

BY RESOLUTION APPROVED ON THE 6th DAY OF MAY, 2024, THE BOARD OF DIRECTORS OF NVR, INCORPORATED IN THE COMMONWEALTH OF PENNSYLVANIA, OWNER OF THE LAND SHOWN ON THE PARK PLACE AMENDMENT NO. 62 PLAN ADOPTED THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATED ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION TO THE PUBLIC. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE CORPORATION AND UPON ITS SUCCESSORS AND ASSIGNS.

[Signature] NVR, INC. SIGNATURE AND TITLE OF OFFICER WITNESSING
[Signature] - VP SIGNATURE AND TITLE OF AUTHORIZED OFFICER
 5/6/24 DATE

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF ALLEGHENY, PERSONALLY APPEARED Pete Robertson, VP OF NVR, INC. WHO STATED THAT HE IS AUTHORIZED TO EXECUTE THE ABOVE ADOPTION AND DEDICATION ON BEHALF OF THE CORPORATION AND WAS PRESENT AT THE MEETING AT WHICH THE ACTION OF THE CORPORATION WAS TAKEN TO ADOPT THE PLAN AND DEDICATE PUBLIC PROPERTY CONTAINED THEREIN TO THE PUBLIC.

WITNESS MY HAND AND NOTARIAL SEAL THIS 6 DAY OF May, 2024
 (SEAL) [Signature] NOTARY PUBLIC
 Commonwealth of Pennsylvania - Notary Seal
 Jennifer Lyn Spurdute, Notary Public
 Butler County
 My commission expires October 14, 2027
 Commission number 1358573
 Member, Pennsylvania Association of Notaries

I, Pete Robertson, VP of NVR HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE PARK PLACE AMENDMENT NO. 62 IS IN THE NAME OF NVR, INC. AND IS RECORDED AT INSTRUMENT NO. 202402210002283. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.
[Signature] SIGNATURE OF WITNESS
[Signature] - VP SIGNATURE AND TITLE OF AUTHORIZED OFFICER

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.
5-1-2024 DATE
[Signature] JAMES A. SPERDUTE, R.S. # 24457-E

I, Michael C. Malak A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER OF THE TOWNSHIP OF CRANBERRY, DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAN MEETS ALL ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.
5/14/24 DATE
[Signature] SIGNATURE
 REGISTRATION NO. PE-073220

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY BY [Signature] RESOLUTION NO. 2024-32 EFFECTIVE THIS 2nd DAY OF May, 2024

[Signature] SECRETARY
[Signature] CHAIRPERSON
 I, [Signature] TOWNSHIP MANAGER FOR THE TOWNSHIP OF CRANBERRY CERTIFY THAT THE CONDITIONS FOR FINAL APPROVAL OUTLINED IN [Signature] RESOLUTION NO. 2024-32 HAVE BEEN MET IN ACCORDANCE WITH SECTION 22-305 AND 22-307 OF THE TOWNSHIP CODE OF ORDINANCES.
[Signature] TOWNSHIP MANAGER

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 17th DAY OF April, 2024
[Signature] SECRETARY
[Signature] CHAIRPERSON

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK 418 PAGE 2

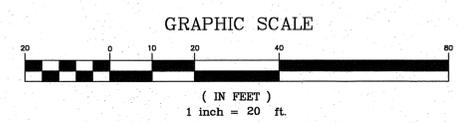
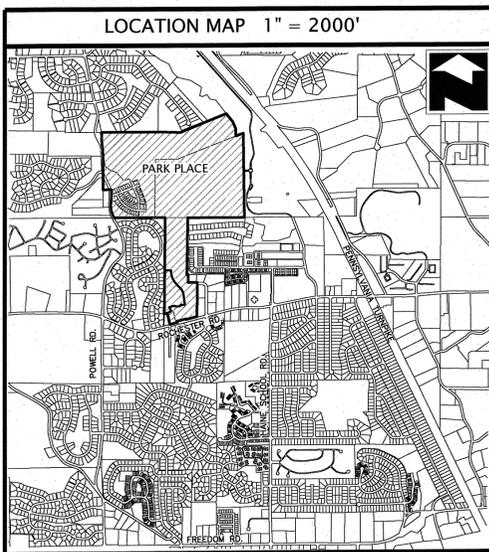
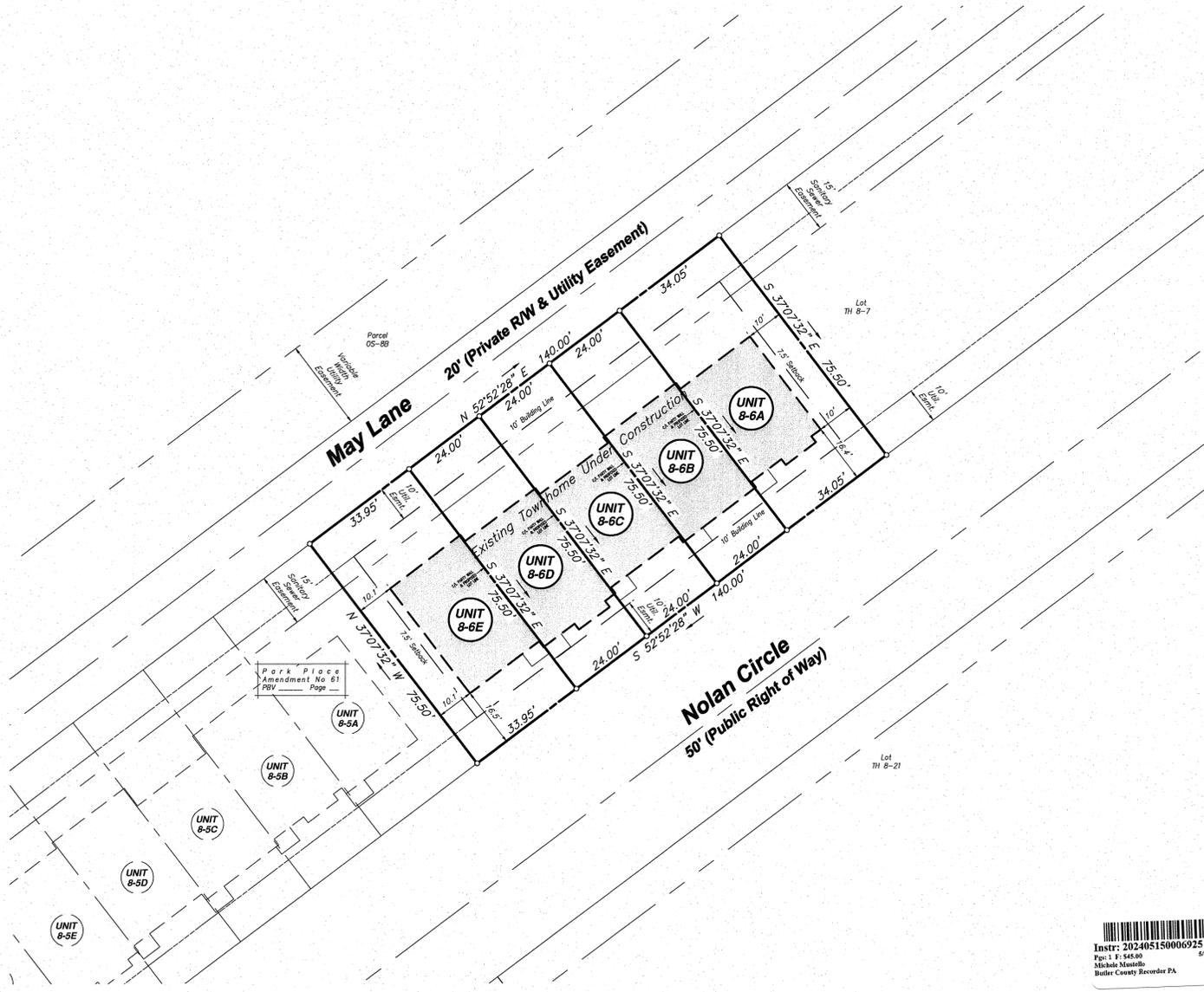
GIVEN UNDER MY HAND AND SEAL THIS 15th DAY OF May, 2024
[Signature] RECORDER OF DEEDS

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2028



Parcel Table - Original Lots		
Lot Number	Lot Area (Sq.Ft.)	Lot Area (Acres)
TH 8-6	10,570.016	0.243

Parcel Table - Proposed Lots/Units		
Unit Number	Lot Area (Sq.Ft.)	Lot Area (Acres)
8-6A	2,570.544	0.059
8-6B	1,812.002	0.042
8-6C	1,812.002	0.042
8-6D	1,812.002	0.042
8-6E	2,563.462	0.059



Instr: 202405150006925
 Page: 1 of 2
 Date: 5/15/2024 3:52 PM
 Michele Mustello
 Butler County Recorder PA

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GENERAL PLAN NOTES

- THIS PLAN IS A RE-SUBDIVISION OF PARCEL TH 8-6 OF THE PARK PLACE REVISED FINAL PHASE BA AS RECORDED IN PLAN BOOK 406, PAGES 622, 623, 624, 625, 626.
- THIS PLAN IS SUBJECT TO ANY AND ALL CONDITIONS OF THE PREVIOUSLY APPROVED AND RECORDED PLANS.
- IF APPLICABLE, BEARINGS LABELED AS (NR) ARE NON-RADIAL TO THE INTERSECTING RIGHT OF WAY LINE.

AFFECTED ZONING CLASSIFICATION: CCD-2
PROPOSED USE: CCD-2

- MINIMUM LOT SIZE PER PATTERN BOOK
- MINIMUM LOT WIDTH PER PATTERN BOOK
- MINIMUM FRONT SETBACK PER PATTERN BOOK
- MINIMUM REAR SETBACK PER PATTERN BOOK
- MINIMUM SIDE SETBACK PER PATTERN BOOK
- MAXIMUM BUILDING HEIGHT PER PATTERN BOOK

PROPERTY REFERENCES

LOT TH 8-6
 TAX PARCEL 130-546-B6
 INST# 202402210002283
 PARK PLACE REVISED FINAL PHASE BA
 PBV 404, PGS 1-2

DEVELOPER / PROPERTY OWNER:
NVR
 ONE PENN CENTER WEST, SUITE 220
 PITTSBURGH, PA 15276
 BUILT BY:
Ryan Homes

DRAWING NUMBER: 1004-2426330
DRAWING SCALE: 1" = 20'
DATE: March 19, 2024
DRAWN BY:
REVISIONS:

PARK PLACE AMENDMENT NO. 62

BEING A RE-SUBDIVISION OF PARCEL TH 8-6 OF THE PARK PLACE REVISED FINAL PHASE BA AND THE PARK PLACE REVISED FINAL BA RECORDED PLAN - REVISION 1 CRANBERRY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

Sperdute Land Surveying
 A Division of Sheffler & Company
 441 Mars-Valencia Rd, Suite 3C
 Valencia, PA 16059
 108 Deer Lane 17172 Mount Nebo Road
 Harmony, PA 16037 Sewickley, PA 15143
 Office Phone: 724-452-4362
 Email: Info@SperduteSurveying.com
 James A. Spurdute, RS # 24457-E

Instr: 20240515000926
 Page 1 of 44-89
 Michele Mustello
 Butler County Recorder PA
 5/15/2024 3:54 PM
 72824005636

We, Louis R. and Dorothy G. Birckbichler, the undersigned, hereby declare that we are the owners of the property shown on this final plan, that the final plan and the proposed subdivision or land development were made with the owner's consent, and that the owners desire the final plan to be recorded as such.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 9th day of May, 2024
 ATTEST:
Louis R. Birckbichler *Dorothy G. Birckbichler*
 OWNER OWNER

COMMONWEALTH OF PENNSYLVANIA)SS:
 COUNTY OF BUTLER
 Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Louis R. and Dorothy G. Birckbichler, who acknowledged the foregoing final plan of subdivision or land development to be their act and deed and desired the same to be recorded as such.
 Sworn to and subscribed before me this day, 9th day of May, 2024
 My Commission expires the 10th day of September, 2026
 SEAL
Cheryl A. Hughes
 NOTARY PUBLIC
 Commonwealth of Pennsylvania - Notary Seal
 Holly M. Pugh, Notary Public
 Butler County
 My Commission Expires September 6, 2026
 Commission Number 1427441

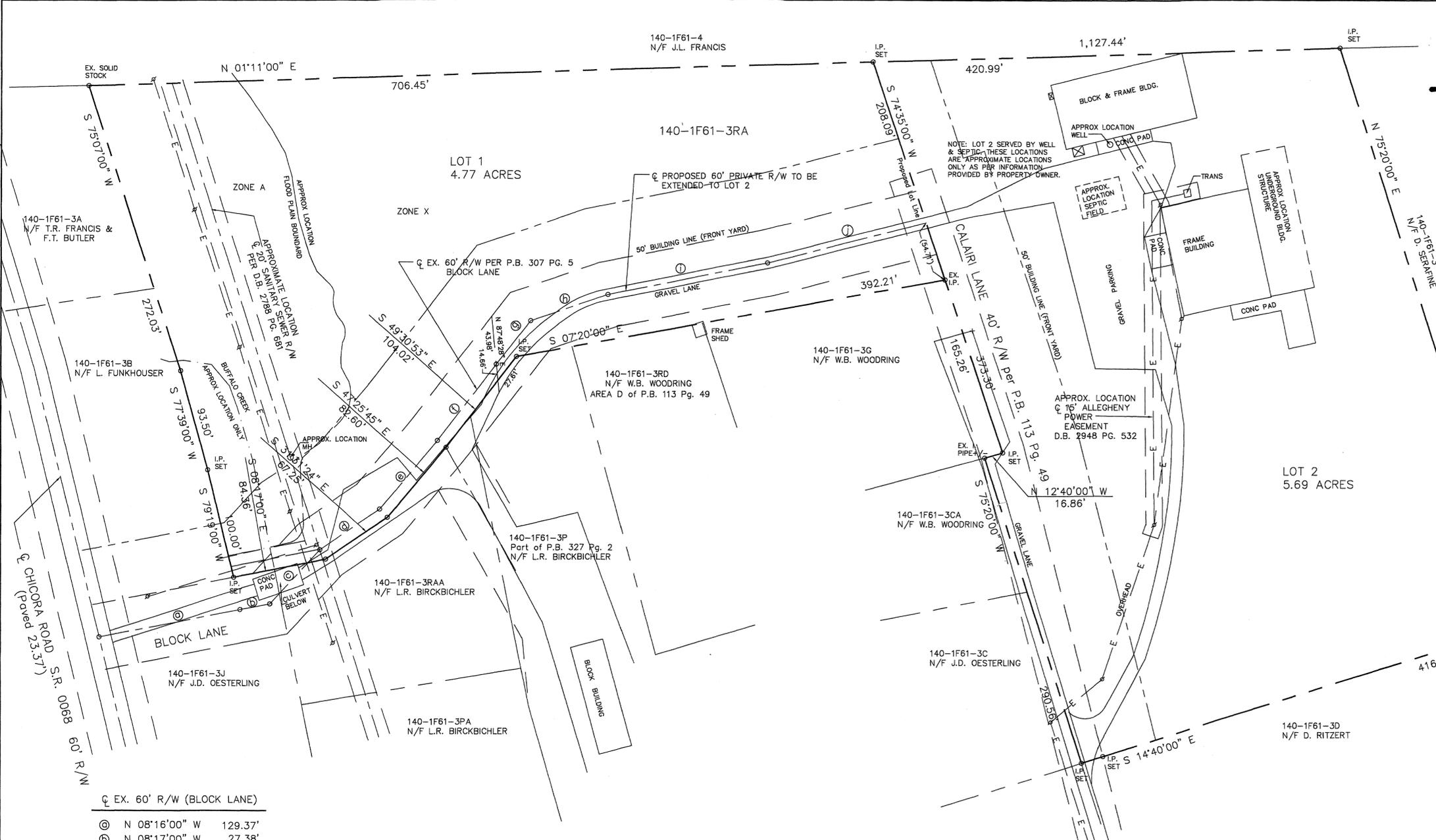
I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is true and correct to the standards of the Butler County Subdivision and Land Development Ordinance and that the survey and all angles, distances, and courses are accurately shown, that the monuments and markers as shown on the plat have been, or will be set, and to the best of my knowledge, that this plan correctly represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.
 DATE May 3, 2024 SEAL *Cheryl A. Hughes*
 REG. NO. SU-32480-E

Approved
 Reviewed by the Supervisors of the Township of Donegal this 13 day of May, 2024
Paul J. Stewart SEAL *Paul J. Stewart*
 SECRETARY CHAIRMAN/PRESIDENT

Reviewed
 Approved by the Butler County Planning Commission this 17th day of April, 2024
R. H. JRM SEAL *J. H. JRM*
 SECRETARY CHAIRMAN/PRESIDENT

See Comments on File at the Butler County Planning Commission
 Plan Number: 24085
 COMMONWEALTH OF PENNSYLVANIA)SS:
 COUNTY OF BUTLER
 Recorded in the office for the recording of deeds, plans, etc. in said County in Plan Book Volume 418 page 3
 Given under my hand and seal this 15th day of May, 2024
 SEAL *Michele M. Mustello*
 RECORDER

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday In January 2028



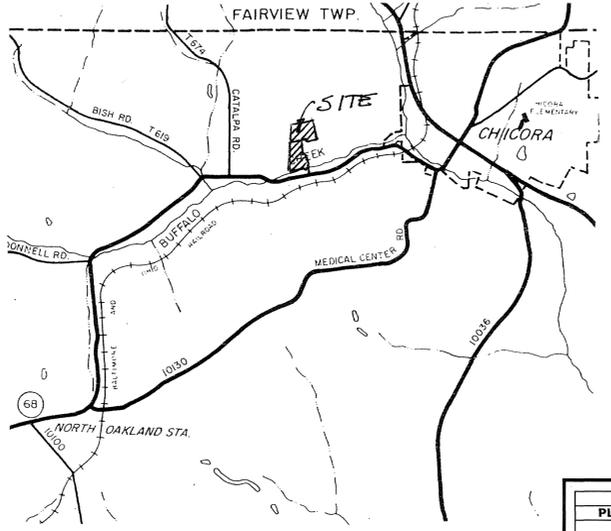
- EX. 60' R/W (BLOCK LANE)
- ⊙ N 08°16'00" W 129.37'
 - ⊙ N 08°17'00" W 27.38'
 - ⊙ N 44°38'04" W 66.51'
 - ⊙ N 31°31'24" W 65.26'
 - ⊙ N 47°25'45" W 81.03'
 - ⊙ N 49°30'53" W 86.95'

- PROPOSED 60' R/W EXTENDED
- ⊙ N 49°30'53" W 50.53"
 - ⊙ N 15°46'07" W 73.55"
 - ⊙ N 08°23'33" W 146.49'
 - ⊙ N 11°28'56" W 147.47'

RESOLUTION _____
 OWNER'S MAINTENANCE AGREEMENT
 The purchasers of lots by virtue of the recording of this plan for recording purposes only, the Township of Donegal assumes no obligation, legal or otherwise, expressed or implied either to accept said streets as Township streets or roads or grade, pave and curb streets in said plan, or to construct sewers therein or to install any other such services ordinarily installed Township streets or roads.
 Approved by the Supervisors of the Township of Donegal by Resolution, this ____ day of _____, 20____.

TOWNSHIP MAINTENANCE AGREEMENT
 The Board of Supervisors of the Township of Donegal, hereby give public notice that in approving this plan for recording purposes only, the Township of Donegal assumes no obligation, legal or otherwise, expressed or implied either to accept said streets as Township streets or roads or grade, pave and curb streets in said plan, or to construct sewers therein or to install any other such services ordinarily installed Township streets or roads.
 Approved by the Supervisors of the Township of Donegal by Resolution, this ____ day of _____, 20____.

 PRESIDENT/CHAIRMAN SECRETARY



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NOTES:
 SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.
 REF: BIRCKBICHLER LOT LINE REVISION, P.B. 327 PG. 2
 REF: SUBDIVISION FOR LOUIS BIRCKBICHLER, P.B. 307 PG. 5
 ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONES A & X:
 ZONE A: AREA OF SPECIAL FLOOD HAZARD SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. NO BASE FLOOD ELEVATIONS DETERMINED.
 ZONE X: AREA OF MINIMAL FLOOD HAZARD DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
 REF: BERTHA HEMPHILL PLAN #2, P.B. 113 PG. 49.
 ALL CONVEYANCES UNDER THIS PLAN ARE SUBJECT TO THE GRANTEE'S, THEIR HEIRS, SUCCESSORS AND ASSIGNS SHARING EQUALLY IN THE COSTS AND EXPENSES OF MAINTAINING ANY AND ALL EASEMENTS IN GOOD REPAIR. THE USE BY GRANTEE'S, THEIR HEIRS, SUCCESSORS AND ASSIGNS OF SAID EASEMENTS SHALL BE LIMITED TO INGRESS, EGRESS AND REGRESS AND NO USE SHALL BE EXPANDED OR MODIFIED WITHOUT PRIOR WRITTEN CONSENT OF ANY AND ALL SIGNATORY LANDOWNERS.
 LOT 1 HAS ACCESS TO PUBLIC SEWER.
 LOTS 2 HAS EXISTING WELL AND SEPTIC PER INFORMATION PROVIDED BY OWNER.

L J F	Land Surveyors, Inc. 523 North Main Street P.O. Box 1061 Butler, PA 16003-1061 (724) 287-6865 Cheryl A. Hughes, PLS Owner	
	MINOR SUBDIVISION FINAL PLAN FOR: LOUIS R. & DOROTHY G. BIRCKBICHLER SITUATE: DONEGAL TWP., BUTLER CO., PA	
Date 04/08/2024 Scale 1" = 50'	Dwn By BEC	Ckd By GAH
Parcel No. 140-1F61-3RA	Db-Pg 2448-101	Service No. 24-012
Address 110 BLOCK LANE	Inst. # 202404250005753	



EAST NORTH STREET (Paved 40.16') 60' R/W

Instrument: 202405150006927
 Page 1 of 1: 545.80
 Michele Mustello
 Butler County Recorder PA
 815.282.4.482 FAX
 230.900.9537

KNOW ALL MEN BY THESE PRESENTS, That we, Butler County Tourism and Convention Bureau, of the City of Butler, of the County of Butler, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this plan as our Plan of Lots of our property, situate in City of Butler, Butler County, Pennsylvania, and for divers advantages accruing to me, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler, and City of Butler, we hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and City of Butler, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Butler County Tourism and Convention Bureau, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 7 day of May, 2024

ATTEST:
 Jeanette L. Edwards
 NOTARY PUBLIC
 PRESIDENT

COMMONWEALTH OF PENNSYLVANIA JSS:
 COUNTY OF BUTLER]
 Before me, the subscriber, Jean Cohen, President of the Notary Public in and for said Commonwealth and County, personally appeared the above named Butler County Tourism and Convention Bureau, and acknowledged the foregoing release and dedications and plan to be their act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day.
 WITNESS MY HAND AND NOTARIAL SEAL this 7 day of May, 2024
 My commission expires this 12 day of September, 2026

Seal of Notary Public: Jeanette L. Edwards, Notary Public, Butler County, My commission expires September 12, 2026, Commission number 1420267.

I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan correctly represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.

Cheryl A. Hughes
 LAND SURVEYOR
 SU-32490-E
 DATE: January 29, 2024
 SIGNATURE OF LAND SURVEYOR
 REGISTRATION NUMBER SU-32490-E

The City Council of the City of Butler hereby gives public notice that in approving this plan for recording purposes only, the City of Butler assumes no obligations, legal or otherwise, expressed or implied either to accept said streets as City streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in City streets or roads.

Robert D. Dady
 SEAL MAYOR

Approval by the City Council of the City of Butler this 26 day of March, 2024

Robert D. Dady
 SEAL MAYOR

Approved by the Butler City Planning Commission this 5th day of April, 2024

SECRETARY
 J. H. G. R. M.
 SEAL CHAIRMAN

Approved by the Butler County Planning Commission this 21st day of FEB, 2024

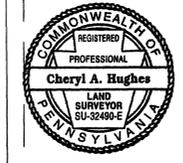
SECRETARY
 J. H. G. R. M.
 SEAL CHAIRMAN

COMMONWEALTH OF PENNSYLVANIA JSS:
 COUNTY OF BUTLER]
 Recorded in the Recorder's Office for the recording of deeds, plans, etc., in said County in Plan Book Volume 418 page 4

Given under my hand and seal this 15th day of May, 2024

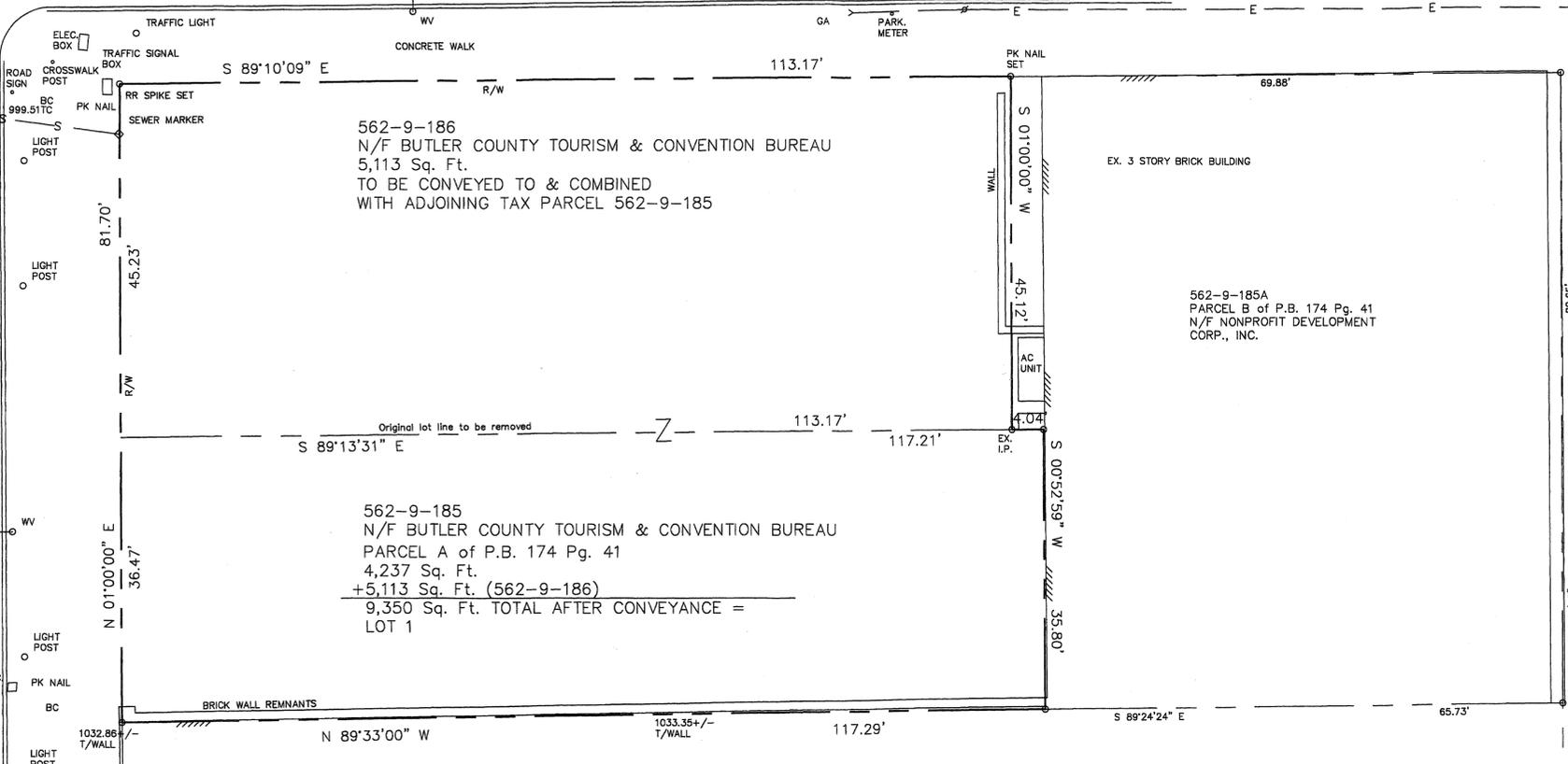
SEAL
 Michele M. Mustello
 RECORDER

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2028



NORTH CEDAR STREET (Paved 17.82') 20' R/W

NORTH MAIN STREET S.R. 0008 (Paved 49.85') 80' R/W



- LEGEND
- TC TOP OF CURB
 - BC BOTTOM OF CURB
 - MH MANHOLE
 - WV WATER VALVE
 - GA GUY ANCHOR
 - U UTILITY POLE

NOTES:

SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.

REF: PLAN OF SUBDIVISION FOR CHARLES J. & JEANNE L. SCHLICHT BY LAND SURVEYORS, INC., #94-142, P.B. 174 PG. 41.

UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATION AND SHOULD BE LOCATED IN ACCORDANCE WITH PA ONE CALL SERIAL #20233201065.

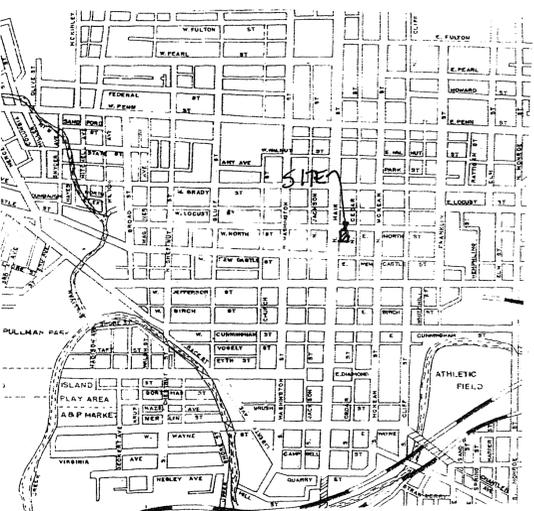
ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THE CITY, THIS PROPERTY DOES NOT LIE IN AN AREA OF SPECIAL FLOOD HAZARD.

PROPERTY OWNER: BUTLER COUNTY TOURISM & CONVENTION BUREAU
 310 E. GRANDVIEW AVENUE
 ZELIENOPLE, PA 16063

ZONED: C-2

BUILDING SETBACKS:
 20' FRONT
 20' SIDE
 20' REAR

THE PURPOSE OF THIS PLAN IS TO CONSOLIDATE TWO ADJOINING VACANT LOTS INTO ONE.



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L S J	Land Surveyors, Inc. 523 North Main Street P.O. Box 1061 Butler, PA 16003-1061 (724) 287-6865 Cheryl A. Hughes, PLS Owner
	LOT CONSOLIDATION FOR: BUTLER COUNTY TOURISM & CONVENTION BUREAU SITUATE: CITY OF BUTLER, BUTLER CO., PA Date 01/29/2024 Scale 1" = 10' Dwn By BEC Ckd By CAH Parcel No. 562-9-185 & 186 Instrument # Service No. Address 153, 155, 157, 161 N. MAIN ST. 20180110000650 23-127

VICINITY MAP

OWNERS ADOPTION

ROCHESTER ROAD INVESTMENT CO., OWNER OF THE LAND SHOWN ON THE MEEDER PLAN PHASE 8-R3, HEREBY ADOPTS THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO CRANBERRY TOWNSHIP...

IN WITNESS OF WHICH, TO THIS I SET MY HAND AND SEAL THIS 10th DAY OF May, 2024

ATTEST: ROCHESTER ROAD INVESTMENT CO.: Anthony J. Kline, AUTHORIZED SIGNATORY

ACKNOWLEDGMENT

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF LANCASTER, PERSONALLY APPEARED ANTHONY FARANDA-DI DRIDE, THE ABOVE NAMED AUTHORIZED SIGNATORY OF ROCHESTER ROAD INVESTMENT CO., AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE THE ACT OF THE CORPORATION.

WITNESS MY HAND AND NOTARIAL SEAL THIS 10th DAY OF May, 2024. MY COMMISSION EXPIRES THE 19th DAY OF April, 2028

Cynthia K. Lucci, NOTARY PUBLIC, Commonwealth of Pennsylvania - Notary Seal, My commission expires April 19, 2028

THE FOLLOWING SIGNATURE BLOCK CERTIFIES THAT THE TOWNSHIP ENGINEERS HAS REVIEWED THE STORMWATER MANAGEMENT PLAN.

I, [Signature], HAVE REVIEWED THIS STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF THE CRANBERRY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

MUNICIPAL DECLARATIONS

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY, HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF CRANBERRY HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

SECRETARY: [Signature], CHAIRMAN, BOARD OF SUPERVISORS: [Signature]

THE TOWNSHIP OF CRANBERRY AGREES NOT TO ISSUE BUILDING PERMITS UNTIL THE 'PLANNING MODULE FOR LAND DEVELOPMENT' HAS BEEN APPROVED IN ACCORDANCE WITH THE REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY BY RESOLUTION NO. 2024-31 ON THE 10th DAY OF May, 2024.

SECRETARY: [Signature], CHAIRMAN, BOARD OF SUPERVISORS: [Signature]

David B. Santoro, TOWNSHIP MANAGER FOR THE TOWNSHIP OF CRANBERRY, CERTIFY THAT THE CONDITIONS FOR FINAL APPROVAL OUTLINED IN RESOLUTION NO. 2024-31 HAVE BEEN MET IN ACCORDANCE WITH SECTIONS 22-305 AND 22-307 OF THE TOWNSHIP OF CRANBERRY CODE OF ORDINANCES.

Michael M. Mustello, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER FOR CRANBERRY TOWNSHIP, DO HEREBY CERTIFY THAT THIS LAND DEVELOPMENT PLAN MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP ORDINANCES EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE CRANBERRY TOWNSHIP BOARD OF SUPERVISORS.

DATE: 5/16/24, MICHELE M. MUSTELLO, TOWNSHIP ENGINEER, REG. NO. PE-873220

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 17th DAY OF APRIL, 2024.

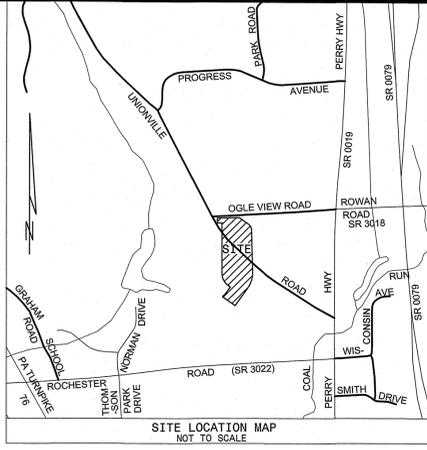
SECRETARY: [Signature], CHAIRMAN, BUTLER COUNTY PLANNING COMMISSION: [Signature]

PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 418, PAGE(S) 67, MAY 24

GIVEN UNDER MY HAND AND SEAL THIS 17th DAY OF May, 2024. MICHELE M. MUSTELLO, RECORDER OF DEEDS

MICHELE M. MUSTELLO, RECORDER OF DEEDS, My Commission Expires First Monday in January 2028



CERTIFICATION OF TITLE (NO MORTGAGE)

I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE MEEDER PLAN PHASE 8-R3 IS IN THE NAME OF ROCHESTER ROAD INVESTMENT CO., AND IS RECORDED IN INSTRUMENT NO. 202212290026106. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN, OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

ROCHESTER ROAD INVESTMENT COMPANY, OWNER: Anthony Faranda-Di Dride, AUTHORIZED SIGNATORY

I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE MEEDER PLAN PHASE 8-R3 IS IN THE NAME OF ROCHESTER ROAD INVESTMENT CO., AND IS RECORDED IN INSTRUMENT NO. 202306130006326. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN, OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

ROCHESTER ROAD INVESTMENT COMPANY, OWNER: Anthony Faranda-Di Dride, AUTHORIZED SIGNATORY

SURVEYOR'S CERTIFICATION

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

DATE: 5-14-24, PATRICK T. COOPER P.L.S., REG. NO. SU-040392-E

OWNER STORMWATER MANAGEMENT CERTIFICATION

IT SHALL BE UNLAWFUL TO ALTER OR REMOVE ANY PERMANENT STORMWATER BMP REQUIRED BY AN APPROVED STORMWATER MANAGEMENT PLAN OR ALLOW THE PROPERTY TO REMAIN IN A CONDITION WHICH DOES NOT CONFORM TO AN APPROVED STORMWATER MANAGEMENT PLAN, UNLESS THE TOWNSHIP GRANTS AN EXCEPTION IN WRITING.

DATE: 5-16-24, OWNER SIGNATURE: Anthony J. Kline

ENGINEERS STORMWATER MANAGEMENT CERTIFICATION

I, [Signature], HEREBY ACKNOWLEDGE THAT THE STORMWATER BMPs ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY THE TOWNSHIP.

DATE: [Signature], SIGNATURE: [Signature]

THE FOLLOWING SIGNATURE BLOCK CERTIFIES THAT A REGISTERED PROFESSIONAL HAS PREPARED THE STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH TOWNSHIP DESIGN STANDARDS.

I, [Signature], HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE CRANBERRY TOWNSHIP STORMWATER ORDINANCE.

DATE: [Signature], SIGNATURE: [Signature]

Plan & Elevation: C:\Subcheck\0607\0607_Cover\Town Center\0073 Phase 8-R3 Final\0607\0607_Sheet\Phase 8 and R-R3 Subdivision.dwg, Date: 05/16/2024, 6:59 AM, User: M. Mustello, Company: G.E.L.T., Save Path: C:\Subcheck\0607\0607_Cover\Town Center\0073 Phase 8 and R-R3 Subdivision.dwg



THE GATEWAY ENGINEERS, INC. RETAINS OWNERSHIP RIGHTS OF ALL DATA WITHIN THE PLANS. DATA CONTAINED WITHIN IS ONLY TO BE USED FOR ITS INTENDED PURPOSE BY ITS RESPONSIBLE PARTY. THE USE, REPLICATION, REPRODUCTION, OR REDISTRIBUTION OF DATA CONTAINED WITHIN IS STRICTLY PROHIBITED AND SUBJECT TO LEGAL ACTION.

GATEWAY ENGINEERS logo, The Gateway Engineers, Inc. Full-Service Civil Engineering & Surveying, 100 McMorris Road, Pittsburgh, PA 15205, www.GatewayEngineers.com 855-634-9284, MEEDER PLAN PHASE 8-R3, BEING A RE-SUBDIVISION OF LOTS 100 THROUGH 104 AND PARCEL J IN THE MEEDER PLAN PHASE 8 & 9-R2 AS RECORDED IN P.B.V 411, PGS. 1 THROUGH 12, CRANBERRY TOWNSHIP BUTLER COUNTY, PA, ROCHESTER ROAD INVESTMENT CO., Date: FEBRUARY 27, 2024, Job Number: C-18807-0073, Dwg No: 404.421, SHEET 1 OF 2

PLAN BOOK 418, PAGE 6

- NOTES: 1. ALL FRONT, SIDE, AND REAR YARD SETBACKS ARE LOCATED 6' FROM THE PROPERTY LINE UNLESS OTHERWISE NOTED ON PLANS. 2. THE SUBJECT PROPERTY LIES IN AREA ZONE X, AREA OF MINIMAL FLOOD-HAZARD AS DEPICTED ON FLOOD INSURANCE RATE MAP NUMBER 42019C05030, MAP REVISED AUGUST 2, 2018. 3. PUBLIC ACCESS IS HEREBY GRANTED OVER THE PRIVATE RIGHT OF WAYS ON THIS PLAN. 4. ALL STORM SEWERS ARE PRIVATE AND OWNED BY THE HOME OWNERS ASSOCIATION. 5. THE NEIGHBORHOOD ASSOCIATION WILL BE RETAIN OWNERSHIP AND BE RESPONSIBLE FOR MAINTENANCE OF THE FOLLOWING: A. ALL GRANITE CURB B. ALL PRIVATE STREETS AND ALLEYS C. ALL SIDEWALK AND PAVED AREAS WITHIN THE RIGHT-OF-WAY D. ALL PUBLIC APPURTENANCES SUCH AS STREET SIGNS, LIGHT POLES, GARBAGE CANS AND BENCHES E. ALL PEDESTRIAN FACILITIES NOT IN THE PUBLIC RIGHT OF WAY F. ALL STORM SEWERS G. ALL OPEN SPACE AREAS

Owners Adoption
(Corporation)

KNOW ALL MEN BY THESE PRESENTS: That THE BEREAN BIBLE CHAPEL OF BUTLER, by virtue of a resolution of its board of directors, does hereby adopt this as its Plan of Subdivision of its property situate in the Borough of Connoquenessing, County of Butler, Commonwealth of Pennsylvania, and for divers advantages accruing to it, does hereby dedicate forever, for public use for highway, drainage, sewage and utility purposes, all drives, roads, streets, lands, rights-of-way, easements, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan and any future acceptance of said public highways, rights-of-way and easements by the Borough of Connoquenessing, THE BEREAN BIBLE CHAPEL OF BUTLER hereby covenants and agrees to, and by these presents does release and forever discharge the Borough of Connoquenessing, its successors or assigns from any liability for damages arising and to arise from the appropriation of said ground for public highways and other public uses and the physical grading thereof to any grades that may be established. This dedication and release shall be binding upon THE BEREAN BIBLE CHAPEL OF BUTLER its successors and assigns and purchasers of lots in this plan. In witness whereof, the said corporation has caused its corporate seal to be affixed by the hand of its President and same to be attested by its Secretary, this 3 day of May, A.D., 2024.

Attest: [Signature] Secretary
(Name and Title of Officer)

The foregoing adoption and dedication is made by THE BEREAN BIBLE CHAPEL OF BUTLER with full understanding and agreement that the approval of the Borough Council of the Borough of Connoquenessing, if hereto attached, will become null and void unless this plan is recorded in the Recorder of Deeds office of Butler County, Court House, Butler, Pennsylvania, within 90 days of date of said approval.

THE BEREAN BIBLE CHAPEL OF BUTLER SEAL
(Name of Corporation)
Rev. A.S. Pepe SEAL
(Name and Title of Officer)
(ANDY PEPE - PRESIDENT BEREAN BIBLE CHAPEL OF BUTLER)

Corporation Acknowledgment

Commonwealth of Pennsylvania }
County of BUTLER } SS:
On this 3 day of MAY, A.D., 2024 before me, a notary public in and for said County and Commonwealth, personally appeared ANDY PEPE (Name)
PRESIDENT of THE BEREAN BIBLE CHAPEL OF BUTLER who being duly (Title of Officer)
sworn, deposes and says that he was personally present at the execution of the adoption, release and dedication and saw the common and corporate seal of the said corporation duly sign and sealed by and as for the act and deed of the said THE BEREAN BIBLE CHAPEL OF BUTLER for the uses and purposes therein (Name of Corporation)
mentioned, and that the name of this deponent subscribed to the said release and dedication as PRESIDENT of THE BEREAN BIBLE CHAPEL OF BUTLER (Title of Officer)
in attestation of the due execution and delivery of said release and dedication of this deponent's own and proper respective handwriting.
Rev. A.S. Pepe (SEAL)
(Name of Officer)
(PRESIDENT - BEREAN BIBLE CHAPEL OF BUTLER)
(Title of Officer)

Sworn to and subscribed before me the day and date above written.
Witness my hand and notarial seal this 3rd day of MAY, A.D., 2024.

My commission expires the 3rd day of MAY, A.D., 2024.
Linda J. Labas, Notary Public
Butler County
My commission expires September 2, 2026
Commission number: 1091033
Member, Pennsylvania Association of Notaries



Borough Planning Committee Recommendation

This plat of subdivision has been approved by the Planning Commission of the Borough of Connoquenessing, Butler County, Commonwealth of Pennsylvania on this 7th day of March, A.D. 2024.

Attest: [Signature] Secretary
[Signature] Chairman

Approval by Borough of Connoquenessing

The Borough Council of the Borough of Connoquenessing, Butler County, Pennsylvania, hereby gives public notice that it is approving this plan of subdivision for recording purposes only. The approval of this subdivision plat by the Borough of Connoquenessing does not constitute an acceptance of the roads, streets, alleys, stormwater and sanitary sewage drainage facilities, easements or rights-of-way, water mains or any other services or improvements shown on this plan nor an assumption of maintenance responsibility, nor will the same be accepted or maintained until constructed in accordance with all Borough specifications and requirements and officially accepted by action of the Borough Council.

This plat of subdivision approved by the Borough Council of the Borough of Connoquenessing, Butler County, Pennsylvania on this 2nd day of April, A.D. 2024.

