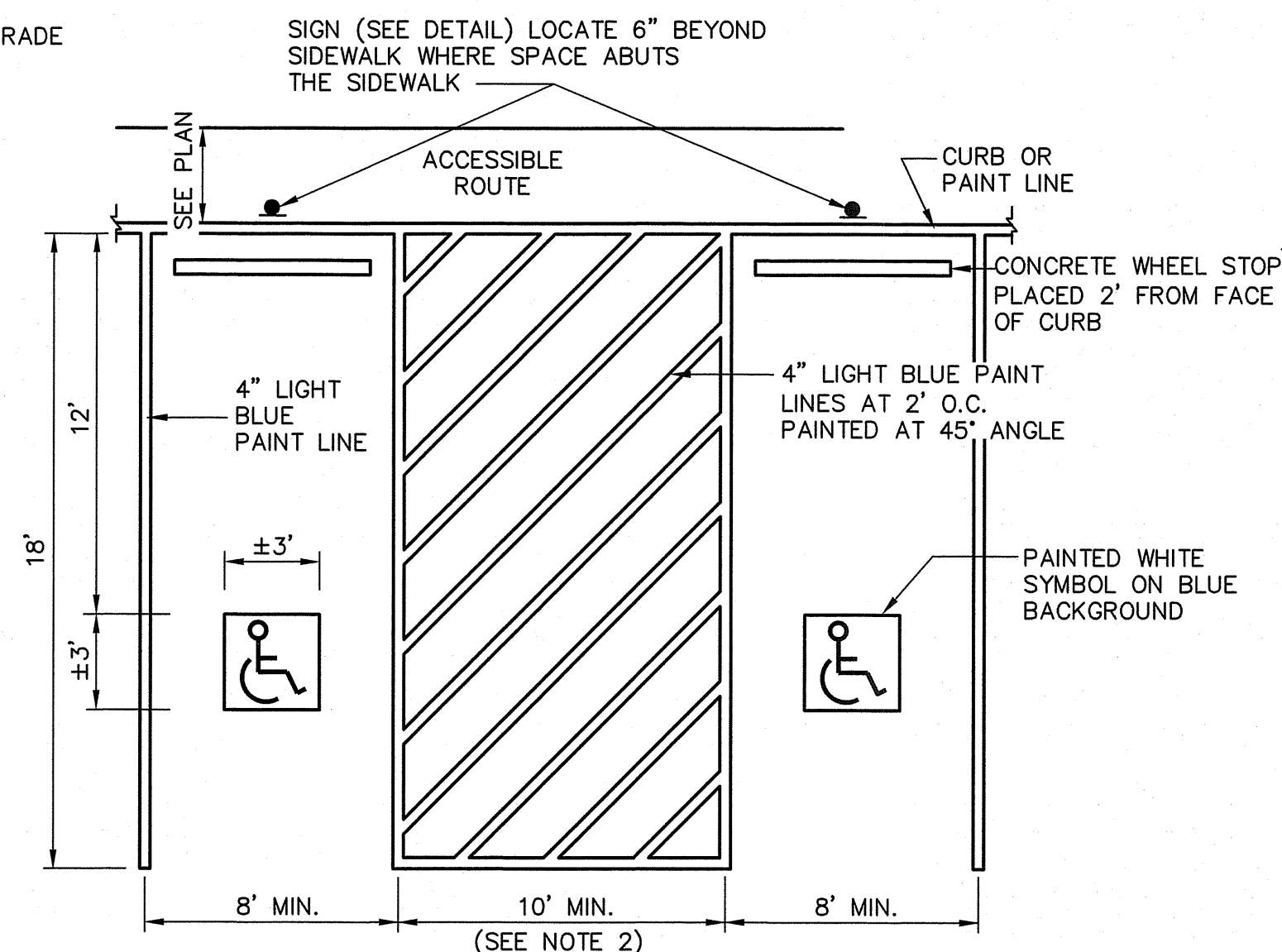


CONCRETE PAVEMENT SECTION DETAIL
NOT TO SCALE



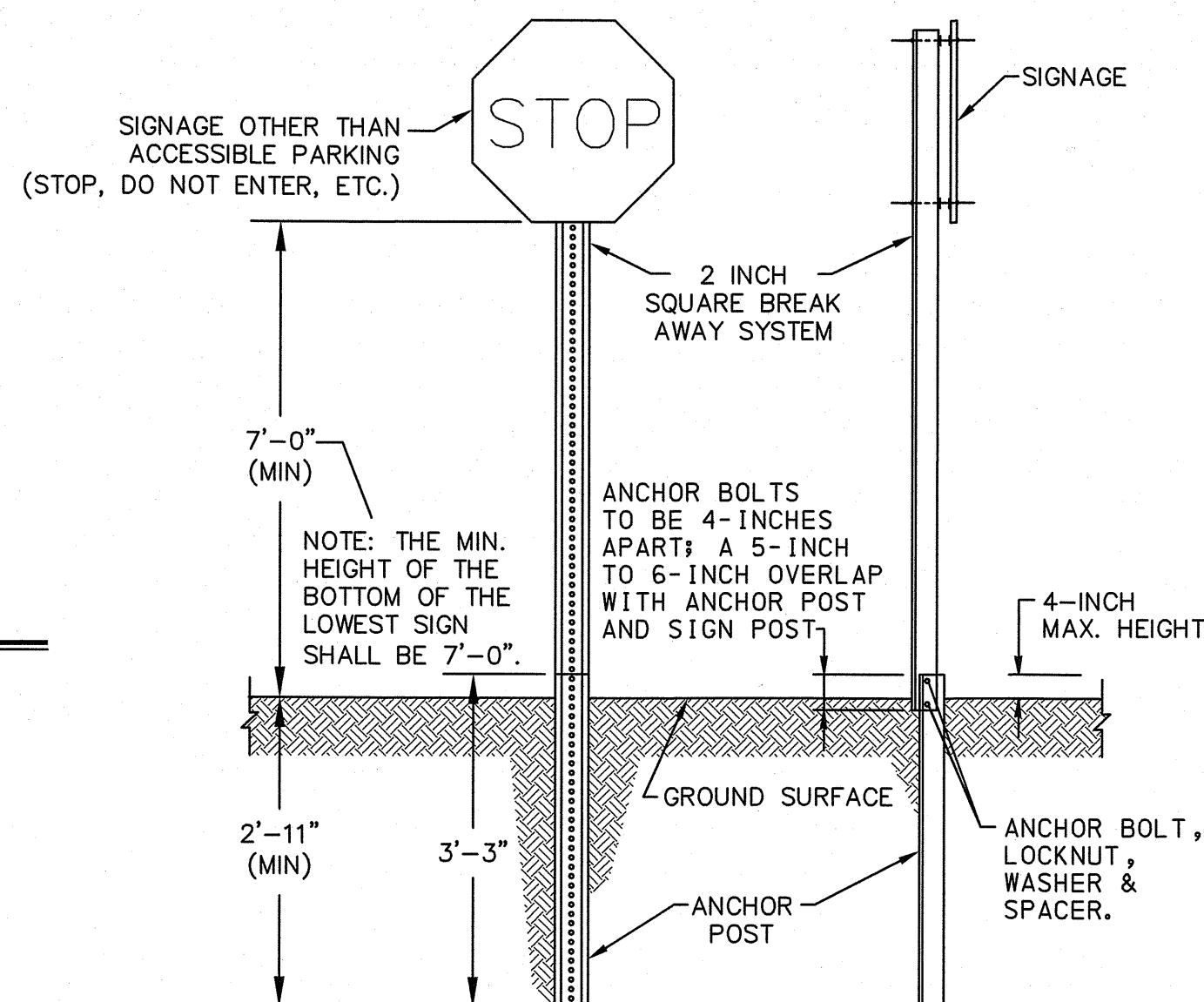
NOTES:
1. SIDEWALK TO HAVE MEDIUM BROOM FINISH PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAFFIC.
2. SEE SITE PLAN FOR SIDEWALK LOCATION.

WALK ADJACENT TO BUILDING
NOT TO SCALE

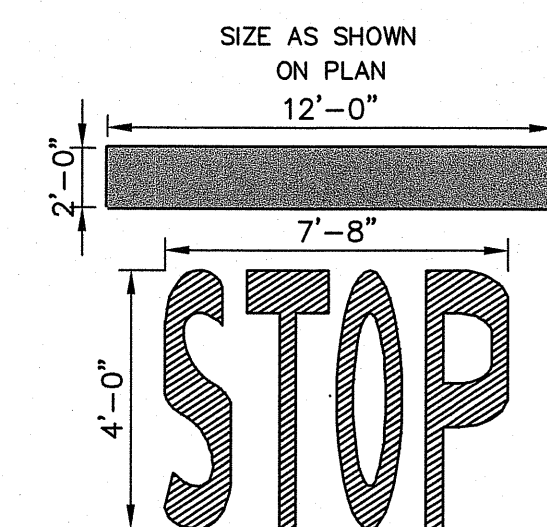


NOTES:
1. SEE SITE PLAN FOR ACCESSIBLE SPACE LOCATIONS AND DIMENSIONS.
2. ACCESS AISLE SHALL BE 8'-0" MIN. WIDTH FOR VAN ACCESSIBLE SPACES.
3. APPLY TWO COATS OF PAINT ON ALL SURFACES.
4. FOR CURB APPLICATIONS, STALL DIMENSIONS SHALL BE MEASURED FROM FACE OF CURB. FOR PAINT APPLICATIONS, STALL DIMENSIONS SHALL BE MEASURED FROM THE CENTERLINE OF THE PAINT LINE.
5. PARKING SPACES AND ACCESS AISLE AREAS SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.

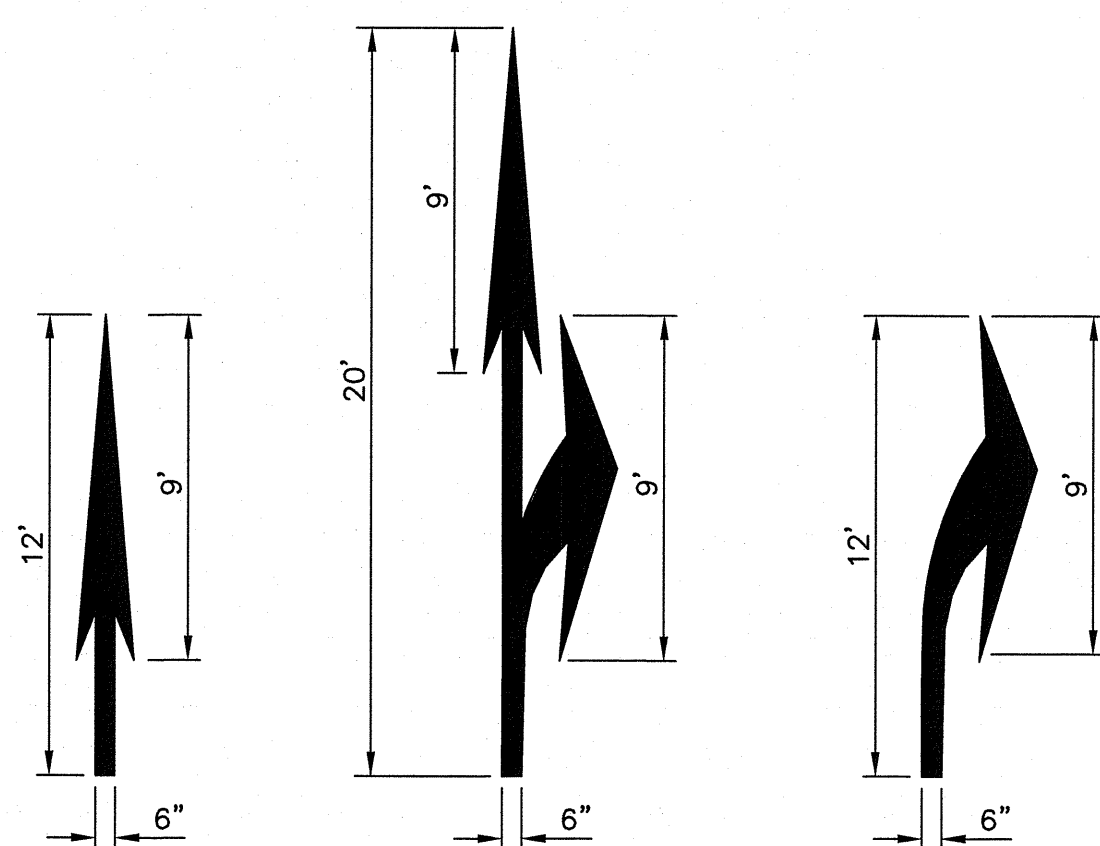
ACCESSIBLE PARKING PAVEMENT MARKINGS
NOT TO SCALE



SIGN POST
NOT TO SCALE

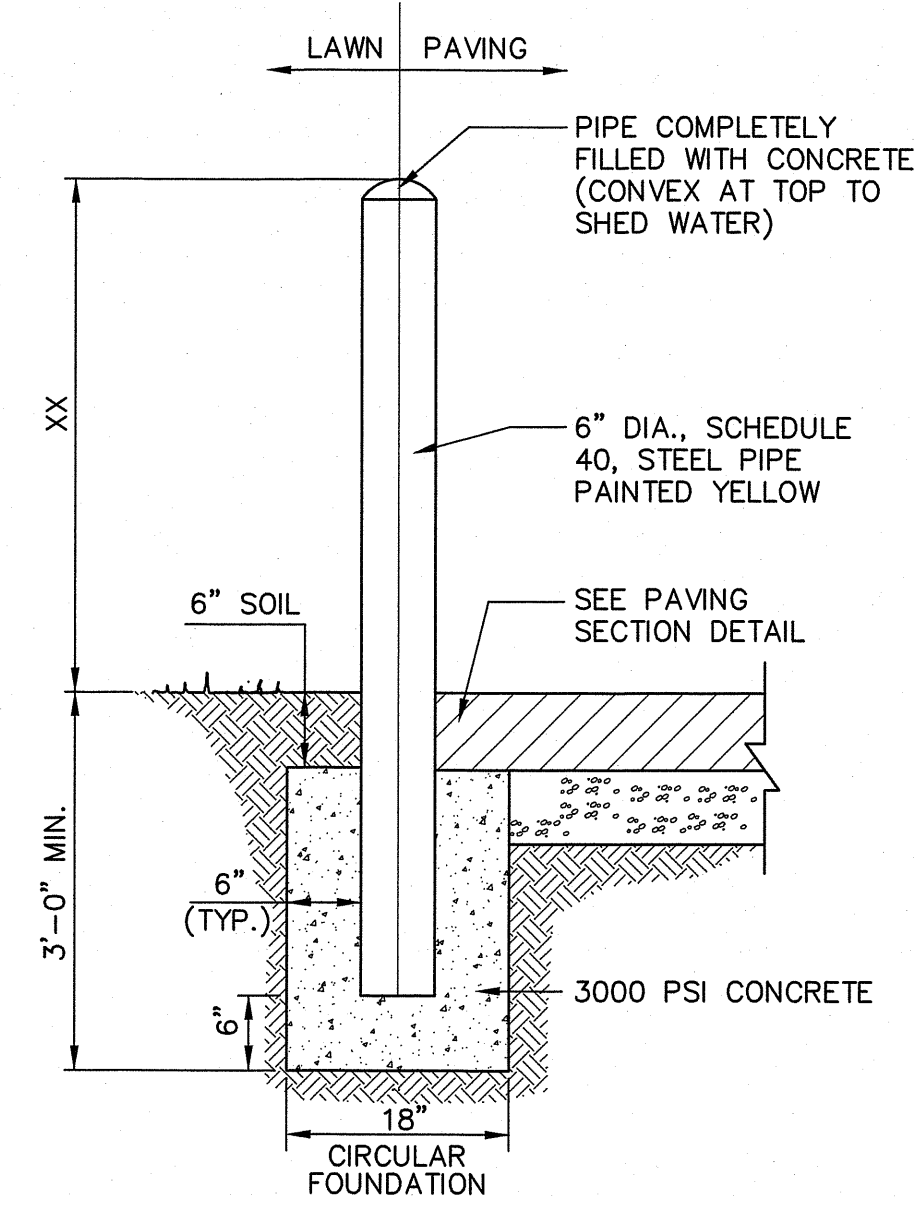


STOP BAR AND LETTERING
PAINTED WHITE

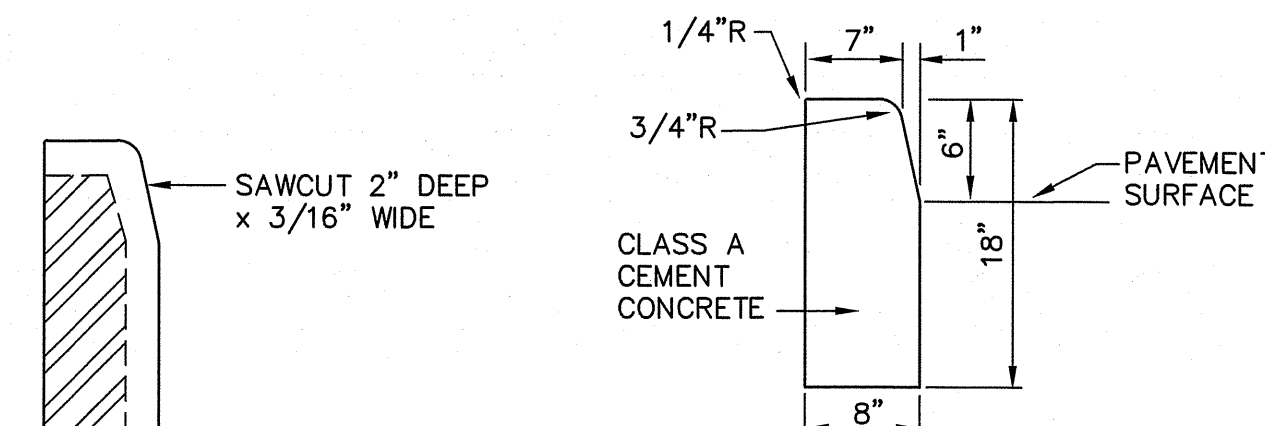


NOTE:
1. ALL PAVEMENT MARKINGS SHALL BE COLD WHITE INLAID PLASTIC.

