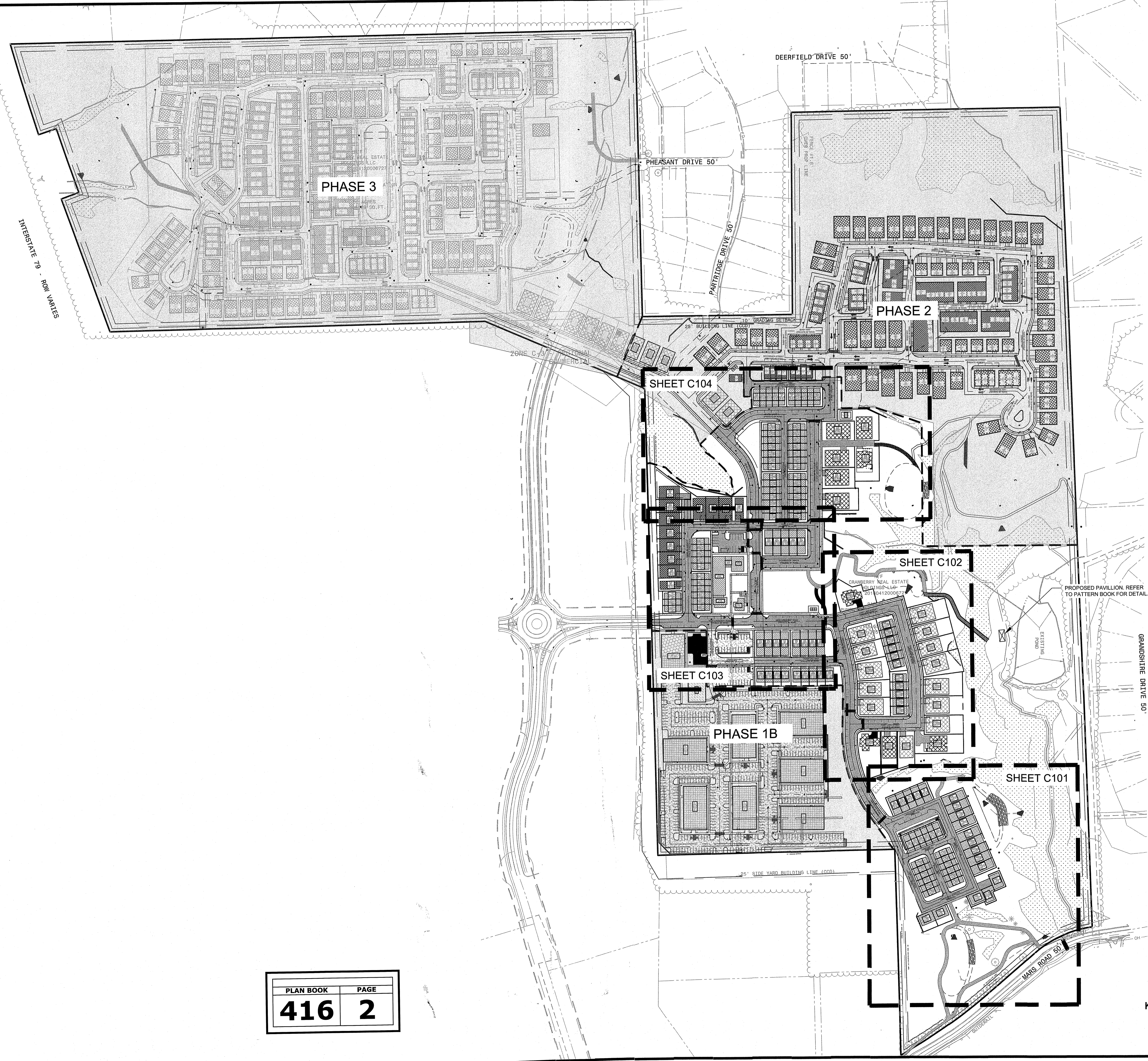




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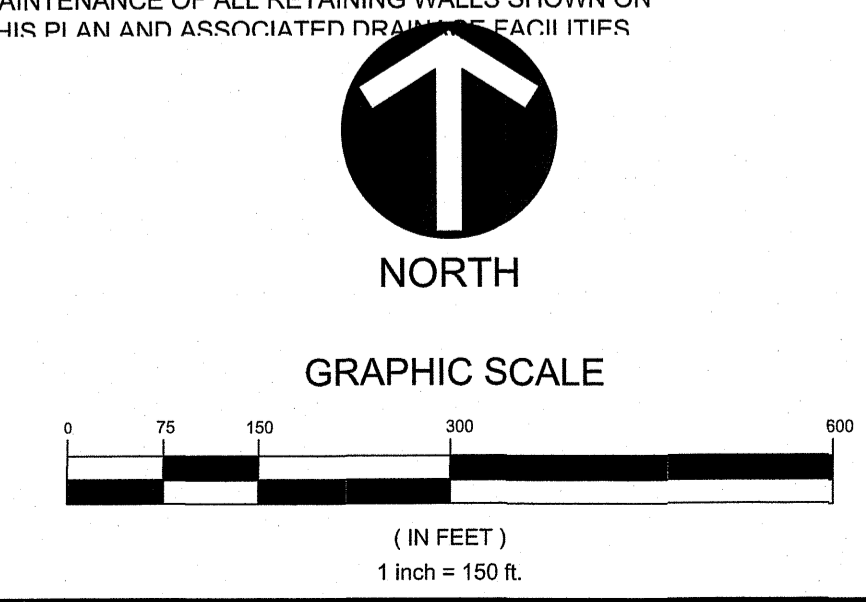
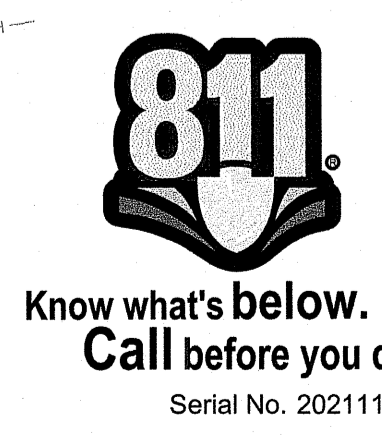
PLAN BOOK	PAGE
<b>416</b>	<b>2</b>



* C600	4	PROPOSED LIGHT STANDARD
♿ C600	10	PROPOSED ADA SYMBOL
⊠ C600	13	PROPOSED CONCRETE WHEEL STOP
▬ C601	13	PROPOSED CURB RAMP
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▬		PROPOSED APARTMENT
▬		PROPOSED COMMERCIAL STRUCTURE
▬		EXISTING WETLAND
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▬		PROPOSED R.O.W. LINE
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⊠		PROPOSED STREET WALL
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⊠		PROPOSED STORM INLET
⊠		PROPOSED SANITARY MANHOLE

**PARKING NOTE:**  
 1. PARKING SPACES MARKED WITH AN \* ARE DESIGNED TO BE ADA COMPLIANT OF PURPOSES OF MEETING ACCESSIBLE ROUTE RULES FOR THE CROSSROADS BUILDINGS.

**GENERAL SITE NOTES:**  
 1. ALL PROPOSED WALLS ARE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.  
 2. ALL SIDEWALKS WILL BE SEPARATED FROM DOWNGRADE SLOPES GREATER THAN 3:1 BY GUIDERAIL, FENCING, A FIVE-FOOT GRADING STRIP OR SHRUBBERY.  
 3. REFER TO PAVEMENT MARKINGS AND SIGNAGE PLAN SHEETS C801-803 FOR SIGNAGE DETAILS.  
 4. A MINIMUM OF TWO NEW MONUMENTS WILL BE PLACED IN ACCORDANCE WITH DETAIL SD-18 ON SHEET C800.  
 5. ALL DESIGNATED CROSSWALKS WILL BE HEAVY DUTY THERMOPLASTIC.  
 6. PURSUANT TO SECTION 7.2 OF THE DECLARATION OF COVENANTS, RESTRICTIONS EASEMENTS AND ESTABLISHMENT OF NEIGHBORHOOD ASSOCIATION AT CRESCENT, A PLANNED COMMUNITY, RECORDED FEBRUARY 23, 2023 IN THE BUTLER COUNTY RECORDERS OFFICE AS INSTRUMENT NUMBER 20230230002464, THE CRESCENT NEIGHBORHOOD ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL RETAINING WALLS SHOWN ON THIS PLAN AND ASSOCIATED DRAWINGS EACH YEAR.



**GATEWAY**  
 The Gateway Engineers, Inc.  
 Full-Service Civil Engineering & Surveying  
 Pittsburgh, PA  
 gatewayengineers.com  
 855-634-0284

**REVISION RECORD**

Date	No.	Description
01-13-2023	1	TOWNSHIP RESUBMISSION
01-25-2023	2	TOWNSHIP RESUBMISSION
02-06-2023	3	TOWNSHIP RESUBMISSION
02-06-2023	4	TOWNSHIP RESUBMISSION
02-22-2023	5	GRADING PLAN UPDATES
09-29-2023	6	TOWNSHIP RESUBMISSION
10-20-2023	7	TOWNSHIP RESUBMISSION
11-03-2023	8	TOWNSHIP RESUBMISSION

**CHARTER**  
 Homes & Neighborhoods

**CRESCENT FINAL PHASE 1A REVISED**  
 MARS ROAD  
 CRANBERRY TOWNSHIP, PA 16066

PREPARED FOR:  
**CHARTER HOMES & NEIGHBORHOODS**  
 322 NORTH ARCH STREET, FIRST FLOOR  
 LANCASTER, PA 17603

**OVERALL SITE PLAN**

Project Number: 39977-0014  
 Drawing Scale: 1" = 150'  
 Date Issued: NOV, 2023  
 Index Number: --  
 Drawn By: NK/RRR  
 Checked By: DMH  
 Project Manager: DMH

**C100**

NOTE: ALL SIGNATURES MUST BE MADE WITH A NAVY BLUE INK FELT TIP PEN.

OWNERS ADOPTION

CHARTER HOMES AT CRESCENT, INC., OWNER OF THE LAND SHOWN ON THE CRESCENT PLAN PHASE 1A-R2 HEREBY ADOPTS THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO CRANBERRY TOWNSHIP...

IN WITNESS OF WHICH, TO THIS I SET MY HAND AND SEAL THIS 17th DAY OF January 2024

ATTEST: CHARTER HOMES AT CRESCENT, INC.

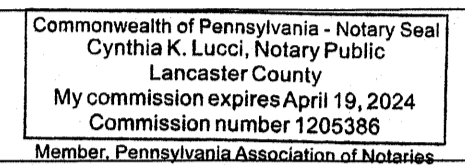
Signatures of Charter Homes at Crescent, Inc. representatives.

ACKNOWLEDGMENT

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF LANCASTER, PERSONALLY APPEARED Laura Curran THE ABOVE NAMED REPRESENTATIVE OF CHARTER HOMES AT CRESCENT, INC., AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE THE ACT OF THE CORPORATION.

WITNESS MY HAND AND NOTARIAL SEAL THIS 17th DAY OF January 2024

MY COMMISSION EXPIRES THE 19th DAY OF April 2024



CERTIFICATION OF TITLE

I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE CRESCENT PLAN PHASE 1A-R2 IS IN THE NAME OF CHARTER HOMES AT CRESCENT, INC., AND IS RECORDED IN INSTRUMENT NO. 202208180017871.

Signatures of witnesses and owner for Charter Homes at Crescent, Inc.

OWNERS ADOPTION

CRESCENT STRAND PARTNERS, LLC, OWNER OF THE LAND SHOWN ON THE CRESCENT PLAN PHASE 1A-R2 HEREBY ADOPTS THIS PLAN AS ITS PLAN OF LOTS AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO CRANBERRY TOWNSHIP...

IN WITNESS OF WHICH, TO THIS I SET MY HAND AND SEAL THIS 17th DAY OF January 2024

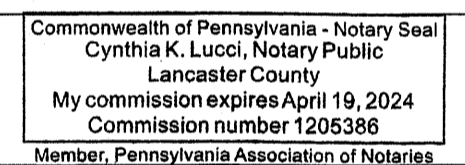
Signatures of Crescent Strand Partners, LLC representatives.

ACKNOWLEDGMENT

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF LANCASTER, PERSONALLY APPEARED Robert Bowman THE ABOVE NAMED REPRESENTATIVE OF CRESCENT STRAND PARTNERS, LLC, AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE THE ACT OF THE CORPORATION.

WITNESS MY HAND AND NOTARIAL SEAL THIS 17th DAY OF January 2024

MY COMMISSION EXPIRES THE 19th DAY OF April 2024



CERTIFICATION OF TITLE

I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE CRESCENT PLAN PHASE 1A-R2 IS IN THE NAME OF CRESCENT STRAND PARTNERS, LLC, AND IS RECORDED IN INSTRUMENT NO. 202208180017872.

Signatures of witnesses and owner for Crescent Strand Partners, LLC.

Robert Bowman, President

MORTGAGE CLAUSE

TRUIST BANK, MORTGAGEE OF THE PROPERTY CONTAINED IN THE CRESCENT PLAN PHASE 1A-R2 AS EVIDENCED IN INSTRUMENT NUMBERS 20221220025718 AND 20221220025719, CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

Signatures of Truist Bank representatives.

SURVEYOR'S CERTIFICATION

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

Signature and name of Patrick T. Cooper, P.L.S., Reg. No. SU-040392-E

MUNICIPAL REVIEW AND APPROVAL STATEMENTS

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY BY RESOLUTION NO. 2024-01 ON THE 14th DAY OF FEBRUARY 2024.

Signatures of Board of Supervisors members.

Signature of Daniel D. Santoro, Township Manager for Cranberry Township.

Signature of Michael Malak, Township Engineer for Cranberry Township.

Signature and name of Township Engineer, Reg. No. PE-073220

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 14th DAY OF Dec 2022

Signatures of Butler County Planning Commission members.

PROOF OF RECORDING

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 416, PAGE(S) 1-3

Signature and name of Michele M. Mustello, Recorder of Deeds

MICHELE M. MUSTELLO, RECORDER OF DEEDS

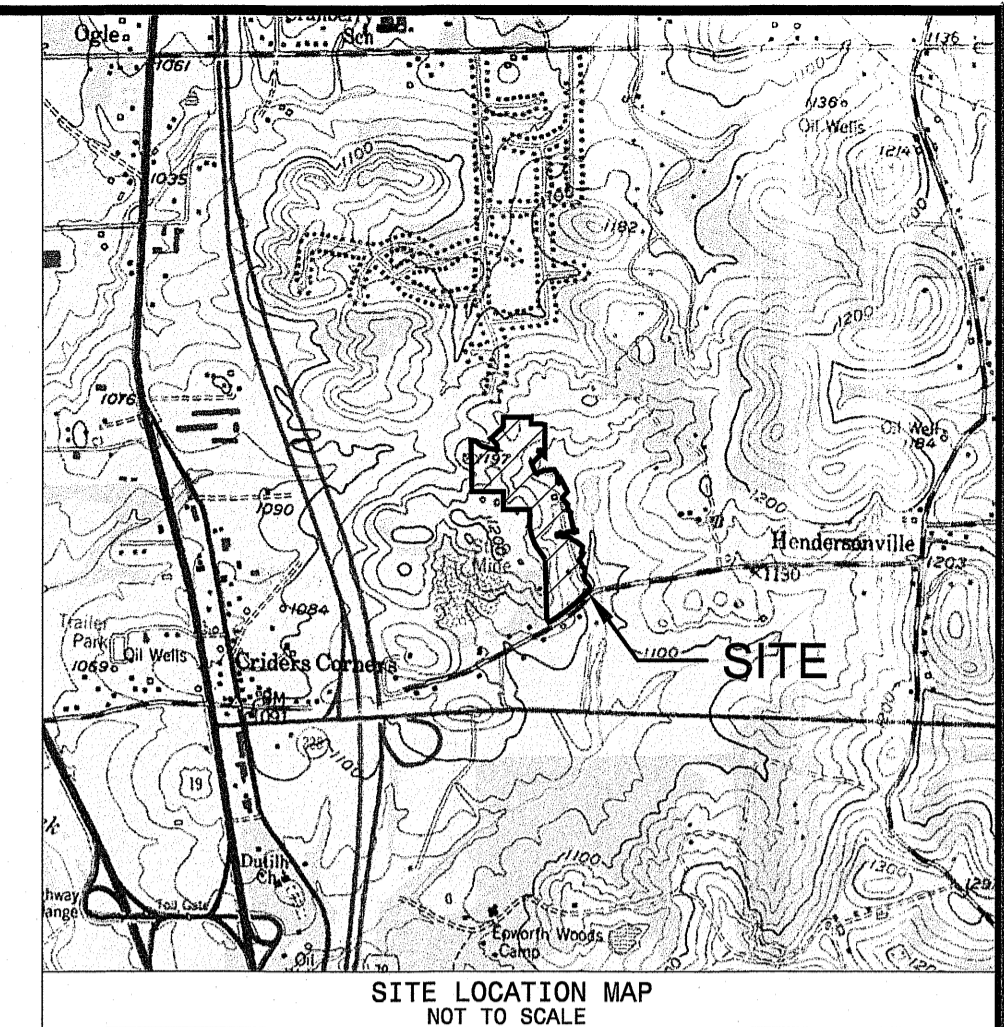
My Commission Expires First Monday In January 2028

PREVIOUS RECORDED PLAN AREA TABLE BUTLER COUNTY RECORDER OF DEEDS OFFICE CRESCENT PLAN PHASE 1A, P.B.V 407 PAGE 40

Table with columns: AREA (SF), AREA (ACRE), LOT numbers (60-152-R\*), and corresponding area values.

Table with columns: RESIDUAL TRACT (C-R\*, E, E1-R2, E2-R2), AREA (SF), and AREA (ACRE).

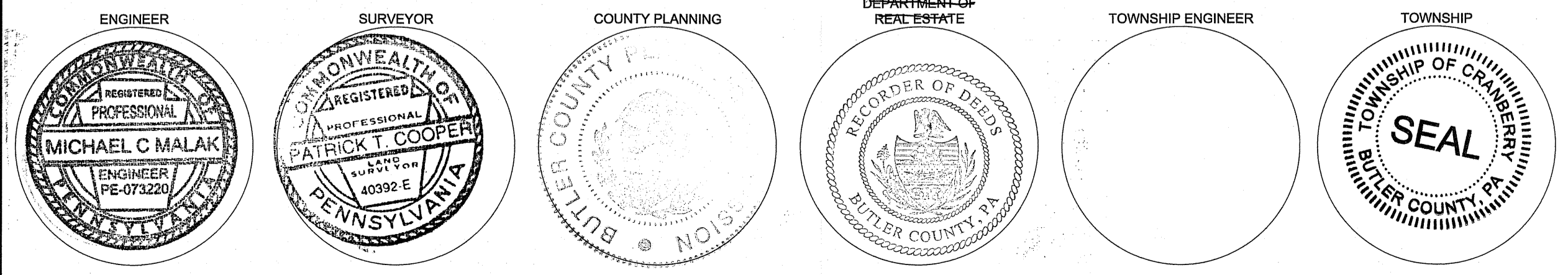
\*RESIDUAL TRACT C-R, LOT 121-R, LOT 122-R, LOT 147-R AND 148-R WERE REVISED IN THE CRESCENT PLAN PHASE 1A-R, AS RECORDED IN P.B.V 409 PG. 15



LEGEND: PROPERTY/ROW LINE, EASEMENT LINES, SETBACK LINES, PROPERTY CORNER, RIGHT OF WAY, RADIUS, ARC LENGTH, TYPICAL.

SHEET INDEX table with columns: SHEET NO., TITLE. Lists cover sheet, overall sheet, and property lines.

OWNER: CHARTER HOMES AT CRESCENT, INC. 322 NORTH ARCH STREET LANCASTER, PA 17603

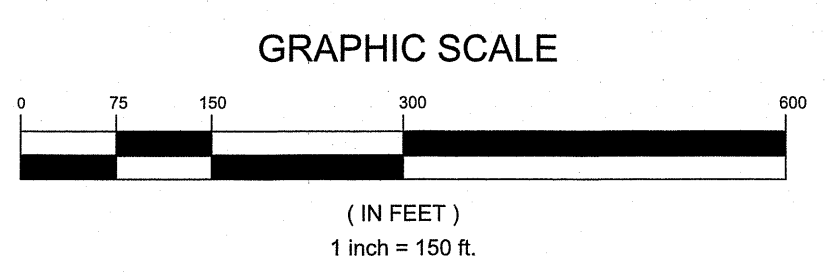
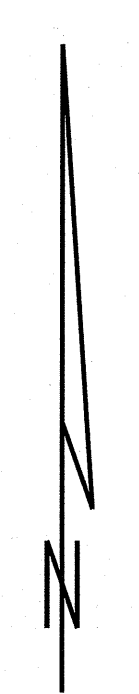
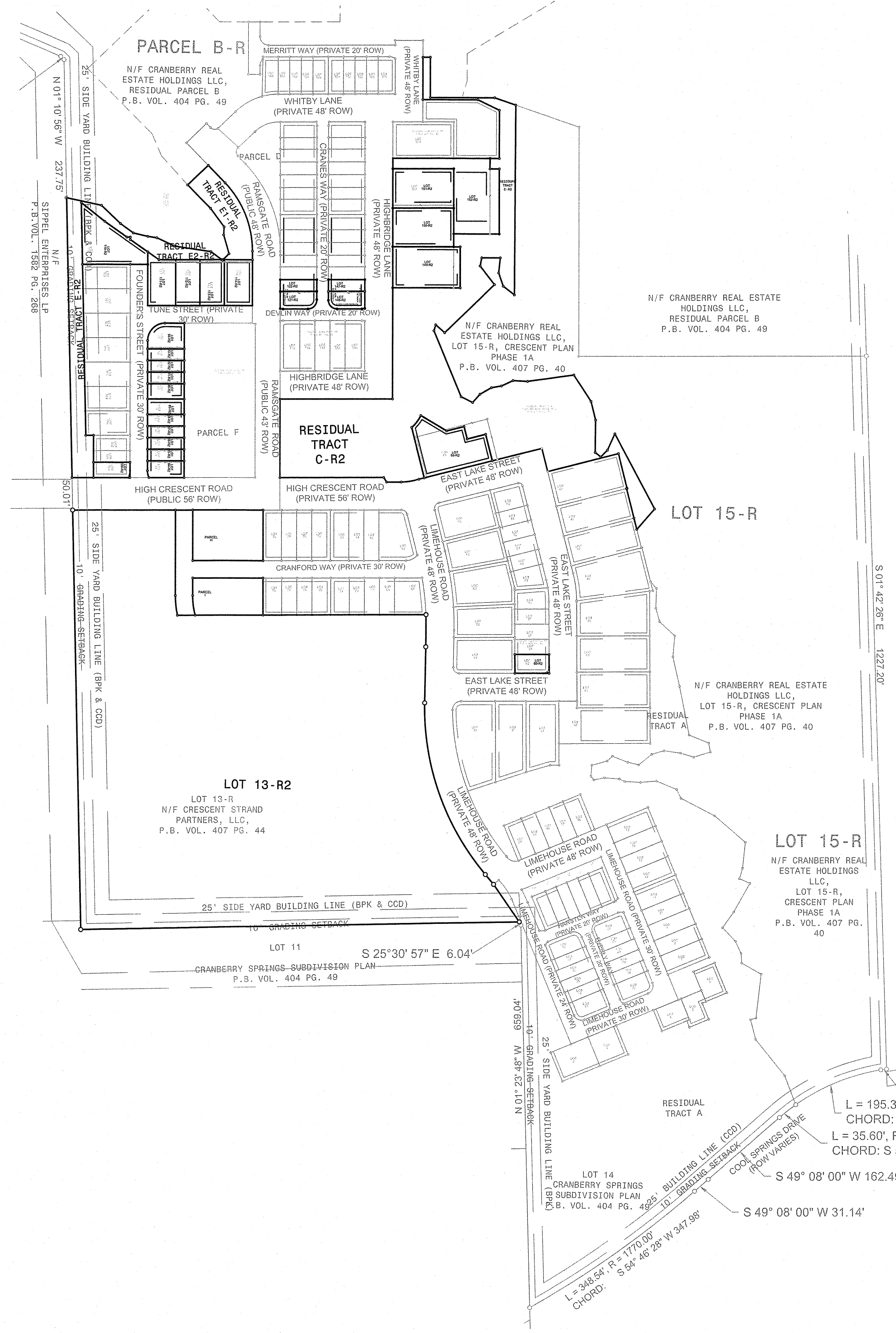


PLAN BOOK 416, PAGE 3

TOTAL PLAN AREA: 622937 SQ. FT. OR 14.301 ACRES

GATEWAY ENGINEERS logo and contact information: The Gateway Engineers, Inc. Full-Service Civil Engineering & Surveying 100 McMorris Road, Pittsburgh, PA 15205

CRESCENT PLAN PHASE 1A-R2 BEING A REVISION OF A PORTIONS OF THE CRESCENT PLAN PHASE 1A, AS RECORDED IN THE BUTLER COUNTY RECORDER OF DEEDS OFFICE IN PLAN BOOK VOLUME 407, PAGE 40 AND THE CRESCENT PLAN PHASE 1A-R, AS RECORDED IN THE BUTLER COUNTY RECORDER OF DEEDS OFFICES IN PLAN BOOK FOLUME 409, PAGE 15



PLAN BOOK	PAGE
<b>416</b>	<b>4</b>

TOTAL PLAN AREA: 622937 SQ. FT. OR 14.301 ACRES

**GATEWAY ENGINEERS**  
 The Gateway Engineers, Inc.  
 Full-Service Civil Engineering & Surveying  
 100 McMorris Road, Pittsburgh, PA 15205  
 www.GatewayEngineers.com 855-634-9284

**CRESCENT PLAN PHASE 1A-R2**  
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 SITUATE IN

**CRANBERRY TOWNSHIP  
 BUTLER COUNTY, PA**  
 MADE FOR  
**CHARTER HOMES AT CRESCENT, INC.**  
 322 NORTH ARCH STREET, FIRST FLOOR  
 LANCASTER, PA 17603

THE GATEWAY ENGINEERS, INC. RETAINS OWNERSHIP RIGHTS OF ALL DATA WITHIN THE PLANS. DATA CONTAINED WITHIN IS ONLY TO BE USED FOR ITS INTENDED PURPOSE BY ITS RESPONSIBLE PARTY. THE USE, REPLICATION, REPRODUCTION, OR REDISTRIBUTION OF DATA CONTAINED WITHIN IS STRICTLY PROHIBITED AND SUBJECT TO LEGAL ACTION.

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RAMSGATE ROAD  
(PUBLIC 48' ROW)

RESIDUAL TRACT  
E1-R2

RESIDUAL PARCEL B  
CRANBERRY SPRINGS  
SUBDIVISION PLAN  
P.B. VOL. 404 PG. 49

RESIDUAL TRACT  
E2-R2

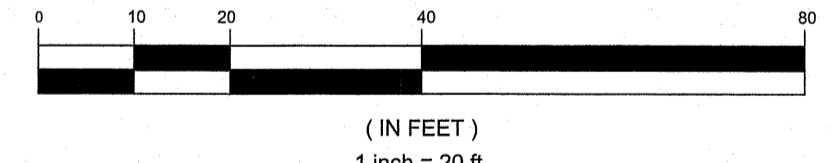
CRESCENT PLAN PHASE 1A  
P.B.V 407 PG. 40

PARCEL F  
CRESCENT PLAN PHASE 1A  
P.B.V 408 PG. 40

LOT LINES FROM CRESCENT PLAN  
PHASE 1A TO BE EXTINGUISHED  
WITH THE RECORDING OF THIS PLAN

HIGH CRESCENT ROAD  
(PRIVATE 56' ROW)

GRAPHIC SCALE



TOTAL PLAN AREA: 622937 SQ. FT. OR 14.301 ACRES



The Gateway Engineers, Inc.  
Full-Service Civil Engineering & Surveying  
100 McMorris Road, Pittsburgh, PA 15205  
www.GatewayEngineers.com 856-634-9284

**CRESCENT PLAN PHASE 1A-R2**

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SITUATE IN  
CRANBERRY TOWNSHIP  
BUTLER COUNTY, PA

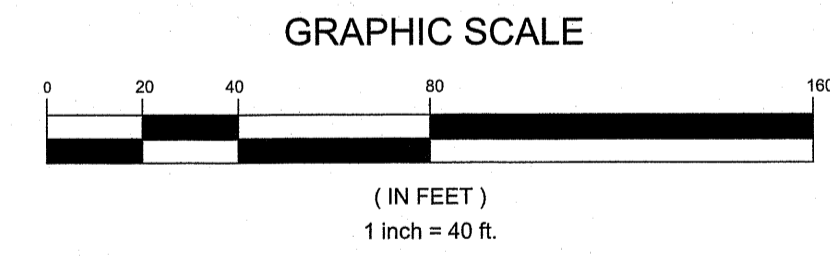
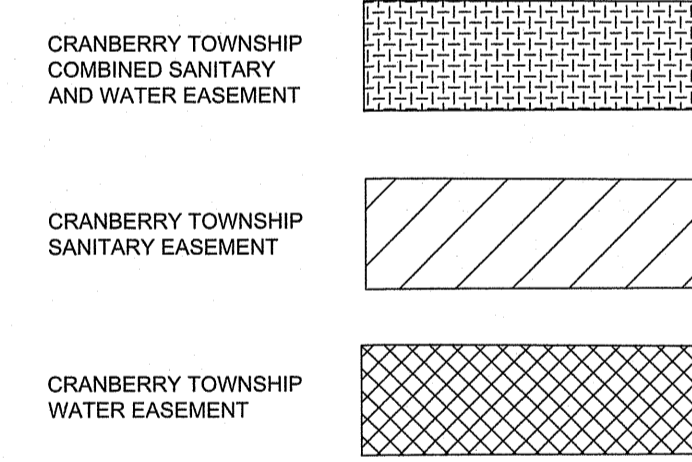
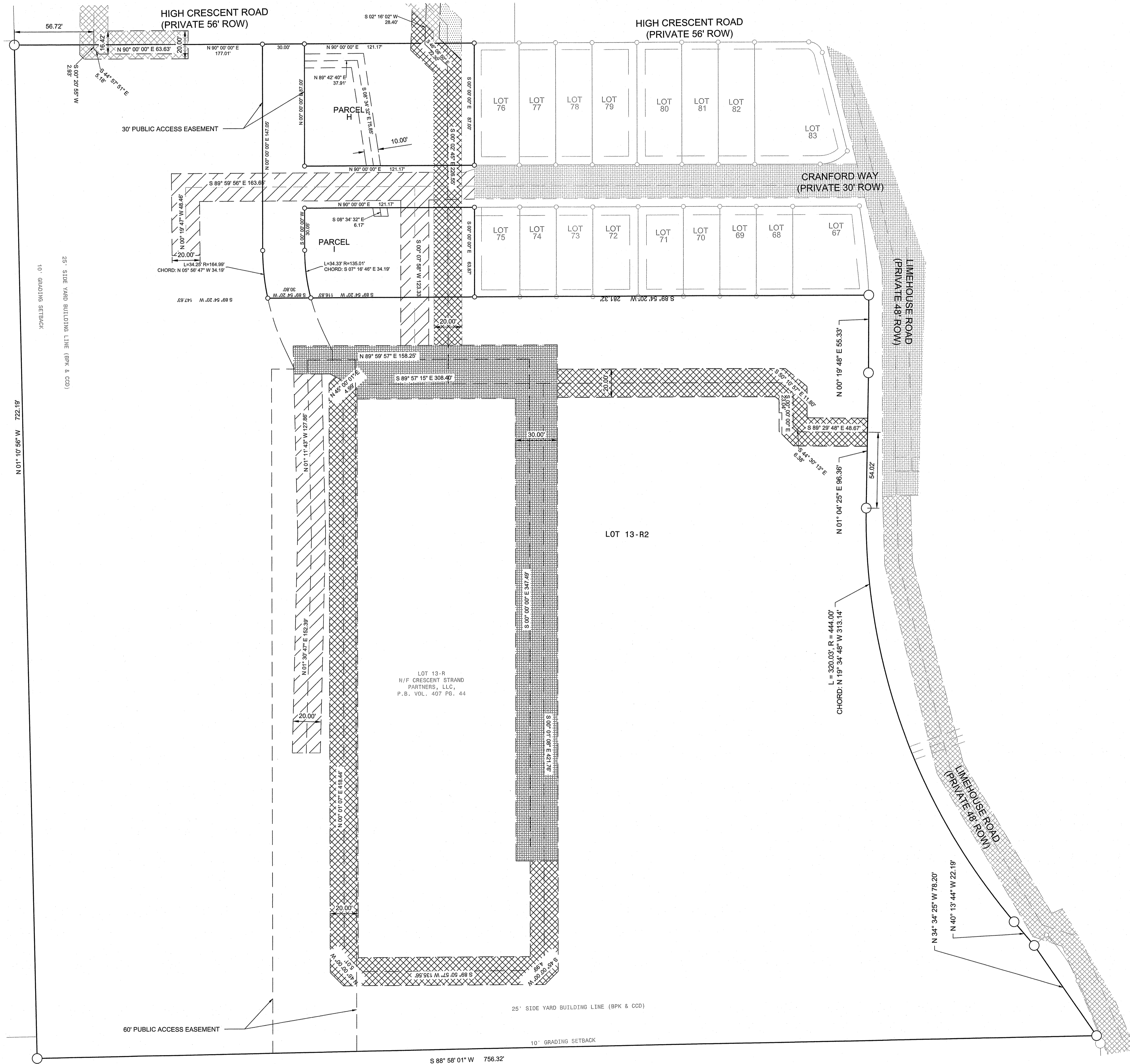
MADE FOR  
**CHARTER HOMES AT CRESCENT, INC.**  
322 NORTH ARCH STREET, FIRST FLOOR  
LANCASTER, PA 17603

PLAN BOOK	PAGE
<b>416</b>	<b>6</b>

SHEET 4 OF 6  
Date: 11-29-2023  
Job Number: 39977-0014  
Dwg No: \_\_\_\_\_

THE GATEWAY ENGINEERS, INC. RETAINS OWNERSHIP RIGHTS OF ALL DATA WITHIN THE PLANS. DATA CONTAINED WITHIN IS ONLY TO BE USED FOR ITS INTENDED PURPOSE BY ITS RESPONSIBLE PARTY. THE USE, REPLICATION, REPRODUCTION, OR REDISTRIBUTION OF DATA CONTAINED WITHIN IS STRICTLY PROHIBITED AND SUBJECT TO LEGAL ACTION.

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**GATEWAY ENGINEERS**  
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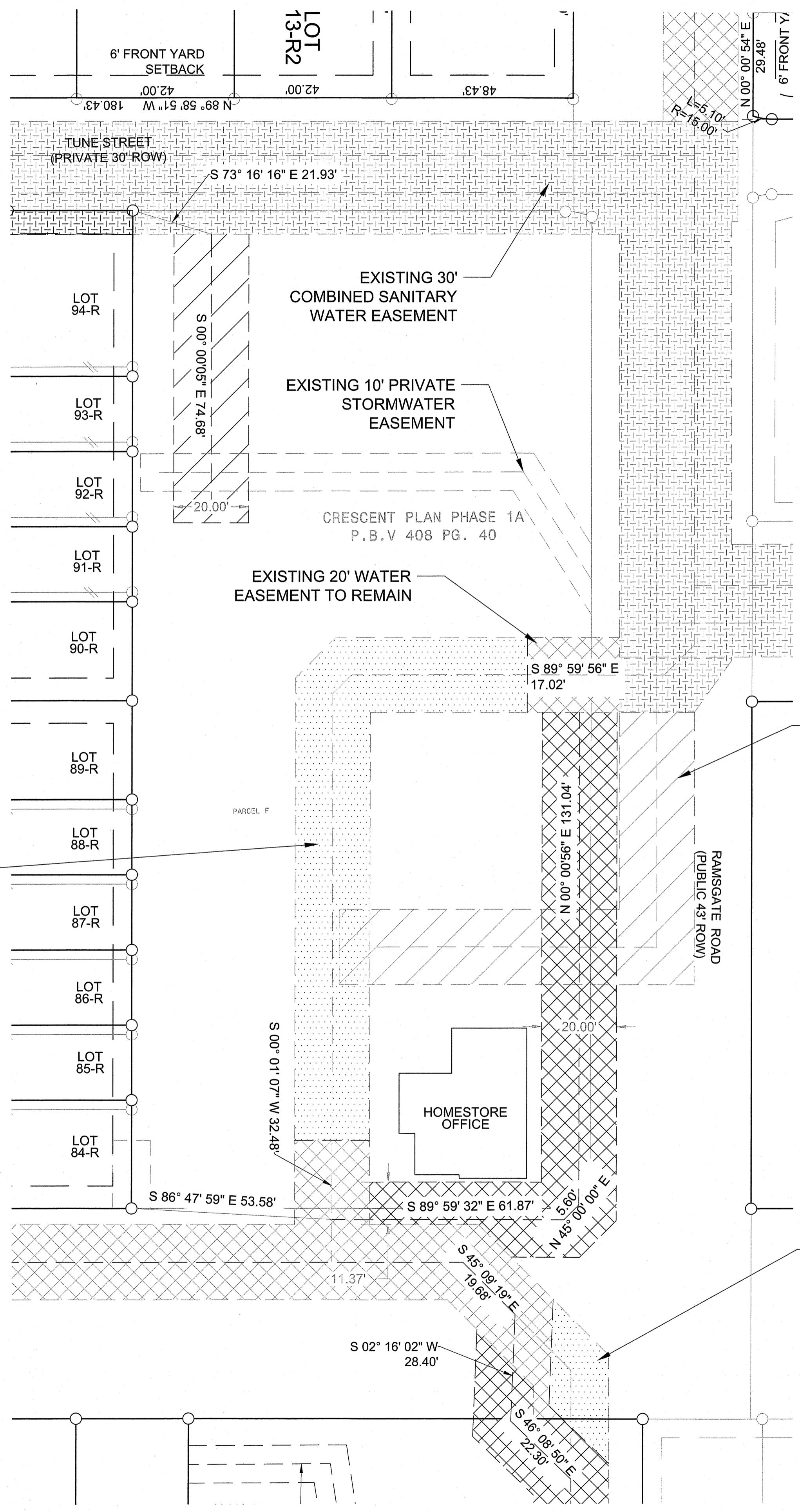
PLAN BOOK	PAGE
416	7

SHEET 5 OF 6  
 Date: 11-29-2023  
 Job Number: 39977-0014  
 Dwg No:

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 © Gateway Engineers, Inc. All Rights Reserved.