Attest: [Signature] Secretary of Council
[Signature] President of Council



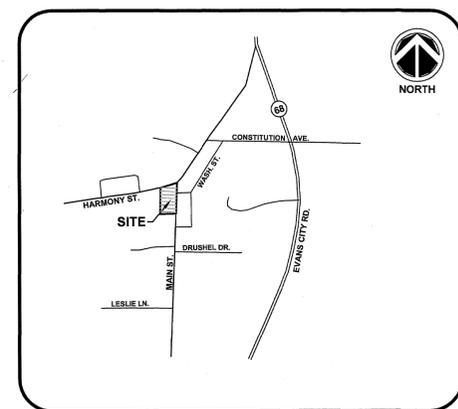
PROFESSIONAL CERTIFICATE

I, JEFFREY A. SHUTY, a Professional LAND SURVEYOR of the Commonwealth of Pennsylvania, do hereby certify that this plan shown hereon is true and correct to the standards of the Butler County Subdivision and Land Development Ordinance and that the survey and all angles, distances, and courses are accurately shown, that the monuments and markers as shown on the plat have been, or will be set, and to the best of my knowledge, that this plan correctly represents the lots, lands, streets, and highways as surveyed and plotted by me for the owners or agents.

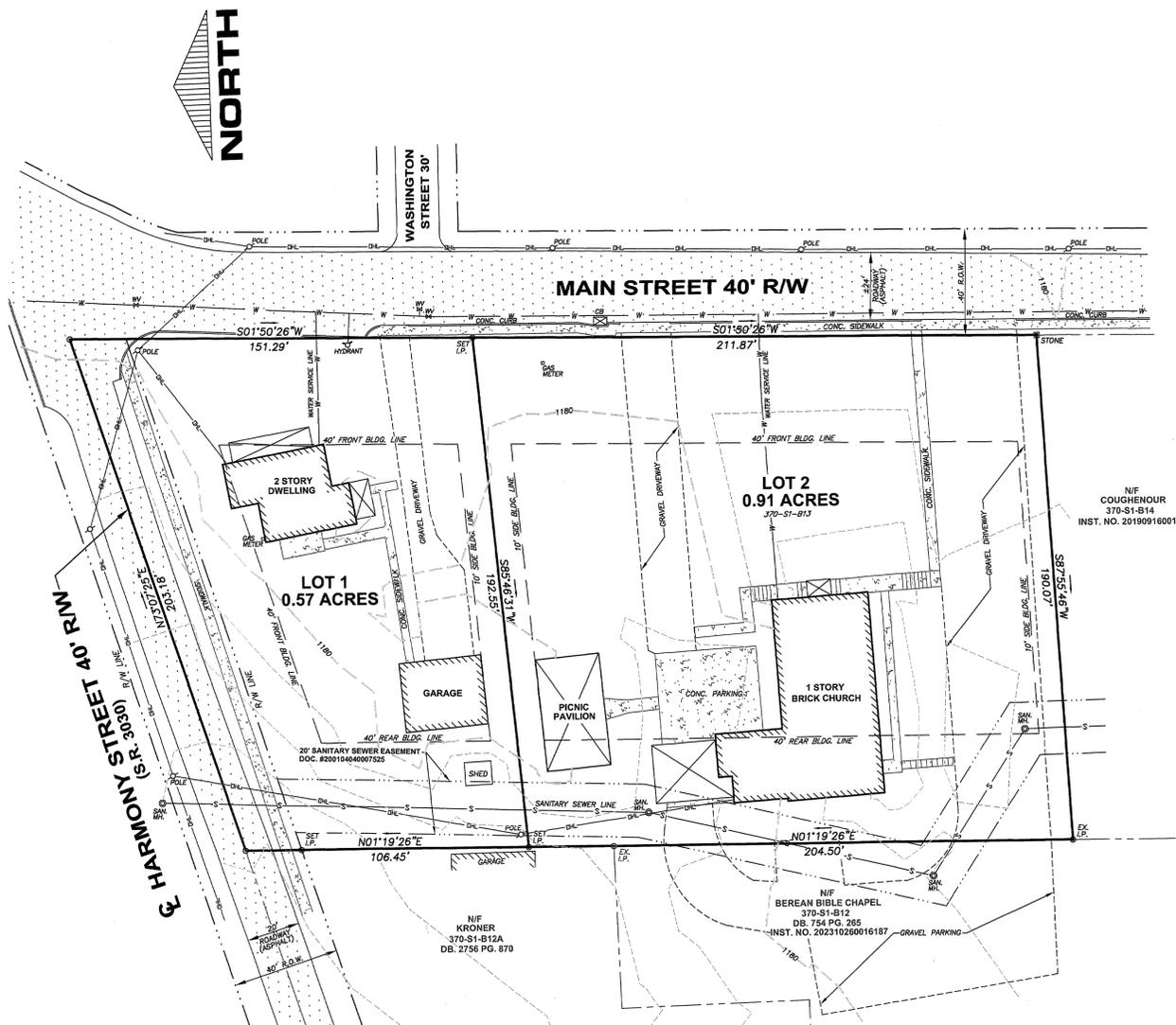
[Signature] SEAL
(Professional's Name)
SU075509
(Professional's Registration No.)
5/2/2024
(Date)

Reviewed with comments by the Butler County Planning Commission. Letter to Connoquenessing Borough Council dated _____, A.D. 20____.

(SEC.) _____ (CHAIR) _____ (SEAL)



VICINITY MAP
SCALE: 1"=1000'

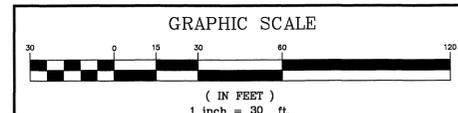


- NOTES
1. THE PURPOSE OF THE PLAN IS TO SUBDIVIDE EXISTING TAX PARCEL 370-S1-B13 INTO TWO LOTS, LOT 1 & LOT 2.
 2. THIS SUBDIVISION PLAN IS SUBJECT TO ALL EASEMENTS, COVENANTS, RESTRICTIONS AND AGREEMENTS OF PRIOR RECORD.
 3. LOT 1 AND LOT 2 ARE SERVED BY PUBLIC SANITARY SEWER SYSTEM.
 4. THE BEARING DATUM OF THIS PLAN IS ON THE PA STATE PLANE COORDINATE SYSTEM, PA SOUTH NAD 83.

NOTE: The municipality can issue final approval of the subdivision plan or building permit if the plan or permit contains the wording that "A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PERTAINING TO SECTION 420 OF THE STATE HIGHWAY LAW (PL 1242, No. 428)"

ZONING: R-RESIDENTIAL
Lot area: 21,780 square feet (.5 acre)
except lots in planned residential developments
Lot width: 100 feet.
Front yard depth: 40 feet.
Side yard depth: 10 feet.
Rear yard depth: 40 feet.

TOTAL PLAN AREA	1.48 ACRES
LOT 1	0.57 ACRES
LOT 2	0.91 ACRES



OWNER:
THE BEREAN BIBLE CHAPEL OF BUTLER
200 MAIN STREET
CONNOQUENESSING PA 16027
724-991-6702
PARCEL ID: 370-S1-B13
DEED REF: 202310260016187

NORTHERN
SURVEYORS AND ASSOCIATES
137 LINK LANE
SLIPPERY ROCK, PA 16057
(724)530-6889
northernsurveyor@gmail.com

Scale 1" = 30'
Date FEB 27, 2024
REV: MARCH 5, 2024
REV: MARCH 14, 2024
Job No. 3693
METHODIST CHURCH - MINOR SUBDIVISION
LOT 1 & 2 - FINAL PLAN
Situate in Connoquenessing Borough
Butler County, Pa.
Prepared For Andy Pepe
Sheet No. 1 of 1

PLAN BOOK	PAGE
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BUTLER COUNTY PLANNING COMMISSION REVIEW
Reviewed by the Butler County Planning Commission this 5th day of MARCH, 2024.
[Signature] (Secretary)
[Signature] (Chairman)

See Comments On File at the Butler County Planning Commission

Plan Number: 24057
SEAL

PROOF OF RECORDING
COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER } SS:
Recorded in the office for the recording of deeds, plats and plans in said County, in Plan Book Volume 418 Page(s) 8
Given under my hand and seal this 17th day of MAY, 2024.
[Signature]
(Recorder of Deeds)



MICHELE M. MUSTELLO
RECORDER OF DEEDS

My Commission Expires First Monday in January 2028



Instr: 202405170007050
 Pg 1 of 466.89
 Michele Mustello
 Butler County Recorder PA

KNOW ALL MEN BY THESE PRESENTS, that I, Richard P. Marburger, of the Township of Forward, of the County of Butler, Commonwealth of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this plan as my Plan of Lots of my property, situate in Forward Township, and do hereby dedicate forever, for public use for highway and utility purposes all drives, roads, lanes, ways, rights-of-way and other public highways shown upon the plan, and we release, remise and discharge the Township of Forward, its successors or assigns, of and from all liability, courses of action, claim or damages arising from or pertaining to in any manner said roads and rights-of-way.

I further agree that said plan is approved by the Township of Forward for "Planning Purposes Only" and that said Township shall not issue any "Building Permits" for lots contained herein, nor shall any lots be deeded until either all of said roads and improvements in accordance with Forward Township Ordinances have been completed and accepted by said Township or until the Township has approved a bond with sufficient surety to guarantee construction of same.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 7th day of MAY 2024
 ATTEST: *[Signature]*
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
 Linda J. Labas, Notary Public
 Butler County
 My commission expires September 2, 2026
 Commission number 1091033
 Member, Pennsylvania Association of Notaries

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Richard P. Marburger, and acknowledged the foregoing release and dedication and plan to be his act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this 7th day of MAY 2024

My Commission expires the 7th day of MAY 2024

SEAL: *[Signature]*
 NOTARY PUBLIC
 Commonwealth of Pennsylvania - Notary Seal
 Linda J. Labas, Notary Public
 Butler County
 My commission expires September 2, 2026
 Commission number 1091033
 Member, Pennsylvania Association of Notaries

I, Richard P. Marburger, owner of the Richard P. Marburger Plan of Subdivision, do hereby certify that the title of this property is in the name of as recorded in Instrument Number 201407180016488, Recorder of Deeds Office. I further certify that there is no mortgage, lien or encumbrance against this property.

[Signature] BEVERLY COWEN
 WITNESS
[Signature] OWNER



I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that in my professional opinion all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan and that this plan correctly represents the lots, land, streets and highways as surveyed and plotted by me for the owners or agents.

DATE: April 30, 2024 SEAL: *[Signature]*
 REG. NO. SU-32490-E

The Board of Supervisors of the Township of Forward hereby gives public notice that in approving this plan for recording purposes only, the Township of Forward assumes no obligation, legal or otherwise, expressed or implied, either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads. N/A

SECRETARY SEAL PRESIDENT

Approved by the Supervisors of the Township of Forward this 14 day of May 2024

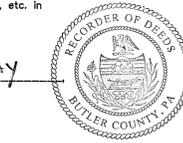
[Signature] SECRETARY SEAL *[Signature]* CHAIRMAN OF BOARD

Approved by the Forward Township Planning Commission this 30 day of April 2024

[Signature] SECRETARY SEAL *[Signature]* CHAIRMAN

Reviewed by the Butler County Planning Commission this 5th day of April 2024

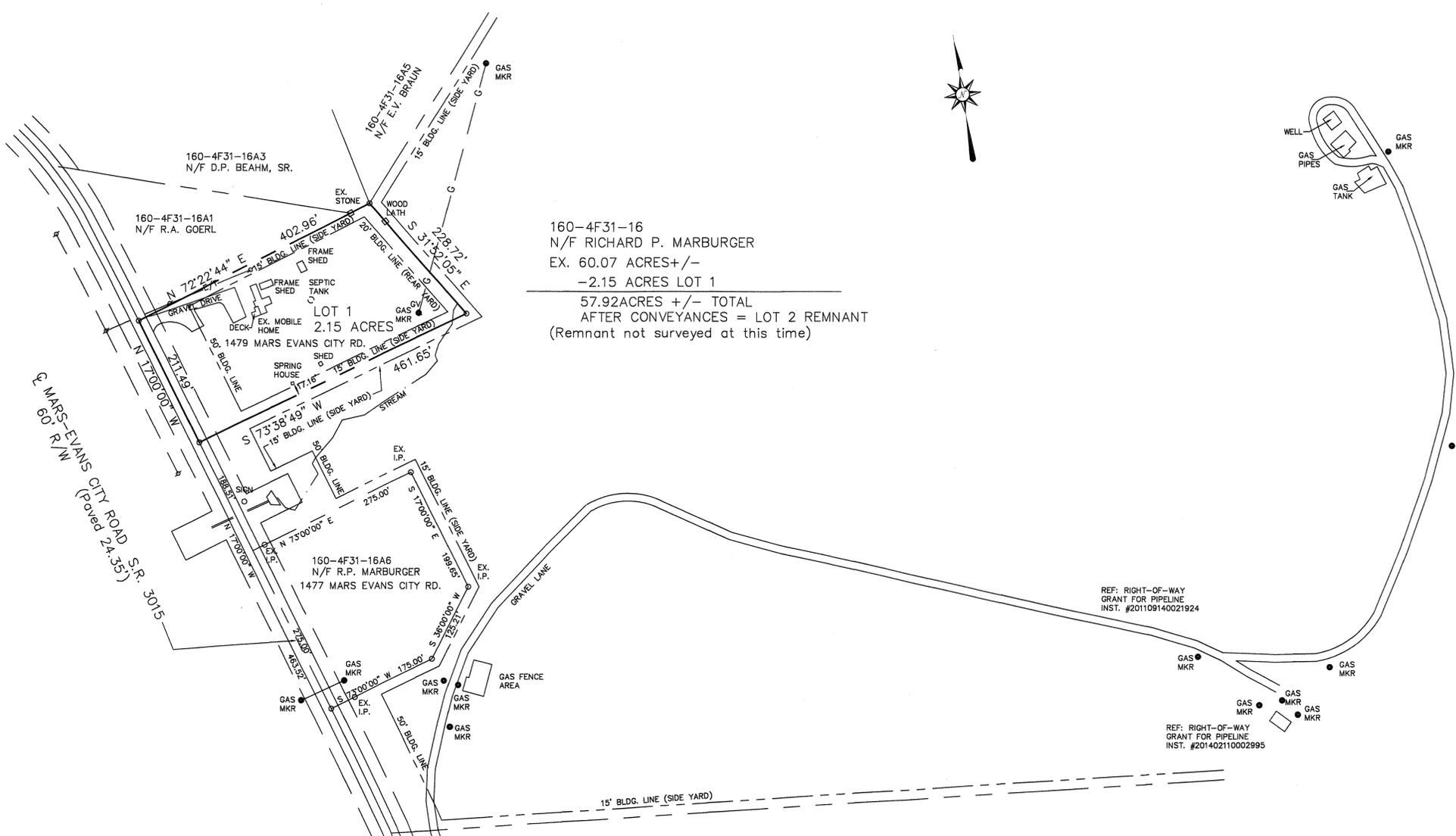
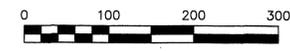
[Signature] SECRETARY SEAL *[Signature]* CHAIRMAN



COMMONWEALTH OF PENNSYLVANIA)SS:
 COUNTY OF BUTLER)
 Recorded in the Recorder's Office for the recording of deeds, plans, etc. in said County in Plan Book Volume 418 page 9
 Given under my hand and seal this 17th day of MAY 2024
 SEAL: *[Signature]*
 RECORDER

MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2028

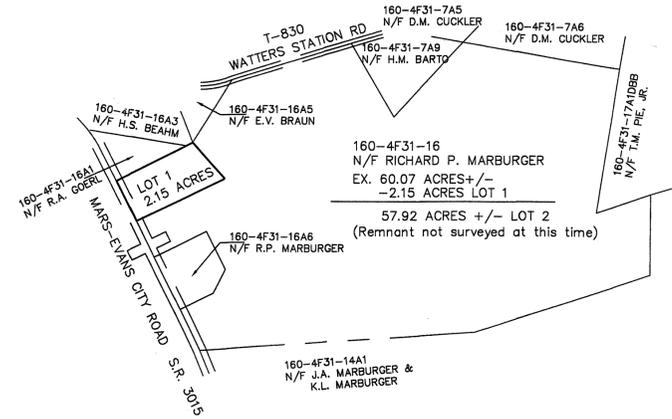
PLAN BOOK	PAGE
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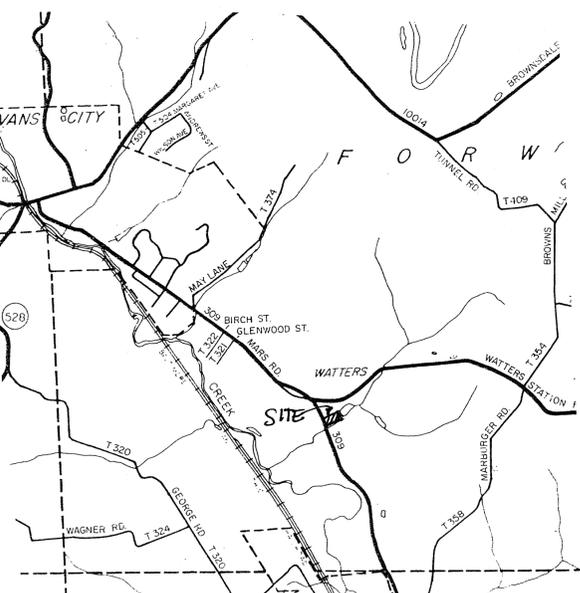
160-4F31-16
 N/F RICHARD P. MARBURGER
 EX. 60.07 ACRES +/-
 -2.15 ACRES LOT 1
 57.92 ACRES +/- TOTAL
 AFTER CONVEYANCES = LOT 2 REMNANT
 (Remnant not surveyed at this time)

AS OF THE DATE OF THIS DEED/PLOT PLAN/DEED NOTICE RECORDING, THE PROPERTY/SUBDIVISION DESCRIBED HEREON IS AND SHALL BE DEDICATED FOR THE EXPRESS PURPOSE OF AGRICULTURAL USE. THIS WAIVER APPLIES TO LOT 2 REMNANT OF THE PLAN AS SHOWN HEREON. NO PORTION OF THIS PROPERTY/SUBDIVISION HAS BEEN APPROVED BY FORWARD TOWNSHIP OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES. NO SEWAGE PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE COLLECTION, CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM (EXCEPT FOR REPAIRS TO EXISTING SYSTEMS) UNLESS THE MUNICIPALITY AND THE DEP HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR THE PROPERTY/SUBDIVISION HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT (35 P.S. SECTIONS 7501 ET. SEQ.) AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR SUBDIVIDER OF ANY PORTION OF LOT 2 REMNANT SHOULD CONTACT APPROPRIATE OFFICIALS OF FORWARD TOWNSHIP, WHICH IS CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO DETERMINE WHAT SEWAGE FACILITIES PLANNING IS REQUIRED AND THE PROCEDURE AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR APPROVALS.

NOTES:
 SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.
 ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREA OF MINIMAL FLOOD HAZARD DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAN.
 PROPERTY OWNER: RICHARD MARBURGER
 1477 MARS EVANS CITY ROAD
 EVANS CITY, PA 16033
 THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE THE EXISTING MOBILE HOME AT 1479 MARS EVANS CITY ROAD ONTO ITS OWN LOT.
 BUILDING LINES: 50' FRONT YARD
 15' SIDE YARD
 20' REAR YARD



LOCATION MAP Scale: 1" = 400'



VICINITY MAP Scale: 1" = 2000'

REVISED 04/30/2024; BUILDING LINES LOT 2

L J	Land Surveyors, Inc. 523 North Main Street P.O. Box 1061 Butler, PA 16003-1061 (724) 287-6865 Cheryl A. Hughes, PLS Owner		
	PLAN OF SUBDIVISION FOR: RICHARD P. MARBURGER SITUATE: FORWARD TWP., BUTLER CO., PA		
Date 03/13/2024	Scale 1" = 100'	Dwn By BEC	Ckd By CAH
Parcel No. 160-4F31-16	Instrument #	201407180016488	Service No. 23-099

OWNER'S CERTIFICATION

We, Francesca L. & Robert D. Howden, the undersigned, hereby declare that we are the owner's of the property shown on this final plan, that the final plan and the proposed subdivision or land development were made with the owner's consent, and that the owner's desire the final plan to be recorded as such.

In witness whereof we have set our hands and seal's this 26 day of April 2024.

Francesca L. Howden
Robert D. Howden

ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER }

Before me, the subscriber, a Notary Public in and for said County and Commonwealth, personally appeared the above named Francesca L. & Robert D. Howden who acknowledged the foregoing final plan of subdivision or land development to be their act and deed and desired the same to be recorded as such.

WITNESS MY HAND AND NOTARIAL SEAL this 26 day of April 2024.

Jennifer Lynn Speduto
Notary Public

My commission expires the 14 day of October 2025.

Commonwealth of Pennsylvania - Notary Seal
Jennifer Lynn Speduto, Notary Public
Butler County
My commission expires October 14, 2025
Commission number 1358573

MUNICIPAL DECLARATIONS

The Board of Supervisors of the Township of Buffalo, hereby gives public notice that in approving this plan for recording purposes only, the Township of Buffalo assumes no obligations, legal or otherwise, expressed or implied either to accept said streets as township streets or roads or grade, pave and curb the streets in said plan, or construct sewers therein or to install any other such service ordinarily installed in township streets or roads.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

Approved by the Board of Supervisors of the Township of Buffalo this 10 day of April 2024.

Janice L. Zubrin
Chairperson
Board of Supervisors

Reviewed by the Planning Commission or the Township of Buffalo this 6 day of April 2024.

Jason Cava
Chairperson
Board of Supervisors

BUTLER COUNTY PLANNING COMMISSION APPROVAL

Approved by the Butler County Planning Commission this 13 day of Dec 2023.

Matthew W. Stahlman
Chairman

See Comments On File at the Butler County Planning Commission

Plan Number: 23230

SEAL

PROFESSIONAL CERTIFICATE

I, Matthew W. Stahlman, a Professional Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan shown hereon is true and correct to the standards of the Butler County Subdivision and Land Development Ordinance and that the survey and all angles, distances, and courses are accurately shown, that the monuments and markers as shown on the plan have been, or will be set, and to the best of my knowledge, that this plan correctly represents the lots, lands, streets, and highways as surveyed and plotted by me for the owners or agents.

Matthew W. Stahlman
Matthew W. Stahlman, Reg. No. SU-075485

04/08/2024
Date

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER }

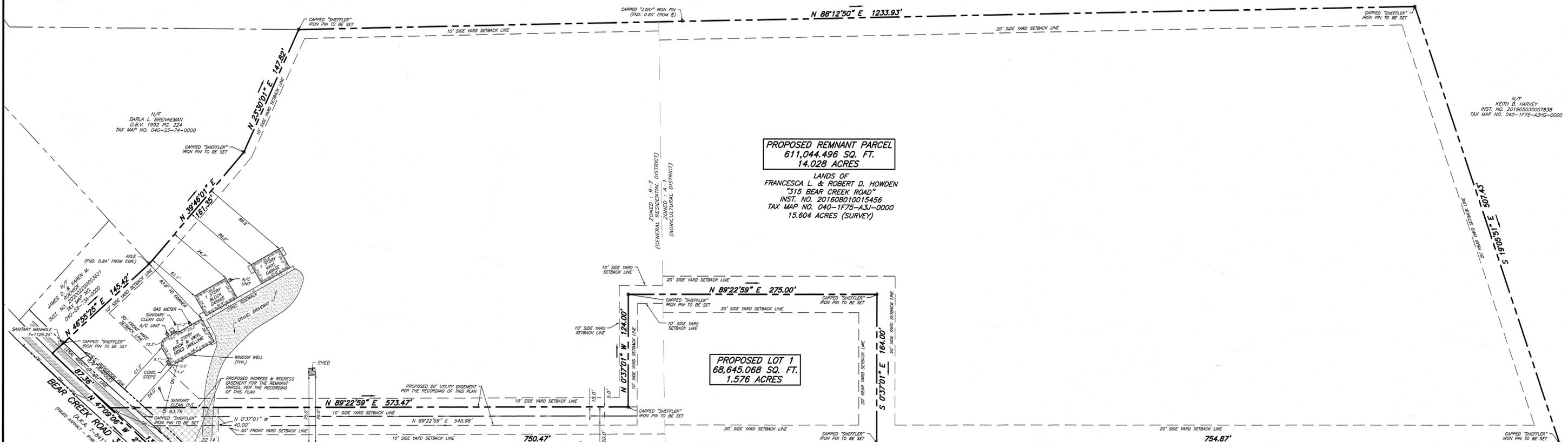
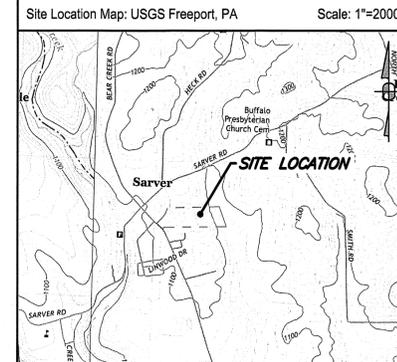
Recorded in the office for the recording of deeds, plats and plans in said County, in Plan Book Volume 418 Page(s) 10

Under my hand and seal this 25 day of May 2024.

Michele M. Mustello
Recorder of Deeds

MICHELE M. MUSTELLO
RECORDER OF DEEDS

My Commission Expires First Monday in January 2028



PROPOSED REMNANT PARCEL
611,044.496 SQ. FT.
14.028 ACRES

LANDS OF
FRANCESCA L. & ROBERT D. HOWDEN
'315 BEAR CREEK ROAD'
INST. NO. 201608010015456
TAX MAP NO. 040-1F75-A3J-0000
15.604 ACRES (SURVEY)

PROPOSED LOT 1
68,645.068 SQ. FT.
1.576 ACRES

GENERAL NOTES:
1. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE THE EXISTING PROPERTY (PARCEL ID: 040-1F75-A3J-0000) OWNED BY FRANCESCA L. & ROBERT D. HOWDEN (INST. NO. 201608010015456) INTO (2 TRACTS OF LAND) PROPOSED LOT NO. 1 AND PROPOSED REMNANT PARCEL TO BE RETAINED.

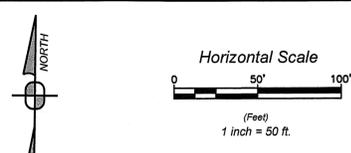
Table with Zoning Information for R-2 and A-1 districts, including lot area, width, depth, and coverage requirements.

AREA TABULATION:
EXISTING TAX PARCEL: 040-1F75-A3J-0000 15.604 ACRES - (679,710.24 SQ. FT.)
PROPOSED PARCELS:
PROPOSED LOT NO. 1 1.576 ACRES - (68,650.560 SQ. FT.)
PROPOSED REMNANT PARCEL 14.028 ACRES - (611,044.496 SQ. FT.)
TOTAL AREA 15.604 ACRES - (679,710.240 SQ. FT.)

PLAN BOOK 418 PAGE 10

Professional seals for Registered Surveyor (Matthew W. Stahlman), Buffalo Township Engineer, Buffalo Township Board of Supervisors, Butler County Planning Commission, and Butler County Recorder of Deeds.

811 logo and text: Know what's below. Call before you dig.



Revision table with columns: Date, Revision Description, By.

Professional Seal (Embossed)
Prepared By: Sheffler & Company, Inc. ENGINEERING • SURVEYING

1712 Mount Nebo Road
Sewickley, PA 15143
Office Phone: 412-219-4509
Email: info@shefflerco.com

The Vignetta Winery Subdivision
Plan No. 1
Prepared For: Holbein Incorporated
Situate In: Buffalo Township, Butler County, Commonwealth of Pennsylvania

Being a Subdivision Plan of Butler County
Tax Map Nos. 040-1F75-A3J-0000
DRAWING SCALE: 1" = 50'
DESIGNED BY: JAP
DATE ISSUED: November 20, 2023
REVIEWED BY: MWS
PROJECT JOB#: 4667
FIELD BOOK #: 4667
CADD#: 4667 - 315 Bear Creek Road - Subdivision.dwg
Sheet No. 1 of 1

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT WE, JOSEPH GRAY AND JACQUELYN P. GRAY, OF THE TOWNSHIP OF BUTLER, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS PLAN AS OUR PLAN OF OUR PROPERTIES, SITUATE IN THE TOWNSHIP OF BUTLER, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND DO HEREBY DEDICATE FOREVER FOR PUBLIC USE FOR HIGHWAY AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANES, WAYS, RIGHTS-OF-WAY, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, AND WE RELEASE, REMISE AND DISCHARGE THE TOWNSHIP OF BUTLER, ITS SUCCESSORS OR ASSIGNS, OF AND FROM ALL LIABILITY, COURSES OF ACTION, CLAIMS OR DAMAGES ARISING FROM OR PERTAINING TO IN ANY MANNER SAID ROADS AND RIGHTS-OF-WAY.

WE FURTHER AGREE THAT SAID PLAN IS APPROVED BY THE TOWNSHIP OF BUTLER FOR "PLANNING PURPOSES ONLY" AND THAT SAID TOWNSHIP SHALL NOT ISSUE ANY "BUILDING PERMITS" FOR LOTS CONTAINED HEREIN, NOR SHALL ANY LOTS BE DEEDED UNTIL EITHER ALL OF SAID ROADS AND IMPROVEMENTS IN ACCORDANCE WITH BUTLER TOWNSHIP ORDINANCE AND ALL OTHER APPLICABLE ORDINANCES HAVE BEEN COMPLETED AND ACCEPTED BY SAID TOWNSHIP OR UNTIL THE TOWNSHIP HAS APPROVED A BOND WITH SUFFICIENT SURETY TO GUARANTEE CONSTRUCTION OF THE SAME.

IN WITNESS WHEREOF, I HERELIANTO SET MY HAND AND SEAL THIS 9 DAY OF MAY, 2024.

[Signature]
 JOSEPH GRAY
[Signature]
 JACQUELYN P. GRAY

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, JOSEPH GRAY AND JACQUELYN P. GRAY, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 9 DAY OF MAY, 2024.

MY COMMISSION EXPIRES THE 17 DAY OF FEB, 2029.

[Signature]
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
 Debra L. Delaney, Notary Public
 Butler County
 My commission expires February 17, 2027
 Commission number 1152784
 Member, Pennsylvania Association of Notaries

CERTIFICATION OF TITLE

WE, JOSEPH GRAY AND JACQUELYN P. GRAY, OWNER OF PROPERTY IN THE GRAY PLAN, DO HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE GRAY PLAN IS IN THE NAME OF JOSEPH GRAY AND JACQUELYN P. GRAY AND IS RECORDED IN INSTRUMENT NUMBER 200310220048072 (051-46-11), BUTLER COUNTY RECORDER OF DEEDS OFFICE.

[Signature] WITNESS
[Signature] JOSEPH GRAY
[Signature] JACQUELYN P. GRAY

[Signature] (NAME OF MORTGAGEE), MORTGAGEE OF THE PROPERTY CONTAINED IN THE GRAY PLAN CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

[Signature] WITNESS
[Signature] NAME, TITLE, AND MORTGAGEE
 EUP/LOO Nextier Bank, N.A.

CERTIFICATION OF TITLE (NO MORTGAGE)

WE, JOSEPH GRAY AND JACQUELYN P. GRAY, OWNER OF PROPERTY IN THE GRAY PLAN, DO HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE GRAY PLAN IS IN THE NAME OF JOSEPH GRAY AND JACQUELYN P. GRAY, AND IS RECORDED IN INSTRUMENT NUMBER 200310160047088 (051-46-17A), BUTLER COUNTY RECORDER OF DEEDS OFFICE. WE FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR ENCUMBRANCE AGAINST THESE PROPERTIES.

[Signature] WITNESS
 JOSEPH GRAY
[Signature] JACQUELYN P. GRAY

SURVEYOR'S CERTIFICATION

I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THE PLAN AS SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

MAY 8, 2024
 DATE

[Signature]
 STANLEY D. GRAFF
 REG. NO. SU-030161E



BUTLER COUNTY REVIEW AND APPROVALS

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 13TH DAY OF MAY, 2024.

[Signature] SECRETARY
[Signature] CHAIRPERSON, BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN

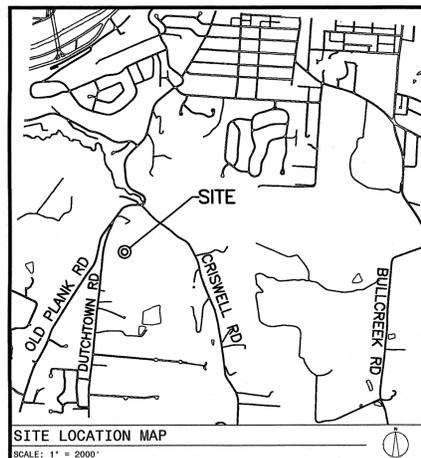
PLAN BOOK VOLUME 418 PAGE 11-12

GIVEN UNDER MY HAND AND SEAL THIS 24TH DAY OF May, 2024.

[Signature]
 RECORDER OF DEEDS

MICHELE M. MUSTELLO
 RECORDER OF DEEDS

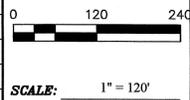
My Commission Expires First Monday in January 2028



NOTE:
 SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS

HIGHWAY OCCUPANCY PERMIT:
 A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE STATE HIGHWAY LAW (P.L. 1242, NO. 428).

REV.	DESCRIPTION	BY	DATE	REFERENCE DRAWINGS
A	REVISIONS PER CLIENT	SDG	10/1/24	Cornetti, Schlatz & Gray PB 249/19



DRAWN BY: SDG
 DATE: 08/24/23
 CHECKED BY: SDG
 DATE:
 APPROVED:

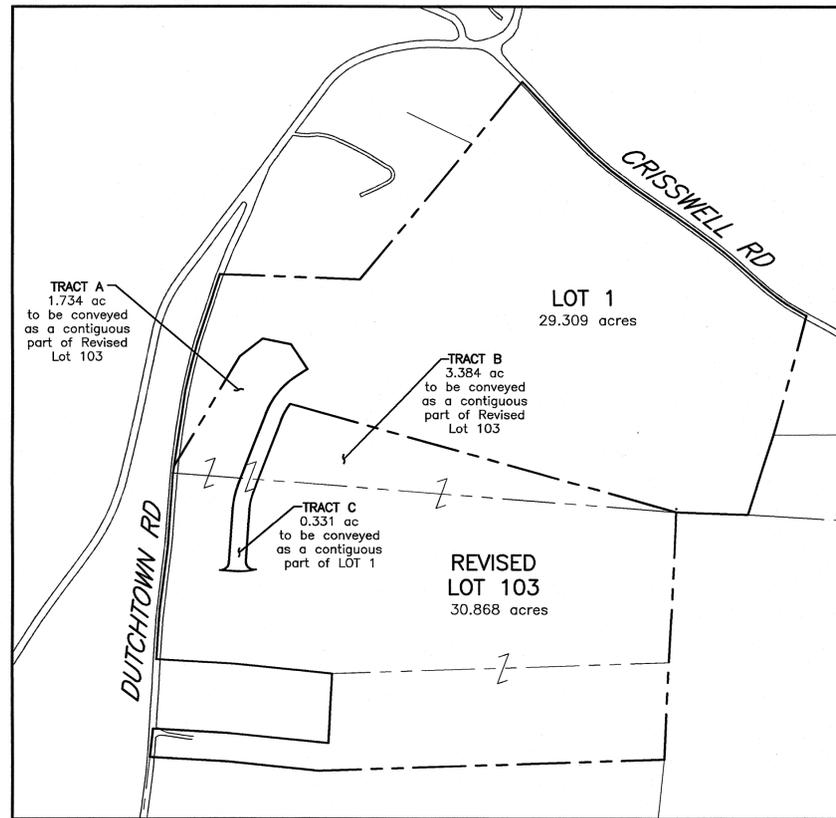


GRAFF SURVEYING LLC
 PO BOX 521 | SAXONBURG, PA 16056
 P: 724-352-3811 F: 724-352-1059
 INFO@GRAFFSURVEYING.COM
 WWW.GRAFFSURVEYING.COM

PROJECT
 GRAY PLAN :
 BEING A LOT LINE REVISION OF BUTLER COUNTY TAX PARCELS 051-46-17A AND 051-46-11
BUTLER TOWNSHIP
BUTLER COUNTY, PENNSYLVANIA

DWG.No.	RECORDED	20
22-009	PLAN BOOK	PAGE
	418	11
	SHEET	of

GRAY PLAN



Inst: 202405240007427
 Page 2 of 86-08
 Michele Mustello
 Butler County Recorder PA

OWNER'S ADOPTION
 KNOW ALL MEN BY THESE PRESENTS THAT I, JOSEPH GRAY, SOLE MEMBER OF BELMONT INVESTMENT PROPERTIES, LLC, OF THE TOWNSHIP OF BUTLER, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR MYSELF, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS PLAN AS MY PLAN OF MY PROPERTIES, SITUATE IN THE TOWNSHIP OF BUTLER, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND DO HEREBY DEDICATE FOREVER FOR PUBLIC USE FOR HIGHWAY AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANES, WAYS, RIGHTS-OF-WAY, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, AND WE RELEASE, REMISE AND DISCHARGE THE TOWNSHIP OF BUTLER, ITS SUCCESSORS OR ASSIGNS, OF AND FROM ALL LIABILITY, COURSES OF ACTION, CLAIMS OR DAMAGES ARISING FROM OR PERTAINING TO IN ANY MANNER SAID ROADS AND RIGHTS-OF-WAY.

I FURTHER AGREE THAT SAID PLAN IS APPROVED BY THE TOWNSHIP OF BUTLER FOR "PLANNING PURPOSES ONLY" AND THAT SAID TOWNSHIP SHALL NOT ISSUE ANY "BUILDING PERMITS" FOR LOTS CONTAINED HEREIN, NOR SHALL ANY LOTS BE DEEDED UNTIL EITHER ALL OF SAID ROADS AND IMPROVEMENTS IN ACCORDANCE WITH BUTLER TOWNSHIP ORDINANCE AND ALL OTHER APPLICABLE ORDINANCES HAVE BEEN COMPLETED AND ACCEPTED BY SAID TOWNSHIP OR UNTIL THE TOWNSHIP HAS APPROVED A BOND WITH SUFFICIENT SURETY TO GUARANTEE CONSTRUCTION OF THE SAME.

IN WITNESS WHEREOF, I HERELIANTO SET MY HAND AND SEAL THIS 14TH DAY OF MAY, 2024.

[Signature]
 JOSEPH GRAY
 SOLE MEMBER OF BELMONT INVESTMENT PROPERTIES, LLC

ACKNOWLEDGMENT OF NOTARY PUBLIC
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, JOSEPH GRAY, SOLE MEMBER OF BELMONT INVESTMENT PROPERTIES, LLC, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE HIS ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 14TH DAY OF MAY, 2024.

MY COMMISSION EXPIRES THE 13TH DAY OF October, 2027.

[Signature]
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal
 Kim Marie Baker, Notary Public
 Butler County
 My commission expires October 13, 2027
 Commission number 1439147
 Member, Pennsylvania Association of Notaries

CERTIFICATION OF TITLE (NO MORTGAGE)

I, JOSEPH GRAY, SOLE MEMBER OF BELMONT INVESTMENT PROPERTIES, LLC, OWNER OF PROPERTY IN THE GRAY PLAN, DO HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE GRAY PLAN IS IN THE NAME OF JOSEPH GRAY, SOLE MEMBER OF BELMONT INVESTMENT PROPERTIES, LLC, AND IS RECORDED IN INSTRUMENT NUMBER 2022092802020985, BUTLER COUNTY RECORDER OF DEEDS OFFICE. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR ENCUMBRANCE AGAINST THESE PROPERTIES.

[Signature] WITNESS
 JOSEPH GRAY
 SOLE MEMBER OF BELMONT INVESTMENT PROPERTIES, LLC

BUTLER TOWNSHIP - MUNICIPAL DECLARATIONS

THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF BUTLER, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF BUTLER ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

[Signature] SECRETARY
[Signature] PRESIDENT, BOARD OF COMMISSIONERS

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF BUTLER THIS 22ND DAY OF May, 2024.

[Signature] SECRETARY
[Signature] PRESIDENT, BOARD OF COMMISSIONERS

APPROVED BY THE BUTLER TOWNSHIP PLANNING COMMISSION THIS 9TH DAY OF January, 2024.

[Signature] SECRETARY
[Signature] CHAIRPERSON, PLANNING COMMISSION



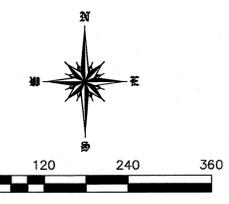
PROPERTY AREA SUMMARY:

EXISTING TOTALS			
051-46-11	34.096 AC	1,485,170 SF	
LOT 103	18.340 AC	788,880 SF	
+ LOT 102	7.741 AC	337,201 SF	
EXISTING TOTAL	60.177 AC	2,621,251 SF	

LOT 1 (REVISED LOT 46-11)			
ORIGINAL 46-11	34.096 AC	1,485,170 SF	
- TRACT A	1.734 AC	75,525 SF	
- TRACT B	3.384 AC	147,397 SF	
+ TRACT C	0.331 AC	14,411 SF	
LOT 1	29.309 AC	1,276,859 SF	

REVISED LOT 103			
ORIGINAL LOT 103	18.340 AC	788,880 SF	
ORIGINAL LOT 102	7.741 AC	337,201 SF	
+ TRACT A	1.734 AC	75,525 SF	
+ TRACT B	3.384 AC	147,397 SF	
- TRACT C	0.331 AC	14,411 SF	
REVISED LOT 103	30.868 AC	1,344,592 SF	

REVISED TOTALS			
LOT 1 (REVISED 46-11)	29.309 AC	1,276,859 SF	
+ REVISED LOT 103	30.868 AC	1,344,592 SF	
REVISED TOTAL	60.177 AC	2,621,251 SF	



Course	Bearing	Distance
L1	Rad: 175.00' Tan: 26.68' CA: 17°20'12" Chd: N 29°43'29" E S 21°03'24" W	A= 52.959' 155.23'
L2	Rad: 175.00' Tan: 26.12' CA: 16°58'46" Chd: S 12°34'01" W	A= 51.86' 51.67'
L3	Rad: 225.00' Tan: 33.52' CA: 106°34'12" Chd: S 49°12'28" E	A= 46.50' 40.08'
L4	Rad: 225.00' Tan: 26.15' CA: 13°15'23" Chd: S 84°08'06" W	A= 52.06' 51.94'
L5	Rad: 25.00' Tan: 24.92' CA: 89°49'25" Chd: N 48°59'21" E	A= 39.19' 35.30'
L6	Rad: 225.00' Tan: 71.86' CA: 35°25'21" Chd: N 38°46'04" E	A= 139.10' 136.90'
L7	Rad: 225.00' Tan: 55.89' CA: 16°58'46" Chd: N 12°34'01" E	A= 66.43' 66.43'
L8	Rad: 225.00' Tan: 136.90' CA: 35°25'21" Chd: N 38°46'04" E	A= 139.10' 136.90'
L9	Rad: 225.00' Tan: 55.89' CA: 16°58'46" Chd: N 12°34'01" E	A= 66.43' 66.43'
L10	Rad: 225.00' Tan: 136.90' CA: 35°25'21" Chd: N 38°46'04" E	A= 139.10' 136.90'
L11	Rad: 225.00' Tan: 55.89' CA: 16°58'46" Chd: N 12°34'01" E	A= 66.43' 66.43'
L12	Rad: 225.00' Tan: 136.90' CA: 35°25'21" Chd: N 38°46'04" E	A= 139.10' 136.90'
L13	Rad: 225.00' Tan: 55.89' CA: 16°58'46" Chd: N 12°34'01" E	A= 66.43' 66.43'

TRACT A
1.734 ac
to be conveyed as a contiguous part of Revised Lot 103

Course	Bearing	Distance
A1	N 30°43'14" E	382.23'
A2	N 52°33'20" E	87.73'
A3	S 78°31'15" E	86.60'
A4	S 33°31'15" E	88.02'
A5	S 56°28'45" W	46.07'
A6	Rad: 225.00' Tan: 71.86' CA: 35°25'21" Chd: S 38°46'04" W	A= 139.10' 136.90'
A7	S 21°03'24" W	208.72'
A8	N 85°35'28" E	202.73'
A9	N 08°07'24" E	20.26'

TRACT B
3.384 ac
to be conveyed as a contiguous part of Revised Lot 103

Course	Bearing	Distance
B1	N 85°35'28" W	1256.22'
B2	N 21°03'24" E	193.77'
B3	Rad: 175.00' Tan: 26.68' CA: 17°20'12" Chd: N 29°43'29" E	A= 52.959' 155.23'
B4	S 74°22'20" E	1201.03'

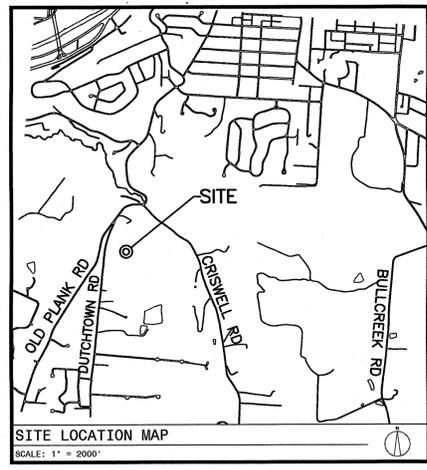
TRACT C
0.331 ac
to be conveyed as a contiguous part of LOT 1

Course	Bearing	Distance
C1	S 21°03'24" W	41.28'
C2	Rad: 175.00' Tan: 26.12' CA: 16°58'46" Chd: S 12°34'01" W	A= 51.86' 51.67'
C3	Rad: 25.00' Tan: 33.52' CA: 106°34'12" Chd: S 49°12'28" E	A= 46.50' 40.08'
C4	Rad: 225.00' Tan: 26.15' CA: 13°15'23" Chd: S 84°08'06" W	A= 52.06' 51.94'
C5	Rad: 25.00' Tan: 24.92' CA: 89°49'25" Chd: N 48°59'21" E	A= 39.19' 35.30'
C6	Rad: 225.00' Tan: 71.86' CA: 35°25'21" Chd: N 38°46'04" E	A= 139.10' 136.90'
C7	Rad: 225.00' Tan: 55.89' CA: 16°58'46" Chd: N 12°34'01" E	A= 66.43' 66.43'
C8	Rad: 225.00' Tan: 136.90' CA: 35°25'21" Chd: N 38°46'04" E	A= 139.10' 136.90'
C9	Rad: 225.00' Tan: 55.89' CA: 16°58'46" Chd: N 12°34'01" E	A= 66.43' 66.43'
C10	Rad: 225.00' Tan: 136.90' CA: 35°25'21" Chd: N 38°46'04" E	A= 139.10' 136.90'
C11	S 85°35'28" E	52.19'

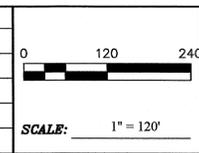
BUTLER TOWNSHIP R-1 DISTRICT	
Dimension	Single Family
Min. Lot Width	100 feet
Min. Front Yard Depth	40 feet
Min. Side Yard Depth	10 feet
Min. Rear Yard Depth	25 feet

NOTE:
SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS

HIGHWAY OCCUPANCY PERMIT:
A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE STATE HIGHWAY LAW (P.L. 1242, NO. 428).