ARROW DETAILS
NOT TO SCALE

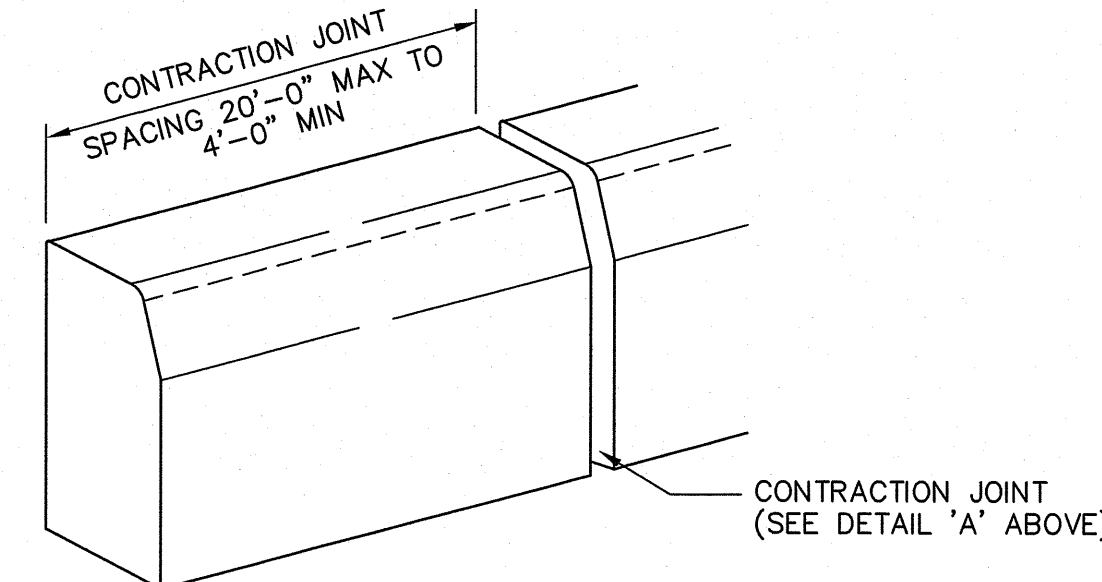


STEEL BOLLARD
NOT TO SCALE



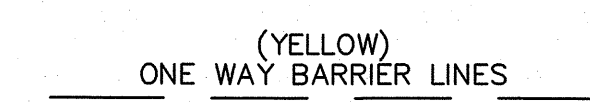
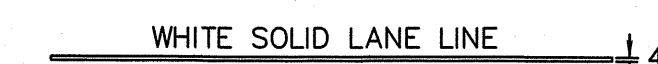
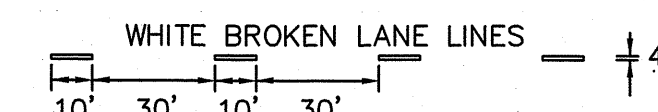
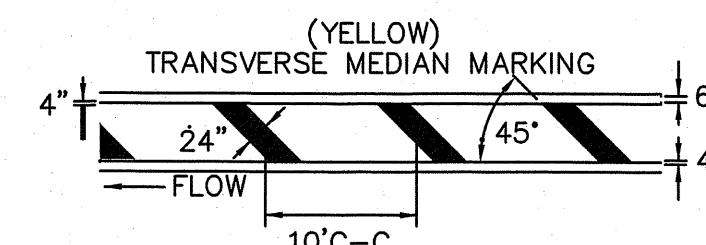
DETAIL 'A' CONTRACTION JOINT

TYPICAL CROSS-SECTION



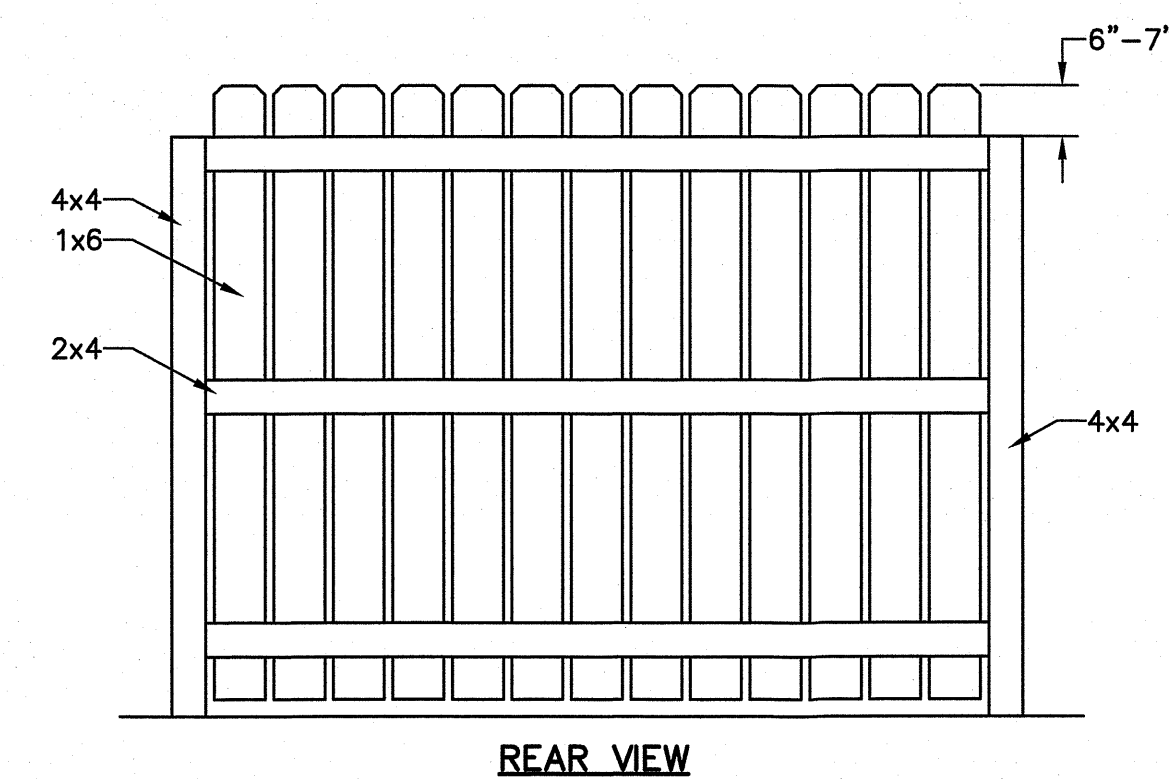
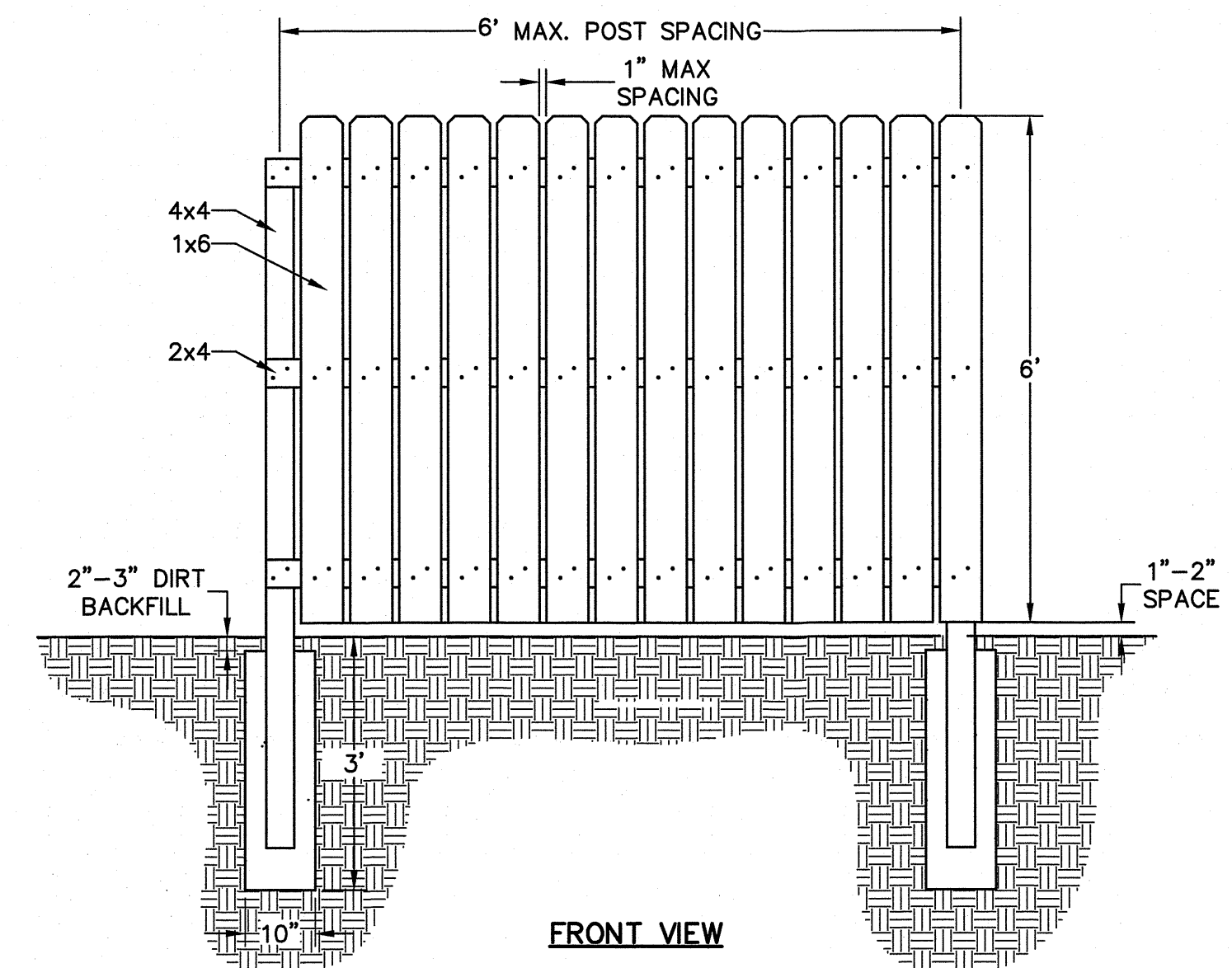
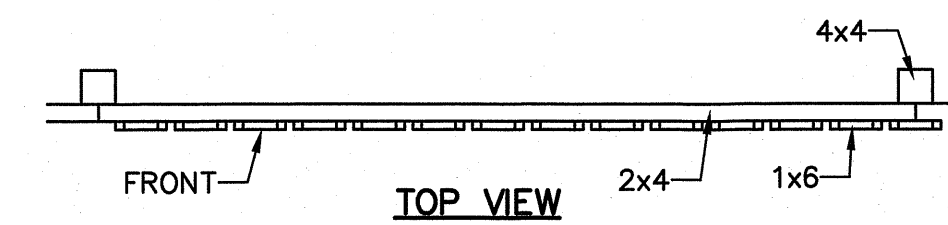
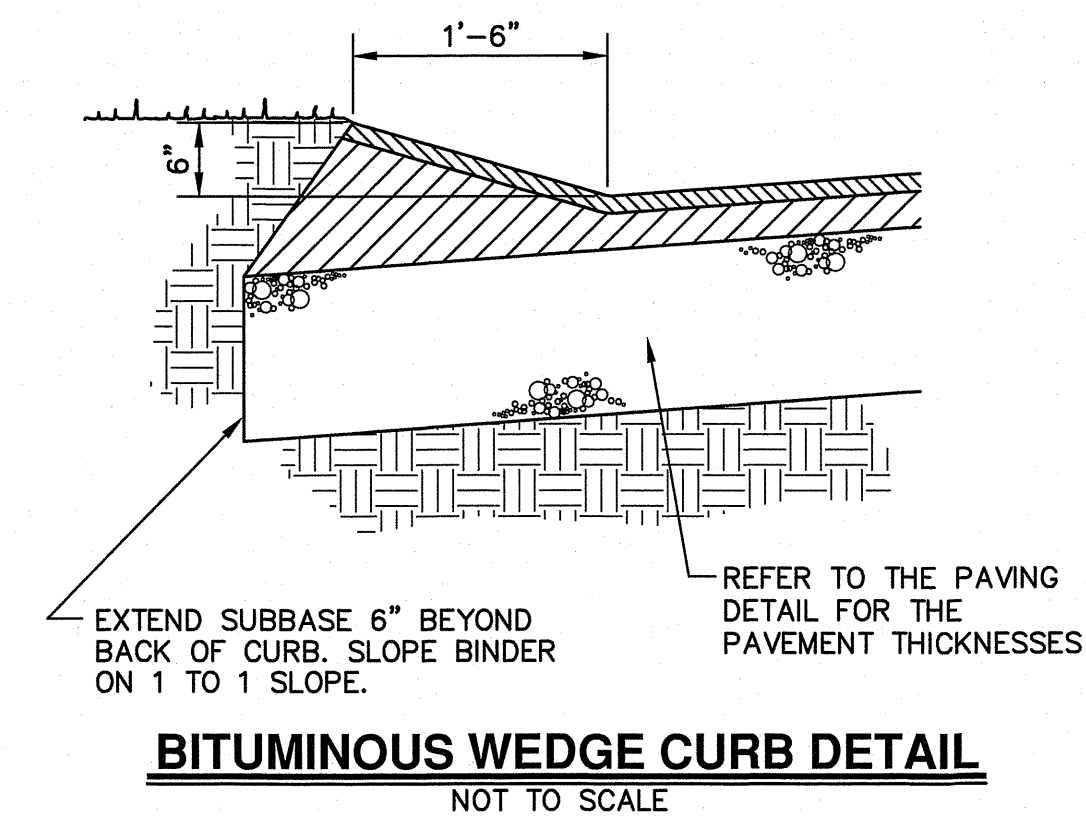
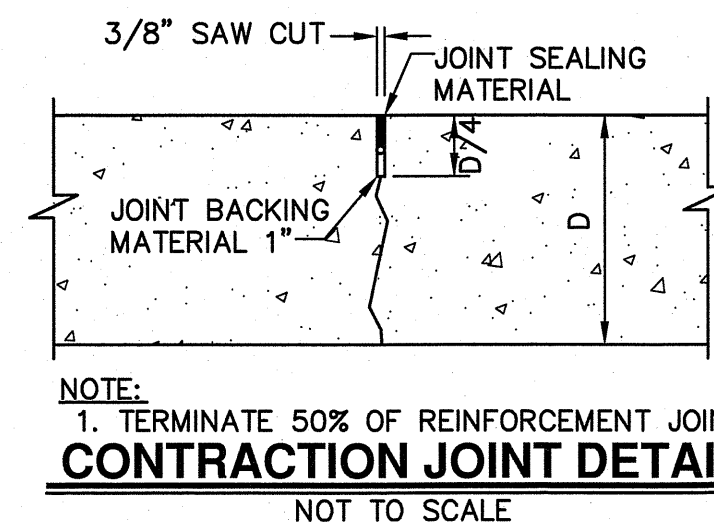
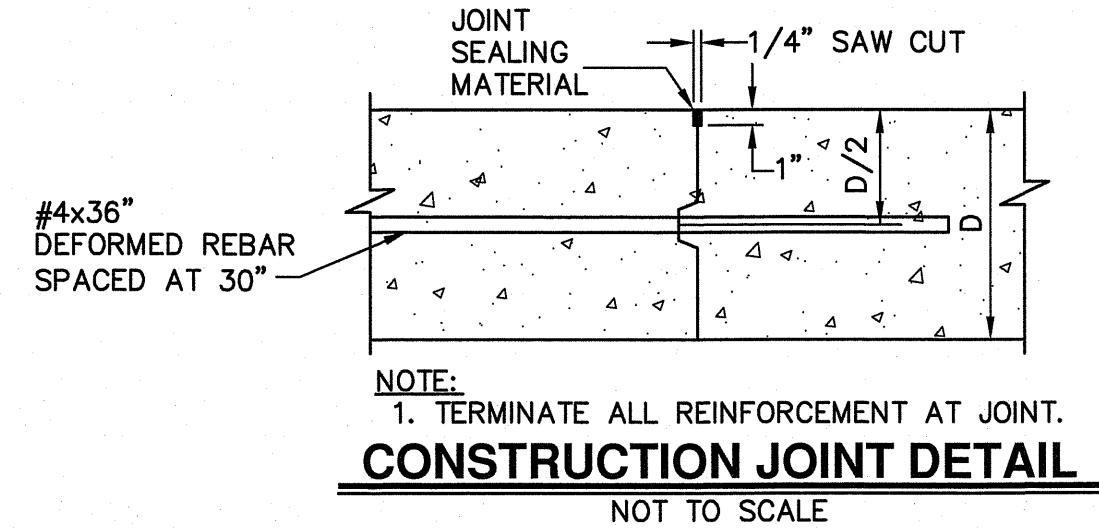
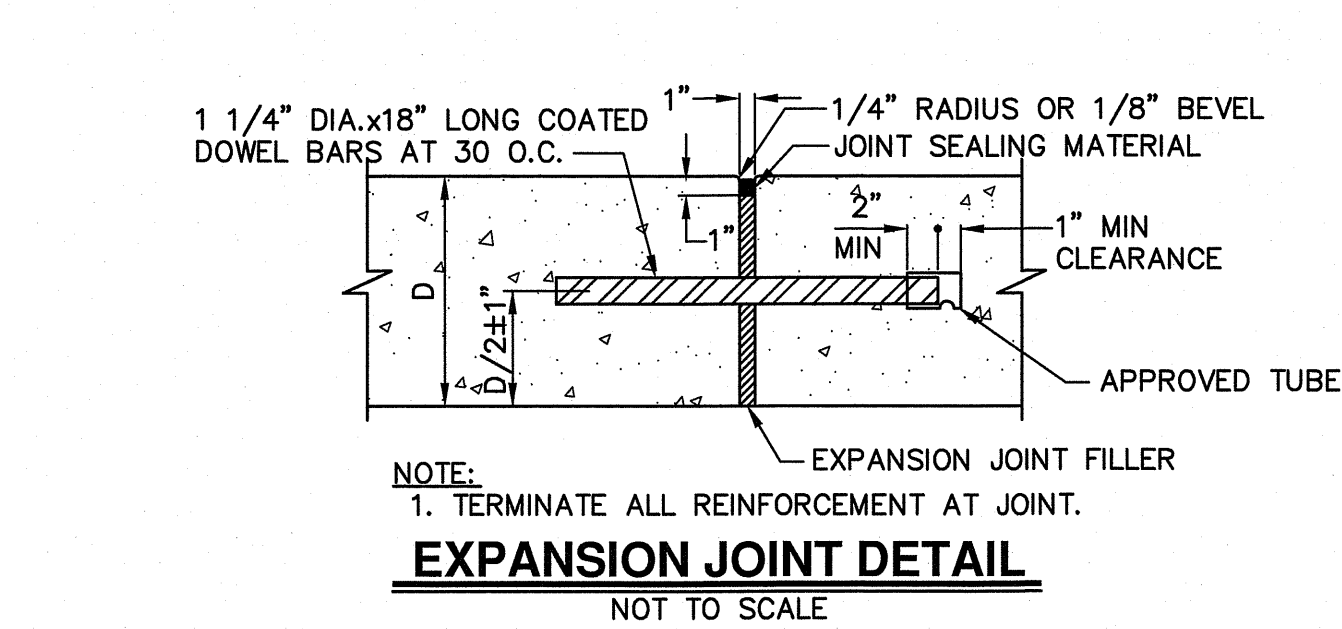
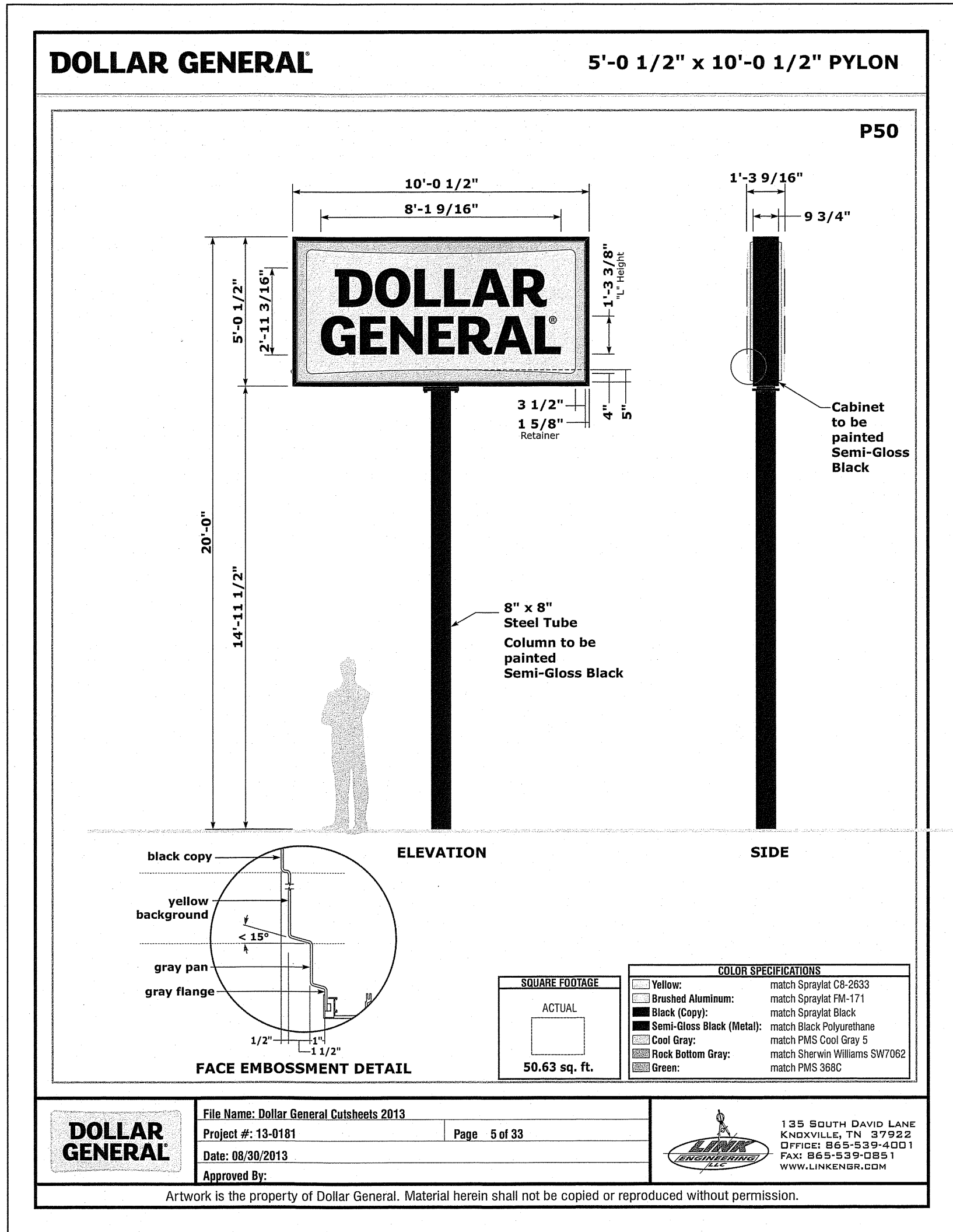
NOTE:
1. CONSTRUCT CURBING IN ACCORDANCE WITH PENNDOT SPECIFICATIONS PUBLICATION 408 AND ROADWAY CONSTRUCTION DRAWINGS (RC-64)