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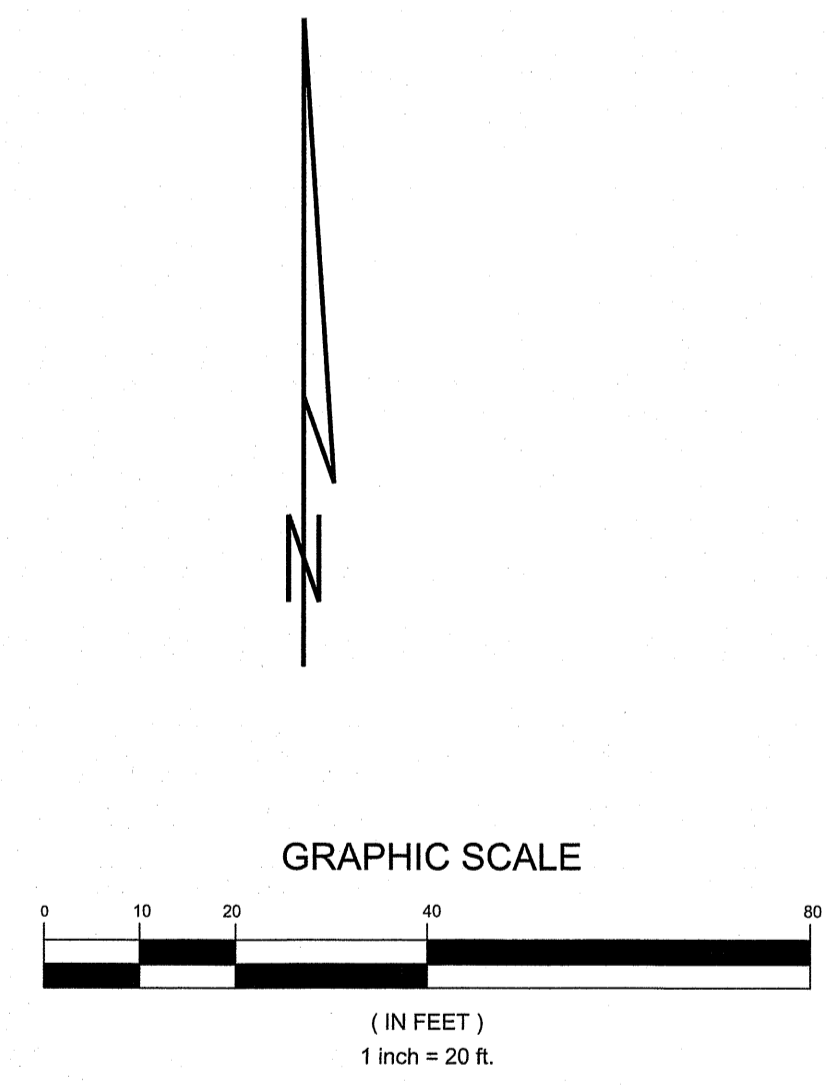


- WATER EASEMENT TO BE TERMINATED
- CRANBERRY TOWNSHIP WATER EASEMENT
- CRANBERRY TOWNSHIP SANITARY EASEMENT

EXISTING WATER EASEMENT TO BE EXTINGUISHED WITH THE RECORDING OF THIS PLAN

EXISTING 20' SANITARY EASEMENT

EXISTING WATER EASEMENT TO BE EXTINGUISHED WITH THE RECORDING OF THIS PLAN

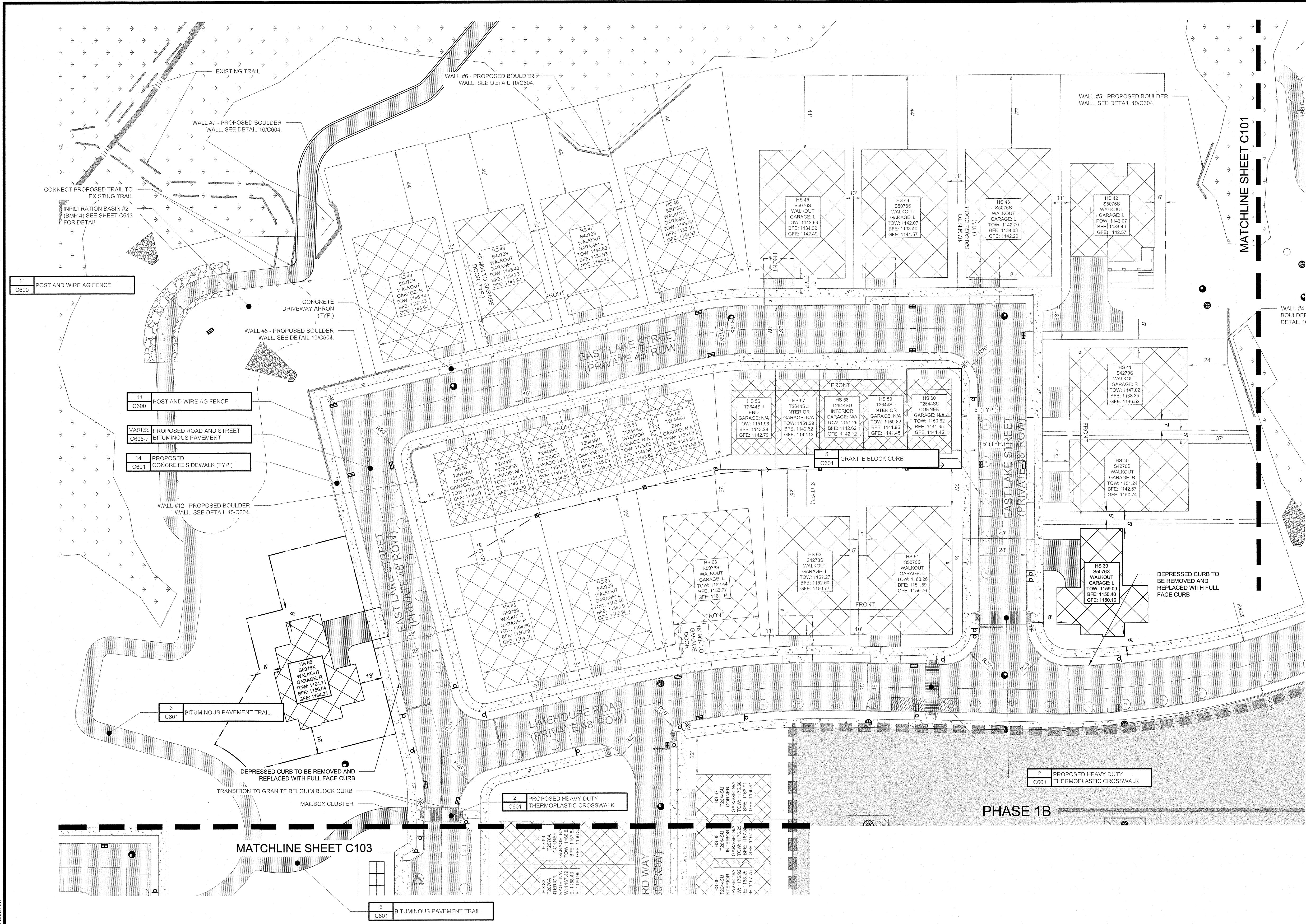


TOTAL PLAN AREA: 622937 SQ. FT. OR 14.301 ACRES

	GATEWAY ENGINEERS	The Gateway Engineers, Inc. Full-Service Civil Engineering & Surveying 100 McMorris Road, Pittsburgh, PA 15205 www.GatewayEngineers.com 855-634-9284
	<b>CRESCENT PLAN PHASE 1A-R2</b> <small>BEING A REVISION OF A PORTIONS OF THE CRESCENT PLAN PHASE 1A, AS RECORDED IN THE BUTLER COUNTY RECORDER OF DEEDS OFFICE IN PLAN BOOK VOLUME 407, PAGE 40 AND THE CRESCENT PLAN PHASE 1A-R, AS RECORDED IN THE BUTLER COUNTY RECORDER OF DEEDS OFFICES IN PLAN BOOK VOLUME 409, PAGE 15</small> SITUATE IN <b>CRANBERRY TOWNSHIP</b> <b>BUTLER COUNTY, PA</b> <small>MADE FOR</small> <b>CHARTER HOMES AT CRESCENT, INC.</b> <b>322 NORTH ARCH STREET, FIRST FLOOR</b> <b>LANCASTER, PA 17603</b>	

PLAN BOOK	PAGE
416	8





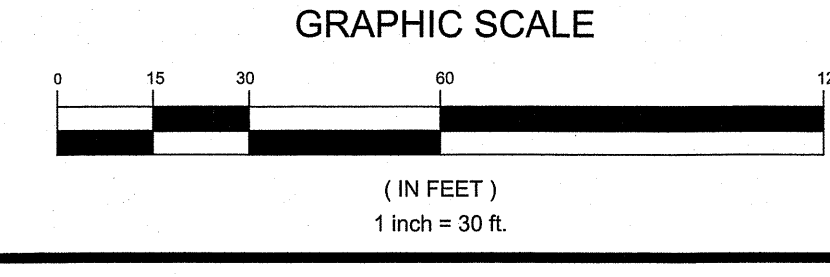
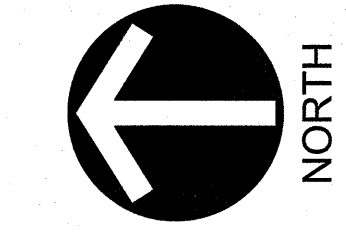
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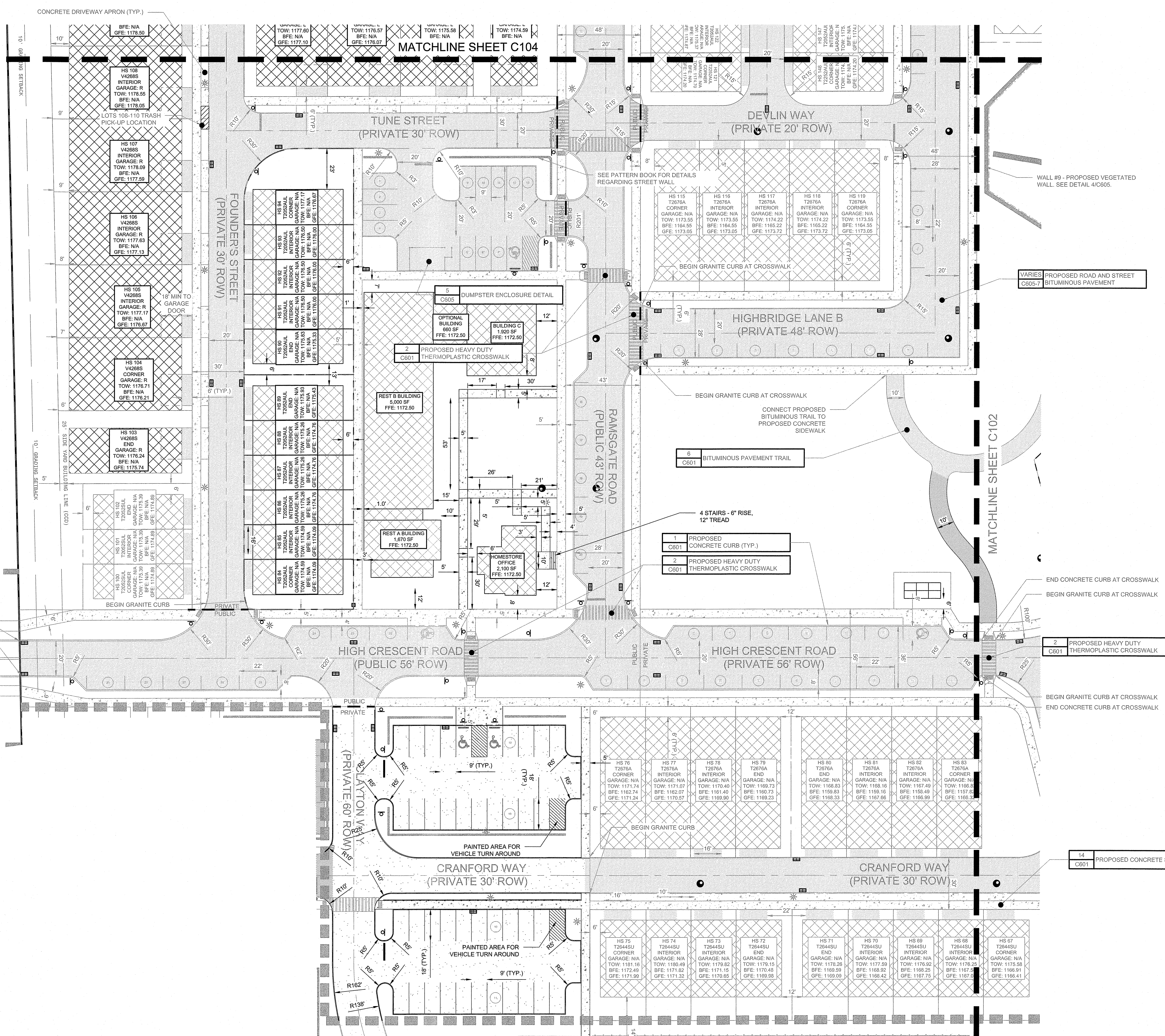
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 7. THE CROSSROADS BUILDINGS SHOWN ON THIS PLAN ARE ILLUSTRATIVE ONLY. THE ACTUAL NUMBER, LOCATION, AND DIMENSIONS OF THE CROSSROADS BUILDINGS MAY VARY FROM WHAT IS SHOWN AND WILL BE DETERMINED AT THE TIME OF BUILDING PERMIT, PROVIDED HOWEVER THAT THE AGGREGATE SQUARE FOOTAGE FOR ALL SUCH BUILDINGS SHALL APPROXIMATE THE AGGREGATE SQUARE FOOTAGE SHOWN ON THIS PLAN AND BUILDING FOOTPRINTS SHALL GENERALLY FALL WITHIN THE BOXES SHOWN ON THIS PLAN.

Date	No.	REVISION RECORD
01-13-2023	1	TOWNSHIP RESUBMISSION
01-25-2023	2	TOWNSHIP RESUBMISSION
02-06-2023	3	TOWNSHIP RESUBMISSION
02-06-2023	4	TOWNSHIP RESUBMISSION
02-22-2023	5	GRADING PLAN UPDATES
08-29-2023	6	TOWNSHIP RESUBMISSION
10-20-2023	7	TOWNSHIP RESUBMISSION
11-03-2023	8	TOWNSHIP RESUBMISSION

PLAN BOOK	PAGE
<b>416</b>	<b>9</b>



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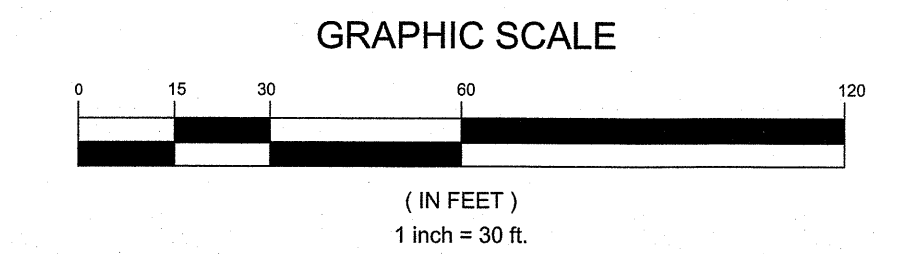
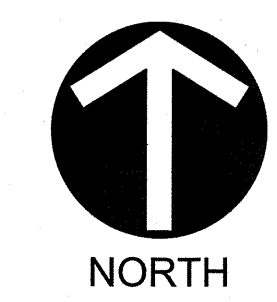


* 4	C600	PROPOSED LIGHT STANDARD
♿	10	PROPOSED ADA SYMBOL
⊞	13	PROPOSED CONCRETE WHEEL STOP
⊞	13	PROPOSED CURB RAMP
—	1	PROPOSED DEEPSET CONCRETE CURB
—	4-5	PROPOSED GRANITE CURB
—	10	DEPRESSED GRANITE CURB
—	12	GRANITE BLOCK CURB RAMP WITHOUT DWS
—	14	PROPOSED CONCRETE SIDEWALK
▨	VARIABLES	PROPOSED CONCRETE PAVEMENT
▨	VARIABLES	PROPOSED ALLEY AND PARKING LOT BITUMINOUS PAVING
▨	VARIABLES	PROPOSED STREET & DRIVEWAY BITUMINOUS PAVING
▨	VARIABLES	PROPOSED MASONRY PAVERS OR STAMPED CONCRETE
▨	12	PROPOSED CROSSWALK - STANDARD PIANO KEY
▨		PROPOSED TOWNHOME/LOFT
▨		PROPOSED SINGLE FAMILY HOME
▨		PROPOSED APARTMENT
▨		PROPOSED COMMERCIAL STRUCTURE
▨		EXISTING WETLAND
⊞		PROPOSED SIGN
—		PROPOSED R.O.W. LINE
—		PROPOSED PROPERTY LINE
—		PROPOSED PHASE LINE
⊞		PROPOSED MAILBOX CLUSTER REFER TO PATTERN BOOK
⊞		PROPOSED STREET PARKING COUNT
—		PROPOSED WALL
⊞		PROPOSED STREET WALL
⊞		PROPOSED STORM MANHOLE
⊞		PROPOSED STORM INLET
⊞		PROPOSED SANITARY MANHOLE

**PARKING NOTE:**  
 1. PARKING SPACES MARKED WITH AN \* ARE DESIGNED TO BE ADA COMPLIANT OF PURPOSES OF MEETING ACCESSIBLE ROUTE RULES FOR THE CROSSROADS BUILDINGS.

**GENERAL SITE NOTES:**  
 1. ALL PROPOSED WALLS ARE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.  
 2. ALL SIDEWALKS WILL BE SEPARATED FROM DOWNGRADE SLOPES GREATER THAN 3:1 BY GUIDERAIL, FENCING, A FIVE-FOOT GRADING STRIP OR SHRUBBERY.  
 3. REFER TO PAVEMENT MARKINGS AND SIGNAGE PLAN SHEETS C801-803 FOR SIGNAGE DETAILS.  
 4. A MINIMUM OF TWO NEW MONUMENTS WILL BE PLACED IN ACCORDANCE WITH DETAIL SD-18 ON SHEET C600.  
 5. ALL DESIGNATED CROSSWALKS WILL BE HEAVY DUTY THERMOPLASTIC.  
 6. PURSUANT TO SECTION 7.2 OF THE DECLARATION OF COVENANTS, RESTRICTIONS EASEMENTS AND ESTABLISHMENT OF NEIGHBORHOOD ASSOCIATION AT CRESCENT, A PLANNED COMMUNITY, RECORDED FEBRUARY 23, 2023 IN THE BUTLER COUNTY RECORDERS OFFICE AS INSTRUMENT NUMBER 20230223002464, THE CRESCENT NEIGHBORHOOD ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL RETAINING WALLS SHOWN ON THIS PLAN AND ASSOCIATED DRAINAGE FACILITIES.  
 7. THE CROSSROADS BUILDINGS SHOWN ON THIS PLAN ARE ILLUSTRATIVE ONLY. THE ACTUAL NUMBER, LOCATION, AND DIMENSIONS OF THE CROSSROADS BUILDINGS MAY VARY FROM WHAT IS SHOWN AND WILL BE DETERMINED AT THE TIME OF BUILDING PERMIT. PROVIDED HOWEVER THAT THE AGGREGATE SQUARE FOOTAGE FOR ALL SUCH BUILDINGS SHALL APPROXIMATE THE AGGREGATE SQUARE FOOTAGE SHOWN ON THIS PLAN AND BUILDING FOOTPRINTS SHALL GENERALLY FALL WITHIN THE BOXES SHOWN ON THIS PLAN.

PLAN BOOK	PAGE
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**GATEWAY**  
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REVISION RECORD	
Date	No
01-15-2023	1
01-25-2023	2
02-06-2023	3
02-06-2023	4
02-22-2023	5
08-29-2023	6
10-20-2023	7
11-03-2023	8

**CHARTER**  
 Homes & Neighborhoods

**CRESCENT FINAL PHASE 1A REVISED**  
 MARS ROAD  
 CRANBERRY TOWNSHIP, PA 16066

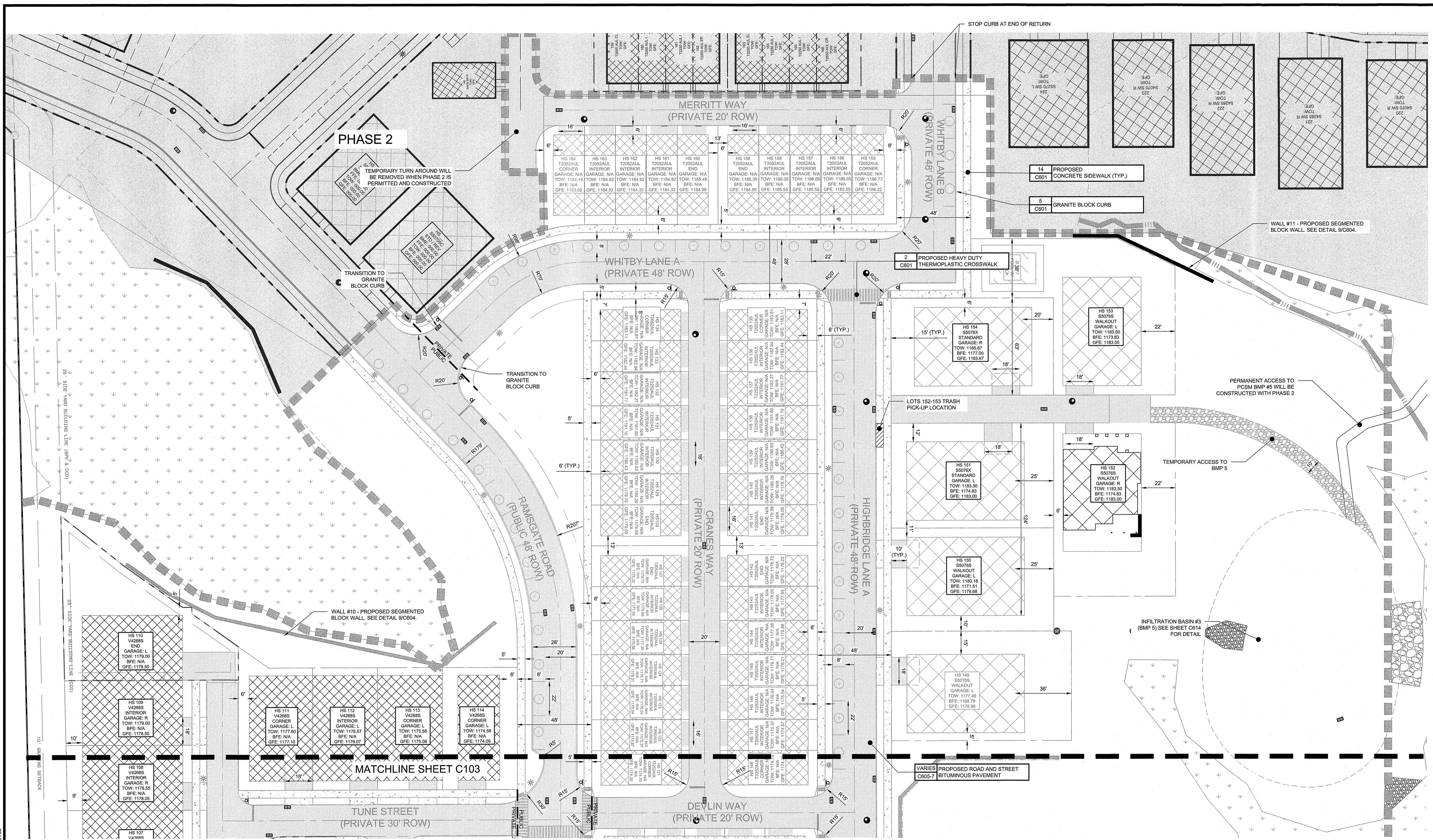
PREPARED FOR:  
**CHARTER HOMES & NEIGHBORHOODS**  
 322 NORTH ARCH STREET, FIRST FLOOR  
 LANCASTER, PA 17603

SITE PLAN

Project Number: 39977-0014
Drawing Scale: 1" = 30'
Date Issued: NOV. 2023
Index Number: -
Drawn By: NK/RRR
Checked By: DMH
Project Manager: DMH

**C103**

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 Date: 11/02/2024 5:08 AM



* C600	4	PROPOSED LIGHT STANDARD
C600	10	PROPOSED ADA SYMBOL
C600	13	PROPOSED CONCRETE WHEEL STOP
C601	13	PROPOSED CURB RAMP
C601	1	PROPOSED DEEPCURB CONCRETE CURB
C601	4-5	PROPOSED GRANITE CURB
C601	10	DEPRESSED GRANITE CURB
C601	12	GRANITE BLOCK CURB RAMP WITHOUT DWS
C601	14	PROPOSED CONCRETE SIDEWALK

VARIES C605-7	PROPOSED CONCRETE PAVEMENT
VARIES C605-7	PROPOSED ALLEY AND PARKING LOT BITUMINOUS PAVING
VARIES C605-7	PROPOSED STREET & DRIVEWAY BITUMINOUS PAVING
VARIES C605-7	PROPOSED MASONRY PAVERS OR STAMPED CONCRETE
12 C600	PROPOSED CROSSWALK - STANDARD PIANO KEY
	PROPOSED TOWNHOME/LOFT
	PROPOSED SINGLE FAMILY HOME
	PROPOSED APARTMENT
	PROPOSED COMMERCIAL STRUCTURE

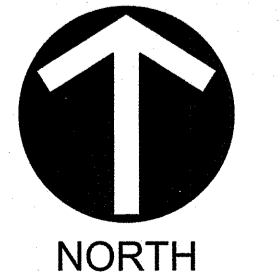
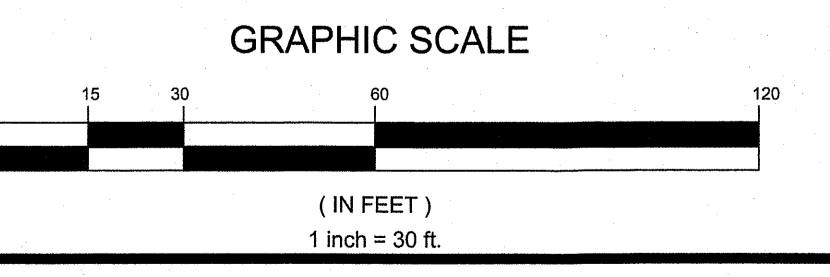
	EXISTING WETLAND
	PROPOSED SIGN
	PROPOSED R.O.W. LINE
	PROPOSED PROPERTY LINE
	PROPOSED PHASE LINE
	PROPOSED MAILBOX CLUSTER REFER TO PATTERN BOOK
	PROPOSED STREET PARKING COUNT
	PROPOSED WALL
	PROPOSED STREET WALL

	PROPOSED STORM MANHOLE
	PROPOSED STORM INLET
	PROPOSED SANITARY MANHOLE

**PARKING NOTE:**  
 1. PARKING SPACES MARKED WITH AN \* ARE DESIGNED TO BE ADA COMPLIANT OF PURPOSES OF MEETING ACCESSIBLE ROUTE RULES FOR THE CROSSROADS BUILDINGS.

**GENERAL SITE NOTES:**  
 1. ALL PROPOSED WALLS ARE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.  
 2. ALL SIDEWALKS WILL BE SEPARATED FROM DOWNGRADE SLOPES GREATER THAN 3:1 BY GUIDERAIL, FENCING, A FIVE-FOOT GRADING STRIP OR SHRUBBERY.

- REFER TO PAVEMENT MARKINGS AND SIGNAGE PLAN SHEETS C601-603 FOR SIGNAGE DETAILS.
- A MINIMUM OF TWO NEW MONUMENTS WILL BE PLACED IN ACCORDANCE WITH DETAIL SD-18 ON SHEET C600.
- ALL DESIGNATED CROSSWALKS WILL BE HEAVY DUTY THERMOPLASTIC.
- PURSUANT TO SECTION 7.2 OF THE DECLARATION OF COVENANTS, RESTRICTIONS EASEMENTS AND ESTABLISHMENT OF NEIGHBORHOOD ASSOCIATION AT CRESCENT, A PLANNED COMMUNITY, RECORDED FEBRUARY 23, 2023 IN THE BUTLER COUNTY RECORDERS OFFICE AS INSTRUMENT NUMBER 202302230002464, THE CRESCENT NEIGHBORHOOD ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL RETAINING WALLS SHOWN ON THIS PLAN AND ASSOCIATED DRAINAGE FACILITIES. THE CROSSROADS BUILDINGS SHOWN ON THIS PLAN ARE ILLUSTRATIVE ONLY. THE ACTUAL NUMBER, LOCATION, AND DIMENSIONS OF THE CROSSROADS BUILDINGS MAY VARY FROM WHAT IS SHOWN AND WILL BE DETERMINED AT THE TIME OF BUILDING PERMIT. PROVIDED HOWEVER THAT THE AGGREGATE SQUARE FOOTAGE FOR ALL SUCH BUILDINGS SHALL APPROXIMATE THE AGGREGATE SQUARE FOOTAGE SHOWN ON THIS PLAN AND BUILDING FOOTPRINTS SHALL GENERALLY FALL WITHIN THE BOXES SHOWN ON THIS PLAN.



PLAN BOOK	PAGE
<b>416</b>	<b>11</b>

**GATEWAY**  
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REVISION RECORD	
No.	Date
1	01-13-2023
2	01-25-2023
3	02-06-2023
4	02-06-2023
5	02-22-2023
6	08-29-2023
7	10-20-2023
8	11-03-2023

**CHARTER**  
Homes & Neighborhoods

**CRESCENT FINAL PHASE 1A REVISED**  
 MARS ROAD  
 CRANBERRY TOWNSHIP, PA 16066

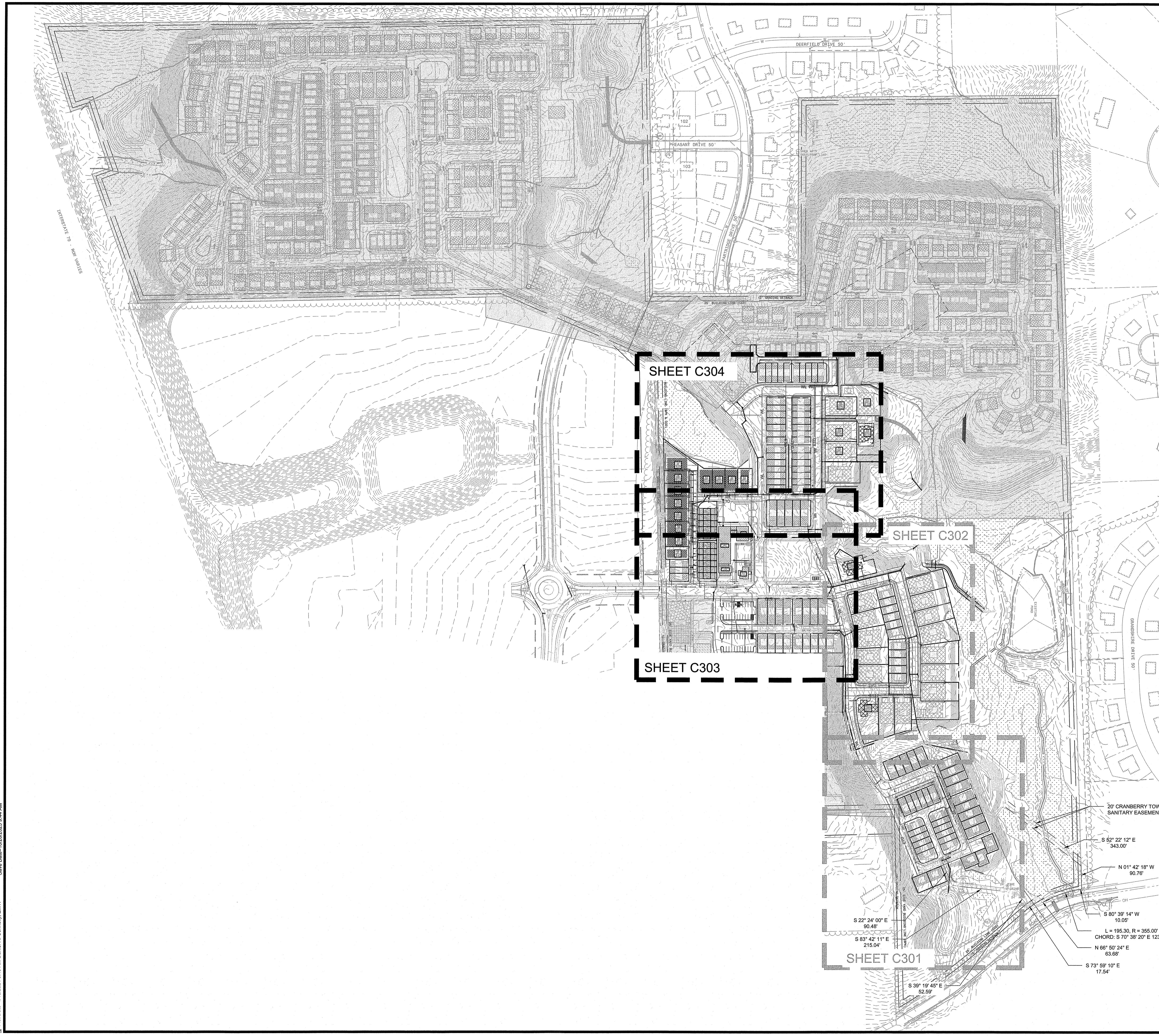
PREPARED FOR:  
**CHARTER HOMES & NEIGHBORHOODS**  
 322 NORTH ARCH STREET, FIRST FLOOR  
 LANCASTER, PA 17603

SITE PLAN

Project Number: 39977-0014  
 Drawing Scale: 1" = 30'  
 Date Issued: NOV. 2023  
 Index Number: -  
 Drawn By: NK/RRR  
 Checked By: DMH  
 Project Manager: DMH

**C104**

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	VARIABLE C605-7	PROPOSED MASONRY PAVERS OR STAMPED CONCRETE
		PROPOSED STORM LINE
		PROPOSED TEMPORARY STORM LINE
	SA01	PROPOSED SANITARY LINE
	WL	PROPOSED WATER LINE
	ETD	PROPOSED 3 PHASE LOOP ELECTRIC CONDUIT
	O	PROPOSED TRANSFORMER PROPOSED PEDESTAL
	GAS	PROPOSED GAS LINE
	WL	PROPOSED WATER LATERAL CONNECTION
	WV	PROPOSED WATER VALVE
	H	PROPOSED HYDRANT
	SA01	PROPOSED SANITARY LATERAL CONNECTION
		PROPOSED ROOF DRAINS
		UTILITY EASEMENT

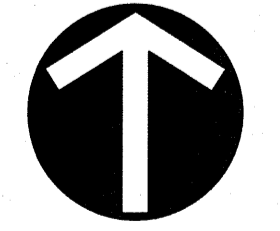
**UTILITY PLAN NOTES:**

- THE WATERLINE SHALL HAVE A MINIMUM OF 48" OF COVER AND HAVE AT LEAST 18" OF VERTICAL SEPARATION AND 3' HORIZONTAL SEPARATION FROM OTHER UTILITIES, UNLESS OTHERWISE NOTED ON THESE PLANS. REFER TO WATER PLAN/PROFILES FOR DETAILS OF WATERLINE CONSTRUCTION.
- WATERLINES LOCATED UNDER PROPOSED WALLS SHALL BE SLEEVED IN ACCORDANCE WITH TOWNSHIP DETAIL SW-6.
- PROPOSED DOMESTIC SERVICE SHALL BE ONE CONTINUOUS RUN FROM CURB BOX TO METER SPREAD 1' INSIDE CURB UNLESS OTHERWISE NOTED.
- ALL ROOF DRAINS ARE TO BE 3" ADS AT A MINIMUM 1/8" SLOPE UNLESS OTHERWISE NOTED.
- REFER TO SHEET C348 FOR ALL SANITARY SEWER LATERAL INFORMATION.
- ALL SANITARY SEWER LATERALS HAVE CLEANOUTS AT 1' INSIDE SIDEWALK UNLESS OTHERWISE NOTED. REFER TO DETAIL C3004 FOR CONNECTION TO BUILDINGS.
- ALL TRANSFORMERS AND PEDESTALS TO BE MOVED TO PROPERTY LINE/BACK OF SIDEWALK.
- FOR ELEVATION INFORMATION, PIPE TYPE, SLOPES, AND CROSSING INFORMATION, REFER TO SANITARY, STORM, AND WATER PROFILES SHEETS C330-C358.
- SDR-35 PIPE IS NOT ACCEPTABLE FOR STORM WATER SYSTEM.
- GAS LINE DESIGN PER PEOPLES NATURAL GAS DRAWING DATED SEPTEMBER 26, 2022.
- ELECTRIC LINE DESIGN IN PHASE 1.1 & 1.2 PER PENNPOWER DRAWING DATED OCTOBER 28, 2022.
- FOR STORM SEWER DESIGN DETAIL REFER TO PLAN/PROFILE SHEETS C330-C333.
- FOR SANITARY SEWER DESIGN DETAIL REFER TO PLAN/PROFILE SHEETS C340-C342. SANITARY SERVICE TABLE ON SHEET C346.
- FOR WATERLINE DESIGN DETAIL REFER TO PLAN/PROFILE SHEET C330-C351. WATER SERVICE TABLE ON SHEET C358.
- REFER TO PLAN SHEETS 8-11 TITLED "CRESCENT PLAN PHASE 1A" FOR EASEMENT INFORMATION.