REV.	DESCRIPTION	BY	DATE	REFERENCE DRAWINGS
A	REVISIONS PER CLIENT	SDG	1/31/24	Cornetti, Schlatz & Gray PB 249/19



DRAWN BY: SDG
DATE: 08/24/23
CHECKED BY: Sdg
DATE:
APPROVED:

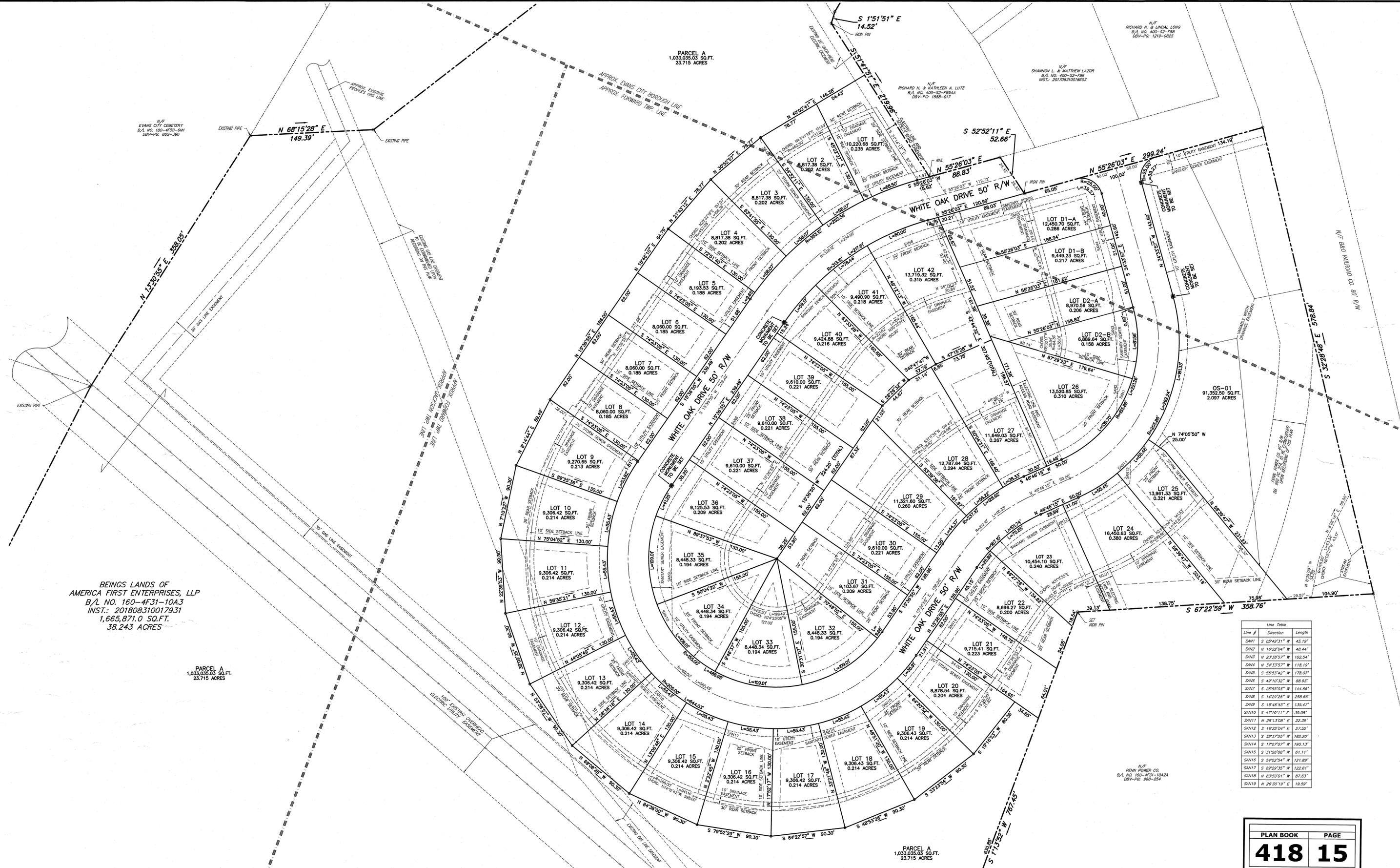


DESIGNER
GRAFF SURVEYING LLC
PO BOX 521 | SAXONBURG, PA 16056
P: 724-352-3811 E: 724-352-1059
INFO@GRAFFSURVEYING.COM
WWW.GRAFFSURVEYING.COM

PROJECT
GRAY PLAN:
BEING A LOT LINE REVISION OF BUTLER COUNTY TAX PARCELS 051-46-17A, 051-46-17 AND 051-46-11

BUTLER TOWNSHIP
BUTLER COUNTY, PENNSYLVANIA

DWG. No.	RECORDED	20
22-009	PLAN BOOK	PAGE
	418	12
	SHEET	01



BEINGS LANDS OF
AMERICA FIRST ENTERPRISES, LLP
B/L NO. 160-4F31-10A3
INST.: 201808310017931
1,665,871.0 SQ.FT.
38.243 ACRES

PARCEL A
1,033,035.03 SQ.FT.
23.715 ACRES

Line #	Direction	Length
SAW1	S 05°49'31" W	45.19'
SAW2	N 16°22'04" W	48.44'
SAW3	N 23°38'57" W	102.54'
SAW4	N 34°33'57" W	118.19'
SAW5	S 55°53'42" W	178.07'
SAW6	S 49°10'52" W	88.83'
SAW7	S 28°55'03" W	144.66'
SAW8	S 14°29'28" W	258.66'
SAW9	S 19°46'45" E	135.47'
SAW10	S 47°10'11" E	39.08'
SAW11	N 28°13'08" E	22.39'
SAW12	S 16°22'04" E	27.52'
SAW13	S 39°37'25" W	182.20'
SAW14	S 17°07'07" W	190.13'
SAW15	S 31°26'08" W	61.11'
SAW16	S 54°02'54" W	121.89'
SAW17	S 89°29'55" W	122.61'
SAW18	N 63°50'01" W	87.63'
SAW19	N 28°30'19" E	19.59'

PLAN BOOK	PAGE
418	15

811 Know what's below.
Call before you dig.

POCS SER. #:

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Horizontal Scale

0 50' 100'

(Feet)
1 inch = 50 ft.

Date:	Revision Description:	By:	Professional Seal	Prepared By:
9/17/2021	PRELIMINARY SUBMISSION	JRG		Sheffler & Company, Inc. ENGINEERING • SURVEYING 1712 Mount Nebo Road Seewickley, PA 15143 Office Phone: 412-219-4509 Email: info@shefflerco.com
9/30/2021	REVISIONS PER COMMENTS	JRG		
4/25/2022	REVISIONS PER COMMENTS	BUS		
6/23/2022	REVISIONS PER COMMENTS	JRG		
8/31/2022	REVISIONS PER COMMENTS	JRG		
10/14/2022	REVISIONS PER SANITARY REVIEW COMMENTS	JRG		
3/8/2022	REVISIONS TOWNSHIP COMMENTS	JRG		
12/12/2023	REVISIONS PER COMMENTS	TWS		
10/2/2023	ISSUED FOR BID	JRG		
1/29/2024	TOWNSHIP RESUBMISSION	JRG		

**MAPLEWOOD VILLAGE
PLANNED RESIDENTIAL DEVELOPMENT**

Prepared For:
AMERICA FIRST ENTERPRISES, LLP

Situate In:
EVANS CITY, FORWARD TWP, & JACKSON TWP, BUTLER COUNTY, PENNSYLVANIA

Line #	Direction	Length
SAW1	S 05°49'31" W	45.19'
SAW2	N 16°22'04" W	48.44'
SAW3	N 23°38'57" W	102.54'
SAW4	N 34°33'57" W	118.19'
SAW5	S 55°53'42" W	178.07'
SAW6	S 49°10'52" W	88.83'
SAW7	S 28°55'03" W	144.66'
SAW8	S 14°29'28" W	258.66'
SAW9	S 19°46'45" E	135.47'
SAW10	S 47°10'11" E	39.08'
SAW11	N 28°13'08" E	22.39'
SAW12	S 16°22'04" E	27.52'
SAW13	S 39°37'25" W	182.20'
SAW14	S 17°07'07" W	190.13'
SAW15	S 31°26'08" W	61.11'
SAW16	S 54°02'54" W	121.89'
SAW17	S 89°29'55" W	122.61'
SAW18	N 63°50'01" W	87.63'
SAW19	N 28°30'19" E	19.59'

DRAWING SCALE: 1" = 50'		DESIGNED BY: MWS	Sheet No.
DATE ISSUED: 09/17/2021		REVIEWED BY: GAS	
PROJECT JOB#: 3729	FIELD BOOK #: 3729		
CADD#: 3729 - Maplewood - Rec Plan.dwg			

AMERICA FIRST ENTERPRISES, LLP
ATTN: JERRY OLIVER
1768 NORTH MAIN ST, SUITE 4
BUTLER, PA 16001

REC2

ALL SIGNATURES MUST BE IN NAVY BLUE INK.

OWNER'S ADOPTION AND CERTIFICATION

Chauna Callen and Jason Kamer, owner of the land shown on this plan hereby adopts this plan

IN WITNESS OF WHICH, to this, I set My Hand and seal this 13th day of May, 2024.

ATTEST:
Commonwealth of Pennsylvania - Notary Seal
Butler County
My commission expires August 16, 2026
Commission number 1337090

Notary Public Signature
Chauna Callen Jason Kamer

ACKNOWLEDGEMENT OF NOTARY PUBLIC

Before me, the undersigned Notary Public in and for the Commonwealth of Pennsylvania and County of Butler, personally appeared the above named Chauna Callen and Jason Kamer and acknowledged the foregoing adoption and dedication to be the act of the company.

IN WITNESS OF WHICH, to this, I set My Hand and seal this 13th day of May, 2024.

ATTEST:
Commonwealth of Pennsylvania - Notary Seal
Butler County
My commission expires August 16, 2026
Commission number 1337090

Notary Public Signature

CERTIFICATE OF TITLE AND MORTGAGE

We, Chauna Callen and Jason Kamer, hereby certify that the title to the property contained in "Westminster Road Consolidation Plan" is in the name of Chauna Callen and Jason Kamer as recorded in Instrument 200905270011381. We further certify that there is no mortgage, lien, or other encumbrance against this property.

Witness Signature
Chauna Callen Jason Kamer

SURVEYOR'S CERTIFICATION

I, Thomas A. Hewitt, a Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify to the best of my information, knowledge and belief that this plan correctly represents the lots, lands, streets, ways and highways, as surveyed and plotted by me for the owners or agents.

Date Thomas A. Hewitt, P.L.S.
Registration No: SU075692



CERTIFICATIONS

MUNICIPAL ENGINEER

I certify that this plan meets all engineering and design requirements of the applicable ordinances of the Township of Clinton, except as departures have been authorized by the appropriate officials of the Township.

Date Signature
Registration No:

Approved by the Clinton Township Planning Commission this 8th day of May, 2024

Secretary Chairperson

Approved by the Township of Clinton this 6th day of May, 2024

Secretary Chairperson/President

BUTLER COUNTY PLANNING

Reviewed by the Butler County Planning Department on this 5 day of APRIL, 2024.

(seal) Signature Title

PROOF OF RECORDING

Recorded in the Department of Real Estate of Butler County, Commonwealth of Pennsylvania in Instrument 202405300007057

Given under my hand and seal this 30th day of May, 2024.

Recorder Signature

MICHELE M. MUSTELLO
RECORDER OF DEEDS

My Commission Expires First Monday in January 2028

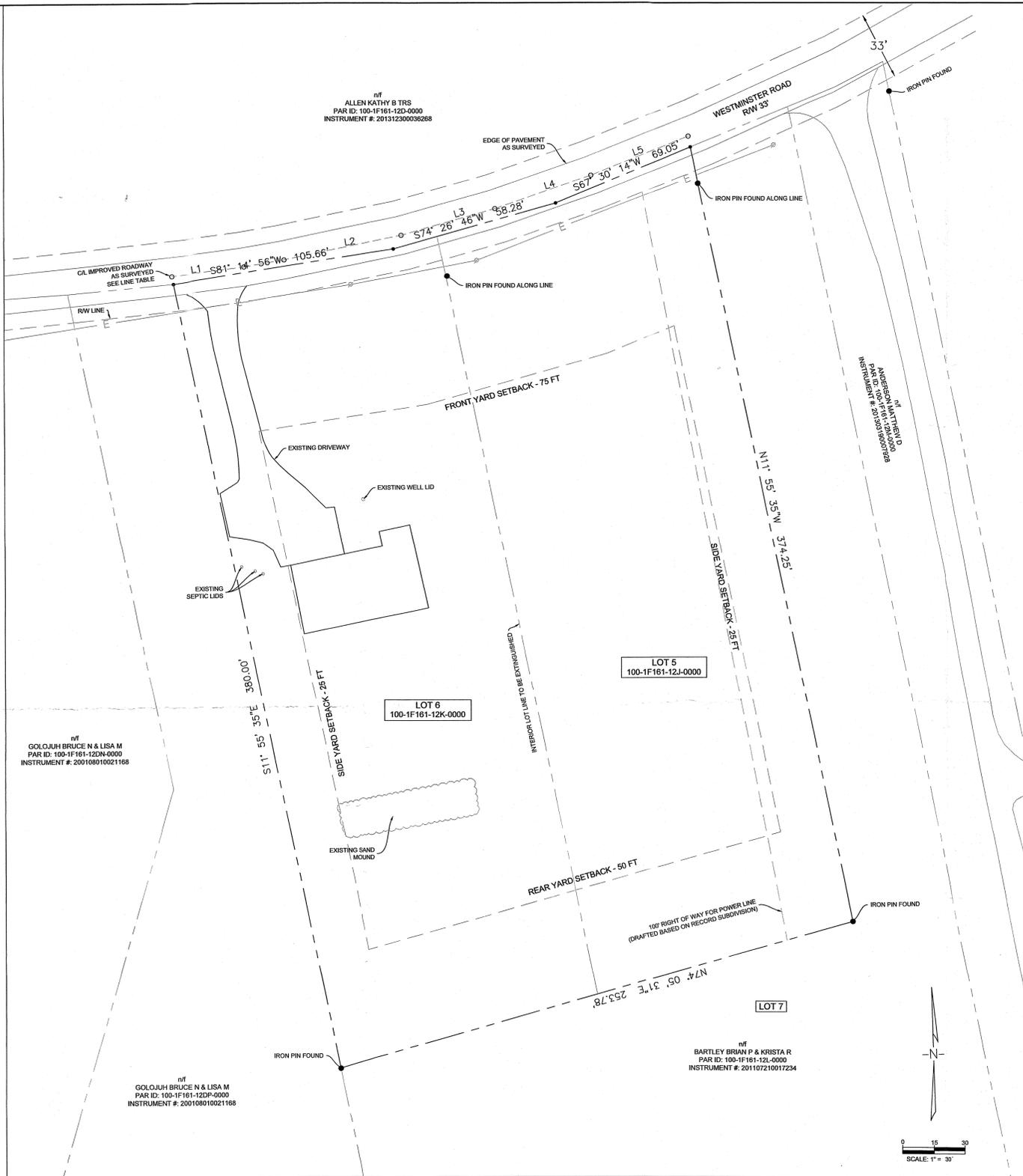
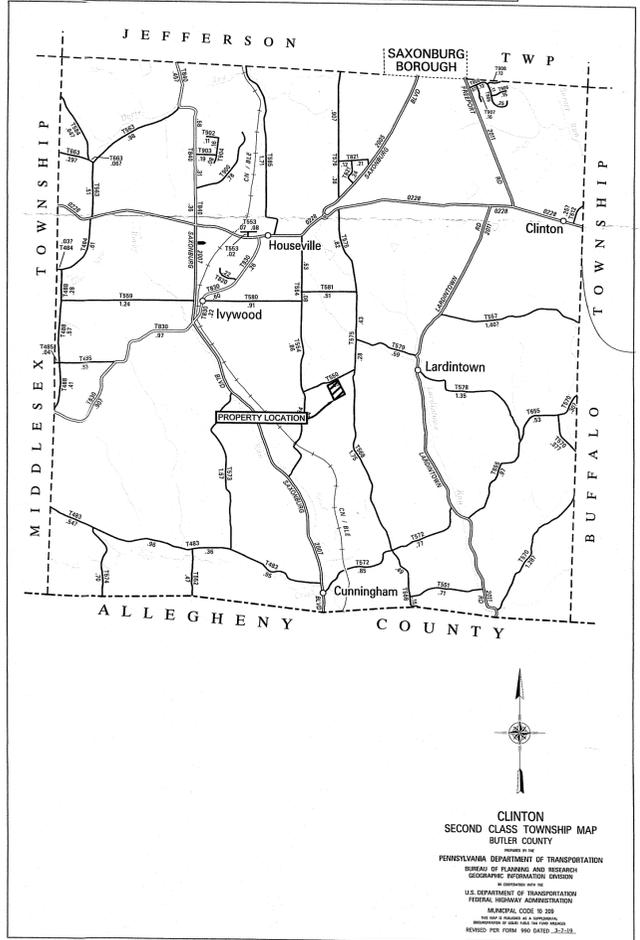


Table with columns: USE: RESIDENTIAL, ZONING, CURRENT ZONING: AC AGRICULTURAL CONSERVATION, SINGLE FAMILY, PERMITTED USES, CONDITIONAL USES, CURRENT (LOT 6), CURRENT (LOT 5), PROPOSED.

Improved Roadway C/L Line Table, SURVEY NOTES, PURPOSE OF THIS PLAN, AREA TABULATION, PROPERTY INFORMATION.



PLAN BOOK PAGE
418 16

WESTMINSTER ROAD CONSOLIDATION PLAN
CLINTON TOWNSHIP BUTLER COUNTY PENNSYLVANIA
Drawn By: DDD Checked by: TAH Date: 03/28/2024 Drawing Number: 23-606 Drawing Scale: 1" = 30'

PREPARED FOR: MR. JASON KAMER AND MS. CHAUNA CALLEN
305 WESTMINSTER ROAD
SAR/VER, PA 16055
PARCEL ID: 100-1F161-12K-0000 100-1F161-123-0000

PS&R
Pennsylvania Soil & Rock, Incorporated
570 Beatty Road
Monroeville, PA 15146
Phone: 412-372-4000 Fax: 412-372-4664

Plot & File: 202405300007057.dwg Date: 2024-05-30 10:00:00 AM User: DDD



GENERAL PLAN NOTES

- THE BOUNDARY AS SHOWN IS BASED ON A FIELD SURVEY PERFORMED BY LAND SURVEYORS INC. IN SEPTEMBER OF 2014.
- THIS PLAN HAS BEEN PREPARED ON THE BASIS OF SURVEYS PERFORMED BY LAND SURVEYORS INC. ONLY THE VISIBLE LOCATIONS SHOWN SHALL BE CONSIDERED TRUE AND ACCURATE. NO DIGGING OR EXCAVATIONS WERE DONE IN THE PREPARATION OF THIS PLAN. THEREFORE, ALL UNDERGROUND UTILITIES SHOWN OR DETECTED SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES AND/OR FACILITIES NOT SHOWN HEREON. ALL THE DESIGNERS AND CONTRACTORS UTILIZING THIS PLAN AND THE INFORMATION CONTAINED HEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF PENNSYLVANIA ACT 187, HOUSE BILL 2627, AMENDING THE ACT OF DECEMBER 17, 1974 (P.L. 852, NO. 267) FNY1460 1996 EFFECTIVE 12/15/96.
- NO WETLANDS OR JURISDICTIONAL WATERWAYS ARE LOCATED ON THIS SITE.
- UTILITIES SHOWN ARE BASED ON FIELD LOCATIONS OF UTILITY COMPANY MARKUPS PLACED IN RESPONSE TO PA ONE CALL SERIAL NUMBER 2014093502.
- ALL NEW UTILITIES TO BE UNDERGROUND.
- NOTES CONCRETE MONUMENT TO BE SET.
- NOTES R.R. SPIKE OR IRON PIN TO BE SET.
- NO STRUCTURES, FENCE, PLANTINGS, OR OTHER OBSTRUCTION SHALL BE MAINTAINED BETWEEN A VERTICAL PLANE TWO FEET DISTURBANCE ABOVE STREET LEVEL AND A PLANE SEVEN FEET ABOVE STREET LEVEL SO AS TO INTERFERE WITH TRAFFIC VISIBILITY WITHIN THE CLEAR SIGHT TRIANGLES SHOWN AT ALL INTERSECTIONS. AT EACH POINT WHERE A DRIVEWAY INTERSECTS A STREET A CLEAR SIGHT TRIANGLE OF TEN (10) FEET MEASURED FROM THE POINT OF INTERSECTION OF THE STREET LINE AND THE CURB OF THE ACCESS WAY SHALL BE MAINTAINED, WITHIN WHICH VEGETATION AND OTHER VISUAL OBSTRUCTIONS SHALL BE LIMITED TO A HEIGHT OF NOT MORE THAN TWO FEET ABOVE THE STREET GRADE.
- ALL DEVELOPMENT ACTIVITIES, SUCH AS CLEARING, GRADING, REGRADING, DRIVEWAYS, BUILDINGS AND DETENTION BASINS SHALL BE BUILT IN ACCORDANCE WITH THE BOROUGHS STANDARDS AND ZONING ORDINANCE AS LAST AMENDED.
- NOTHING SHALL BE PERMITTED TO BE FLOORED, PLANTED, SET, OR PUT WITHIN THE AREA OF AN EASEMENT AS SHOWN ON THIS PLAN DEEDS TO ALL LOTS CONTAINING EASEMENTS OF ANY NATURE SHALL CARRY A CLAUSE PROHIBITING THE BUILDING OF STRUCTURES AND PLANTINGS OF ANY NATURE, OTHER THAN GRASS, WITHIN THE EASEMENT LIMITS. THE CLAUSE SHALL STATE TO WHOM THE EASEMENT IS GRANTED, THE RIGHTS TO INGRESS AND EGRESS AND THE RIGHTS TO CONSTRUCT, MAINTAIN AND REPAIR ANY AND ALL STRUCTURES WITHIN THE EASEMENT LIMITS.
- THE BURYING OF TREES AND OTHER CONSTRUCTION DEBRIS ON THE SITE IS PROHIBITED.
- NO TOPSOIL SHALL BE REMOVED FROM THE SITE.
- THE PROPOSED SANITARY SERVICE WILL BE SUBJECT TO APPROVAL BY CONNOQUEENESS BOROUGH.
- THE PROPOSED WATER SERVICE AND ACCOMPANIED FIRE HYDRANTS, MATERIALS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BOROUGH FIRE MARSHAL AND PA AMERICAN WATER COMPANY.
- THE DEVELOPER OF THIS TRACT HOLDS CONNOQUEENESS BOROUGH HARMLESS FOR ANY STORMWATER RUN-OFF DIRECTED OFF-SITE.
- WATER SERVICE SHALL BE PROVIDED BY PENNSYLVANIA AMERICAN WATER COMPANY. ALL WATER EASEMENTS AND FACILITIES RELATED TO THIS PROJECT ARE MAINTAINED BY PENNSYLVANIA AMERICAN WATER COMPANY.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE UNDERGROUND UTILITY LINE PROTECTION LAW, PA ACT 187 OF 1996. CONTRACTORS SHALL OBTAIN A PA ONE CALL NUMBER FOR CONSTRUCTION PURPOSES.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS.
- APPROXIMATE PROJECT DURATION WILL BE FROM FALL OF 2015 THROUGH THE FALL OF 2016.
- CONNOQUEENESS BOROUGH ORDINANCE DATES:
ZONING - CHAPTER 27 AS UPDATED THROUGH DECEMBER 2014, OR MOST CURRENT
SUBDIVISION AND LAND DEVELOPMENT - CHAPTER 22 AS UPDATED THROUGH DECEMBER 2014, OR MOST CURRENT
STORMWATER MANAGEMENT ORDINANCE 17 AS UPDATED THROUGH 2014, OR MOST CURRENT
- PLAN SHEETS 1-6 INCLUSIVE, ON RECORD AT CONNOQUEENESS BOROUGH, SHALL BE CONSIDERED A PART OF THE APPROVED FINAL PLAN AS IF RECORDED WITH SAME.
- THE PROPOSED SANITARY SEWER WILL NOT SERVE BASEMENTS.
- PARKING, STORMWATER MANAGEMENT FACILITIES AND OPEN SPACE TO BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION (HOA) OR SIMILAR ENTITY.
- THIS DEVELOPMENT IS IN THE CONNOQUEENESS CREEK WATER SHED WHICH IS CLASSIFIED AS A WW FISHERY BY THE PA CODE CHAPTER 93.
- THE STORMWATER MANAGEMENT SYSTEM HAS BEEN DESIGNED ASSUMING AN IMPERVIOUS COVER OF 8,320 SF (0.19 AC).
- THE MUNICIPALITY HAS THE RIGHT TO ENTER PRIVATE PROPERTY TO INSPECT AND REPAIR, IF NECESSARY, ANY STORMWATER MANAGEMENT FACILITY. THESE STORMWATER FACILITIES ARE A PERMANENT PART OF THE DEVELOPMENT AND SHALL NOT BE REMOVED, ALTERED OR MODIFIED.
- THE APPLICANT AGREES TO PROVIDE A SIGNED AND RECORDED STORMWATER MAINTENANCE AND MONITORING AGREEMENT PRIOR TO FINAL PLAN APPROVAL.
- ALL SIGNAGE SHALL COMPLY WITH CONNOQUEENESS BOROUGH ORDINANCES.

IMPERVIOUS SURFACE CALCULATIONS

TOTAL EXISTING IMPERVIOUS SURFACE: 4,664 SF
BUILDING # HOUSE TO BE DEMOLISHED: 1,248 SF
BUILDING # GARAGE/APP TO REMAIN: 800 SF
OTHER IMPERVIOUS SURFACES: 2,616 SF
EXISTING IMPERVIOUS SURFACE RATIO: 4,664/11,400 = 41%

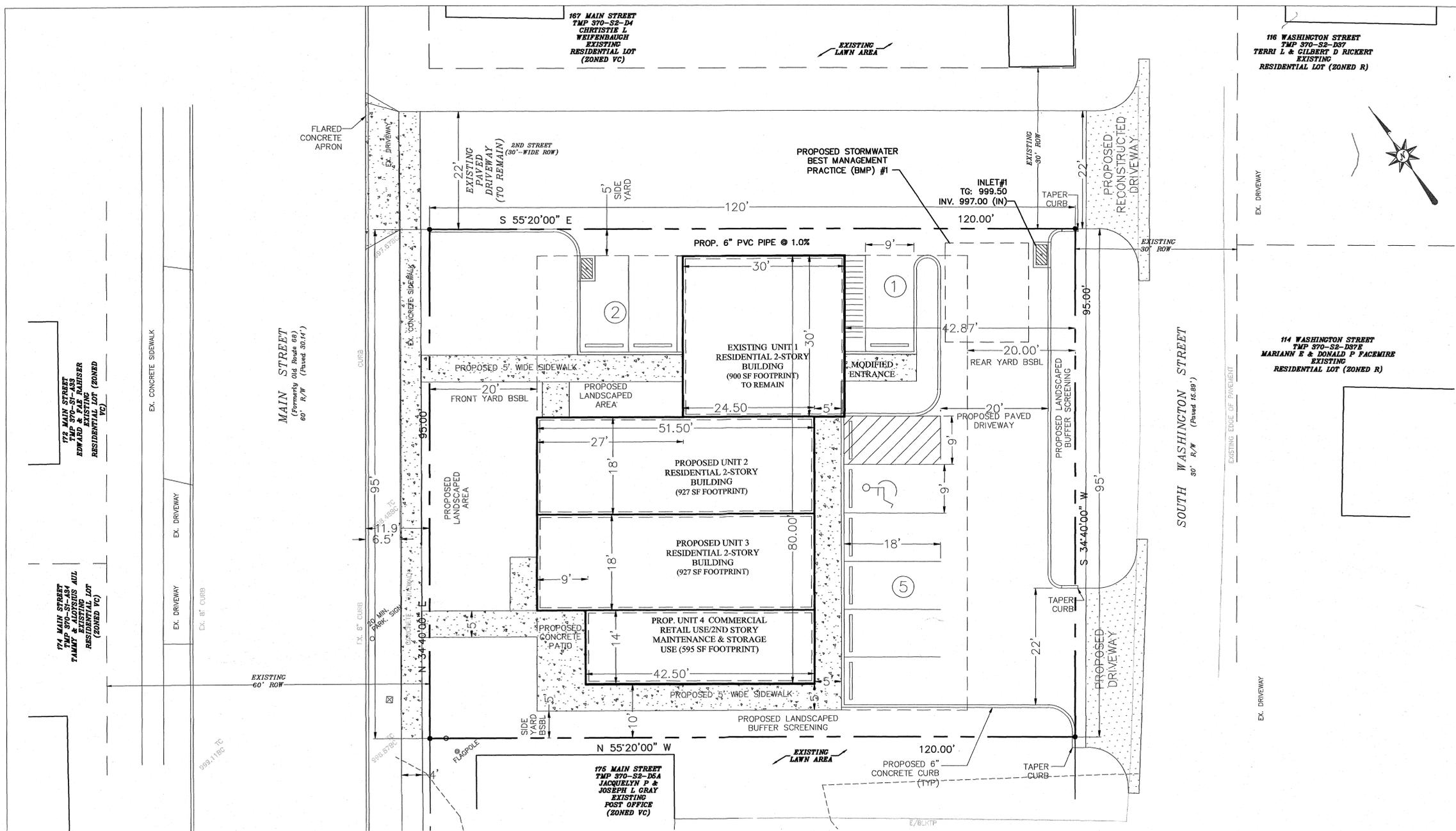
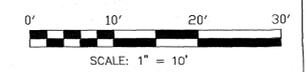
TOTAL PROPOSED SITE IMPERVIOUS SURFACE: 8,320 SF
PROPOSED BUILDING: 3,349 SF
OTHER IMPERVIOUS SURFACE: 4,971 SF
TOTAL PROPOSED IMPERVIOUS INCREASE: 3,656 SF
PROPOSED IMPERVIOUS SURFACE RATIO: 8,320/11,400 = 73%

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ZONING REQUIREMENTS
 CHAPTER 27, PART 8 SECTION 27-804
 VILLAGE CENTER DISTRICT (VC)

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	21,780 SF (0.50 AC)	11,400 SF (0.26 AC)	11,400 SF (0.26 AC)*
MINIMUM LOT WIDTH	100 FT	95 FT	95 FT*
MINIMUM FRONT YARD	20 FT	5 FT	20 FT
MINIMUM SIDE YARD	5 FT	0 FT	5 FT
MINIMUM REAR YARD	20 FT	30.75 FT	20 FT
MAXIMUM DENSITY	1 DU/1800 SF OF LOT (11,400 SF/1800=6.33 DU)	1 DU/5700 SF OF LOT (2/11,400)	595 SF RETAIL 3 DWELLING UNITS
MAXIMUM BLDG HEIGHT	25 FT	25 FT	25 FT
PARKING REQUIREMENTS	1/300 SF (RETAIL)=2 2/UNIT (APARTMENT)=6	4 SPACES	2 SPACES (RETAIL) 6 SPACES (RESIDENTIAL) TOTAL 8 SPACES

* EXISTING NON-COMFORMITY TO REMAIN PER SECTION SECTION 27-901 FOR MINIMUM LOT SIZE AND FRONTAGE
 ** A SPECIAL EXCEPTION WAS GRANTED BY THE CONNOQUEENESS BOROUGH ZONING HEARING BOARD FOR A NON-RESIDENTIAL USE ON SEPTEMBER 2, 2021.



BOROUGH ENGINEER
 THIS LAND DEVELOPMENT PLAN WAS REVIEWED BY THE BOROUGH ENGINEER, Thomas L. Timpone, P.E., FOR CONNOQUEENESS BOROUGH ON THIS 30th DAY OF April, 2024.

Thomas L. Timpone, P.E. (BOROUGH ENGINEER) O43880-E (REGISTRATION NUMBER)

REVIEWED
 APPROVAL OF THE BUTLER COUNTY PLANNING COMMISSION
 BCPC No. 23122

PROCESSED AND REVIEWED. REPORT PREPARED BY THE BUTLER COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE. CERTIFIED THIS DATE 7-19-23

Thomas L. Timpone CHAIRMAN, BUTLER COUNTY PLANNING COMMISSION
Thomas L. Timpone EXECUTIVE DIRECTOR, BUTLER COUNTY PLANNING COMMISSION

APPROVAL OF THE CONNOQUEENESS BOROUGH PLANNING COMMISSION
 THIS PLAN WAS APPROVED BY THE CONNOQUEENESS BOROUGH PLANNING COMMISSION THIS 26th DAY OF October, 2023.

Robert A. Gault Council President 5/30/24 (DATE)
Carina Walke Secretary 5/30/24 (DATE)

APPROVAL OF THE CONNOQUEENESS BOROUGH COUNCIL
 THIS PLAN WAS APPROVED BY THE CONNOQUEENESS BOROUGH COUNCIL THIS 1st DAY OF May, 2024.

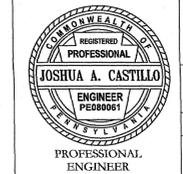
Robert A. Gault Council President 5/30/24 (DATE)
Carina Walke Secretary 5/30/24 (DATE)

OWNER'S CERTIFICATION OF INTENT
 IN THE STATE OF Florida COUNTY OF DeKalb
 ON THE 29th DAY OF May, 2024, BEFORE ME THE SUBSCRIBER, A NOTARY PUBLIC OF THE STATE OF Florida, RESIDING IN Sumner PERSONALLY APPEARED Mario A. Castillo (OWNER), WHO ACKNOWLEDGED HIMSELF TO BE LEGAL OWNER OF THE PREMISES, THAT ALL NECESSARY APPROVALS OF THE PLAN HAVE BEEN OBTAINED AND IS ENDORSED THEREON, AND THAT HE DESIRES THAT THE FOREGOING PLAN BE RECORDED ACCORDING TO LAW, IN WITNESS WHEREOF, SAID OWNER HAS ATTESTED, THIS 29th DAY OF May, CE. 2024
 TO BE AFFIXED BY THE HAND OF ITS PRESIDENT AND THE SAME TO BE ATTESTED BY ITS ATTEST:

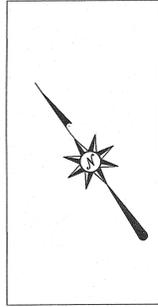
WITNESS MY HAND AND NOTARIAL SEAL THIS 29th DAY OF May, 2024
Mario A. Castillo (NAME OF OWNER)
 MY COMMISSION EXPIRES THE 31st DAY OF October, 2025

PROFESSIONAL ENGINEER'S CERTIFICATION
 I, JOSHUA A. CASTILLO, P.E., A REGISTERED PROFESSIONAL ENGINEER OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS THE METES AND BOUNDS, AS SHOWN, AND THE LOTS, LAND, STREETS, HIGHWAYS, EASEMENTS AND UTILITIES AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.
 I FURTHER CERTIFY THAT THIS PLAN MEETS THE REQUIREMENTS OF ALL LOCAL ORDINANCES AFFECTING THIS LAND DEVELOPMENT PLAN.
Joshua A. Castillo (REGISTERED PROFESSIONAL ENGINEER) PE07006 (REGISTRATION NUMBER)

CERTIFICATION FOR RECORDING
 RECORDED IN THE OFFICE OF RECORDER OF DEEDS, BUTLER COUNTY, PENNSYLVANIA IN PLAN BOOK PAGE 1323 ON THE 31st DAY OF May, 2024
Michele M. Mustello RECORDER OF DEEDS



RECORD/SITE PLAN
 CONNOQUEENESS MULTIPLE-USE BUILDING
 CADD FILE 2020-0100
 2 OF 6



GRADING AND DRAINAGE NOTES

- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO. 287 DECEMBER 10, 1974 AS AMENDED ON DECEMBER 12, 1986, P.L. 1574, NO. 172. CONTRACTOR MUST NOTIFY PA- ONE CALL SYSTEM, INC. THREE DAYS PRIOR TO CONSTRUCTION: 1-800-242-1776.
- THE CONTRACTOR(S) SHALL NOT ENCR OACH ON TO ADJOINING PROPERTIES UNLESS A TEMPORARY CONSTRUCTION EASEMENT HAS BEEN GRANTED BY ADJOINING PROPERTY OWNER. CONTRACTOR SHALL HAVE PROPERTY LINES CLEARLY MARKED IN AREAS WHERE GRADING WILL ENCR OACH WITHIN FIVE FEET OF THE PROPERTY LINE AND SHALL CONSTRUCT SUCH BARRIERS WHICH ARE NECESSARY TO PREVENT ENCR OACHMENT ON TO ADJOINING PROPERTIES.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS.
- THE PROPOSED FINISHED GRADING SHOWN ON THIS PLAN HAS BEEN USED TO DESIGN THE STORMWATER MANAGEMENT FACILITIES. THE CONTRACTOR SHALL COMPLY WITH THE GENERAL GRADING SCHEME INDICATED UNLESS OTHERWISE APPROVED BY THE TOWNSHIP ENGINEER.
- NO FINISHED GRADE EXCAVATION OR FILL SLOPE SHALL EXCEED 4:1 (HORIZONTAL TO VERTICAL), WHERE THE VERTICAL DROP EXCEEDS 5 FEET, THE MAXIMUM EXCAVATION/FILL EMBANKMENT SLOPE SHALL BE 4:1.
- BURYING OF TREES, STUMPS, OR CONSTRUCTION MATERIAL IS PROHIBITED. TREES AND STUMPS MAY BE CHIPPED OR GROUND AND SPREAD ON THE SITE.
- DRAINAGE FACILITIES AND EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE AND FUNCTIONING PRIOR TO THE CREATION OF ANY ADDITIONAL IMPERVIOUS SURFACE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF CONNOQUEENESS BOROUGH, AND PENNDOT PUBLICATION 408, LATEST EDITION.
- INLETS SHALL BE PENNDOT TYPE 'M' OR TYPE 'C'. INLETS EXCEEDING 5 FT. IN DEPTH SHALL BE EQUIPPED WITH STEPS IN ACCORDANCE WITH PENNDOT PUB. 408.
- STORM SEWER PIPES SHALL ENTER THE SIDES OF INLET BOXES AND SHALL NOT ENCR OACH INTO CORNERS. EXPANDED INLET BOXES SHALL BE UTILIZED AS NECESSARY.
- ALL INLETS SHALL BE SEALED WITH ASPHALT SEALER AFTER PLACING OF THE FINAL PAVEMENT WEARING COURSE.
- ALL UTILITY TRENCHES SHALL BE SHORED IN ACCORDANCE WITH OSHA STANDARDS.
- A MINIMUM OF EIGHT INCHES OF TOPSOIL SHALL BE REDISTRIBUTED OVER ALL DISTURBED AREAS OF THE SITE, WITH THE EXCEPTION OF PAVED AND PROPOSED BUILDING AREAS.
- RECEIVING WATER NAME: CONNOQUEENESS CREEK
CHAPTER 93 RECEIVING WATER CLASSIFICATION: WWF, MF
- FUTURE SUMP PUMP LOCATIONS AS DEVELOPED BY ARCHITECTURAL CONSULTANT MAY NOT CONNECT INTO PROPOSED STORM SEWER SYSTEMS. ANY SUMP PUMP DISCHARGE MUST HAVE ITS OWN DEDICATED LINE AS COORDINATED BY ARCHITECT.
- AT TIME OF FINAL ROOFING PLAN DESIGN, ARCHITECT MUST ENSURE DOWNSPOUTS ARE DIRECTED TO CORRELATING DRAINAGE AREAS FOR EACH BMP, AS INDICATED ON THE POST-DEVELOPMENT DRAINAGE AREA BOUNDARY PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DE-WATERING OF SITE FOR CONSTRUCTION. THIS INCLUDES LABOR AND MATERIALS ASSOCIATED WITH PUMPING OF WATER WHICH REMAINS BELOW THE INVERT OUT ELEVATION OF PERMANENT OUTLET BARREL, TRENCHES OR OTHER EXCAVATIONS USING A PA DEP FILTER BAG PER E&S DETAIL SHEET.
- IF CONTRACTOR ELECTS TO PROPOSE AN 'OR EQUAL' SUBSTITUTE PRODUCT FOR THE STORMWATER MANAGEMENT SYSTEMS, THEY MUST BEAR COST TO REDESIGN USING ALTERNATE SYSTEM AS STORAGE VOID RATIOS, LOADING RATIOS, SURFACE AREA AND INFLOW PIPING CONNECTIONS MAY NEED BE REVISED. ALTERNATE PRODUCT SELECTION MAY ALSO REQUIRE AMENDED NPDES PERMITTING.