CONCRETE CURB DETAIL
NOT TO SCALE



SITE STRIPING
PAINTED YELLOW

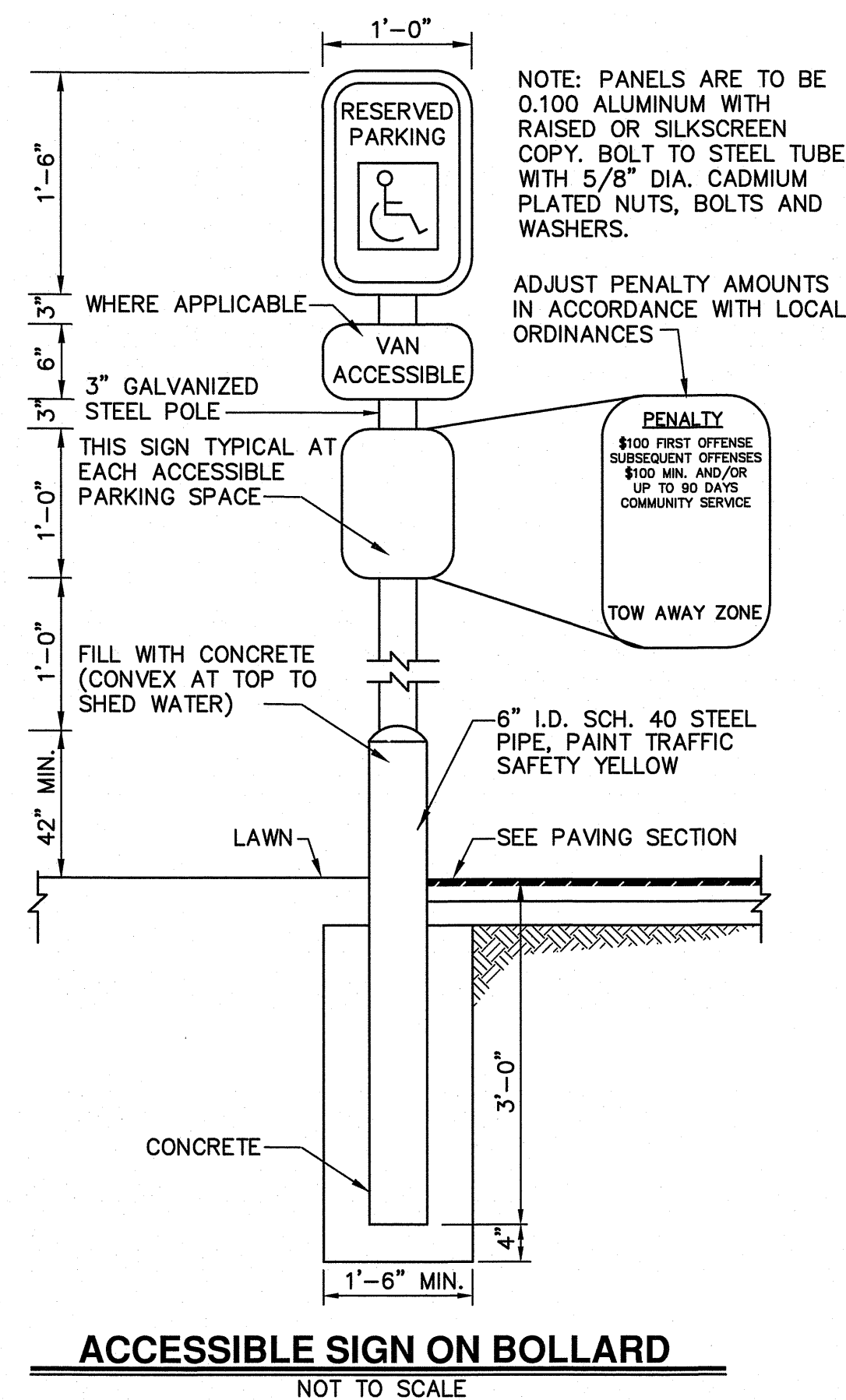
NOTE:
PAINT SHALL CONFORM TO DOT STANDARD. APPLY 2 COATS, ALLOWING 1 WEEK MINIMUM BETWEEN COATS.



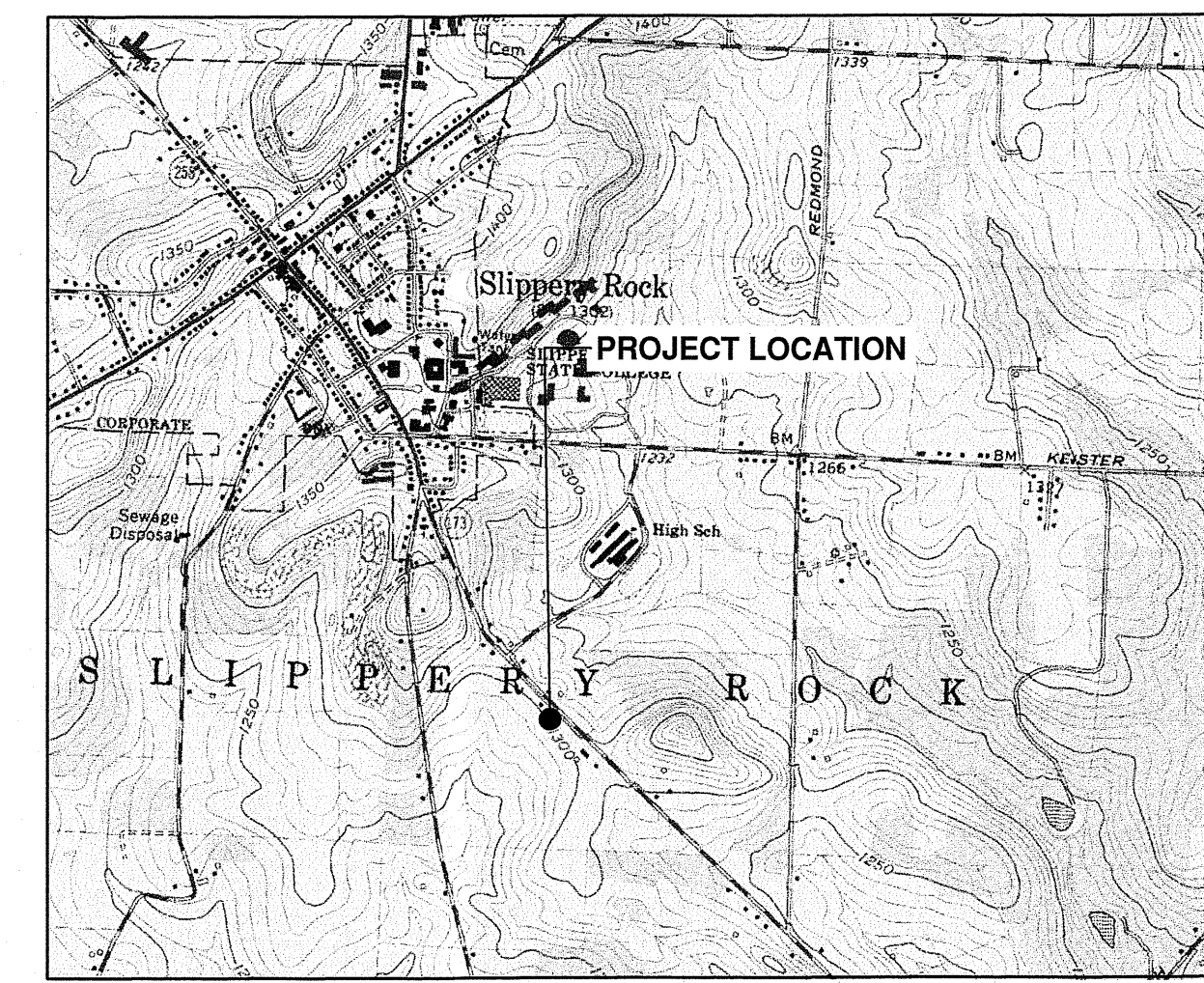
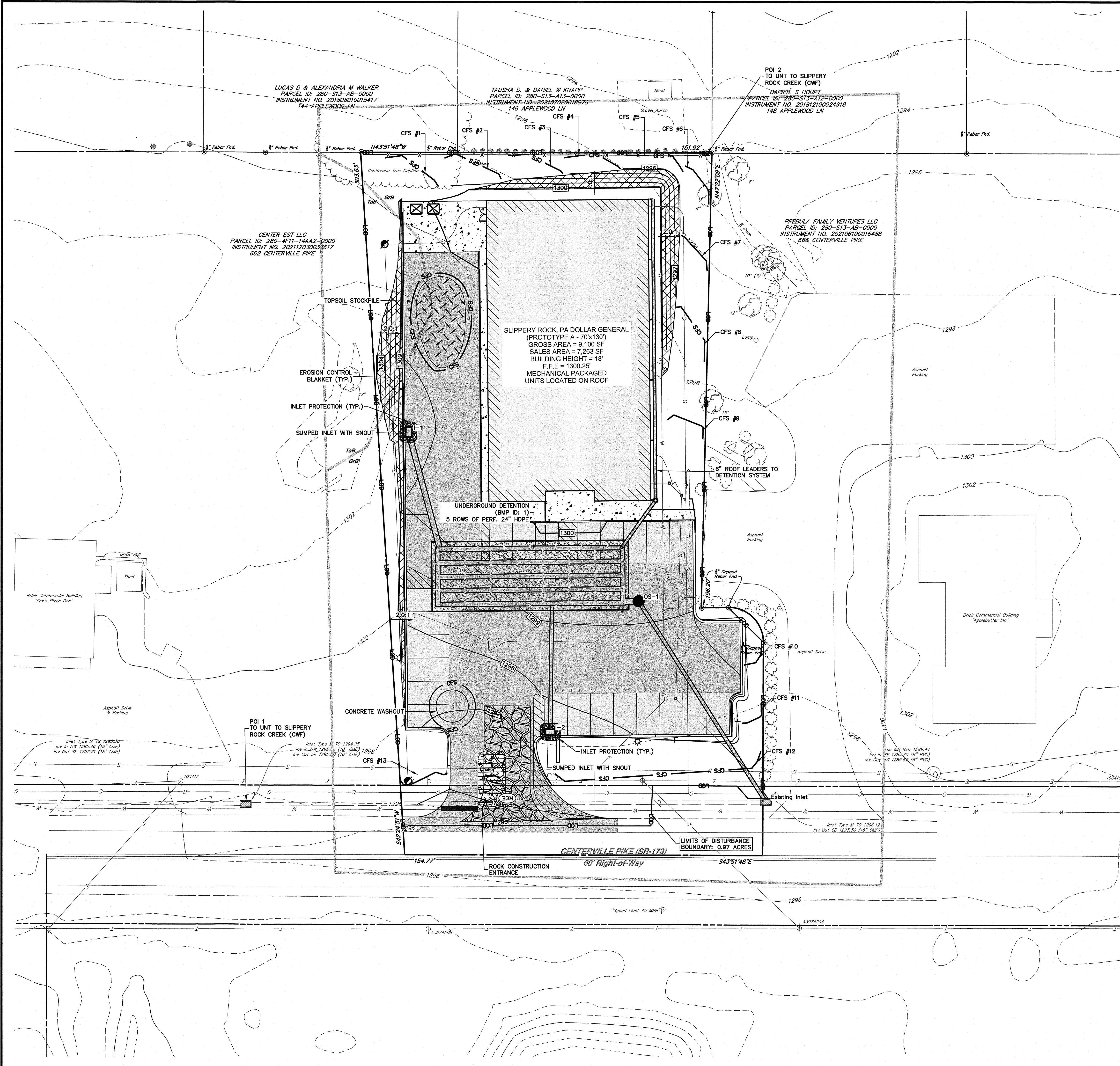
- NOTES:**
- WOOD TO BE TREATED PINE. USE GALVANIZED NAILS FOR FASTENING.
 - NUMBER OF BOARDS WILL VARY DEPENDING ON SPACE BETWEEN BOARDS AND ACTUAL WIDTH OF BOARDS.