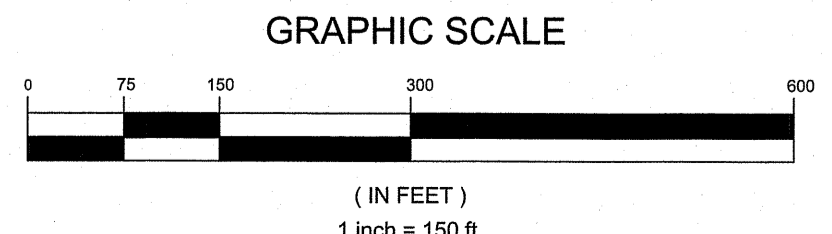
PLAN BOOK	PAGE
416	12



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REGISTERED PROFESSIONAL ENGINEER  
 No. PE085176  
 State of Pennsylvania

Date	No.	REVISION RECORD
01-13-2023	1	TOWNSHIP RESUBMISSION
01-25-2023	2	TOWNSHIP RESUBMISSION
02-05-2023	3	TOWNSHIP RESUBMISSION
02-05-2023	4	TOWNSHIP RESUBMISSION
02-22-2023	5	GRADING PLAN UPDATES
08-29-2023	6	TOWNSHIP RESUBMISSION
10-20-2023	7	TOWNSHIP RESUBMISSION
11-03-2023	8	TOWNSHIP RESUBMISSION

**CHARTER**  
 Homes & Neighborhoods

CRESCENT FINAL PHASE 1A REVISED  
 MARS ROAD  
 CRANBERRY TOWNSHIP, PA. 16066

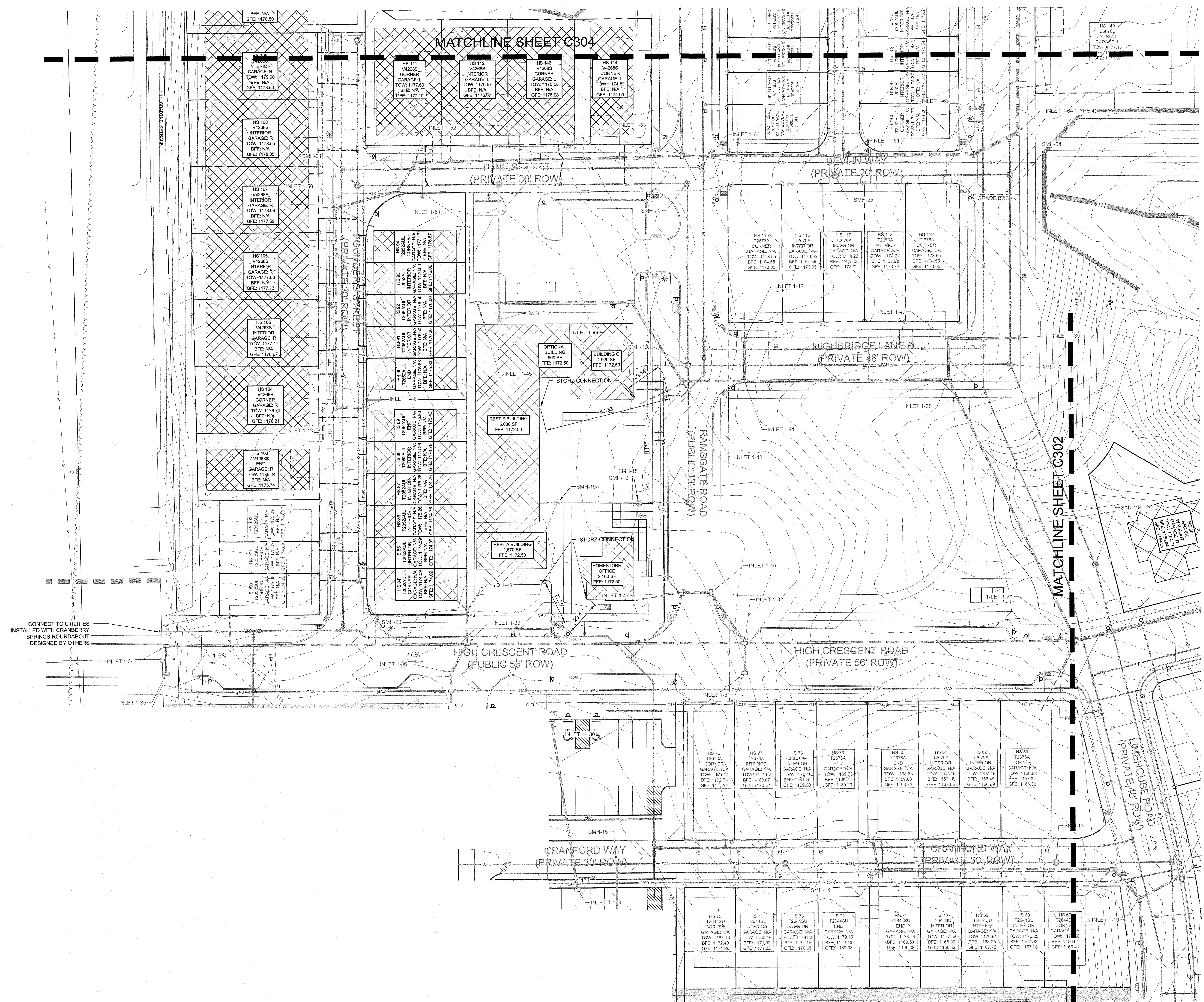
PREPARED FOR:  
 CHARTER HOMES & NEIGHBORHOODS  
 322 NORTH ARCH STREET, FIRST FLOOR  
 LANCASTER, PA. 17603

OVERALL UTILITY PLAN

Project Number: 39977-0014  
 Drawing Scale: 1" = 150'  
 Date Issued: NOV. 2023  
 Index Number: -  
 Drawn By: NK/RRR  
 Checked By: DMH  
 Project Manager: DMH

C300

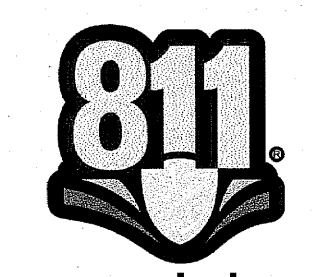
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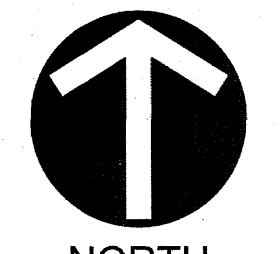
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	VARIES PROPOSED MASONRY PAVERS OR STAMPED CONCRETE
	PROPOSED STORM LINE
	PROPOSED TEMPORARY STORM LINE
	PROPOSED SANITARY LINE
	PROPOSED WATER LINE
	PROPOSED 3 PHASE LOOP ELECTRIC CONDUIT
	PROPOSED TRANSFORMER PROPOSED PEDESTAL
	PROPOSED GAS LINE
	PROPOSED WATER LATERAL CONNECTION
	PROPOSED WATER VALVE
	5 PROPOSED HYDRANT
	PROPOSED SANITARY LATERAL CONNECTION
	PROPOSED ROOF DRAINS
	UTILITY EASEMENT

- UTILITY PLAN NOTES:**
- THE WATERLINE SHALL HAVE A MINIMUM OF 48" OF COVER AND HAVE AT LEAST 18" OF VERTICAL SEPARATION AND 3' HORIZONTAL SEPARATION FROM OTHER UTILITIES, UNLESS OTHERWISE NOTED ON THESE PLANS. REFER TO WATER PLAN PROFILES FOR DETAILS OF WATERLINE CONSTRUCTION.
  - WATERLINES LOCATED UNDER PROPOSED WALK SHALL BE SLEEVED IN ACCORDANCE WITH TOWNSHIP DETAIL SW-6.
  - PROPOSED DOMESTIC SERVICE SHALL BE ONE CONTINUOUS RUN FROM CURB BOX TO METER SPREAD 1' INSIDE CURB UNLESS OTHERWISE NOTED.
  - ALL ROOF DRAINS ARE TO BE 8" ADS AT A MINIMUM 2% SLOPE UNLESS OTHERWISE NOTED.
  - REFER TO SHEET C346 FOR ALL SANITARY SEWER LATERAL INFORMATION.
  - ALL SANITARY SEWER LATERALS HAVE CLEANOUTS AT 1' INSIDE SIDEWALK UNLESS OTHERWISE NOTED. REFER TO DETAIL 3/06/04 FOR CONNECTION TO BUILDINGS.
  - ALL TRANSFORMERS AND PEDESTALS TO BE MOVED TO PROPERTY LINE/BACK OF SIDEWALK.
  - FOR ELEVATION INFORMATION, PIPE TYPE, SLOPES, AND CROSSING INFORMATION, REFER TO SANITARY, STORM, AND WATER PROFILES SHEETS C330-C358.
  - SDR-35 PIPE IS NOT ACCEPTABLE FOR STORM WATER SYSTEM.
  - GAS LINE DESIGN PER PEOPLES NATURAL GAS DRAWING DATED SEPTEMBER 26, 2022.
  - ELECTRIC LINE DESIGN IN PHASE 1.1 & 1.2 PER PENPOWER DRAWING DATED OCTOBER 28, 2022.
  - FOR STORM SEWER DESIGN DETAIL REFER TO "PLAN" FILE SHEET 11E11 C330-C338.
  - FOR SANITARY SEWER DESIGN DETAIL REFER TO PLAN PROFILE SHEETS C340-C342. SANITARY SERVICE TABLE ON SHEET C346.
  - FOR WATERLINE DESIGN DETAIL REFER TO PLAN PROFILE SHEETS C350-C361. WATER SERVICE TABLE ON SHEET C358.
  - REFER TO PLAN SHEETS 8-11 TITLED "CRESCENT PHASE 1A" FOR EASEMENT INFORMATION.

PLAN BOOK **416** PAGE **13**

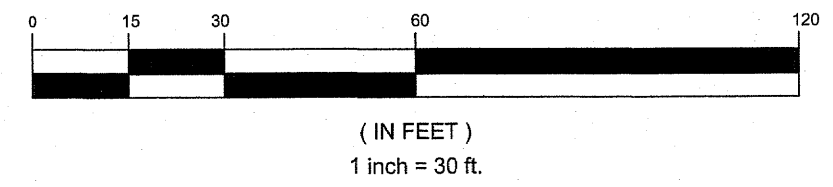


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GRAPHIC SCALE



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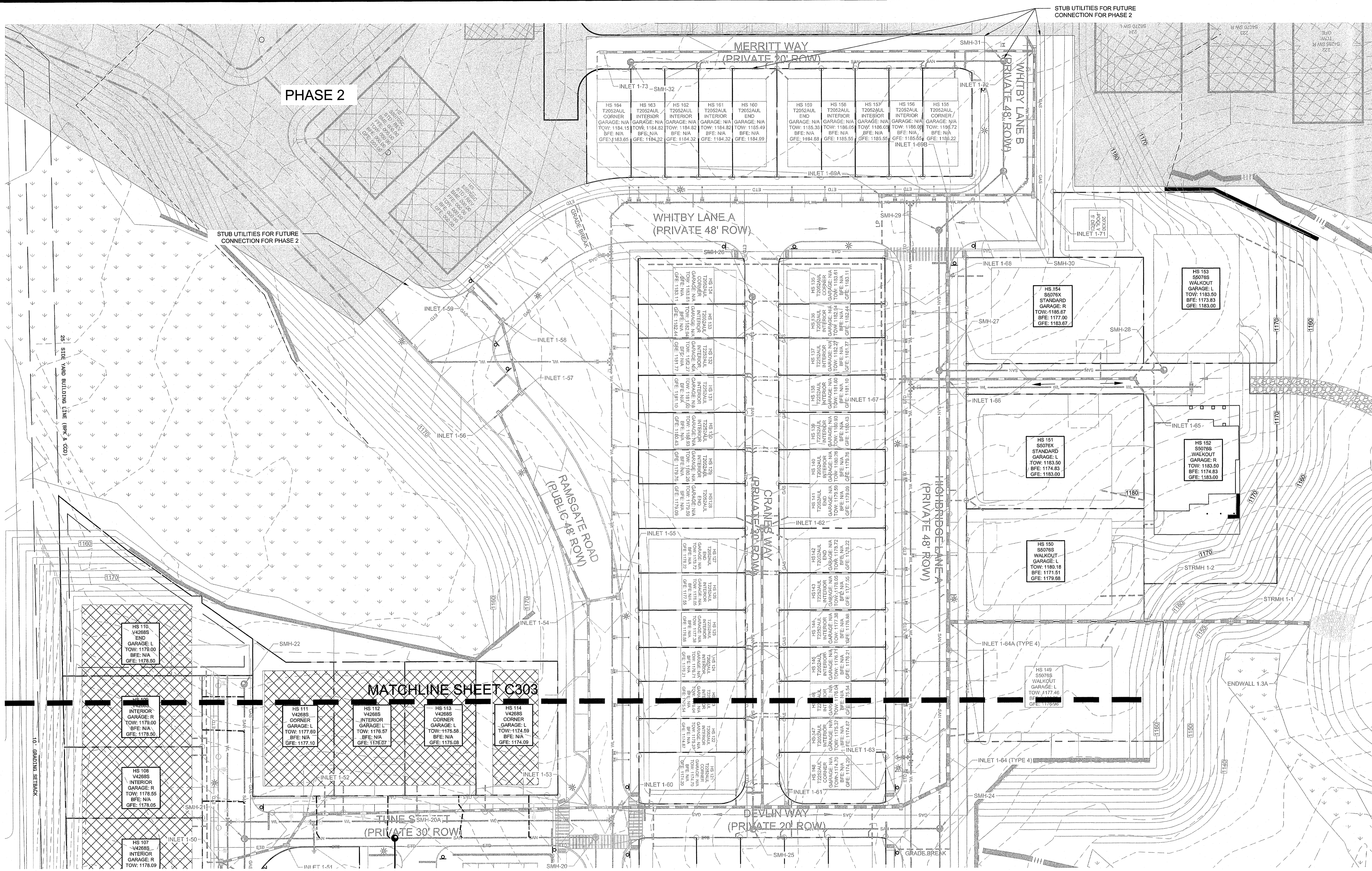
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No.	Date	Description
01	11-13-2023	1 TOWNSHIP RESUBMISSION
02	1-25-2023	2 TOWNSHIP RESUBMISSION
03	02-06-2023	3 TOWNSHIP RESUBMISSION
04	02-06-2023	4 TOWNSHIP RESUBMISSION
05	02-22-2023	5 GRADING PLAN UPDATES
06	04-29-2023	6 TOWNSHIP RESUBMISSION
07	10-20-2023	7 TOWNSHIP RESUBMISSION
08	11-03-2023	8 TOWNSHIP RESUBMISSION

**CHARTER**  
 Homes & Neighborhoods

**CRESCENT FINAL PHASE 1A REVISED**  
 MARS ROAD  
 CRANBERRY TOWNSHIP, PA 16066  
 PREPARED FOR:  
**CHARTER HOMES & NEIGHBORHOODS**  
 322 NORTH ARCH STREET, FIRST FLOOR  
 LANCASTER, PA 17603

UTILITY PLAN  
 Project Number: 39977-0014  
 Drawing Scale: 1" = 30'  
 Date Issued: NOV. 2023  
 Index Number: --  
 Drawn By: NK/RRR  
 Checked By: DMH  
 Project Manager: DMH  
**C303**



VARIES	PROPOSED ALLEY AND PARKING LOT BITUMINOUS PAVING
VARIES	PROPOSED MASONRY PAVERS OR STAMPED CONCRETE
---	PROPOSED STORM LINE
---	PROPOSED TEMPORARY STORM LINE
---	PROPOSED SANITARY LINE
WL	PROPOSED WATER LINE
ETD	PROPOSED 3 PHASE LOOP ELECTRIC CONDUIT
o	PROPOSED TRANSFORMER PROPOSED PEDESTAL
---	PROPOSED GAS LINE
---	PROPOSED WATER LATERAL CONNECTION
---	PROPOSED WATER VALVE
5	PROPOSED HYDRANT
---	PROPOSED SANITARY LATERAL CONNECTION
---	PROPOSED ROOF DRAINS
---	UTILITY EASEMENT

- UTILITY PLAN NOTES:**
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  2. WATERLINES LOCATED UNDER PROPOSED WALL SHALL BE SLEEVED IN ACCORDANCE WITH TOWNSHIP DETAIL SW-6.
  3. PROPOSED DOMESTIC SERVICES SHALL BE ONE CONTINUOUS RUN FROM CURB BOX TO METER SPREAD 1" INSIDE CURB UNLESS OTHERWISE NOTED.
  4. ALL ROOF DRAINS ARE TO BE 8" / DS AT A MINIMUM 2% SLOPE UNLESS OTHERWISE NOTED.
  5. REFER TO SHEET C345 FOR ALL SANITARY SEWER LATERAL INFORMATION.
  6. ALL SANITARY SEWER LATERALS HAVE CLEANOUTS AT 1" INSIDE SIDEWALK UNLESS OTHERWISE NOTED. REFER TO DETAIL 30004 FOR CONCRETE CLEANOUT BUILDINGS.
  7. ALL TRANSFORMERS AND PEDESTALS TO BE MOVED TO PROPERTY LINE/BACK OF SIDEWALK.
  8. FOR ELEVATION INFORMATION, PIPE TYPE, SLOPES, AND CROSSING INFORMATION, REFER TO SANITARY, STORM, AND WATER PROFILES SHEET C330-C355.
  9. SDR-35 PIPE IS NOT ACCEPTABLE FOR STORM WATER SYSTEMS.
  10. GAS LINE DESIGN PER PEOPLES NATURAL GAS DRAWING DATED SEPTEMBER 26, 2022.
  11. ELECTRIC LINE DESIGN IN PHASE 1 & 1.2 PER PENPOWER DRAWING DATED OCTOBER 28, 2022.
  12. FOR STORM SEWER DESIGN DETAIL, REFER TO PLAN PROFILE SHEETS C330-C355.
  13. FOR SANITARY SEWER DESIGN DETAIL, REFER TO PLAN PROFILE SHEETS C340-C342. SANITARY SERVICE TABLE ON SHEET C346.
  14. FOR WATERLINE DESIGN DETAIL, REFER TO PLAN PROFILE SHEETS C350-C351. WATER SERVICE TABLE ON SHEET C356.
  15. REFER TO PLAN SHEETS 8-11 TITLED "CRESCENT PLAN PHASE 1A" FOR EASEMENT INFORMATION.

- EASEMENT NOTES:**
1. THE SUBJECT PROPERTY LIES IN AREA ZONE X, AREA OF MINIMAL FLOOD HAZARD, & ZONE AE WHICH ARE AREAS OF 0.2% ANNUAL CHANCE FLOOD AREAS OF 0.1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE / FUTURE CONDITIONS 1% ANNUAL CHANCE FLOOD HAZARD AS DEPICTED ON FLOOD INSURANCE RATE MAP NUMBER 42019C0503D, MAP REVISED AUGUST 2, 2018.
  2. ALL STORM SEWERS DEPICTED IN THE PUBLIC RIGHT-OF-WAYS DEPICTED IN THIS PLAN SHALL BE OWNED AND MAINTAINED BY CRANBERRY TOWNSHIP. ALL STORM SEWERS WITHIN THE "PUBLIC UTILITY EASEMENTS" AND UNDER PRIVATE STREETS AND ALLEYS DEPICTED IN THIS PLAN SHALL BE OWNED AND MAINTAINED BY THE CRESCENT NEIGHBORHOOD ASSOCIATION. NO STORM SEWERS SHALL BE RELOCATED ANYWHERE IN THIS PLAN WITHOUT PRIOR APPROVAL OF CRANBERRY TOWNSHIP.
  3. ALL SANITARY EASEMENTS DEPICTED ON THIS PLAN SHALL BE GRANT AT THE BENEFIT OF CRANBERRY TOWNSHIP.
  4. ALL WATERLINE EASEMENTS DEPICTED ON THIS PLAN SHALL BE GRANTED AT THE BENEFIT OF CRANBERRY TOWNSHIP.
  5. PUBLIC ACCESS IS HEREBY GRANTED OVER THE PRIVATE RIGHT OF WAYS ON THIS PLAN.

**GATEWAY**  
The Gateway Engineers, Inc.  
Full-Service Civil Engineering & Surveying  
Pittsburgh, PA  
gatewayengineers.com  
855-634-9284

No.	Date	REVISION RECORD
1	01-13-2023	TOWNSHIP RESUBMISSION
2	01-25-2023	TOWNSHIP RESUBMISSION
3	02-08-2023	TOWNSHIP RESUBMISSION
4	02-08-2023	TOWNSHIP RESUBMISSION
5	02-22-2023	GRADING PLAN UPDATES
6	04-29-2023	TOWNSHIP RESUBMISSION
7	09-29-2023	TOWNSHIP RESUBMISSION
8	11-03-2023	TOWNSHIP RESUBMISSION

**CHARTER**  
Homes & Neighborhoods

PLAN BOOK	PAGE
416	14

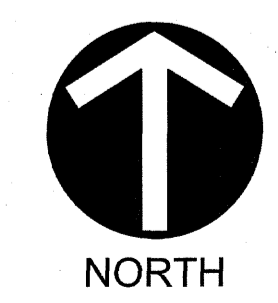
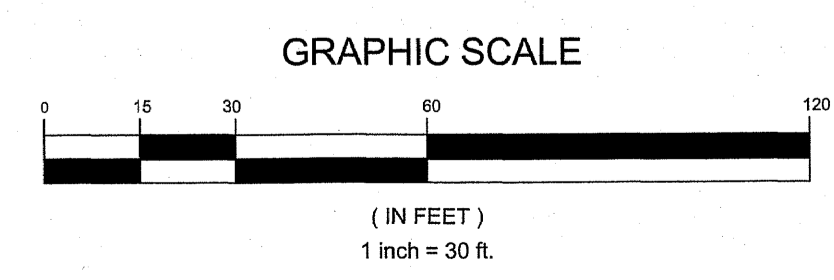
**CRESCENT FINAL PHASE 1A REVISED**  
MARS ROAD  
CRANBERRY TOWNSHIP, PA 16066  
PREPARED FOR:  
**CHARTER HOMES & NEIGHBORHOODS**  
322 NORTH ARCH STREET, FIRST FLOOR  
LANCASTER, PA 17603

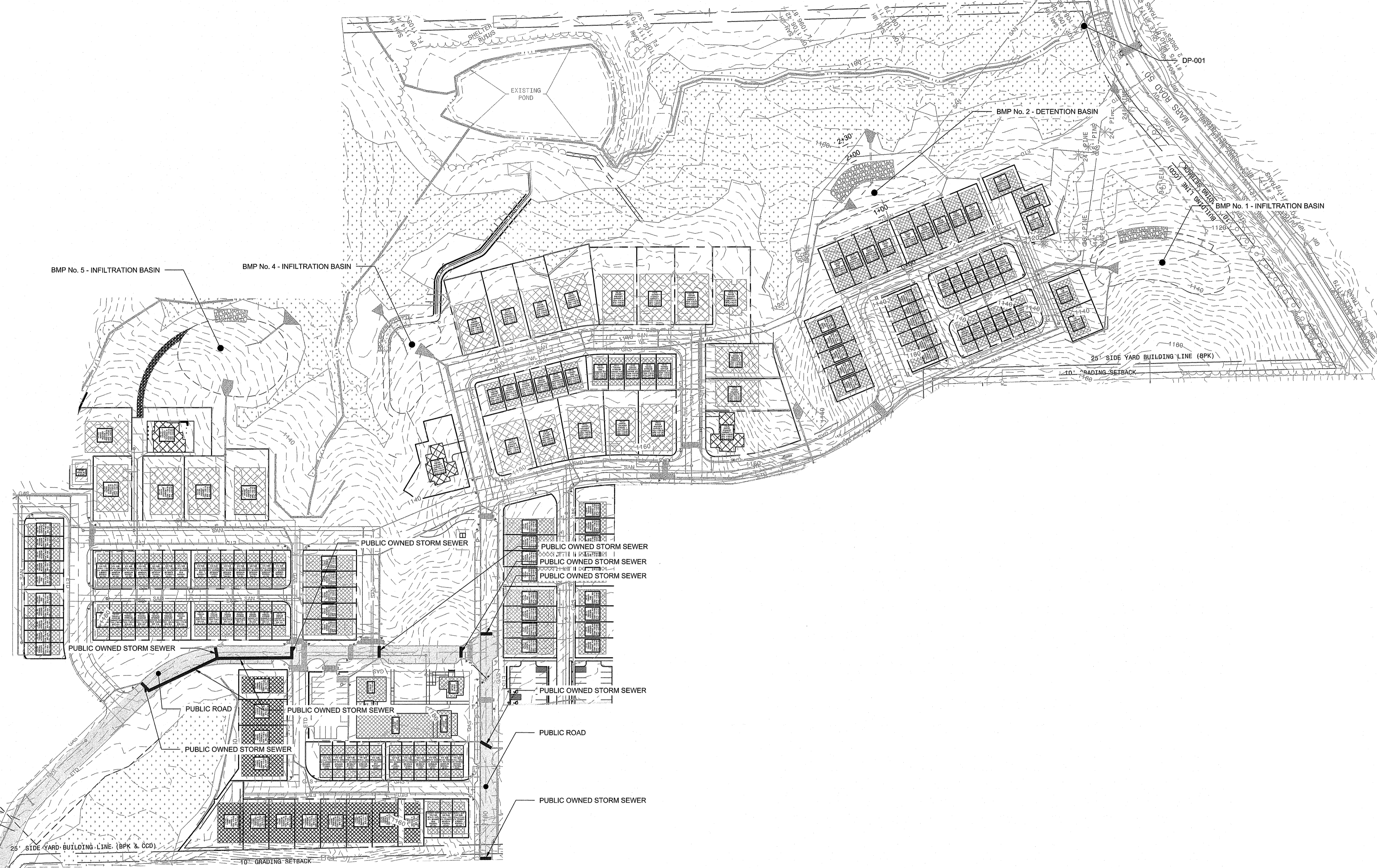
UTILITY PLAN  
Project Number: 39977-0014  
Drawing Scale: 1" = 30'  
Date Issued: NOV. 2023  
Index Number: --  
Drawn By: NK/RRR  
Checked By: DMH  
Project Manager: DMH

**C304**

Path: E:\Projects\39977\39977-C304-Phase 1\Drawings\Sheet\C304\_Utility\_Plan - Storm.dwg  
Plot Date: 11/02/2023 9:50 AM Daniel R. Connolly, E.I.T. Save Date: 10/20/2023 9:44 AM

**811**  
Know what's below.  
Call before you dig.  
Serial No. 20211102287





**POST CONSTRUCTION STORMWATER MANAGEMENT NOTES:**

1. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-56), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF THE BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
3. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PENNSYLVANIA ONE CALL SYSTEMS, INC. AT 1-800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
4. CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER MANHOLES, INLETS, AND DETENTION SYSTEMS.
5. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
6. ALL STORM PIPE SHALL BE HDPE, SMOOTH INTERIOR, CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED. ALL STORM SEWER CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS. ALL JOINTS SHALL BE WATER TIGHT.
7. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
8. THE CONTRACTOR SHALL ASSURE THAT THERE IS POSITIVE DRAINAGE TO THE INLETS UPON PLACEMENT OF NEW PAVEMENT.

**PROJECT AREAS**  
 TOTAL PERMIT AREA = 43.0 ACRES  
 DISTURBED AREA = 22.0 ACRES

**SWM NOTES:**

IT SHALL BE UNLAWFUL TO ALTER OR REMOVE ANY PERMANENT STORMWATER BMP REQUIRED BY AN APPROVED SWM SITE PLAN OR TO ALLOW THE PROPERTY TO REMAIN IN A CONDITION THAT DOES NOT CONFORM TO AN APPROVED SWM SITE PLAN, UNLESS THE TOWNSHIP GRANTS AN EXCEPTION IN WRITING.

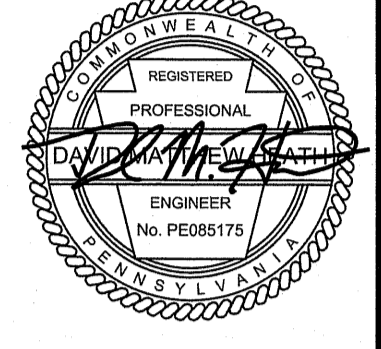
THE OWNER IS RESPONSIBLE FOR OPERATION AND MAINTENANCE OF THE STORMWATER BMPs. IF THE OWNER FAILS TO ADHERE TO THE OPERATION AND MAINTENANCE (O&M) AGREEMENT, THE TOWNSHIP MAY PERFORM THE SERVICES REQUIRED AND CHARGE THE OWNER APPROPRIATE FEES. NONPAYMENT OF FEES MAY RESULT IN A LIEN AGAINST THE PROPERTY. A NOTE SHALL BE PLACED ON THE RECORDED PLAN: "AS PER THE APPROVED STORMWATER MANAGEMENT PLAN, THE TOWNSHIP SHALL HAVE RIGHT OF ACCESS TO THE ON-SITE DETENTION FACILITY FOR THE RIGHT OF MAINTENANCE, MONITORING, AND/OR SAMPLING, IN THE EVENT THE OWNER, ASSIGNS OR HEIRS DO NOT ADEQUATELY MAINTAIN OR MONITOR THE FACILITY. THE OWNER, ASSIGNS OR HEIRS SHALL REIMBURSE THE TOWNSHIP FOR ALL COSTS ASSOCIATED WITH SAID MAINTENANCE. THE AFOREMENTIONED RIGHTS GRANTED THE TOWNSHIP IN NO WAY DIMINISH THE RESPONSIBILITY OF THE OWNER, ASSIGNS OR HEIRS OF SAID MAINTENANCE AND MONITORING, AND NO LIABILITY WILL BE ASSUMED BY THE TOWNSHIP ASSOCIATED WITH REQUIRED ACCESS FOR MAINTENANCE OR MONITORING PURPOSES. THE OWNER IS RESPONSIBLE FOR OPERATION AND MAINTENANCE OF THE STORMWATER BMPs. IF THE OWNER FAILS TO ADHERE TO THE OPERATION AND MAINTENANCE (O&M) AGREEMENT, THE TOWNSHIP MAY PERFORM THE SERVICES REQUIRED AND CHARGE THE OWNER APPROPRIATE FEES. NONPAYMENT OF FEES MAY RESULT IN A LIEN AGAINST THE PROPERTY. A NOTE SHALL BE PLACED ON THE RECORDED PLAN: "AS PER THE APPROVED STORMWATER MANAGEMENT PLAN, THE TOWNSHIP SHALL HAVE RIGHT OF ACCESS TO THE ON-SITE DETENTION FACILITY FOR THE RIGHT OF MAINTENANCE, MONITORING, AND/OR SAMPLING, IN THE EVENT THE OWNER, ASSIGNS OR HEIRS DO NOT ADEQUATELY MAINTAIN OR MONITOR THE FACILITY. THE OWNER, ASSIGNS OR HEIRS SHALL REIMBURSE THE TOWNSHIP FOR ALL COSTS ASSOCIATED WITH SAID MAINTENANCE. THE AFOREMENTIONED RIGHTS GRANTED THE TOWNSHIP IN NO WAY DIMINISH THE RESPONSIBILITY OF THE OWNER, ASSIGNS OR HEIRS OF SAID MAINTENANCE AND MONITORING, AND NO LIABILITY WILL BE ASSUMED BY THE TOWNSHIP ASSOCIATED WITH REQUIRED ACCESS FOR MAINTENANCE OR MONITORING PURPOSES."

NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, OR ALTER ANY EXISTING STORMWATER BMP, FACILITIES, AREAS, OR STRUCTURES, UNLESS IT IS PART OF AN APPROVED MAINTENANCE PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE TOWNSHIP

FACILITIES, AREAS, OR STRUCTURES USED AS STORMWATER BMPs SHALL BE ENUMERATED AS PERMANENT REAL ESTATE APPURTENANCES AND RECORDED AS DEED RESTRICTIONS OR EASEMENTS THAT RUN WITH THE LAND

ALL STORMWATER BMPs, STORM SEWER, AND ROOF DRAINS ARE TO BE OWNED AND MAINTAINED BY THE CRESCENT HOA UNLESS OTHERWISE NOTED AS PUBLIC STORM SEWER.

APPROVAL OF A STORMWATER MANAGEMENT PLAN BY THE TOWNSHIP SHALL NOT BE CONSTRUED AS AN INDICATION THAT SAID PLAN COMPLIES WITH THE REQUIREMENTS, LAWS OR STANDARDS OF ANY AGENCY OF THE COMMONWEALTH WHICH MAY OR MAY NOT GOVERN SAID ACTIVITY.



REVISION RECORD	
No.	Date
1	01-13-2023
2	01-26-2023
3	02-08-2023
4	02-06-2023
5	02-22-2023
6	08-29-2023
7	10-20-2023
8	11-03-2023



**CRESCENT FINAL PHASE 1A REVISED**  
 MARS ROAD  
 CRANBERRY TOWNSHIP, PA. 16066  
 PREPARED FOR:  
**CHARTER HOMES & NEIGHBORHOODS**  
 322 NORTH ARCH STREET, FIRST FLOOR  
 LANCASTER, PA. 17603

PCSM RECORDING PLAN  
 Project Number: 39977-0014  
 Drawing Scale: 1" = 100'  
 Date Issued: NOV. 2023  
 Index Number: --  
 Drawn By: NK/RRR  
 Checked By: DMH  
 Project Manager: DMH  
**C700R**

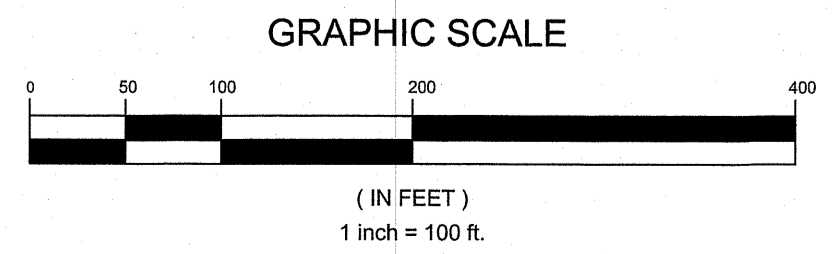
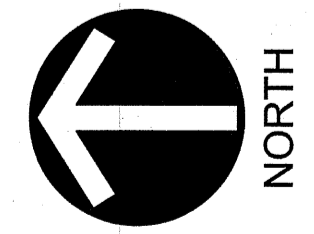
**ENGINEER:**  
 "I, David M. Heath, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE CRANBERRY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE."  
 SIGNATURE: [Signature] DATE: 1/23/2024

**TOWNSHIP ENGINEER/APPROVED REPRESENTATIVE:**  
 "I, Tom Schuman, HAVE REVIEWED THIS STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF THE CRANBERRY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE."  
 SIGNATURE: [Signature] DATE: 2/17/2024

**LANDOWNER:**  
 IT SHALL BE UNLAWFUL TO ALTER OR REMOVE ANY PERMANENT STORMWATER BMP REQUIRED BY AN APPROVED STORMWATER MANAGEMENT PLAN OR ALLOW THE PROPERTY TO REMAIN IN A CONDITION WHICH DOES NOT CONFORM TO AN APPROVED STORMWATER MANAGEMENT PLAN, UNLESS THE TOWNSHIP GRANTS AN EXCEPTION IN WRITING.  
 SIGNATURE: [Signature] DATE: 1/25/24

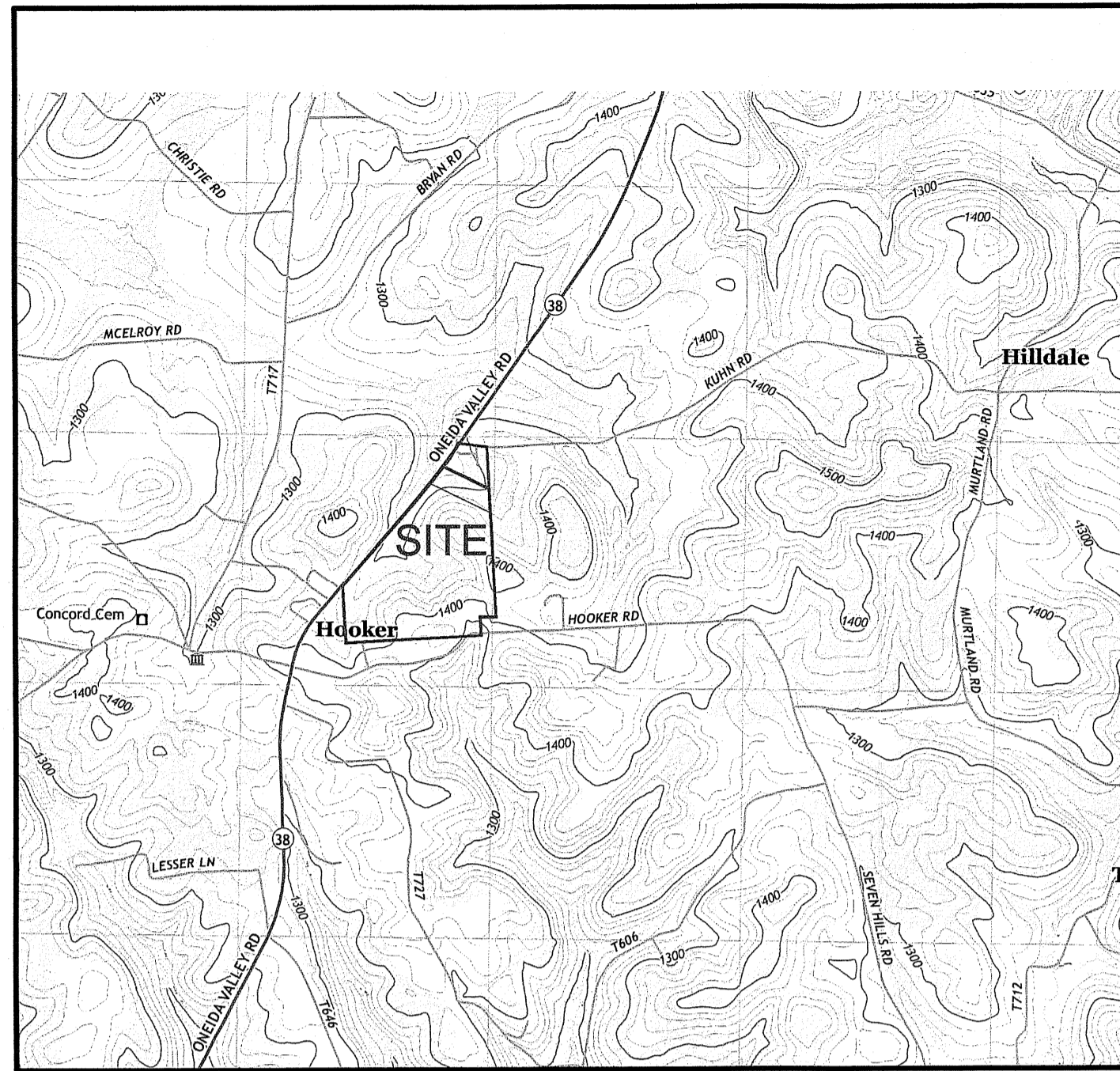
**POST CONSTRUCTION STORMWATER MANAGEMENT LEGEND**