UTILITY NOTES

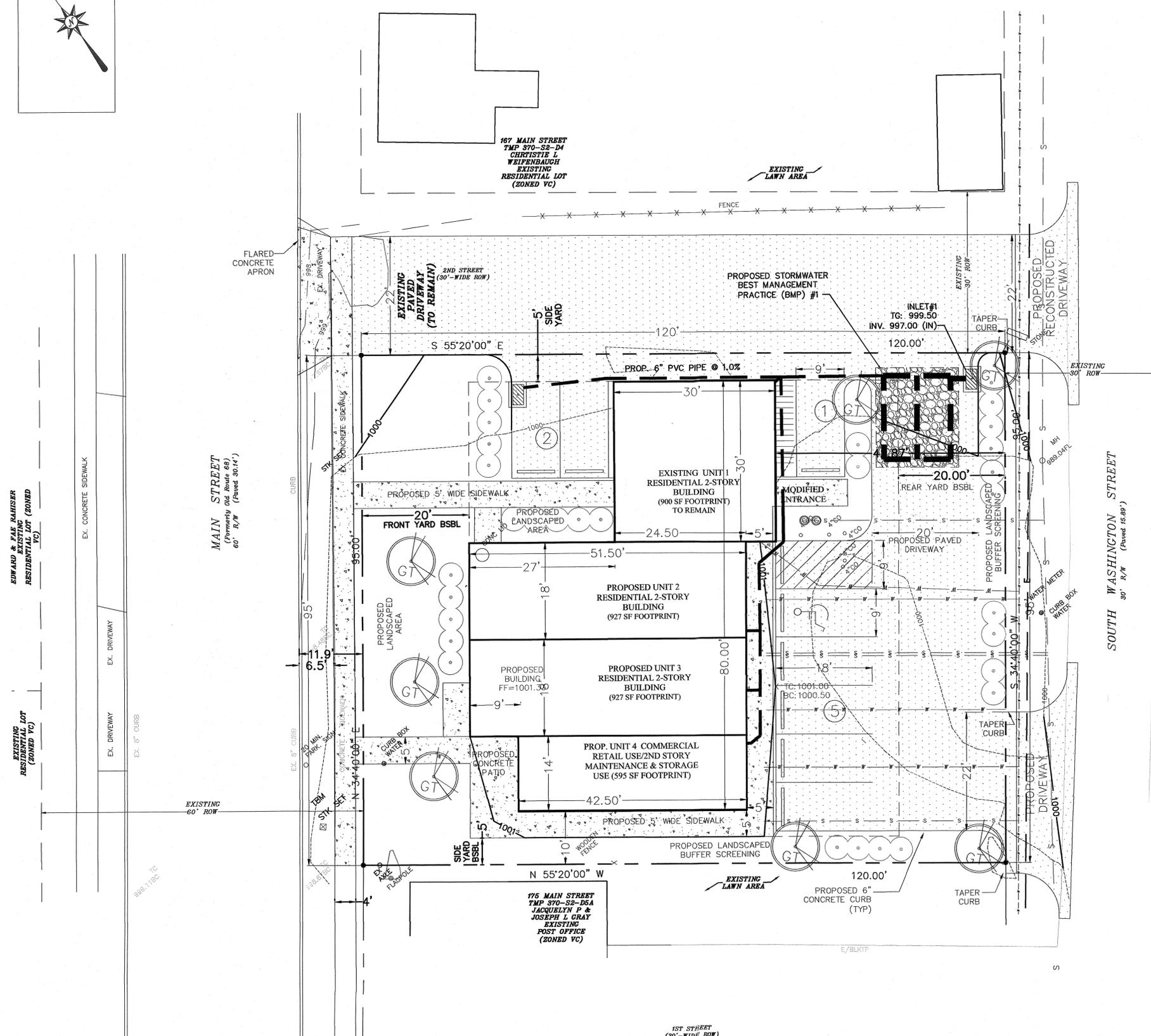
- HORIZONTAL SEPARATION- WHENEVER POSSIBLE, SEWERS SHOULD BE LAID AT LEAST 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCAL CONDITIONS PREVENT A HORIZONTAL SEPARATION OF 10 FEET, A SEWER MAY BE LAID CLOSER THAN 10 FEET TO A WATER MAIN IF:
 - IT IS LAID IN A SEPARATE TRENCH; OR IF
 - IT IS LAID IN THE SAME TRENCH, WITH THE WATER MAIN LOCATED AT ONE SIDE OF A BENCH OF UNDISTURBED EARTH; AND IF
 - IN EITHER CASE THE ELEVATION OF THE TOP (CROWN) OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM (INVERT) OF THE WATER MAIN.
- VERTICAL SEPARATION- WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE SEWER SHALL BE ELEVATED TO SUCH AN ELEVATION THAT THE TOP OF SUCH SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHEN THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THE ABOVE REQUIREMENTS, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION. FOR A DISTANCE OF 10 FEET EXTENDING ON EACH SIDE OF THE SEWER, IF POSSIBLE, ONE LENGTH OF WATER MAIN SHOULD BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. THE WATER MAIN SHOULD BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT DUCTILE IRON PIPE OR PVC PIPE. BOTH SERVICES SHALL BE PRESSURE TESTED TO ASSURE WATERTIGHTNESS PRIOR TO BACKFILLING. WHERE LESS THAN 18 INCH VERTICAL SEPARATION EXISTS BETWEEN THE WATER AND SEWER LINE, THE SEWER LINE MAY BE CONCRETE ENCASED 10 FEET, MEASURED PERPENDICULARLY FROM THE WATER MAIN, ON EITHER SIDE OF THE WATER MAIN.
- ALL MATERIALS USED AND ALL CONSTRUCTION METHODS EMPLOYED SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR SANITARY SEWER EXTENSIONS FOR CONNOQUEENESS BOROUGH.
- ALL WATER SYSTEM MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH PENNSYLVANIA WATER COMPANY STANDARD SPECIFICATIONS, LATEST EDITION. PIPE TO BE CL52 DUCTILE IRON, CEMENT LINED. ALL FITTINGS TO BE D.I.P. PER AWWA STANDARDS.
- MAXIMUM ALLOWABLE DEFLECTION FOR 8" AND 6" PIPE SHALL NOT EXCEED 5" AND 7" RESPECTIVELY. IN SITUATIONS WHERE THIS LIMIT IS EXCEEDED, FITTINGS SHALL BE USED.
- NO PLANTINGS OR STRUCTURES SHALL BE PLACED WITHIN UTILITY EASEMENTS OR WITHIN 10' OF THE WATER MAIN OR SANITARY SEWER MAIN.
- ALL TRENCHES SHALL BE SHORED IN ACCORDANCE WITH OSHA STANDARDS.
- ALL WATER MAINS SHALL BE CLASS S2, DUCTILE IRON PIPE UNLESS NOTED OTHERWISE. A MINIMUM COVER OF 2 FEET SHALL BE MAINTAINED OVER WATER MAINS.
- METALLIC DETECTOR TAPE SHALL BE PROVIDED OVER ALL PVC PIPE.
- WATER AND SANITARY LATERAL DEPTH SHALL BE 5 FEET AT ALL CROSSINGS OF UTILITY TRENCHES (ELECTRIC, GAS, ETC.).
- MEGA-LUG JOINT RESTRAINTS SHALL BE INSTALLED ON VALVES, FIRE HYDRANTS, BENDS, AND JOINTS WITHIN 30 FEET OF CHANGES IN ALIGNMENT. FITTINGS AND PIPE TO BE RESTRAINED WITH MEGA-LUGS REQUIRE MECHANICAL JOINTS.
- SERVICE LINE TO THE PROPOSED BUILDING SHALL BE OF SIZE TO SUPPORT FIRE SERVICE DEMAND UNTIL DOMESTIC SERVICE LINE IS SPLIT OFF.
- FIRE FLOW REQUIREMENTS SHALL MEET THE INTENT OF TABLE B105.1 OF THE I.F.C., 2006 EDITION.
- A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS EXCEPT AS OTHERWISE REQUIRED OR APPROVED.
- THE CONTRACTOR SHALL CONTACT CONNOQUEENESS BOROUGH ONE WEEK PRIOR TO SANITARY SEWER CONSTRUCTION, AND 72 HOURS PRIOR TO EXCAVATING NEAR AND CONNECTING INTO THE EXISTING SANITARY SEWER.
- TESTABLE DOUBLE CHECK VALVES SHALL BE PROVIDED ON ALL DOMESTIC WATER AND FIRE SERVICE LINES IN ACCORDANCE WITH CONNOQUEENESS BOROUGH STANDARDS.
- CONNECTION TO EXISTING MANHOLES SHOULD BE MADE BY CUTTING REQUIRED OPENING BY SUCH METHODS SO AS TO PREVENT CRACKING AND SPALLING CONCRETE. MAKE OPENINGS OF SUFFICIENT SIZE TO ACCOMMODATE PIPE WITH PVC WATERSTOP INSTALLED AND ONE-INCH ANNULAR GROUT SPACE. GROUT ANNULAR SPACE USING NON-SHRINK, NON-METALLIC GROUT.
- IN ACCORDANCE WITH THE STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR CONNOQUEENESS BOROUGH, SHOP DRAWINGS OF ALL MATERIALS TO BE USED IN THE CONSTRUCTION OF THE SANITARY SEWER SYSTEM MUST BE SUBMITTED.
- PRIOR TO COMMENCING CONSTRUCTION, ALL MATERIALS TO BE USED ON THE JOB MUST BE INSPECTED BY A REPRESENTATIVE OF CONNOQUEENESS BOROUGH. THIS INSPECTION IS TO INSURE CONFORMANCE WITH THE APPROVED SHOP DRAWINGS.
- ALL PROPOSED UTILITIES ARE TO BE INSTALLED UNDERGROUND EXCEPT ELECTRIC.

LEGEND

	PROPERTY / DEED LINE
	EXISTING YELLOW CENTERLINE OF ROAD
	EXISTING 2 FT CONTOURS
	EXISTING POINT ELEVATION
	EXISTING GAS MAIN
	EXISTING OH ELECTRIC
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER
	EXISTING SOIL CLASSIFICATION
	PROPOSED CONTOURS
	PROPOSED 6" ROOF LEADER
	PROPOSED INLET
	PROPOSED NYLOPLAST DRAIN BASIN
	PROPOSED WATER LATERAL
	PROPOSED SANITARY LATERAL

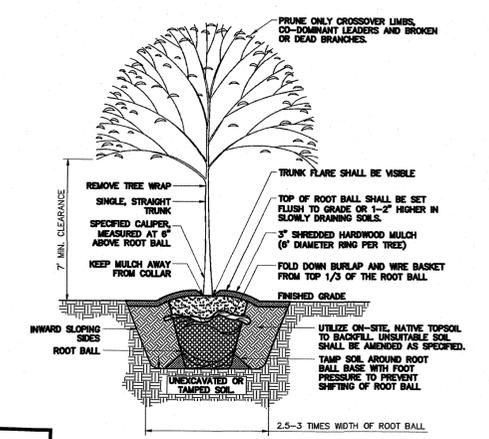
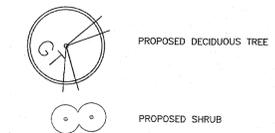
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02	10/17/23	PER BOROUGH ENG REV LETTER DATED 07/26/23	JAC
01	6/15/23	PER BOROUGH ENG REV LETTER DATED 12/19/22	JAC
#	DATE	REVISION	BY
TAX PARCEL NUMBER	APPLICANT: MARIO A. CASTILLO 7396 SW 199TH TERRACE DUNNELLON, FL 34431 Phone: 352-740-0150		
0.26 (11,400 SF) ACREAGE	PROPERTY OWNER: MARIO A. CASTILLO 7396 SW 199TH TERRACE DUNNELLON, FL 34431 Phone: 352-740-0150		
PLAN DATE 10/19/21	UTILITY/GRADING PLAN		
		CONNOQUEENESS BUILDING MULTIPLE-USE BUILDING	
		CADD FILE 2020-0100	
		4 OF 6	



QUANTITY	DESCRIPTION	UNIT	PRICE	TOTAL
15	RED BARK MAPLE	3" CALIPER	4'-0"	60'-0"
15	DOGWOOD	3" HEIGHT	-	-

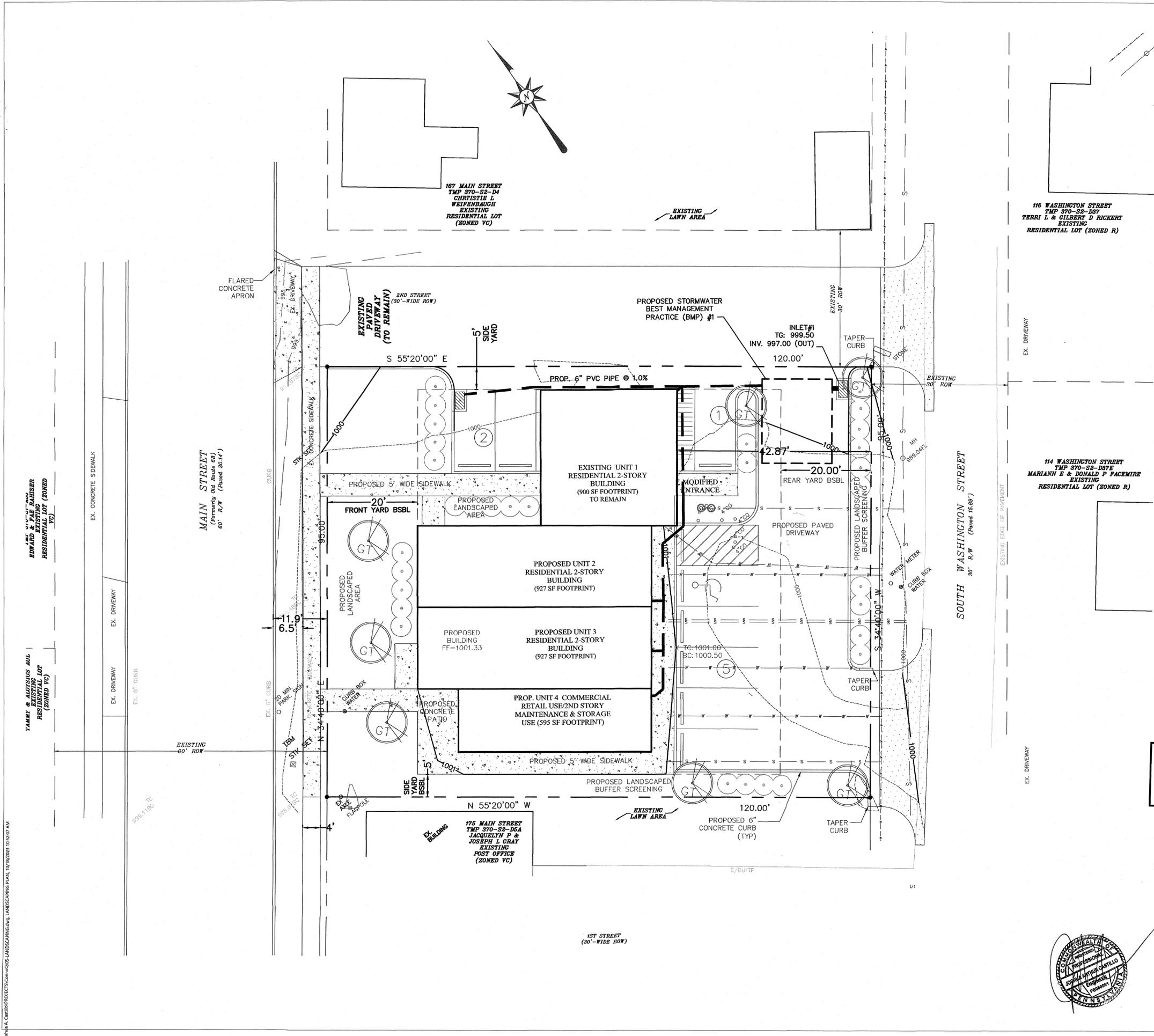
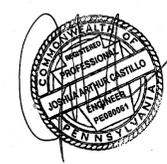
- LIGHTING AND LANDSCAPING NOTES:**
- ALL LANDSCAPING IS TO BE COMPLETED IN ACCORDANCE WITH THE CONNOQUEENESS BOROUGH ORDINANCES.
 - ALL LIGHTING IS TO BE COMPLETED IN ACCORDANCE WITH THE CONNOQUEENESS BOROUGH ORDINANCES.
 - SEE ARCHITECTURAL PLANS FOR FINAL BUILDING ENTRANCE LOCATIONS AND REQUIRED EXTERIOR LIGHTING LOCATIONS, WHICH IS TO BE PLACED ON THE PROPOSED BUILDING.

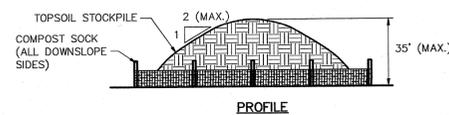
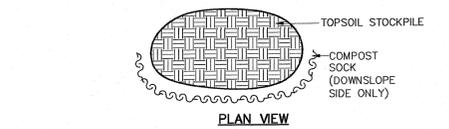


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#	DATE	REVISION	BY
02	10/17/23	PER BOROUGH ENG REV LETTER DATED 07/26/23	JAC
01	6/15/23	PER BOROUGH ENG REV LETTER DATED 12/19/22	JAC

TAX PARCEL NUMBER 370-S2-D5-0000	APPLICANT: MARIO A. CASTILLO 7396 SW 199TH TERRACE DUNNELLON, FL 34431 Phone: 352-740-0150
0.26 (11,400 SF) ACREAGE	PROPERTY OWNER: MARIO A. CASTILLO 7396 SW 199TH TERRACE DUNNELLON, FL 34431 Phone: 352-740-0150
PLAN DATE 10/19/21	LANDSCAPING PLAN CONNOQUEENESS MULTIPLE-USE BUILDING CADD FILE 2020-0100 5 OF 6





COMPOST SOCK MUST BE PLACED AROUND THE PERIMETER OF ALL STOCKPILES. IMMEDIATELY APPLY TEMPORARY SEEDING & MULCH TO ALL STOCKPILES.

TOPSOIL STOCKPILE AREA DETAIL
 NOT TO SCALE

SEEDING, TEMPORARY AND PERMANENT

a) TEMPORARY SEEDING SHALL BE PERFORMED ON ALL DISTURBED SOIL AREAS WITHIN IMMEDIATELY AFTER THE END OF THE GROWING SEASON, AND ON ALL DISTURBED SOIL AREAS IN WHICH ACTIVITIES HAVE CEASED AND WHICH WILL REMAIN EXPOSED. MINIMUM SPECIFICATIONS ARE AS FOLLOWS:

- SPRING AND SUMMER SEEDING: 100% ANNUAL RYEGRASS (LOLIUM MULTIFLORUM) [98% PURITY, 90% GERMINATION, APPLIED AT 48 LBS/ACRE.]
- FALL SEEDING: WINTER RYE (TETRA PETKUS) [98% PURITY, 85% GERMINATION, APPLIED AT 168 LBS/ACRE.]

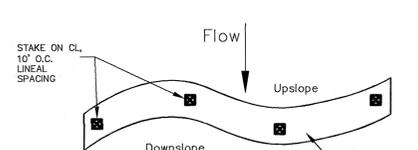
b) PERMANENT SEEDING BE PERFORMED ON ALL DISTURBED SOIL AREAS THAT ARE AT FINISHED GRADE, AND ALL DISTURBED SOIL AREAS THAT WILL NOT BE DISTURBED WITHIN ONE YEAR. MINIMUM SPECIFICATIONS ARE AS FOLLOWS:

- MOWED AREAS:
 - 20% PERENNIAL RYEGRASS MIXTURE (LOLIUM PERENNE), [A COMBINATION OF IMPROVED CERTIFIED VARIETIES WITH NO ONE VARIETY EXCEEDING 25% OF THE TOTAL, 98% PURITY, 90% GERMINATION, APPLIED AT 20 LBS/ACRE]
 - 30% PENNLANW RED FESCUE [98% PURITY, 85% GERMINATION, APPLIED AT 30 LBS/ACRE]
 - 50% KENTUCKY BLUEGRASS MIXTURE (POA PRATENSIS), [A MIXTURE OF IMPROVED CERTIFIED VARIETIES WITH NO ONE VARIETY EXCEEDING 25% OF THE TOTAL, 98% PURITY, 80% GERMINATION, APPLIED AT 55 LBS/ACRE.] OR APPROVED EQUIVALENT.
- FULL SUN NON-MOWED MEADOW AREAS:
 - ERNST CONSERVATION SEEDS EASTERN ECOTYPE NATIVE GRASS MIX ERNMX-177 [98% PURITY, 85% GERMINATION, APPLIED AT 35-40 LBS/ACRE OR 1LB PER 1000 SQ. FT.] OR APPROVED EQUIVALENT.

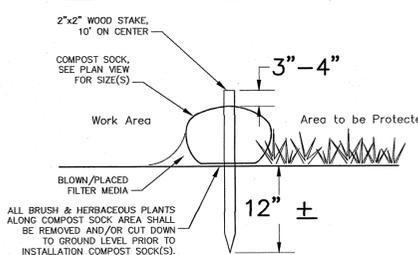
SPECIES	COMMON NAME
Hordeum vulgare	BARLEY
Andropogon gerardii, Niagara	NIAGARA BIG BLUESTEM
Sorghastrum nutans, PA Ecotype	INDIAN GRASS, PA ECOTYPE
Schizachyrium scaparium, PA Ecotype	LITTLE BLUESTEM, PA ECOTYPE
Panicum virgatum, Shelter	SHELTER SWITCH GRASS
• PARTIALLY SHADED NON-MOWED AREAS:	
• ERNST CONSERVATION SEEDS PARTIALLY SHADED AREA ROADSIDE MIX ERNMX-140	[98% PURITY, 85% GERMINATION, APPLIED AT 15 LBS/ACRE OR 1/3 - 1/2 LB PER 1000 SQ. FT.] OR APPROVED EQUIVALENT.
SPECIES	
Elymus hystrix	BOTTLEBRUSH GRASS
Elymus virginicus	VIRGINIA WILD RYE
Schizachyrium scaparium, PA Ecotype	LITTLE BLUESTEM, PA ECOTYPE
Chloroarista fasciculata	PARTRIDGE PEA
Helopsis helianthoides	OX EYE SUNFLOWER/FALSE
Hypericum pyramidatum	GREAT ST. JOHN'S WORT
Monarda fistulosa	WILD BERGAMOT
Panicum clandestinum	TIOGA DEER TONGUE
Panicum laevigatum, PA Ecotype	APPALACHIAN BEARD TONGUE, PA ECOTYPE
Zizia aurea	GOLDEN ALEXANDERS
Penstemon digitalis	TALL WHITE BEARD TONGUE
Desmodium canadense	SHOWY TICK TREFOL
Agrostis perennans	AUTUMN BENTGRASS
Anemone virginiana	THIMBLEWEED
Cimicifuga racemosa	BLACK COHOSH
Vernonia noveboracensis	NEW YORK IRONWEED

c) STRAW MULCH OR HAY MULCH AT THE RATE OF 3.0 TONS/ACRE SHOULD BE APPLIED IN CONJUNCTION WITH ALL TEMPORARY AND PERMANENT SEEDING ACTIVITIES. MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING. MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES 3:1 OR STEEPER. STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN. IF THE MUNICIPALITY PERMITS, HYDRO-SEEDING MAY BE USED IN LIEU OF MULCHING.

d) APPLY STABILIZATION TO ALL SEEDED AREAS.

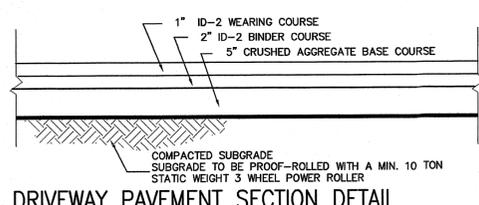


PLAN VIEW: SLOPE PROTECTION (SILT FENCE)

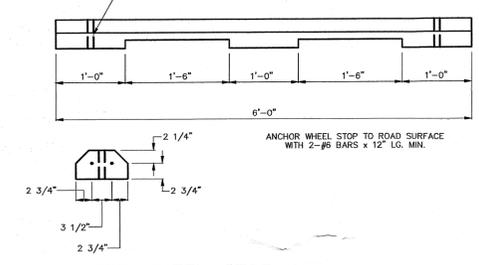


SECTION VIEW: COMPOST SOCK INSTALLATION

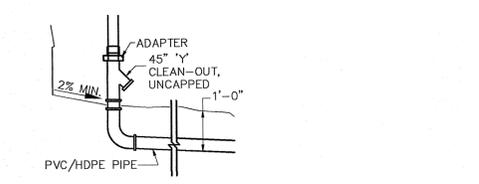
COMPOST FILTER SOCK DETAIL
 NTS



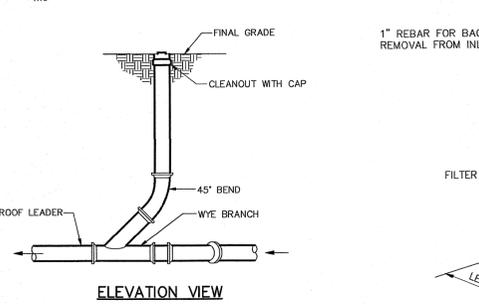
DRIVEWAY PAVEMENT SECTION DETAIL
 NTS



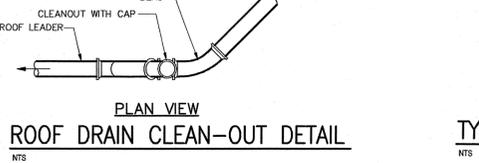
CONCRETE WHEEL-STOP DETAIL
 NTS



ROOF DRAIN DETAIL
 NTS



ELEVATION VIEW

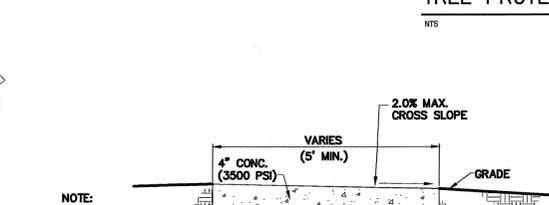


PLAN VIEW

ROOF DRAIN CLEAN-OUT DETAIL
 NTS

- NOTES:
1. COMPOST SOCK SHALL BE "SILT SOCKS" AS SUPPLIED BY MCS INC. (1971 N. BLACK HORSE PIKE, WILLIAMSTOWN, NJ 08094, 856-629-1044, www.mcsnj.com) OR EQUAL PRODUCT BY OTHER MANUFACTURER.
 2. FOR INSTALLATIONS ON EXISTING PAVEMENT, CINDER BLOCKS ON DOWNSTREAM SIDE MAY BE USED IN LIEU OF WOOD STAKES TO ANCHOR THE SOCKS.
 3. UPON COMPLETION OF THE PROJECT, COMPOST MATERIAL SHALL BE MIXED WITH ON-SITE SOIL/TOPSOIL AND SPREAD ON THE SITE AS DETAILED IN SEEDING AND MULCHING SCHEDULE.
 4. SOCK FABRIC SHALL BE 5mil PHOTO-DEGRADABLE, HDPE FOR INSTALLATIONS LESS THAN 9 MONTHS. FOR PROJECTS WITH LONGER DURATIONS, SOCKS SHALL BE MULTI-FILAMENT POLYPROPYLENE FABRIC.
 5. INFILL MATERIAL SHALL BE WEED FREE COMPOST DERIVED FROM WELL-DECOMPOSED ORGANIC MATTER. COMPOST SHALL BE PRODUCED USING AEROBIC COMPOSTING PROCESS MEETING CFR 503 REGULATIONS. COMPOST MATERIAL SHALL MEET THE FOLLOWING REQUIREMENTS:
 - ORGANIC MATTER CONTENT 25% - 100%
 - ORGANIC PORTION FIBROUS & ELONGATED
 - pH 5.5 - 8.5
 - MOISTURE CONTENT 30% - 60%
 - PARTICLE SIZE 30-50% PASS 3/8" SIEVE
 - SOLUBLE SALT 5.0 45/m MAXIMUM
 6. COMPOST SOCKS SHALL BE PLACED AT LEVEL GRADE AND BOTH ENDS EXTENDED 8' MIN. UP SLOPE AT 45° ANGLE.
 7. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED OF IN APPROVED UPLAND AREA.

COMPOST FILTER SOCK DETAIL
 NTS

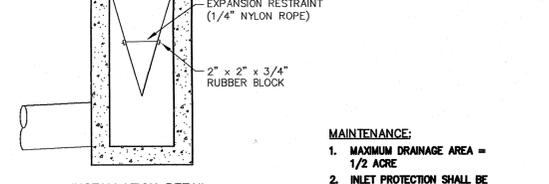


NOTE: 1. BROOM FINISH FOR NON-SLIP SURFACE

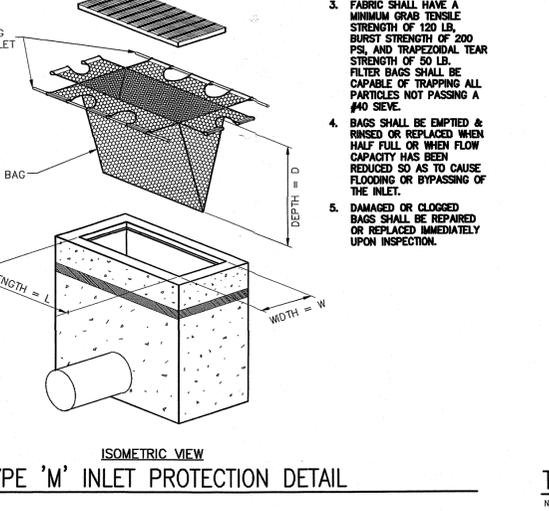
SIDEWALK DETAIL
 NOT TO SCALE



CONCRETE WHEEL-STOP DETAIL
 NTS

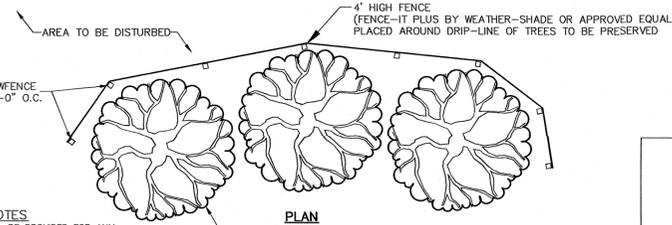


INSTALLATION DETAIL



ISOMETRIC VIEW

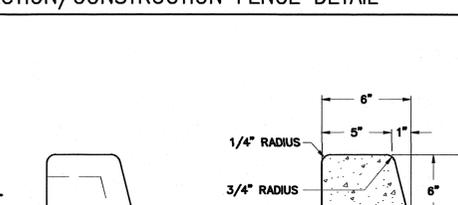
TYPE 'M' INLET PROTECTION DETAIL
 NTS



TREE PROTECTION NOTES

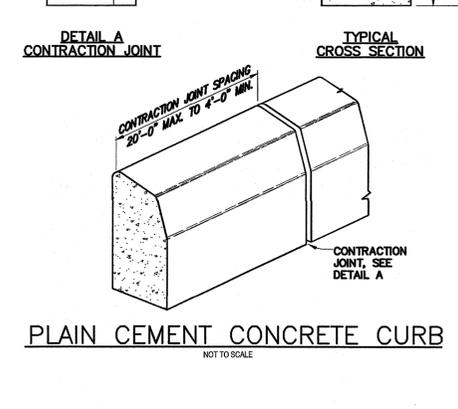
1. TREE PROTECTION SHALL BE PROVIDED FOR ANY AND ALL TREES TO BE PRESERVED DURING AND AFTER CONSTRUCTION TO THE EXTENT NOTED ON THE PLANS. PROTECTION SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION.
2. BOARDS, FENCING, ETC. SHALL NOT BE NAILED TO ANY TREES OR SHRUBS.
3. ROOTS SHALL NOT BE CUT IN AN AREA INSIDE THE DRIP-LINE OF THE TREE BRANCHES.

TREE PROTECTION/CONSTRUCTION FENCE DETAIL
 NTS

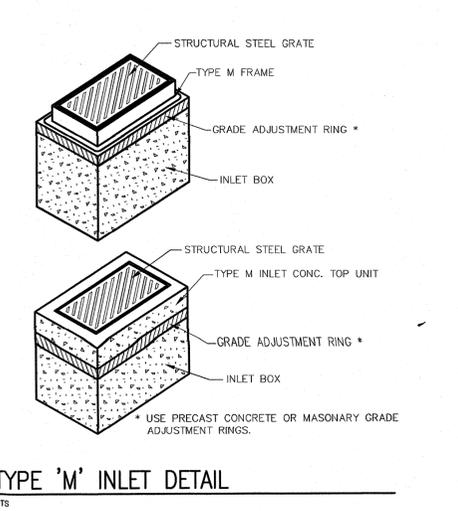


DETAIL A CONSTRUCTION JOINT

TYPICAL CROSS SECTION



PLAIN CEMENT CONCRETE CURB
 NOT TO SCALE



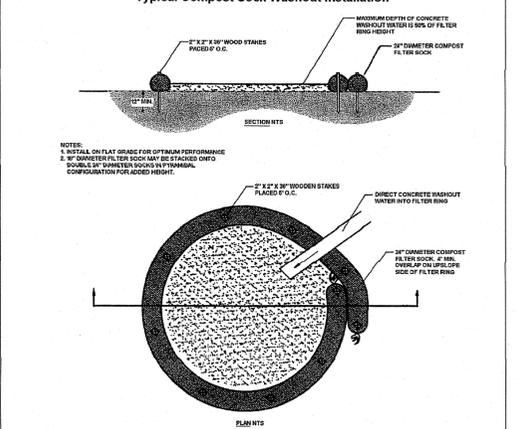
TYPE 'M' INLET DETAIL
 NTS

* USE PRECAST CONCRETE OR MASONARY GRADE ADJUSTMENT RINGS.

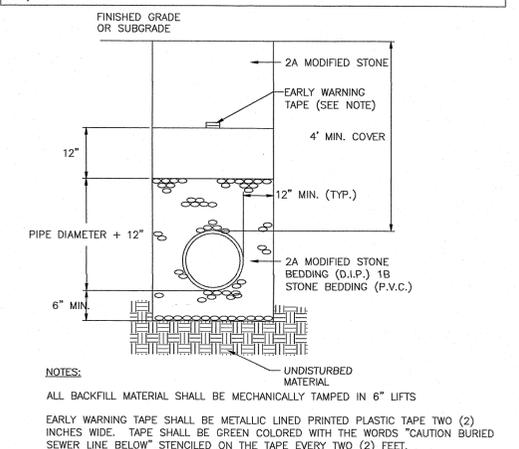
MAINTENANCE:

1. MAXIMUM DRAINAGE AREA = 1/2 ACRE
2. INLET PROTECTION SHALL BE REQUIRED FOR ALL INLETS UNTIL SURFACE RECEIVES FINAL COAT.
3. FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LB, BURST STRENGTH OF 200 PS, AND TRAPEZOIDAL TEAR STRENGTH OF 50 LB. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A #40 SIEVE.
4. BAGS SHALL BE EMPTIED & RAISED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET.
5. DAMAGED OR CLOGGED BAGS SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.

FIGURE 3.18
Typical Compost Sock Washout Installation



A suitable impervious geomembrane shall be placed at the location of the washout prior to installing the sock. Adapted from Filtrxxx



TYPICAL SANITARY TRENCH CONSTRUCTION
 N.T.S.

NOTES:
 ALL BACKFILL MATERIAL SHALL BE MECHANICALLY TAMPED IN 6" LIFTS
 EARLY WARNING TAPE SHALL BE METALLIC LINED PRINTED PLASTIC TAPE TWO (2) INCHES WIDE. TAPE SHALL BE GREEN COLORED WITH THE WORDS "CAUTION BURIED SEWER LINE BELOW" STENOILED ON THE TAPE EVERY TWO (2) FEET.

CONSTRUCTION NOTES

1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE.
2. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
3. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MAINTENANCE:
 ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON THE ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50' INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH BACK WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, STORM SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

ROCK CONSTRUCTION ENTRANCE (RCE)
 NTS

PLAN BOOK	PAGE
418	22

Q2	DATE	DESCRIPTION	BY
02	10/17/23	PER BOROUGH ENG REV LETTER DATED 07/26/23	JAC
01	6/15/23	PER BOROUGH ENG REV LETTER DATED 12/19/22	JAC
#	DATE	REVISION	BY

TAX PARCEL NUMBER 370-S2-D5-0000	APPLICANT: MARIO A. CASTILLO 7396 SW 199TH TERRACE DUNNELLON, FL 34431 Phone: 352-740-0150
0.26 (11,400 SF) ACREAGE	PROPERTY OWNER: MARIO A. CASTILLO 7396 SW 199TH TERRACE DUNNELLON, FL 34431 Phone: 352-740-0150

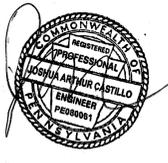
PLAN DATE: 10/19/21

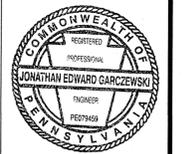
JOSHUA A. CASTILLO
 REGISTERED PROFESSIONAL ENGINEER
 PE#80061

DETAILS 1

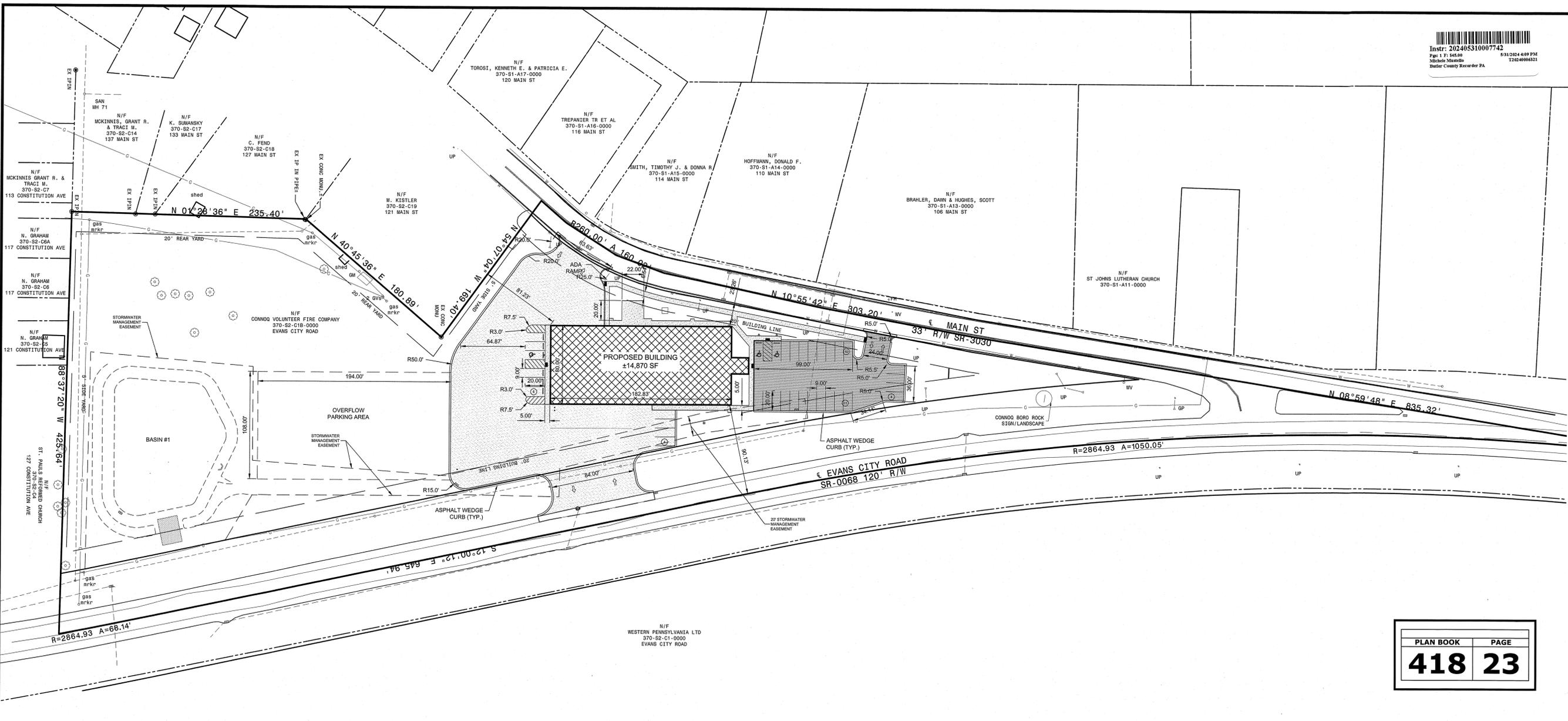
CONNOQUENESSING
 MULTIPLE-USE BUILDING
 CADD FILE 2020-0100

6 OF 6





Date	No	REVISION RECORD
2024-03-08	01	REVISED PER GANNETT FLEMING REVIEW LETTER DATED 2024-02-29
2024-04-11	02	REVISED PER GANNETT FLEMING REVIEW LETTER DATED 2024-04-02
	03	
	04	
	05	
	06	
	07	
	08	



PLAN BOOK	PAGE
418	23

OWNER'S ADOPTION

KNOW ALL MEN BY THESE PRESENTS, THAT CONNOQUEENESS VOLUNTEER FIRE COMPANY, BY VIRTUE OF A RESOLUTION OF ITS BOARD OF DIRECTORS, DOES HEREBY ADOPT THIS AS ITS LAND DEVELOPMENT PLAN OF ITS PROPERTY IN THE BOROUGH OF CONNOQUEENESS, COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCORDING TO IT, DOES HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR DRAINAGE, ALL DRIVES, RIGHT-OF-WAY, EASEMENTS, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAY AND EASEMENTS BY THE BOROUGH OF CONNOQUEENESS, CONNOQUEENESS VOLUNTEER FIRE COMPANY HEREBY COVENANT AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE THE BOROUGH OF CONNOQUEENESS, ITS SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON CONNOQUEENESS VOLUNTEER FIRE COMPANY ITS SUCCESSORS AND ASSIGNS AND PURCHASERS OF ITS LOTS IN THIS PLAN.

IN WITNESS WHEREOF, OF THE SAID CORPORATION HAS CAUSED ITS CORPORATE SEAL TO BE AFFIXED BY THE HAND OF ITS PRESIDENT AND SAME TO BE ATTESTED BY ITS SECRETARY, THIS 9 DAY OF MAY, 2024, A.D., 2024.

ATTEST
[Signature] SEAL
SIGNATURE AND TITLE OF OFFICER WITNESSING
[Signature] SEAL
SIGNATURE AND TITLE OF AUTHORIZED OFFICER
DAVID COTTINGTON

THE FOREGOING DEDICATION IS MADE BY CONNOQUEENESS VOLUNTEER FIRE COMPANY WITH FULL UNDERSTANDING AND AGREEMENT THAT THE APPROVAL OF THE BOROUGH COUNCIL OF THE BOROUGH OF CONNOQUEENESS, IF HERETO ATTACHED WILL BECOME NULL AND VOID UNLESS THIS PLAN IS RECORDED IN THE RECORDER OF DEED OFFICE OF BUTLER COUNTY, COURT HOUSE, BUTLER, PENNSYLVANIA, WITHIN 90 DAYS OF DATE OF SAID APPROVAL.

CONNOQUEENESS VOLUNTEER FIRE COMPANY
[Signature] SEAL
SIGNATURE AND TITLE OF AUTHORIZED OFFICER
DAVID COTTINGTON

BUTLER COUNTY PLANNING COMMISSION REVIEW CERTIFICATE #23148
REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 21 DAY OF AUG 2023.
[Signature] SECRETARY
[Signature] CHAIRPERSON

CORPORATION ACKNOWLEDGMENT

COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER: } SS:
ON THIS 9th DAY OF MAY, 2024, A.D., 2024, BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND COMMONWEALTH, PERSONALLY APPEARED *[Signature]* (NAME), PRESIDENT (TITLE OF OFFICER) OF CONNOQUEENESS VOLUNTEER FIRE COMPANY WHO IS BEING DULY SWORN, DEPOSES AND SAYS THAT HE WAS PERSONALLY PRESENT AT THE EXECUTION OF ADOPTION, RELEASE AND DEDICATION AND SAW THE COMMON AND CORPORATE SEAL OF THE SAID CORPORATION DULY SIGN AND SEALED BY AND AS FOR THE ACT AND DEED OF THE SAID CONNOQUEENESS VOLUNTEER FIRE DEPARTMENT FOR THE USES AND PURPOSES THEREIN MENTIONED, AND THAT THE NAME OF THIS DEPARTMENT SUBSCRIBED TO THE SAID RELEASE AND DEDICATION AS *[Signature]* (TITLE OF OFFICER) OF CONNOQUEENESS VOLUNTEER FIRE COMPANY IN ATTESTATION OF THE DUE EXECUTION AND DELIVERY OF SAID RELEASE AND DEDICATION OF THIS DEPARTMENT'S OWN AND PROPER RESPECTIVE HANDWRITING.

DAVID COTTINGTON
(NAME OF OFFICER)
PRESIDENT
(TITLE OF OFFICER)

SWORN TO AND SUBSCRIBED BEFORE ME THE DAY AND DATE ABOVE WRITTEN.
WITNESS MY HAND AND NOTARIAL SEAL THIS 9 DAY OF MAY, A.D., 2024.

[Signature] (SEAL)
My Commission Expires the 28 day of February 27, 2027.
Member, Pennsylvania Association of Notaries

PROOF OF RECORDING
COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER: }
MICHELE M. MUSTELLO
RECORDER OF DEEDS
My Commission Expires First Monday in January 2028

RECORDED IN THE OFFICE OF DEEDS, PLATS, ETC. IN SAID COUNTY, IN PLAN BOOK #418, PAGE 23.
GIVEN UNDER MY HAND AND SEAL THIS 14 DAY OF MAY, 2024.
[Signature] (RECORDER OF DEEDS)

BOROUGH PLANNING COMMITTEE APPROVAL

THIS PLAN OF SUBDIVISION HAS BEEN RECOMMENDED BY THE PLANNING COMMITTEE OF THE BOROUGH OF CONNOQUEENESS, BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA ON THIS 7th DAY OF March, A.D., 2024.

ATTEST:
[Signature] SECRETARY
[Signature] CHAIRPERSON

APPROVAL BY BOROUGH OF CONNOQUEENESS

THE BOROUGH COUNCIL OF THE BOROUGH OF CONNOQUEENESS, BUTLER COUNTY, PENNSYLVANIA, HEREBY GIVES PUBLIC NOTICE THAT IT IS APPROVING THIS PLAN OF SUBDIVISION FOR RECORDING PURPOSES ONLY. THE APPROVAL OF THIS SUBDIVISION PLAT BY THE BOROUGH OF CONNOQUEENESS DOES NOT CONSTITUTE AN ACCEPTANCE OF THE ROADS, STREETS, ALLEYS, STORMWATER AND SANITARY SEWAGE DRAINAGE FACILITIES, EASEMENTS OR RIGHT-OF-WAY, WATER MAINS OR ANY OTHER SERVICES OR IMPROVEMENTS SHOWN ON THIS PLAN NOR AN ASSUMPTION OF MAINTENANCE RESPONSIBILITY, NOR WILL THE SAME BE ACCEPTED OR MAINTAINED UNTIL CONSTRUCTED IN ACCORDANCE WITH ALL BOROUGH SPECIFICATIONS AND REQUIREMENTS AND OFFICIALLY ACCEPTED BY ACTIONS OF THE BOROUGH COUNCIL.