PRIVACY FENCE
NOT TO SCALE

PLAN BOOK	PAGE
425	36



NO.	DATE	DESCRIPTION
1	2024.11.20	REVISED PER TOWNSHIP COMMENTS
2	2025.01.20	REVISED GRADING AND INLET
3	2025.01.27	REVISED SANITARY AND WATERLINE
4	2025.02.05	LAND DEVELOPMENT PLANS FOR RECORDING
5		
6		
7		
8		
9		

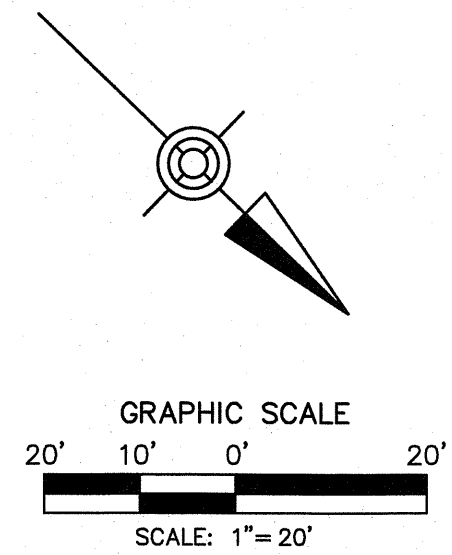


EROSION & SEDIMENT CONTROL LEGEND

- 1010 PROPOSED CONTOUR
- X 410.00 PROPOSED SPOT ELEVATION
- ROCK CONSTRUCTION ENTRANCE
- CFS COMPOST FILTER SOCK
- INLET PROTECTION
- EROSION CONTROL BLANKET
- LOD LIMIT OF DISTURBANCE
- PROPOSED STORM SEWER & INLET
- Soil Boundaries
- Existing Contour Major
- Existing Contour Minor

LIMIT OF DISTURBANCE: 0.97 AC
RECEIVING STREAM: UNIT TO SLIPPERY ROCK CREEK (CWF)

PLAN BOOK	PAGE
425	37



HERBERT, ROWLAND & GRUBIC, INC.
220 WEST KENSINGER DRIVE
SUITE 100
CRANBERRY TOWNSHIP, PA 16066
724.779.4777 | hrg-inc.com

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS
FOR
SLIPPERY ROCK #3 DOLLAR GENERAL
PTV 1416, LLC
400 PENN CENTER BOULEVARD, BUILDING 4, SUITE 1000
PITTSBURGH, PA 15235
SLIPPERY ROCK BUTLER COUNTY PENNSYLVANIA

PROFESSIONAL SEAL:

HRG PROJECT NUMBER: R008385.0463
PLAN DATE: SEPTEMBER 2024
DRAWING SCALE: AS SHOWN
PROJ. MANAGER: CRAIG A. BISHOP

REVISIONS	NO.	DATE	DESCRIPTION
	1	2024.11.20	REVISED PER TOWNSHIP COMMENTS
	2	2025.01.20	REVISED GRADING AND INLET
	3	2025.01.27	REVISED SANITARY AND WATERLINE
	4	2025.02.05	LAND DEVELOPMENT PLANS FOR RECORDING
	5		
	6		
	7		
	8		
	9		

SHEET TITLE:
EROSION AND SEDIMENT CONTROL PLAN

SHEET: **ES-1** **12**

THIS PLAN WAS DESIGNED TO MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND EXISTING VEGETATION, MINIMIZE THE EXTEND AND DURATION OF EARTH DISTURBANCE, COMPACTION, AND GRADING, WHERE FEASIBLE. THIS PLAN UTILIZES OTHER MEASURES OR CONTROLS THAT PREVENT OR MINIMIZE GENERATION OF AN INCREASE IN STORMWATER RUNOFF. THE MAJORITY OF THE LAND CONSISTS OF EXISTING IMPERVIOUS. STORMWATER RUNOFF DURING CONSTRUCTION WILL BE MANAGED THROUGH THE USE OF INLET FILTER BAGS AND COMPOST FILTER SOCKS.

1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE TOWNSHIP OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE BUTLER CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE BUTLER CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
6. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMITS OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAPS IN THE AMOUNT NECESSARY TO COMPLETE THE FINAL GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
9. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE BUTLER CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
10. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
11. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
12. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
13. VEHICLES AND EQUIPMENT MAY ONLY ENTER DIRECTLY OR EXIT DIRECTLY FROM THE ROCK CONSTRUCTION ENTRANCE.
14. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
15. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, OBSIDENCE, OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
16. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 8 INCHES IN THICKNESS.
17. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
18. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
19. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
20. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
21. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDING AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
22. E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE BUTLER CONSERVATION DISTRICT OR THE DEPARTMENT.
23. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE BUTLER CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
24. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
25. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE SOMERSET CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
26. FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
27. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
28. ALL CHANNELS SHALL BE KEPT FREE OF OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FILL, ROCKS, LEAVES, WOODY DEBRIS, ACCUMULATED SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIAL/WASTES.

29. ANY DAMAGE THAT OCCURS IN WHOLE OR IN PART AS A RESULT OF BASIN OR TRAP DISCHARGE SHALL BE IMMEDIATELY REPAIRED BY THE PERMITTEE IN A PERMANENT MANNER SATISFACTORY TO THE MUNICIPALITY, LOCAL CONSERVATION DISTRICT, AND THE OWNER OF THE DAMAGED PROPERTY.
30. FILL MATERIAL FOR EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN IN ACCORDANCE WITH THE LATEST EDITION OF PENNDOT SPECIFICATIONS, PUB. 408, SECTION 206. EMBANKMENTS.
31. THE EROSION AND SEDIMENT POLLUTION CONTROL PLAN AND PLAN NARRATIVE ARE FOR THE INSTALLATION, MAINTENANCE AND MEASURES TO CONTROL EROSION AND SEDIMENT POLLUTION ONLY. REFER TO APPROPRIATE PLAN SHEETS FOR ALL UTILITY, STORMWATER, SITE IMPROVEMENT AND OTHER CONSTRUCTION INFORMATION.
32. UPON PERMANENT STABILIZATION OF THE EARTH DISTURBANCE ACTIVITY UNDER § 102.22(A)(2) (RELATING TO PERMANENT STABILIZATION), AND INSTALLATION OF BMPS IN ACCORDANCE WITH AN APPROVED PLAN PREPARED AND IMPLEMENTED IN ACCORDANCE WITH §102.4 AND §102.8 (RELATING TO EROSION AND SEDIMENT CONTROL REQUIREMENTS; AND PCSM REQUIREMENTS), THE PERMITTEE OR CO-PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE DEPARTMENT OR CONSERVATION DISTRICT. THE NOTICE OF TERMINATION MUST INCLUDE THE FACILITY NAME, ADDRESS AND LOCATION; THE OPERATOR NAME AND ADDRESS; THE PERMIT NUMBER; THE REASON FOR PERMIT TERMINATION; IDENTIFICATION OF THE PERSONS WHO HAVE AGREED TO AND WILL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPS IN ACCORDANCE WITH §102.8(W) AND PROOF OF COMPLIANCE WITH §102.8(M)(2). UNTIL THE PERMITTEE OR CO-PERMITTEE HAS RECEIVED WRITTEN APPROVAL OF A NOTICE OF TERMINATION, THE PERMITTEE OR CO-PERMITTEE WILL REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PERMIT TERMS AND CONDITIONS INCLUDING LONG-TERM OPERATION AND MAINTENANCE OF ALL PCSM BMPS ON THE PROJECT SITE AND IS RESPONSIBLE FOR VIOLATIONS OCCURRING ON THE PROJECT SITE. THE DEPARTMENT OR CONSERVATION DISTRICT WILL CONDUCT A FINAL INSPECTION AND APPROVE OR DENY THE NOTICE OF TERMINATION WITHIN 30 DAYS.
33. A LICENSED PROFESSIONAL OR A DESIGNEE SHALL BE PRESENT ONSITE AND BE RESPONSIBLE DURING CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN. THE CRITICAL STAGES MAY INCLUDE THE INSTALLATION OF UNDERGROUND TREATMENT OR STORAGE BMPS, STRUCTURALLY ENGINEERED BMPS, OR OTHER BMPS AS DEEMED APPROPRIATE BY THE DEPARTMENT OR THE CONSERVATION DISTRICT.
34. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.
35. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ANY EXCESS MATERIAL AND MAKE SURE THE SITE(S) RECEIVING THE EXCESS HAS AN APPROVED AND FULLY IMPLEMENTED EROSION AND SEDIMENT CONTROL PLAN THAT MEETS THE CONDITIONS OF CHAPTER 102 AND/OR OTHER STATE OR FEDERAL REGULATIONS.

ANTICIPATED WASTES

- DEMOLITION WASTES
- CONCRETE WASH WATER
- EXCESS BUILDING MATERIALS

1. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
2. CONCRETE WASHOUTS MUST BE PROVIDED ON-SITE FOR CLEANING OF CHUTES, MIXERS, AND HOPPERS OF THE DELIVERY VEHICLES. TREES AND WOODED DEBRIS MAY BE HILLED ON-SITE OR MAY BE SHREDDED INTO WOOD CHIPS AND USED AS MULCH. TO AID IN STABILIZATION OF DISTURBED AREAS, AN ALTERNATIVE USE FOR WOOD CHIPS MAY BE USED TO CONSTRUCT WOOD CHIP BERMS IN LIEU OF COMPOST FILTER SOCKS. PLACEMENT AND CONSTRUCTION OF WOOD CHIP FILTER BERMS SHALL BE IN ACCORDANCE WITH THE CURRENT VERSION OF THE EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL.

1. UPON TEMPORARY CESSATION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES WILL EXCEED 4 DAYS, THE SITE SHALL BE IMMEDIATELY SEEDED, MULCHED, OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION PENDING FUTURE EARTH DISTURBANCE ACTIVITIES.
2. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
3. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN DRAWINGS IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. TOPSOIL STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SIDE SLOPES MUST BE 2:1 OR FLATTER.
4. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 4 INCHES OF TOPSOIL.
5. TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION. COMPACTED SOILS SHOULD BE SCARIFIED 6 TO 12 INCHES ALONG CONTOUR WHENEVER POSSIBLE PRIOR TO SEEDING.
6. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE THE DISTURBED AREAS. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINAL GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
7. AN EROSION CONTROL BLANKET WILL BE INSTALLED ON ALL DISTURBED SLOPES 3:1 OR STEEPER, ALL AREAS OF CONCENTRATED FLOWS, AND DISTURBED AREAS WITHIN 50' OF A SURFACE WATER.
9. SURFACE ROUGHENING, STAIR STEPPING, GROOVING, AND TRACKING SHALL BE INCORPORATED INTO THE GRADING TECHNIQUES.
 - A. SURFACE ROUGHENING IS THE PRACTICE OF PROVIDING A ROUGH SOIL SURFACE WITH HORIZONTAL DEPRESSIONS FOR THE PURPOSE OF REDUCING RUNOFF VELOCITY, INCREASING INFILTRATION, AIDING THE ESTABLISHMENT OF VEGETATION, AND REDUCING EROSION.
 - B. STAIR STEP GRADING MAY BE CONDUCTED ON SLOPES HAVING BEDROCK SOFT ENOUGH TO BE RIPPERED WITH A READER. HOWEVER, STAIR STEP GRADING USING THE SIZE OF HORIZONTAL CUT SHOULD EXCEED THAT OF THE VERTICAL CUT BY AT LEAST 10-INCH. INDIVIDUAL VERTICAL CUTS SHOULD NOT EXCEED 30-INCHES IN SOFT MATERIALS OR 40-INCHES IN HARDER ROCK. THE HORIZONTAL CUT SHOULD BE GRADED TOWARD THE VERTICAL CUT.
 - C. GROOVING SLOPES CONSISTS OF USING MACHINERY TO CREATE DEPRESSIONS PARALLEL CONTOUR ALONG THE SLOPE. IN SOFTER MATERIALS AND ON SLOPES GENTLER THAN 3:1, THIS MAY BE DONE WITH DISCS, TILLERS, OR HARROWS; THE TEETH OF A FRONT END LOADER MAY BE USED FOR HARDER MATERIALS. GROOVES SHALL BE AT LEAST THREE-INCHES DEEP AND NOT MORE THAN 15-INCHES APART. GROOVING SHALL BE USED ON SLOPES GENTLER THAN 3:1.
 - D. TRACKING SLOPES SHALL BE DONE BY RUNNING TRACKED MACHINERY UP AND DOWN THE SLOPE, LEAVING TREAD MARKS PARALLEL TO THE CONTOUR. CARE SHALL BE EXERCISED ON SOILS HAVING A HIGH CLAY CONTENT TO AVOID OVER-COMPACTION.

STORMWATER FROM THE SITE FLOWS INTO UNT TO SLIPPERY ROCK CREEK,
CLASSIFIED AS A CWF.

1. FIELD-MARK THE LIMITS OF DISTURBANCE AND ESTABLISH SURVEY BENCHMARKS AND REFERENCE POINTS.
 - 1.1. NO DISTURBANCE MAY OCCUR IN EXISTING WETLANDS ON SITE. TAKE NOTE OF EXISTING WETLAND ONSITE AND TAKE NECESSARY PRECAUTIONS SO THAT WETLAND IS NOT DISTURBED.
2. INSTALL THE ROCK CONSTRUCTION ENTRANCE AS SHOWN ON PLANS
NOTES:
 - A. NO CONSTRUCTION VEHICLES ARE PERMITTED TO LEAVE THE SITE OTHER THAN OVER THE ROCK CONSTRUCTION ENTRANCE.
3. INSTALL COMPOST FILTER SOCKS AS SHOWN ON PLANS.
4. BEGIN CLEARING AND GRUBBING THE SITE. PROPERLY DISPOSE OF ANY DEBRIS.
5. BEGIN ROUGH GRADING THE SITE. STABILIZE ANY AREAS THAT WILL REMAIN UN-DISTURBED FOR MORE THAN 4 DAYS ACCORDING TO THE TEMPORARY SEEDING SCHEDULE. ONCE AN AREA HAS REACHED FINAL GRADE, STABILIZE IT IMMEDIATELY. ONCE BUILDING FOOTPRINT IS GRADED BUILDING CONSTRUCTION MAY BEGIN. NO MORE THAN 15,000 S.F. OF DISTURBED AREA CAN REACH FINAL GRADE PRIOR TO INITIATING SEEDING AND MULCHING OPERATIONS.


NOTES:

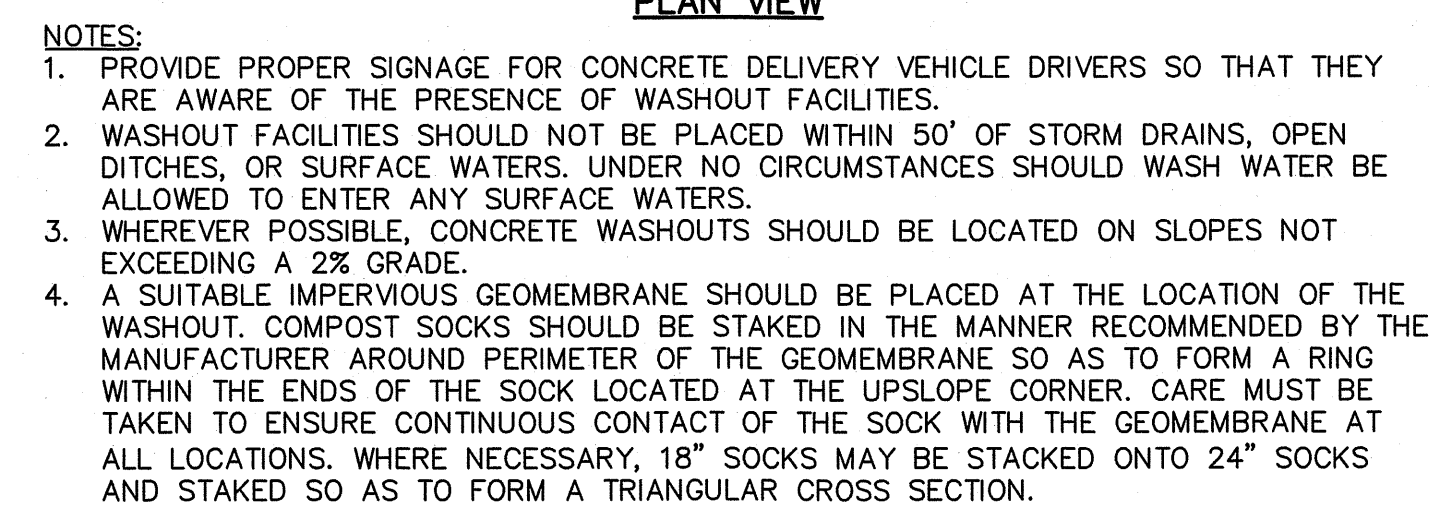
1. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROL BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, RE-GRADING, RESEEDING, RE-MULCHING AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED. PAPEP VISUAL SITE INSPECTION REPORT MUST BE COMPLETED FOR EACH BMP SITE INSPECTION.
2. ANY SEDIMENT REMOVED FROM BMPs DURING CONSTRUCTION WILL BE RETURNED TO UPLAND AREAS ON SITE AND INCORPORATED INTO THE SITE GRADING.
3. A LOG, FORM SPECIFIED BY THE DEP, SHOWING THE DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THAT THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO THE BUTLER CONSERVATION DISTRICT OR OTHER REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
4. IF BMPs ARE FOUND TO BE INOPERATIVE OR INEFFECTIVE DURING AN INSPECTION, OR ANY OTHER TIME, THE PERMITTEE AND/OR CO-PERMITTEE SHALL IMMEDIATELY CONTACT THE DISTRICT. DOCUMENTATION SHOULD INCLUDE WHAT STEPS ARE BEING TAKEN TO REDUCE, ELIMINATE AND PREVENT RECURRENCE OF THE PROBLEM.
5. INSPECTION MUST BE CONDUCTED WITHIN 24 HOURS FOLLOWING A 24-HOUR PERIOD IN WHICH AT LEAST 0.25 INCH OF PRECIPITATION OCCURS, OR WHEN SNOWMELT OCCURS THAT IS SUFFICIENT TO PRODUCE A DISCHARGE.