	SOIL BOUNDARIES
	LIMITS OF DISTURBANCE
	PERMIT BOUNDARY



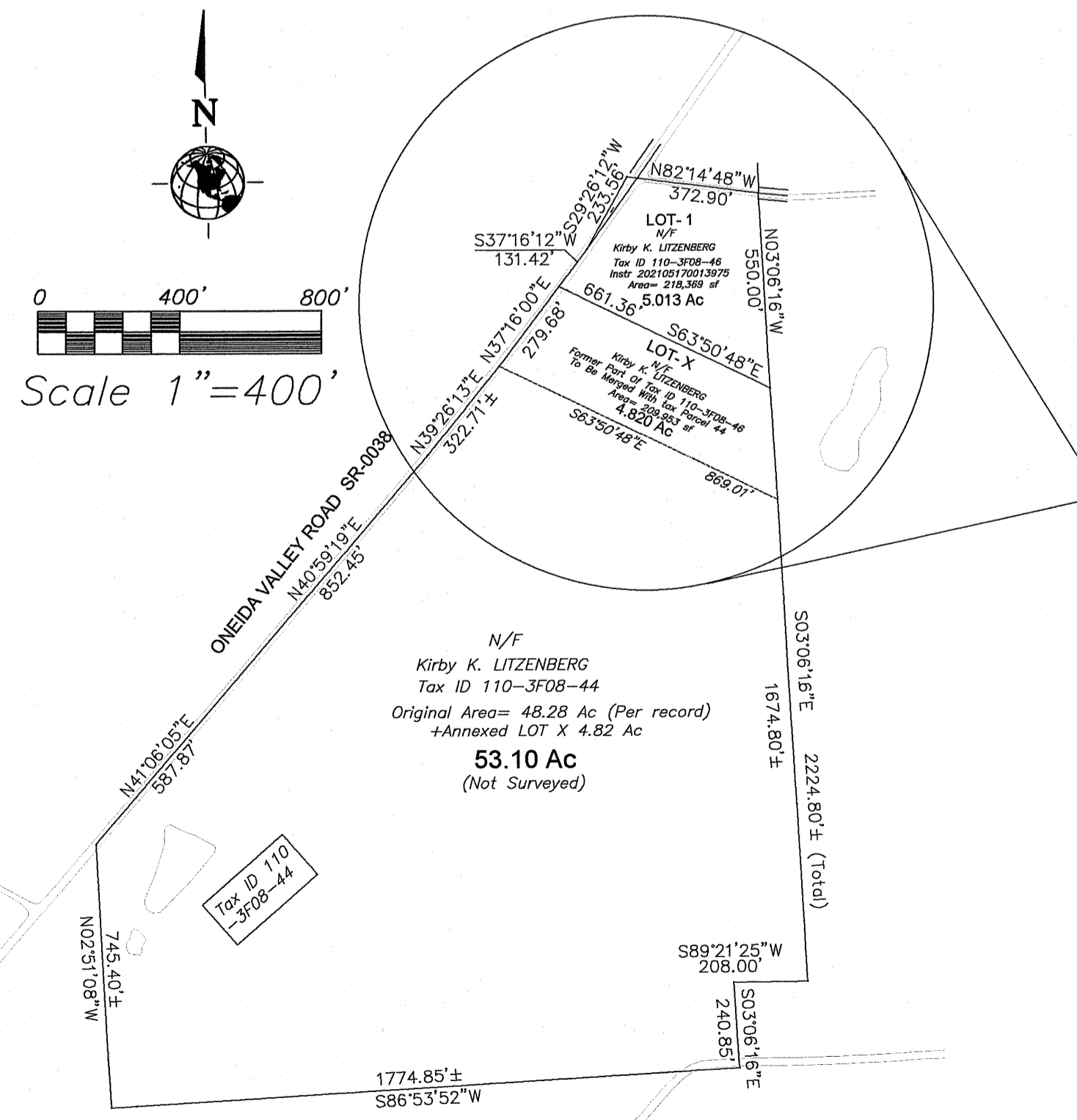
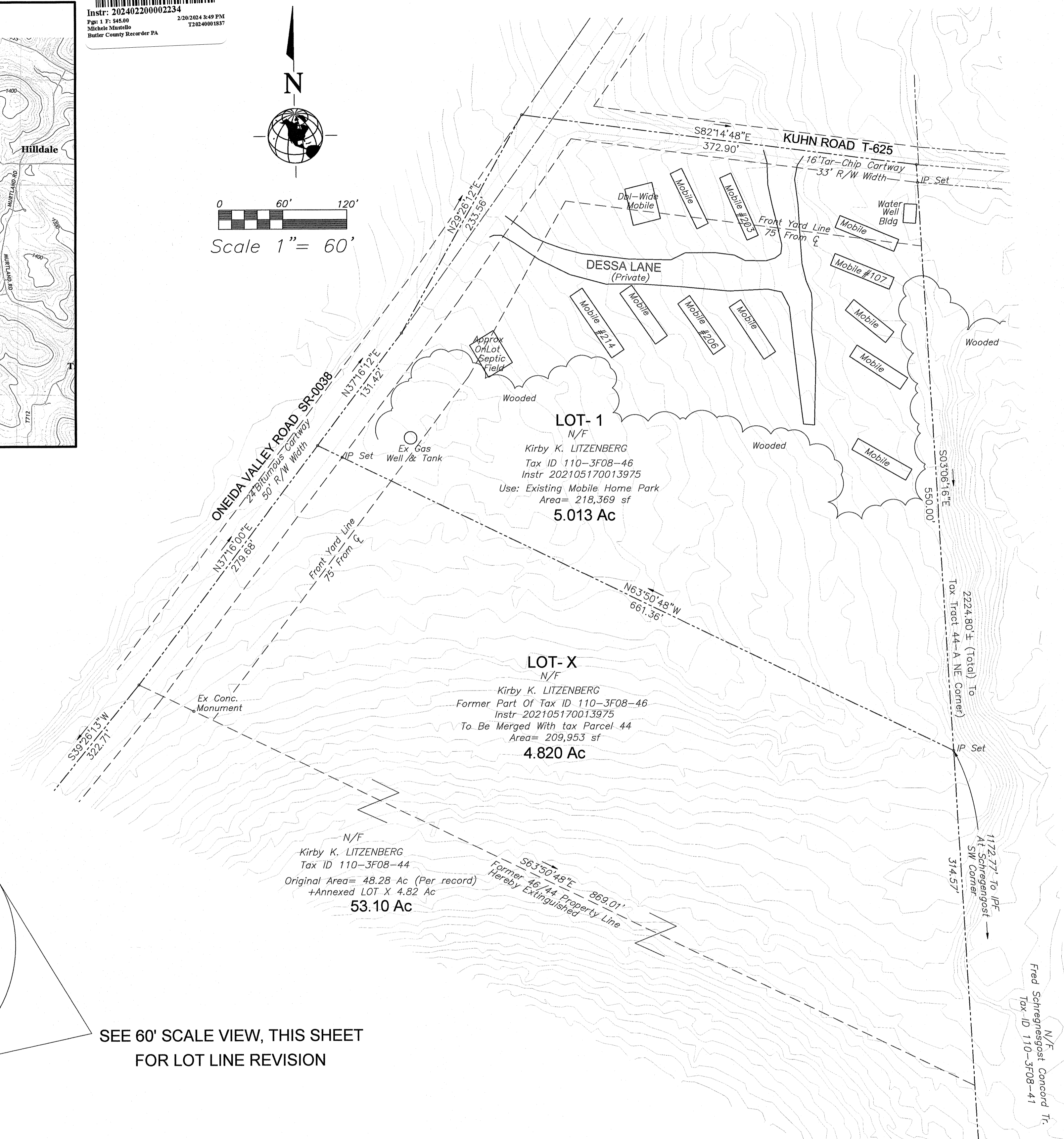
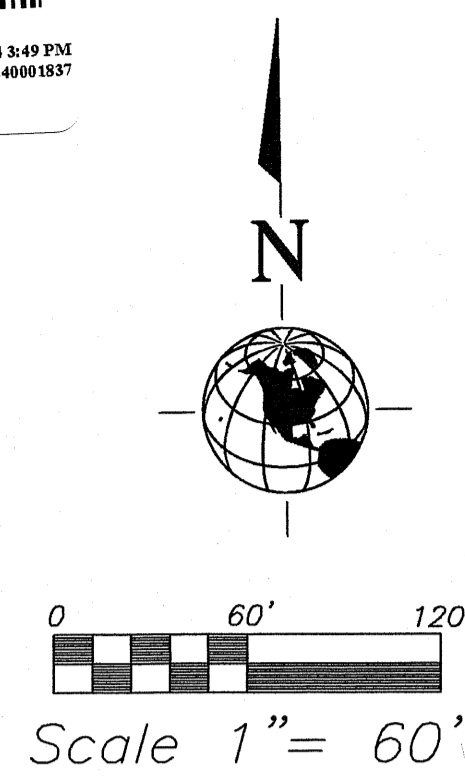
Know what's below.  
 Call before you dig.  
 Serial No. 2021102287

I:\eth & Filanane-G\Projects\39000\39977 Charter-Filner-0014 Phase 1\DWG\02-Sheet\C700R\_PCSM\_Plan.dwg  
 Plot Date: 11/02/2024 9:53 AM Daniel R. Conroy, E.I.T.  
 Save Date: 11/02/2024 8:17 AM



**USGS LOCATION MAP**  
Scale: 1"=2000'  
East Butler & Hilliards, PA USGS Quads 2019

Instr: 202402200002234  
2/28/2024 8:49 PM  
Fig: 1 F: 845.80  
Michele Mustello  
Butler County Recorder PA  
T2024001937



SEE 60' SCALE VIEW, THIS SHEET FOR LOT LINE REVISION

- PLAN NOTES:**
1. THIS PLAN PROPOSES A LOT LINE REVISION BETWEEN TWO SEPARATELY DEEDED PARCELS OWNED BY SAME OWNER.
  2. THE PROPERTIES SHOWN HEREON ARE SUBJECT TO ALL EXCEPTIONS, RESERVATIONS, COVENANTS, CONDITIONS, RESTRICTIONS & CONVEYANCES WHICH APPEAR IN THE INSTRUMENTS, WHICH FORM THE RECORD CHAIN OF TITLE OR WHICH ARE VISIBLE ON THE PREMISES.
  3. THESE PROPERTIES ARE NOT IN A FEMA DEFINED FLOODPLAIN.
  4. ALL IP SET ARE #5 REBAR, 30" LENGTH, WITH PLASTIC CAP.
  5. EXISTING MOBILE HOME PARK PRIVATELY OWNED AND MAINTAINED SANITARY SEWER AND WATER DISTRIBUTION SYSTEM ARE NOT ABLE TO BE MAPPED. SEPTIC LEACHFIELD LOCATION IS ASSUMED AND APPROXIMATE, FROM INFORMATION PROVIDED BY PRIOR OWNERSHIP.
  6. THE MOBILE HOME UNITS SHOWN GRAPHICALLY REFLECT THOSE PHYSICALLY OBSERVED AS OF DATE OF SURVEY.
  7. TOPOGRAPHIC GRAPHICS SHOWN HEREON ARE FROM PA SPATIAL DATA, AND REPRESENT 2' CONTOUR INTERVALS.

**OWNERS ADOPTION**  
I, KIRBY LITZENBERG, THE UNDERSIGNED, HEREBY DECLARE THAT KIRBY LITZENBERG IS THE OWNER OF THE PROPERTIES SHOWN ON THIS FINAL PLAN, THAT THE PROPOSED SUBDIVISION AND LAND DEVELOPMENT WERE MADE WITH THE OWNERS CONSENT, AND THAT THE OWNER DESIRES THE FINAL PLAN TO BE RECORDED AS SUCH.

IN WITNESS WHEREOF, WE HERETO SET OUR HAND AND SEAL THIS 15 DAY OF FEB 2024.

NOTARY PUBLIC: *Margaret Burkitt* OWNER: *Kirby Litzenberg*

**ACKNOWLEDGMENT**  
COMMONWEALTH OF PENNSYLVANIA) SS:  
COUNTY OF BUTLER

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED THE ABOVE NAMED KIRBY LITZENBERG, WHO ACKNOWLEDGED THE FOREGOING FINAL PLAN OF SUBDIVISION AND LAND DEVELOPMENT TO BE HIS ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 15 DAY OF FEB, 2024.

MY COMMISSION EXPIRES THE 9 DAY OF OCT 2024

Commonwealth of Pennsylvania - Notary Seal  
Margaret Burkitt, Notary Public  
Butler County  
My commission expires October 9, 2024  
Commission number 10224627  
Member, Pennsylvania Association of Notaries

NOTARY PUBLIC SIGNATURE: *Margaret Burkitt*

**MUNICIPAL REVIEW**  
THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CONCORD HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSES OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

REVIEWED AND APPROVED THIS 13 DAY OF FEBRUARY, 2024.

SECRETARY: *Michele Y. Shorpan* PRESIDENT: *Walter Hute*

**COUNTY PLANNING COMMISSION APPROVAL**  
APPROVED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 17<sup>TH</sup> DAY OF JAN, 2024.

SECRETARY: *R. H. GEM* CHAIRMAN: *J. H. GEM*

SEE COMMENTS ON FILE AT THE BUTLER COUNTY PLANNING COMMISSION.

PLAN NUMBER: 2A-015

**PROOF OF RECORDING**  
COMMONWEALTH OF PENNSYLVANIA) SS:  
COUNTY OF BUTLER

RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC., IN SAID COUNTY, IN PLAN BOOK VOLUME 416  
PAGE 16

GIVEN UNDER MY HAND AND SEAL THIS February 20<sup>th</sup> DAY OF 2024.

SEAL RECORDER: *Michele M. Mustello* **MICHELE M. MUSTELLO**  
RECORDER OF DEEDS

My Commission Expires First Monday in January 2028

**SURVEYORS CERTIFICATION**  
I, JAMES A. DAY, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS TRUE AND CORRECT TO THE STANDARDS OF THE BUTLER COUNTY SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND THAT THE SURVEY AND ALL ANGLES, DISTANCES AND COURSES ARE ACCURATELY SHOWN, THAT THE MONUMENTS AND MARKERS AS SHOWN ON THE PLAN HAVE BEEN, OR WILL BE SET, AND TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

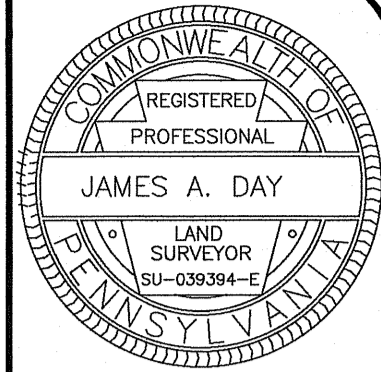
02-11-24  
DATE

*James A. Day*  
REGISTRATION NUMBER # PA-000304E

PLAN BOOK	PAGE
<b>416</b>	<b>16</b>

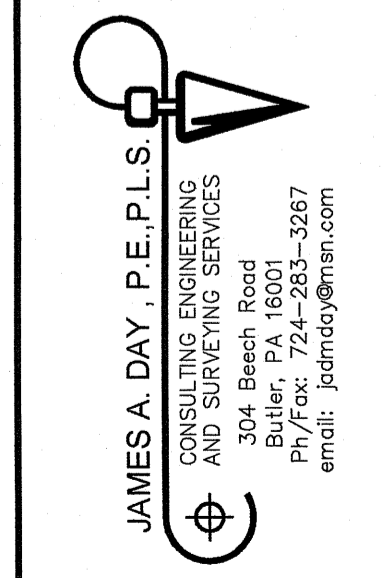
RECORDED	
PLAN BOOK	PAGE

SUBDIVISION OWNER CONTACT:  
KIRBY LITZENBERG  
1734 ONEIDA VALLEY ROAD  
KARNIS CITY, PA 16041

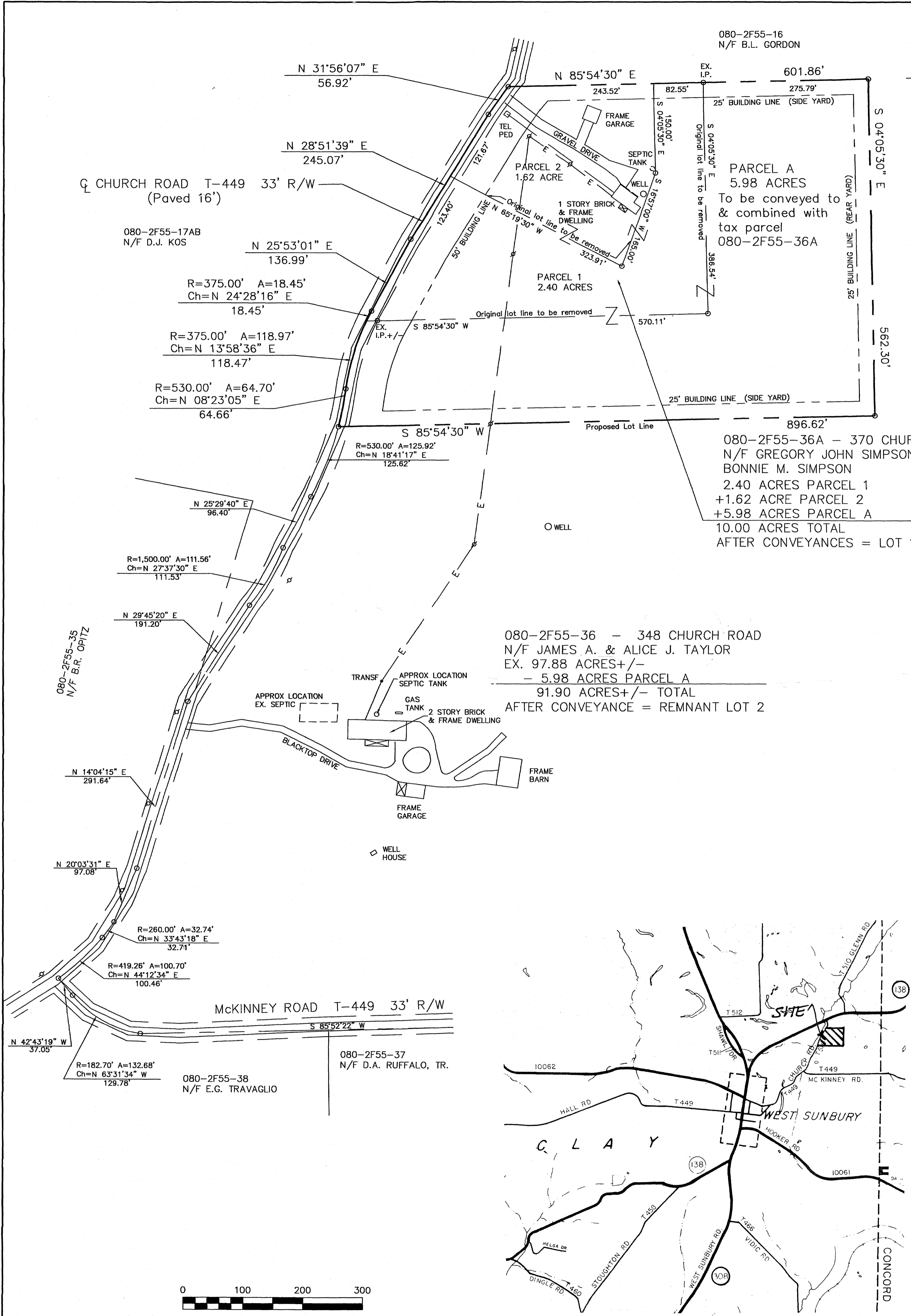


Situated at:  
**ONEIDA VALLEY ROAD & KUHN ROAD**  
CONCORD TOWNSHIP, BUTLER COUNTY, PA

**LITZENBERG LOT LINE REVISION PLAN**  
LANDS OF  
**KIRBY LITZENBERG**







Inst: 202402200002235  
Fig: 1:21 144.00  
Michele Mustello  
Butler County Recorder PA  
2024024 8:56 PM  
12024001838

CLAY TOWNSHIP DEDICATION  
KNOW ALL MEN BY THESE PRESENTS, That we, Gregory John Simpson and Bonnie M. Simpson, of the Township of Clay, of the County of Butler, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this plan as our Plan of Lots of our property, situate in Clay Township, Butler County, Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler, and Township of Clay, we hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Clay, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Gregory John Simpson and Bonnie M. Simpson, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 04<sup>th</sup> day of December 2023  
ATTEST:  
*Darin J. Nichter*  
NOTARY PUBLIC  
*Bonnie M. Simpson*  
OWNER  
*Gregory J. Simpson*  
OWNER  
*Bonnie M. Simpson*  
OWNER

COMMONWEALTH OF PENNSYLVANIA JSS:  
COUNTY OF BUTLER  
Before me, the subscriber, a Notary Public in and for said Commonwealth and Township, personally appeared the above named Gregory John Simpson and Bonnie M. Simpson, and acknowledged the foregoing release and dedications and plan to be their act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day.  
WITNESS MY HAND AND NOTARIAL SEAL this 04<sup>th</sup> day of December 2023  
My commission expires this 06<sup>th</sup> day of MARCH 2024  
SEAL  
*Darin J. Nichter*  
NOTARY PUBLIC  
Commonwealth of Pennsylvania - Notary Seal  
Darin J. Nichter, Notary Public  
Butler County  
My commission expires March 6, 2024  
Commission number 1120575  
Member, Pennsylvania Association of Notaries

TITLE CLAUSE (MORTGAGE CLAUSE)  
We, Gregory John Simpson and Bonnie M. Simpson, owners of this plan of subdivision in our names, do hereby certify that the title of this property is in the names of Gregory John Simpson and Bonnie M. Simpson, as recorded in Instrument #202010270024207, Recorder of Deeds Office.  
WITNESS  
*Gregory J. Simpson*  
OWNER  
*Bonnie M. Simpson*  
OWNER

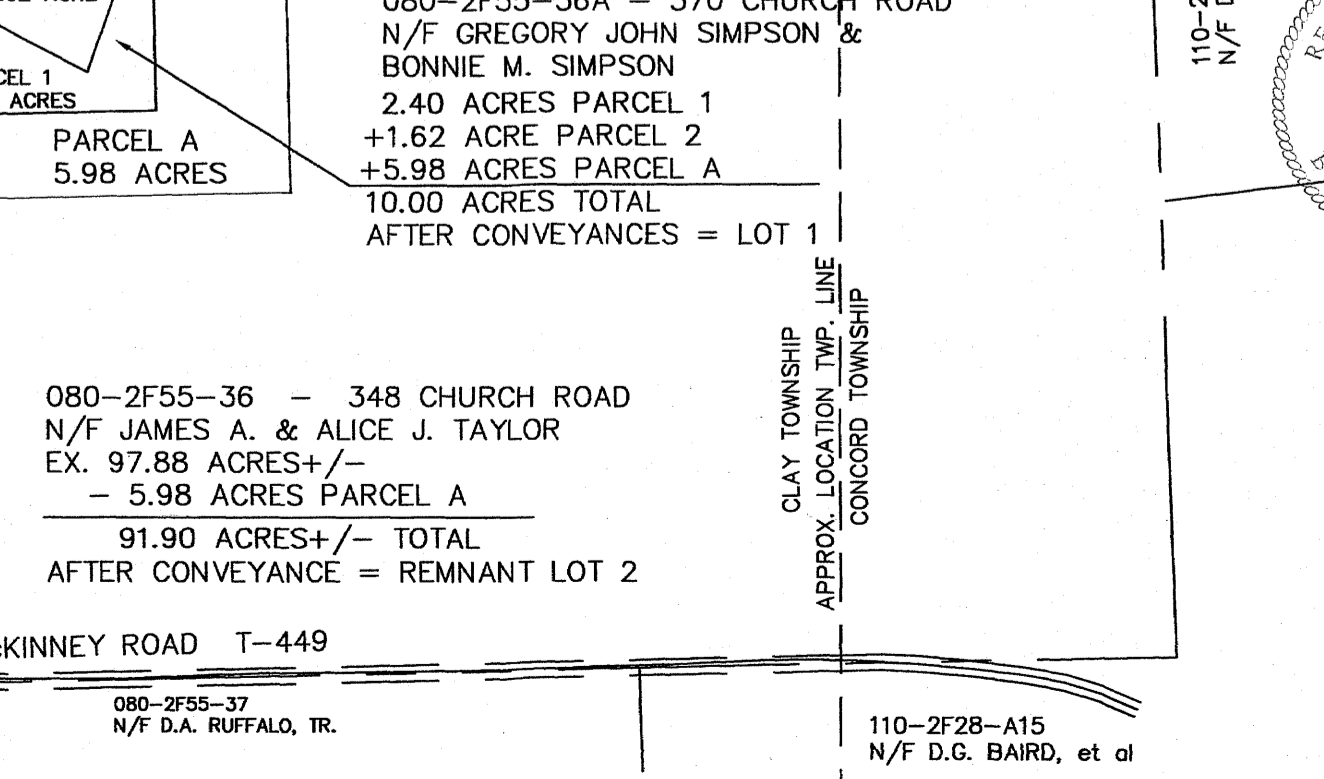
I/we, \_\_\_\_\_ mortgagee of the property embraced in this plan of subdivision in the names of Gregory John Simpson and Bonnie M. Simpson, do hereby consent to the recording of said plan in the Recorder's Office and covenants appearing hereon.

PROPERTY OWNERS: JAMES & ALICE TAYLOR  
348 CHURCH ROAD  
WEST SUNBURY, PA 16061  
GREGORY & BONNIE SIMPSON  
370 CHURCH ROAD  
WEST SUNBURY, PA 16061

NOTES:  
SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.  
ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREA OF MINIMAL FLOOD HAZARD DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

REF: GRITZER/GRITSER LOT LINE REVISION, P.B. 186 PG. 50.  
REF: TAYLOR LOT LINE REVISION NO. 1, P.B. 291 PG. 46.

THE PURPOSE OF THE PLAN IS A LOT LINE REVISION TO ADD 5.98 ACRES TO ADJOINING LANDS OF SIMPSON. NO NEW BUILDING LOTS ARE CREATED BY THIS PLAN.



CLAY TOWNSHIP DEDICATION  
KNOW ALL MEN BY THESE PRESENTS, That we, James A. and Alice J. Taylor, of the Township of Clay, of the County of Butler, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this plan as our Plan of Lots of our property, situate in Clay Township, Butler County, Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler, and Township of Clay, we hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Clay, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon James A. and Alice J. Taylor, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 04<sup>th</sup> day of December 2023  
ATTEST:  
*Darin J. Nichter*  
NOTARY PUBLIC  
*James A. Taylor*  
OWNER  
*Alice J. Taylor*  
OWNER

COMMONWEALTH OF PENNSYLVANIA JSS:  
COUNTY OF BUTLER  
Before me, the subscriber, a Notary Public in and for said Commonwealth and Township, personally appeared the above named James A. and Alice J. Taylor, and acknowledged the foregoing release and dedications and plan to be their act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day.  
WITNESS MY HAND AND NOTARIAL SEAL this 04<sup>th</sup> day of December 2023  
My commission expires this 06<sup>th</sup> day of MARCH 2024  
SEAL  
*Darin J. Nichter*  
NOTARY PUBLIC  
Commonwealth of Pennsylvania - Notary Seal  
Darin J. Nichter, Notary Public  
Butler County  
My commission expires March 6, 2024  
Commission number 1120575  
Member, Pennsylvania Association of Notaries

TITLE CLAUSE (NO MORTGAGE)  
We, James A. and Alice J. Taylor, owners of this plan of subdivision in our names, do hereby certify that the title of this property is in the names of James A. and Alice J. Taylor, as recorded in Deed Book Volume 2561 page 357, Recorder of Deeds Office. We further certify that there is no mortgage, lien or encumbrance against this property.  
WITNESS  
*Darin J. Nichter*  
NOTARY PUBLIC  
*James A. Taylor*  
OWNER  
*Alice J. Taylor*  
OWNER

I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan correctly represents the lots, lands, streets and highways as surveyed and plotted by me for the owners of agents.  
DATE November 2, 2023  
*Cheryl A. Hughes*  
SIGNATURE OF LAND SURVEYOR  
REGISTRATION NUMBER SU-32490-E

The Board of Supervisors of the Township of Clay hereby gives public notice that in approving this plan for recording purposes only, the Township of Clay assumes no obligations, legal or otherwise, expressed or implied either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

Approval by the Board of Supervisors of the Township of Clay this 1<sup>st</sup> day of February 2024  
*Beck Hays*  
SECRETARY  
*Richard Geyer*  
CHAIRMAN

Reviewed by the Clay Township Planning Commission this 1<sup>st</sup> day of January 2024  
*Beck Hays*  
SECRETARY  
*Richard Geyer*  
CHAIRMAN

The Board of Supervisors of the Township of Concord hereby gives public notice that in approving this plan for recording purposes only, the Township of Concord assumes no obligations, legal or otherwise, expressed or implied either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

Approval by the Board of Supervisors of the Township of Concord this 13 day of February 2024  
*Michele Y. Simpson*  
SECRETARY  
*W. Chad Light*  
CHAIRMAN

Reviewed by the Butler County Planning Commission this 15<sup>th</sup> day of November 2023  
*R. Hamm*  
SECRETARY  
*Butler Co. Plan #23222*  
CHAIRMAN

COMMONWEALTH OF PENNSYLVANIA JSS:  
COUNTY OF BUTLER  
Recorded in the Recorder's Office for the recording of deeds, plans, etc., in said County in Plan Book Volume 416 page 17

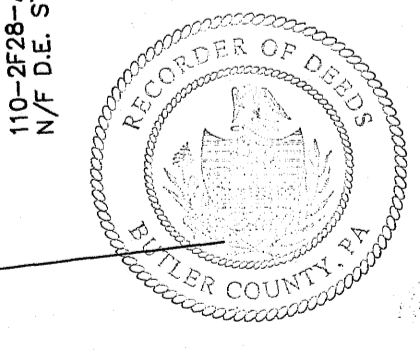
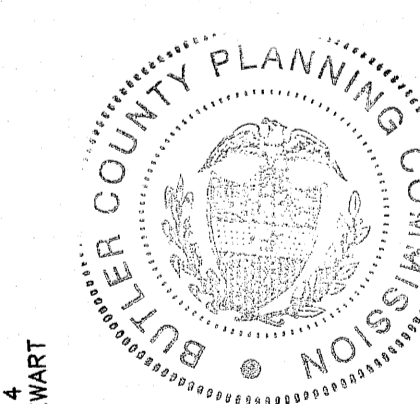
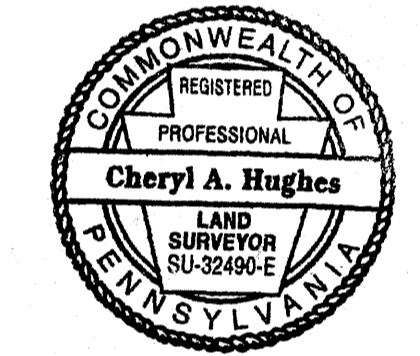
Given under my hand and seal this 20<sup>th</sup> day of FEBRUARY 2024  
SEAL  
*Michele M. Mustello*  
RECORDER

**MICHELE M. MUSTELLO**  
RECORDER OF DEEDS  
My Commission Expires First Monday in January 2028

**Land Surveyors, Inc.**  
523 North Main Street  
P.O. Box 1061  
Butler, PA 16003-1061  
(724) 287-8865  
Cheryl A. Hughes, PLS Owner

LOT LINE REVISION  
FOR: JAMES A. & ALICE J. TAYLOR  
and  
GREGORY JOHN SIMPSON & BONNIE M. SIMPSON  
SITUATE: CLAY & CONCORD TOWNSHIPS, BUTLER CO., PA  
Date 11/02/2023 Scale 1" = 100'  
Parcel No. 080-2F55-36 & 36A Db-Pg 2561-357  
Address 348 & 370 CHURCH ROAD Inst. # 202010270024207 Service No. 23-045

PLAN BOOK	PAGE
<b>416</b>	<b>17</b>



**OWNER'S CERTIFICATION**

I, KEVIN E. & RENEE L. BOOZEL  
 the undersigned, hereby declare that I is the owner of the property shown on this final plan, that the final plan and the proposed subdivision or land development were made with the owner's consent, and that the owner desire the final plan to be recorded as such.

In witness whereof I have set my hand and seal this 22 day of Feb., 2024.

*Kevin E. Boozel*  
 (Owner signature)  
*Renee L. Boozel*  
 (Owner signature)

**ACKNOWLEDGEMENT**

COMMONWEALTH / STATE OF PA }  
 COUNTY OF Butler } SS:

Commonwealth of Pennsylvania - Notary Seal  
 Lori S. Shah, Notary Public  
 Butler County  
 My commission expires March 9, 2025  
 Commission number 1393560  
 Member, Pennsylvania Association of Notaries

Before me, the subscriber, a Notary Public in and for said County and Commonwealth, personally appeared the above named KEVIN E. & RENEE L. BOOZEL

who acknowledged the foregoing final plan of subdivision or land development to be her act and deed and desired the same to be recorded as such.

WITNESS MY HAND AND NOTARIAL SEAL this 22 day of Feb., 2024

Commonwealth of Pennsylvania - Notary Seal  
 Lori S. Shah, Notary Public  
 Butler County  
 My commission expires March 9, 2025  
 Commission number 1393560  
 Member, Pennsylvania Association of Notaries  
 My commission expires the 9th day of March, 2025

**MUNICIPAL APPROVAL**

The Board of Supervisors of the Township of MERCER hereby gives public notice that in approving this plan for recording purposes only, the Township of MERCER assumes no obligations, legal or otherwise, expressed or implied, either to accept said streets as township streets, or roads, or grades, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in township streets or roads.

Reviewed by the TOWNSHIP of MERCER BOARD OF SUPERVISORS  
 this 22 day of FEBRUARY, 2024

*John E. Summit* (Secretary) SEAL  
*Mark Y. Ciocchetti* (Chairman)

**PROFESSIONAL CERTIFICATE**

I, JEFFREY A. SHUTY, a Professional SURVEYOR  
 of the Commonwealth of Pennsylvania, do hereby certify that this plan shown hereon is true and correct to the standards of the Butler County Subdivision and Land Development Ordinance and that the survey and all angles, distances, and courses are accurately shown, that the monuments and markers as shown on the plat have been, or will be set, and to the best of my knowledge, that this plan correctly represents the lots, lands, streets, and highways as surveyed and plotted by me for the owners or agents.

*J. A. Shuty* SEAL  
 (Professional's Name)

SU075509  
 (Professional's Registration No.)  
2/22/2024  
 (Date)

**BUTLER COUNTY PLANNING COMMISSION REVIEW**

Approved by the Butler County Planning Commission  
 this 21st day of FEB, 2024

*R. ...* (Secretary) *J. ...* (Chairman)

See Comments On File at the Butler County Planning Commission

Plan Number: 29029

**SEAL**

**PROOF OF RECORDING**

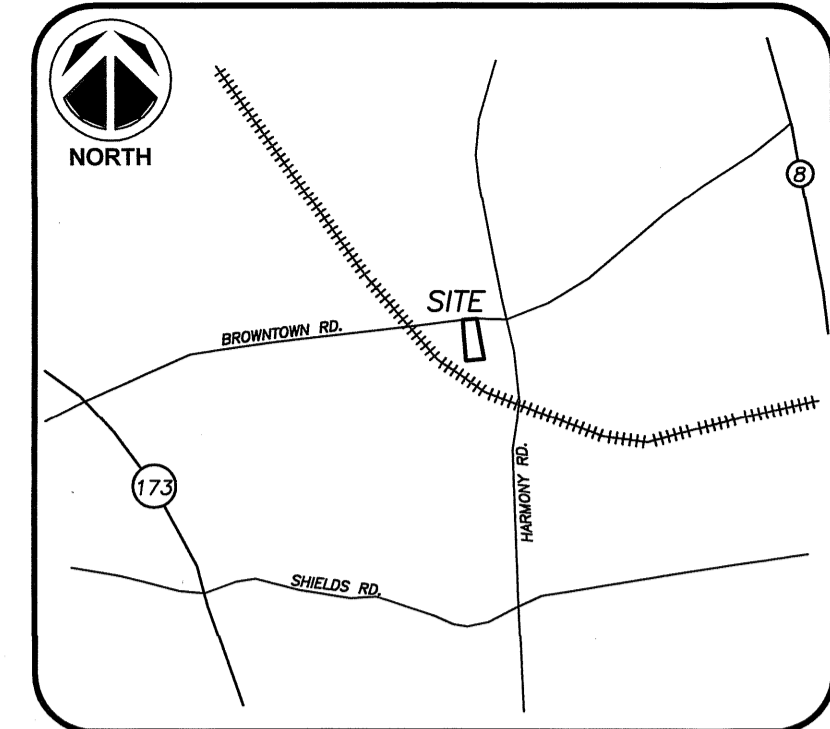
COMMONWEALTH OF PENNSYLVANIA }  
 COUNTY OF BUTLER } SS:  
 Recorded in the office for the recording of deeds, plats and plans in said County, in Plan Book Volume 416 Page(s) 18  
 Given under my hand and seal this 23 day of February, 2024

*Michele M. Mustello*  
 (Recorder of Deeds)

**MICHELE M. MUSTELLO**  
 RECORDER OF DEEDS

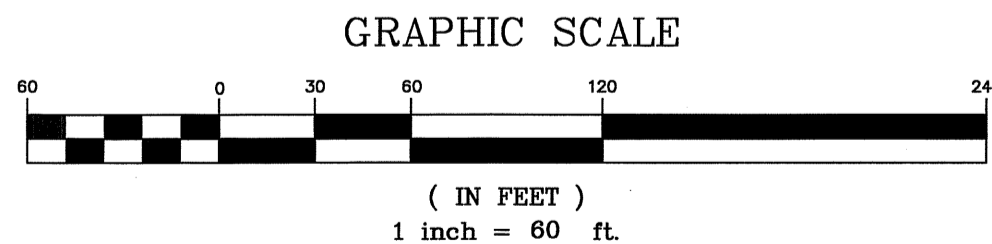
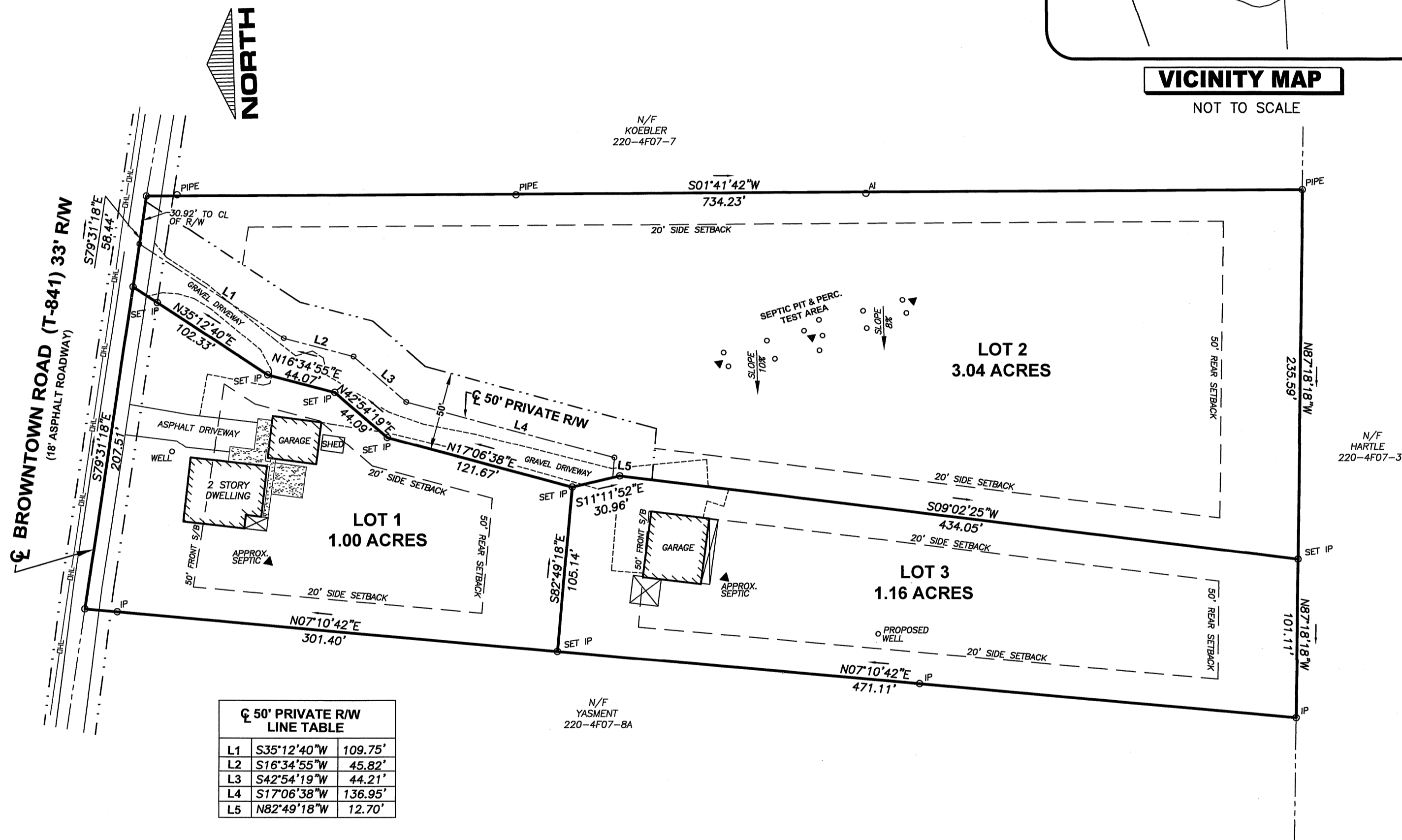
My Commission Expires First Monday In January 2028