THIS PLAT OF SUBDIVISION HAS BEEN APPROVED BY THE BOROUGH COUNCIL OF THE BOROUGH OF CONNOQUEENESS, BUTLER COUNTY, COMMONWEALTH OF PENNSYLVANIA ON THIS 2nd DAY OF April, A.D., 2024.

ATTEST:
[Signature] SECRETARY OF COUNCIL
[Signature] PRESIDENT OF COUNCIL

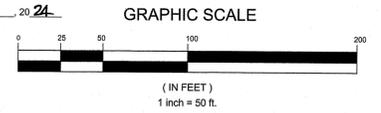
BOROUGH ENGINEER'S APPROVAL

APPROVED BY THE BOROUGH ENGINEER OF CONNOQUEENESS BOROUGH THIS 14th DAY OF MAY, 2024.

[Signature] (ENGINEER)
042880-E (REGISTRATION NUMBER)



SITE LEGEND	
01 CB01	PROPOSED STANDARD DUTY BITUMINOUS PAVEMENT
02 CB01	PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
03 CB01	PROPOSED CONCRETE SIDEWALK
⊙	PROPOSED UTILITY POLE
⊙	PROPOSED PARKING COUNT
⊙	PROPOSED SIGN
⊙ C602	PROPOSED CLEANOUT
⊙ C601	PROPOSED TYPE 'M' INLET
⊙ C602	PROPOSED 2x2 INLET
⊙ C602	PROPOSED HEADWALL/ ENDWALL
⊙ CB01	PROPOSED ADA SYMBOL
⊙ CB01	PROPOSED CONCRETE WHEEL STOP



SITE PLAN NOTES:

- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES.
- ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
- LABELLED DIMENSIONS OVERRIDE SCALED DIMENSIONS.
- ALL NEW MATERIALS AND CONSTRUCTION METHODS MUST MEET PADOT PUBLICATION 406 STANDARDS.
- CONTRACTOR TO WORK AROUND EXISTING UTILITIES. IF ADJUSTMENTS ARE NECESSARY, WORK WILL BE CONSIDERED INCIDENTAL.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE NECESSARY SAFETY MEASURES TO SECURE THE SITE DURING CONSTRUCTION ACTIVITIES.
- THE GATEWAY ENGINEERS, INC. IS NOT RESPONSIBLE TO INSPECT PROJECT SITES TO ENSURE COMPLIANCE WITH OCCUPATIONAL SAFETY HEALTH ADMINISTRATION (OSHA) STANDARDS.
- TACK COAT SHALL BE REQUIRED IF PAVING LIFTS ARE NOT COMPLETED WITHIN 3 DAYS OF EACH OTHER. TACK COAT VERTICAL SURFACES ALONG SAW CUT LIMITS.
- ALL NON-LANDSCAPED ISLANDS SHALL BE PAINTED WITH STRIPES 4" WIDE, AT 45° AND 2 FEET O.C., UNLESS OTHERWISE SPECIFIED. USE ALKYD-RESIN TYPE, READY MIX COMPLYING WITH AASHTO M248, TYPE I COLOR WHITE.
- WITHIN THE LIMITS OF THE PROPOSED DRIVEWAYS THE CONTRACTOR SHALL SAW CUT AND REMOVE THE EXISTING PAVEMENT AND THE EXISTING CURB AND SHOULDER. THE CURB SECTION OF THE PROPOSED DRIVEWAYS SHALL BE DEPRESSED ACROSS THE LIMITS OF EACH DRIVEWAY. THE PROPOSED CURB SHALL MATCH INTO THE EXISTING PAVEMENT AT ALL DRIVEWAY LOCATIONS. THE CONTRACTOR SHALL CLEAN CONTACT SURFACES OF ALL EXISTING PAVEMENTS BEFORE PLACEMENT OF PROPOSED ADJACENT PAVEMENT. ALL JOINTS SHALL BE SEALED WITH A 4-INCH STRIP OF PG 64-22.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH PA DOT PUBLICATION 213 "WORK ZONE TRAFFIC CONTROL" (LATEST REVISION), AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
- A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (PL 242, NO. 428), KNOWN AS THE STATE HIGHWAY LAW BEFORE DRIVEWAY ACCESS TO STATE OWNED RIGHT-OF-WAY IS PERMITTED.
- THE CONNOQUEENESS VOLUNTEER FIRE COMPANY HEREBY GRANTS ACCESS TO THE STORMWATER FACILITIES TO THE BOROUGH, OR THEIR DESIGNEE, TO ALL PROPOSED EASEMENTS AND STORMWATER FACILITIES.



CONNOQUEENESS FIRE STATION
EVANS CITY ROAD (S.R. 68)
RENFREW, PA 16063
CONNOQUEENESS V.F.C.
180 MAIN STREET, P.O. BOX 242
CONNOQUEENESS, PA 16027

SITE PLAN
Project Number: 41262-0002
Drawing Scale: 1" = 50'
Date Issued: JAN, 2024
Index Number: -
Drawn By: VARIES
Checked By: JEG
Project Manager: JEG

C101

Path: & File: \Projects\41262-0002 Land Development\Drawings\02-SitePlan.dwg
Plot Date: 5/8/2024 6:46 AM
User: Jonathan E. Garczewski, P.E.
Scale: 1/8" = 1'-0"

THE GATEWAY ENGINEERS, INC. RETAINS OWNERSHIP RIGHTS OF ALL DATA WITHIN THE PLANS. DATA CONTAINED HEREIN IS ONLY TO BE USED FOR ITS INTENDED PURPOSE BY ITS RESPONSIBLE PARTY. THE USE, REPLICATION, REPRODUCTION, OR REDISTRIBUTION OF DATA CONTAINED WITHIN IS STRICTLY PROHIBITED AND SUBJECT TO LEGAL ACTION.

PENNSYLVANIA AMERICAN WATER

BUTLER DISTRICT

BUTLER WATER TREATMENT PLANT

CHEMICAL IMPROVEMENTS PROJECT

CERTIFICATION OF OWNERSHIP AND ACKNOWLEDGEMENT OF LAND DEVELOPMENT AND STORMWATER MANAGEMENT PLAN
 COMMONWEALTH OF PENNSYLVANIA, COUNTY OF Washington

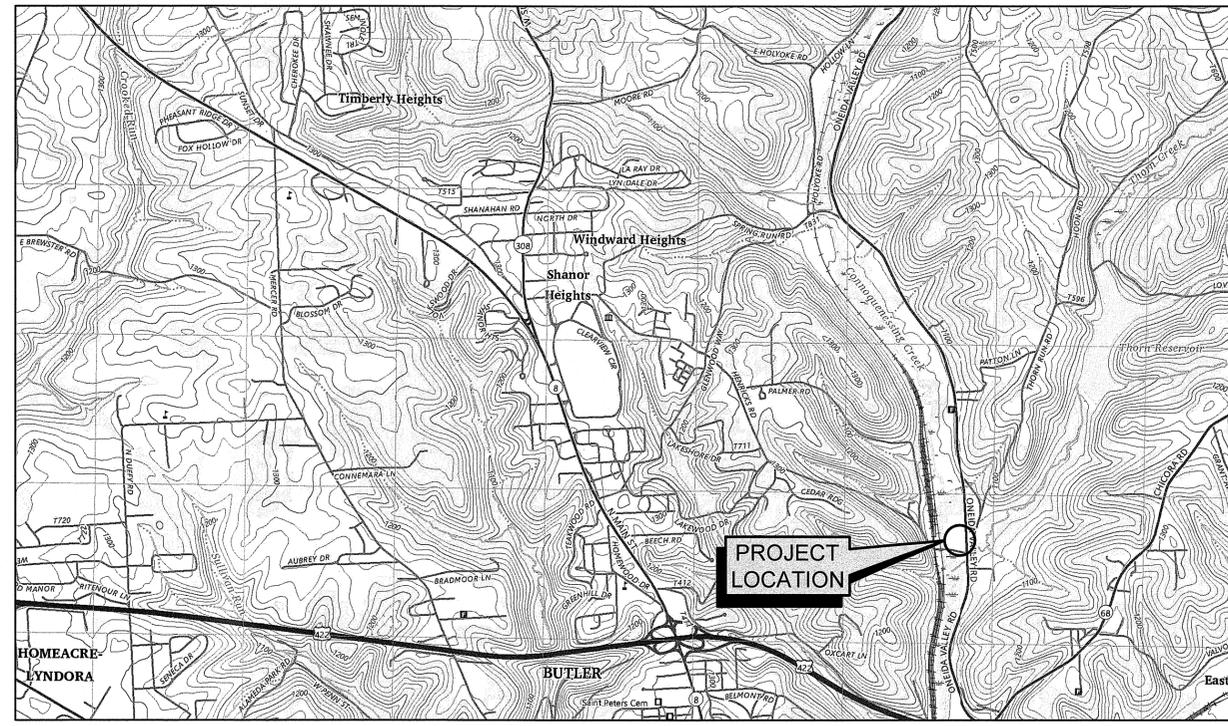
ON THIS, THE 29th DAY OF May, 2024 BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED J. A. Ficus, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND STATES THAT THEY ARE AUTHORIZED BY THE PENNSYLVANIA AMERICAN WATER COMPANY, INC. TO APPROVE THIS PLAN AS THE OWNER OF THE PROPERTY AND THAT THEY ACKNOWLEDGE THE SAME TO BE THE ACT AND PLAN OF PENNSYLVANIA AMERICAN WATER COMPANY, INC. AND DESIRES THE SAME TO BE RECORDED, AS SUCH, ACCORDING TO LAW.

FURTHERMORE, THE PENNSYLVANIA AMERICAN WATER COMPANY, INC. ACKNOWLEDGES THAT THE STORMWATER MANAGEMENT BEST MANAGEMENT PRACTICES (BMPs) INDICATED ON THE STORMWATER MANAGEMENT SITE PLANS ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY OAKLAND TOWNSHIP. THAT ANY STORMWATER MANAGEMENT OPERATION AND MAINTENANCE (O&M) AGREEMENT BETWEEN PENNSYLVANIA AMERICAN WATER COMPANY, INC. AND OAKLAND TOWNSHIP IS A PART OF THE STORMWATER MANAGEMENT SITE PLAN AND THAT RECORD DRAWINGS WILL BE PROVIDED FOR ALL STORMWATER MANAGEMENT FACILITIES PRIOR TO OCCUPANCY OR THE RELEASE OF ANY SURETY BOND.

WITNESS MY HAND AND SEAL ON THE DAY AND DATE WRITTEN ABOVE.

SIGNATURE [Signature]
 Commonweal of Pennsylvania - Notary Seal
 James L. McKinstry, Notary Public
 Washington County
 My commission expires June 10, 2026
 Commission number 1334334
 Member, Pennsylvania Association of Notaries

SIGNATURE OF NOTARY PUBLIC
 MY COMMISSION EXPIRES June, 2026



LOCATION MAP

SCALE: 1" = 2000'
 2000' 1000' 0' 2000' 4000'

CREDIT: U.S. GEOLOGICAL SURVEY
 DEPARTMENT OF THE INTERIOR/USGS
 U.S. GEOLOGICAL SURVEY

- GENERAL NOTES**
1. **APPLICANT INFORMATION:**
 PENNSYLVANIA AMERICAN WATER COMPANY, INC.
 425 WATERWORKS ROAD
 CLARION, PA 16214
 PHONE NUMBER: 814-226-5612
 2. **OWNER INFORMATION:**
 PENNSYLVANIA AMERICAN WATER COMPANY, INC.
 825 WESLEY DRIVE
 MECHANICSBURG, PA 17055
 3. **PROPERTY ADDRESS:**
 203 ONEIDA VALLEY ROAD, BUTLER, PA 16001
 4. **MUNICIPALITY:** OAKLAND TOWNSHIP
 5. **COUNTY:** BUTLER
 6. **PARCEL ID:** 250-2f20-31GA1
 7. **LIMIT OF DISTURBANCE =** 0.33 ACRES

BUTLER COUNTY RECORDER OF DEEDS CERTIFICATION
 COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER RECORDED ON THIS 3 DAY OF June, 2024 IN THE RECORDER OF DEEDS OFFICE, IN PLAN BOOK 418, PAGE 24-36

WITNESS MY HAND AND SEAL ON THE DAY AND DATE WRITTEN ABOVE.

[Signature]
MICHELE M. MUSTELLO
 RECORDER OF DEEDS
 My Commission Expires First Monday in January 2028



INDEX OF DRAWINGS	
SHEET NO.	TITLE
GENERAL	
-	COVER
CIVIL	
C1	GENERAL NOTES, LEGENDS AND ABBREVIATIONS
C2	GENERAL LOCATION AND CONTROL DATA PLAN
C3	SITE PLAN
C4	MISCELLANEOUS DETAILS
C5	GRADING / STORMWATER MANAGEMENT PLAN
C6	EROSION AND SEDIMENT CONTROL PLAN
C7	EROSION AND SEDIMENT CONTROL DETAILS
C8	EROSION AND SEDIMENT CONTROL DETAILS
C9	EROSION AND SEDIMENT CONTROL NOTES
S2	STRUCTURAL TYPICAL DETAILS
S3	STRUCTURAL PLAN & SECTIONS

OAKLAND TOWNSHIP PLANNING COMMISSION CERTIFICATION OF APPROVAL

THE LAND DEVELOPMENT PLAN HAS BEEN REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF OAKLAND, BUTLER COUNTY, PENNSYLVANIA ON THE 4th DAY OF November, 2023

ATTEST
[Signature] CHAIRMAN
[Signature] SECRETARY

OAKLAND TOWNSHIP BOARD OF SUPERVISORS CERTIFICATION OF APPROVAL

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF OAKLAND, BUTLER COUNTY, PENNSYLVANIA, HEREBY GIVES PUBLIC NOTICE THAT IT IS APPROVING THIS LAND DEVELOPMENT PLAN FOR RECORDING PURPOSES ONLY. THE APPROVAL OF THIS LAND DEVELOPMENT PLAN BY THE TOWNSHIP OF OAKLAND DOES NOT CONSTITUTE AN ACCEPTANCE OF THE ROADS, STREETS, ALLEYS, STORMWATER AND SANITARY SEWAGE DRAINAGE FACILITIES, EASEMENTS, OR RIGHTS-OF-WAY, WATER MAINS OR ANY OTHER SERVICES OR IMPROVEMENTS SHOWN ON THIS PLAN NOR AN ASSUMPTION OF MAINTENANCE OF REASONABILITY.

THIS LAND DEVELOPMENT PLAN APPROVED BY RESOLUTION OF THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF OAKLAND, BUTLER COUNTY, PENNSYLVANIA ON THIS THE 1 DAY OF May, 2024

ATTEST
[Signature] CHAIRMAN OF BOARD
[Signature] SECRETARY OF BOARD

BUTLER COUNTY PLANNING COMMISSION REVIEW
 REVIEWED APPROVED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 13TH DAY OF DEC, 2023

[Signature] CHAIRMAN
[Signature] SECRETARY
[Signature] PLANNING DIRECTOR

SEE COMMENTS ON FILE AT THE BUTLER COUNTY PLANNING COMMISSION
 PLAN NUMBER: 23225

DESIGN PROFESSIONAL'S STORMWATER MANAGEMENT PLAN CERTIFICATE

I, BRENT RAMSEY, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE OAKLAND TOWNSHIP'S STORMWATER MANAGEMENT ORDINANCE.

[Signature]
 BRENT RAMSEY, P.E.
 PENNSYLVANIA LICENSE NO. 085610

MUNICIPAL ENGINEER'S STORMWATER MANAGEMENT PLAN CERTIFICATE

I, Thomas L. Thompson, HAVE REVIEWED THIS STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF THE OAKLAND TOWNSHIP'S STORMWATER MANAGEMENT ORDINANCE.

[Signature]

PLAN BOOK	PAGE
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THIS DRAWING IS AND SHALL REMAIN THE PROPERTY OF GANNETT FLEMING, INC. ANY REUSE, ALTERATIONS, ADDITIONS, AND/OR DELETIONS OF THESE DRAWINGS OR PROJECT EXTENSIONS OR OTHER PROJECTS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO GANNETT FLEMING, INC. IN THE EVENT THAT ANY DISCREPANCIES OR CONFLICTS BETWEEN THE SEALED DRAWINGS AND THE ELECTRONIC FILES IN THE PROJECT DRAWINGS WILL OCCUR.

[Signature]
 BRENT M. RAMSEY
 LICENSED PROFESSIONAL ENGINEER
 PENNSYLVANIA, NO. 085610

SHADED FACILITIES

	MASONRY WALL (PLANS AND SECTIONS)
	FILL CONCRETE (USED ON SECTIONS)
	REINFORCED CONCRETE (USED ON SECTIONS)
	DEMOLITION

CIVIL/SITE SYMBOLS

	AIR RELEASE MANHOLE
	BENCH MARK
	BORING
	BUTTERFLY VALVE AND VALVE BOX
	CATCH BASIN/INLET
	CHECK VALVE
	CONTROL POINT
	EXISTING GAS VALVE
	EXISTING GAS CURB BOX
	GATE VALVE AND VALVE BOX
	HYDRANT
	LIGHT
	MANHOLE
	SIGN
	SIGNAL
	UTILITY POLE
	TEST PIT
	TREES, BUSHES AND SHRUBS
	VENT
	WATER CURB BOX
	EXISTING WATER VALVE

ANY BORINGS, SOUNDINGS, TEST PILES, SUBSURFACE CONDITIONS AND LOCATIONS OF AND NATURE OF EXISTING UNDERGROUND STRUCTURES SHOWN OR INDICATED ON THIS DRAWING ARE FOR THE INFORMATION OF THE OWNER AND IN NO EVENT IS THIS INFORMATION TO BE CONSIDERED AS PART OF THE CONTRACT. SEE PROJECT MANUAL.

THIS SHEET IS FOR CIVIL/SITE SYMBOLS AND ABBREVIATIONS ONLY. REFER TO ARCHITECTURAL, STRUCTURAL, PROCESS, INSTRUMENTATION, MECHANICAL AND ELECTRICAL DRAWINGS FOR SYMBOLS AND ABBREVIATIONS FOR THAT WORK.

LINE COMPOSITION

NEW FACILITIES SHOWN WITH HEAVIER AND BOLDER LINE WORK WITH CALLOUTS IN UPPERCASE LETTERS. EXISTING FACILITIES SHOWN WITH LIGHT LINE WORK WITH CALLOUTS IN UPPER AND LOWERCASE LETTERS.

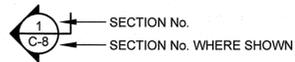
EXISTING LINE WORK

	AIR LINE
	BITUMINOUS ROAD SURFACE AND DRIVES
	CENTER LINE
	CONCRETE SIDEWALK OR RETAINING WALL
	DITCH, STREAM OR SWALE
	FENCE
	FIVE FOOT CONTOUR INTERVAL
	GAS MAIN AND VALVE
	GRAVEL OR EARTH DRIVES
	MISCELLANEOUS UTILITY
	ONE FOOT CONTOUR INTERVAL
	OVERHEAD ELECTRIC LINE
	OVERHEAD TELEPHONE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	SANITARY FORCE MAIN
	SANITARY SEWER AND MANHOLE
	SLUDGE LINE
	STORM SEWER AND INLET
	SOIL BOUNDARY LINE
	UNDERGROUND ELECTRIC CABLE
	UNDERGROUND TELEPHONE CABLE
	WASTEWATER MAIN
	WATER MAIN AND VALVE
	WOOD OR VEGETATION LINE

PROPOSED LINE WORK

	PROPOSED PIPE (4" DIA. AND LARGER)
	PROPOSED PIPE (3" DIA. AND SMALLER)
	STORM SEWER AND INLET
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	TEMP. CONSTRUCTION EASEMENT LINE
	GRADING SLOPE
	SLOPE DIRECTION

CIVIL SHEET REFERENCE LEGEND



GENERAL NOTES

- ALL ELEVATIONS REFER TO U.S.G.S. NAVD 88 DATUM.
- HORIZONTAL CONTROL IS BASED UPON STATE PLANE COORDINATE SYSTEM.
- INFORMATION SHOWN HEREIN IS BASED ON RECORD DRAWINGS PROVIDED BY AMERICAN WATER MARCH 2023.
- FROM INVESTIGATIONS AND FIELD SURVEYS, IT IS ASSUMED THAT LOCATIONS OF PHYSICAL CONDITIONS, UTILITIES, ETC., ARE APPROXIMATE AND THE NATURE OF MATERIALS IS NOT GUARANTEED.
- THE CONTRACTOR SHALL BE REQUIRED TO VERIFY ALL CONDITIONS AND DIMENSIONS OF THE JOB SITE BEFORE PROCEEDING WITH THE WORK AND SHALL MAKE MINOR ADJUSTMENTS AS REQUIRED ON THE JOB. SUCH ADJUSTMENTS ARE TO BE APPROVED BY THE ENGINEER AND THE OWNER.
- LOCATION AND DEPTH OF EXISTING UTILITY LINES INCLUDING SERVICES SHALL BE VERIFIED BY THE CONTRACTOR IN ADVANCE OF THE WATER MAIN CONSTRUCTION. EXTREME CARE SHALL BE EXERCISED WHEN EXCAVATING EXISTING UTILITY LINES. HAND EXCAVATION ONLY WILL BE PERMITTED IN THE VICINITY OF EXISTING PIPES AND/OR CONDUITS. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- THE CONTRACTOR SHALL SUSTAIN IN THEIR PLACES AND PROTECT FROM DIRECT OR INDIRECT INJURY ALL PIPES, CONDUITS, TRACKS, UTILITY POLES, GUIDE RAILS, GUARD POSTS, WALLS, FOUNDATIONS, BUILDINGS, AND OTHER STRUCTURES OR PROPERTY IN THE VICINITY OF HIS WORK, WHETHER ABOVE OR BELOW GROUND, OR THAT MAY APPEAR IN THE TRENCH, PIPES AND UNDERGROUND CONDUITS EXPOSED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE ADEQUATELY SUPPORTED ALONG THEIR ENTIRE EXPOSED LENGTHS.
- AT POINTS OF CONNECTION, CONTRACTOR SHALL EXPOSE EXISTING WATER MAINS TO VERIFY LOCATION, GEOMETRY, AND MATERIAL REQUIREMENTS PRIOR TO ORDERING MATERIALS OR STARTING CONSTRUCTION OF ANY MAIN CONNECTING THERE TO.
- THE CONTRACTOR SHALL EXERCISE SPECIAL CARE WHEN WORKING IN RIGHT OF WAYS SO AS NOT TO DAMAGE TREES AND SHRUBS THAT ARE TO BE MAINTAINED. ALL SIGNS, MAILBOXES, FENCES, LAWNS, SHRUBS, HEDGES, TREES, OTHER LANDSCAPING, DRIVEWAYS, ETC., DISTURBED DURING CONSTRUCTION SHALL BE REPLACED IN KIND.

GENERAL ABBREVIATIONS

CLR	CLEARANCE
€	CENTERLINE
CMU	CONCRETE MASONRY UNIT
DIA	DIAMETER
EC	ELECTRICAL CONTRACT
EL or ELEV	ELEVATION
EX	EXISTING
FT	FOOT OR FEET
GC	GENERAL CONTRACT
ID	INSIDE DIAMETER
INV	INVERT
MAX	MAXIMUM
MC	MECHANICAL CONTRACT
MIN	MINIMUM
NA	NOT APPLICABLE
NTS	NOT TO SCALE
OD	OUTSIDE DIAMETER
PC	PLUMBING CONTRACT
PL	PLATE
SHT	SHEET
SQ	SQUARE
STA	STATION
TYP	TYPICAL
W	WATER
WW	WASTEWATER

MATERIAL

AL	ALUMINUM
ACP	ASBESTOS CEMENT PIPE
CI	CAST IRON
CIP	CAST IRON PIPE
CISP	CAST IRON SOIL PIPE
CMP	CORRUGATED METAL PIPE
CPVC	CHLORINATED POLYVINYL CHLORIDE PIPE
CU	COPPER
DI	DUCTILE IRON
DIP	DUCTILE IRON PIPE
FRP	FIBERGLASS REINFORCED PLASTIC
GI	GALVANIZED IRON
GLDIP	GLASS LINED DUCTILE IRON PIPE
HDPE	HIGH DENSITY POLYETHYLENE
PCCP	PRESTRESSED CONCRETE CYLINDER PIPE
PEX	CROSS-LINKED POLYETHYLENE
PVC	POLYVINYL CHLORIDE PIPE
RCCP	REINFORCED CEMENT CONCRETE PIPE
SS	STAINLESS STEEL
STL	STEEL

CIVIL/SITE ABBREVIATIONS

AVE	AVENUE
BIT	BITUMINOUS
CB	CATCH BASIN/INLET
CC	CHEMICAL CONDUIT
CIR	CIRCLE
CM	CONCRETE MONUMENT
D	DRAIN
DR	DRIVE
FH	FIRE HYDRANT
G	GAS
GCB	GAS CURB BOX
GV	GAS VALVE
HYD	HYDRANT
IP	IRON PIN
MAC	MACADAM
MH	MANHOLE
MJ	MECHANICAL JOINT
NC	NETWORK CABLE
OE	OVERHEAD ELECTRICAL
OT	OVERHEAD TELEPHONE
PL	PROPERTY LINE
PM	PIPELINE MARKER
PC	POINT OF CURVE
PI	POINT OF INTERSECTION
POB	POINT OF BEGINNING
POE	POINT OF ENDING
POL	POINT ON LINE
PT	POINT OF TANGENT
PVC	POINT OF VERTICAL CURVE
PVT	POINT OF VERTICAL TANGENT
RD	ROAD
RJ	RESTRAINED JOINT
RTE	ROUTE
RW	RAW WATER
S	SANITARY SEWER
SD	STORM DRAIN
SS	STORM SEWER
ST	STREET
SWS	SHORT WATER SERVICE
UGE	UNDERGROUND ELECTRIC
UGT	UNDERGROUND TELEPHONE
W	WATER
WARG	WEDGE ACTION RETAINING GLAND
WCB	WATER CURB BOX
WS	WATER SERVICE
WV	WATER VALVE

PLAN BOOK	PAGE
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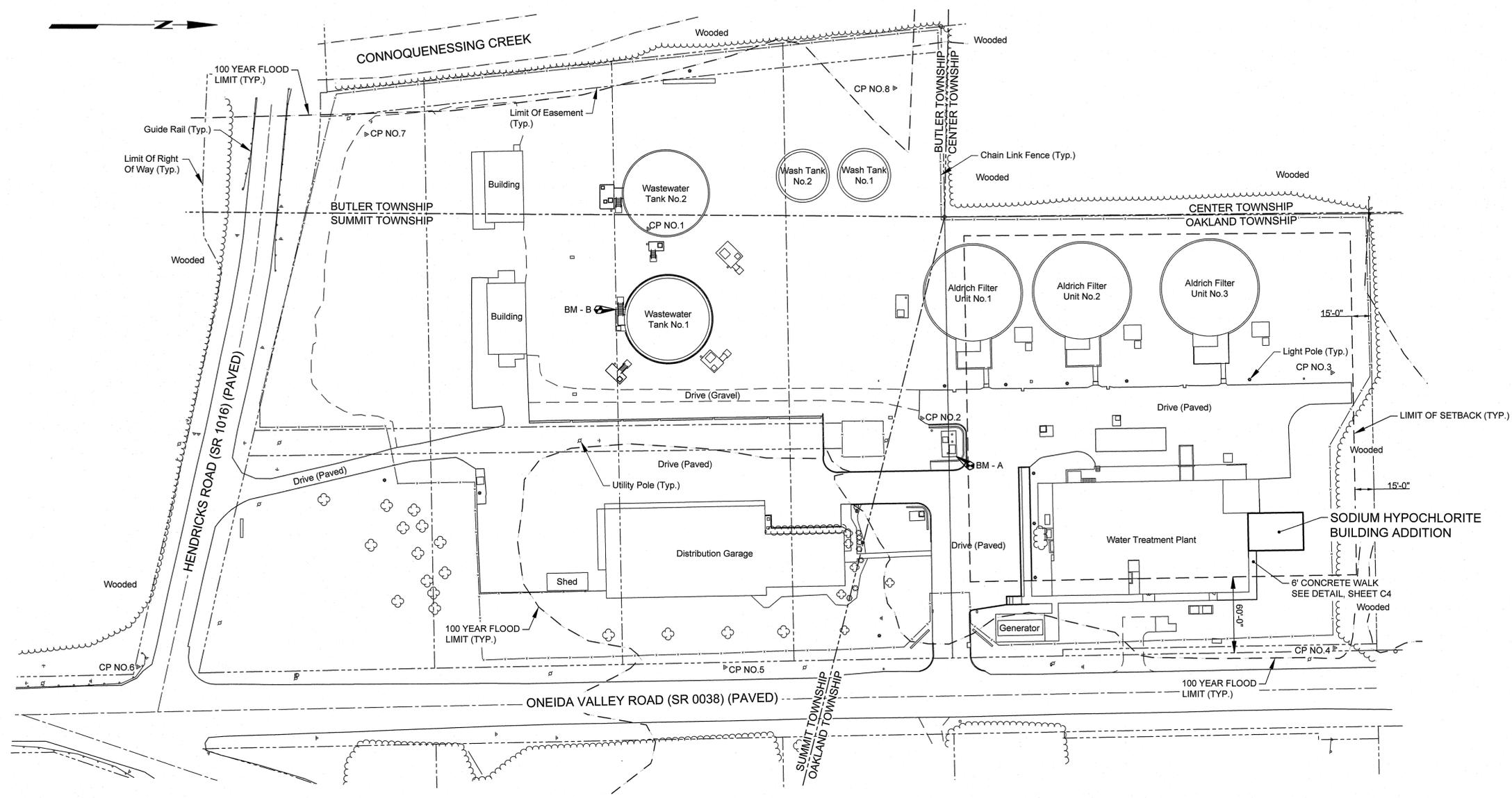
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AMERICAN WATER ENGINEERING 1 WATER STREET CAMDEN, NJ 08102	
AMERICAN WATER	
DRAWN BY	ARH
PROJECT ENGR	BMR
DATE	DECEMBER 2023
PROJECT	74744

**BUTLER WATER TREATMENT PLANT
CHEMICAL IMPROVEMENTS PROJECT
CIVIL
GENERAL NOTES, LEGENDS AND ABBREVIATIONS**

BUTLER, PA	BUTLER DISTRICT	USE DIMENSIONS ONLY SCALE - AS NOTED
USE APPROVED DRAWINGS ONLY FOR CONSTRUCTION PURPOSES	LDP PERMIT SUBMISSION	24-330016-C1



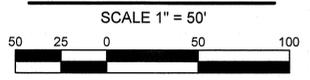
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CP NO.2	N 572952.25	E 1380899.79	EL. 1009.39
CP NO.3	N 573275.08	E 1380863.26	EL. 1009.94
CP NO.4	N 573277.22	E 1381080.84	EL. 1011.58
CP NO.5	N 573797.33	E 1381096.79	EL. 1012.52
CP NO.6	N 572335.35	E 1381096.92	EL. 1009.89
CP NO.7	N 572514.31	E 1380675.83	EL. 1012.93
CP NO.8	N 572930.29	E 1380638.61	EL. 1008.88

BENCHMARK

- BM - A SQUARE CUT ON NORTHEAST CORNER OF A CONCRETE CHAMBER, APPROXIMATELY 200 FT WEST OF THE INTERSECTION OF THE MAIN PLANT ENTRANCE TO PAW-WTF FACILITY AND ONEIDA VALLEY ROAD (SR 0038) - EL. 1013.23
- BM - B SQUARE CUT ON SOUTHWEST CORNER OF THE CONCRETE PAD FOR THE WASTEWATER TANK, APPROXIMATELY 155 FT WEST OF THE SOUTHWEST CORNER OF THE DISTRIBUTION GARAGE - EL. 1009.35

LOCATION PLAN



NOTICE
 GANNETT FLEMING, INC. ADVISES THAT IT HAS COMPLIED WITH THE PROVISIONS OF THE UNDERGROUND UTILITY LINE PROTECTION LAW, ACT 287 OF 1974 AS AMENDED, IN PREPARING THESE DRAWINGS REQUIRING EXCAVATION OR DEMOLITION WORK AT SITES WITHIN THE COMMONWEALTH OF PENNSYLVANIA. GANNETT FLEMING, INC. DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE OR GUARANTY THAT THE INFORMATION RECEIVED PURSUANT TO SAID ACT AND REFLECTED ON THESE DRAWINGS IS CORRECT OR ACCURATE, BUT IS REFLECTING SAID INFORMATION ON THESE DRAWINGS IN ACCORDANCE WITH THE REQUIREMENT OF SUCH ACT. CONTRACTORS ARE REMINDED OF THEIR OBLIGATION TO NOTIFY FACILITY OWNER(S) VIA ONE CALL(S) AT 1-800-242-1776 OR 412-464-7100 (PITTSBURGH AREA) NOT LESS THAN 3 OR MORE THAN 10 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.



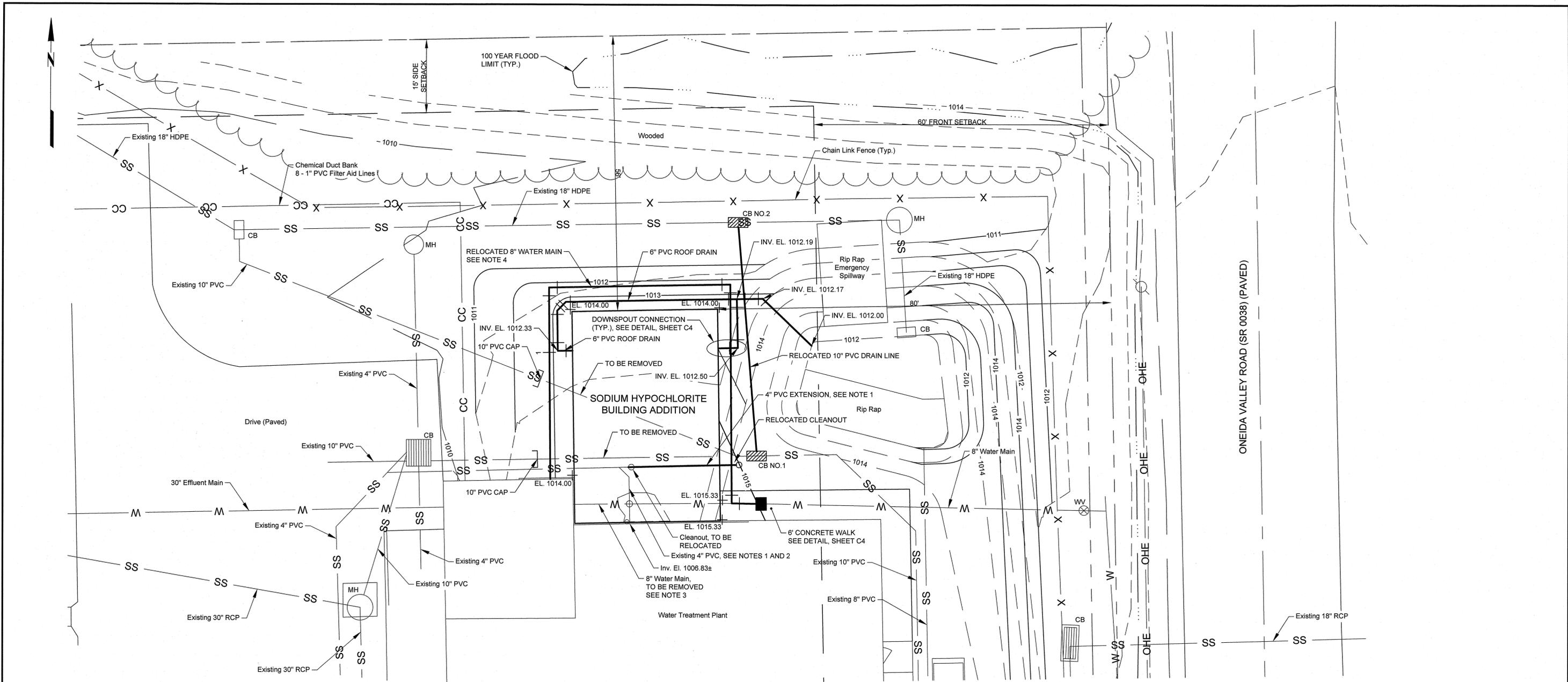
**Know what's below.
 Call before you dig.**
 PENNSYLVANIA ONE CALL SYSTEM, INC.
 CALL 3 BUSINESS DAYS BEFORE YOU DIG!
 1-800-242-1776 OR 8-1-1
 POCS SERIAL NO.: 20232763936

DATE: 10/3/2023 BY: Ashley Hetrick
 GANNETT FLEMING, INC.

FILE PATH: C:\Users\ahetrick\DCACCDocs\GANNETT FLEMING
 INC\074744-PAW-Butler-WTP\Project Files\Design\ESWTR\Civil\24330016C2.dwg
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PLAN BOOK	PAGE
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	REVISIONS	 HARRISBURG, PENNSYLVANIA	 BRENT M. RAMSEY ENGINEER No. PE099970 PENNSYLVANIA	AMERICAN WATER ENGINEERING 1 WATER STREET CAMDEN, NJ 08102 	BUTLER WATER TREATMENT PLANT CHEMICAL IMPROVEMENTS PROJECT CIVIL GENERAL LOCATION PLAN AND CONTROL DATA		
	DRAWN BY: ARH PROJECT ENGR: BMR			DATE: DECEMBER 2023			
	DATE: DECEMBER 2023			PROJECT: 74744	USE APPROVED DRAWINGS ONLY FOR CONSTRUCTION PURPOSES	BUTLER DISTRICT LDP PERMIT SUBMISSION	24-330016-C2



SITE PLAN

SCALE 1" = 10'



PIPELINE CONTROL

NAME	SIZE	FITTING	STATION	NORTHING	EASTING	ELEVATION
RELOCATED WATER MAIN	8"	SOLID SLEEVE	0+00.00	573213.02	1381012.49	1007.00±
		90° BEND HORZ.	0+05.00	573213.10	1381006.49	1007.00±
		90° BEND HORZ.	0+49.78	573257.87	1381006.11	1008.50
		90° BEND HORZ.	0+86.73	573257.17	1380969.17	1008.50

NOTES

- EXISTING 4" PVC AND 4" PVC EXTENSION TO BE CONCRETE ENCASED UNDER PROPOSED SODIUM HYPOCHLORITE BUILDING ADDITION.
- RELOCATE 4" PVC AS REQUIRED TO ALLOW INSTALLATION OF PILES.
- EXISTING 8" WATER MAIN TO BE REMOVED FROM CONNECTION POINT AT 8" SOLID SLEEVE TO EXISTING BUILDING.
- RELOCATED 8" WATER MAIN TO BE RESTRAINED JOINT DUCTILE IRON PIPE AND FITTINGS.

PLAN BOOK	PAGE
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NOTICE
 GANNETT FLEMING, INC. ADVISES THAT IT HAS COMPLIED WITH THE PROVISIONS OF THE UNDERGROUND UTILITY LINE PROTECTION LAW, ACT 287 OF 1974 AS AMENDED, IN PREPARING THESE DRAWINGS REQUIRING EXCAVATION OR DEMOLITION WORK AT SITES WITHIN THE COMMONWEALTH OF PENNSYLVANIA. GANNETT FLEMING, INC. DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE OR GUARANTY THAT THE INFORMATION RECEIVED PURSUANT TO SAID ACT AND REFLECTED ON THESE DRAWINGS IS CORRECT OR ACCURATE, BUT IS REFLECTING SAID INFORMATION ON THESE DRAWINGS IN ACCORDANCE WITH THE REQUIREMENT OF SUCH ACT. CONTRACTORS ARE REMINDED OF THEIR OBLIGATION TO NOTIFY FACILITY OWNER(S) VIA ONE CALL(S) AT 1-800-242-1776 OR 412-464-7100 (PITTSBURGH AREA) NOT LESS THAN 3 OR MORE THAN 10 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.

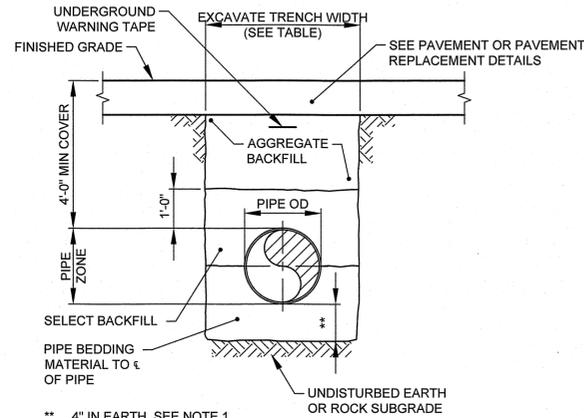


Know what's below. Call before you dig.
 PENNSYLVANIA ONE CALL SYSTEM, INC.
 CALL 3 BUSINESS DAYS BEFORE YOU DIG!
 1-800-242-1776 OR 8-1-1
 POCs SERIAL NO.: 20232763936

DATE: 10/3/2023 BY: ASHLEY HETRICK
 GANNETT FLEMING, INC.

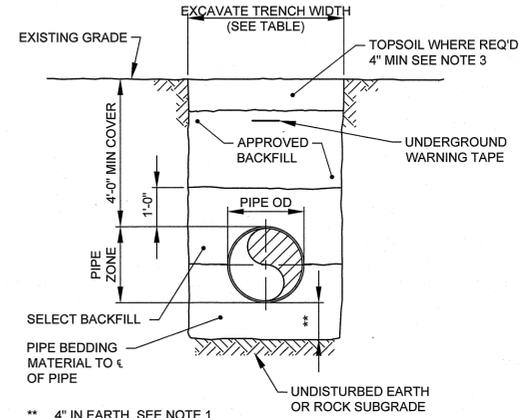
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	REVISIONS <table border="1"> <tr><td> </td><td> </td><td> </td><td> </td></tr> </table>																	 HARRISBURG, PENNSYLVANIA	 BRENT M. RAMSEY REGISTERED PROFESSIONAL ENGINEER No. PE059810 PENNSYLVANIA	AMERICAN WATER ENGINEERING 1 WATER STREET CAMDEN, NJ 08102 	BUTLER WATER TREATMENT PLANT CHEMICAL IMPROVEMENTS PROJECT CIVIL SITE PLAN		
DRAWN BY: ARH PROJECT ENGR: BMR	DATE: DECEMBER 2023	BUTLER, PA	BUTLER DISTRICT	USE DIMENSIONS ONLY SCALE - AS NOTED																			
PROJECT: 74744		USE APPROVED DRAWINGS ONLY FOR CONSTRUCTION PURPOSES		LDP PERMIT SUBMISSION	24-330016-C3																		



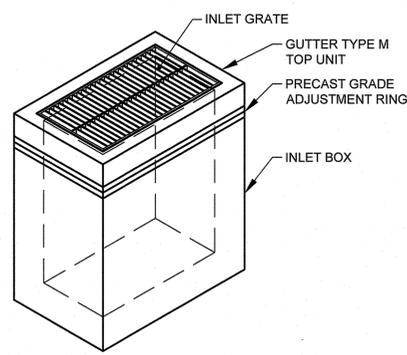
TYPICAL TRENCH PAVED AREAS

NO SCALE

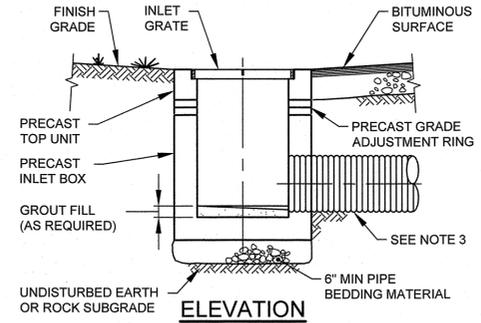


TYPICAL TRENCH UNPAVED AREAS

NO SCALE



ISOMETRIC VIEW



ELEVATION

STORM INLET NOTES:

1. FINISH GRADE SHALL BE FLUSH WITH TOP OF CONCRETE ON TOP UNIT.
2. ALL STORM INLETS SHALL CONFORM TO COMMONWEALTH OF PENNSYLVANIA, DEPARTMENT OF TRANSPORTATION, BUREAU OF DESIGN STANDARDS FOR ROADWAY CONSTRUCTION, EXCEPT AS NOTED.
3. SEE APPROPRIATE PLANS AND PROFILES FOR PIPE SIZE, PIPE TYPE, PERCENT OF SLOPE, INVERT AND TOP OF GRATE ELEVATIONS.