BEST MANAGEMENT PRACTICES MAINTENANCE SCHEDULE		
BMP	INSPECTION SCHEDULE	REQUIRED MAINTENANCE
COMPOST FILTER SOCK	INSPECT WEEKLY AND AFTER EVERY RUNOFF EVENT	SEDIMENT MUST BE REMOVED WHERE ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE SOCK. ANY SECTIONS WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET
INLET PROTECTION	INSPECT DAILY AND AFTER EVERY RUNOFF EVENT	IMMEDIATELY REMOVE ALL SEDIMENT DEBRIS, AND LITTER FROM THE INLET PROTECTION.
ROCK CONSTRUCTION ENTRANCE	INSPECT DAILY AND AFTER EVERY RUNOFF EVENT	SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE AT THE END OF EACH DAY.
EROSION CONTROL BLANKETS	INSPECT WEEKLY AND AFTER EVERY RUNOFF EVENT	IMMEDIATELY REPAIR ANY EROSION CONTROL BLANKET THAT IS NOT FUNCTIONING PROPERLY.
CONCRETE WASHOUT	INSPECT WEEKLY AND AFTER EVERY RUNOFF EVENT	REPAIR AND REPLACE DAMAGED GEOMEMBRANE AND COMPOST FILTER SOCK AS NEEDED.
PUMPED WATER FILTER BAG	INSPECT DAILY	IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

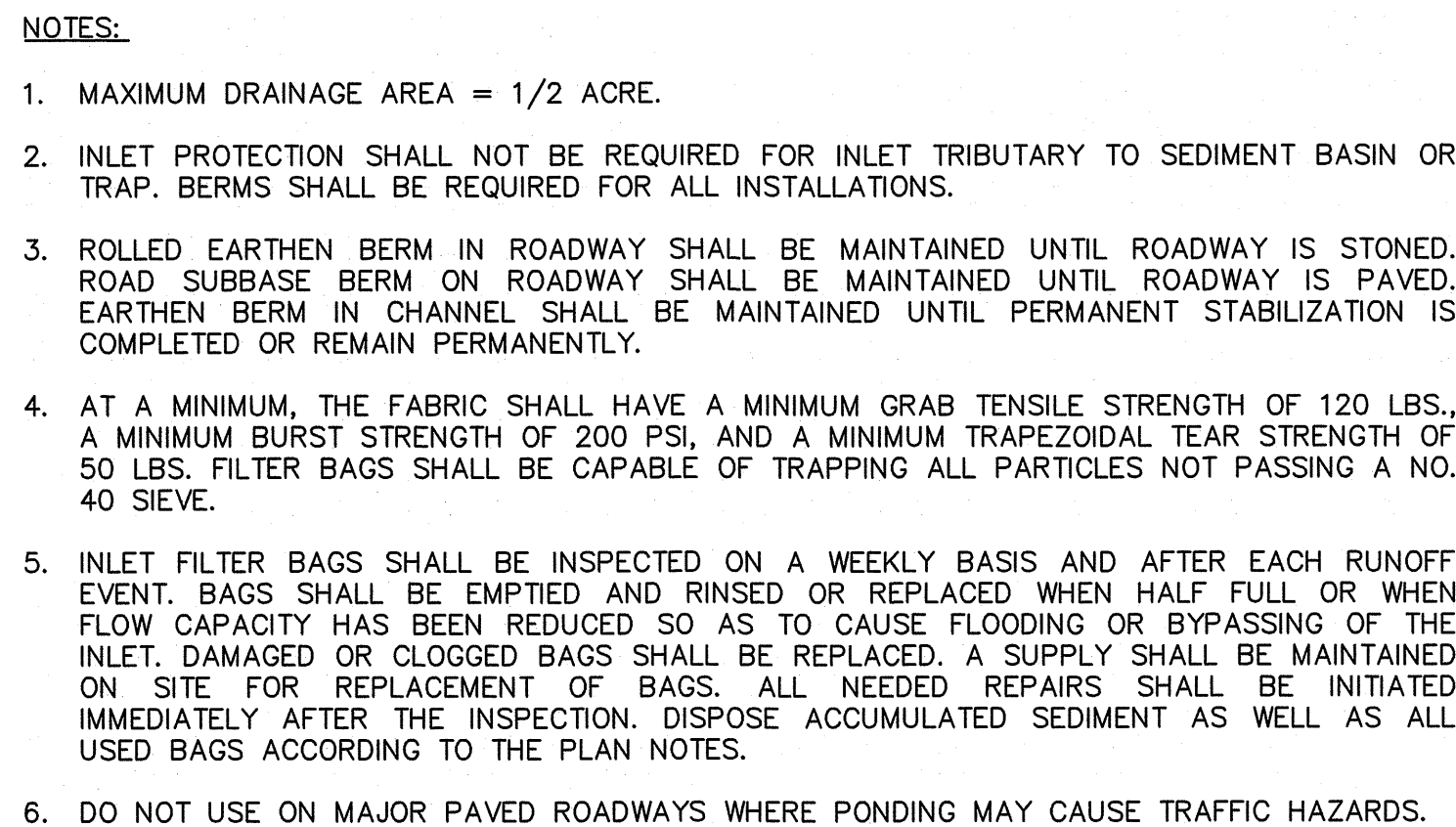
GrB- GRESHAM SILT LOAM, 3 TO 8 PERCENT SLOPES
TeB- TITUSVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES

1. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
2. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
3. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
4. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
5. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
6. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
7. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.

HERBERT, ROWLAND & GRUBIC, INC. 220 WEST KENSINGER DRIVE SUITE 100 CRANBERRY TOWNSHIP, PA 16066 724.779.4777 hrg-inc.com	
PRELIMINARY/FINAL LAND DEVELOPMENT PLANS FOR SLIPPERY ROCK #3 DOLLAR GENERAL PTV 1416 , LLC 400 PENN CENTER BOULEVARD, BUILDING 4, SUITE 1000 PITTSBURGH, PA 15235	
PROFESSIONAL SEAL:	
	
RC PROJECT NUMBER: R008385.04	
PLAN DATE: SEPTEMBER 2024	
DRAWING SCALE: AS SHOWN	
ROJ. MANAGER: CRAIG A. BISHOP	
REVISIONS	
NO.	DATE DESCRIPTION
1	2024.11.20 REVISED PER TOWNSHIP COMMENTS
2	2025.01.20 REVISED GRADING AND INLET
3	2025.01.27 REVISED SANITARY AND WATERLINE
4	2025.02.05 LAND DEVELOPMENT PLANS FOR RECORDING
5	
6	
7	
8	
SHEET TITLE:	
EROSION AND SEDIMENT CONTROL NOTES	
SHEET:	ESNT-1
13	



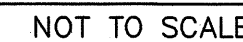
NOT TO SCALE



NOT TO SCALE



ORGANIC MATTER CONTENT	25% – 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 – 8.5
MOISTURE CONTENT	30% – 60%
PARTICLE SIZE	30% – 50% PASS THROUGH 3/8" SIEVE
SOLUBLE SALT CONCENTRATION	5.0 dS/m (mmhos/cm) MAX.



COMPOST FILTER SOCK SIZE TABLE

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS
FOR
SLIPPERY ROCK #3 DOLLAR GENERAL
PTV 1416, LLC
400 PENN CENTER BOULEVARD, BUILDING 4, SUITE 1000
PITTSBURGH, PA 15235
SLIPPERY ROCK BUTLER COUNTY PENNSYLVANIA

PROFESSIONAL SEAL:



HRG PROJECT NUMBER:	R008385.0463
PLAN DATE:	SEPTEMBER 2024
DRAWING SCALE:	AS SHOWN
PROJ. MANAGER:	CRAIG A. BISHOP

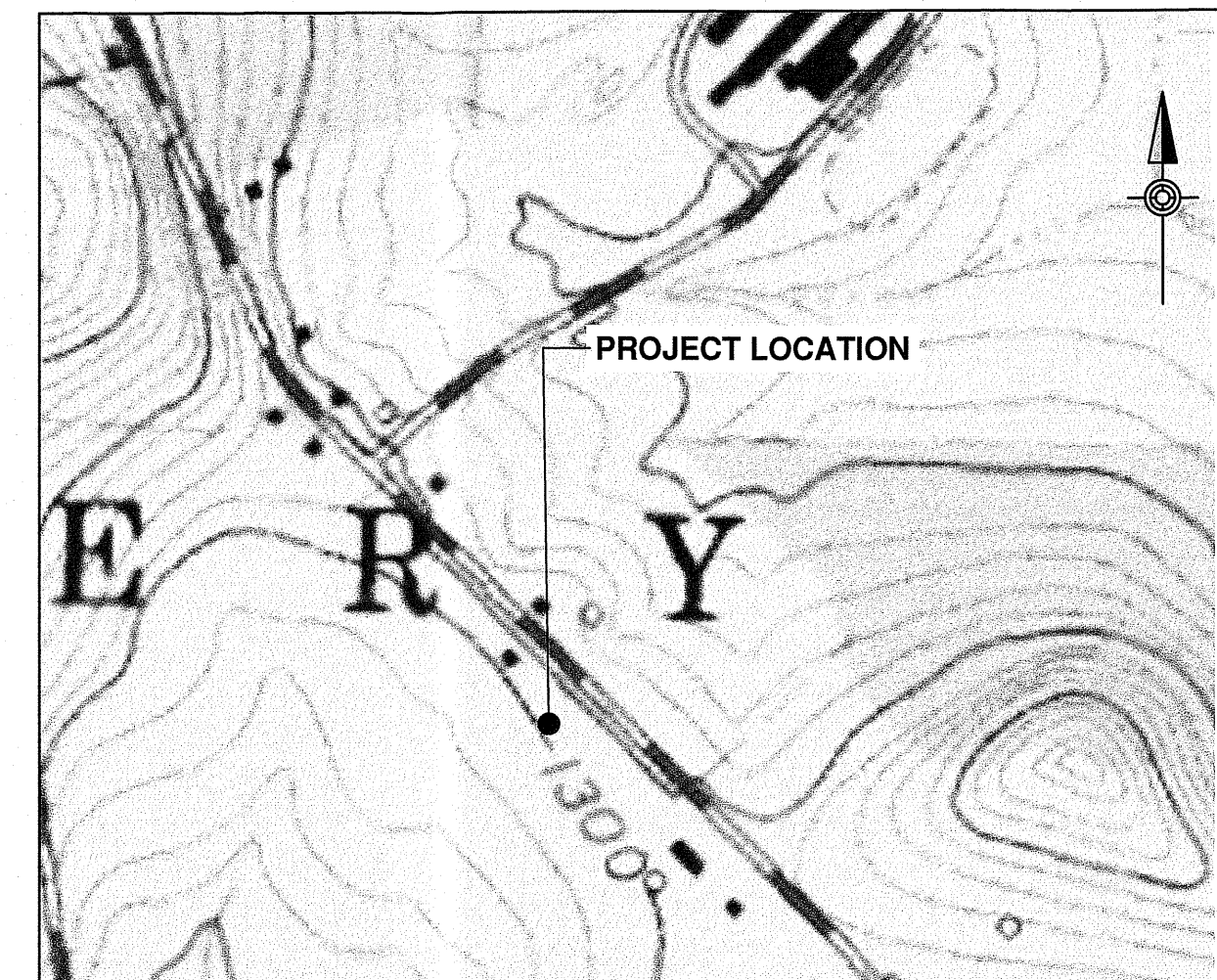
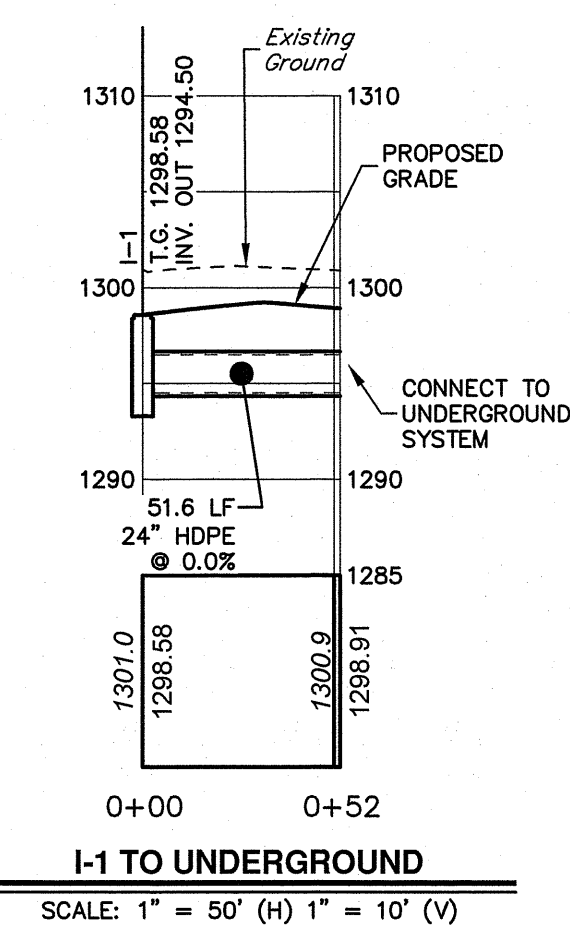
REVISIONS		
NO.	DATE	DESCRIPTION
1	2024.11.20	REVISED PER TOWNSHIP COMMENTS
2	2025.01.20	REVISED GRADING AND INLET
3	2025.01.27	REVISED SANITARY AND WATERLINE
4	2025.02.05	LAND DEVELOPMENT PLANS FOR RECORDING
5		
6		
7		
8		
9		

SHEET TITLE:

**EROSION AND
SEDIMENT
CONTROL
DETAILS**

SHEET: **ESDT-2**

15



Lin K. Stolt 2-8-25, HEREBY CERTIFY THAT THE
STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA
OF THE SLIPPERY ROCK TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

GRAPHIC SCALE

20' 10' 0' 20'

SCALE: 1" = 20'

PURPOSE OF PLAN

THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN HAS BEEN DEVELOPED WITHIN ESTABLISHED GUIDELINES AND STANDARDS TO PREVENT AN INCREASE IN THE RATE OF STORMWATER RUNOFF. THE PLAN WAS DEVELOPED TO MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION WHILE PRESERVING THE INTEGRITY OF STREAM CHANNELS AND PROTECT THE PHYSICAL, BIOLOGICAL, AND CHEMICAL QUALITIES OF THE RECEIVING STREAM. THE PLAN ALSO MINIMIZES THE INCREASE IN STORMWATER RUNOFF VOLUME, BY MINIMIZING LAND CLEARING, GRADING, SOIL COMPACTION AND IMPERVIOUS AREAS WHILE UTILIZING STRUCTURAL OR NONSTRUCTURAL BMP'S THAT PREVENT OR MINIMIZE CHANGES IN STORMWATER RUNOFF.

CRITICAL STAGES OF CONSTRUCTION

LISTED BELOW ARE THE CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN FOR WHICH A LICENSED PROFESSIONAL OR DESIGNEE WILL BE PRESENT ON SITE TO OBSERVE CONSTRUCTION OR CERTIFY CONSTRUCTION:

THE INSTALLATION OF:

UNDERGROUND DETENTION:

- OUTLET STRUCTURE AND OUTLET BARREL
- LEVEL SPREADER

RECYCLING AND DISPOSAL OF WASTES

ANTICIPATED WASTES:

- LITTER
- GRASS CLIPPINGS
- TRASH
- DEBRIS

ANY TRASH, DEBRIS, LITTER, OR LAWN CLIPPINGS COLLECTED DURING ROUTINE MAINTENANCE OF THE SITE MUST BE DISPOSED OF IN A REGULATED FACILITY.

NOTICE OF TERMINATION

UPON PERMANENT STABILIZATION OF THE EARTH DISTURBANCE ACTIVITY UNDER § 102.22(A)(2) (RELATING TO PERMANENT STABILIZATION), AND INSTALLATION OF BMPS IN ACCORDANCE WITH AN APPROVED PLAN PREPARED AND IMPLEMENTED IN ACCORDANCE WITH § 102.4 AND § 102.8 (RELATING TO EROSION AND SEDIMENT CONTROL REQUIREMENTS; AND PCSM REQUIREMENTS), THE PERMITTEE OR CO-PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE DEPARTMENT OR CONSERVATION DISTRICT. THE NOTICE OF TERMINATION MUST INCLUDE THE FACILITY NAME, ADDRESS AND LOCATION; THE OPERATOR NAME AND ADDRESS; THE PERMIT NUMBER; THE REASON FOR PERMIT TERMINATION; IDENTIFICATION OF THE PERSONS WHO HAVE AGREED TO AND WILL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPS IN ACCORDANCE WITH § 102.8(M) AND PROOF OF COMPLIANCE WITH § 102.8(M)(2). UNTIL THE PERMITTEE OR CO-PERMITTEE HAS RECEIVED WRITTEN APPROVAL OF A NOTICE OF TERMINATION, THE PERMITTEE OR CO-PERMITTEE WILL REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PERMIT TERMS AND CONDITIONS INCLUDING LONG-TERM OPERATION AND MAINTENANCE OF ALL PCSM BMPS ON THE PROJECT SITE AND IS RESPONSIBLE FOR VIOLATIONS OCCURRING ON THE PROJECT SITE. THE DEPARTMENT OR CONSERVATION DISTRICT WILL CONDUCT A FINAL INSPECTION AND APPROVE OR DENY THE NOTICE OF TERMINATION WITHIN 30 DAYS.