Instr: 202402230002444  
 Pgs: 1 F: \$45.00 2/23/2024 12:47 PM  
 Michele Mustello  
 Butler County Recorder PA



**VICINITY MAP**

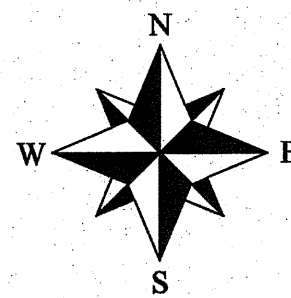
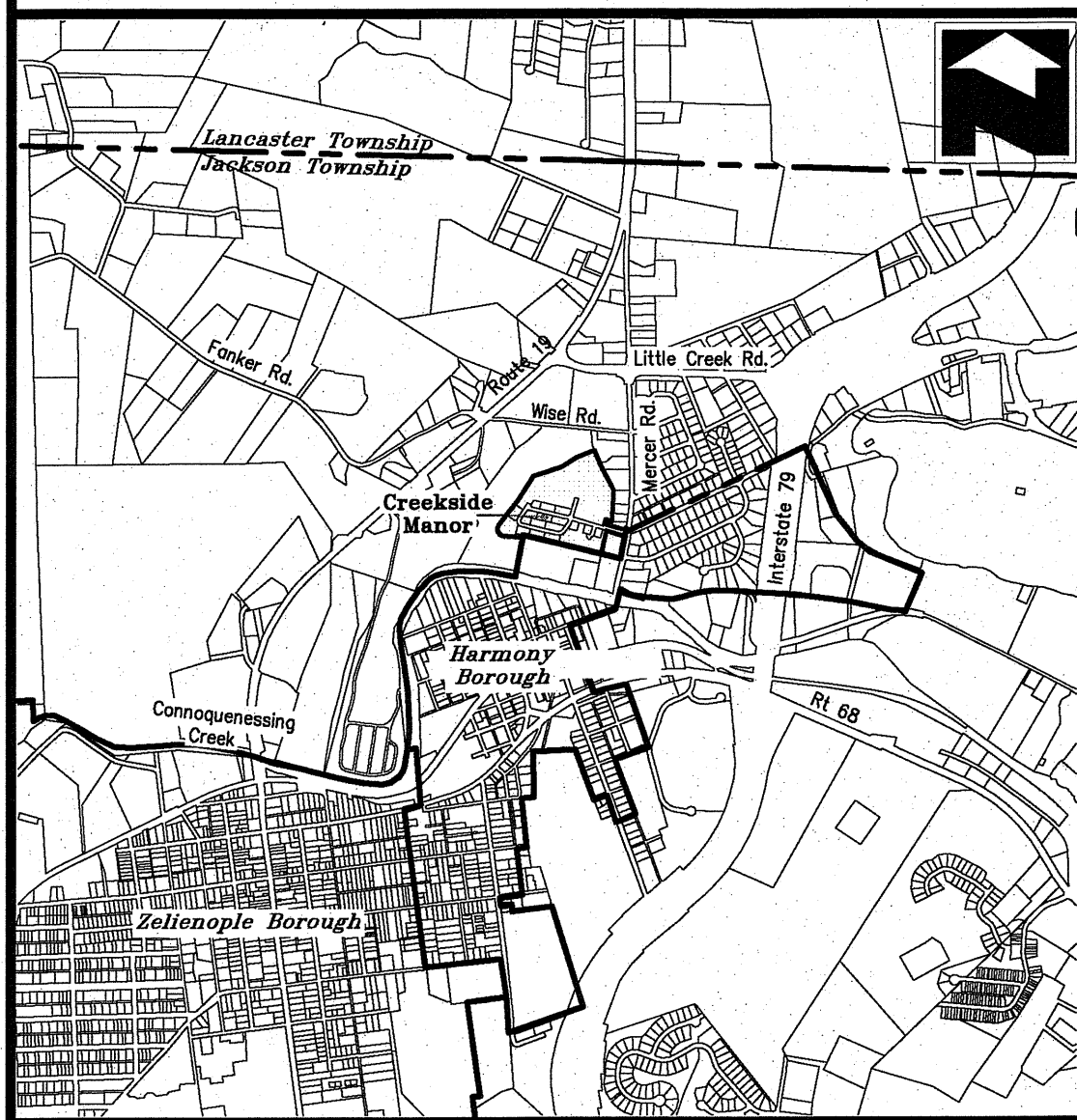
NOT TO SCALE



PLAN BOOK	PAGE
<b>416</b>	<b>18</b>

TOTAL PLAN AREA 5.20 ACRES		OWNER: KEVIN & RENEE BOOZEL 312 BROWNTOWN RD. SLIPPERY ROCK, PA 16057	
LOT 1 1.00 ACRES	LOT 2 3.04 ACRES	TAX ID: 220-4F07-8 INSTR: 200204020011415 PB. 122 PG. 14	BOOZEL-MINOR SUBDIVISION - FINAL PLAN LOTS 1, 2 & 3
LOT 3 1.16 ACRES		Situate in Mercer Township Butler County, Pa.	
Scale 1" = 60' Date JAN. 18, 2024		Prepared For Kevin & Renee Boozel	
<b>NORTHERN</b> SURVEYORS AND ASSOCIATES 137 LINK LANE SLIPPERY ROCK, PA 16057 (724)530-6889 northernsurveyor@gmail.com		Job No. 3670	Sheet No. 1 of 1

LOCATION MAP 1" = 2000'



Inst: 202402260002529  
 Page 1 of 1  
 2/26/2024 11:56 AM  
 Michele Mustello  
 Butler County Recorder PA

**DRB Group Mid-Atlantic, LLC**

By a resolution approved on the 29th day of January, 2024, the Board of Directors of the DRB Group Mid-Atlantic, LLC, Maryland Limited Liability Company, owners of the land shown on the Creekside Manor Amendment No. 5, adopted this plan as its plan of lots and irrevocably dedicated all streets and other property identified for dedication on the plan to Jackson Township. This adoption and dedication shall be binding upon the corporation and upon its successors and assigns.

DRB Group Mid-Atlantic, LLC  
 Signature of Officer Witnessing  
 Signature of Authorized Officer

Nicholas J. Hullhorst (Dr. of Finance)  
 Printed Name & Title of Officer Witnessing  
 Jay W. Cowin III (Div. President)  
 Printed Name & Title of Authorized Officer

Before me, the undersigned Notary Public in and for the Commonwealth of Pennsylvania and County of Washington, personally appeared Jay Cowin, of DRB Group Mid-Atlantic, LLC, who stated that (he/she) is authorized to execute the above adoption and dedication on behalf of the corporation and was present at the meeting at which the action of the corporation was taken to adopt the plan and dedicate public property contained therein to Jackson Township.

Witness my hand and notarial seal this 29th day of January, 2024.

My commission expires the 4th day of November, 2025.  
 (Seal) John Sue Deal Notary Public  
 Commonwealth of Pennsylvania - Notary Seal  
 Lot/Sue Deal, Notary Public  
 Washington County  
 My commission expires November 4, 2025  
 Commission number 1280059  
 Member, Pennsylvania Association of Notaries

I hereby certify that the title to the property contained in the Creekside Manor Amendment No. 5 is in the name of DRB Group Mid-Atlantic, LLC and is recorded at Instrument No. 202310040014856 & 20231230018725. I further certify that there is no mortgage, lien, or other encumbrance against this property.

Witness Signature of Authorized Officer

**Surveyor**

I hereby certify that, to the best of my information, knowledge and belief, the survey and plan shown hereon are correct and accurate to the standards required by the ordinances of Jackson Township.

1-24-24  
 Date James A. Spertute, RS # 24457-E

**Jackson Township Planning Director/Manager**

Jackson Township agrees not to issue building permits until the "Planning Module for Land Development" has been approved in accordance with the regulations of the Pennsylvania Department of Environmental Protection.

7/12/2024  
 Date Township Manager/Secretary

Approved by the Planning Director of Jackson Township this 29th day of January, 2024, pursuant to Chapter 22, Subdivision and Land Development, of the Code of Jackson Township, as amended. The Planning Director of Jackson Township gives notice that in approving this plan for recording Jackson Township assumes no obligation to accept the dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

Township Secretary Wickett Colton  
 Planning Director

**Jackson Township Board of Supervisors**

Approved by the Board of Supervisors of Jackson Township this 12th day of February, 2024. The Board of Supervisors of Jackson Township gives notice that in approving this plan for recording Jackson Township assumes no obligation to accept the dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

Township Secretary Chairperson

This plat was delivered to Applicant by Jackson Township on the 20th day of January, 2024.

Township Manager/Secretary

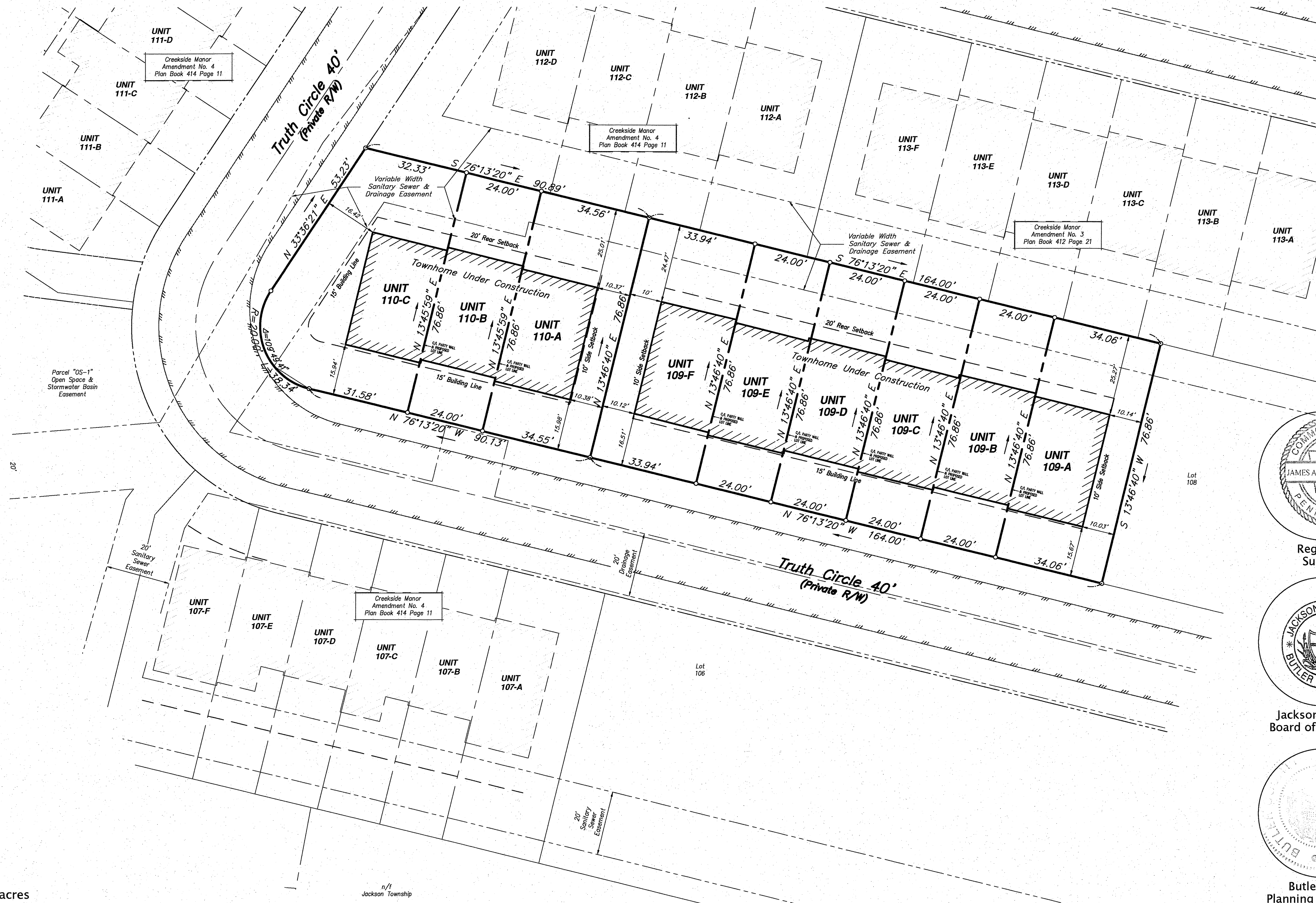
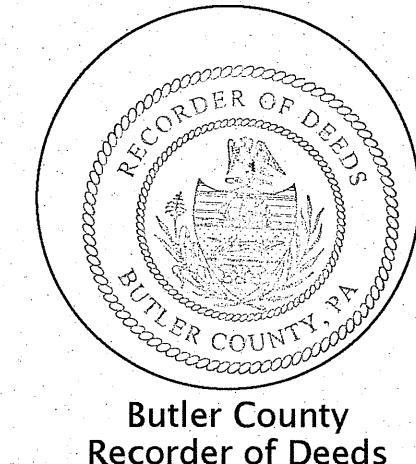
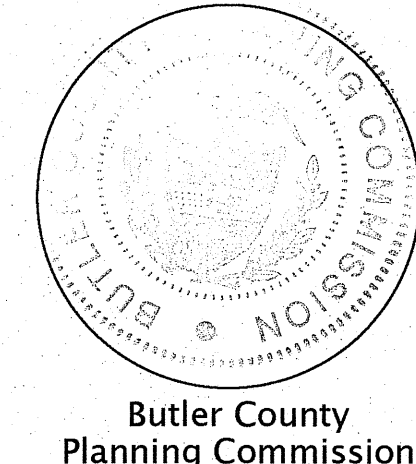
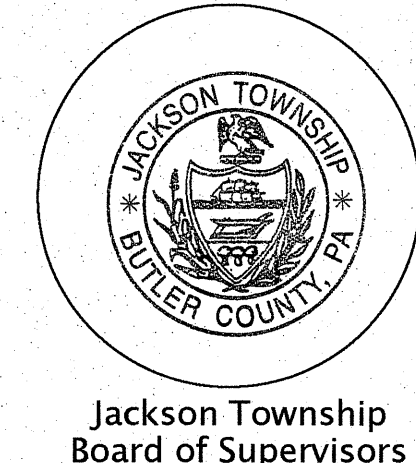
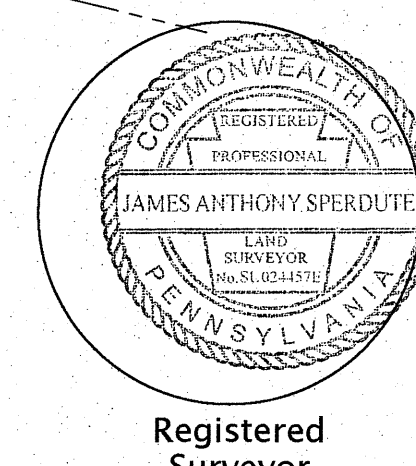
**Butler County Planning Commission**

Reviewed by the Butler County Planning Commission on this 21st day of FEB, 2024.  
 Secretary Chairperson

**Butler County Recorder of Deeds**

Recorded in the office of the Recorder of Deeds of Butler County, Commonwealth of Pennsylvania, in Plan Book Volume 416, page(s) 19.

Given under my hand and seal this 26th day of February, 2024.  
 Recorder of Deeds



Parcel Table - Proposed Lots/Units		
Unit Number	Lot Area (Sq.Ft.)	Lot Area (Acres)
109-A	2,617.630	0.060
109-B	1,844.618	0.042
109-C	1,844.618	0.042
109-D	1,844.618	0.042
109-E	1,844.618	0.042
109-F	2,608.619	0.060
110-A	2,655.743	0.061
110-B	1,844.618	0.042
110-C	3,364.089	0.077

Parcel Table - Original Lots		
Unit Number	Lot Area (Sq.Ft.)	Lot Area (Acres)
109	12,604.72	0.289
110	7,864.45	0.181

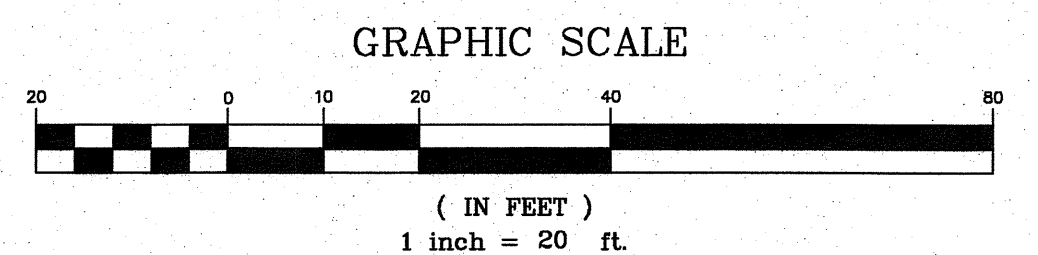
Total property affected by this plan : 20,469.748 sq.ft. or 0.47 acres

**Tabulation of Zoning Data at time of master plan approval.**  
 Affected Zoning District : V-TND - Village Traditional Neighborhood Development

	Required	Provided on Master Plan	Provided on This Plan	Reference
Minimum Lot Size (Per Lot)	6000.00 sf	7083.89 sf	1,844.610 sf	(1)
Minimum Lot Width at Street Right of Way Line:	55.00 ft	76.40 ft	24.00 ft	(1)
Minimum Lot Width at Front Building Setback Line:	55.00 ft	68.00 ft	24.00 ft	
Minimum Front Yard Setback	15.00 ft	15.00 ft	15.00 ft	(2)
	5.00 ft	5.00 ft	5.00 ft	
Minimum Side Yard Setback (At End Dwelling Units):	10.00 ft	10.00 ft	10.00 ft	
	5.00 ft	5.00 ft	5.00 ft	
Minimum Distance Between Primary Buildings:	30.00 ft	20 ft	20 ft	

\*Modification Granted for Building Separation as part of overall PRD Approval.  
 (1) Minimum on master plan referred to lot prior to subdivision and not per unit  
 (2) From right of way line

**Waivers granted on master plan that affect townhome construction:**  
 § 27-1208.D (2)(b): A waiver from this section to allow for the construction of decks/patios to protrude a perpendicular distance of no greater than 8.00' into the allowable rear yard of the townhome structure. Townhome structure building faces would remain compliant with the existing 20 foot rear setback.  
 All other waivers associated with site improvements not associated with the construction of a townhome lot can be found on Sheet S-200 of the Creekside Manor Phase 1 Plan of Lots as recorded in Plan Book 405, Pages 12-14.



**General Plan Notes**

- This plan is a re-subdivision of Lots 109 & 110 of the Creekside Manor Phase 1 Plan of Lots as recorded in Plan Book 405, Pages 12-14
- No additional units are proposed that were not originally planned for.
- This plan is subject to any and all conditions of the previously approved and recorded plans.
- If applicable, bearings labeled as (NR) are non-radial to the intersecting right of way line.

**Property References**

Ownership Reference:  
 Lot 109  
 Tax Parcel 180-S14-A109  
 Instrument # 202312130018725

Lot 110  
 Tax Parcel 180-S14-A110  
 Instrument # 202310040014856

**Builder**  
**DRB HOMES**  
 Property Owner/Builder:  
 DRB Group Mid-Atlantic, LLC  
 4000 Town Center Blvd, Suite 200  
 Canonsburg, PA 15317

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Drawing Number 1009-2426074  
 Drawing Scale 1"=20'  
 Date January 17, 2023  
 Drawn By  
 Revisions  
 73000

**Creekside Manor Amendment 5**  
 Being a Re-subdivision of Lots 109 & 110 of the Creekside Manor Phase 1 Plan of Lots As recorded in Plan Book 405, Pages 12-14  
 Jackson Township, Butler County, Pennsylvania

**Spertute Land Surveying**  
 A Division of Sheffler & Company  
 441 Mars-Valencia Rd, Suite 3C  
 Valencia, PA 16059  
 108 Deer Lane Harmony, PA 16037  
 1712 Mount Nebo Road Sewickley, PA 15143  
 724-452-4362 Info@SpertuteSurveying.com  
 James A. Spertute, RS # 24457-E

Instr: 202402260002530  
 Page: 1 of 144.00  
 Michele Mustello  
 Butler County Recorder PA  
 2/26/2024 11:56 AM  
 T30240002085

**NVR, Inc. - Owner**  
 Known all men by these presents that NVR, Inc., virtue of resolution of its Board of Directors does hereby adopt this as its plan of subdivision of its property situate in the Township of Adams, County of Butler, Commonwealth of Pennsylvania, and for divers advantages accruing to it, does hereby dedicate forever, for public use for highway, drainage, sewage and utility purposes, all drives, roads, streets, lands, rights-of-way, easements, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan and any future acceptance of said public highways, rights-of-way and easements by the Township of Adams, NVR, Inc., hereby covenants and agrees to and by these presents does release and forever discharge the Township of Adams, its successors or assigns from any liability for damages arising and to arise from the appropriation of said ground for public highways and other public uses and the physical grading thereof to any grades that may be established.

This dedication and release shall be binding upon NVR, Inc., its successors and assigns and purchasers of lots in this plan.  
 In witness whereof, the said corporation has caused its corporate seal to be affixed by the hand of its president and the same to be attested by its secretary, this 2nd day of January, A.D. 2024.

ATTEST:  
 Witness: *[Signature]*  
 Witness: *[Signature]*  
 Vice President, NVR, Inc.

The foregoing adoption and dedication is made by NVR, Inc. with full understanding and agreement that the approval of the Township Board of Supervisors, if attached hereto, will become null and void unless this plan is recorded in the Recorder of Deeds office of Butler County within ninety (90) days from the date of said approval.

Commonwealth of Pennsylvania }  
 County of Butler }  
 On this 2nd day of January, A.D. 2024, before me, a Notary Public in and for said County and Commonwealth, personally appeared *[Signature]* of NVR, Inc. who being duly sworn, deposes and says that he/she was personally present at the execution of the adoption, release and dedication and saw the common and corporate seal of the said corporation duly sign and sealed by and as for the act and deed of said, NVR, Inc. for the uses and purposes therein mentioned, and that the name of this deponent subscribed to the said release and dedication as *vice president* of NVR, Inc. in attestation of the due execution and delivery of said release and dedication of this deponents own and proper respective handwriting.  
*[Signature]*  
 Vice President, NVR, Inc.

Sworn to and subscribed before me the day and date above written.  
 Witness my hand and notarial seal this 2nd day of January, A.D., 2024.  
 Commonwealth of Pennsylvania - Notary Seal  
 LISSETTE SPROTT - Notary Public  
 Allegheny County  
 My Commission Expires December 7, 2026  
 Commission Number: 1195287  
 My commission expires the 7th day of December, 2026.  
*[Signature]*  
 Notary Public

**Registered Surveyor**  
 I, James A. Spurdute, PLS Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify, to the best of my knowledge, information, and belief, that this plan correctly represents the lots, lands, streets, and highways as surveyed and plotted by me for the Owners of Agents.  
*[Signature]*  
 James A. Spurdute, RS # 24457-E  
 Date: 1-17-24

**Township Engineer**  
 I, *[Signature]*, a Registered Professional Engineer for the Township of Adams, do hereby certify that this subdivision plan meets all the engineering and design requirements of the Adams Township subdivision and zoning ordinances.  
 Ronald Olsen 26400 E  
 Printed Name & Registration No. Date: Jan. 25, 2024

**Adams Township Board of Supervisors**  
 Approved by the Adams Township Board of Supervisors this 2nd day of January, A.D., 2024.  
 The Board of Supervisors of the Township of Adams hereby gives public notice that in approving this plan for recording purposes only, the Township of Adams assumes no obligations, legal or otherwise, expressed or implied either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.  
*[Signatures]*  
 Secretary, Adams Township Supervisors  
 Chairperson, Adams Township Supervisors  
 Adams Township Supervisor

**Butler County Planning Commission**  
 Reviewed by the Butler County Planning Commission on this 17th day of Jan, A.D., 2024.  
*[Signatures]*  
 Secretary, Butler County Planning Commission  
 Chairperson, Butler County Planning Commission

**Butler County Recorder of Deeds**  
 Commonwealth of Pennsylvania }  
 County of Butler }  
 Recorded in the Recorder office for the recording of Deeds, Plans, etc. in Butler County, Commonwealth of Pennsylvania, in Plan Book Volume 416 page(s) 20.  
 Given under my hand and seal this 26th day of February, A.D., 2024.  
*[Signature]*  
 Recorder of Deeds  
**MICHELE M. MUSTELLO**  
 RECORDER OF DEEDS  
 My Commission Expires First Monday in January 2028

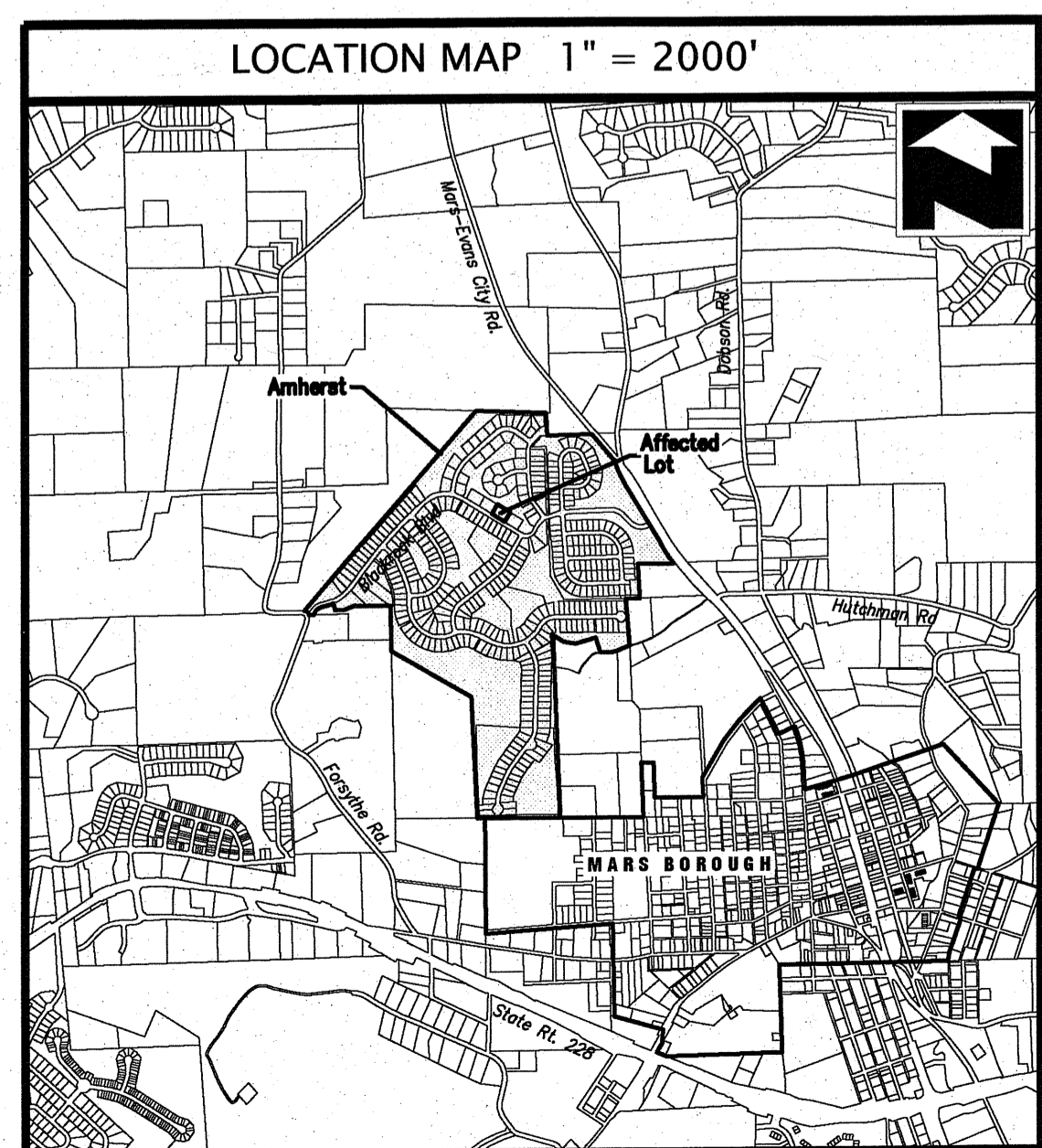


**Parcel Table -- Original Lots**

Lot Number	Lot Area (Sq.Ft.)	Lot Area (Acres)
TH-103R	21,120.000	0.485

**Parcel Table -- Proposed Lots/Units**

Unit Number	Lot Area (Sq.Ft.)	Lot Area (Acres)
103-A	4,825.85	0.111
103-B	2,880.00	0.066
103-C	2,880.00	0.066
103-D	2,880.00	0.066
103-E	2,880.00	0.066
103-F	4,774.15	0.110



**General Plan Notes**

- This plan is a re-subdivision of TH-103R of the Amherst - Phase 5R Residential Subdivision as recorded in Plan Book 402, Pages 37-38 to separate the original lot at the centerline of the structure party wall to allow for fee simple conveyance of individual units.
- No additional units are proposed by this plan that were not originally planned for.
- This plan is subject to any and all conditions of the previously approved plans as approved by Jackson Township.
- If applicable, lines labeled to include (NR) are non-radial to the intersecting right of way line.

**Property References**

NVR, Inc.  
 One Penn Center West  
 Suite 220  
 Pittsburgh, PA 15676

Lot:  
 TH-103R

Tax Parcel 180-4F35-9/103-0000  
 Deed Book 202310110015186

PROPERTY OWNER / BUILDER

**NVR**

ONE PENN CENTER WEST, SUITE 220  
 PITTSBURGH, PA 15676

BUILT BY:

**Ryan Homes**

Drawing Number 1001-2325918  
 Drawing Scale 1"=20'  
 Date December 6, 2023  
 Drawn By  
 Revisions

72000

**Amherst Amendment 2**

Being a Re-subdivision of Lot TH-103R of the Amherst Phase 5-R Residential Subdivision as recorded in Plan Book 402, Pages 37-38 Adams Township, Butler County, Pennsylvania

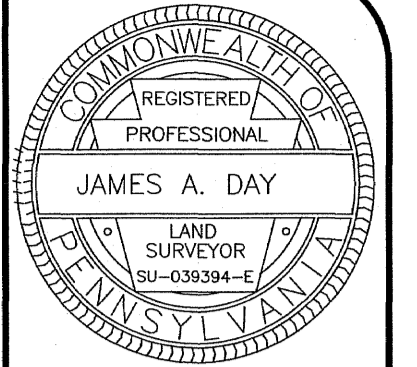
**Spurdute Land Surveying**  
 A Division of Sheffer & Company

441 Mars-Valencia Rd. Suite 3C  
 Valencia, PA 16059

108 Deer Lane  
 Harmony, PA 16037

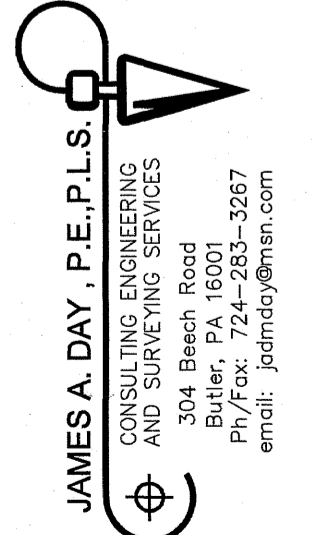
1712 Mount Nebo Road  
 Sewickley, PA 15143

724-452-4362 info@SpurduteSurveying.com  
 James A. Spurdute, RS # 24457-E



Situated at:  
290 BONNIEBROOK ROAD  
SUMMIT TOWNSHIP, BUTLER COUNTY, PA

HANLEY SUBDIVISION PLAN  
LANDS OF  
BRIAN J. HANLEY & SHERI J. HINDMAN-HANLEY

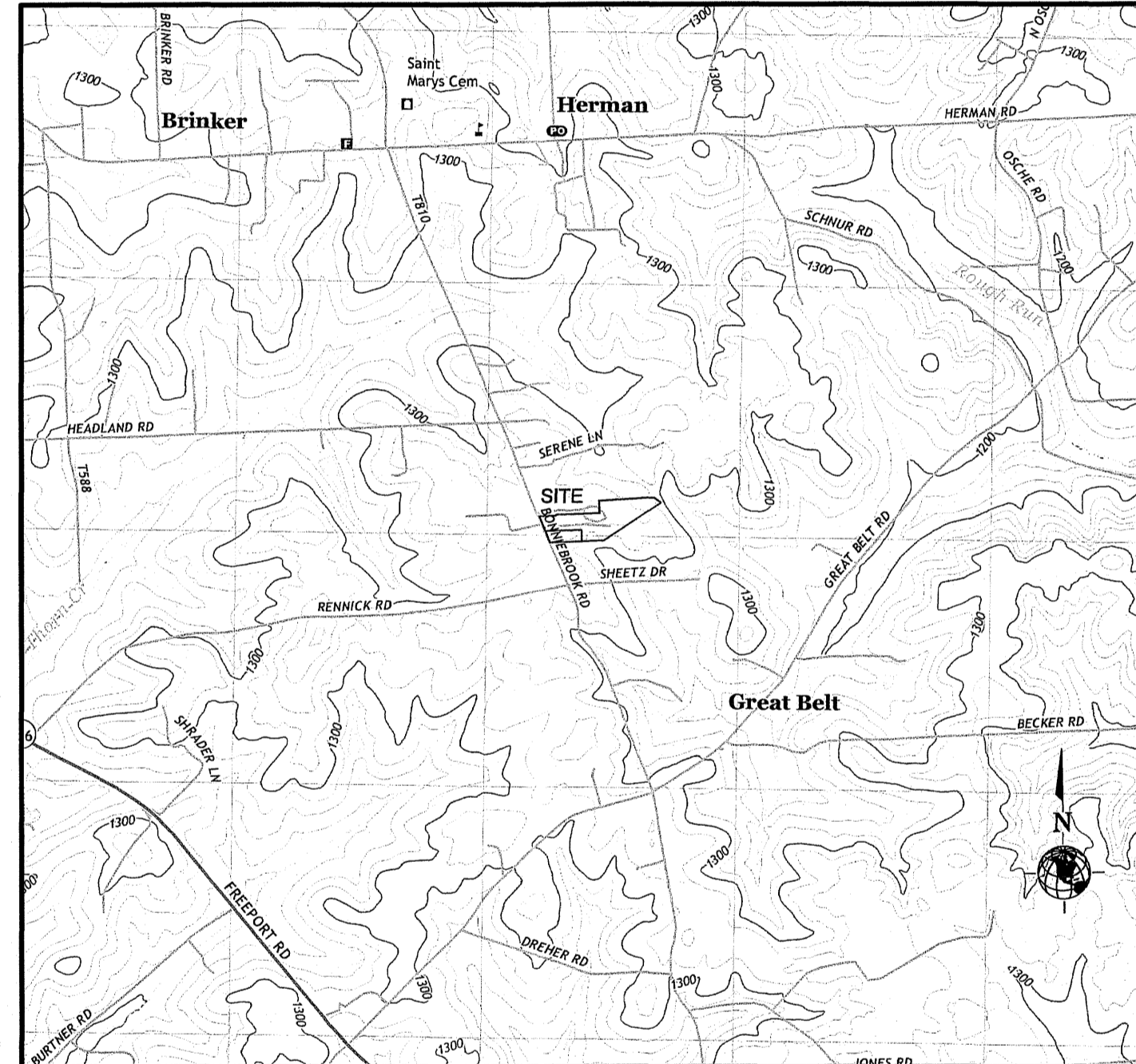
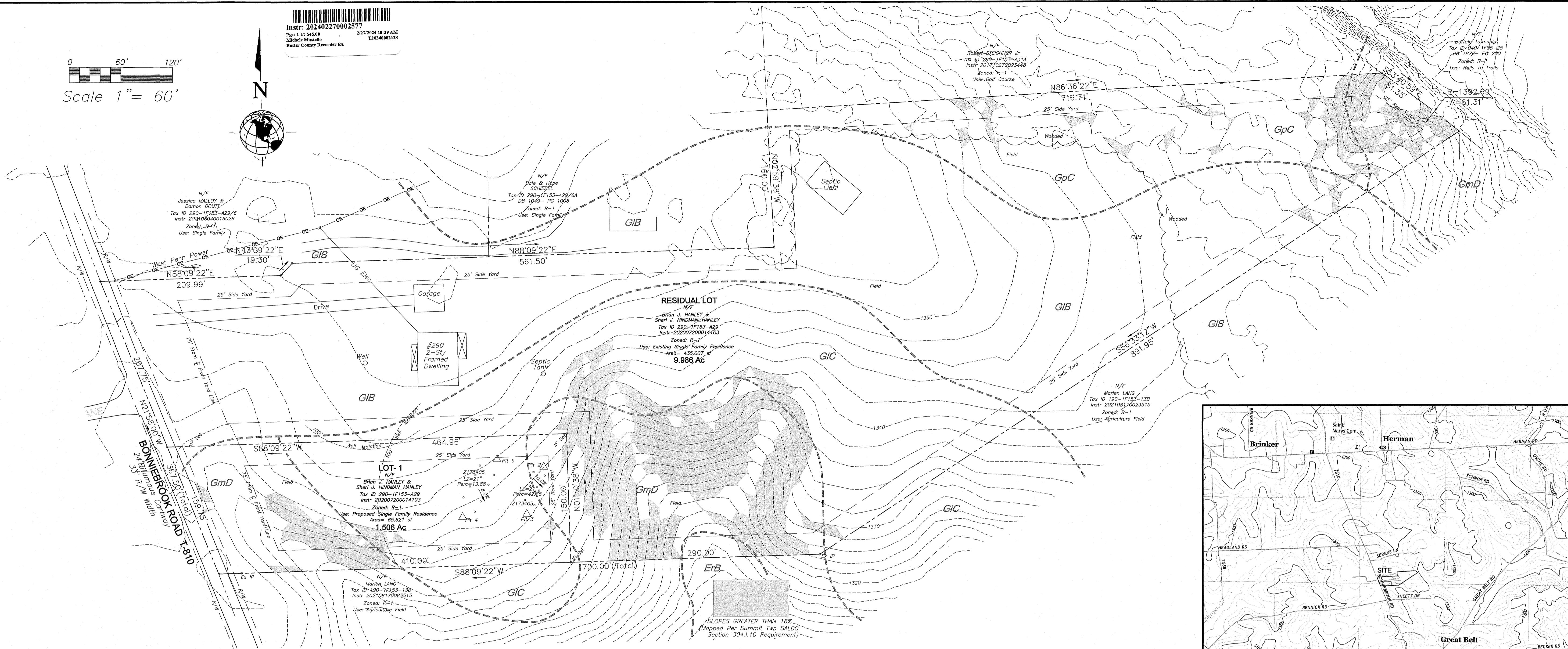


DRAWING DATE: 01-02-2024  
SCALE: AS SHOWN

Scale 1" = 60'



Instr: 202402270002577  
Pg: 1 of 14668  
Notary Seal  
Butler County Recorder PA  
124240021128



USGS LOCATION MAP  
Scale: 1"=2000'  
Saxonburg, PA USGS Quad 2019

SOIL TYPE MAPPING CODE: Ref: USDA Soils Mapping NAME

MAP SYMBOL	SOIL NAME
GIB	GILPIN SILT LOAM, 3-8% SLOPES
GIC	GILPIN SILT LOAM, 8-15% SLOPES
GmD	GILPIN CHANNERY SILT LOAM, 15-25% SLOPES
GpC	GILPIN-WHARTON SILT LOAM, 8-15% SLOPES
Erb	ERNEST SILT LOAM, 3-8% SLOPES

**OWNERS ADOPTION**  
KNOW ALL MEN BY THESE PRESENTS, THAT WE, BRIAN J. HANLEY & SHERI J. HINDMAN-HANLEY, OF THE TOWNSHIP OF SUMMIT, COUNTY OF BUTLER AND STATE OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS PLAN AS OUR PLAN OF OUR PROPERTY SITUATED IN SUMMIT TOWNSHIP AND DO HEREBY DEDICATE FOREVER FOR PUBLIC USE FOR HIGHWAY AND UTILITY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES, WAY, RIGHTS-OF-WAY, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN AND DECLARED AS SUCH, WITH THE SAME FORCE AND EFFECTS AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF APPROVAL OF SAID PLAN, ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHTS-OF-WAYS AND EASEMENTS BY MUNICIPALITY.