TRENCH NOTES:

1. IF UNSUITABLE SUBSOIL IS ENCOUNTERED AT THE NORMAL TRENCH SUBGRADE, THE CONTRACTOR SHALL REMOVE IT TO THE DEPTH DIRECTED BY THE ENGINEER IN THE FIELD, AND BACKFILL w/ PIPE BEDDING MATERIAL IN 4" LAYERS.
2. BOTTOM OF TRENCH SHALL BE FREE OF WATER PRIOR TO PLACING BEDDING.
3. PROVIDE 4" OF TOPSOIL WHERE SEEDING IS REQUIRED.
4. CONTRACTOR SHALL SHORE THE TRENCH IN ACCORDANCE WITH SECTION 02255 OF THE SPECIFICATIONS.

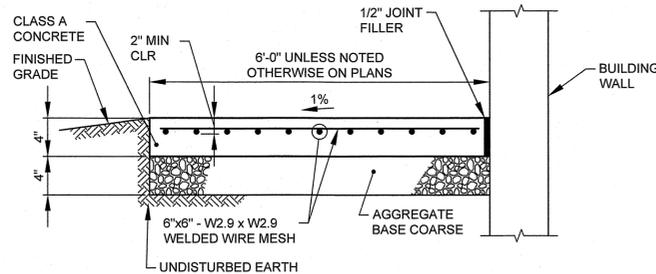
GRAVITY PIPE TRENCH WIDTH TABLE A (PIPE EMBEDMENT)		
DIAMETER OF PIPE	MIN TRENCH WIDTH (OD OF PIPE AT BARREL PLUS)	MAX TRENCH WIDTH (OD OF PIPE AT BARREL PLUS)
THROUGH 24"	12"	16"

GRAVITY PIPE TRENCH WIDTH TABLE B (TRENCH DOWN TO PIPE EMBEDMENT)		PRESSURIZED PIPE TRENCH WIDTH TABLE	
DIAMETER OF PIPE	MAX TRENCH WIDTH (OD OF PIPE AT BARREL PLUS)	DIAMETER OF PIPE	MAX TRENCH WIDTH (OD OF PIPE AT BARREL PLUS)
THROUGH 24"	40"	3" - 36"	24"

STORM INLET

NO SCALE

STORM INLET CONTROL TABLE						
CB NO.	TOP OF INLET ELEVATION	BOTTOM OF CATCH BASIN ELEVATION	VERTICAL IN INV. EL.	VERTICAL OUT INV. EL.	HORIZONTAL CONTROL POINT COORDINATES	
1	1014.75	1007.00	10" PVC - 1007.82	10" PVC - 1007.80	N 573222.82	E 1381011.55
2	1010.50	1006.75	10" PVC - 1007.30 18" HDPE - 1007.30	18" HDPE - 1007.15	N 573270.58	E 1381007.68

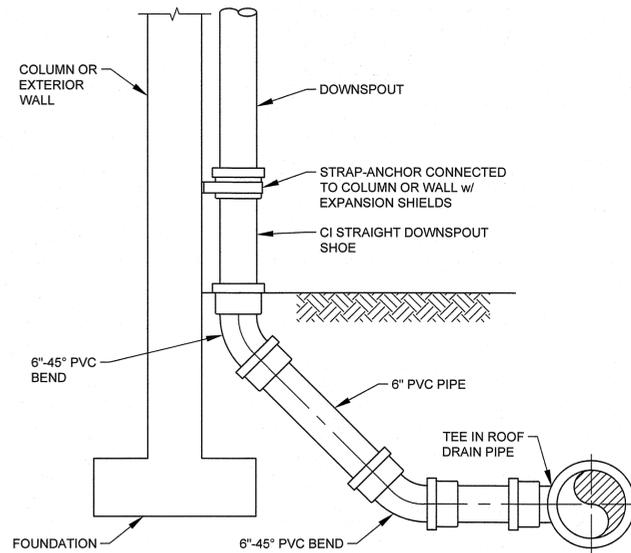


CONCRETE SIDEWALK SECTION AT BUILDING

NO SCALE

CONCRETE WALK NOTES:

1. WALK TO BE CONSTRUCTED WITH CLASS A CONCRETE WITH TOOLED JOINT SPACING EQUAL TO WALK WIDTH, BUT NOT TO EXCEED 6'-0".
2. SIDEWALK TO BE CONSTRUCTED WITH CLASS A CONCRETE. SPACE CONTRACTION JOINTS WITH JOINT FILLER AT 16'-0" MAXIMUM.



DOWNSPOUT CONNECTION

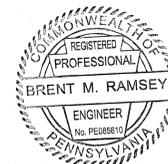
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PLAN BOOK	PAGE
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AMERICAN WATER ENGINEERING
1 WATER STREET
CAMDEN, NJ 08102

AMERICAN WATER

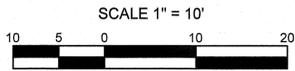
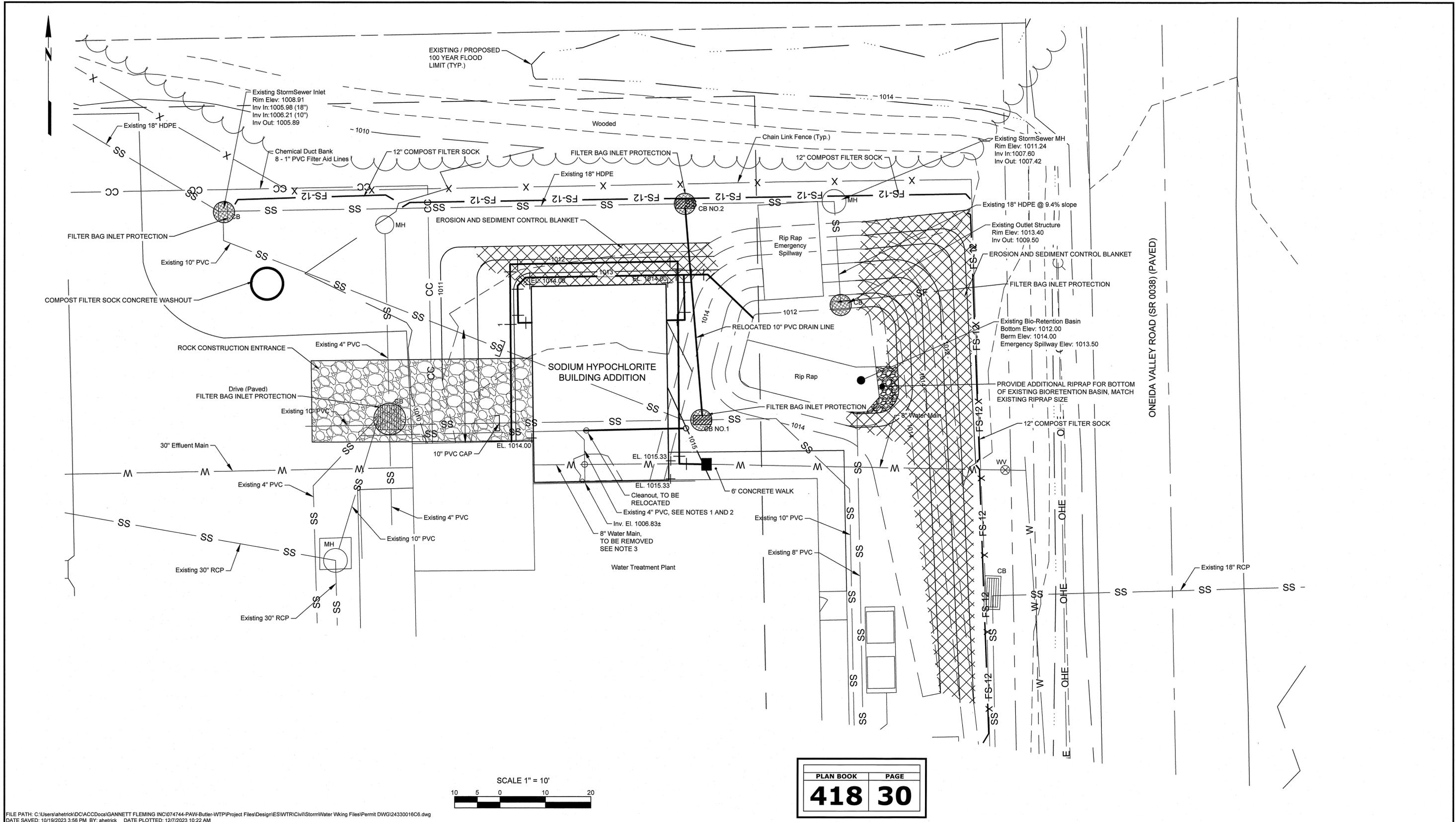
DRAWN BY: ARH
PROJECT ENGR: BMR

DATE: DECEMBER 2023

PROJECT: 74744

BUTLER WATER TREATMENT PLANT
CHEMICAL IMPROVEMENTS PROJECT
CIVIL
MISCELLANEOUS DETAILS

BUTLER, PA	BUTLER DISTRICT	USE DIMENSIONS ONLY SCALE - AS NOTED
USE APPROVED DRAWINGS ONLY FOR CONSTRUCTION PURPOSES	LDP PERMIT SUBMISSION	24-330016-C4

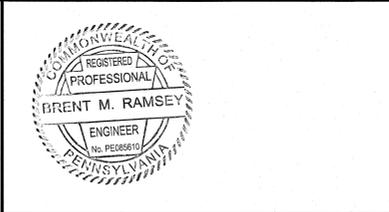


PLAN BOOK	PAGE
418	30

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 CAMDEN, NJ 08102

AMERICAN WATER

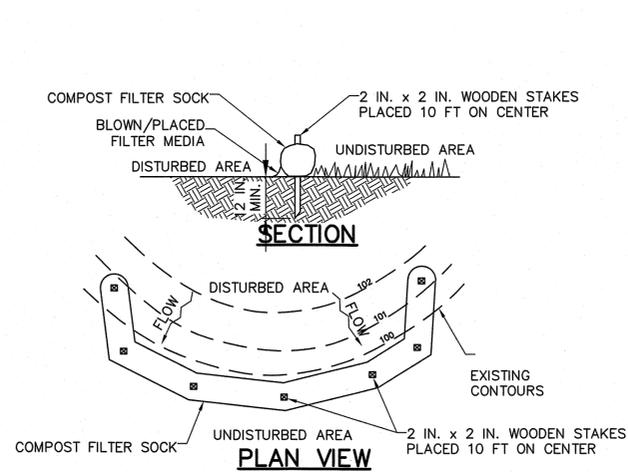
DRAWN BY: ARH
 PROJECT ENGR: BMR

DATE: DECEMBER 2023

PROJECT: 74744

BUTLER WATER TREATMENT PLANT
 CHEMICAL IMPROVEMENTS PROJECT
 CIVIL
 EROSION AND SEDIMENT CONTROL PLAN

BUTLER, PA	BUTLER DISTRICT	USE DIMENSIONS ONLY SCALE - AS NOTED
USE APPROVED DRAWINGS ONLY FOR CONSTRUCTION PURPOSES	LDP PERMIT SUBMISSION	24-330016-C6



**TABLE 4.2
COMPOST STANDARDS**

ORGANIC MATTER CONTENT	25%-100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5-8.5
MOISTURE CONTENT	30%-60%
PARTICLE SIZE	30%-50% PASS THROUGH 3/8" SIEVE
SOLUBLE SALT CONCENTRATION	5.0 dS/m (MMHOS/CM) MAXIMUM

NOTES:

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

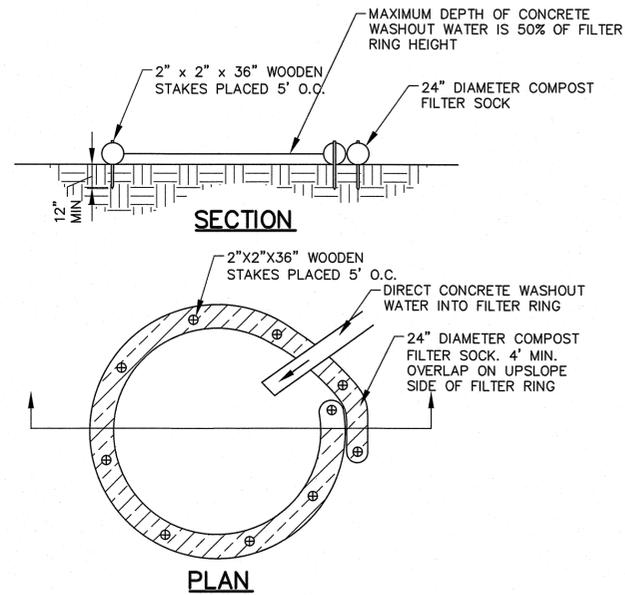
COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

**STANDARD CONSTRUCTION DETAIL #4-1
COMPOST FILTER SOCK**

NO SCALE



NOTES:

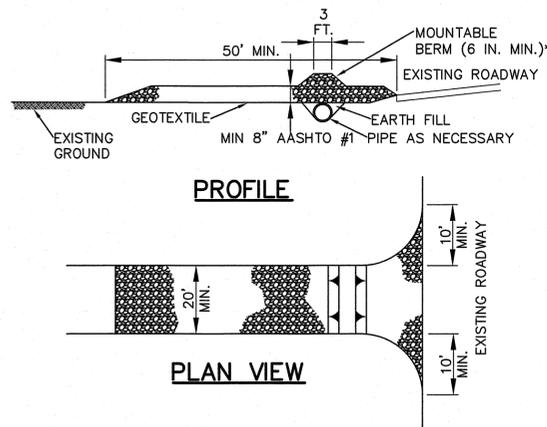
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
2. 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.

**FIGURE 3.18
TYPICAL COMPOST SOCK
WASHOUT INSTALLATION**

NO SCALE

A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.

ADAPTED FROM FILTREXX.



* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

NOTES:

REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.

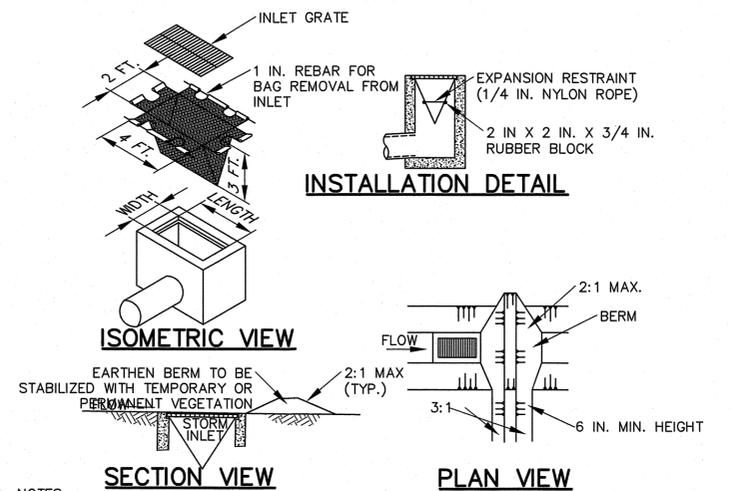
RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

**STANDARD CONSTRUCTION DETAIL #3-1
ROCK CONSTRUCTION ENTRANCE**

NO SCALE



NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.

AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

**STANDARD CONSTRUCTION DETAIL #4-16
FILTER BAG INLET PROTECTION - TYPE M**

INLET
NO SCALE

PLAN BOOK	PAGE
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REVISIONS



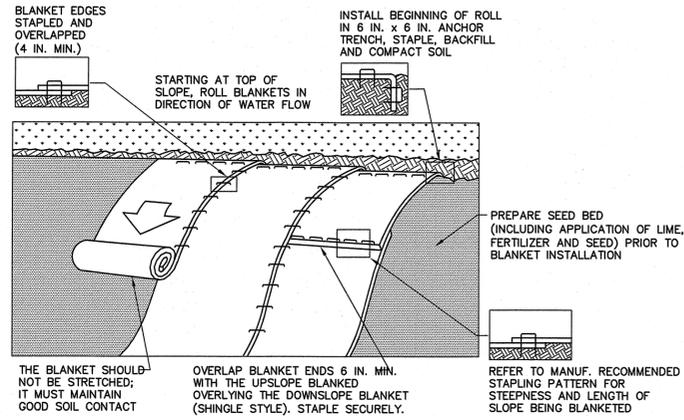
AMERICAN WATER ENGINEERING
1 WATER STREET
CAMDEN, NJ 08102

AMERICAN WATER

DRAWN BY PROJECT ENGR	ARH BMR
DATE	DECEMBER 2023
PROJECT	74744

BUTLER WATER TREATMENT PLANT
CHEMICAL IMPROVEMENTS PROJECT
CIVIL
EROSION AND SEDIMENT CONTROL DETAILS

BUTLER, PA	BUTLER DISTRICT	USE DIMENSIONS ONLY SCALE - AS NOTED
USE APPROVED DRAWINGS ONLY FOR CONSTRUCTION PURPOSES	LDP PERMIT SUBMISSION	24-330016-C7



NOTES:

SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.

PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.

SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.

BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.

THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

EROSION CONTROL BLANKET

A MACHINE PRODUCED MAT OF ORGANIC, BIODEGRADABLE MULCH MATERIAL SUCH AS STRAW, CURLED WOOD CELLULOSE, COCONUT FIBER, OR COMBINATIONS OF MATERIAL EVENLY DISTRIBUTED AND ATTACHED ON ONE SIDE OF A PHOTODEGRADABLE POLYPROPYLENE MESH WITH HIGH-STRENGTH THREADS. BLANKET CONFORMING TO THE FOLLOWING PHYSICAL PROPERTIES:

1. WEIGHT 8 OUNCES PER SQUARE YARD, MINIMUM
2. MAT THICKNESS APPROXIMATELY 0.125 INCH TO 0.6 INCH

**STANDARD CONSTRUCTION DETAIL #11-1
EROSION CONTROL BLANKET INSTALLATION**

NO SCALE

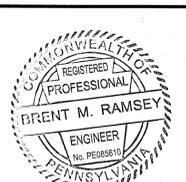
SEQUENCE OF CONSTRUCTION

1. CONTRACTOR TO BECOME FAMILIAR WITH ALL GENERAL NOTES, CONSTRUCTION REQUIREMENTS AND MUNICIPAL PERMITS BEFORE PROCEEDING.
2. OBTAIN ALL REQUIRED PERMITS AND APPROVALS.
3. STAKEOUT LIMIT OF DISTURBANCE AREA.
4. INSTALL ROCK CONSTRUCTION ENTRANCE.
5. INSTALL REMAINING EROSION AND SEDIMENT CONTROL MEASURES INCLUDING INLET PROTECTION AND COMPOST FILTER SOCK.
6. CONSTRUCT NEW CHEMICAL BUILDING ALONG WITH ASSOCIATED WATER AND STORM SEWER UTILITY LINES.
7. INSTALL INLET PROTECTION ON NEWLY INSTALL STORMSEWER INLETS.
8. PERFORM FINAL GRADING ALONG NEW BUILDING AND INSTALL EROSION AND SEDIMENT CONTROL MATTING.
9. PERFORM REGRADING OF EXISTING BIO-RETENTION BASIN AND INSTALL EROSION AND SEDIMENT CONTROL MATTING AND RIP RAP AT THE BOTTOM OF THE BASIN.

PLAN BOOK	PAGE
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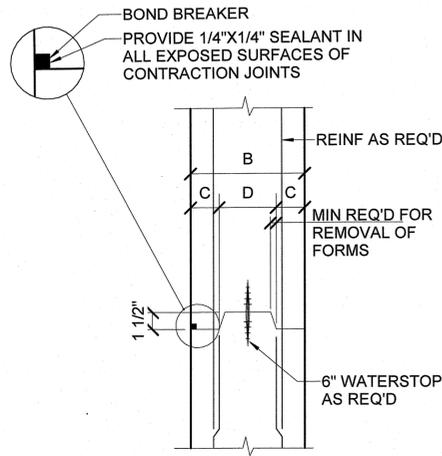


REVISIONS			



AMERICAN WATER ENGINEERING 1 WATER STREET CAMDEN, NJ 08102		 AMERICAN WATER	
DRAWN BY PROJECT ENGR	ARH BMR	DATE	DECEMBER 2023
PROJECT	74744	USE APPROVED DRAWINGS ONLY FOR CONSTRUCTION PURPOSES	LDP PERMIT SUBMISSION

BUTLER WATER TREATMENT PLANT CHEMICAL IMPROVEMENTS PROJECT CIVIL EROSION AND SEDIMENT CONTROL DETAILS			
BUTLER, PA	BUTLER DISTRICT	USE DIMENSIONS ONLY SCALE - AS NOTED	
PROJECT		74744	24-330016-C8

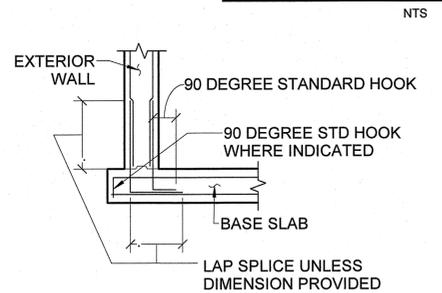


JOINTS NOTES:

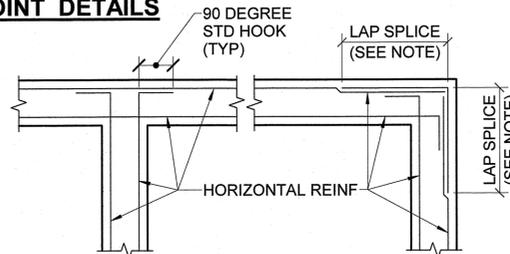
1. WATERSTOPS SHALL BE PLACED IN JOINT AS REQUIRED IN THE SPECIFICATIONS OR AS SHOWN ON STRUCTURAL DRAWINGS.
2. FOR KEYED JOINT IN WALL TERMINATE KEY 6" FROM TOP OF WALL WHERE TOP OF WALL IS EXPOSED TO VIEW.
3. IN WALLS PROVIDE 3/4"x3/4" CHAMFER EACH SIDE OF CONSTRUCTION WHERE EXPOSED TO VIEW.
4. IN SLABS PROVIDE TOOLED EDGE (1/4" R) EACH SIDE OF CONSTRUCTION WHERE EXPOSED TO FOOT TRAFFIC (EXCEPT WHERE SUBSEQUENT FINISH WILL BE APPLIED.)

SCHEDULE OF DIMENSIONS				
B	C	D	E	
LESS THAN 9"	B/3	B/3	1/2	
9" TO 16"	3 1/2"	VARIES	1 1/2	
16" TO 21"	5 1/2"	VARIES	3	
MORE THAN 21"	B/3	B/3	4	

CONSTRUCTION JOINT DETAILS

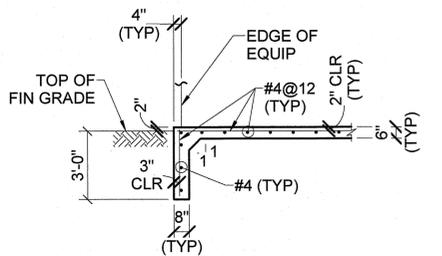


TYPICAL WALL DOWELS

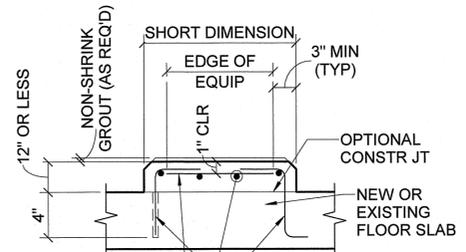


NOTE: WHERE 2 DIFFERENT BAR SIZES OCCUR AT CORNER, THE CORNER BAR SHALL BE THE LARGER BAR SIZE.

WALL CORNER REINFORCEMENT

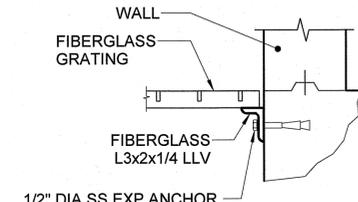


EXTERIOR EQUIPMENT PAD DETAIL



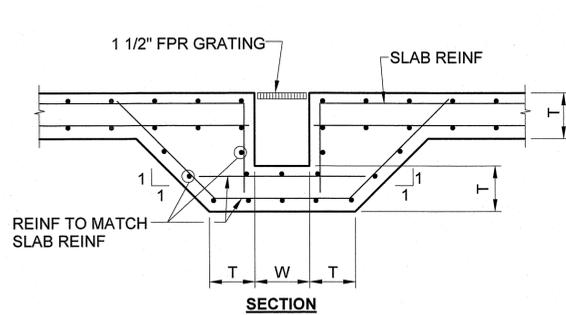
CONCRETE PAD DETAIL

#4@12 OR DRILL 5/8" DIA HOLES @ 12" C/C ALONG PERIMETER OF PAD. FILL HOLES W/EPOXY ADHESIVE AND INSERT #4 DOWELS.

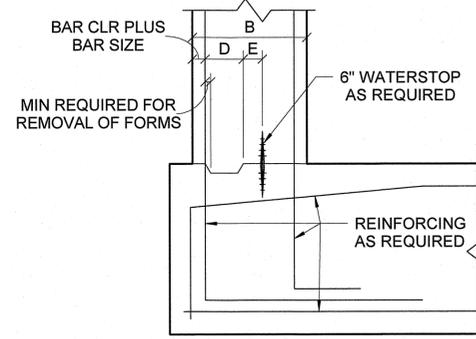


FIBERGLASS GRATING DETAIL

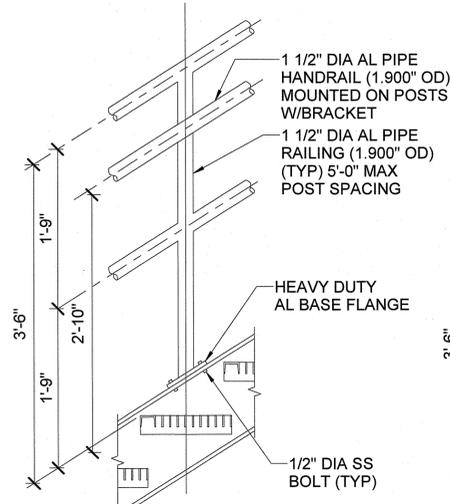
1/2" DIA SS EXP ANCHOR @ 12" MAX SPACING (4" MIN EMBED) (MIN 2 BOLTS)



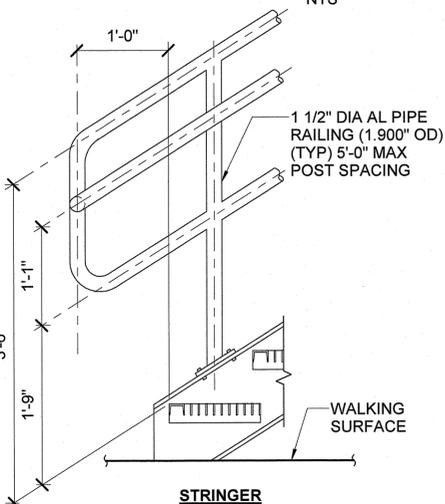
SUMP DETAIL



CONSTRUCTION JOINT DETAIL

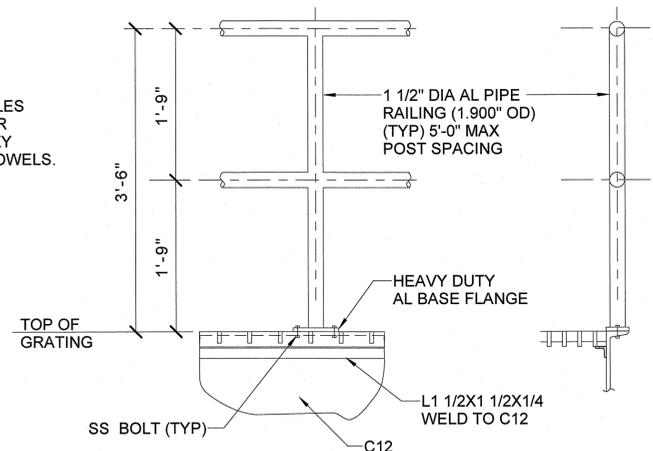


TOP OF STRINGER



HANDRAIL EXTENSION @ BOTTOM OF STAIRS

ALUMINUM PIPE RAILING DETAILS @ STAIRS

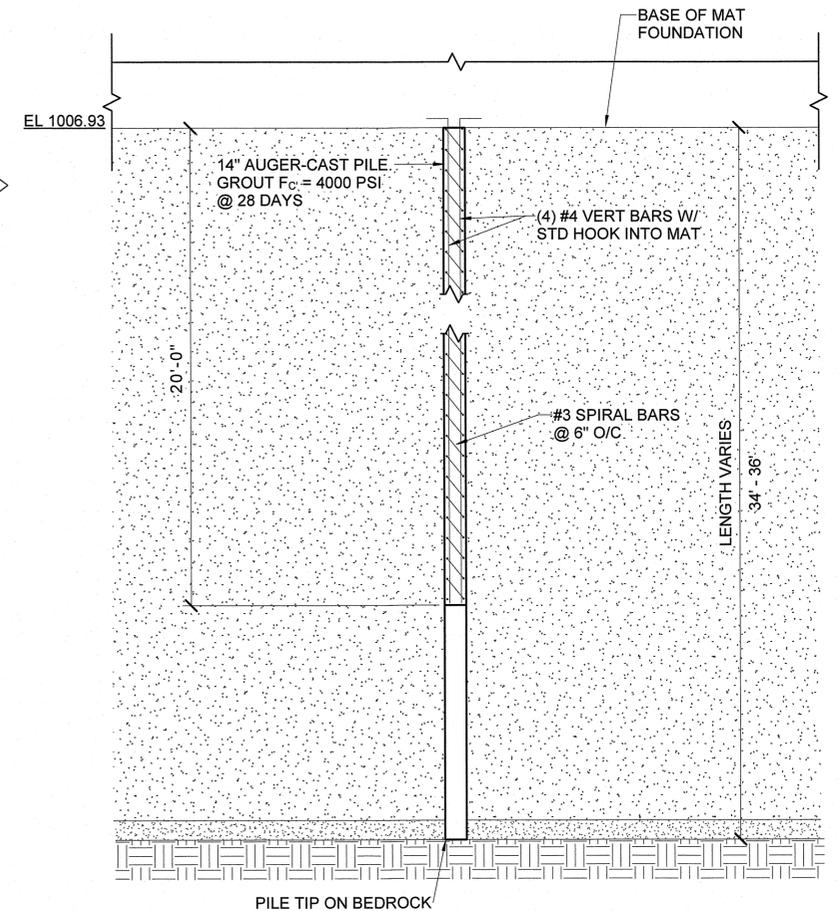


HANDRAIL TOP OF CHANNEL - STAIR LANDING

ALUMINUM STAIR NOTES:

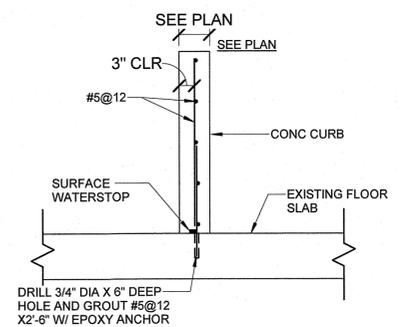
1. ALL MATERIAL FOR STAIR MEMBERS TO BE ALUMINUM.
2. ALUMINUM SURFACES IN CONTACT WITH DISSIMILAR MATERIAL SHALL BE COATED AS STATED IN SPECIFICATION SECTION 05600.
3. ALL CONNECTIONS SHALL BE DESIGNED FOR A LOADING EQUIVALENT TO A (2) 3/4" DIA BOLT CONNECTION.
4. ALL ALUMINUM TO ALUMINUM CONNECTIONS TO BE 304 STAINLESS STEEL.
5. PROVIDE ALUMINUM PIPE RAILING. SEE DETAIL THIS SHEET.
6. CONNECTIONS NOT DETAILED SHALL BE MINIMUM AL ANGLE 3X3X1/4 WITH (2) BOLT CONNECTIONS.

PLAN BOOK	PAGE
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14" DIA AUGER CAST PILE DETAIL

SCALE: NTS



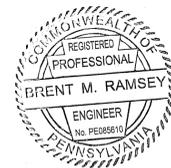
CONTAINMENT CURB DETAIL

SCALE: NTS

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Central File: BIM360\1_S_Central_R20.rvt
Project Number: 74744
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REVISIONS			



OWNER NAME
153 N. Emerson Ave.
Greenwood, IN 46143



DRAWN BY PROJECT ENGR
KMP
KCW

DATE: SEPTEMBER 2023

PROJECT 74744

BUTLER WATER TREATMENT PLANT
CHEMICAL IMPROVEMENTS PROJECT
CHEMICAL BUILDING
STRUCTURAL
TYPICAL DETAILS

BUTLER, PA

USE APPROVED DRAWINGS ONLY FOR CONSTRUCTION PURPOSES

BUTLER DISTRICT

90% DESIGN SUBMISSION

USE DIMENSIONS ONLY SCALE: AS NOTED

24-330016-S2

Jackson Village Post Construction Stormwater Management (PCSM) Plan Set

Situated In

Jackson Township Butler County, Pennsylvania

Prepared For

234 Harmony, L.P.

4041 Liberty Avenue
Pittsburgh, Pa. 15224
(412) 281-1881

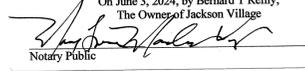
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Michele Mustello
Butler County Recorder PA

Sheet Index	
Sheet Number	Sheet Title
PCSM.101	Pre-Developed Drainage Areas Plan
PCSM.102	Post-Developed Drainage Areas Plan
PCSM.103	Inlet Drainage Area Map
PCSM.104	PCSM Construction Details
PCSM.105	PCSM Construction Details
P.101	Storm Sewer Profiles
P.102	Storm Sewer Profiles

NOTES:

- 1) STORMWATER BMPs ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY THE MUNICIPALITY
- 2) THE OPERATION AND MAINTENANCE (O&M) AGREEMENT IS PART OF THE SWM SITE PLAN.
- 3) RECORDED DRAWINGS WILL BE PROVIDED FOR ALL STORMWATER FACILITIES PRIOR TO OCCUPANCY, OR THE RELEASE OF A SURETY BOND.

Commonwealth of Pennsylvania
County of Allegheny
This record was acknowledged before me.
On June 3, 2024, by Bernard T Reilly,
The Owner of Jackson Village



Notary Public

Commonwealth of Pennsylvania - Notary Seal
Mary Louise Madigan-Vogt, Notary Public
Allegheny County
My commission expires May 19, 2027
Commission number 1290702
Member, Pennsylvania Association of Notaries

I, Bernard T Reilly, THE OWNER OF JACKSON VILLAGE, UNDERSTAND AND AGREE TO THE ABOVE NOTES CONCERNING THE STORMWATER MANAGEMENT OF THE SITE.

PROFESSIONAL ENGINEER STATEMENT

I, Chad M. Led, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF JACKSON TOWNSHIP'S STORMWATER MANAGEMENT ORDINANCE.

MUNICIPAL ENGINEER STATEMENT

I, Stephanie L. Schmitt, HAVE REVIEWED THIS STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF THE JACKSON TOWNSHIP'S STORMWATER MANAGEMENT ORDINANCE

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER

RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC., IN SAID COUNTY IN PLAN BOOK VOLUME 418 PAGE 36-43.

GIVEN UNDER MY HAND AND SEAL THIS 4th DAY OF JUNE, 2024.

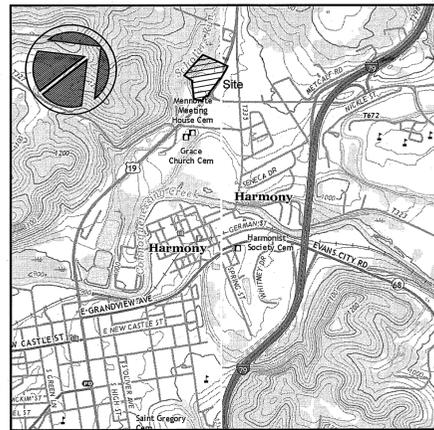


Michele M. Mustello
RECORDER OF DEEDS

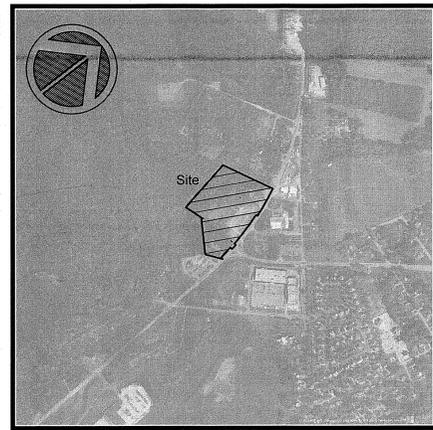
MICHELE M. MUSTELLO
RECORDER OF DEEDS

My Commission Expires First Monday in January 2028

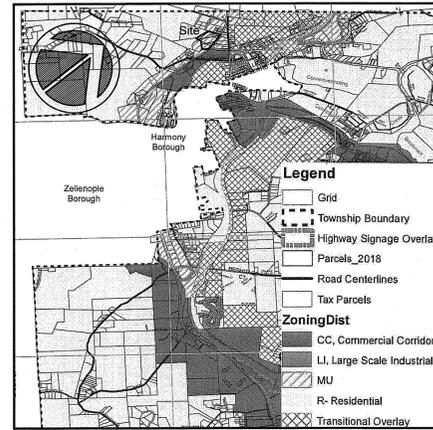
PLAN BOOK	PAGE
418	36



USGS Map
Zelenople, Pa. - 2019
Scale - 1" = 2000'



Aerial Photo
Scale - 1" = 1000'



Vicinity Map
Scale - N.T.S.

SITE UTILITY CONTACT INFORMATION

SANITARY SEWER
WESTERN BUTLER COUNTY AUTHORITY
ATTN: AUTUMN CRAWFORD
607 MARKET STREET
ZELIENOPLE, PA. 16063
Ph. 724-452-5501
Email ahecka@wbcasewer.com

STORM SEWER
JACKSON TOWNSHIP
HRG ENGINEERING, INC.
ATTN: _____
220 WEST KENSINGER DRIVE
SUITE 100
CRANBERRY TWP, PA. 16066
Ph. 724-779-4777
Email _____

WATER
PENNSYLVANIA AMERICAN WATER
ATTN: _____
1164 MARS-EVANS CITY ROAD
P.O. BOX 1180
MARS, PA. 16046
Ph. 724-625-3166
Email _____

ELECTRIC
PENN POWER
ATTN: DAN STEWART
701 W. NEW CASTLE STREET
ZELIENOPLE, PA. 16063
Ph. 724-453-3433
Email danstewart@firstenergycorp.com

GAS
PEOPLES
ATTN: BRANDON DATZ
375 NORTH SHORE DRIVE
PITTSBURGH, PA. 15212
Ph. 412-415-49556
Email brandon.datz@peoples-gas.com

COMMUNICATIONS
ARMSTRONG UTILITIES
ATTN: _____
531 PERRY HIGHWAY
ZELIENOPLE, PA. 16063
Ph. 877-277-5711
Email _____

Serial Number: 20221943965
Date Issued: July 14, 2022
STOP !!!
CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE
AND 10 WORKING DAYS NOTICE IN DESIGN STAGE
PENNSYLVANIA
ONE CALL SYSTEM, INC.
1-800-242-1776



DATE ISSUED:
2023-04-11

PROJECT NAME:
Jackson Village

PROJECT #:
13940

NO.	SUBMISSION	DATE
1	Address Municipal Comments	June 14, 2023

GENERAL LEGEND

EXISTING LEGEND	PROPOSED LEGEND
—●— PROPERTY LINE (PARCEL)	—●— PROPERTY LINE (EASEMENT)
—●— EXISTING EASEMENT	—●— 1.5' BITUMINOUS WEDGE CURB
—●— EDGE OF PAVEMENT	—●— 6" CONCRETE CURB
—●— EDGE OF GRAVEL	—●— CONCRETE SIDEWALK
—●— GUIDERAIL	—●— ADA RAMPS WITH CROSSWALK
—●— UTILITY (WATER LINE)	—●— SIGNAGE
—●— UTILITY (GAS LINE)	—●— STORM SEWER (MAINLINE)
—●— UTILITY (OVERHEAD ELECTRIC)	—●— SANITARY SEWER (MAINLINE)
—●— UTILITY (UNDERGROUND ELECTRIC)	—●— STORM SEWER (ROOF/UNDERDRAIN LEADER)
—●— UTILITY (SANITARY SEWER)	—●— SANITARY SEWER (SERVICE LINE)
—●— UTILITY (STORM SEWER)	—●— ETC
—●— CONTOUR (INDEX)	—●— ELECTRIC, CABLE, AND COMMUNICATIONS SERVICE
—●— CONTOUR (INTERMEDIATE)	—●— GAS SERVICE
—●— FIRE HYDRANT ASSEMBLY	—●— WATER SERVICE
—●— WATER VALVES	—●— POLE SITE LIGHTING

Recommended procedures and measures to mitigate Soil limitations

Cut Banks Cave
Slopes may need to be laid-back at a 3:1 or 4:1 slope in areas of concern.
Corrosive to Concrete/Steel
Areas of concern will need to be addressed by an independent Geotechnical or Structural Engineer.

Erodible
Erosion Control Blanketing to be used on all slopes within areas of severe erosion potential

High Water Table
If water is encountered while trenching, a pumped water filter bag shall be used to dewater the trench.

Low Strength
See Standard Earthwork Design recommendations below if a geo-technical report has not been prepared for the site.

Piping
In areas of concern where piping could occur, soils must be mixed with soils of sufficient characteristics to mitigate the inadequacies. If adverse conditions are encountered during construction an independent Geotechnical Engineering shall be required to be on site during construction in order to evaluate soil conditions. The only areas of concern are those around the proposed stormwater facility.

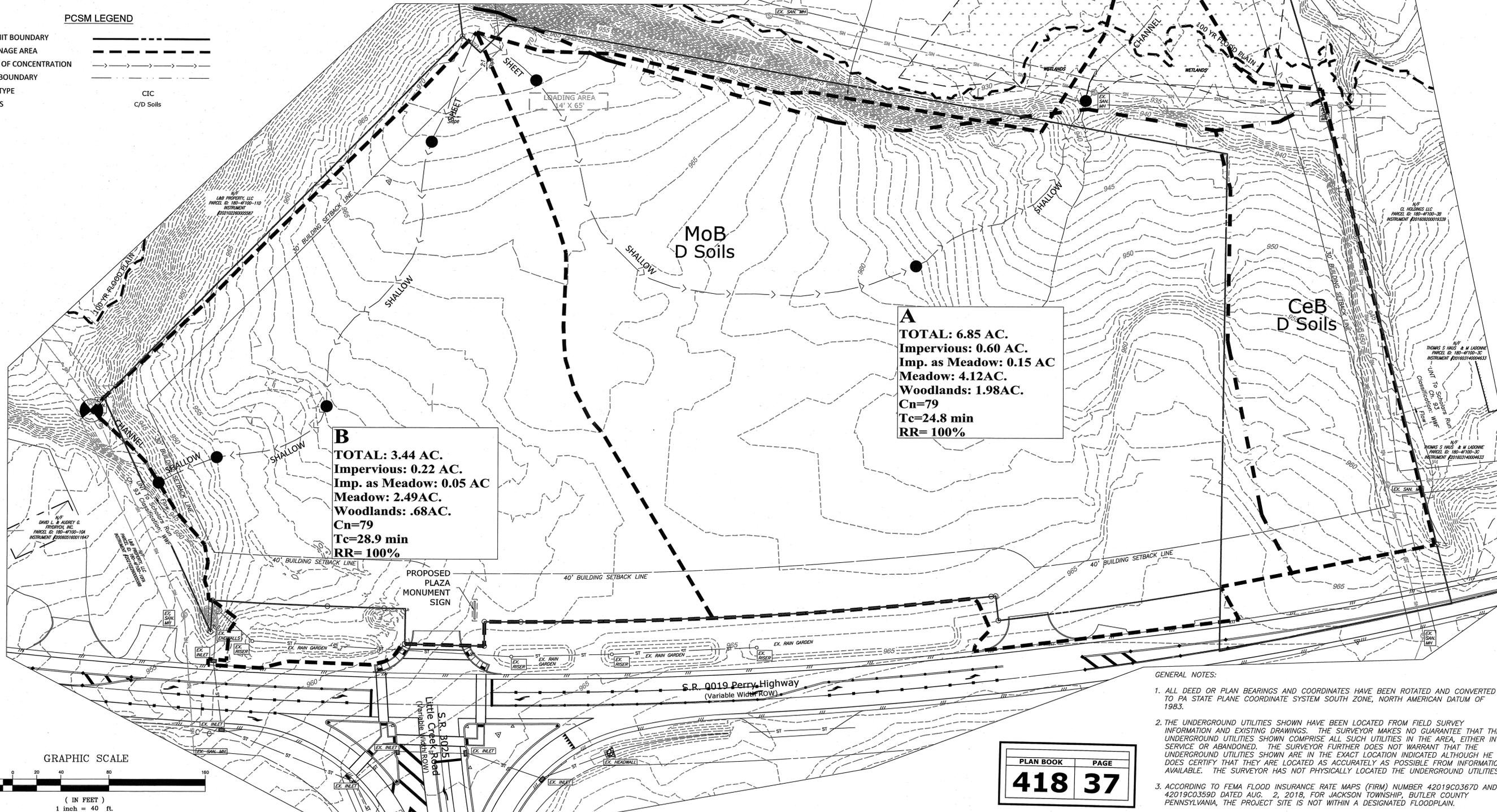
Poor Topsoil
If areas of poor topsoil are encountered topsoil may need to be taken from another part of the site or trucked in from off-site in order to provide appropriate vegetated conditions.