POST-CONSTRUCTION BEST MANAGEMENT PRACTICES OWNERSHIP, OPERATIONS AND MAINTENANCE PROCEDURES

THE MAINTENANCE OF THE BMPS SHALL BE OWNED, MAINTAINED AND/OR REPAIRED BY THE PROPERTY OWNER, SAIPH XI, LLC, OR SUCCESSOR. OWNERSHIP, OPERATION AND MAINTENANCE RESPONSIBILITY WILL BE OF THE PROPERTY OWNER. THESE RESPONSIBILITIES INCLUDE OPERATION AND MAINTENANCE OF BMPS, STORM SEWERS AND DRAINAGE STRUCTURES.

GENERAL MAINTENANCE

- ALL STORMWATER MANAGEMENT FACILITIES SHOWN ON THIS PLAN SHALL BE CONSTRUCTED BY THE DEVELOPER IN ACCORDANCE WITH THE DESIGN, CONDITIONS, AND SPECIFICATIONS IDENTIFIED ON THE PLANS. OWNERSHIP AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE LANDOWNER, HIS SUCCESSORS AND ASSIGNS, UNLESS SPECIFICALLY IDENTIFIED HEREIN.
- STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN GOOD WORKING CONDITION SO THAT THEY ARE PERFORMING THEIR DESIGN FUNCTION, IN A MANNER ACCEPTABLE TO THE TOWNSHIP AND THE COUNTY CONSERVATION DISTRICT. MAINTENANCE SHALL INCLUDE PERFORMING ROUTINE MAINTENANCE AND REPAIR OR REPLACEMENT OF DAMAGED FACILITIES, VEGETATION OR STORMWATER AREAS TO CONDITIONS AS SHOWN ON THE APPROVED PLAN. THE TOWNSHIP AND COUNTY CONSERVATION DISTRICT MUST BE NOTIFIED PRIOR TO PERFORMING REPAIRS.
- INSPECT STORMWATER CONVEYANCE FACILITIES (INLETS, STORM SEWERS AND OUTLET PROTECTION) BI-ANNUALLY OR AFTER EACH SIGNIFICANT RAINFALL-PRODUCING EVENT. CLEAR DEBRIS FROM INLETS TO ALLOW UN-IMPEDED FLOW, FLUSH STORM SEWERS IF THEY BECOME PLUGGED AND CLEAN AND REPAIR SWALES SHOULD THEY BECOME BLOCKED OR ERODED.

SPECIFIC MAINTENANCE

UNDERGROUND DETENTION BED

- INLETS SHOULD BE INSPECTED AND CLEANED AT LEAST TWO (2) TIMES PER YEAR AND AFTER RUNOFF EVENTS.
- INSPECT THE STORAGE PIPES AND INLETS AFTER RUNOFF EVENTS AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 72 HOURS.
- ALSO INSPECT FOR ACCUMULATION OF TRASH OR SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, SIGNS OF WATER CONTAMINATION/SPILLS, AND INTEGRITY OF STORAGE PIPE.
- REMOVE ACCUMULATED TRASH AND OR SEDIMENT FROM THE UNDERGROUND STORAGE PIPE AS REQUIRED. PROPERLY DISPOSE OF SEDIMENT.

RECOMMENDED STAGING OF MAJOR CONSTRUCTION ACTIVITIES

GENERAL CONSTRUCTION SEQUENCE

- AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LAND OWNER, REPRESENTATIVES FROM THE BUTLER COUNTY CONSERVATION DISTRICT [(724) 284-5270], THE E&S PLAN PREPARER, PCSM PLAN PREPARER, AND THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN TO AN ON-SITE PRE-CONSTRUCTION MEETING.
- AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- CLEAR AND GRUB EXISTING VEGETATION AND STRIP TOPSOIL ONLY AS NEEDED AS WORK PROGRESSES. TOPSOIL RESERVED FOR SEEDED AREAS SHALL BE PLACED IN THE TEMPORARY TOPSOIL STOCKPILE LOCATIONS SHOWN ON THE PLAN. TOPSOIL NOT REQUIRED FOR SEEDED AREAS SHALL BE PERMANENTLY PLACED IN LANDSCAPE BERMS OR REMOVED FROM THE SITE.
- UPON CESSATION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES WILL EXCEED FOUR (4) DAYS, THE SITE SHALL BE IMMEDIATELY SEEDED, MULCHED, OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION PENDING FUTURE EARTH DISTURBANCE ACTIVITIES.
- PLACE TOPSOIL FOR ALL AREAS NEARING FINAL GRADE AS CONSTRUCTION PROGRESSES. IMMEDIATELY STABILIZE WITH SEED AND MULCH OR EROSION CONTROL MATTING, AS REQUIRED, FOR ALL AREAS REACHING FINAL GRADE.
- PROVIDE A CONCRETE WASHOUT FACILITY FOR THE CLEANING OF CHUTES, MIXERS, AND HOPPERS OF DELIVERY VEHICLES UNLESS SUCH A FACILITY WILL BE USED AT THE SOURCE OF THE CONCRETE. UNDER NO CIRCUMSTANCES MAY WASH WATER FROM THESE VEHICLES BE ALLOWED TO ENTER ANY SURFACE WATERS. WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES, OR SURFACE WATERS. PROVIDE PROPER SIGNAGE SO THAT DRIVERS ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. ANY DEVIATION FROM THE FOLLOWING SEQUENCE MUST BE APPROVED IN WRITING FROM THE BUTLER COUNTY CONSERVATION DISTRICT.
- AS CONSTRUCTION PROGRESSES, CONTRACTOR IS RESPONSIBLE FOR MAINTAINING DRAINAGE TO E&S BMPS.

CONSTRUCTION SEQUENCE

- FIELD-MARK THE LIMITS OF DISTURBANCE AND ESTABLISH SURVEY BENCHMARKS AND REFERENCE POINTS.
 - NO DISTURBANCE MAY OCCUR IN EXISTING WETLANDS ON SITE. TAKE NOTE OF EXISTING WETLAND ONSITE AND TAKE NECESSARY PRECAUTIONS SO THAT WETLAND IS NOT DISTURBED.
- INSTALL THE ROCK CONSTRUCTION ENTRANCE AS SHOWN ON PLANS

NOTES:

- NO CONSTRUCTION VEHICLES ARE PERMITTED TO LEAVE THE SITE OTHER THAN OVER THE ROCK CONSTRUCTION ENTRANCE.
 - ON REACHING FINAL GRADE, SPREAD TOPSOIL, SEED, MUCH, AND INSTALL EROSION CONTROL BLANKET ON ALL SLOPES THAT ARE GREATER THAN OR EQUAL TO 3:1 UNLESS SPECIFICALLY INDICATED ON THE PLAN.
- INSTALLATION OF SITE UTILITIES: GAS, SANITARY, WATER AND ELECTRIC, MAY BEGIN.
 - ONCE READY TO BEGIN EXCAVATION FOR UNDERGROUND DETENTION (BMP ID: 1), INSTALL COMPOST FILTER SOCK AROUND PERIMETER OF BMP TO PROTECT FROM SEDIMENT LADEN RUNOFF, ADJUST AS NEEDED.
 - BEGIN EXCAVATION AND INSTALLATION OF UNDERGROUND STORAGE DETENTION. INSTALL PERMANENT OUTLET STRUCTURE. THIS IS A CRITICAL STAGE OF CONSTRUCTION AND A LICENSED PROFESSIONAL SHALL BE NOTIFIED WHEN IT IS TO OCCUR.
 - DO NOT COMPACT IN-SITU SOILS DURING INSTALLATION OF UNDERGROUND DETENTION.
 - INSTALL AND ADJUST COMPOST FILTER SOCK ALONG UPGRADIENT PERIMETER OF BMP AS NEEDED TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING BMP
 - ONCE INSTALLATION OF UNDERGROUND DETENTION SYSTEM IS COMPLETE, ALL UPSTREAM STORMWATER CONVEYANCES MAY BE INSTALLED, WORKING DOWNSTREAM TO UPSTREAM.
 - INSTALL INLET PROTECTION ON INSTALLED INLETS IMMEDIATELY.
 - GRADE IN BUILDING FOOTPRINT. ONCE FOOTPRINT IS GRADED BUILDING CONSTRUCTION MAY BEGIN.
 - ONCE BUILDING CONSTRUCTION IS NEAR COMPLETION, INSTALL THE LEVEL SPREADER AS SHOWN ON PLANS AND DETAILS, AND ROUTE ROOF LEADERS TO LEVEL SPREADER AS SHOWN ON PLANS.
 - FINISH GRADE ON PROPOSED PAVED AREAS AND INSTALL SUBBASE AND BASE COURSE.
 - COMPLETE INSTALLATION OF ASPHALT SURFACES AND CONCRETE AS PER SPECIFIED DETAILS AND STRIPE ACCORDING TO PLANS.
 - FINISH SITE GRADING AND LANDSCAPING. ONCE FINAL GRADE IS REACHED, SPREAD TOPSOIL, SEED, AND MULCH. DURING ESTABLISHMENT OF PERMANENT GROUND COVER RESEED AND RE-MULCH, ACCORDING TO THE SEEDING SCHEDULE ON THE PLANS, ANY AREAS THAT HAVE BECOME ERODED OR DO NOT PROPERLY ESTABLISH AS SHOWN ON THE PLANS.
 - UPON FINAL STABILIZATION (UNIFORM 70% PERENNIAL VEGETATIVE COVER OR PERMANENT ASPHALT COVER), REMOVE AND PROPERLY DISPOSE OF ALL SEDIMENT ACCUMULATED BEHIND COMPOST FILTER SOCKS AND INLET PROTECTION. REMOVE SITE E&S CONTROLS (ROCK ENTRANCE, CFS, AND INLET FILTER PROTECTION).

SEQUENCE FOR INDIVIDUAL BMP INSTALLATION

UNDERGROUND DETENTION SYSTEM

- INSTALL AND MAINTAIN PROPER EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
- INSTALL OUTLET PIPE AND PERMANENT OUTLET STRUCTURE WITH LEVEL SPREADER AS SHOWN ON DETAILS.
- EXCAVATE AND INSTALL GEOTEXILE LINER, STONE, AND PIPE STORAGE CHAMBERS AS SHOWN ON DETAILS.
- UPON FINAL STABILIZATION TEMPORARY EROSION CONTROLS MAY BE REMOVED AND NO SEDIMENT RUNOFF IS TO ENTER GRAVEL FILL OR PIPES DURING OR AFTER CONSTRUCTION OF SUBSURFACE BED.

SOIL LIMITATION RESOLUTIONS	
LIMITATION	RESOLUTION
OUTBANKS CAVE	CONDUCT TRENCHING OPERATIONS IN ACCORDANCE WITH OSHA TECHNICAL MANUAL FOR TRENCHING. STABILIZE BANKS IMMEDIATELY WITH SEED, MULCH, EROSION CONTROL MATS, BONDED FIBER MATRIX, OR A COMBINATION OF THESE AND/OR OTHER METHODS.
CORROSIVE TO CONCRETE OR STEEL	PROTECT CONCRETE AND STEEL WITH PROTECTIVE COATINGS, SELECT ALTERNATIVE MATERIALS IN LIEU OF CONCRETE OR STEEL, OR A COMBINATION OF THESE AND OR OTHER METHODS.
DROUGHTY	SELECT VEGETATIVE SPECIES TOLERANT TO DRY CONDITIONS, IRRIGATE VEGETATED AREAS, OR IMPLEMENT COMBINATIONS OF THESE AND/OR OTHER METHODS.
EASILY ERODIBLE	PROVIDE TEMPORARY OR PERMANENT CHANNEL LINING, DECREASE CHANNEL GRADE, INCREASE CHANNEL WIDTH, SELECT VEGETATION WITH A GREATER RETARDANCE, SELECT PERMANENT LININGS OTHER THAN GRASSES, OR IMPLEMENTING COMBINATIONS OF THESE AND/OR OTHER METHODS.
DEPTH TO SATURATED ZONE, SEASONAL HIGH WATER TABLE, WETNESS & HYDRIC SOILS	SELECT VEGETATIVE SPECIES TOLERANT TO WET CONDITIONS, TILE VEGETATED AREAS, OR IMPLEMENT COMBINATIONS OF THESE AND/OR OTHER METHODS. UTILIZE PUMPED WATER FILTER BAGS TO DEWATER DISTURBED ARES DURING CONSTRUCTION.
LOW STRENGTH \ LANDSLIDE PRONE	LOCATE ROADWAYS TO OTHER SOIL TYPES, IMPORT OTHER SOILS FOR THESE ROADWAY CONSTRUCTION, OR IMPLEMENT A COMBINATION OF THESE AND/OR OTHER METHODS. FOR CUT/FILL SLOPES, REDUCE SLOPE, INSTALL EROSION CONTROL MATTING, OR IMPLEMENT A COMBINATION OF THESE AND/OR OTHER METHODS.
SLOW PERCOLATION	LOCATE INFILTRATION FACILITIES TO ANOTHER SOIL TYPE, RESTRICT CONSTRUCTION TRAFFIC AT THOSE LOCATIONS, TILL SOIL IN THOSE LOCATIONS, ADD SOIL AMENDMENTS SUCH AS COMPOST AT THOSE LOCATIONS.
PIPING	IMPORT OTHER SOIL FOR EMBANKMENTS OF SEDIMENT BASINS, SEDIMENT TRAPS, STORM WATER RETENTION BASINS AND STORM WATER DETENTION BASINS, LOCATE THOSE FACILITIES ON OTHER SOIL TYPES, LIMIT EMBANKMENT SLOPE STEEPNESS, OR IMPLEMENT COMBINATIONS OF THESE AND/OR OTHER METHODS.
POOR SOURCE OF TOPSOIL	IDENTIFY AND RESOLVE CHARACTERISTICS THAT RENDER THE SOIL TYPES POORLY SUITED AS TOPSOIL. PERFORM SOIL TESTS TO DETERMINE THE REQUIRED SOIL AMENDMENTS AND APPLICATION RATES. IDENTIFY SOILS ON-SITE THAT ARE ADEQUATE SOURCES OF TOPSOIL AND STOCKPILE THESE FOR USE DURING RESTORATION.
FROST ACTION	IMPORT OTHER SOIL FOR EMBANKMENTS OF SEDIMENT BASINS, SEDIMENT TRAPS, STORM WATER RETENTION BASINS AND STORM WATER DETENTION BASINS, LOCATE THOSE FACILITIES ON OTHER SOIL TYPES, DO NOT CONSTRUCT EMBANKMENTS DURING PERIODS PRONE TO FROST, OR IMPLEMENT COMBINATIONS OF THESE AND/OR OTHER METHODS.
SHRINK-SWELL	LOCATE FACILITIES THAT MAY BE SUSCEPTIBLE TO DAMAGE FROM SHRINK OR SWELLING TO ANOTHER SOIL TYPE, IMPORT OTHER SOILS FOR THESE FACILITIES, OR IMPLEMENT COMBINATION OF THESE AND/OR OTHER METHODS.

SOIL LIMITATIONS														
SOIL NAME	OUTBANKS CAVE	CORROSIVE TO CONCRETE \ STEEL*	DROUGHTY	EASILY ERODIBLE	FLOODING	DEPTH TO SATURATED ZONE \ SEASONAL HIGH WATER TABLE	HYDRIC \ HYDRIC INCLUSIONS	LOW STRENGTH \ LANDSLIDE PRONE	SLOW PERCOLATION	PIPING	POOR SOURCE OF TOPSOIL	FROST ACTION	SHRINK-SWELL	POTENTIAL SINKHOLE
GRESHAM		X		X			X	X	X	X		X		X
TITUSVILLE	X	C/S		X		X	X	X	X	X		X	X	

SOILS LEGEND


GfB- GRESHAM SILT LOAM, 3 TO 8 PERCENT SLOPES
TdB- TITUSVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES

SOILS LIMITATION NOTES

- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.