WE HEREBY AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, TOWNSHIP OF SUMMIT, THEIR SUCCESSOR OR ASSIGNS, FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND OTHER PUBLIC USES, AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED.

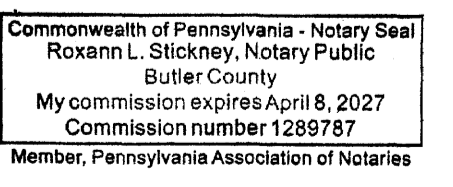
THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE AFOREMENTIONED OWNER, HIS SUCCESSORS, ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE HERETO SET OUR HAND AND SEAL THIS 22<sup>nd</sup> DAY OF February, 2024.

NOTARY PUBLIC: *Roxann L. Stickey*  
OWNER: *Brian J. Hanley & Sheri J. Hindman-Hanley*

**INDIVIDUAL ACKNOWLEDGMENT**  
COMMONWEALTH OF PENNSYLVANIA) SS:  
COUNTY OF BUTLER  
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED THE ABOVE NAMED BRIAN J. HANLEY & SHERI J. HINDMAN-HANLEY, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 22<sup>nd</sup> DAY OF February, 2024.  
MY COMMISSION EXPIRES THE 8<sup>th</sup> DAY OF April, 2027



SEAL: \_\_\_\_\_  
NOTARY PUBLIC SIGNATURE: *Roxann L. Stickey*

**MUNICIPAL APPROVAL**  
THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF SUMMIT HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSES OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

REVIEWED AND APPROVED THIS 21<sup>st</sup> DAY OF February, 2024.

SECRETARY: *Roxann L. Stickey* PRESIDENT: *Michelle Brown*

**LOCAL PLANNING COMMISSION APPROVAL**  
APPROVED BY THE SUMMIT TOWNSHIP PLANNING COMMISSION THIS 13<sup>th</sup> DAY OF February, 2024.

SECRETARY: *Lincoln Housley* CHAIRMAN: *Christopher J. Brown*

**COUNTY PLANNING COMMISSION APPROVAL**  
REVIEWED / APPROVED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 17<sup>th</sup> DAY OF Jan, 2024.

SECRETARY: *R. H. JRM* CHAIRMAN: *J. H. JRM*  
SEE COMMENTS ON FILE AT THE BUTLER COUNTY PLANNING COMMISSION  
PLAN NUMBER: 24008

**PROPERTY DATA:**

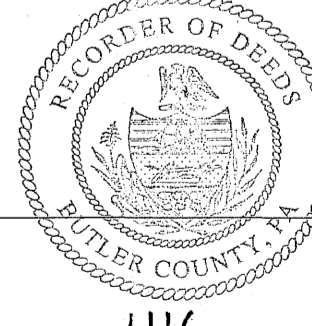
ZONING: R-1 LOW DENSITY SINGLE FAMILY RESIDENTIAL  
PROPOSED USE: SINGLE FAMILY RESIDENCE

R-1	BULK DIMENSIONS	REQUIRED	PROVIDED
	MINIMUM TOTAL LOT AREA	11.5 AC	5.05 AC
	MINIMUM LOT WIDTH	150'	446'
	MAX LOT COVERAGE	20%	6%
	FRONT SETBACK	50'	
	SIDE SETBACK	25'	
	REAR SETBACK	25'	

**COUNTY PROOF OF RECORDING**  
COMMONWEALTH OF PENNSYLVANIA) SS:  
COUNTY OF BUTLER  
RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC., IN SAID COUNTY, IN PLAN BOOK VOLUME 416  
PAGE 21

GIVEN UNDER MY HAND AND SEAL THIS 27<sup>th</sup> DAY OF February, 2024.

SEAL RECORDER: *Michelle M. Mustello*  
**MICHELE M. MUSTELLO**  
RECORDER OF DEEDS  
My Commission Expires First Monday in January 2028  
I, JAMES A. DAY, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.  
DATE: 02-25-24  
REGISTRATION NUMBER: PA-SU038394E



- PLAN NOTES:**
- THIS PLAN PROPOSES A SUBDIVISION TO CREATE ONE NEW BUILDING LOT.
  - THE PROPERTIES SHOWN HEREON ARE SUBJECT TO ALL EXCEPTIONS, RESERVATIONS, COVENANTS, CONDITIONS, RESTRICTIONS & CONVEYANCES WHICH APPEAR IN THE INSTRUMENTS, WHICH FORM THE RECORD CHAIN OF TITLE OR WHICH ARE VISIBLE ON THE PREMISES.
  - THE NEW LOT 1 WILL BE SERVICED BY ON-LOT SEWER AND ON-LOT WATER WELL.
  - THE RESIDUAL LOT IS SERVICED WITH PRIVATELY OWNED ONSITE SEWER AND WELL WATER.
  - THESE PROPERTIES ARE NOT IN A FEMA DEFINED FLOODPLAIN. IT IS WITHIN A ZONE "C", WHICH ARE AREAS OUTSIDE THE 1% (500-YR) ANNUAL CHANCE FLOODPLAIN. INFORMATION IS PER FEMA MAP 42019C03000 PANEL 320, EFFECTIVE DATE AUGUST 02, 2018.
  - MET PDM POWER IS THE ELECTRIC SERVICE PROVIDER FOR THIS SUBJECT PROPERTY.
  - ALL IP SET ARE #5 REBAR, 30" LENGTH, WITH PLASTIC CAP.
  - NEW WATER WELL FOR LOT 1 SHALL BE AT LEAST 100' FROM SEPTIC ABSORPTION BED.
  - TOPOGRAPHIC GRAPHICS SHOWN HEREON ARE FROM PA SPATIAL DATA, AND REPRESENT 2' CONTOUR INTERVALS.

SUBDIVISION OWNER CONTACT:  
BRIAN J. HANLEY & SHERI J. HINDMAN-HANLEY  
290 BONNIEBROOK ROAD  
BUTLER, PA 16002  
PH:565-323-6962

RECORDED	PLAN BOOK	PAGE
416	21	

MINOR SUBDIVISION - FINAL PLAN



VICINITY MAP  
N.T.S.

INSTR: 202402270002624  
Fig: 1 P: 945-90  
Michele Mustello  
Butler County Recorder PA  
2/27/2024 8:23 PM  
72024000171

**General Provisions**

The applicable certificates stated below shall be inscribed with black waterproof India ink or veritytype on the linen tracing, exactly as stated, and shall be properly signed with black waterproof India ink. The statements in parentheses are optional in most cases.

**Owner's Adoption**

Know all men by these Presents, That I, Edwin A. Thaner, of the Township of Pine, County of Allegheny and State of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this Plan as my Plan of my property situated in Butler Township and do hereby dedicate forever for public use for highway and utility purposes, all drives, roads, lanes, way, rights-of-way, and other public highways shown upon the plan, and we release, remise and discharge the Township of Butler, its successor or assigns, of and from all liability, courses of action, claims or damages arising from or pertaining to in any manner said roads and rights-of-way.

I further agree that said plan is approved by the Township of Butler for "Planning Purposes Only" and that said Township shall not issue any "Building Permits" for lots contained herein, nor shall any lots be deeded until either all of said roads and improvements in accordance with Butler Township Ordinance, and all other applicable ordinances have been completed and accepted by said Township or until the Township has approved a bond with sufficient surety to guarantee construction of the same. In Witness Whereof, I hereunto set my hand and seal this 31<sup>st</sup> day of October, 2023.

Edwin A. Thaner  
Owner

**Individual Acknowledgment**

Commonwealth of Pennsylvania) SS:

County of Allegheny

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Edwin A. Thaner, and acknowledge the foregoing release and dedication and plan to be his act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this 31<sup>st</sup> day of October, 2023  
My Commission Expires the 20<sup>th</sup> day of October, 2026

SEAL

Commonwealth of Pennsylvania - Notary Seal  
James F. Paulovich, Notary Public  
Allegheny County  
My Commission Expires October 20, 2026  
Commission number 1228312  
Member, Pennsylvania Association of Notaries

Notary Public

**Title Clause (no mortgage)**

I, Edwin A. Thaner, owner of the Summer Wind Plan of Lots, do hereby certify that the title of this property is in the name of Edwin A. Thaner, as recorded in INSTRUMENT 202209290019916, Recorder of Deeds Office. I further certify that there is no mortgage, lien or encumbrance against this property.

Calby McF...  
Witness

Edwin A. Thaner  
Owner

**Surveyor's Certification**

I, Ed Thaner, a Registered Surveyor of the Commonwealth of Pennsylvania, do hereby certify that the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plat, and that this plan correctly represents the lots, land, streets and highways as surveyed and plotted by me for the owners or agents.

01/26/2024  
Date

SEAL

Edwin A. Thaner  
Signature  
Reg. No. SU-19749-E

**Local Authority Stipulation**

The Board of Commissioners of the Township of Butler hereby gives public notice that in approving this plan for recording purposes only, the Township assumes no obligations, legal or otherwise, expresses or implied either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

Thomas Giesla  
Secretary

James Lohman, Jr.  
President

**Municipal Approvals**

Approved by the Board of Commissioners of the Township of Butler this 21<sup>st</sup> day of JANUARY, 2024

Thomas Giesla  
Secretary

James Lohman, Jr.  
President of Board

Approved by the Butler Township Planning Commission this 21<sup>st</sup> day of JANUARY, 2024

J. M...  
Secretary

R. H...  
Chairman

Reviewed by the Butler County Planning Commission this 15<sup>th</sup> day of Nov., 2023

R. H...  
Secretary

J. H...  
Chairman

**Proof of Recording**

Commonwealth of Pennsylvania) SS:

County of Butler)

Recorded in the Recorders Office for the recording of deeds, plans, etc., in said County in Plan Book Volume 416 page 22

Given under my hand and seal this 27<sup>th</sup> day of FEBRUARY, 2024

SEAL

Michele M. Mustello  
Recorder

MICHELE M. MUSTELLO  
RECORDER OF DEEDS

My Commission Expires First Monday in January 2028

**LOT TABLE**

	S.F.	Ac.	WIDTH @ B.L.	FRONT YARD	SIDE YARD	REAR YARD
REQUIRED	15,000 min.	0.34 min.	100' min.	40' min.	10' min.	25' min.
LOT 1	29,816	0.68	120.01'	40'	10'	25'
LOT 2	46,468	1.07	124.92'	40'	10'	25'
LOT 3	54,874	1.26	258.02'	40'	10'	25'
PLAN TOTAL	131,158	3.01				

**ZONING: R-1 SINGLE FAMILY RESIDENTIAL**

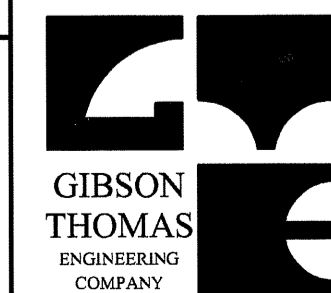
**Notes:**

- The purpose of this plan is to subdivide tax parcel 051-61-3c into three (3) separate lots, as shown.
- Any disturbance greater than 1 acre will require an NPDES permit prior to issuance of a building permit.
- No new development is proposed as a part of this plan. A PA One-Call should be performed prior to any excavation.
- This plan is within the Butler township Access Management Overlay District, all requirements of Section 300-15H and ordinance No. 921 must be met before any new driveways or road access is created.
- A highway occupancy permit is required pursuant to § 420 of the Act of June 1, 1945 (P.L. 1242, No. 428), known as the "State Highway Law" before driveway access to a State highway is permitted.
- Access to Lot 1 and Lot 2 from Old Plank Road shall only be permitted via the existing 15' Ingress/Egress easement as recorded at instrument number 200509160026360.
- E&S controls will be required prior to start of house construction.
- Any encroachments of existing stream must be permitted per DEP Chapter 105 requirement.

PLAN BOOK	PAGE
416	22

**OWNER INFORMATION:**

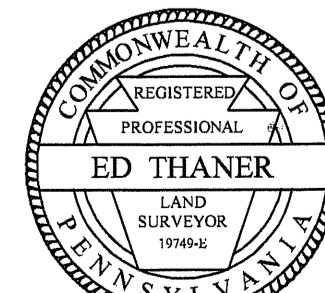
EDWIN A. THANER  
460 MCKINNEY  
WEXFORD, PA  
15090



GIBSON - THOMAS ENGINEERING CO.  
9951 OLD PERRY HIGHWAY  
WEXFORD, PA 15090  
PH: 724 - 935 - 8188  
FAX: 724 - 935 - 8189

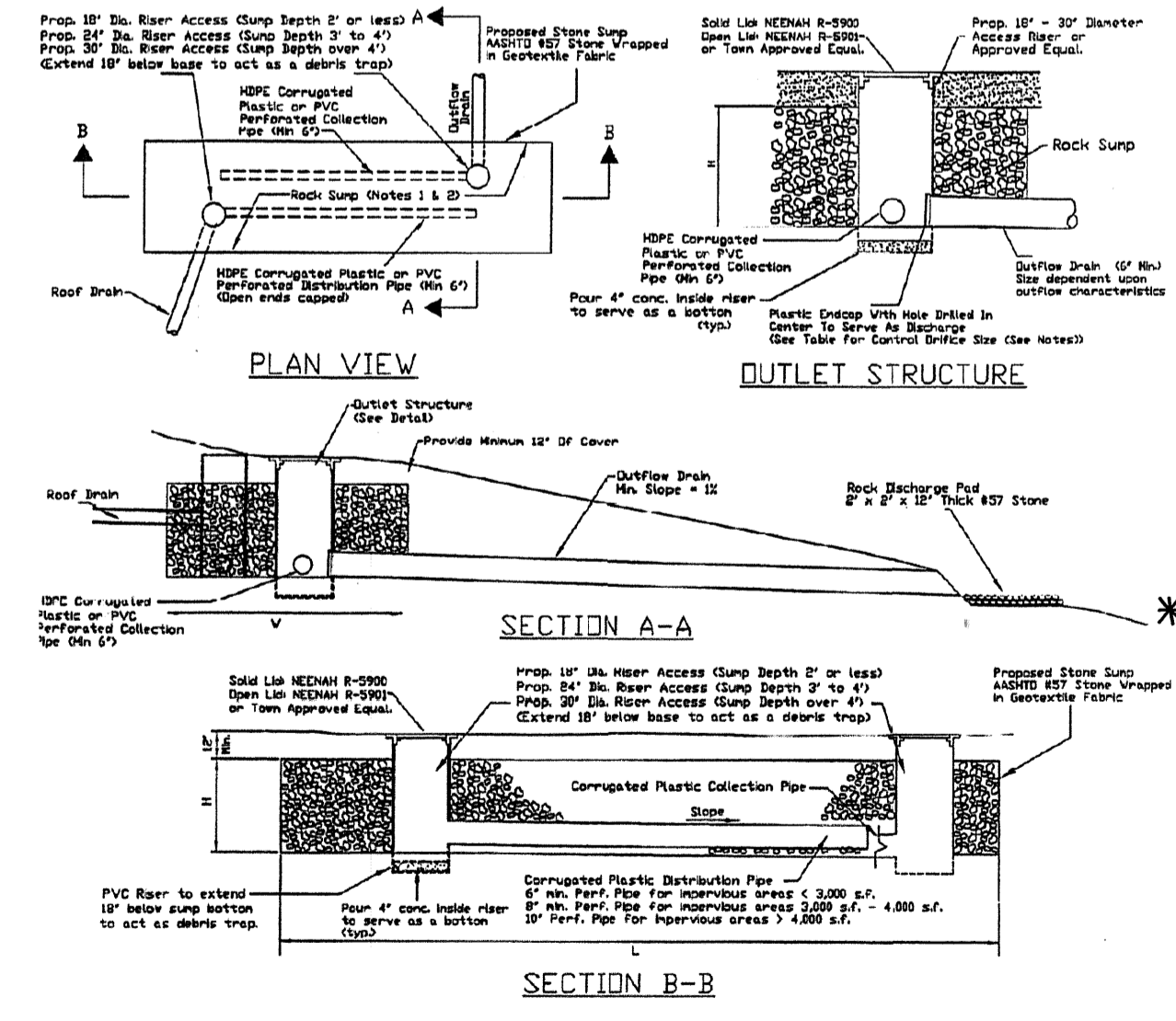
**SUMMER WIND PLAN OF LOTS**

A SUBDIVISION OF LOT 2  
IN THE VISSARI PLAN OF SUBDIVISION  
PBV 395 PG 20  
BUTLER TOWNSHIP, BUTLER CO., PENNSYLVANIA  
MADE FOR  
EDWIN A. THANER

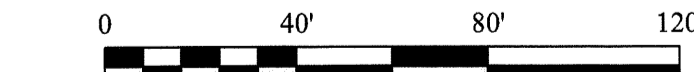


DATE	BY	REVISION	DATE	SCALE
8-29-23	RJF	GATEWAY ENGINEERS COMMENTS 8-22-23	07-31-2023	1" = 40'
9-25-23	JRM	ACCESS EASEMENT		
9-29-23	JRM	GATEWAY ENGINEERS COMMENT LETTER DATED 9-28-23		
			FILE NUMBER	
			31463	
			DRAWN BY	JRM
			CHECKED BY	EAT
			DRAWING NO.	RP-1

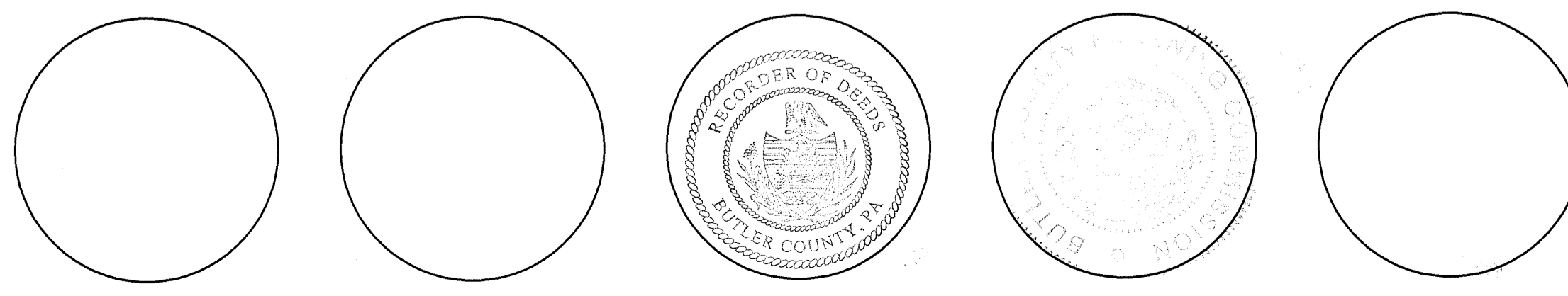
IMPERVIOUS AREA (SQ. FT.)	DEPTH OF SUMP (FT.)					SUMP VOLUME REQUIRED (CU. FT.)	
	1	2	3	4	5	NET	ROCK
400	11/16	9/16	1/2	1/2	1/2	68	170
600	13/16	11/16	5/8	9/16	9/16	102	255
800	15/16	13/16	11/16	5/8	5/8	136	340
1000	1-1/16	7/8	13/16	3/4	11/16	170	425
1200	1-3/16	1-0	7/8	13/16	3/4	204	510
1400	1-1/4	1-1/16	15/16	7/8	13/16	238	595
1600	1-3/8	1-1/8	1-0	15/16	7/8	272	680
1800	1-7/16	1-3/16	1-1/15	1-0	15/16	306	765
2000	1-1/2	1-1/4	1-1/8	1-1/16	1-0	340	850
2200	1-9/16	1-5/16	1-3/16	1-1/8	1-1/16	374	935
2400	1-5/8	1-3/8	1-1/4	1-3/16	1-1/8	408	1020
2600	1-11/16	1-7/16	1-5/16	1-1/4	1-1/8	442	1105
2800	1-3/4	1-1/2	1-3/8	1-1/4	1-3/16	476	1190
3000	1-13/16	1-9/16	1-3/8	1-5/16	1-1/4	510	1275
3200	1-7/8	1-5/8	1-7/16	1-3/8	1-1/4	544	1360
3400	1-15/16	1-5/8	1-1/2	1-3/8	1-5/16	578	1445
3600	2-0	1-11/16	1-9/16	1-7/16	1-3/8	612	1530
3800	2-1/16	1-3/4	1-9/16	1-7/16	1-3/8	646	1615
4000	2-1/8	1-13/16	1-5/8	1-1/2	1-7/16	680	1700
4200	2-3/16	1-13/16	1-11/16	1-9/16	1-7/16	714	1785
4400	2-1/4	1-7/8	1-11/16	1-9/16	1-1/2	748	1870
4600	2-5/16	1-15/16	1-3/4	1-5/8	1-9/16	782	1955
4800	2-5/16	1-15/16	1-3/4	1-5/8	1-9/16	816	2040
5000	2-3/8	2-0	1-13/16	1-11/16	1-5/8	850	2125

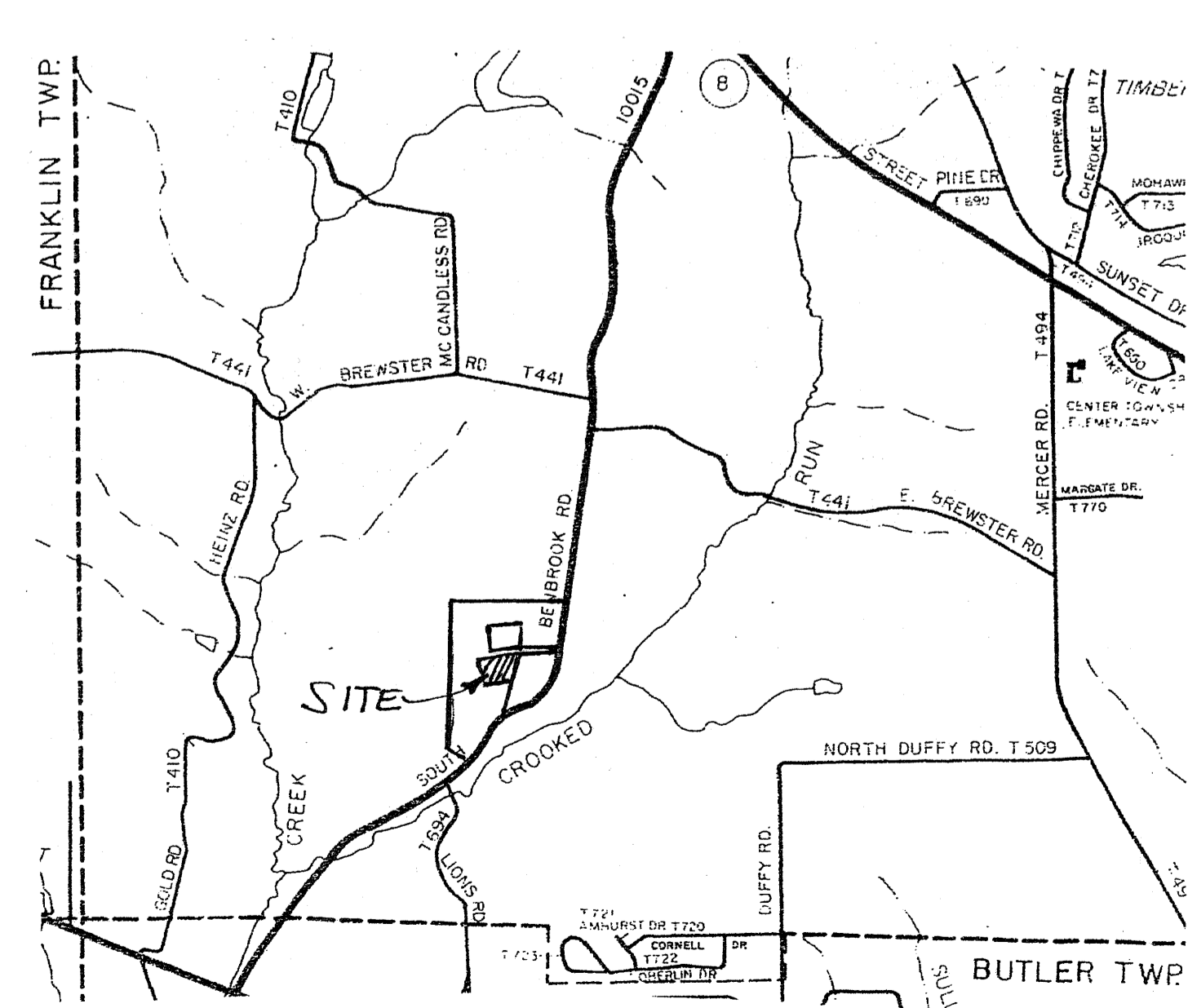
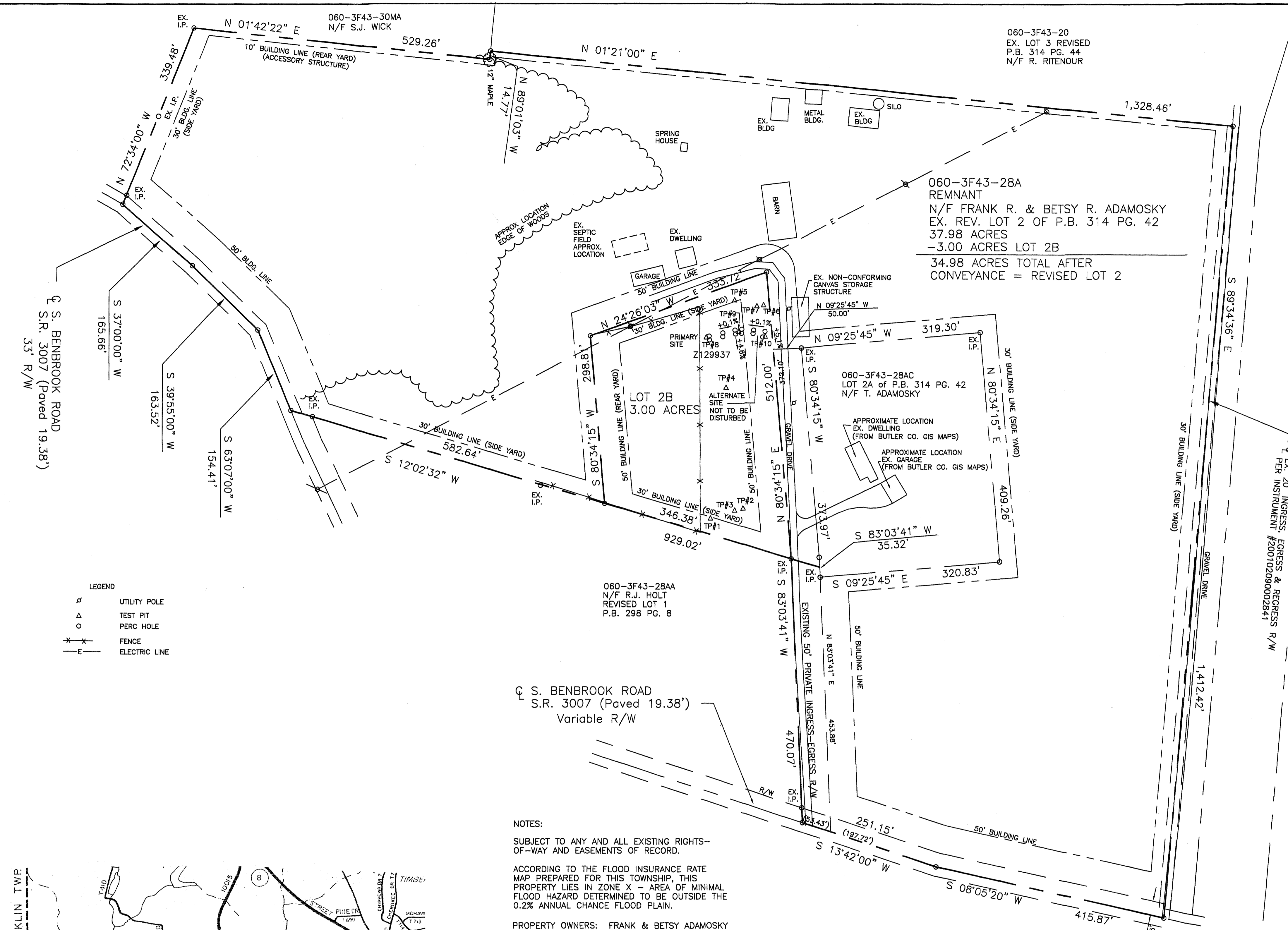


\* Note 6A:  
The cost of installation & maintenance of driveway thru said easement shall be borne by the owner of LOT 2.  
The cost of maintenance of the existing ingress/egress easement shall be borne equally by the owner of LOT 1 and the owner of LOT 2.



SURVEYOR (EMBOSSSED) BUTLER TOWNSHIP PLANNING COMMISSION RECORDED OF DEEDS BUTLER COUNTY PLANNING COMMISSION BUTLER COUNTY BOARD OF COMMISSIONERS





NOTES:  
 SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.

ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREA OF MINIMAL FLOOD HAZARD DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN.

PROPERTY OWNERS: FRANK & BETSY ADAMOSKY  
 236 SOUTH BENBROOK ROAD  
 BUTLER, PA 16001

IRON PINS TO BE SET AT LOT CORNERS.

ZONING: R-1A

BUILDING SETBACK REQUIREMENTS:  
 50' FRONT YARD  
 30' SIDE YARD  
 50' REAR YARD OR  
 10' REAR YARD (ACCESSORY STRUCTURES)

MINIMUM LOT AREA: 1 ACRE  
 MINIMUM LOT WIDTH: 125'

THE PURPOSE OF THIS PLAN IS TO CREATE ONE NEW BUILDING LOT.

ALL CONVEYANCES UNDER THIS PLAN ARE SUBJECT TO THE GRANTEES, THEIR HEIRS, SUCCESSORS AND ASSIGNS SHARING EQUALLY IN THE COSTS AND EXPENSES OF MAINTAINING ANY AND ALL EASEMENTS IN GOOD REPAIR. THE USE BY THE GRANTEES, THEIR HEIRS, SUCCESSORS AND ASSIGNS OF SAID EASEMENTS SHALL BE LIMITED TO INGRESS, EGRESS AND REGRESS AND NO USE SHALL BE EXPANDED OR MODIFIED WITHOUT PRIOR WRITTEN CONSENT OF ANY AND ALL SIGNATORY LANDOWNERS. CENTER TOWNSHIP IS NOT RESPONSIBLE FOR THE MAINTENANCE OF THE PRIVATE DRIVE.

PROPOSED WATER WELL TO SERVE THIS LOT IS TO BE LOCATED OUTSIDE OF THE 100' ISOLATION DISTANCE FROM THE SEPTIC SYSTEM TO BE BUILT.

ALTERNATE DISPOSAL SITE IS RESERVED FOR A REPLACEMENT ABSORPTION AREA IN THE EVENT THE PRIMARY ONLOT SYSTEM FAILS AND THAT AREA MUST NOT BE DISTURBED.

REF: PLAN OF SUBDIVISION FOR RICHARD A. RITENOUR BY LAND SURVEYORS, INC., #09-046, P.B. 314 PG. 44.

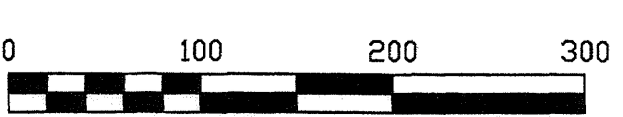
REF: PLAN OF SUBDIVISION FOR FRANK R. & BETSY R. ADAMOSKY BY LAND SURVEYORS, INC., #09-037, P.B. 314 PG. 42

REF: LOT LINE REVISION FOR FRANK R. & BETSY R. ADAMOSKY BY LAND SURVEYORS, INC., 07/08/08, #08-066, P.B. 310 PG. 2.

REF: LOT LINE REVISION FOR FRANK R. & BETSY R. ADAMOSKY AND RUSTY J. & KIRA A. HOLT BY LAND SURVEYORS, INC., #06-137, P.B. 298 PG. 8.

THERE ARE NO KNOWN OPEN WATER, GAS OR OIL WELLS ON THE PROPERTY.

REVISED 02/12/2024  
 REVISED 02/08/2023; ENGINEER'S REVIEW



Instr: 20240304002871  
 Pg: 1 of 145.00  
 3/4/2024 12:53 PM  
 230-4698371

KNOW ALL MEN BY THESE PRESENTS, that we, Frank R. and Betsy R. Adamosky, of the Township of Center, County of Butler, Commonwealth of Pennsylvania, for myself, heirs, executors, administrators and assigns, do hereby adopt this plan as our Plan of Subdivision of our property, situate in the Township of Center, Butler County, Pennsylvania, and for diverse advantages accruing to us, do hereby dedicate forever, for public use for highway, drainage, sewage and utility purposes, all drives, roads, lands, rights-of-way, easements, ways and other public ways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings and in consideration of the approval of said plan and any future acceptance of said public highways, rights-of-way and easements by said County of Butler or said Township of Center, we, Frank R. and Betsy R. Adamosky, hereby agree to and by these presents do release and forever discharge said County of Butler, or said Township of Center, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways, and other public uses and physical grading thereof to any grades that may be established. This dedication and release shall be binding upon Frank R. and Betsy R. Adamosky, and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we, hereunto set our hands and seals this 19 day of February, A.D. 2024.

ATTEST:  
 Notary Public  
 Frank R. Adamosky  
 Betsy R. Adamosky  
 OWNERS

The foregoing adoption and dedication is made by Frank R. and Betsy R. Adamosky, with the full understanding and agreement that the approval of the Board of Supervisors of the Township of Center, if heretofore not obtained, and in consideration of the release and forever discharge said County of Butler, or said Township of Center, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways, and other public uses and physical grading thereof to any grades that may be established. This dedication and release shall be binding upon Frank R. and Betsy R. Adamosky, and assigns and purchasers of lots in this plan.

Frank R. Adamosky  
 Betsy R. Adamosky  
 (SEAL)

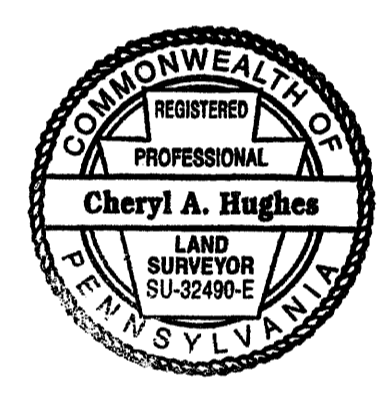
COMMONWEALTH OF PENNSYLVANIA: COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Frank R. and Betsy R. Adamosky who acknowledged the foregoing release and dedication and plan of subdivision to be their act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this 19 day of February, 2024.

My Commission expires the 06 day of MARCH, 2024.

SEAL  
 Notary Public  
 Commonweal of Pennsylvania - Notary Seal  
 Darrin J. Nutter, Notary Public  
 Butler County  
 My Commission expires March 6, 2024  
 Commission number 1120575  
 Member, Pennsylvania Association of Notaries



I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the lots, lands, streets, alleys, rights-of-way and highways as surveyed and plotted by me for the Owners, developers or agents.

February 12, 2024  
 DATE  
 Cheryl A. Hughes  
 REGISTRATION NUMBER SU-3490-E

This plat of subdivision has been approved by the Planning Commission of the Township of Center, Butler County, Pennsylvania on this 24th day of January, 2024.

CHAIRMAN  
 SECRETARY

The Board of Supervisors of the Township of Center, Butler County, Pennsylvania, hereby gives public notice that it is approving this plan of subdivision for recording purposes only. The approval of this subdivision plat by the Township of Center does not constitute an acceptance of the roads, streets, alleys, storm water and sanitary sewage drainage facilities, easements or rights-of-way, water mains or any other services or improvements shown on this plan nor an assumption of maintenance responsibility, nor will the same be accepted or maintained until constructed in accordance with all Township Specification and requirements and officially accepted by action of the Board of Supervisors.

This plat of subdivision approved by resolution of the Board of Supervisors of the Township of Center, Butler County, Pennsylvania on this 14th day of February, 2024.

CHAIRMAN  
 SECRETARY

Reviewed with comments by the Butler County Planning Commission. Letter to Center Township Board of Supervisors dated this 17th day of January, 2024.

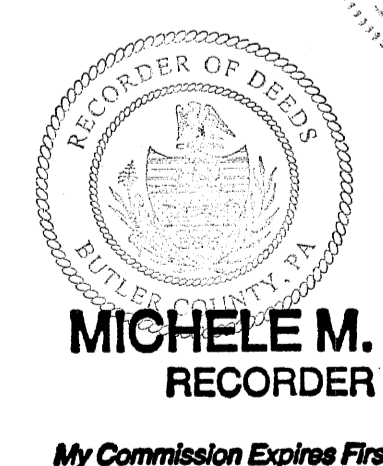
CHAIRMAN  
 SECRETARY

COMMONWEALTH OF PENNSYLVANIA: COUNTY OF BUTLER

Recorded in the office for the recording of deeds, plats, etc. in said County, in Plan Book Volume 416 page 23

Given under my hand and seal this 4th day of March, 2024.

SEAL  
 Recorder  
 Michele M. Mustello



PLAN BOOK	PAGE
416	23

L S J	Land Surveyors, Inc. 523 North Main Street P.O. Box 1061 Butler, PA 16003-1061 (724) 287-8865 Cheryl A. Hughes, PLS Owner
PLAN OF SUBDIVISION #2	
FOR: FRANK R. & BETSY R. ADAMOSKY	
SITUATE: CENTER TWP., BUTLER CO., PA	
Date 12/12/2023 Scale 1" = 100'	Dwn By BEC Ckd By CAH
Parcel No. 060-3F43-28A	Instrument Number 2024030024363
Address 236 S. BENBROOK ROAD	Service No. 23-139



PENNSYLVANIA ACT 287 (1974) AS AMENDED, REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH. PA ONE-CALL SERIAL NO. 20220450310 HAS BEEN ASSIGNED TO THIS PROJECT ON 02.14.2024.