SOIL CLASSIFICATION AND TYPES			
SYMBOL	HYDRIC COMPONENTS	SOIL TYPE / SLOPE	HYDROLOGIC SOIL GROUP
At	Y	Atkins silt loam, 0 to 8 percent slopes	B/D
CeB	Y	Caneadea silt loam, 3 to 8 percent slopes	D
MoB	Y	Monongahela silt loam, 3 to 8 percent slopes	D

SOIL LIMITATIONS							
SOILS NAME	CUT BANKS CAVE	CORROSIVE TO CONCRETE AND STEEL	ERODIBLE	HIGH WATER TABLE	LOW STRENGTH	PIPING	POOR TOPSOIL
Atkins	X	C/S		X	X	X	X
CeB	X	C/S	X	X	X	X	X
MoB	X	C/S	X	X	X	X	X

PCSM LEGEND

PERMIT BOUNDARY	—●—
DRAINAGE AREA	—●—
TIME OF CONCENTRATION	—●—
SOIL BOUNDARY	—●—
SOIL TYPE	CIC
HGS	C/D Soils



GENERAL NOTES:

- ALL DEED OR PLAN BEARINGS AND COORDINATES HAVE BEEN ROTATED AND CONVERTED TO PA STATE PLANE COORDINATE SYSTEM SOUTH ZONE, NORTH AMERICAN DATUM OF 1983.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- ACCORDING TO FEMA FLOOD INSURANCE RATE MAPS (FIRM) NUMBER 42019C0367D AND 42019C0359D DATED AUG. 2, 2018, FOR JACKSON TOWNSHIP, BUTLER COUNTY PENNSYLVANIA, THE PROJECT SITE IS NOT WITHIN A DESIGNATED FLOODPLAIN.

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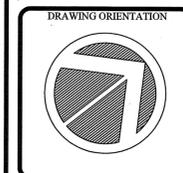


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Pittsburgh, PA 15223
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FAX: (412) 781-5904

Mars Office
123 Ridge Road, Suite B
Valencia, PA 16059
PHONE: (724) 625-4544
FAX: (724) 625-4549

DATE ISSUED:	PROJECT STATUS:
April 20, 2023	For Review
NO. 1	DISCUSSION
NO. 1	Address Municipal Comments
DATE:	June 14, 2023



PROJECT TITLE:
Jackson Village
Post Developed Stormwater Management Plan
Pre-Developed Drainage Areas Plan

CLIENT ADDRESS:
234 Harmony, L.P.
4041 Liberty Avenue
Butler County, Pennsylvania
Pittsburgh, Pa. 15224

DRAWN BY:	CHECKED BY:
Mal	
CAD FILE:	13940 PCSM.dwg
HORIZ. SCALE:	VERT. SCALE:
1" = 40'	NTS
SHEET:	OF
PCSM.101	
PROJECT #:	13940

GENERAL LEGEND

EXISTING LEGEND	PROPOSED LEGEND
— PROPERTY LINE (PARCEL)	— PROPERTY LINE (EASEMENT)
— EXISTING EASEMENT	— 1.5" BITUMINOUS WEDGE CURB
— EDGE OF PAVEMENT	— 6" CONCRETE CURB
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— UTILITY (SANITARY SEWER)	— SANITARY SEWER (SERVICE LINE)
— UTILITY (STORM SEWER)	— ETC. ELECTRIC, CABLE, AND COMMUNICATIONS SERVICE
— CONTOUR (INDEX)	— GAS SERVICE
— CONTOUR (INTERMEDIATE)	— WATER SERVICE
— FIRE HYDRANT ASSEMBLY	— POLE SITE LIGHTING
— WATER VALVES	

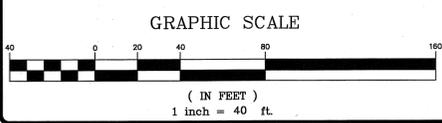
PCSM LEGEND

— PERMIT BOUNDARY	—
— DRAINAGE AREA	—
— TIME OF CONCENTRATION	—
— SOIL BOUNDARY	—
— SOIL TYPE	CIC
HGS	C/D Soils

UB
TOTAL: 0.60 AC.
Openspace: 0.15AC.
Meadow: 0.08 AC.
Woodlands: 0.37AC.
Cn= 78
Tc= *5.0 min
RR= 100%
***Actual Tc is less than 5.0 min.**

UA
TOTAL: 1.27 AC.
Openspace: 0.39AC.
Meadow: 0.19 AC.
Woodlands: 0.69AC.
Cn= 78
Tc= *5.0 min
RR= 100%
***Actual Tc is less than 5.0 min.**

DA
TOTAL: 8.42 AC.
Impervious: 5.95 AC.
Openspace: 2.36AC.
Woodlands: 0.11AC.
Cn= 93
Tc= 13.7 min
RR= 100%



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418 38

GENERAL NOTES:

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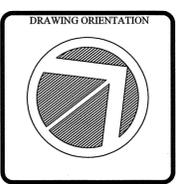


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 FAX: (412) 781-5904

Mars Office
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 Valencia, PA 16059
 PHONE: (724) 625-4544
 FAX: (724) 625-4549

DATE ISSUED:	April 20, 2023
PROJECT STATUS:	FINAL
REVISIONS:	
NO.	DESCRIPTION
1	Address Municipal Comments



Jackson Village Post-Developed Stormwater Management Plan

PROJECT TITLE:
Jackson Village Post-Developed Stormwater Management Plan

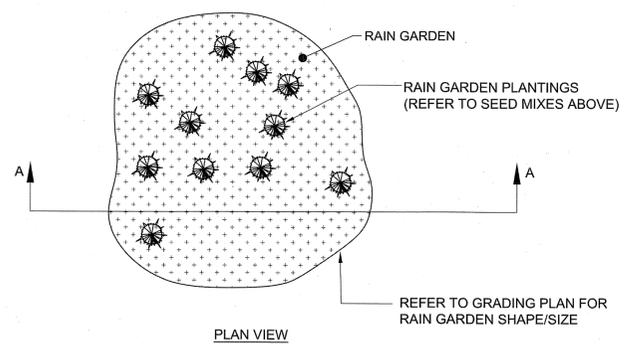
CLIENT ADDRESS:
 234 Harmony, L.P.
 Jackson Township
 Butler County, Pennsylvania

PROJECT LOCATION:
 Jackson Township
 Butler County, Pennsylvania

DATE: June 14, 2023

PROJECT #:
13940

DRAWN BY:	CHECKED BY:
Mal	
CAD FILE:	13940 PCSM.dwg
HORIZ. SCALE:	VERT. SCALE:
1" = 40'	NTS
SHEET:	OF
PCSM.102	
PROJECT #:	
13940	



STORMWATER MANAGEMENT FACILITY	TOP ELEVATION	BOTTOM ELEVATION	OUTLET STRUCTURE	RISER ELEVATION	OUTLET ELEVATION	OUTLET SIZE	OUTLET SLOPE
EX RAIN GARDEN 5	958.00	956.00	OS 5	956.75	952.35	8"	1.0%

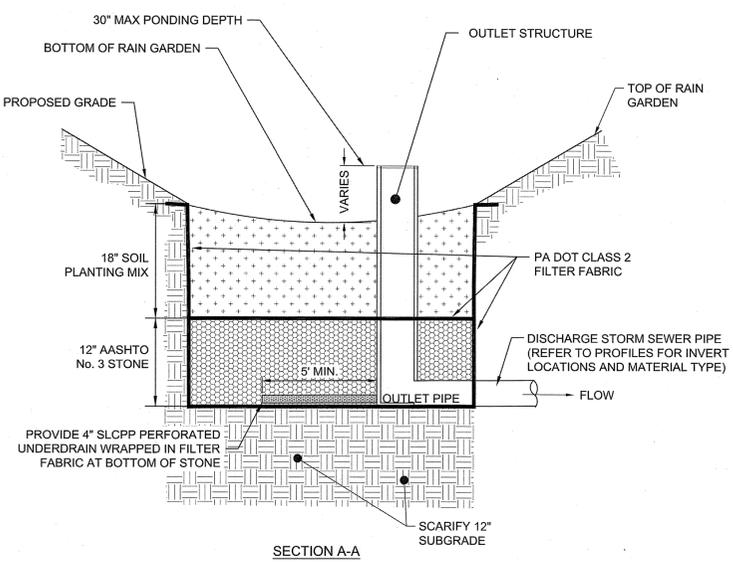
Rain Garden Grass Mix - ERNMX-100-1		
Botanical Name	Common Name	Price/lb
35.00% <i>Schizanthus luteus</i> (Schizanthus luteus), Herb	Little Blueflower, Fast Seduction Gap PA Ecotype	9.25
25.00% <i>Carex lasiocarpa</i> , PA Ecotype	For Seton, PA Ecotype	24.00
15.00% <i>Phlox pilularis</i> , PA Ecotype	Virginia Wildflower, PA Ecotype	5.25
10.00% <i>Pennisetum rigidum</i> , PA Ecotype	Redtop Pennstemon, Coastal Plain NC Ecotype	48.00
10.00% <i>Agrostis nemoralis</i> , PA Ecotype	Ancient Dogface, PA Ecotype	14.00
5.00% <i>Carex lasiocarpa</i> , PA Ecotype	Burnt Brown Sedge, PA Ecotype	22.00
1.00% <i>Juncus effusus</i>	Soft Rush	48.00
1.00% <i>Juncus tenuis</i> , PA Ecotype	Path Rush, PA Ecotype	68.00

100.00% **Mix Price/lb Bulk: \$21.29**

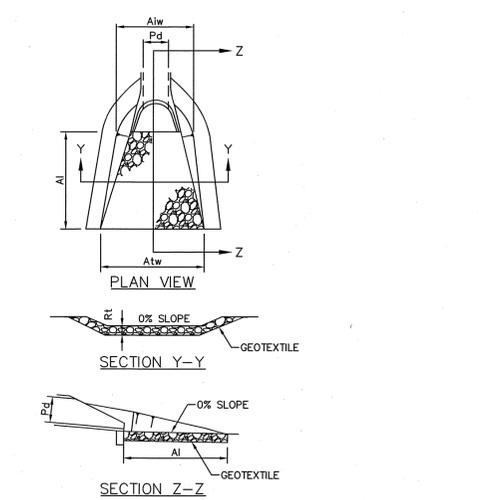
Seeding Rate: 15 lb per acre with a cover crop of grain rye at 30 lb per acre

Stormwater Management

Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the grading philosophy and function of the mix will not.



- NOTES:
- SOIL PLANTING MIX SHALL BE MIXTURE OF 70% TOPSOIL (SOIL BASE), 20% COMPOST (ORGANIC MATERIAL), AND 10% SAND.

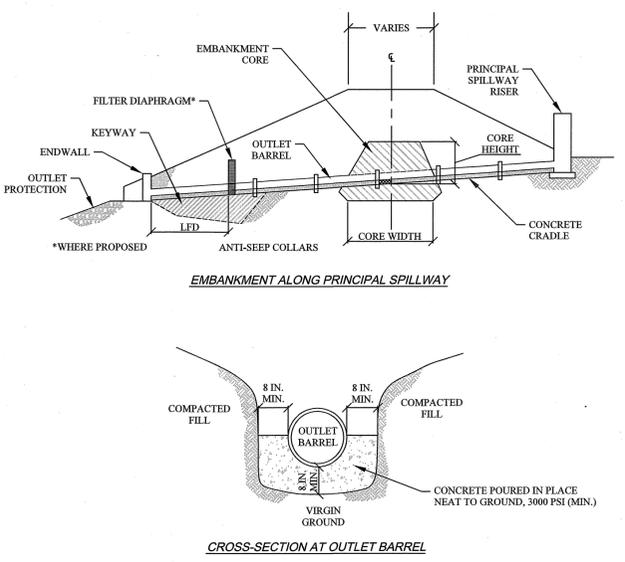


OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP SIZE R- (IN)	RIPRAP THICK. Rt (IN)	RIPRAP LENGTH Lt (FT)	APRON INITIAL WIDTH Atw (FT)	APRON TERMINAL WIDTH Atw (FT)
EW A	24	R-4	18	13	6	19
EW AA	24	R-4	18	13	6	19

ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.

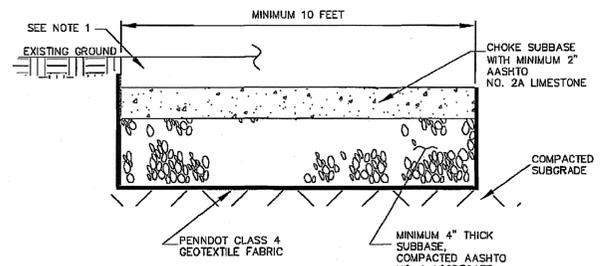
ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

STANDARD CONSTRUCTION DETAIL #9-1
RIPRAP APRON AT PIPE OUTLET WITH FLARED END SECTION OR ENDWALL
NOT TO SCALE



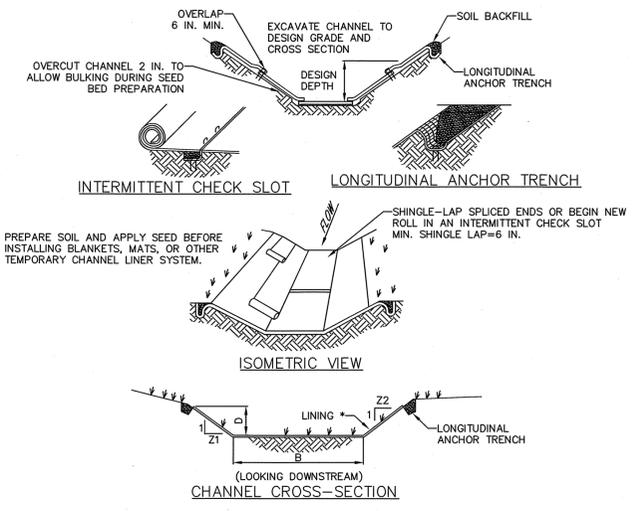
- NOTES:
- A CONCRETE CRADLE MAY BE USED IN CONJUNCTION WITH ANTI-SEEP COLLARS AND/OR FILTER DIAPHRAGM.
 - ANTI-SEEP COLLAR NUMBER, SIZE AND SPACING SHALL BE AS SHOWN ELSEWHERE IN PLAN. FILTER DIAPHRAGM LOCATION (LFD) SHALL BE AS SHOWN IN FIGURE 7.8 OF THE PA DEP EROSION CONTROL MANUAL.

CONCRETE CRADLE
NOT TO SCALE



- NOTE:
- GRAVEL BASE MAY BE BURIED WITH 4"-6" OF TOPSOIL AND SEED. TOPSOIL SHALL BE PLACED ON A GEOTEXTILE FABRIC SEPARATING SOIL FROM GRAVEL BASE.
 - ALTERNATIVE STABILIZATION METHODS MAY BE ACCEPTABLE UPON APPROVAL BY THE TOWNSHIP
 - MAXIMUM SLOPE OF ACCESS ROAD SHALL NOT EXCEED 20%.

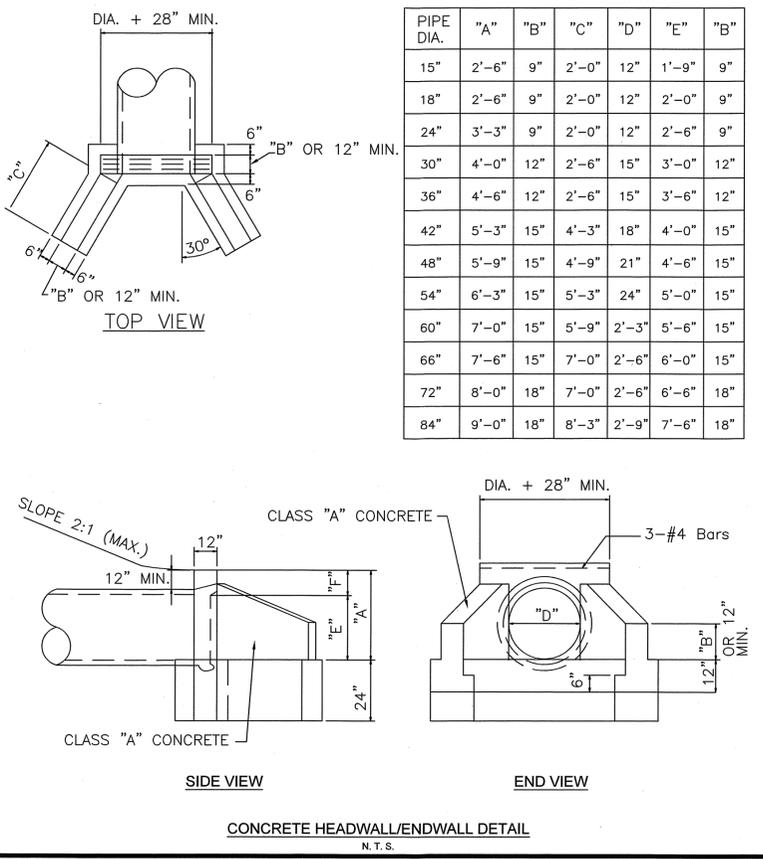
GRAVEL DETENTION BASIN ACCESS DETAIL
NOT TO SCALE



- * SEE MANUFACTURER'S LINING INSTALLATION DETAIL FOR STAPLE PATTERNS, VEGETATIVE STABILIZATION FOR SOIL AMENDMENTS, SEED MIXTURES AND MULCHING INFORMATION
- NOTES:
- ANCHOR TRENCHES SHALL BE INSTALLED AT BEGINNING AND END OF CHANNEL IN THE SAME MANNER AS LONGITUDINAL ANCHOR TRENCHES.
- CHANNEL DIMENSIONS SHALL BE CONSTANTLY MAINTAINED. CHANNEL SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 25% AT ANY LOCATION. SEDIMENT DEPOSITS SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS SOIL CONDITIONS PERMIT ACCESS TO CHANNEL WITHOUT FURTHER DAMAGE. DAMAGED LINING SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCOVERY.
- NO MORE THAN ONE THIRD OF THE SHOOT (GRASS LEAF) SHALL BE REMOVED IN ANY MOWING. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED. EXCESS VEGETATION SHALL BE REMOVED FROM PERMANENT CHANNELS TO ENSURE SUFFICIENT CHANNEL CAPACITY.

CHANNEL NO.	STATIONS	BOTTOM WIDTH B (FT)	DEPTH D (FT)	TOP WIDTH W (FT)	Z1 (FT)	Z2 (FT)	LINING *
SWALE A	0+00-2+45	2	1	8	3	3	P300-VEGETATED
SWALE B	0+00-0+85	3	1	9	3	3	P300-VEGETATED

STANDARD CONSTRUCTION DETAIL #6-1
VEGETATED CHANNEL
NOT TO SCALE



PIPE DIA.	PIPE BOOK						PAGE						
	"A"	"B"	"C"	"D"	"E"	"B"	"A"	"B"	"C"	"D"	"E"	"B"	
15"	2'-6"	9"	2'-0"	12"	1'-9"	9"	15"	2'-6"	9"	2'-0"	12"	1'-9"	9"
18"	2'-6"	9"	2'-0"	12"	2'-0"	9"	18"	2'-6"	9"	2'-0"	12"	2'-0"	9"
24"	3'-3"	9"	2'-0"	12"	2'-6"	9"	24"	3'-3"	9"	2'-0"	12"	2'-6"	9"
30"	4'-0"	12"	2'-6"	15"	3'-0"	12"	30"	4'-0"	12"	2'-6"	15"	3'-0"	12"
36"	4'-6"	12"	2'-6"	15"	3'-6"	12"	36"	4'-6"	12"	2'-6"	15"	3'-6"	12"
42"	5'-3"	15"	4'-3"	18"	4'-0"	15"	42"	5'-3"	15"	4'-3"	18"	4'-0"	15"
48"	5'-9"	15"	4'-9"	21"	4'-6"	15"	48"	5'-9"	15"	4'-9"	21"	4'-6"	15"
54"	6'-3"	15"	5'-3"	24"	5'-0"	15"	54"	6'-3"	15"	5'-3"	24"	5'-0"	15"
60"	7'-0"	15"	5'-9"	2'-3"	5'-6"	15"	60"	7'-0"	15"	5'-9"	2'-3"	5'-6"	15"
66"	7'-6"	15"	7'-0"	2'-6"	6'-0"	15"	66"	7'-6"	15"	7'-0"	2'-6"	6'-0"	15"
72"	8'-0"	18"	7'-0"	2'-6"	6'-6"	18"	72"	8'-0"	18"	7'-0"	2'-6"	6'-6"	18"
84"	9'-0"	18"	8'-3"	2'-9"	7'-6"	18"	84"	9'-0"	18"	8'-3"	2'-9"	7'-6"	18"

CONCRETE HEADWALL/ENDWALL DETAIL
N. T. S.

STANDARD EARTHWORK DESIGN
IF A GEOTECHNICAL REPORT HAS NOT BEEN COMPLETED FOR THE SITE THE FOLLOWING STANDARDS SHALL BE USED FOR THE EXCAVATION AND PLACEMENT OF FILL.

- SITE PREPARATION
- STRIP THE ENTIRE PROPOSED CONSTRUCTION AREA OF ALL CONCRETE, ASPHALT, SUB-BASE, COAL, CARBONACEOUS MATERIAL, VEGETATION, TOPSOIL, SOILS CONTAMINATED WITH MORE THAN FIVE (5) PERCENT ORGANICS BY WEIGHT, AND ANY OTHER UNSUITABLE MATERIALS. ALSO, REMOVE OR RELOCATE ALL OF THE UTILITIES AS NECESSARY TO ACCOMMODATE THE PROPOSED CONSTRUCTION. IF UNSUITABLE MATERIALS ARE ENCOUNTERED THE ENGINEER OF RECORD SHALL BE NOTIFIED AND AN INDEPENDENT GEO-TECHNICAL ENGINEER SHALL BE CONSULTED ON HOW TO MITIGATE POTENTIAL PROBLEMS.
 - REMOVE REMAINING SOILS, WHERE NECESSARY, TO PROPOSED SUB-GRADE ELEVATIONS.
 - ALL AREAS WHICH WILL RECEIVE BACKFILL SHOULD BE FILLED IN WITH SUITABLE MATERIALS, FROM ON-SITE OR HAILED IN FROM OFF-SITE.
 - PRIOR TO STRUCTURE SUPPORT OR BACKFILLING OPERATIONS, ALL AREAS SHOULD BE PROOF ROLLED TO DETECT ANY SOFT YIELDING ZONES. ANY YIELDING ZONES DISCOVERED SHOULD BE REMOVED OR STABILIZED AS PER PART 1.5 OF THIS SECTION.
 - STABILIZATION OF ISOLATED UNSTABLE SUBSURFACE MATERIALS MAY BE POSSIBLE USING CRUSHED STONE WHICH IS "BRIDGED" OR "CHOKED" INTO THE YIELDING MATERIALS. AN ALTERNATE METHOD OF SUBGRADE STABILIZATION FOR THE CASE OF SOFT, MOIST SOILS WOULD BE TO SCARIFY, DRY OUT, AND THEN RECOMPACT THE MOIST AREAS.
 - ALL PROOF ROLLED AREAS SHOULD BE INSPECTED BY AN INDEPENDENT GEO-TECHNICAL ENGINEER TO EVALUATE THAT ALL UNSUITABLE MATERIALS HAVE BEEN REMOVED.
 - UPON SUBGRADE APPROVAL, FILL THE SITE TO GRADE WHERE NECESSARY AS PER THE "GENERAL FILL CONSTRUCTION" SECTION OF THIS REPORT.

- GENERAL FILL CONSTRUCTION
- THE SOIL USED FOR FILL CONSTRUCTION SHOULD BE UNCONTAMINATED, CLEAN, ON-SITE OR OFF-SITE MATERIAL APPROVED BY AN INDEPENDENT GEO-TECHNICAL ENGINEER. THE SOIL SHALL BE FREE OF ORGANIC MATTER, FROZEN MATERIAL, PEAT, ROCK OR GRAVEL LARGER THAN 6 INCHES IN ANY DIMENSION, AND OTHER DELETERIOUS MATERIALS AND SHALL INCLUDE THE FOLLOWING ASTM D-2487 SOIL CLASSIFICATION GROUPS: GW, GP, GM, GC, SW, SM, SC, ML, AND CL OR A COMBINATION OF THESE GROUP SYMBOLS. POTENTIALLY EXPANSIVE AND HIGHLY PLASTIC MATERIALS SHOULD NOT BE USED.
 - IN AREAS WHICH ARE TO RECEIVE FILL EITHER AS PART OF AN UNDERCUT AND REPLACEMENT PROCESS OR FOR GRADE RAISING, THE SUBGRADE SHOULD FIRST BE PROPERLY PREPARED. THE SUBGRADE SHOULD BE SCARIFIED.
 - THE FIRST LIFT OF MATERIAL SHOULD BE ONLY APPROXIMATELY FOUR (4) INCHES THICK IN THE LOOSE STATE. EACH LIFT OF SOIL THEREAFTER SHOULD BE PLACED IN A MAXIMUM EIGHT INCH LOOSE THICKNESS AND SHOULD BE WITHIN PLUS OR MINUS TWO (2) PERCENT OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557).
 - ALL FILL SHOULD BE COMPACTED TO A MINIMUM DENSITY OF 95 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557).
 - DURING FILL CONSTRUCTION AND/OR SUBGRADE PREPARATION, THE CONTRACTOR SHOULD MAINTAIN GOOD SITE DRAINAGE. EXPOSED SURFACES SHOULD BE POSITIVELY SLOPED TO CAUSE RUNOFF TO FLOW AWAY FROM THE SITE. IF WATER DOES POND IN ANY SECTIONS, THOSE AREAS SHOULD BE DRAINED AND ALL MUD ZONES OR SOFTENED SOILS SHOULD BE AERATED AND RECOMPACTED BEFORE FURTHER CONSTRUCTION TAKES PLACE.
 - CLAYEY AND SILTY SOILS WERE ENCOUNTERED ON SITE AND ARE SUSCEPTIBLE TO BREAKDOWN BY PUMPING UNDER TRAFFIC LOADS. WHEN CLAY OR SILT POCKETS ARE ENCOUNTERED DURING CONSTRUCTION AND IF PUMPING IS INITIATED, CONSTRUCTION TRAFFIC SHOULD BE REROUTED AND THE AREA SHOULD THEN BE REESTABLISHED EITHER BY DRYING AND RECOMPACTING, OR BY ADDING DRAINAGE AND THEN DRYING AND RECOMPACTING. AREAS ALLOWED TO BREAK DOWN WILL GRADUALLY WORSEN AND SPREAD.
 - ALL FILL DENSITIES SHOULD BE EVALUATED BY ACA USING NUCLEAR DENSIMETERS OR OTHER APPROVED METHODS. AT LEAST ONE (1) TEST PER EVERY 2,500 SQUARE FEET ON EACH LIFT SHOULD BE CONDUCTED.
 - THE ABOVE RECOMMENDATIONS ENCOMPASS ESSENTIAL ASPECTS OF FILL CONSTRUCTION. THEY ARE NOT, HOWEVER, INTENDED TO BE A COMPLETE SET OF EARTHWORK SPECIFICATIONS.

SLOPE CONSTRUCTION
FILL SLOPES
TO PROVIDE FOR LONG TERM STABILITY, ALL SLOPES SHOULD BE CONSTRUCTED WITH A GRADE NO STEEPER THAN 2:1 (HORIZONTAL:VERTICAL). ALL FILL SLOPES SHOULD BE CONSTRUCTED USING PROPER TOE BENCHING, DRAINAGE, AND INTERMEDIATE BENCHING.

- TO ACHIEVE A STABLE SLOPE AND PRIOR TO PLACING ANY FILL, THE FOLLOWING SHOULD BE IMPLEMENTED.
- STRIP THE ENTIRE CONSTRUCTION AREA OF ALL EXISTING VEGETATION, TOPSOIL, AND ORGANIC SOIL ENCOUNTERED, AND ANY OTHER UNSUITABLE MATERIALS.
 - CONSTRUCT THE EMBANKMENT TOE BENCH AS SHOWN ON BENCHING DETAIL. THE KEYWAYS SHOULD BE EXCAVATED TO COMPETENT MATERIAL APPROVED BY AN ON-SITE INDEPENDENT GEO-TECHNICAL ENGINEER.
 - THE SLOPE CONSTRUCTION SHOULD THEN START USING SUITABLE SOIL/ROCK. THESE MATERIALS SHOULD BE PLACED AS PER THE "GENERAL FILL CONSTRUCTION" SECTION OF THIS REPORT. THE FILL SHOULD BE BENCHED INTO THE EXISTING MATERIALS. THE SUITABILITY OF THE EXCAVATED MATERIALS SHOULD BE MADE ON SITE BY AN INDEPENDENT GEO-TECHNICAL ENGINEER DURING CONSTRUCTION OPERATIONS.

CUT SLOPES
CUT SLOPES SHOULD BE CONSTRUCTED WITH A GRADE NO STEEPER THAN 2:1 (HORIZONTAL:VERTICAL). A COLLECTION DITCH SHOULD BE CREATED AT THE BOTTOM OF THE SLOPE IN ORDER TO COLLECT ANY SURFACE OR SUBSURFACE WATER AND DIVERT IT AWAY FROM THE DEVELOPMENT AREA.

IN ADDITION DUE TO THE POSSIBILITY OF GROUNDWATER BEING ENCOUNTERED WITHIN THE CUT AREA, FUTURE MAINTENANCE OF THE SLOPES MAY BE REQUIRED. TYPICALLY FOLLOWING THE EXCAVATION OF THE SLOPES, GROUNDWATER MAY BE EVIDENT WITHIN THE NEW SLOPE SURFACE. THIS MAY BE CAUSE FOR CONCERN DUE TO THE POTENTIAL HIGH MOISTURE CONTENT WITHIN THE SURFACE SOIL WHICH MAY CAUSE SURFACE SLIDING AND LOCALIZED SURFACE FAILURES. IN THE EVENT THIS SITUATION OCCURS DURING OR AFTER CONSTRUCTION, THESE LOCALIZED AREAS MAY NEED TO BE EXCAVATED AND BACKFILLED WITH RICK MATERIAL. PROPER DRAINAGE WILL THEN NEED TO BE PROVIDED TO CARRY WATER AWAY FROM THE SLOPES THROUGH ROCK LINED CHANNELS. SEEDING OF THE SLOPES SHOULD BE PERFORMED IMMEDIATELY AFTER COMPLETION OF GRADING.

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DATE ISSUED:	PROJECT STATUS:
April 20, 2023	FINAL
REVISIONS:	
NO.	DESCRIPTION
1	Address Municipal Comments
	DATE
	June 14, 2023

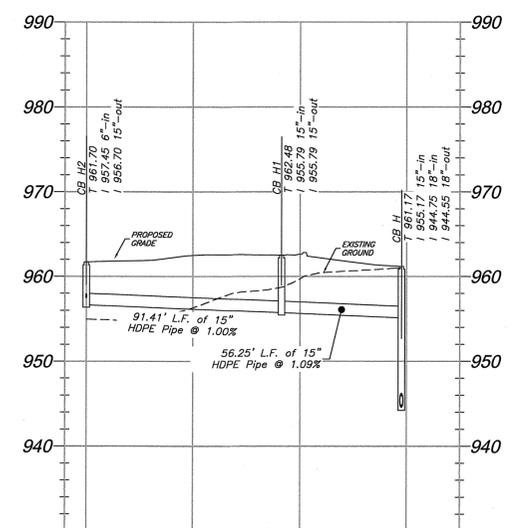
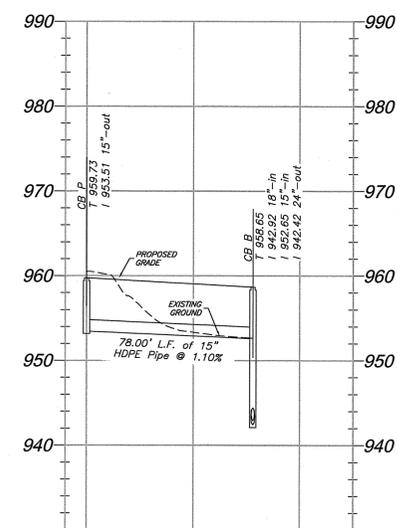
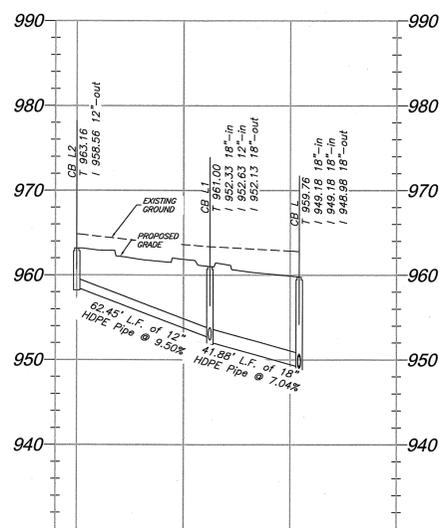
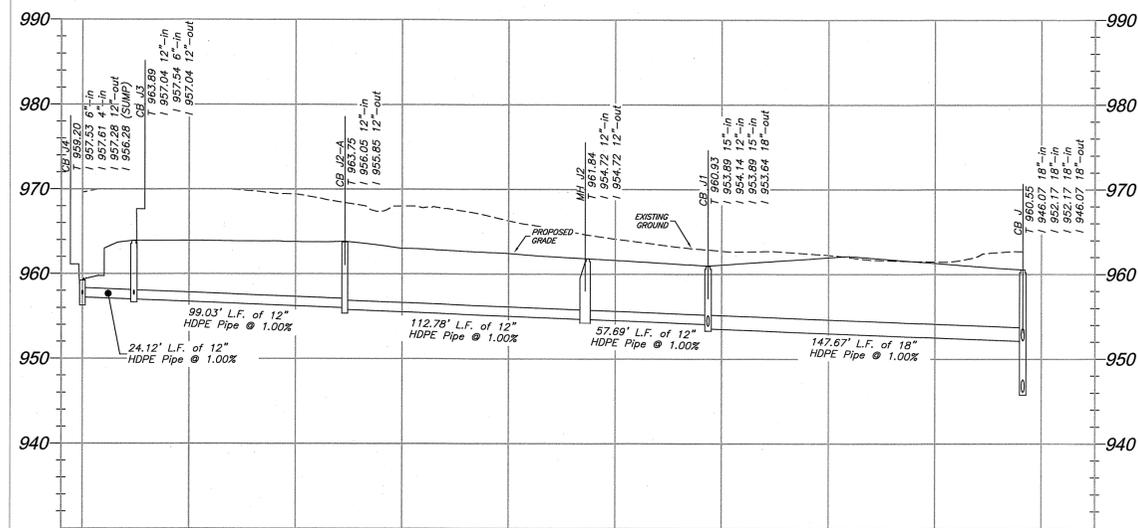
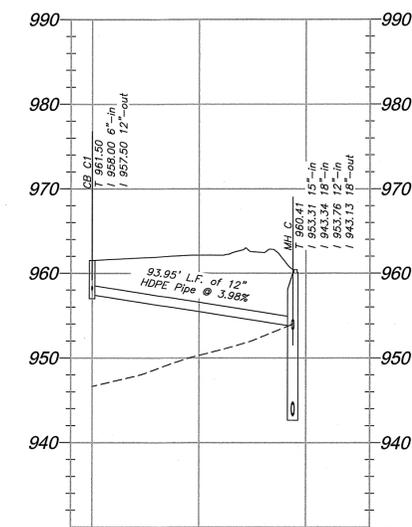
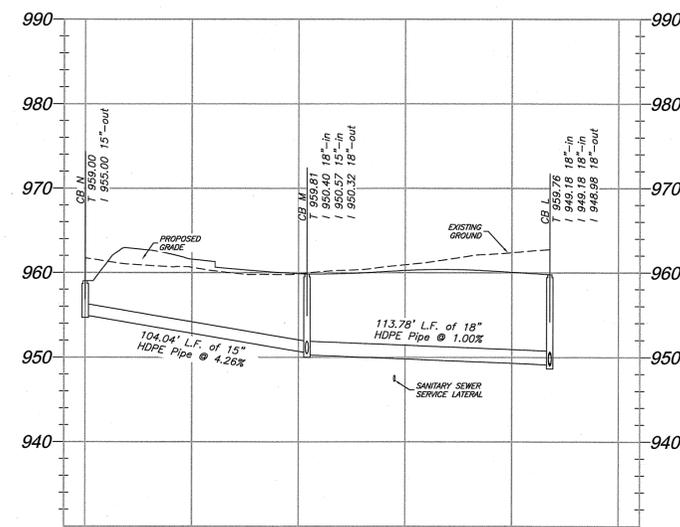
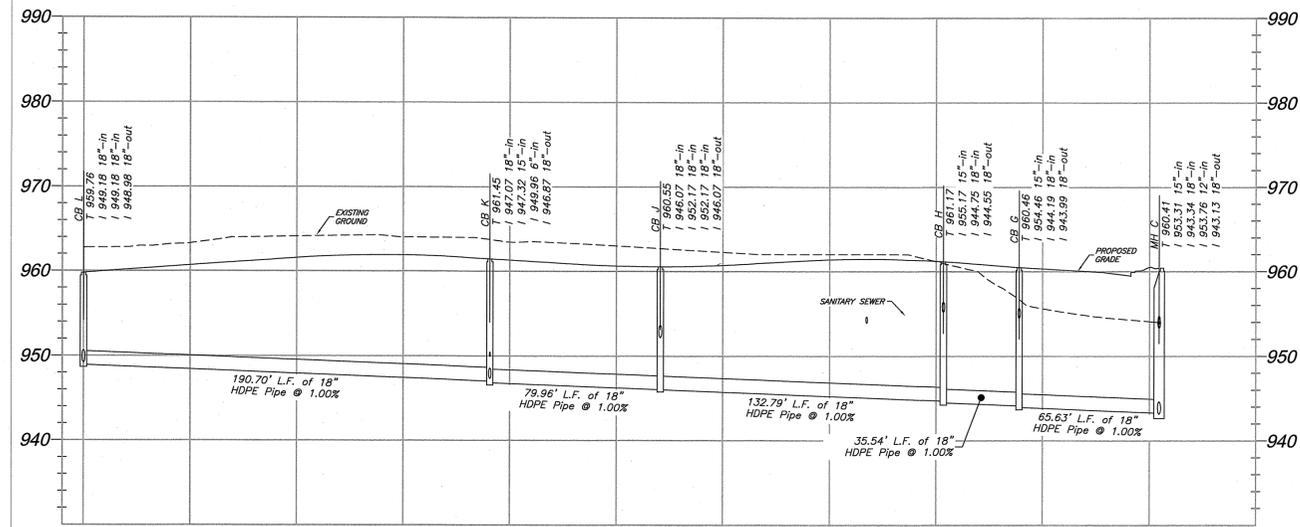
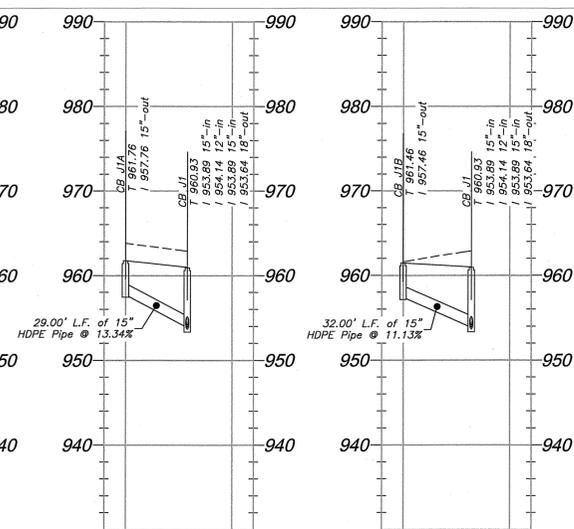
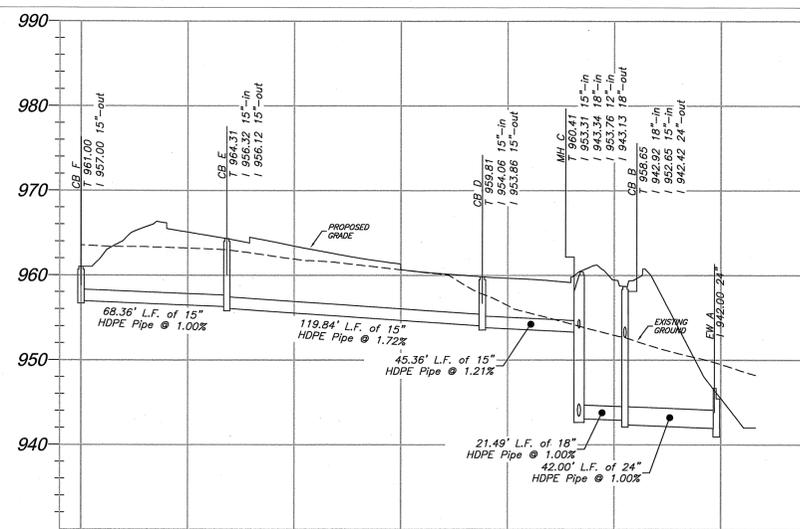
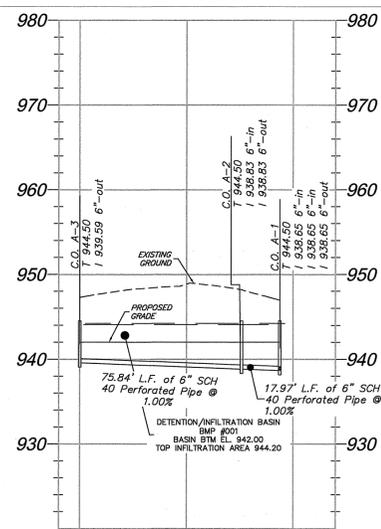
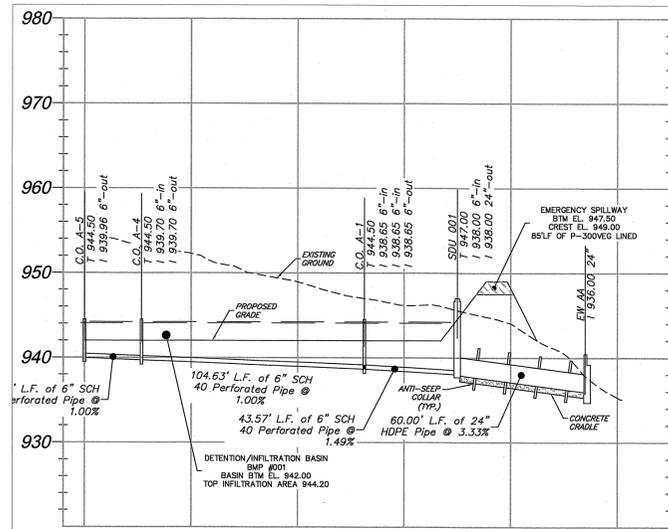
DRAWING ORIENTATION

Jackson Village Post Development Stormwater Management Plan
PCSM Construction Details

PROJECT TITLE: Jackson Township
PROJECT LOCATION: Jackson Township, Pennsylvania
CLIENT ADDRESS: 234 Harmony, L.P., 4041 Liberty Avenue, Butler County, Pennsylvania

PROJECT NO.: 15224

DRAWN BY:	CHECKED BY:
Mal	
CAD FILE:	13940 PCSM.dwg
HORIZ. SCALE:	VERT. SCALE:
NTS	NTS
SHEET:	OF
PCSM.105	
PROJECT #:	13940



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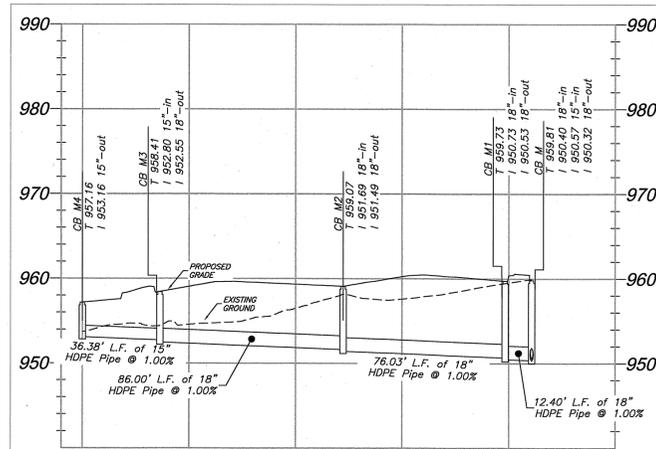
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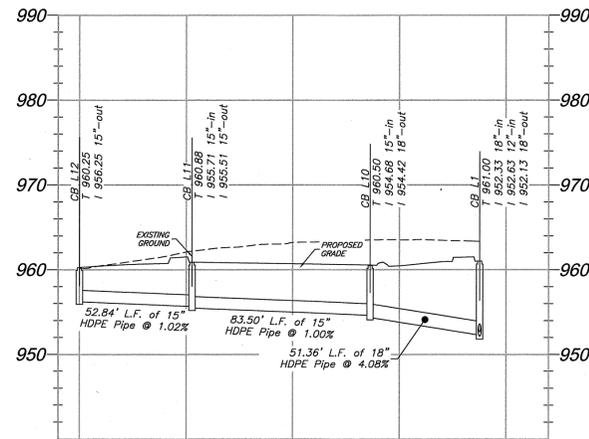
PROJECT TITLE:
Jackson Village
 Storm Sewer Profiles