PLAN BOOK	PAGE
425	42

SEEDING SCHEDULE									
APPLICATION	TOPSOIL PLACEMENT DEPTH	SPECIES - %	SEEDING APPLICATION RATE (LBS./AC.)	FERTILIZER TYPE	FERTILIZER APPLICATION RATE (LBS./AC.)	LIMING RATE (TONS/AC.)	MULCH TYPE	MULCHING RATE (TONS/AC.)	SEEDING DATES
TEMPORARY	N/A	ANNUAL RYEGRASS - 100	30	40-40-40	120	1	STRAW	3	N/A
MAINTAINED LAWN	6" ±1"	MARRAKECH TALL FESCUE - 35 PATAGONIA TALL FESCUE - 35 DOMINATOR PERENNIAL RYEGRASS - 20 KENTUCKY BLUEGRASS - 10	250	10-20-20	500	4	STRAW	3	3/1 TO 6/1 & 8/1 TO 10/15



HERBERT. ROWLAND & GRUBIC, INC.
220 WEST KENSINGER DRIVE
SUITE 100
CRANBERRY TOWNSHIP, PA 16066
724.779.4777 | hrg-inc.com

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS
FOR
SLIPPERY ROCK #3 DOLLAR GENERAL
PTV 1416, LLC
400 PENN CENTER BOULEVARD, BUILDING 4, SUITE 1000
PITTSBURGH, PA 15205
SLIPPERY ROCK BUTLER COUNTY PENNSYLVANIA

PROFESSIONAL SEAL:


HRG PROJECT NUMBER: R008385.0463
PLAN DATE: SEPTEMBER 2024
DRAWING SCALE: AS SHOWN
PROJ. MANAGER: CRAIG A. BISHOP

REVISIONS

NO.	DATE	DESCRIPTION
1	2024.11.20	REVISED PER TOWNSHIP COMMENTS
2	2025.01.20	REVISED GRADING AND INLET
3	2025.01.27	REVISED SANITARY AND WATERLINE
4	2025.02.05	LAND DEVELOPMENT PLANS FOR RECORDING
5		
6		
7		
8		
9		

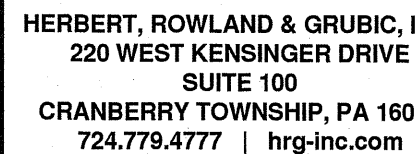
SHEET TITLE:
PCSM NOTES

SHEET:
PCNT-1

17

DATE: 11/20/2024
BY: CRAIG A. BISHOP
CHECKED: [Signature]
DATE: 11/20/2024
BY: [Signature]

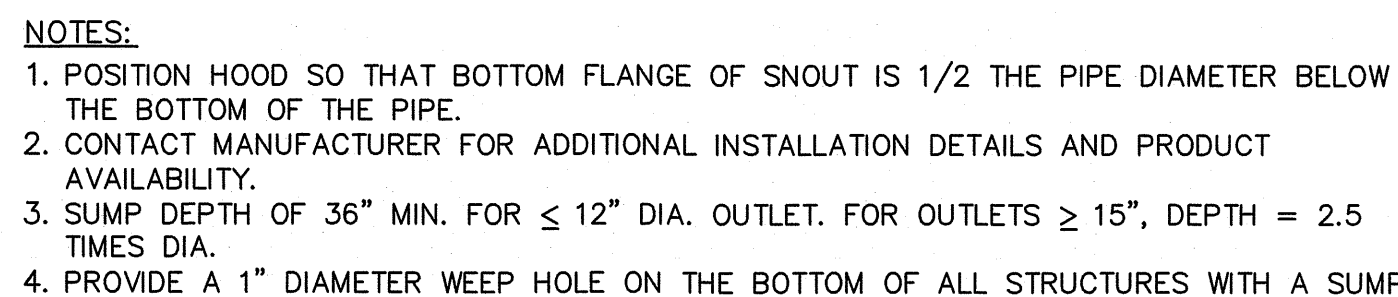
DATE: 11/20/2024
BY: CRAIG A. BISHOP
CHECKED: [Signature]
DATE: 11/20/2024
BY: [Signature]



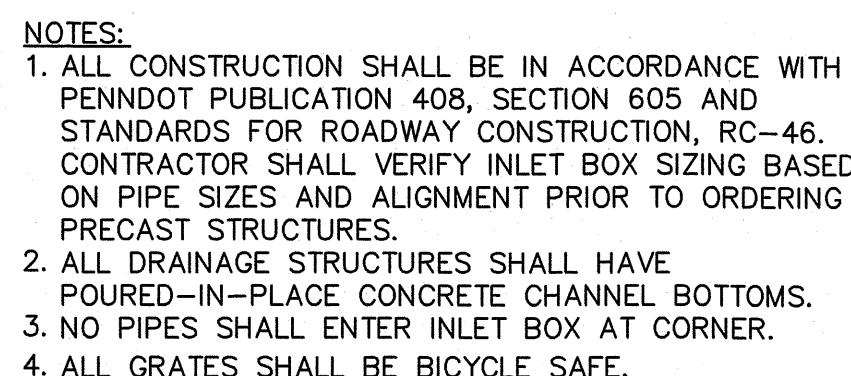
SLIPPERY ROCK #3 DOLLAR GENERAL

PTV 1416, LLC
400 PENN CENTER BOULEVARD, BUILDING 4, SUITE 1000
PITTSBURGH, PA 15235

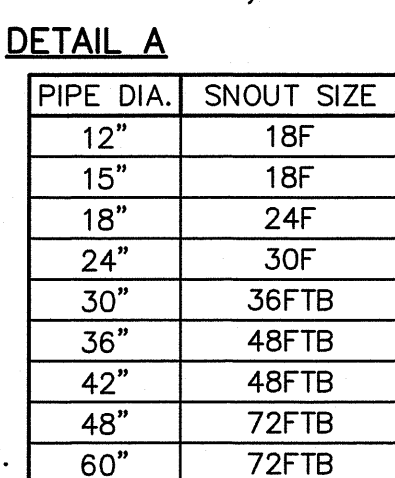
SLIPPERY ROCK BUTLER COUNTY PENNSYLVANIA



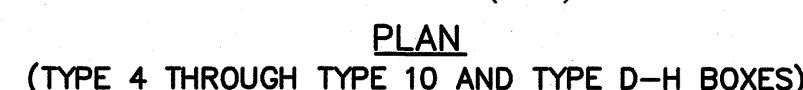
NOT TO SCALE



NOT TO SCALE



NOT TO SCALE

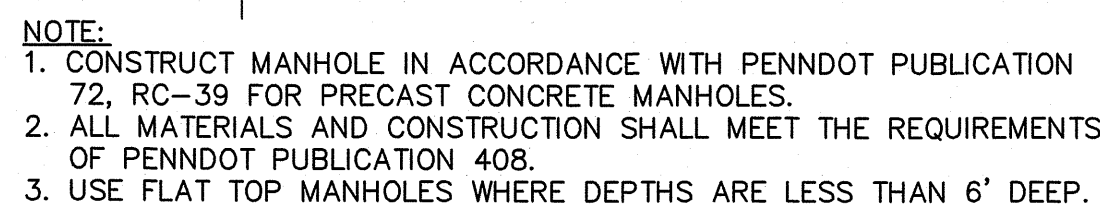


- ① OUTSIDE DIAMETER OF PIPE TO PIPE OPENING
- ② REDUCTION IN WALL THICKNESS DIMENSION
- ③ INSIDE FACE OF BOX WALL TO OUTSIDE DIAMETER OF PIPE OPENING

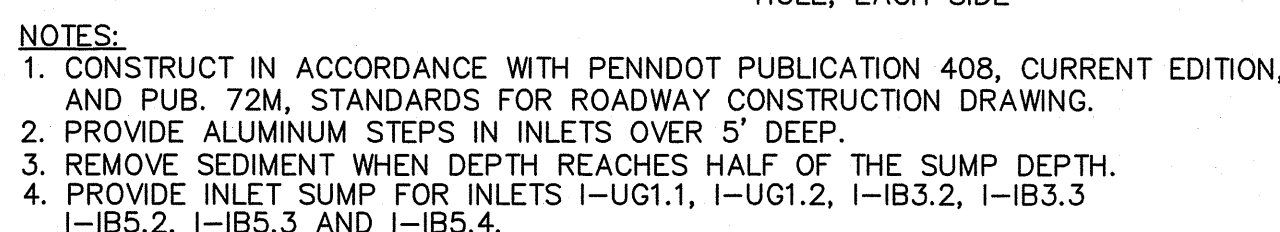
BOX TYPE	INSIDE BOX DIMENSIONS		WALL THICKNESS T	PIPE OPENING A' OUTSIDE FACE	
	W	L		X	Y
STANDARD	2'-0"	3'-9 1/4"	6"	47 1/2"	26"

1. CONSTRUCT INLET BOXES IN ACCORDANCE WITH THE REQUIREMENTS OF PADOT PUB. 408, SECTION 714 AND PUB. 72M, RC-43M.
2. PERMIT ONLY PRECAST INLET BOXES SUPPLIED BY A MANUFACTURER LISTED IN PADOT BULLETIN 15. USE CLASS AA CEMENT CONCRETE FOR PRECAST BOXES.
3. SEE PADOT PUB 72M, RC-43M FOR CONCRETE TOP UNITS, TRANSITION SLABS, RISER SECTIONS AND GRADE ADJUSTMENT DEVICES.
4. PROVIDE 2" DIAMETER WEEPHOLES IN THE WALLS WHEN THE DEPTH BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF THE SLAB ELEVATION IS GREATER THAN (10'-0").
 - VERTICAL PLACEMENT: 5'-0" MAXIMUM SPACING
 - HORIZONTAL PLACEMENT: PLACE WEEPHOLES IN THE SIDE WALLS THAT ARE PERPENDICULAR TO TRAFFIC.
 - LOCATE WEEPHOLES A MINIMUM OF 6" FROM PIPE OPENING OR JOINTS.
 - LOCATE WEEPHOLES A MINIMUM OF 1'-0" ABOVE OUTLET PIPE INVERT.
5. LOCATE PIPE OR PIPES AS INDICATED, WITH THE INLET BOTTOM SHAPED TO CHANNEL THE FLOW OF WATER TO THE OUTLET PIPE. WHEN PROJECT CONDITIONS REQUIRE PIPE BLOCKOUTS TO BE FORMED WITHIN 4" FROM THE TOP OF THE INLET BOX, PROVIDE AN ADDITIONAL #3 REINFORCEMENT BAR LOCATED 1 5/8" FROM THE TOP OF THE INLET BASE, FULL WIDTH ALONG THE INLET FACE. REMOVE ANY VISIBLE PORTION OF THE BAR, IF REQUIRED DURING INSTALLATION AND PRIOR TO JOINING THE PIPE TO THE INLET. IF REINFORCED CONCRETE PIPE IS USED, THE PIPE BLOCKOUT MAY BE FORMED 'FLUSH' WITH THE INLET BASE. LIMIT PIPE BLOCKOUT OF WALL TO 1".
6. PLACE SUBBASE MATERIAL MEETING THE REQUIREMENTS OF PADOT PUB. 408, SECTION 350.2, TO A DEPTH OF 12", IN LAYERS 4" THICK, COMPACTED TO A DENSITY SATISFACTORY TO THE ENGINEER.
7. PROVIDE SUITABLE LIFTING DEVICES FOR HANDLING AND INSTALLATION. GALVANIZE METAL DEVICES AS SPECIFIED IN PADOT PUB. 408 SECTION 1105.
8. PROVIDE MANHOLE STEPS WHEN THE DEPTH BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF THE BOTTOM SLAB ELEVATION IS GREATER THAN 5'-0". SHALLOW RECESSES, ON THE INSIDE FACE OF THE INLET, NOT GREATER THAN 3/8" IN DEPTH, FORMED BY MAGNETIC STEP FORMERS ARE ACCEPTABLE AND DO NOT REQUIRE PATCHING. FOR DETAILS, REFER TO RC-39M.

NOT TO SCALE



NOT TO SCALE



PLAN DATE:	SEPTEMBER 2024
------------	----------------

DRAWING SCALE: AS SHOWN

PROJECT MANAGER:	CRAIG A. BISHOP
------------------	-----------------

PROG. MANAGER:		CRAIG A. BISHOP	

REVISIONS		
NO.	DATE	DESCRIPTION
1	2024.11.20	REVISED PER TOWNSHIP COMMENTS
2	2025.01.20	REVISED GRADING AND INLET
3	2025.01.27	REVISED SANITARY AND WATERLINE
4	2025.02.05	LAND DEVELOPMENT PLANS FOR RECORDING
5		
6		
7		
8		
9		

SHEET TITLE		

SHEET: **PCDT-1**

18

PLAN BOOK	PAGE
425	43



- UNDERGROUND DETENTION BMP ID: 2**

NOT TO SCALE



- ## UNDERGROUND DETENTION 1

NOT TO SCALE



UNDERGROUND DETENTION (BMP ID: 1)

NOT TO SCALE



NOT TO SCALE

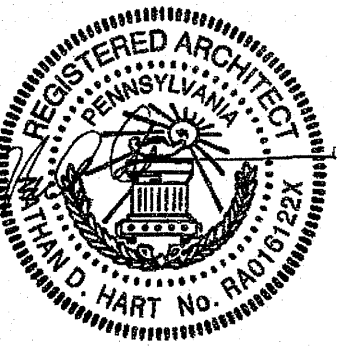


- ### UNDERGROUND DETENTION (OS-1) OUTLET STRUCTURE

NOT TO SCALE



PLAN BOOK	PAGE
425	44



Dollar General
Store # 31173
664 Centerville Pike
Slippery Rock, PA 16057

Revisions

Date
10.30.2024

Client

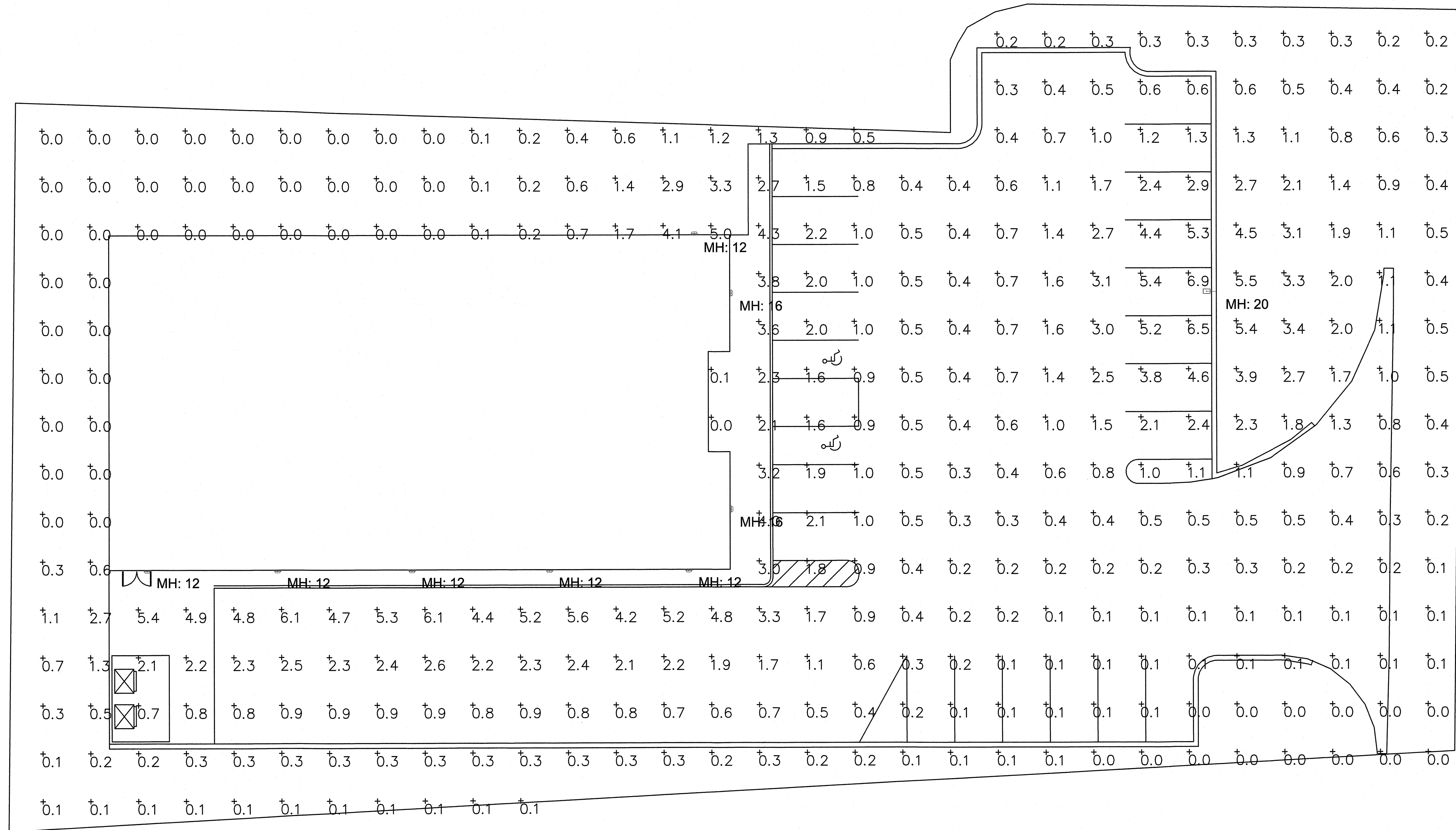
PennTex Ventures

Project No.
2410.031

Drawing Title
Site Lighting

Sheet

PH1.1



1 Photometric Site Plan
NTS

Calculation Summary @ GRADE - Calculation Points = 10'x10'						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Ground 1 Planar	Fc	1.09	6.9	0.0	N.A.	N.A.