**PA ONE CALL-UTILITY LIST**

- ARMSTRONG (AU)
- COLUMBIA GAS OF PA DESIGN (CGD)
- COMCAST CABLE COMMUNICATION INC. (QVC)
- CONSOLIDATED COMMUNICATIONS (NA)
- CRANBERRY TOWNSHIP BUTLER COUNTY (CA1)
- CRANBERRY TOWNSHIP BUTLER COUNTY (CAB)
- DOMINION ENERGY TRANS MURRAYSVILLE (JB)
- DQE COMMUNICATIONS LLC (DQE)
- PENNSYLVANIA POWER CO (PP)
- PEOPLES GAS COMPANY LLC (AL)
- VERIZON PENNSYLVANIA LLC (BD)

# LOT CONSOLIDATION PLAN

## FOR

# OGLE VIEW CORNER, LLC

### CRANBERRY TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA

# FEBRUARY 2024

Instr: 20240304002882  
 Pg: 2 of 36-89  
 3/4/2024 2:50 PM  
 Michael Mustello  
 Butler County Recorder PA  
 T302-6002381



HERBERT, ROWLAND & GRUBIC, INC.  
 220 WEST KENSINGER DRIVE  
 SUITE 100  
 CRANBERRY TOWNSHIP, PA 16066  
 724.779.4777 | hrg-inc.com

**OWNER'S ADOPTION**

I, OWNER OF LANDS SHOWN HEREON, HEREBY ADOPT THIS LOT CONSOLIDATION PLAN AND IRREVOCABLY DEDICATE ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE PARTNERSHIP AND UPON MY HEIRS, EXECUTORS, AND ASSIGNS.

*Rinaldo Zampogna III*  
*Rinaldo Zampogna III*  
 SIGNATURE OF OWNER  
 OGLE VIEW CORNER, LLC  
 NAME OF OWNER (PRINT)  
**FEBRUARY 20, 2024**  
 DATE

*Bin D. D'Agostino*  
 SIGNATURE OF WITNESS

COMMONWEALTH OF PENNSYLVANIA ) SS:  
COUNTY OF BUTLER ) ALLEGHENY

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND THE COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED **RINALDO ZAMPOGNA III** AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE HIS ACT.

WITNESS MY HAND AND NOTARIAL SEAL THIS **20<sup>TH</sup>** DAY OF **FEBRUARY**, **2024**

MY COMMISSION EXPIRES THE **19<sup>TH</sup>** DAY OF **NOVEMBER**, **2026**

(SEAL)

Commonwealth of Pennsylvania - Notary Seal  
 Carla Rinnese Spadacene, Notary Public  
 Allegheny County  
 My commission expires November 19, 2026  
 Commission number 1340056  
 Member, Pennsylvania Association of Notaries

*Carla Rinnese Spadacene*  
 NOTARY PUBLIC

**MUNICIPAL DECLARATIONS**

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY, HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF CRANBERRY ACCEPTS THE DEDICATION OF THE INTENDED PORTION DETAILED WITHIN THIS SET AS IT'S PUBLIC RIGHT-OF-WAY.

SECRETARY \_\_\_\_\_ CHAIRMAN, BOARD OF SUPERVISORS \_\_\_\_\_

**MUNICIPAL REVIEW AND APPROVAL**

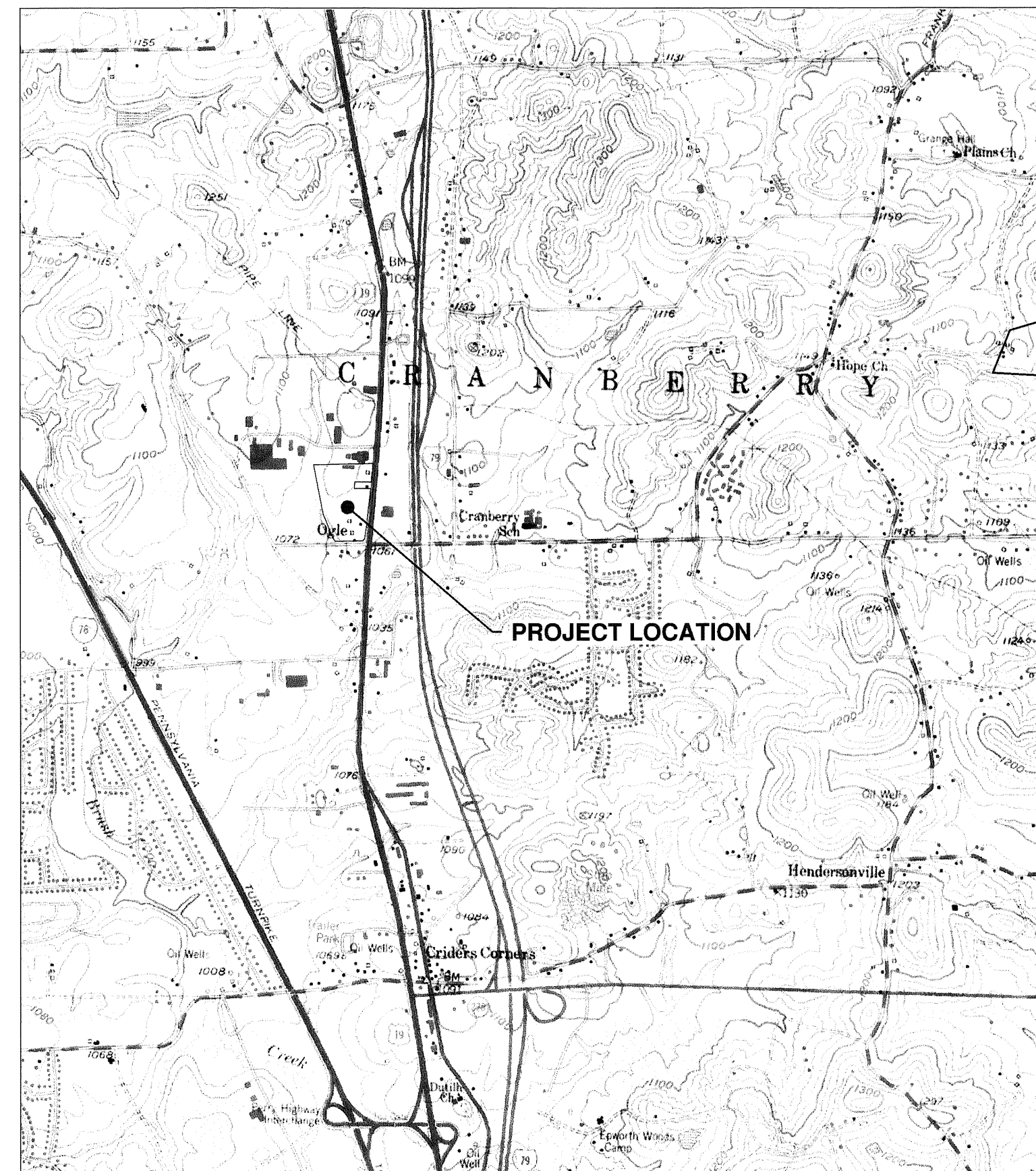
THIS STATEMENT CERTIFIES ONLY THAT ACTION WAS TAKEN BY THE BOARD OF SUPERVISORS GRANTING FINAL APPROVAL APPROVED BY BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY BY *Resolution* / RESOLUTION NO. **2024-07**, ON THE **1ST** DAY OF **February, 2024**.

*Bin D. D'Agostino*  
 SECRETARY  
*Michael Mustello*  
 CHAIRMAN, BOARD OF SUPERVISORS

**CERTIFICATION OF TITLE (NO MORTGAGE)**

I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE *Ogle View Corner Lot Consolidation Plan* IN THE NAME OF *Ogle View Corner LLC* AND IS RECORDED IN *Plan Book Volume 416* PAGE *24* FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN, OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY. Instrument # *20240216000443*.

*Bin D. D'Agostino*  
 WITNESS  
*Rinaldo Zampogna III*  
 OWNER



**LOCATION MAP**

SCALE: 1" = 200'  
 IMAGE SOURCE: MARS USGS  
 IMAGE DATE: NOV. 2006

**DRAWING INDEX**

DRAWING NO.	DRAWING DESCRIPTION
1	COVER SHEET
LC-1	LOT CONSOLIDATION PLAN

**OWNER**

OGLE VIEW CORNER, LLC  
 109 HIGHPOINT ROAD  
 SARVER, PENNSYLVANIA 16055  
 CONTACT: RON ZAMPOGNA  
 ronzi@yahoo.com  
 (724) 335-9473

**SITE ENGINEER**

HERBERT, ROWLAND & GRUBIC, INC.  
 220 WEST KENSINGER DRIVE  
 SUITE 100  
 CRANBERRY TOWNSHIP, PA 16066  
 CONTACT: JAMES GREENE  
 PHONE: (724) 779-4777  
 FAX: (724) 779-4711  
 EMAIL: jgreene@hr-g-inc.com

**SURVEYOR**

HERBERT, ROWLAND & GRUBIC, INC.  
 220 WEST KENSINGER DRIVE  
 SUITE 100  
 CRANBERRY TOWNSHIP, PA 16066  
 CONTACT: PAUL L. SAMPLE, PLS  
 PHONE: (724) 779-4777  
 FAX: (724) 779-4711  
 EMAIL: psample@hr-g-inc.com

**TOWNSHIP MANAGER APPROVAL**

I, *Daniel D. Santeo*, TOWNSHIP MANAGER FOR THE TOWNSHIP OF CRANBERRY, CERTIFY THAT THE CONDITIONS FOR FINAL APPROVAL OUTLINED IN *Ordinance* / RESOLUTION NO. **2024-07** HAVE BEEN MET IN ACCORDANCE WITH SECTIONS 22-305 AND 22-307 OF THE TOWNSHIP OF CRANBERRY CODE OF ORDINANCES.

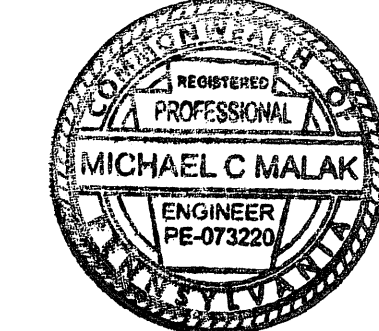
*D. Santeo*  
 TOWNSHIP MANAGER

DATE **2/22/24**

**MUNICIPAL ENGINEER'S CERTIFICATE**

I, *Michael C Malak*, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER FOR CRANBERRY TOWNSHIP, DO HEREBY CERTIFY THAT THIS LAND DEVELOPMENT PLAN MEETS ALL ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP ORDINANCES EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE CRANBERRY TOWNSHIP BOARD OF SUPERVISORS.

*Michael C Malak*  
 SIGNATURE



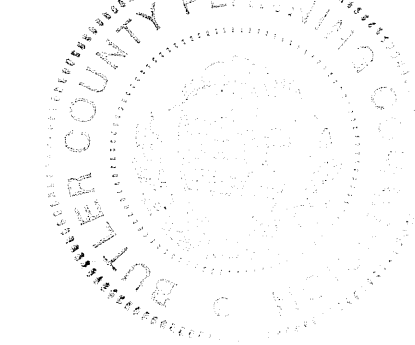
*PE-073220*  
 REGISTRATION NUMBER

**COUNTY PLANNING COMMISSION REVIEW STATEMENT**

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS **21<sup>ST</sup>** DAY OF **FEB**, **2024**

*R. H. Grim*  
 CHAIRMAN, BUTLER COUNTY PLANNING COMMISSION

*R. H. Grim*  
 SECRETARY



**PROOF OF RECORDING**

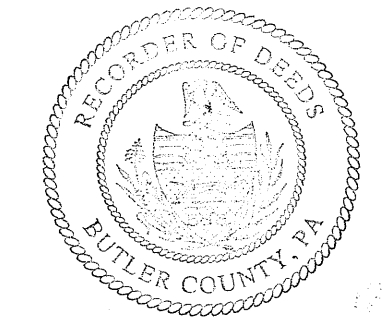
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME **416** PAGE(S) **24-25**

GIVEN UNDER MY HAND AND SEAL THIS **4<sup>TH</sup>** DAY OF **MARCH**, **2024**

*Michele M. Mustello*  
 RECORDER OF DEEDS

**MICHELE M. MUSTELLO**  
 RECORDER OF DEEDS

*My Commission Expires First Monday In January 2028*



**SURVEYOR'S CERTIFICATION**

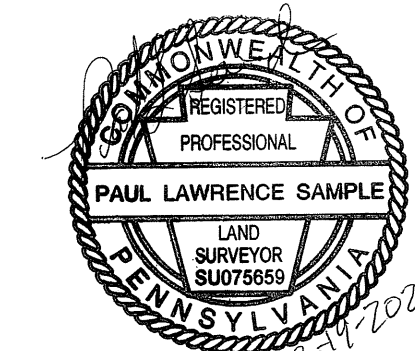
I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN HERON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

**2-19-2024**  
 DATE

*Paul L. Sample*  
 NAME OF SURVEYOR

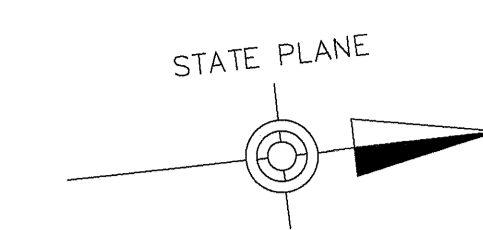
**5U075659**  
 REGISTRATION NUMBER

(SEAL)



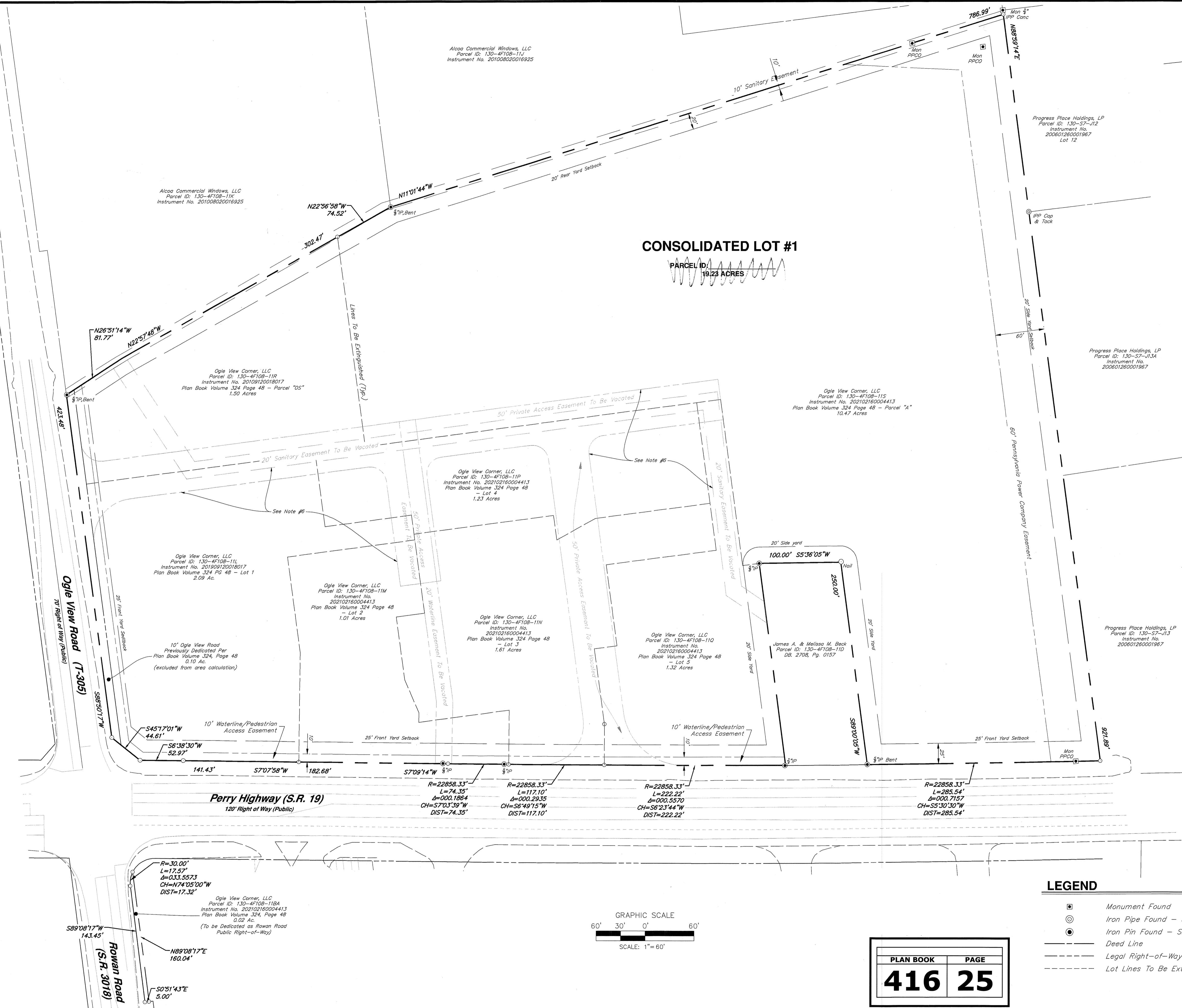
PLAN BOOK	PAGE
<b>416</b>	<b>24</b>





### CONSOLIDATED LOT #1

PARCEL ID: 130-4F108-111  
19.23 ACRES



### ZONING DISTRICT - MU MIXED USE W/ OVERLAYS

MU MIXED USE DISTRICT IN COMBINATION WITH:  
GENERAL CCD-2 (COMMUNITY CHARACTER DEVELOPMENT) OVERLAY  
STREETSCAPE OVERLAY

- MINIMUM NET LOT AREA: 1 ACRE (43,560 Sq.Ft.)
- MAXIMUM IMPERVIOUS SURFACE: 85% (CCD)
- MINIMUM BUILDING SETBACKS:  
REQ'D BUILDING SETBACK FROM A PUBLIC STREET, NOT LESS THAN 25 FT.  
SIDES-20 Ft.  
REAR-20 Ft.
- MAXIMUM BUILDING HEIGHT: NO STRUCTURE SHALL EXCEED 65 FT IN HEIGHT (CCD)
- MINIMUM BUILDING HEIGHT: 20 FT/ 2 STORIES (CCD)

### SURVEY NOTES

- PROPERTY LINES DEPICTED ON THIS PLAN HAVE BEEN ESTABLISHED BASED UPON EVIDENCE OBTAINED BY A FIELD RUN BOUNDARY RETRACEMENT SURVEY PERFORMED BY HERBERT, ROWLAND AND GRUBIC, INC. ON MAY 19, 2020 BASED ON THE FOLLOWING DOCUMENTS RECORDED IN BUTLER COUNTY RECORDER OF DEEDS OFFICE:  
  
ASSESSMENT RECORDS: PARCEL NO:  

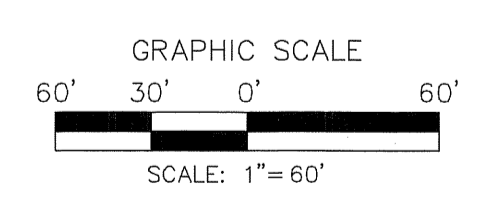
PLAN BOOK 324, PAGE 48:	LOT NO. 1	130-4F108-11L
INST NO. 201909120018017	PARCEL "OS"	130-4F108-11R
INST NO. 201909120018017	LOT NO. 2	130-4F108-11M
INST NO. 202102160004413	LOT NO. 3	130-4F108-11N
INST NO. 202102160004413	LOT NO. 4	130-4F108-11P
INST NO. 202102160004413	LOT NO. 5	130-4F108-11Q
INST NO. 202102160004413	PARCEL "A"	130-4F108-11S

PLAN BOOK 320, PAGE 8:	PARCEL "B"	130-4F108-11BA
INST NO. 202102160004413		
- THIS SURVEY HORIZONTALLY REFERENCES NAD 83, PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE AND THEREFORE THE BEARINGS SHOWN ON THIS SURVEY DIFFER FROM THE BEARINGS OF RECORD.
- ENTIRE SURVEYED PROPERTY LOCATED IN MU-MIXED USE & CCD CORRIDOR OVERLAY ZONING DISTRICT.
- ALL LOTS HAVE A 50 FOOT FRONT, 20 FOOT SIDE AND 20 FOOT REAR BUILDING SET BACK.
- IT IS THE INTENT OF THIS PLAN TO COMBINE PARCEL ID: 130-4F108-11L, 130-4F108-11M, 130-4F108-11N, 130-4F108-11P, 130-4F108-11Q, 10-4F108-11R AND 130-4F108-11S INTO CONSOLIDATED LOT #1 AND TO FURTHER DEDICATE PARCEL 130-4F108-11BA AS ROWAN ROAD PUBLIC RIGHT-OF-WAY.
- PRIVATE ACCESS RIGHT-OF-WAYS, PROPOSED 20' WATERLINE EASEMENT AND PROPOSED 20' SANITARY SEWER EASEMENT AS SHOWN ON PLAN BOOK VOLUME 324, PAGE 48, CRANBERRY PROMENADE PLAN OF LOTS TO BE VACATED BY THE RECORDING OF THIS PLAN.

### LEGEND

- Monument Found
- Iron Pipe Found - Size Indicated
- Iron Pin Found - Size Indicated
- Deed Line
- Legal Right-of-Way Line
- Lot Lines To Be Extinguished



PLAN BOOK	PAGE
<b>416</b>	<b>25</b>

### AREA TABLE: GROSS ACREAGE

PARCEL NO:	130-4F108-11L	2.09 ACRES
PARCEL NO:	130-4F108-11M	1.01 ACRES
PARCEL NO:	130-4F108-11N	1.61 ACRES
PARCEL NO:	130-4F108-11P	1.23 ACRES
PARCEL NO:	130-4F108-11Q	1.32 ACRES
PARCEL NO:	130-4F108-11R	1.50 ACRES
PARCEL NO:	130-4F108-11S	10.47 ACRES
PARCEL NO:	130-4F108-11BA	0.02 ACRES
CONSOLIDATED LOT #1		19.23 ACRES
ROWAN ROAD R/W		0.02 ACRES
OGLE VIEW ROAD R/W		0.10 ACRES

THIS SHEET 2 NOT VALID WITHOUT SHEET 1 OF 2

**HERBERT, ROWLAND & GRUBIC, INC.**  
220 WEST KENSINGER DRIVE  
SUITE 100  
CRANBERRY TOWNSHIP, PA 16066  
724.779.4777 | hrg-inc.com

PROFESSIONAL SEAL:

**LOT CONSOLIDATION PLAN**  
FOR  
**OGLE VIEW CORNER, LLC**

**OGLE VIEW CORNER, LLC**  
109 HIGHPOINT ROAD  
SARVER, PENNSYLVANIA 16055

CRANBERRY TOWNSHIP BUTLER COUNTY PENNSYLVANIA

REVISIONS		
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		

HRG PROJECT NUMBER:	R008247.0425
PLAN DATE:	FEBRUARY 2024
DRAWING SCALE:	AS SHOWN
PROJ. MANAGER:	PAUL SAMPLE

SHEET TITLE:	
<b>LOT CONSOLIDATION</b>	
SHEET:	<b>LC-1</b>
	<b>2</b>

090-1F65-A6  
N/F M.A. O'NEIL

140-1F65-13B  
N/F B.D. HILDERBRAND

140-1F65-14  
N/F D.J. KARENBAUER, JR.

S 87°03'45" E 1,121.84'

S 34°09'29" E 17.56'  
S 40°11'07" E 51.72'  
S 86°39'31" E 173.07'  
S 40°11'07" E 91.40'

GAS LINE EASEMENT TO  
MOUNTAIN GATHERING LLC  
INST. #201504280008770

090-1F65-A7 DECEASED  
N/F JAMES H. MCCREA &  
VELMA M. MCCREA  
REMNANT  
EX. 98.00 ACRES +/-  
- 5.79 ACRES LOT 2  
92.21 ACRES +/-  
AFTER CONVEYANCE =  
LOT 1 REMNANT  
(REMNANT NOT SURVEYED  
AT THIS TIME)

090-1F65-ABB  
LOT 1  
P.B. 229 PG. 9  
N/F L.L. SEARL

090-1F65-A8  
REMNANT  
P.B. 229 PG. 9  
N/F D.P. JOHNSON

090-1F17-12  
LOT B  
P.B. 96 PG. 28  
N/F J.K. FENNEL

090-1F65-A6A  
N/F M.A. O'NEIL

090-1F65-A6  
N/F M.A. O'NEIL

090-1F17-12  
LOT B  
P.B. 96 PG. 28  
N/F J.K. FENNEL

090-1F17-14  
N/F L.J. GRABE

090-1F65-A10LA  
N/F M.A. RAABE

NOTES:

SUBJECT TO ANY AND ALL EXISTING RIGHTS-  
OF-WAY AND EASEMENTS OF RECORD.

ACCORDING TO THE FLOOD INSURANCE RATE  
MAP PREPARED FOR THIS TOWNSHIP, THIS  
PROPERTY LIES IN ZONE X - AREAS OF  
MINIMAL FLOOD HAZARD DETERMINED TO BE  
OUTSIDE THE 0.2% ANNUAL CHANCE  
FLOODPLAIN.

DECEASED

PROPERTY OWNERS: JAMES & VELMA MCCREA  
1700 RT 422 EAST  
FENELTON, PA 16034

REF: PA ONE CALL SERIAL #20231291917  
ALL CONVEYANCES UNDER THIS PLAN ARE  
SUBJECT TO THE GRANTEES, THEIR HEIRS,  
SUCCESSORS AND ASSIGNS SHARING EQUALLY  
IN THE COSTS AND EXPENSES OF MAINTAINING  
ANY AND ALL EASEMENTS IN GOOD REPAIR.  
THE USE BY THE GRANTEES, THEIR HEIRS,  
SUCCESSORS AND ASSIGNS OF SAID EASEMENTS  
SHALL BE LIMITED TO INGRESS, EGRESS AND  
REGRESS AND NO USE SHALL BE EXPANDED OR  
MODIFIED WITHOUT PRIOR WRITTEN CONSENT OF  
ANY AND ALL SIGNATORY LAND OWNERS.

REF: SURVEY FOR BRENT HILDERBRAND BY  
LAND SURVEYORS, #09-042.

REF: PLAN OF SUBDIVISION FOR JAMES H. &  
VELMA M. MCCREA BY LAND SURVEYORS, INC.,  
09/18/2023, #23-060, P.B. 415 PG. 22.

THE PURPOSE OF THIS PLAN IS TO CORRECT  
THE LOT NUMBERS OF P.B. 415 PG. 22.

AS OF THE DATE OF THIS DEED/PLOT PLAN/DEED NOTICE RECORDING,  
THE PROPERTY/SUBDIVISION DESCRIBED HEREON IS AND SHALL BE  
DEDICATED FOR THE EXPRESS PURPOSE OF AGRICULTURAL USE. THIS  
WAIVER APPLIES TO LOT 1 REMNANT OF THE PLAN AS SHOWN HEREON.  
NO PORTION OF THIS PROPERTY/SUBDIVISION HAS BEEN APPROVED BY  
CLEARFIELD TOWNSHIP OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION  
FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES. NO SEWAGE  
PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION,  
CONNECTION TO OR USE OF ANY SEWAGE COLLECTION, CONVEYANCE,  
TREATMENT OR DISPOSAL SYSTEM (EXCEPT FOR REPAIRS TO EXISTING  
SYSTEMS) UNLESS THE MUNICIPALITY AND THE DEP HAVE BOTH  
APPROVED SEWAGE FACILITIES PLANNING FOR THE PROPERTY/SUBDIVI-  
SION HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE  
FACILITIES ACT (35 P.S. SECTIONS 7501 ET SEQ.) AND REGULATIONS  
PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLI-  
MENTING OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN,  
ANY PURCHASER OR SUBDIVIDER OF ANY PORTION OF LOT 1 REMNANT  
SHOULD CONTACT APPROPRIATE OFFICIALS OF CLEARFIELD TOWNSHIP, WHICH  
IS CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO  
DETERMINE WHAT SEWAGE FACILITIES PLANNING IS REQUIRED AND THE  
PROCEDURE AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS  
OR APPROVALS.

Instr: 20240304002887  
Page 1 of 368.00  
Butler County Recorder PA

KNOW ALL MEN BY THESE PRESENTS, that we, James H. and Velma M. McCrea,  
of the Township of Clearfield, of the County of Butler, Commonwealth of  
Pennsylvania, for ourselves, our heirs, executors, administrators and assigns,  
do hereby adopt this plan as my Plan of Lots of my property, situate in  
Clearfield Township, Butler County, Pennsylvania, and for divers advantages  
accruing to us, do hereby dedicate forever, for public use for highway  
purposes, all slope areas and all drives, roads, streets, lanes, ways and other  
public highways shown upon the plan, with the same force and effect as if  
the same had been opened through legal proceedings, and in consideration  
of the approval of said plan, and any future acceptance of said public  
highways by the said Commonwealth of Pennsylvania, County of Butler and  
Township of Clearfield, we hereby covenant and agree to and by these  
presents do release and forever discharge said Commonwealth of  
Pennsylvania, County of Butler and Township of Clearfield, their successors or  
assigns from any liability for damages arising and to arise from any  
appropriation of said ground for public highways and the physical grading  
thereof to any grades that may be established hereafter at any time. This  
dedications and release shall be binding upon James H. and Velma M. McCrea,  
our heirs, executors, administrators and assigns and purchasers of lots in this  
plan.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 26<sup>th</sup>

day of January 20 24

ATTEST:

Christine R. Bruckbichler Notary Public  
James H. McCrea Deceased  
Velma M. McCrea Owner

COMMONWEALTH OF PENNSYLVANIA:SS:  
COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and  
County, personally appeared the above named James H. and Velma M. McCrea,  
and acknowledged the foregoing release and dedication and plan to  
be their act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day.

WITNESS MY HAND AND NOTARIAL SEAL this 26<sup>th</sup> day of January

20 24

My Commission expires the 16<sup>th</sup> day of December 20 26

SEAL

Christine R. Bruckbichler Notary Public  
Commonwealth of Pennsylvania - Notary Seal  
CHRISTINE R. BRUCKBICHLER - Notary Public  
Butler County  
My Commission Expires December 16, 2026  
Commission Number 1287342

I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Common-  
wealth of Pennsylvania, do hereby certify that this plan as shown hereon is  
based upon actual field survey of the land described and that all angles,  
distances and courses are correctly shown, that the monuments and markers  
have been set as shown on the plan, and that this plan represents the lots,  
lands, streets and highways as surveyed and plotted by me for the owners or  
agents.

Cheryl A. Hughes  
DATE: January 25, 2024 SEAL REG. NO. SU-32490-E

The Board of Supervisors of the Township of Clearfield hereby gives public  
notice that in approving this plan for recording purposes only, the Township  
of Clearfield assumes no obligation, legal or otherwise, expressed or implied,  
either to accept said streets as Township streets or roads or grade, pave and  
curb the streets in said plan, or to construct sewers therein or to install any  
other such service ordinarily installed in Township streets or roads.

James B. Boudell Notary Public  
SECRETARY SEAL DONALD RED  
CHAIRMAN/PRESIDENT

Approved by the Supervisors of the Township of Clearfield this 12<sup>th</sup> day of  
February 20 24

James B. Boudell Notary Public  
SECRETARY SEAL DONALD RED  
CHAIRMAN/PRESIDENT

Approved by the Clearfield Township Planning Commission this 5<sup>th</sup> day  
of February 20 24

James B. Boudell Notary Public  
SECRETARY SEAL CHRYL A. HUGHES  
CHAIRMAN/PRESIDENT

Reviewed by the Butler County Planning Commission this 15<sup>th</sup> day of  
November 20 23

James B. Boudell Notary Public  
SECRETARY SEAL J. H. GEM  
CHAIRMAN/PRESIDENT

COMMONWEALTH OF PENNSYLVANIA:SS:  
COUNTY OF BUTLER

Recorded in the Recorder's Office for the recording of deeds, plans, etc. in  
said County in Plan Book Volume 416 page 26

Given under my hand and seal this 4<sup>th</sup> day of March  
20 24

MICHELE M. MUSTELLO  
RECORDER OF DEEDS  
My Commission Expires First Monday in January 2028

L  
S  
J  
Land Surveyors, Inc.  
523 North Main Street  
P.O. Box 1061  
Butler, PA 16003-1061  
(724) 287-6865  
Cheryl A. Hughes, PLS Owner

PLAN OF SUBDIVISION REVISION #1

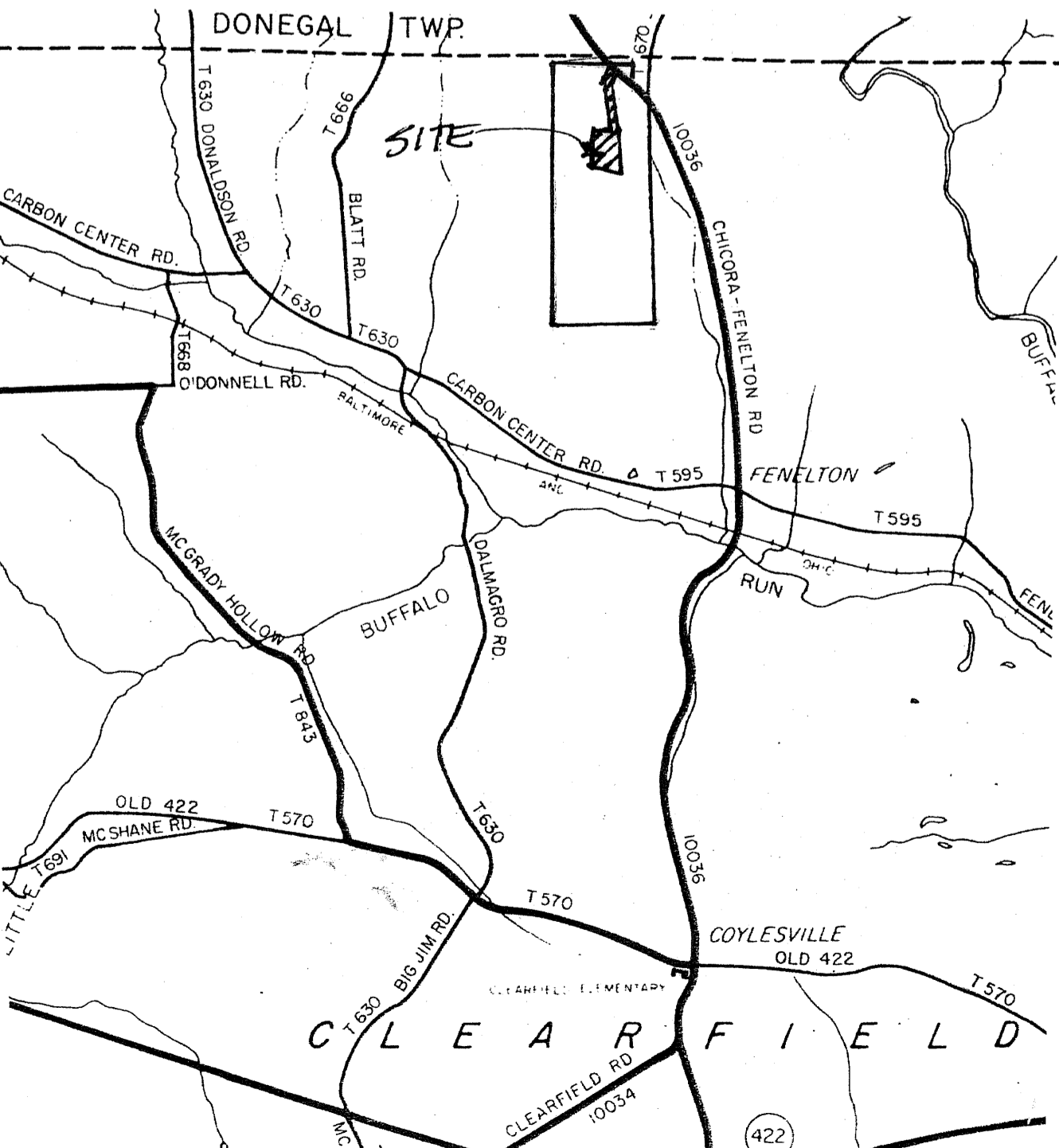
FOR: JAMES H. MCCREA & VELMA M. MCCREA  
DECEASED

SITUATE: CLEARFIELD TWP., BUTLER CO., PA

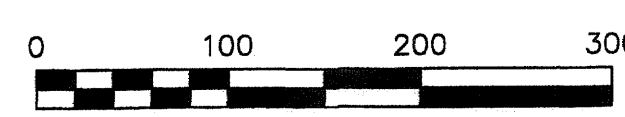
Date 01/25/2024 Scale 1" = 100' Dwn By BEC Ckd By CAH  
Parcel No. 090-1F65-A7 1013-254, 985-427, 1013-254, 985-427, Service No.  
Address CLEARFIELD ROAD Db-Pg 934-842, 934-836, 934-839 23-060

PLAN BOOK 416  
PAGE 26

LOCATION MAP Scale: 1" = 400'



VICINITY MAP Scale: 1" = 2000'



KNOW ALL MEN BY THESE PRESENTS, that I, Velma M. McCrea,  
of the Township of Clearfield, of the County of Butler, Commonwealth of  
Pennsylvania, for myself, my heirs, executors, administrators and assigns,  
do hereby adopt this plan as my Plan of Lots of my property, situate in  
Clearfield Township, Butler County, Pennsylvania, and for divers advantages  
accruing to me, do hereby dedicate forever, for public use for highway  
purposes all slope areas and all drives, roads, streets, lanes, ways and other  
public highways shown upon the plan, with the same force and effect as if  
the same had been opened through legal proceedings, and in consideration  
of the approval of said plan, and any future acceptance of said public  
highways by the said Commonwealth of Pennsylvania, County of Butler and  
Township of Clearfield, I hereby covenant and agree to and by these  
presents do release and forever discharge said Commonwealth of  
Pennsylvania, County of Butler and Township of Clearfield, their successors or  
assigns from any liability for damages arising and to arise from any  
appropriation of said ground for public highways and the physical grading  
thereof to any grades that may be established hereafter at any time. This  
dedications and release shall be binding upon Velma M. McCrea, my heirs,  
executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 4<sup>th</sup>  
day of March 20 24

ATTEST:  
Christine R. Bruckbichler Notary Public  
Velma M. McCrea Owner

COMMONWEALTH OF PENNSYLVANIA:SS:  
COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and  
County, personally appeared the above named Velma M. McCrea,  
and acknowledged the foregoing release and dedication and plan to  
be her act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day.