CLIENT ADDRESS:
 234 Harmony, L.P.
 4041 Liberty Avenue
 Pittsburgh, Pa. 15224

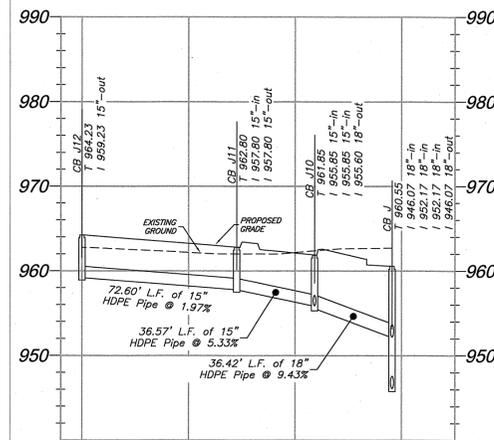
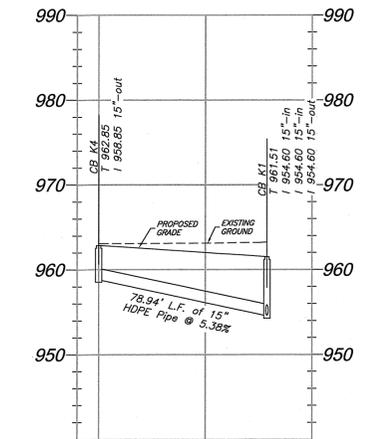
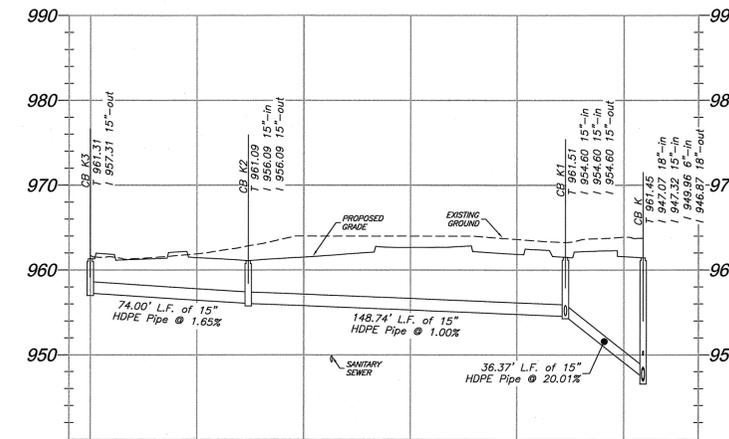
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P.101	
PROJECT #:	13940



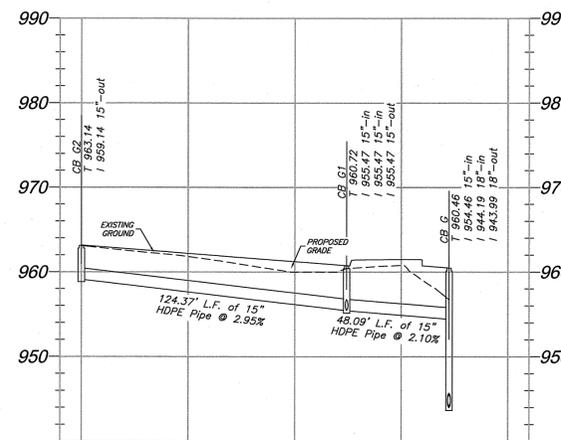
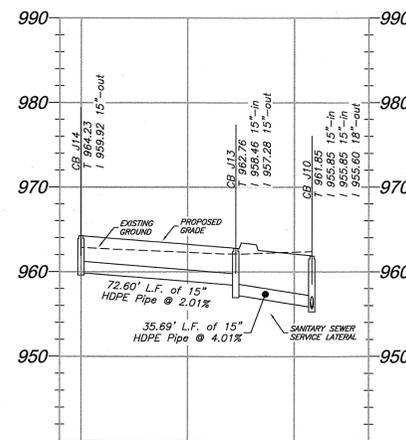
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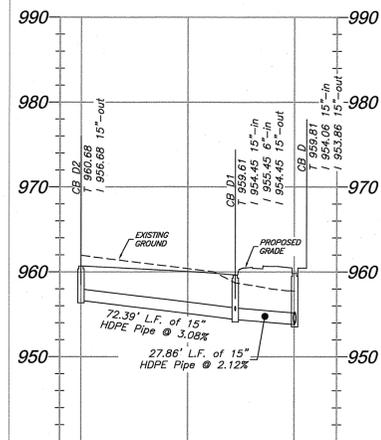
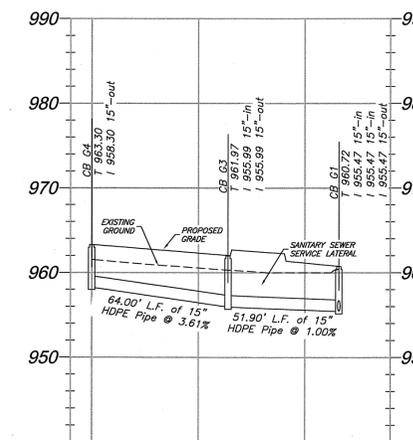
STORM SEWER PHASE 3



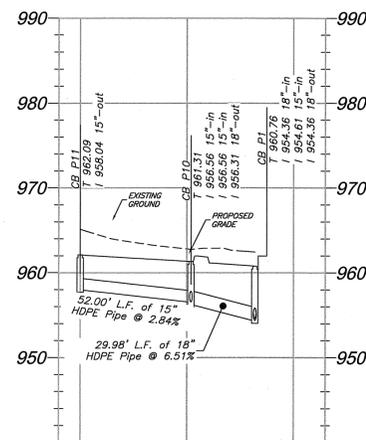
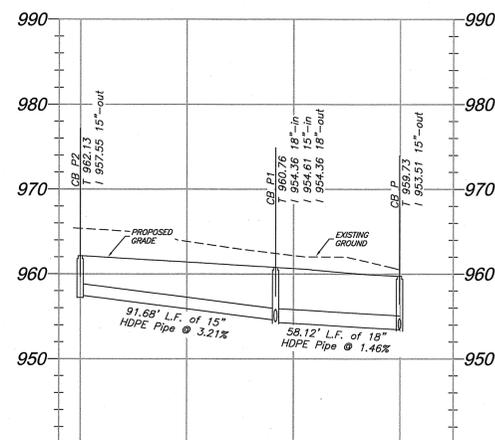
STORM SEWER PHASE 4



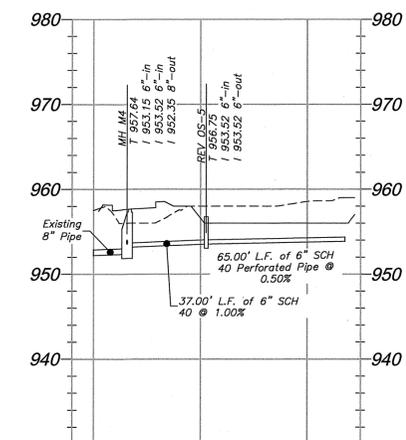
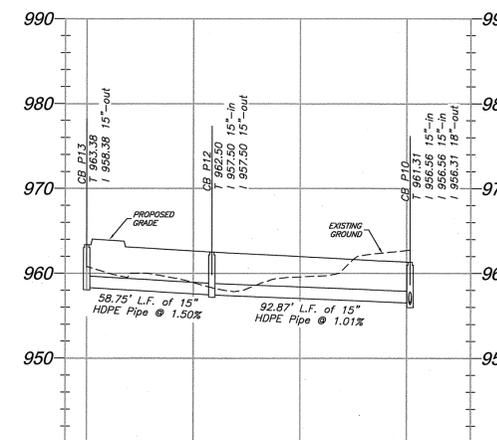
STORM SEWER PHASE 5



STORM SEWER PHASE 6



STORM SEWER PHASE 7



Modified Rain Garden #5



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Jackson Village
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13940 PCSM.dwg	
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1" = 40'	1" = 10'
SHEET:	OF
P.102	
PROJECT #:	
13940	

OWNERS ADOPTION

234 HARMONY, L.P., THE OWNER OF THE LAND SHOWN ON THE JACKSON VILLAGE CONSOLIDATION PLAN HEREBY ADOPTS THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO JACKSON TOWNSHIP...

IN WITNESS WHEREOF, WE HERETO SET OUR HAND AND SEAL THIS 22 DAY OF February, 2024.

ATTEST: [Signature] NOTARY PUBLIC; [Signature] SIGNATURE OF GENERAL PARTNER

ACKNOWLEDGEMENT

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COUNTY OF Allegheny OF THE COMMONWEALTH OF PENNSYLVANIA, PERSONALLY APPEARED THE ABOVE NAMED [Signature] A PARTNER IN THE FIRM OF 234 HARMONY, L.P., WHO ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION AND PLAN OF SUBDIVISION TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH:

WITNESS MY HAND AND NOTARIAL SEAL THIS 22nd DAY OF February, 2024.

[Signature] NOTARY PUBLIC; Commonwealth of Pennsylvania - Notary Seal; My commission expires May 19, 2027

MY COMMISSION EXPIRES THE 19th DAY OF May, 2027.

TITLE CLAUSE

I DO HEREBY CERTIFY THAT THE TITLE OF THE PROPERTY CONTAINED IN THE JACKSON VILLAGE CONSOLIDATION PLAN IS IN THE NAME OF 234 HARMONY, L.P., AS RECORDED IN INSTRUMENT NUMBERS 202211210023959, 202210140021620, 202301110000483, 202304210005373 AND 202304210005374 IN THE BUTLER COUNTY RECORDER OF DEEDS OFFICE. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN, OR OTHER INCUMBRANCE AGAINST THIS PROPERTY.

[Signature] WITNESS; [Signature] OWNER

SURVEYOR'S CERTIFICATION

I, MARK B. SCHMIDT, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THE PLANS SHOWN HEREIN ARE BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT IN MY PROFESSIONAL OPINION ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LAND, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

2-19-2024 DATE; [Signature] MARK B. SCHMIDT, P.L.S. REGISTRATION NO. SU-36950-E

TOWNSHIP ENGINEER'S CERTIFICATION

THIS PLAN WAS REVIEWED BY THE TOWNSHIP ENGINEER FOR CONFORMANCE WITH THE JACKSON TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND OTHER APPLICABLE TOWNSHIP ORDINANCES.

3/6/23 DATE; [Signature] NAME: PE 077627 REGISTRATION NUMBER

BUILDING PERMIT STATEMENT

JACKSON TOWNSHIP AGREES NOT TO ISSUE BUILDING PERMITS UNTIL THE "PLANNING MODULE FOR LAND DEVELOPMENT" HAS BEEN APPROVED IN ACCORDANCE WITH THE REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

3/7/24 DATE; [Signature] TOWNSHIP MANAGER / SECRETARY

JACKSON TOWNSHIP PLANNING DIRECTOR

REVIEWED BY THE PLANNING DIRECTOR OF JACKSON TOWNSHIP THIS 21st DAY OF August, 2023, PURSUANT TO CHAPTER 22, SUBDIVISION AND LAND DEVELOPMENT, OF THE CODE OF JACKSON TOWNSHIP, AS AMENDED. THE PLANNING DIRECTOR OF JACKSON TOWNSHIP GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING JACKSON TOWNSHIP ASSUMES NO OBLIGATION TO ACCEPT THE DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

[Signature] TOWNSHIP SECRETARY; [Signature] PLANNING DIRECTOR; This plat was delivered to 234 Harmony by Jackson Township on the 4th day of June, 2024; [Signature] Township Manager

THIS PLAT WAS DELIVERED TO 234 HARMONY, L.P. ON THE 22nd DAY OF March, 2024.

JACKSON TOWNSHIP PLANNING COMMISSION

REVIEWED BY THE PLANNING COMMISSION OF JACKSON TOWNSHIP THIS 2nd DAY OF August, 2023.

[Signature] SECRETARY; [Signature] CHAIRPERSON

JACKSON TOWNSHIP BOARD OF SUPERVISORS

APPROVED BY THE BOARD OF SUPERVISORS OF JACKSON TOWNSHIP THIS 21st DAY OF September, 2023. THE BOARD OF SUPERVISORS OF JACKSON TOWNSHIP GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING JACKSON TOWNSHIP ASSUMES NO OBLIGATION TO ACCEPT THE DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

[Signature] SECRETARY; [Signature] CHAIRPERSON

BUTLER COUNTY PLANNING COMMISSION REVIEW

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 7th DAY OF March, 2023.

[Signature] SECRETARY; [Signature] CHAIRMAN

PROOF OF RECORDING

MICHELE M. MUSTELLO RECORDER OF DEEDS

COMMONWEALTH OF PENNSYLVANIA) SS: COUNTY OF BUTLER My Commission Expires First Monday in January 2028

RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC., IN SAID COUNTY IN PLAN BOOK VOLUME 418, PAGE 44-47.

GIVEN UNDER MY HAND AND SEAL THIS 4th DAY OF June, 2024. [Signature] RECORDER OF DEEDS

Table with 3 columns: Tax Parcel, Acres, SQ.FT. Total: 31.2873 ACRES, 1,362,877 SQ.FT.

OWNER / DEVELOPER

234 HARMONY, L.P. 4041 LIBERTY AVENUE, SUITE 201 PITTSBURGH, PA. 15224

PROPERTY INFORMATION

Table with 3 columns: PROPERTY ADDRESS, TAX ID. NUMBER, TOTAL PLAN AREA, PROPOSED LAND USE, ALL ZONING CALCULATIONS ARE BASED ON THE SHOPPING CENTER AREA OF 14.0640 Acres.

R (Residential District)

Table with 2 columns: Required, Overall. Min Lot Size: 1.5 Acres, 31.2873 Acres.

UTILITY INFORMATION

Table with 2 columns: PUBLIC SANITARY, PUBLIC WATER, CABLE/INTERNET, GAS.

WESTERN BUTLER COUNTY AUTHORITY

THE UNDERSIGNED OWNER(S), INTENDING TO LEGALLY BIND THEMSELVES, ITSELF, AND ITS OR THEIR SUCCESSORS AND ASSIGNS, HEREBY GRANT AND DEDICATE TO THE WESTERN BUTLER COUNTY AUTHORITY, BUTLER COUNTY, PENNSYLVANIA, AND ITS RESPECTIVE SUCCESSORS AND ASSIGNS FOREVER, THE RIGHT TO INSTALL, CONSTRUCT, OPERATE, REPAIR, MAINTAIN, RELOCATE, AND REPLACE ALL NECESSARY FACILITIES FOR SANITARY SEWER COLLECTION AND CONVEYANCE TO, OVER, THROUGH, AND ACROSS EASEMENTS FOR UTILITIES AND/OR EASEMENTS FOR SANITARY SEWERS, INCLUDING THE RIGHT TO ASSIGN THE SAME, ALL WITH THE SAME FORCE AND EFFECT AS THOUGH SAID EASEMENTS HAD BEEN DULY ACQUIRED FOR SUCH PURPOSES BY CONDEMNATION, AND THE UNDERSIGNED HEREBY WAIVES FOR ITSELF, THEMSELVES, AND ITS OR THEIR ASSIGNS AND SUCCESSORS ANY AND ALL CLAIMS FOR DAMAGES FOR THE LAWFUL USE OF SUCH EASEMENTS FOR THE AFORESAID PURPOSES.

WITNESS [Signature] OWNER; EASEMENTS APPROVED BY THE WESTERN BUTLER COUNTY AUTHORITY THIS 22 DAY OF February, 2024.

WESTERN BUTLER COUNTY AUTHORITY - EXISTING EASEMENT EXTINGUISHMENT

WHEREAS, WESTERN BUTLER COUNTY AUTHORITY (WBCA) OWNS AND MAINTAINS EXISTING SANITARY FACILITIES WITHIN AN EXISTING TWENTY (20) FEET WIDE EASEMENT SHOWN ON SHEET REC.102 "PLAN FOR RECORDING" AND IS LABELED AND CLEARLY HATCHED ON THE SHEET AS "EXISTING 20' SANITARY SEWER EASEMENT (TO BE EXTINGUISHED)" PATEL PLAN OF LOTS PBV, 279 PAGE 8.

WHEREAS, THE OWNER IS REQUESTING WBCA TO EXTINGUISH CERTAIN EXISTING SANITARY SEWER EASEMENTS MENTIONED ABOVE IN ORDER TO CONSTRUCT COMMERCIAL BUILDINGS; AND WHEREAS, THE OWNER OF THE PROPERTY ACCEPTS THE OWNERSHIP AND RESPONSIBILITY FOR ALL THE ABOVE MENTIONED EXISTING SANITARY SEWER PIPES TO BE ABANDONED IN PLACE WITHIN SAID EASEMENT TO BE EXTINGUISHED; AND WHEREAS, THE WBCA IS WILLING TO EXTINGUISH SAID EASEMENT CONDITIONED ON RECEIVING ALL NEW SANITARY FACILITIES AND EASEMENTS & ACCESSES REQUIRED TO PROVIDE SANITARY SEWER SERVICE TO THE PROPERTY AT THE SOLE COST OF THE OWNER/DEVELOPER OF THE PROPERTY.

NOW THEREFORE:

SECTION 1. WBCA HEREBY QUITCLAIMS, VACATES, RELEASES AND EXTINGUISHES, WITHOUT WARRANTY, UNTO THE OWNER, ITS SUCCESSORS AND ASSIGNS, ALL OF ITS RIGHTS, TITLE, INTEREST AND ANY POTENTIAL LIABILITY OF ANY NATURE, IN AND TO THOSE PORTIONS OF THE SANITARY SEWER EASEMENTS PREVIOUSLY CREATED BY INSTRUMENT RECORDED AT THE BUTLER COUNTY COURTHOUSE RECORDER OF DEEDS OFFICE IN PATEL PLAN OF LOTS PBV, 279 PAGE 8 AND AS MAY OTHERWISE EXIST, AND WHICH IS SHOWN HATCHED AND LABELED ON THE PLAN FOR RECORDING SHEET REC.102.

SECTION 2. THE OWNER, ITS SUCCESSORS AND ASSIGNS, DO HEREBY FOREVER RELEASE, ACQUIT, DISCHARGE, INDEMNIFY AND DEFEND WBCA, ITS AGENTS AND EMPLOYEES, FROM ANY AND ALL LIABILITY OF ANY NATURE AND IN ANY CONTEXT THAT MAY RESULT FROM THE EXTINGUISHMENT OF SAID EASEMENTS AND THE ABANDONMENT OF THE EXISTING SANITARY SEWERS WITHIN SAID EASEMENTS.

WITNESS [Signature] NAME; [Signature] OWNER: 234 HARMONY L.P. DATE: 2/21/24

ATTEST [Signature] WESTERN BUTLER COUNTY AUTHORITY; NAME, NAME, DATE

Modification Request Approval July 20, 2023

1st Modification: \$22-603.B.2.b Existing streets. Sidewalks shall be provided along any side of an existing public or private street within or abutting the property which is the subject of the subdivision and/or land development.

With the exception of the intersection at Little Creek Road and Route 19 and the sidewalk that runs along the south side of Little Creek Road, there are no sidewalks located along Route 19. The area is rather rural with low pedestrian traffic. The topography along the right of way line of Route 19, along which the sidewalk would traverse, is very steep and would require stream crossings at the north and south ends of the site. These construction challenges make us ask for a waiver of this part of the ordinance.

2nd Modification: \$36-146.B.8 Exterior slopes of compacted soil shall not exceed 3:1 and may be further reduced if the soil has unstable characteristics. The location of the detention/infiltration basin was determined to be the only location to have infiltration on the site. The design of the exterior slope of the embankment was to limit the disturbance of sensitive areas of steep slopes, and streams. To limit this disturbance, we are asking for a waiver to this part of the ordinance.

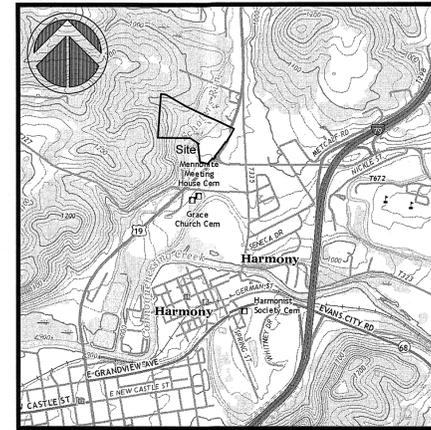
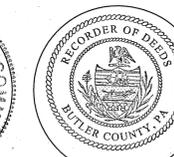
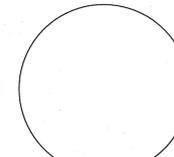
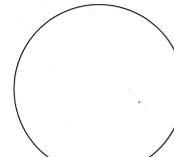
3rd Modification: \$22-603.B(2)(c)(3) A grass planting strip, a minimum of three feet wide, shall be provided between the curb and sidewalk. The location of the existing ADA Ramp/Sidewalk at the intersection of Route 19 and Little Creek Road is located directly behind the curb. To be consistent with the design of the intersection we ask that the sidewalk be located directly behind the curb to the first curb cut within the plan. Also, at the intersection of ACCESS ROAD 1 and the PARALLEL ROAD, we ask that this waiver include the sidewalk located along the northeast corner of the intersection to help establish separation of the sidewalk and the parking area.

4th Modification: \$22-603.B(2)(a) New streets. Sidewalks shall be provided along both sides of any new public or private street. We ask that the proposed sidewalks be constructed along one side of ACCESS ROAD 1 and the PARALLEL ROAD. This will minimize the flow of pedestrian traffic across the parking lot access locations. We ask also that ACCESS ROAD 2 not have sidewalk on either side of the street since no pedestrian access will be provided along Route 19 as per Modification 1 above.

\$27-1433 Conditional Use is Required for this Development as a Planned Shopping Center. Conditional use approval was granted on July 20, 2023.

TOWNSHIP ENGINEER, JACKSON TOWNSHIP PLANNING COMMISSION, JACKSON TOWNSHIP PLANNING DIRECTOR, JACKSON TOWNSHIP BOARD OF SUPERVISORS, BUTLER COUNTY PLANNING COMMISSION, RECORDER OF DEEDS

PLAN BOOK 418, PAGE 44



USGS Map Zellenople and Evans City, Pa. Scale - 1" = 200'

Instr: 202406040007874; 6/4/2024 11:37 AM; 72424900422



Corporate Office: Etna Technical Center, 35 Wilson Street, Suite 201, Pittsburgh, PA 15223; Mars Office: 123 Ridge Road, Suite B, Valencia, PA 16059

Table with columns: DATE ISSUED, PROJECT STATUS, REVISIONS, NO., DESCRIPTION

DRAWING ORIENTATION

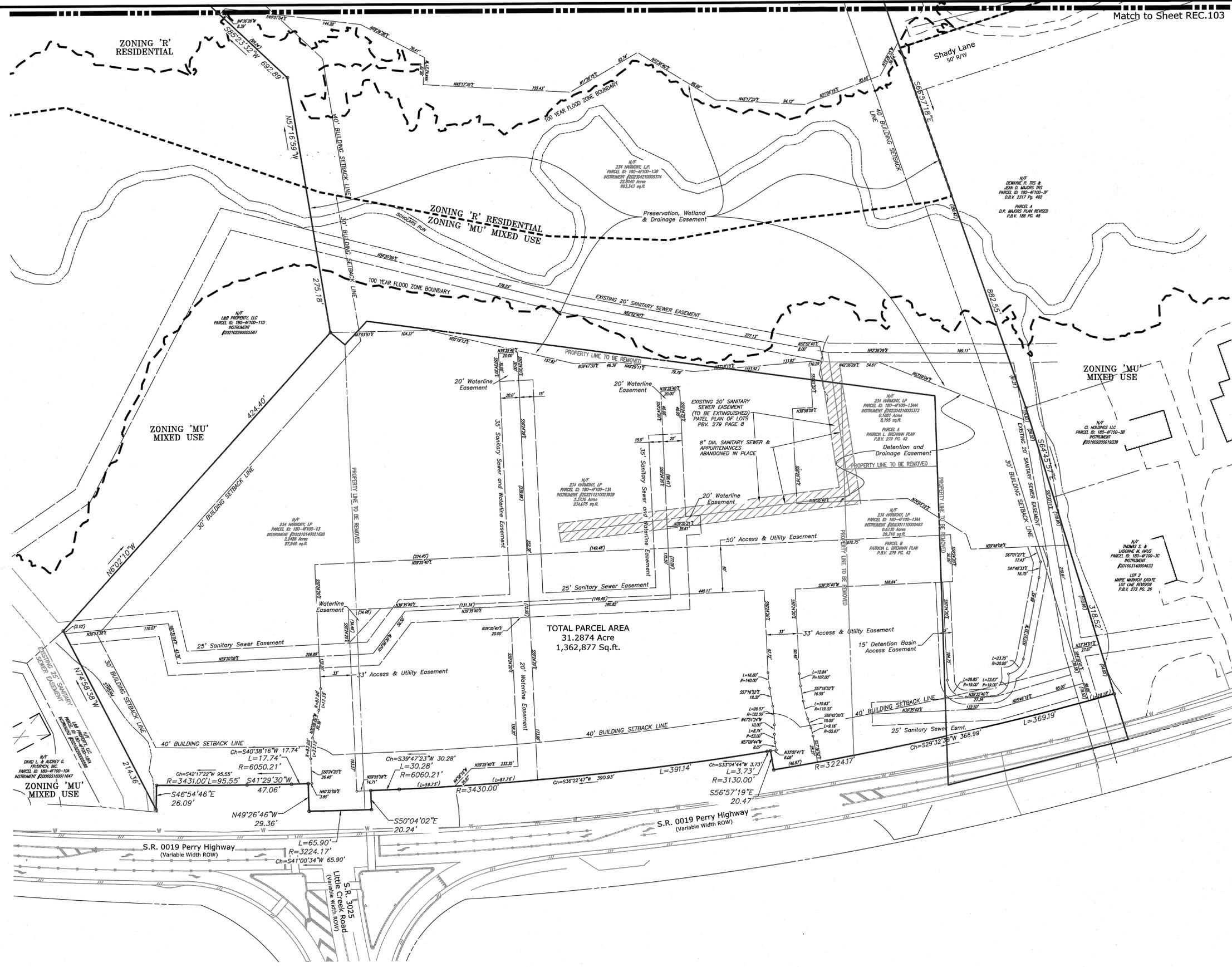
Table with columns: DATE, PROJECT STATUS, REVISIONS, NO., DESCRIPTION

Jackson Village Consolidation / Subdivision Plan

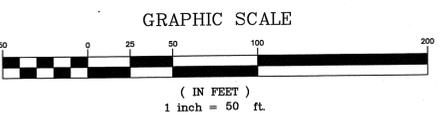
Plan for Recording - Phase 1

CLIENT ADDRESS: 234 Harmony, L.P., 4041 Liberty Avenue, Pittsburgh, Pa. 15224

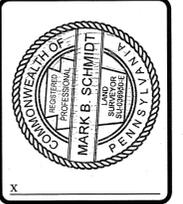
DRAWN BY: Mal; CHECKED BY: Mal; CAD FILE: 13940 Recorded Plan PH 1.dwg; REC. 101; PROJECT #: 13940



Match to Sheet REC.103



PLAN BOOK	PAGE
418	45



HAMPTON TECHNICAL ASSOCIATES
 ENGINEERING LAND SURVEYORS
 ESTABLISHED 1960
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 123 Ridge Road, Suite B
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 PHONE: (724) 625-4544
 FAX: (724) 625-4549

NO.	DESCRIPTION	DATE

DATE ISSUED: Feb. 8, 2024
 PROJECT STATUS: FINAL

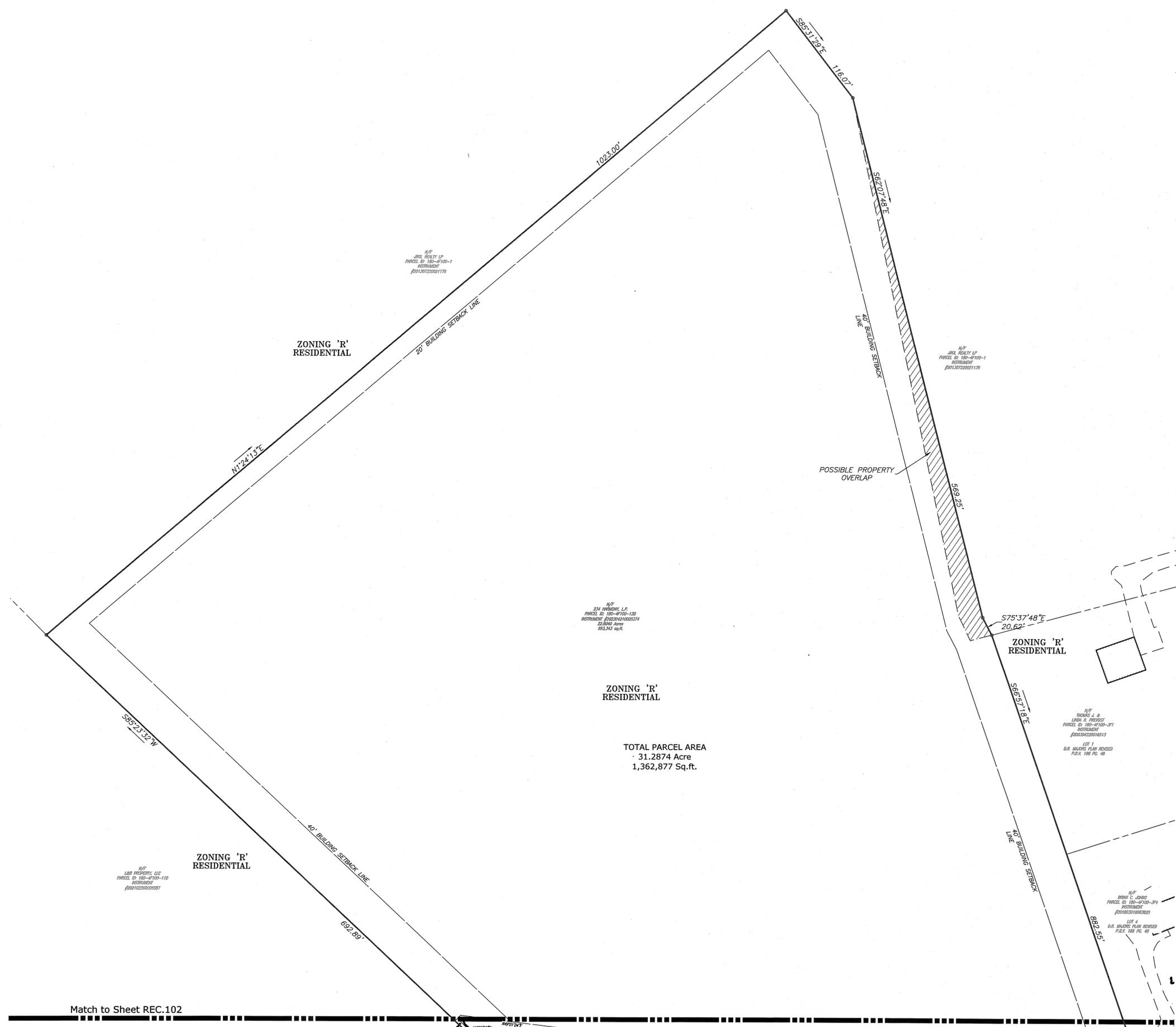


Jackson Village Consolidation / Subdivision Plan
 Plan for Recording - Phase 1

PROJECT LOCATION:
 Jackson Township
 Butler County, Pennsylvania

CLIENT ADDRESS:
 234 Harmony, L.P.
 4041 Liberty Avenue
 Pittsburgh, Pa. 15224

DRAWN BY: Mal	CHECKED BY:
CAD FILE: 13840 Recorded Plan PH 1.dwg	
HORIZ. SCALE: 1" = 50'	VERT. SCALE:
SHEET: 2 OF 4	
REC.102	
PROJECT #: 13940	



ZONING 'R'
RESIDENTIAL

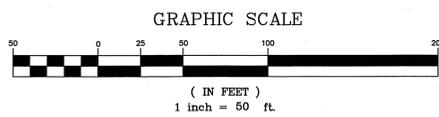
ZONING 'R'
RESIDENTIAL

ZONING 'R'
RESIDENTIAL

ZONING 'R'
RESIDENTIAL

TOTAL PARCEL AREA
31.2874 Acre
1,362,877 Sq.ft.

PLAN BOOK	PAGE
418	46



Match to Sheet REC.102



ENGINEERING LAND SURVEYORS
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Valencia, PA 16059
PHONE: (724) 625-4544
FAX: (724) 625-4549

DATE ISSUED	PROJECT STATUS	DATE
Feb. 8, 2024	FINAL	
REVISIONS	NO.	DESCRIPTION



PROJECT TITLE:
Jackson Village Consolidation / Subdivision Plan
Plan for Recording - Phase 1

CLIENT ADDRESS:
234 Harmony, L.P.
4041 Liberty Avenue
Pittsburgh, Pa. 15224

PROJECT LOCATION:
Jackson Township
Butler County, Pennsylvania

DRAWN BY: Mal
CHECKED BY:

CAD FILE: 13940 Recorded Plan PH 1.dwg

HORIZ. SCALE: 1" = 50'
VERT. SCALE: 1" = 50'

SHEET: 3 OF 4
REC.103
PROJECT #: 13940

OWNERS ADOPTION

234 HARMONY, L.P., THE OWNER OF THE LAND SHOWN ON THE JACKSON VILLAGE CONSOLIDATION PLAN HEREBY ADOPTS THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO JACKSON TOWNSHIP...

IN WITNESS WHEREOF, WE HERETO SET OUR HAND AND SEAL THIS 1st DAY OF April, 2024.

ATTEST: [Signatures]
Notary Public: Mary Louise Madigan-Vogt, Notary Public, Allegheny County, My commission expires May 19, 2027, Commission number 1290702.

ACKNOWLEDGEMENT: Member, Pennsylvania Association of Notaries

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COUNTY OF Allegheny OF THE COMMONWEALTH OF PENNSYLVANIA, PERSONALLY APPEARED THE ABOVE NAMED [Signatures] A PARTNER IN THE FIRM OF 234 HARMONY, L.P., WHO ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION AND PLAN OF SUBDIVISION TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH:

WITNESS MY HAND AND NOTARIAL SEAL THIS 1st DAY OF April, 2024.

Notary Public: Mary Louise Madigan-Vogt, Notary Public, Allegheny County, My commission expires May 19, 2027, Commission number 1290702.

MY COMMISSION EXPIRES THE 19th DAY OF May, 2027.

TITLE CLAUSE

I DO HEREBY CERTIFY THAT THE TITLE OF THE PROPERTY CONTAINED IN THE JACKSON VILLAGE CONSOLIDATION PLAN IS IN THE NAME OF 234 HARMONY, L.P., AS RECORDED IN INSTRUMENT NUMBERS 20221121002959, 202210140021620, 20230111000483, 202204210005373 AND 202304210005374 IN THE BUTLER COUNTY RECORDER OF DEEDS OFFICE. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN, OR OTHER INCUMBRANCE AGAINST THIS PROPERTY.

[Signatures] WITNESSES and OWNER

SURVEYOR'S CERTIFICATION

I, MARK B. SCHMIDT, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THE PLANS SHOWN HEREIN ARE BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT IN MY PROFESSIONAL OPINION ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LAND, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

3-26-2024 DATE, Mark B. Schmidt, Registration No. SU-36950-E

TOWNSHIP ENGINEER'S CERTIFICATION

THIS PLAN WAS REVIEWED BY THE TOWNSHIP ENGINEER FOR CONFORMANCE WITH THE JACKSON TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND OTHER APPLICABLE TOWNSHIP ORDINANCES.

5/6/2024 DATE, [Signature], Registration Number PE 07527

BUILDING PERMIT STATEMENT

JACKSON TOWNSHIP AGREES NOT TO ISSUE BUILDING PERMITS UNTIL THE "PLANNING MODULE FOR LAND DEVELOPMENT" HAS BEEN APPROVED IN ACCORDANCE WITH THE REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

5/6/2024 DATE, [Signature], Township Manager / Secretary

JACKSON TOWNSHIP PLANNING DIRECTOR

REVIEWED BY THE PLANNING DIRECTOR OF JACKSON TOWNSHIP THIS 1st DAY OF May, 2024, PURSUANT TO CHAPTER 22, SUBDIVISION AND LAND DEVELOPMENT, OF THE CODE OF JACKSON TOWNSHIP, AS AMENDED. THE PLANNING DIRECTOR OF JACKSON TOWNSHIP GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING JACKSON TOWNSHIP ASSUMES NO OBLIGATION TO ACCEPT THE DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

[Signatures] TOWNSHIP SECRETARY and PLANNING DIRECTOR

THIS PLAN WAS DELIVERED TO 234 HARMONY, L.P. ON THE 15th DAY OF May, 2024.

JACKSON TOWNSHIP PLANNING COMMISSION

REVIEWED BY THE PLANNING COMMISSION OF JACKSON TOWNSHIP THIS 2nd DAY OF August, 2023.

[Signatures] SECRETARY and CHAIRPERSON

JACKSON TOWNSHIP BOARD OF SUPERVISORS

APPROVED BY THE BOARD OF SUPERVISORS OF JACKSON TOWNSHIP THIS 21st DAY OF September, 2023. THE BOARD OF SUPERVISORS OF JACKSON TOWNSHIP GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING JACKSON TOWNSHIP ASSUMES NO OBLIGATION TO ACCEPT THE DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

[Signatures] SECRETARY and CHAIRPERSON

BUTLER COUNTY PLANNING COMMISSION REVIEW

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 20th DAY OF March, 2024.

[Signatures] SECRETARY and CHAIRMAN

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA) COUNTY OF BUTLER

RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC., IN SAID COUNTY IN PLAN BOOK VOLUME 418 PAGE 48-50.

GIVEN UNDER MY HAND AND SEAL THIS 4th DAY OF June, 2024.

[Signature] RECORDER OF DEEDS

MICHELE M. MUSTELLO RECORDER OF DEEDS

My Commission Expires First Monday in January 2028

AREA TABULATION table with columns: Parcel, Acres, SQ.FT.

OWNER / DEVELOPER

234 HARMONY, L.P., 4041 LIBERTY AVENUE, SUITE 201, PITTSBURGH, PA. 15224

PROPERTY INFORMATION

PROPERTY ADDRESS: 234, 236, & 250 PERRY HIGHWAY HARMONY, PA. 16037

TOTAL PLAN AREA: 31.2873 ACRES or 1,362,877 sq.ft.

PROPOSED LAND USE: SHOPPING CENTER (CONDITIONAL USE)

ALL ZONING CALCULATIONS ARE BASED ON THE SHOPPING CENTER AREA OF 14.0640 Acres

Zoning comparison table: Existing Zoning vs. Required vs. Overall

UTILITY INFORMATION

PUBLIC SANITARY: WESTERN BUTLER COUNTY AUTHORITY; PUBLIC WATER: PENNSYLVANIA AMERICAN WATER; CABLE/INTERNET: ARMSTRONG UTILITIES; GAS: PEOPLES GAS

PLAN BOOK 418, PAGE 48

Modification Request Approval July 20, 2023

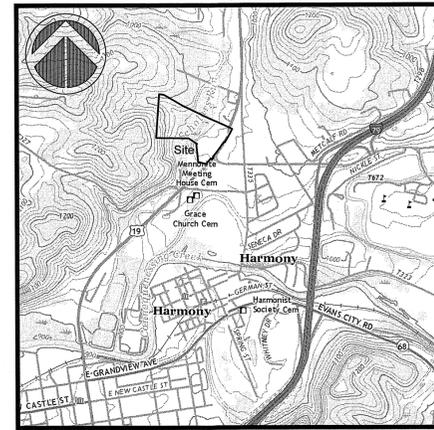
1st Modification: \$22-603.B.2.b Existing streets. Sidewalks shall be provided along any side of an existing public or private street within or abutting the property which is the subject of the subdivision and/or land development.

2nd Modification: \$26-146.B.8 Exterior slopes of compacted soil shall not exceed 3:1 and may be further reduced if the soil has unstable characteristics.

3rd Modification: \$22-603.B(2)(c)3 A grass planting strip, a minimum of three feet wide, shall be provided between the curb and sidewalk.

4th Modification: \$22-603.B(2)(a) New streets. Sidewalks shall be provided along both sides of any new public or private street.

\$27-1433 Conditional Use is Required for this Development as a Planned Shopping Center. Conditional use approval was granted on July 20, 2023.



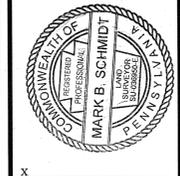
USGS Map Zelenople and Evans City, Pa. Scale - 1" = 2000'

Barcode and registration information: Instr: 202406040007875

GENERAL NOTES:

- 1. THE BASIS OF BEARINGS FOR THIS SURVEY IS THE NORTH AMERICAN DATUM OF 1983, PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, U.S. SURVEY FEET.
2. THE BASIS OF CONTOUR ELEVATIONS FOR THIS SURVEY IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) (GEOID 09).
3. UTILITY NOTE: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
4. THIS PLAN CONFORMS TO THE STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, SECTION E.
5. THE PROPERTY HAS DIRECT ACCESS TO S.R 0019 PERRY HIGHWAY, A DEDICATED PUBLIC STREET OR HIGHWAY.
6. THERE IS OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
7. ZONING INFORMATION PROVIDED PER RESEARCH OF THE JACKSON TOWNSHIP, ZONING ORDINANCE. A DETAILED ZONING REPORT WAS NOT PROVIDED BY A QUALIFIED ZONING RESEARCH COMPANY.
8. THERE IS NO EVIDENCE OF ANY PRIVATE ROADS OR ROADWAYS ON THE SUBJECT PROPERTY.
9. A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW" BEFORE ACCESS TO A STATE HIGHWAY IS PERMITTED. ACCESS TO THE STATE HIGHWAY SHALL BE AUTHORIZED BY A HIGHWAY OCCUPANCY PERMIT, AND THE BOARD OF SUPERVISORS APPROVAL OF THIS PLAN IN NO WAY IMPLIES THAT SUCH A PERMIT CAN BE ACQUIRED.
10. THIS PROPERTY IS LOCATED IN ZONE "X", AREA OF MINIMAL FLOOD HAZARD, AND ZONE "AE", SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, AS DENOTED ON FIRM MAP NO. 42019C0359D AND FIRM MAP NO. 42019C0367D, EFFECTIVE 8/2/2018.
11. A TWENTY-FIVE (25) FEET WIDE SANITARY SEWER EASEMENT SHALL BE DEFINED TO EXIST AS BEING CENTERED OVER THE FINAL INSTALLED LOCATION OF ALL SANITARY SEWER FACILITIES. IF THE SANITARY IS LOCATED WITHIN ANY TYPE OF SHARED UTILITY EASEMENT WHICH ABUTS TO A PUBLIC RIGHT OF WAY, A MINIMUM OF TWELVE AND ONE-HALF (12.5) FEET OF SANITARY OR SHARED UTILITY EASEMENT SPACE OR COMBINED EASEMENT PLUS PUBLIC ROW SPACE SHALL EXIST FROM THE CENTER OF THE FINAL INSTALLED LOCATION OF THE SANITARY FACILITIES OPPOSITE TO THE SIDE OF THE PUBLIC RIGHT OF WAY.

TOWNSHIP ENGINEER, JACKSON TOWNSHIP PLANNING COMMISSION, JACKSON TOWNSHIP PLANNING DIRECTOR, JACKSON TOWNSHIP BOARD OF SUPERVISORS, BUTLER COUNTY PLANNING COMMISSION, RECORDER OF DEEDS



Corporate Office: Etna Technical Center, 35 Wilson Street, Suite 201, Pittsburgh, PA 15223. Phone: (412) 781-9660. Fax: (412) 781-9904.

Table with columns: DATE ISSUED, REVISIONS, NO., DESCRIPTION, PROJECT STATUS.

DRAWING ORIENTATION



PROJECT TITLE: Jackson Village - Plan of Parcels. Plan for Recording. PROJECT LOCATION: Jackson Township, Butler County, Pennsylvania.

DRAWN BY: Mal. CHECKED BY: Mal. CAD FILE: 13940 Recorded Plan Parcels.dwg. SHEET: 1 OF 3. REC-101. PROJECT #: 13940