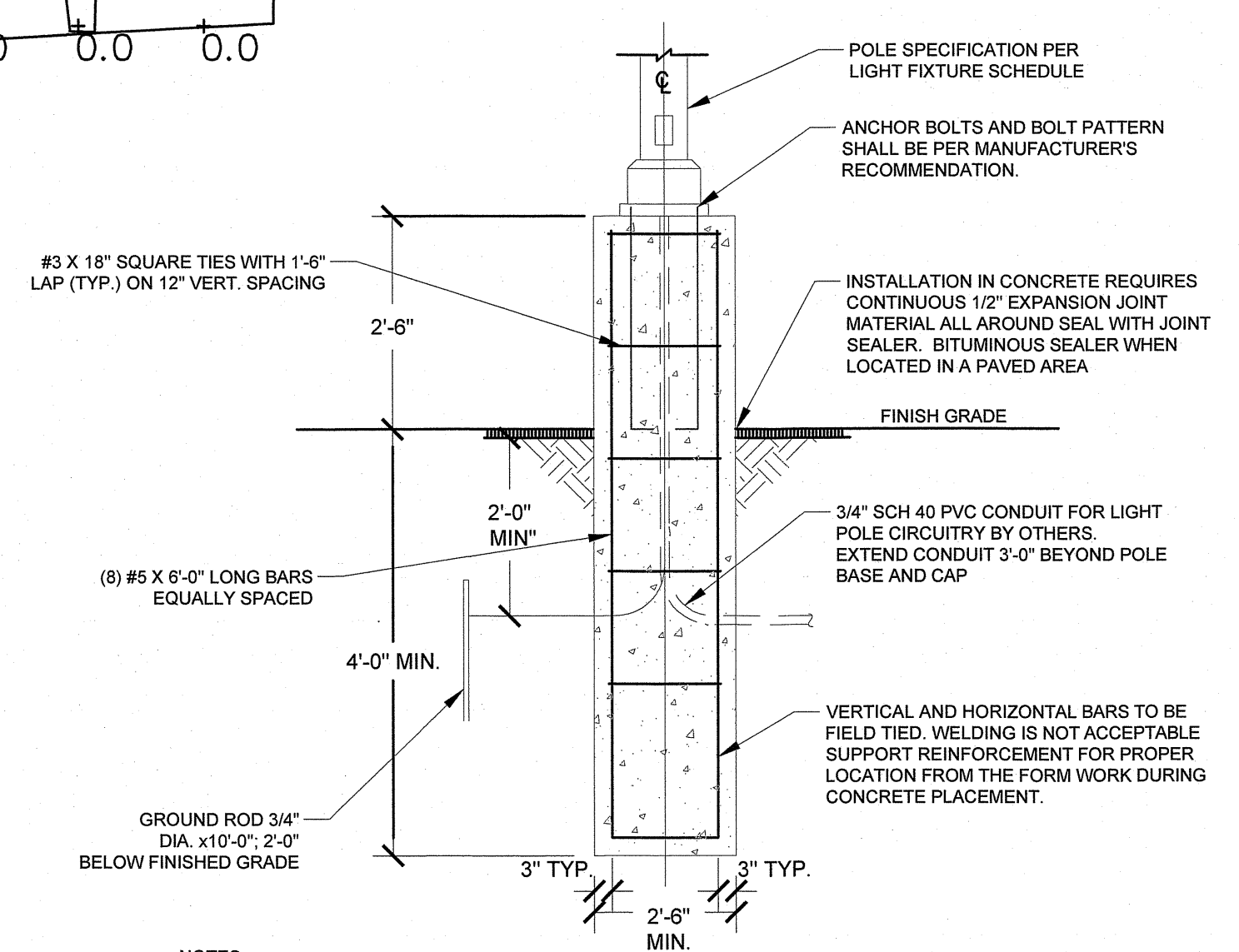
Luminaire Schedule										
Symbol	Qty	Label	Description	Arrangement	LLF	Lum. Watts	Total Watts	Lum. Lumens	MH	
⌘	8	WPR3-UNVL-30-4-50-BZ	Wall Pack 37.1W 4701 Lumens 5000K Bronze	SINGLE	0.963	30	240	4616	12'/16'	
⌘	1	RCALR-15-50-UNVL-1-5-10SP-Z5	Pole Single RCAL 147W 19456 Lumens 5000K Bronze	SINGLE	0.963	147.5	147.5	19456	20'	

PLAN NOTES:

- * CALCULATIONS AT GRADE LEVEL.
- * REFER TO LUMINAIRE LOCATION SUMMARY FOR MOUNTING HEIGHT OF WALL FIXTURES.
- * POLE MOUNTED FIXTURES ON 16' POLE AND 2' BASE FOR AN OAH OF 18' AFF.

GENERAL NOTES:

- * DUE TO CHANGING LIGHTING ORDINANCES IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT THE SITE PHOTOMETRICS AND LUMINAIRE SPECS TO THE LOCAL INSPECTOR BEFORE ORDERING TO ENSURE THIS PLAN COMPLIES WITH LOCAL LIGHTING ORDINANCES.
- * THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. CHANGES IN ELECTRICAL SUPPLY, AREA GEOMETRY AND OBJECTS WITHIN THE LIGHTED AREA MAY PRODUCE ILLUMINATION VALUES DIFFERENT FROM THE PREDICTED RESULTS SHOWN ON THIS LAYOUT.
- * THIS LAYOUT IS BASED ON .IES FILES THAT WERE LAB TESTED OR COMPUTER GENERATED, ACTUAL RESULTS MAY VARY.
- * STREETLIGHTS SHALL BE AUTOMATICALLY LIGHTED FROM DUSK TO DAWN.



NOTES:

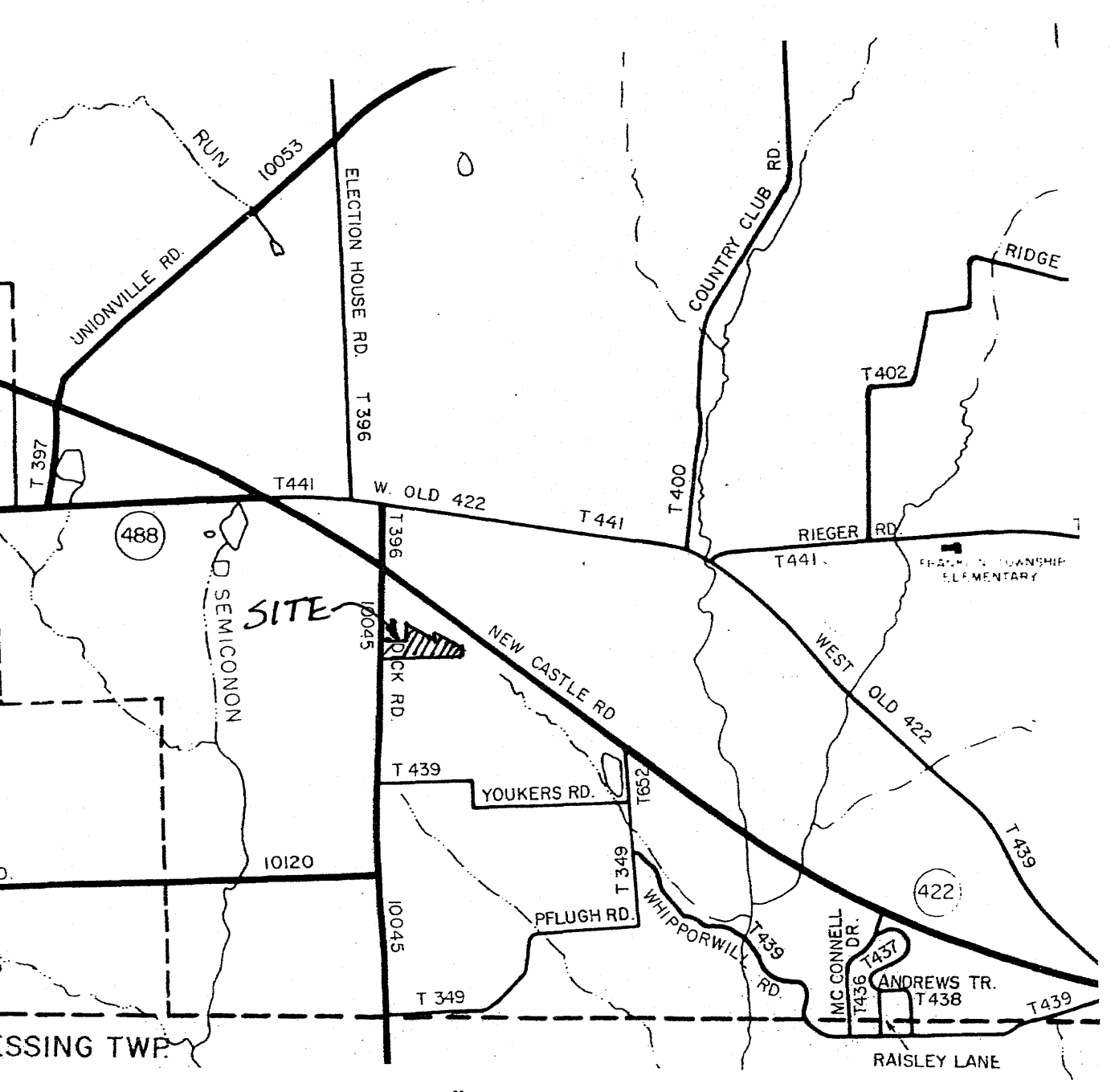
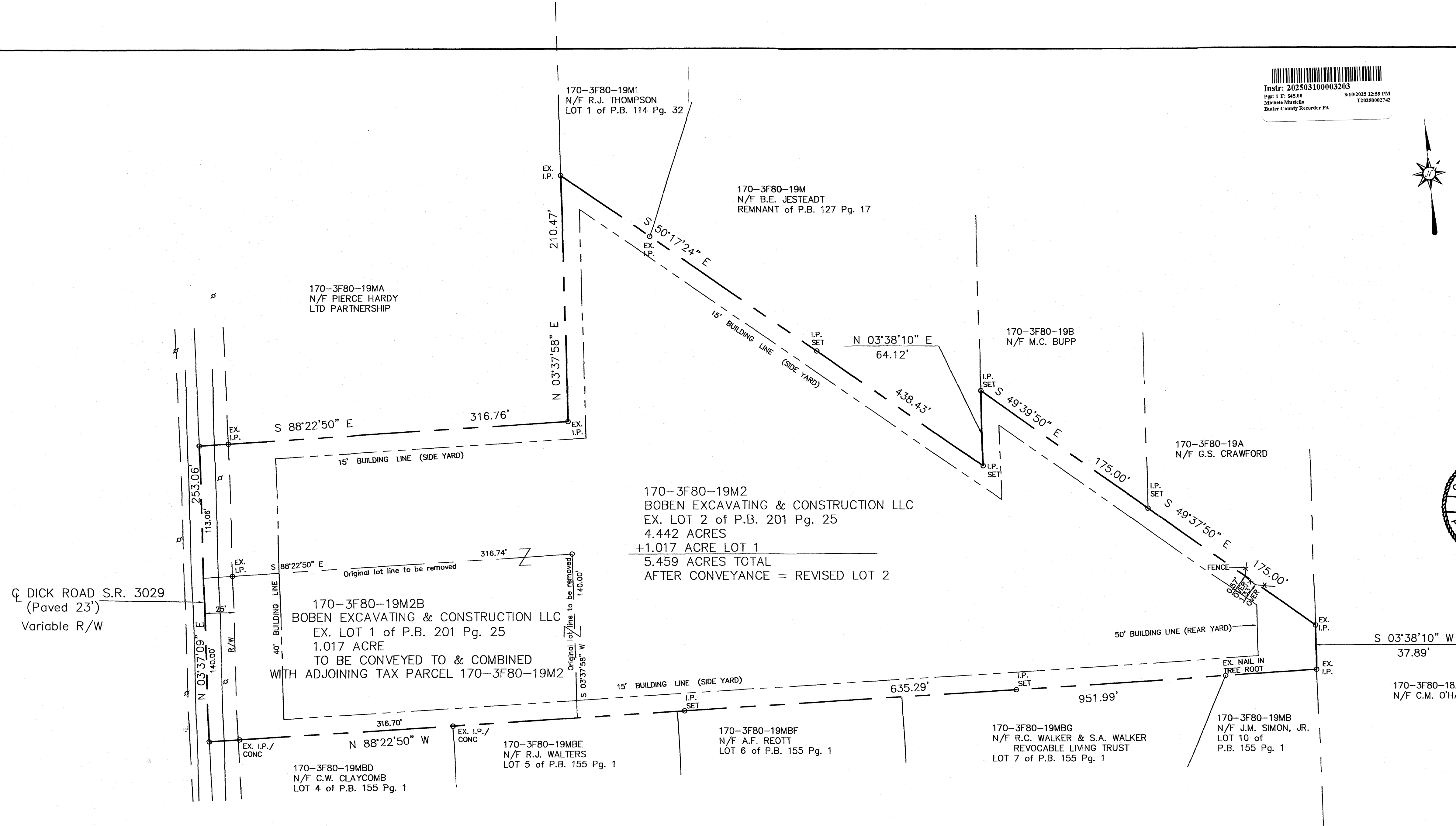
- 3500 PSI MIN 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
- EXPOSED CONCRETE AND GROUT SHALL BE PAINTED. COLOR AND PAINT TYPE IS TO BE SELECTED BY OWNER.
- ALL DIMENSIONS TO MATCH EXISTING POLE BASES, BUT SHALL NOT BE LESS THAN MINIMUM DIMENSIONS SHOWN.

2 Site Lighting Pole Base Detail
NTS

PLAN BOOK
425

PAGE
45

Instr: 20250310003203
Pg. 1 of 148.00
3/10/2025 12:59 PM
Michele Mustello
Butler County Recorder PA



NOTES:

SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.

REF: PLAN OF SUBDIVISION FOR DONALD L. GUIHER, FRED R. GUIHER, & THOMAS R. GUIHER trading as MAPLE LANE FARMS BY ZARNICK & SEYBERT, INC., #86-220, P.B. 114 PG. 32.

REF: PLAN OF SUBDIVISION FOR DONALD L. GUIHER, FRED R. GUIHER & THOMAS R. GUIHER trading as MAPLE LANE FARMS BY ZARNICK & SEYBERT, INC., #87-187, P.B. 127 PG. 17.

REF: ROSENBAUER/DOUTHETT PLAN, P.B. 201 PG. 25.

A HIGHWAY OCCUPANCY PERMIT IS REQUIRED FOR ACCESS ONTO A STATE HIGHWAY PURSUANT TO SECTION 420 OF PA STATE HIGHWAY LAW.

ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREA OF MINIMAL FLOOD HAZARD DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

PROPERTY OWNER: ERIC BOBEN
BOBEN EXCAVATING & CONSTRUCTION LLC
115 DELU ROAD
WEST SUNBURY, PA 16061

BALANCED AND CLOSED TRACT BOUNDARIES WERE DETERMINED BY FIELD SURVEY FOR THIS PLAN.

BULK AND AREA REGULATIONS
C-1 ZONING DISTRICT

LOT SIZE (MIN.)	20,000 S.F. w/SEWER
	43,560 S.F. wo/SEWER
LOT WIDTH (MIN.)	100'
HEIGHT (MAX.)	60'
FRONT SETBACK (MIN.)	40'
SIDE SETBACK (MIN.)	15'
REAR SETBACK (MIN.)	50'
LOT COVERAGE (MAX.)	50%

I, Eric Boben, Managing Member, of Boben Excavating and Construction LLC, owner of the land shown on the Plan of Subdivision for Boben Excavating and Construction LLC, hereby adopt this plan as my Plan of Lots and Irrevocably dedicate all streets and other property identified for dedication on the plan to the public. Any future acceptance of said public streets or property by the Commonwealth of Pennsylvania, County of Butler and Township of Franklin, I hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Franklin, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public streets or property and the physical grading thereof to any grades that may be established. This adoption and dedication shall be binding upon Eric Boben, Managing Member, of Boben Excavating and Construction LLC, my heirs, executors, and assigns.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 25 day of February, 2025

ATTEST:

ERIC BOBEN, MANAGING MEMBER

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER

This record was acknowledged before me 25 February, 2025 by Eric Boben, Managing Member of Boben Excavating and Construction LLC, who represent that he is authorized to act on behalf of whom the record was executed.

WITNESS MY HAND AND NOTARIAL SEAL this 25 day of February, 2025

My Commission expires the 06 day of MARCH, 2028

SEAL

NOTARY PUBLIC

I certify that, to the best of my knowledge, that the survey and plan shown hereon correctly represents the lots, lands streets and highways as surveyed and plotted by me.
January 29, 2025 SEAL
CHERYL A. HUGHES, P.L.S., REG. NO. SU-32490-E

The Board of Supervisors of the Township of Franklin hereby gives public notice that in approving this plan for recording purposes only, the Township of Franklin assumes no obligations, legal or otherwise, to accept all streets and other property identified for dedication on the plan.

Approved by the Board of Supervisors of the Township of Franklin by Resolution No. 25-02, effective this 17th day of February, 2025

CHAIRPERSON, BOARD OF SUPERVISORS

Reviewed by the Planning Commission of the Township of Franklin this 11th day of February, 2025

CHAIRPERSON, PLANNING COMMISSION

APPROVED MODIFICATIONS:
On 20, a modification was granted by the Franklin Township Board of Supervisors to Ordinance Article Section Subsection to allow not to provide contours.

On 20, a modification was granted by the Franklin Township Board of Supervisors to Ordinance Article Section Subsection to not delineate wetlands.

Reviewed by the Butler County Planning Commission this 15th day of January, 2025

CHAIRPERSON, BUTLER COUNTY PLANNING COMMISSION

COMMONWEALTH OF PENNSYLVANIA)SS:
COUNTY OF BUTLER

Recorded in the Recorder's Office for the recording of deeds, plans, etc. in said County in Plan Book Volume 425 page 46

Given under my hand and seal this 10th day of MARCH, 2025

SEAL
RECORDER

MICHELE M. MUSTELLO
RECORDER OF DEEDS

My Commission Expires First Monday in January 2028

REVISED 01/29/25 ENGINEER'S REVIEW

L S J	Land Surveyors, Inc. 523 North Main Street P.O. Box 1061 Butler, PA 16003-1061 (724) 287-6865 Cheryl A. Hughes, PLS Owner		
LOT CONSOLIDATION			
FOR: BOBEN EXCAVATING & CONSTRUCTION LLC			
SITUATE: FRANKLIN TWP., BUTLER CO., PA			
Date 12/27/24	Scale 1" = 50'	Dwn By BEC	Ckd By CAH
Parcel # 170-3F80-19M2 & 19M2B	Instrument#	Service No.	
Address DICK ROAD	202412107018897	24-133	

PLAN BOOK	PAGE
425	46



PLAN BOOK	PAGE
425	47

ZONNG C-2:
SETBACK REQUIREMENTS:
35' FRONT YARD
10' SIDE YARD
20' REAR YARD