WITNESS MY HAND AND NOTARIAL SEAL this 4<sup>th</sup> day of March

20 24

My Commission expires the 4<sup>th</sup> day of March 20 24

SEAL

Christine R. Bruckbichler Notary Public  
Commonwealth of Pennsylvania - Notary Seal  
CHRISTINE R. BRUCKBICHLER - Notary Public  
Butler County  
My Commission Expires December 16, 2026  
Commission Number 1287342

OWNER'S ADOPTION  
KNOW ALL MEN BY THESE PRESENTS THAT I, MATTHEW KLABNIK, OF THE TOWNSHIP OF WINFIELD, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, FOR MYSELF, MY HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS MY PLAN OF LOTS OF MY PROPERTIES, SITUATE IN THE TOWNSHIP OF WINFIELD, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO ME, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES, ALL SLOPE AREAS, DRIVES, ROADS, STREETS, LANES AND WAYS, AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS, AND IN THE CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF WINFIELD, I HEREBY COVENANT AND AGREE TO AND BY THESE PRESENTS TO RELEASE AND FOREVER DISCHARGE THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER AND TOWNSHIP OF WINFIELD, THEIR SUCCESSORS AND ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM ANY APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED HEREAFTER AT ANY TIME. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON THE ABOVE NAMED PROPERTY OWNER, HIS HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND SEAL THIS 29th DAY OF February, 2024.

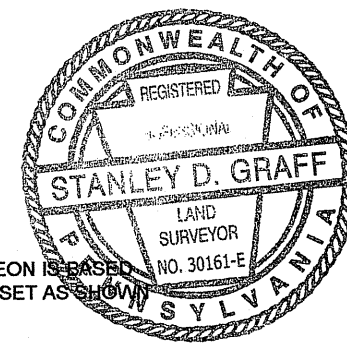
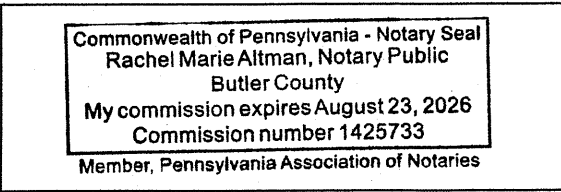
MATTHEW KLABNIK

ACKNOWLEDGMENT OF NOTARY PUBLIC  
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND COUNTY OF BUTLER, PERSONALLY APPEARED THE ABOVE NAMED, MATTHEW KLABNIK, AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION OF PLAN TO BE THEIR ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 29th DAY OF February, 2024.

MY COMMISSION EXPIRES THE 23rd DAY OF August, 2026

*Rachel Marie Altman*  
NOTARY PUBLIC



SURVEYOR'S CERTIFICATION  
I, STANLEY D. GRAFF, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, THAT THIS PLAN AS SHOWN HEREON UPON ACTUAL FIELD SURVEY OF THE LANDS DESCRIBED AND THAT ALL ANGLES, DISTANCES AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAN, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.

January 26, 2024  
DATE  
*Stanley D. Graff*  
REG. NO. 10,318-E

MUNICIPAL DECLARATIONS  
THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WINFIELD, HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF WINFIELD ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR TO GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

MUNICIPAL REVIEW AND APPROVAL STATEMENTS  
APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF WINFIELD THIS 29th DAY OF February, 2024.

*Rachel Marie Altman* Secretary  
*Paul D. Hulse* Chairman  
BOARD OF SUPERVISORS

REVIEWED BY THE PLANNING COMMISSION OF THE TOWNSHIP OF WINFIELD THIS 7th DAY OF February, 2024.

*Rachel Marie Altman* Secretary  
*Paul D. Hulse* Chairman  
PLANNING COMMISSION

BUTLER COUNTY PLANNING COMMISSION REVIEW STATEMENT  
REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 21st DAY OF February, 2024.

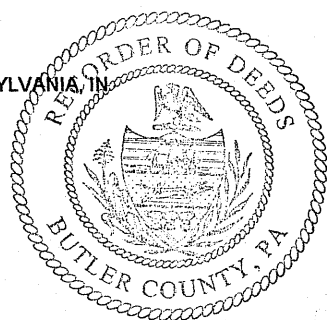
*R. H. ...* Secretary  
*W. H. ...* Chairman  
BUTLER COUNTY PLANNING COMMISSION

PROOF OF RECORDING  
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF THE COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA

PLAN BOOK VOLUME 416, PAGE(S) 27  
GIVEN UNDER MY HAND AND SEAL THIS 29th DAY OF MARCH, 2024.  
*Michele M. Mustello*  
RECORDER OF DEEDS

**MICHELE M. MUSTELLO**  
RECORDER OF DEEDS

My Commission Expires First Monday In January 2028



portion of AMENDED REVISED LOT 3

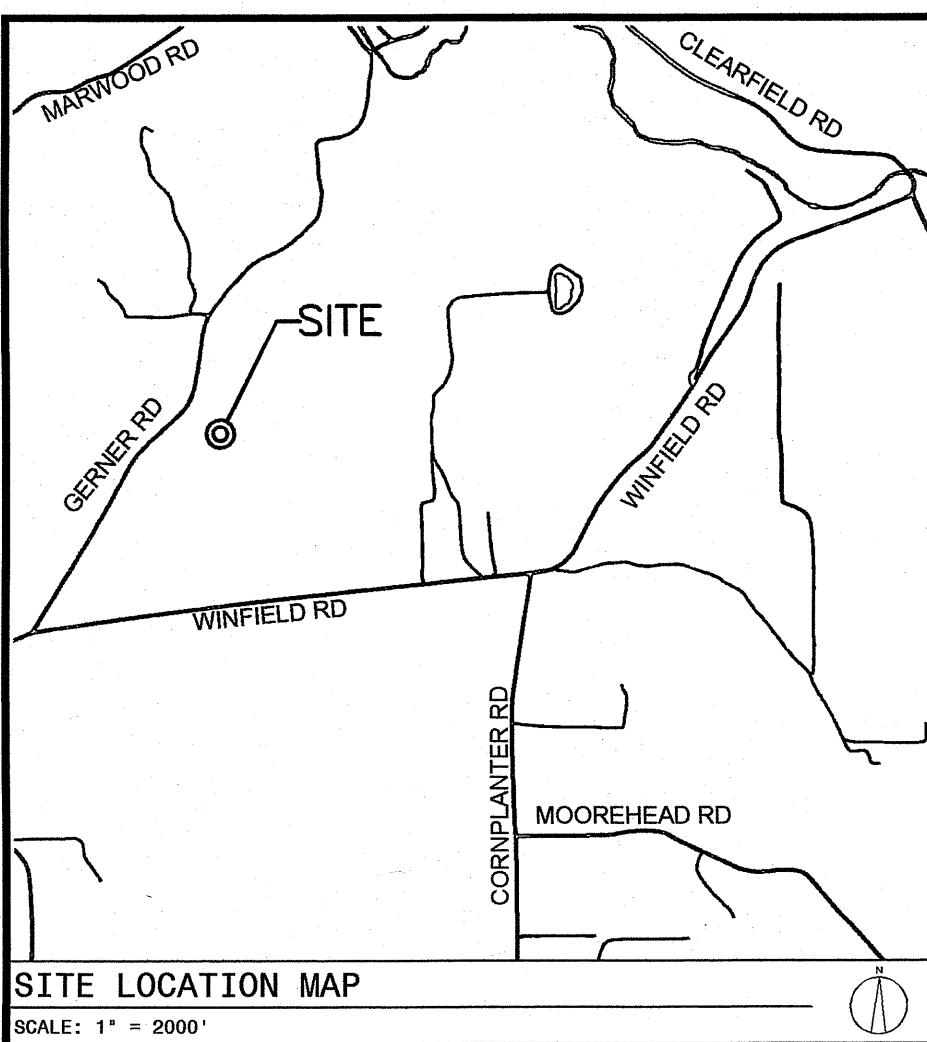
Course	Bearing	Distance
L3-1	N 22°00'47" W	9.04'
L3-2	N 40°30'47" W	37.72'
L3-3	N 89°24'57" W	25.21'
L3-4	S 70°03'33" W	22.32'
L3-5	N 26°11'08" E	32.29'
L3-6	N 22°33'32" E	21.85'
L3-7	S 58°30'52" E	61.31'
L3-8	Rad: 85.00° Tan: 46.89' Chd: S 29°58'00" E	A: 85.69' CA: 57°45'45" 82.11'

portion of AMENDED REVISED LOT 3

Course	Bearing	Distance
L3-10	Rad: 225.00° Tan: 7.04' Chd: N 70°28'38" E	A: 14.07' CA: 3°34'50" 14.07'
L3-11	N 21°18'55" W	65.00'
L3-12	N 20°30'00" E	45.00'
L3-13	N 61°30'00" E	70.50'

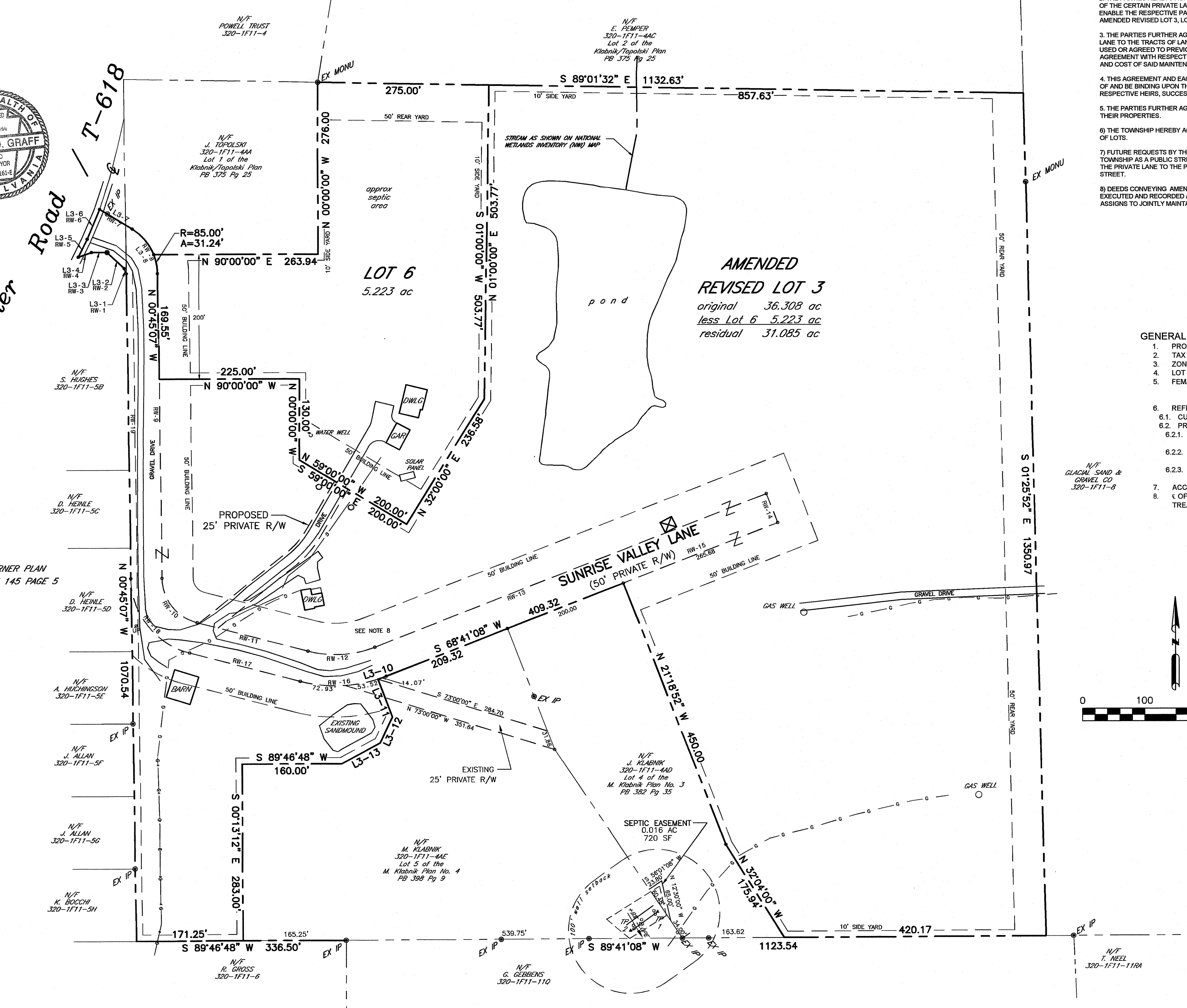
50' PRIVATE R/W

Course	Bearing	Distance
RW-1	N 22°00'47" W	9.04'
RW-2	N 40°30'47" W	37.72'
RW-3	N 89°24'57" W	25.21'
RW-4	S 70°03'33" W	22.32'
RW-5	N 26°11'08" E	32.29'
RW-6	N 22°33'32" E	21.85'
RW-7	S 58°30'52" E	61.31'
RW-8	Rad: 85.00° Tan: 46.89' Chd: S 29°58'00" E	A: 85.69' CA: 57°45'45" 82.11'
RW-9	S 00°45'07" E	488.59'
RW-10	Rad: 75.00° Tan: 37.39' Chd: S 38°08'30" E	A: 97.89' CA: 74°48'45" 107.33'
RW-11	S 75°31'52" E	183.25'
RW-12	Rad: 175.00° Tan: 56.50' Chd: N 86°34'38" E	A: 108.29' CA: 35°47'00" 107.33'
RW-13	N 68°41'08" E	675.00'
RW-14	S 21°18'52" E	59.50'
RW-15	S 68°41'08" W	675.00'
RW-16	Rad: 225.00° Tan: 72.64' Chd: S 60°34'38" W	A: 140.52' CA: 35°47'00" 138.25'
RW-17	N 75°31'52" W	183.25'
RW-18	Rad: 125.00° Tan: 95.53' Chd: N 38°08'30" W	A: 163.14' CA: 74°48'45" 151.81'
RW-19	N 00°45'07" W	488.88'



PLAN ORIENTATION NOTE: THE BEARINGS SHOWN HEREON ARE BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (PA-S) / NAD 1983

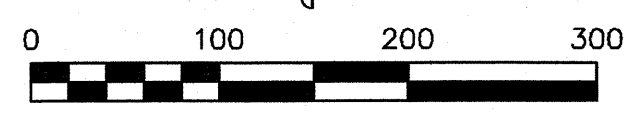
NOTE: SUBJECT TO AND TOGETHER WITH ANY AND ALL EXISTING RIGHTS-OF-WAY, EASEMENTS AND CONDITIONAL CLAUSES OF RECORD OR ESTABLISHED BY DUE PROCESS.



Instr: 20240305002960  
Page 1 of 1658  
Michele Mustello  
Butler County Recorder PA

MAINTENANCE AGREEMENT NOTE FOR PRIVATE DRIVE  
PERTAINING TO THE COMMON AREA OF COMMON DRIVE AND IN THE ABSENCE OF CONVEYING ANY PROPERTY RIGHTS, ENCUMBRANCES OR RESTRICTIONS.  
WITNESSETH, IN CONSIDERATION OF THE MUTUAL COVENANTS, PROMISES AND BENEFITS HEREAFTER SET FORTH BY THE PARTIES HERETO, FOR THEMSELVES, THEIR HEIRS, SUCCESSORS AND ASSIGNS AGREE AS FOLLOWS:  
1. THE PARTIES HERETO HEREBY ACKNOWLEDGE THE EXISTENCE OF A PRIVATE LANE ACCESSING THEIR PROPERTIES AS SHOWN ON HEREON PLOTTED PLAN.  
2. THE PARTIES HERETO AGREE TO PROVIDE EQUAL CARE, MAINTENANCE AND REPAIRS TO THE ROAD SURFACE OF THE CERTAIN PRIVATE LANE OR DRIVE. THE LANE OR DRIVE EXTENDS FROM THE PUBLIC HIGHWAY SO AS TO ENABLE THE RESPECTIVE PARTIES TO HAVE A SAFE INGRESS, EGRESS AND REGRESS FOR THE BENEFITS OF AMENDED REVISED LOT 3, LOT 4, LOT 5 AND LOT 6.  
3. THE PARTIES FURTHER AGREE THAT ANY AND ALL EXPENSES OF MAINTAINING AND REPAIRING SAID PRIVATE LANE TO THE TRACTS OF LAND OF THE RESPECTIVE PARTIES HERETO ARE TO BE PROPORTIONATE TO LENGTH USED OR AGREED TO PREVIOUSLY AMONG THE PARTIES HERETO AND ALL THE PARTIES HERETO SHALL BE IN AGREEMENT WITH RESPECT TO THE TIME FOR THE NEEDED MAINTENANCE AND REPAIRS AND AS TO THE METHOD AND COST OF SAID MAINTENANCE AND REPAIRS.  
4. THIS AGREEMENT AND EACH AND EVERY PART AND/OR PORTION OF THE SAME SHALL INSURE TO THE BENEFIT OF AND BE BINDING UPON THE RESPECTIVE PARTIES OF AMENDED REVISED LOT 3, LOT 4, LOT 5 AND LOT 6, THEIR RESPECTIVE HEIRS, SUCCESSORS AND ASSIGNS.  
5. THE PARTIES FURTHER AGREE THAT THEY WILL SEPARATELY MAINTAIN THEIR OWN PRIVATE DRIVEWAYS ON THEIR PROPERTIES.  
6. THE TOWNSHIP HEREBY ACCEPTS NO RESPONSIBILITY FOR THE PRIVATE LANE SET FORTH WITHIN THIS PLAN OF LOTS.  
7. FUTURE REQUESTS BY THE LOT OWNERS TO HAVE THE PRIVATE LANE ACCEPTED AND ADOPTED BY THE TOWNSHIP AS A PUBLIC STREET SHALL BE SUBJECT TO THE OWNERS ASSUMING THE TOTAL COST OF IMPROVING THE PRIVATE LANE TO THE PUBLIC STREET CURRENT TOWNSHIP CONSTRUCTION STANDARDS FOR A PUBLIC STREET.  
8. DEEDS CONVEYING AMENDED REVISED LOT 3, LOT 4, LOT 5 AND LOT 6 SHALL CONTAIN A REFERENCE TO AN EXECUTED AND RECORDED AGREEMENT OBLIGATING THE PROPERTY OWNERS, THEIR HEIRS, SUCCESSORS AND ASSIGNS TO JOINTLY MAINTAIN THE SAID PRIVATE LANE AND/OR DRIVE.

- GENERAL NOTES:
- PROPERTY OWNER: MATTHEW KLABNIK
  - TAX ID: 320-1F11-4A
  - ZONING DISTRICT: RESIDENTIAL AGRICULTURAL
  - LOT REQUIREMENTS: SEE TABLE
  - FEMA FLOOD ZONE: ZONE X - AREA OF MINIMAL FLOOD HAZARD  
FIRM: 4010C0465D  
FIRM EFFECTIVE: 8/2/2018
  - REFERENCES  
6.1. CURRENT DEEDS OF RECORD  
6.2. PREVIOUSLY RECORDED PLANS  
6.2.1. KLABNIK/TOPOLSKI PLAN PLAN BOOK 375 PG 25  
6.2.2. M. KLABNIK PLAN No. 3 PLAN BOOK 382 PG 35  
6.2.3. M. KLABNIK PLAN No. 4 PLAN BOOK 388 PG 9
  - ACCESS & UTILITY EASEMENT PER SEPARATE AGREEMENT
  - C OF APPROXIMATE 20' UTILITY EASEMENT FOR EXISTING LATERAL TO SEPTIC TREATMENT SITE



AREA SUMMARY:

EXISTING TOTALS	AMENDED REV LOT 3
36.308 AC	36.308 AC
REVISED TOTALS	AMENDED REV. LOT 3
31.085 AC	5.223 AC
36.308 AC	36.308 AC

WINFIELD TOWNSHIP RESIDENTIAL AGRICULTURAL DISTRICT

Dimension	On-lot septic and water
Min. Lot Area	2 acres
Min. Lot Width	200 feet
Min. Front Yard Depth	75 feet from CL
Min. Side Yard Depth	10 feet
Min. Rear Yard Depth	50 feet

RECORDED 20  
PLAN BOOK PAGE  
**416 27**  
SHEET of

GRAFF SURVEYING LLC  
PO BOX 521 | SAXONBURG, PA 16056  
P: 724-352-3811 | F: 724-352-1059  
INFO@GRAFFSURVEYING.COM  
WWW.GRAFFSURVEYING.COM

PROJECT DESCRIPTION  
**M. KLABNIK PLAN No. 5**  
BEING A  
SUBDIVISION  
FOR  
MATTHEW KLABNIK

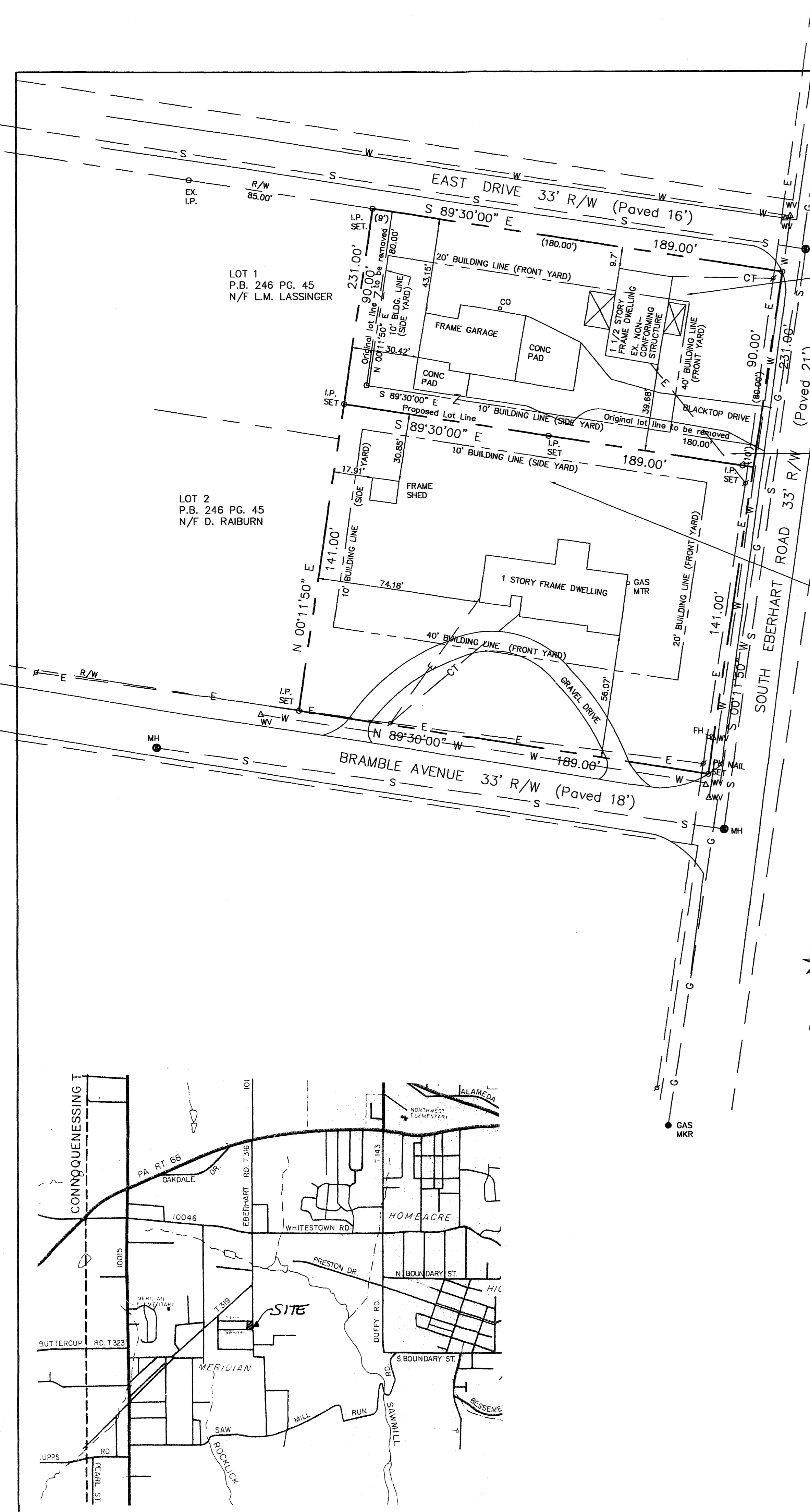
SITUATE  
WINFIELD TOWNSHIP  
BUTLER COUNTY, PENNSYLVANIA

DATE	DRAWN	CHECKED	SCALE
12/15/23	SDG	Sdg	1" = 100'

PROJECT NO.	TAX PARCEL NO.	REVISION
23-190	320-1F11-4A	-

**M. KLABNIK PLAN No. 5**  
Being a subdivision of Amended Revised Lot 3 of the M. Klabnik Plan No. 4, PB 398 Pg 9, and being Butler County Tax Parcel 320-1F11-4A

Inst#: 20240306003009  
 Page 1 of 248.00  
 Michele Mustello  
 Butler County Recorder PA



054-26-22  
 N/F ROBERT J. HARTLE  
 EX. 0.33 ACRE  
 +0.06 ACRE PARCEL A  
 0.39 ACRE TOTAL AFTER CONVEYANCE=  
 LOT 1

PARCEL A  
 0.06 ACRE  
 TO BE CONVEYED TO &  
 COMBINED WITH LANDS OF  
 ROBERT J. HARTLE

054-26-21  
 N/F GLORIA L. BEECHEY  
 EX. 0.67 ACRE  
 -0.06 ACRE - PARCEL A  
 0.61 ACRE TOTAL AFTER CONVEYANCE=  
 LOT 2

Know all men by these Presents, that I, Robert J. Hartle, of the Township of Butler, County of Butler and State of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this Plan as my Plan of my property situated in Butler Township and do hereby dedicate forever for public use for highway and utility purposes, all drives, roads, lanes, ways, rights of way, and other public highways shown upon the plan, and I release, remise and discharge the Township of Butler, its successors or assigns, of and from all liability, courses of action, claims or damages arising from or pertaining to in any manner said roads and rights of ways.

I further agree that said plan is approved by the Township of Butler for "Planning Purposes Only" and that said township shall not issue any "Building Permits" for lots contained herein, nor shall any lots be deeded until either all of said roads and improvements in accordance with Butler Township Ordinance 730 and all other applicable ordinances have been completed and accepted by said township or until the township has approved a bond with sufficient surety to guarantee construction of the same.

In Witness Whereof, I hereunto set my hand and seal this 14 day of December, 2023  
 Alexander R. Shott  
 NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA)SS:  
 COUNTY OF BUTLER)  
 Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Robert J. Hartle, and acknowledged the foregoing release and dedication and plan to be his act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this 14 day of December, 2023  
 My Commission Expires the 27 day of June, 2023

SEAL  
 Alexander R. Shott  
 NOTARY PUBLIC  
 Commonwealth of Pennsylvania - Notary Seal  
 Alexander R. Shott, Notary Public  
 Butler County  
 My commission expires June 25, 2027  
 Commission number 1200432  
 Member, Pennsylvania Association of Notaries

TITLE CLAUSE (NO MORTGAGE)  
 I, Robert J. Hartle, owner of this plan of subdivision in my name, do hereby certify that the title of this property is in the name of Robert J. Hartle, as recorded in Instrument Number 19991300033594, Recorder of Deeds Office. I further certify that there is no mortgage, lien or encumbrance against this property.  
 Cheryl A. Hughes  
 WITNESS

NOTES:  
 SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.  
 ZONING: R-1 SINGLE FAMILY RESIDENTIAL  
 BUILDING SETBACK REQUIREMENTS:  
 40' FRONT YARD  
 10' SIDE YARD  
 25' REAR YARD  
 ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREA OF MINIMAL FLOOD HAZARD DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN.  
 REF: PLAN OF SUBDIVISION FOR DAVID G. & LESLIE L. SPINNEWEBER BY LAND SURVEYORS, INC., #00-265, P.B. 246 PG. 45.

PROPERTY OWNERS: ROBERT HARTLE  
 438 SOUTH EBERHART ROAD  
 BUTLER, PA 16001  
 GLORIA BEECHEY  
 119 BRAMBLE AVENUE  
 BUTLER, PA 16001

THE PURPOSE OF THIS PLAN IS TO CONVEY AND COMBINE PARCEL A WITH ADJOINING LANDS OF HARTLE.  
 BOTH LOTS HAVE PUBLIC WATER AND SEWER SERVICE.  
 UTILITIES ARE SHOWN IN APPROXIMATE LOCATION ONLY.

Know all men by these Presents, that I, Gloria L. Beechey, of the Township of Butler, County of Butler and State of Pennsylvania, for myself, my heirs, executors, administrators and assigns, do hereby adopt this Plan as my Plan of my property situated in Butler Township and do hereby dedicate forever for public use for highway and utility purposes, all drives, roads, lanes, ways, rights of way, and other public highways shown upon the plan, and I release, remise and discharge the Township of Butler, its successors or assigns, of and from all liability, courses of action, claims or damages arising from or pertaining to in any manner said roads and rights of ways.

I further agree that said plan is approved by the Township of Butler for "Planning Purposes Only" and that said township shall not issue any "Building Permits" for lots contained herein, nor shall any lots be deeded until either all of said roads and improvements in accordance with Butler Township Ordinance 730 and all other applicable ordinances have been completed and accepted by said township or until the township has approved a bond with sufficient surety to guarantee construction of the same.

In Witness Whereof, I hereunto set my hand and seal this 14 day of December, 2023  
 Alexander R. Shott  
 NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA)SS:  
 COUNTY OF BUTLER)  
 Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Gloria L. Beechey, and acknowledged the foregoing release and dedication and plan to be her act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this 14 day of December, 2023  
 My Commission Expires the 27 day of June, 2023

SEAL  
 Alexander R. Shott  
 NOTARY PUBLIC  
 Commonwealth of Pennsylvania - Notary Seal  
 Alexander R. Shott, Notary Public  
 Butler County  
 My commission expires June 25, 2027  
 Commission number 1200432  
 Member, Pennsylvania Association of Notaries

TITLE CLAUSE (MORTGAGE CLAUSE)  
 I, Gloria L. Beechey, owner of this plan of subdivision in my name, do hereby certify that the title of this property is in the name of Gloria L. Beechey, as recorded in Deed Book Volume 759 page 408, Recorder of Deeds Office.  
 Cheryl A. Hughes  
 WITNESS

We, \_\_\_\_\_ mortgagee of the property embraced in this plan or subdivision in the name of Gloria L. Beechey, do hereby consent to the recording of said plan in the Recorder's Office of Butler County, Pennsylvania and to the dedications and covenants appearing hereon.  
 N/A for Butler Township.  
 WITNESS MORTGAGEE

I, Cheryl A. Hughes, a Registered Surveyor of the Commonwealth of Pennsylvania, do hereby certify that the plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plot, and that this plan correctly represents the lots, land, streets and highways as surveyed and plotted by me for the owners or agents.  
 November 3, 2023  
 Cheryl A. Hughes  
 DATE SIGNATURE AND REG. NO. SU-32490-E

The Board of Commissioners of the Township of Butler hereby gives public notice that in approving this plan for recording purposes only, the Township assumes no obligations, legal or otherwise, expressed or implied, either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.  
 Theresa Guindler  
 SECRETARY

Approved by the Board of Commissioners of the Township of Butler this 18th day of December, 2023  
 Theresa Guindler  
 SECRETARY

Approved by the Butler Township Planning Commission this 5th day of December, 2023  
 F. Marble  
 SECRETARY

Reviewed by the Butler County Planning Commission this 6th day of Nov, 2023  
 R.H. - JRM  
 SECRETARY

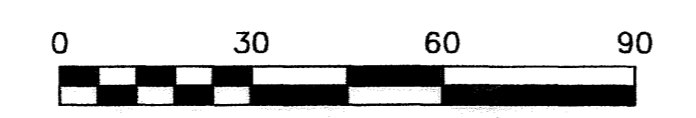
COMMONWEALTH OF PENNSYLVANIA)SS:  
 COUNTY OF BUTLER)  
 Recorded in the Recorder's Office for the recording of deeds, plans, etc., in said County in Plan Book Volume 416 page 28  
 Given under my hand and seal this 6th day of March, 2024  
 Michele M. Mustello  
 RECORDER OF DEEDS

MICHELE M. MUSTELLO  
 RECORDER OF DEEDS  
 My Commission Expires First Monday In January 2028

L S J	Land Surveyors, Inc. 523 North Main Street P.O. Box 1061 Butler, PA 16003-1061 (724) 287-6865 Cheryl A. Hughes, PLS Owner		
	LOT LINE REVISION FOR: ROBERT J. HARTLE and GLORIA L. BEECHEY SITUATE: BUTLER TWP., BUTLER CO., PA		
Date 11/27/2023	Scale 1" = 30'	Dwn By BEC	Ckd By CAH
Parcel# 054-26-21 & 22	DB/PG 759-408	Inst#	Service No.
Address 438 S EBERHART RD/119 BRAMBLE AVE	19991300033594	23-137	

PLAN BOOK	PAGE
416	28

VICINITY MAP Scale: 1" = 2000'



GENERAL SITE DATA

LAND OWNER- Garrett Cooper Hall  
Renata L. Hall [Trustee]

TAX PARCEL- 330-4F70-A8-000  
330-4F70-A8E/330-4F70-A8D

ADDRESS- 730 New Castle Road, Slippery Rock, Pa 16057  
738 New Castle Road, Slippery Rock, Pa 16057

ZONING- None

RECORD INST- 20180105000240  
202305080006245

LAND USE- Residential

WATER- Well

SEWER- On lot Septic

WORTH TOWNSHIP SUPERVISORS

Final Approval granted by the Worth Township Supervisors  
this 5 day of March, 2024

*[Signature]*  
Chairman  
*[Signature]*  
Secretary

WORTH TOWNSHIP PLANNING COMMISSION

Final Review granted by the Worth Township Planning  
Commission this 13 day of February, 2024

*[Signature]*  
Chairman  
*[Signature]*  
Secretary

BUTLER COUNTY PLANNING COMMISSION

Final Review granted by the Butler County Planning  
Commission this 21 day of February, 2024

*[Signature]*  
Chairman  
*[Signature]*  
Secretary

BUTLER COUNTY RECORDERS OFFICE

Recorded in the recorders office for recording deeds, plans, etc.  
in said county, in map file number 416-29, given under my  
hand and seal this 6 day of March, 2024

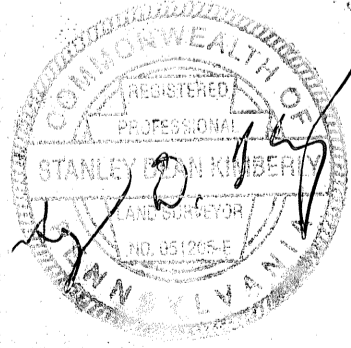
*[Signature]*  
Recorder

NOTE:

The subdivider must record this subdivision with the recorder of  
deed office at the Butler County Courthouse within ninety (90)  
days from the date of the last signatures by the governing body  
processing final approval, as per the Pennsylvania Municipalities  
Planning Code, Act 247 of 1968 as amended, Section 513

N/F ALLEGHENY  
MINERAL  
CORPORATION  
202311290017919  
330-4F70-A8CD

LOT 2--0.972 ACRES  
+ LOT 2A--1.043 ACRES  
+ LOT 1A--0.339 ACRES  
LOT REPLAT=2.352 ACRES



KIMBERLY SURVEYING  
1873 BEAVER VALLEY RD  
FLINTON PA 16640  
KIMBERLYSURVEYING@YAHOO.COM  
814-687-4278/814-935-9396

MICHELE M. MUSTELLO  
RECORDER OF DEEDS

My Commission Expires First Monday in January 2028

LEGEND

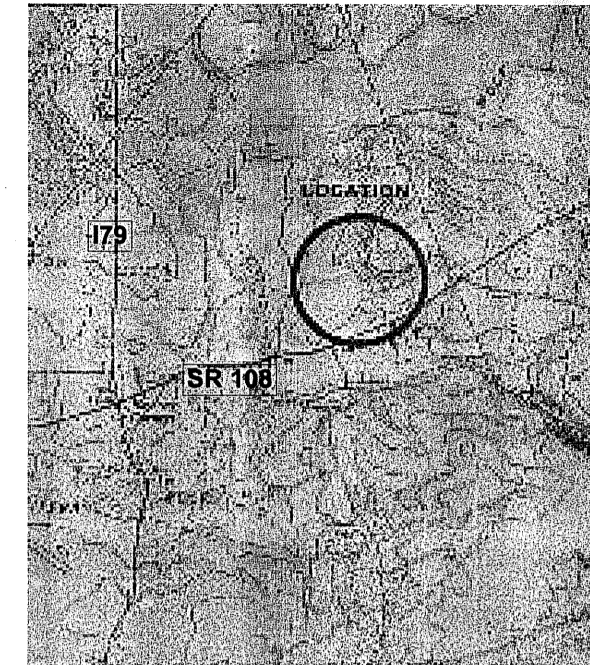
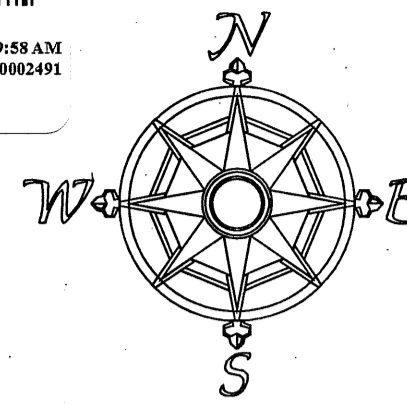
+	Ground shot
o	Post
o	Rebar
o	Iron Pipe
o	Power Pole
o	Set Rebar
o	Deciduous
o	Gas Meter
o	Gas Well
o	Stake
o	Traverse

--- Property line to be rem  
--- WATER --- Water Line

LINE	BEARING	HORIZ DIST
L1	N77°29'43"E	45.02'
L2	S77°01'48"W	51.93'
L3	N78°44'35"E	32.32'
L4	N77°09'30"E	52.22'

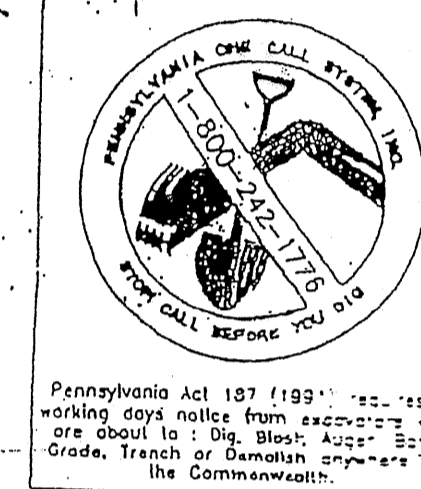
HIGHWAY OCCUPATION NOTATION:  
Any access via a state highway to lots shown on this subdivision  
plan will require this issuance of a penndot highway occupancy  
permit [HOP]. PennDOT regulations provide that a highway  
occupancy permit is prior to constructing, altering or  
exceeding the permitted capacity for any access connected onto  
a state highway. A highway occupancy permit is also required  
prior to altering the existing pattern or flow of surface of drainage  
or directing additional surface drainage onto or into the highway  
right of way or highway facilities. Approval of this plan neither implies  
nor guarantees permit approval by pennDOT.

Instr: 202403060003013  
Pg: 1 F: \$45.00  
Michele Mustello  
Butler County Recorder PA  
3/6/2024 9:59 AM  
T2024002491



LOCATION MAP

ONE-CALL SYSTEM

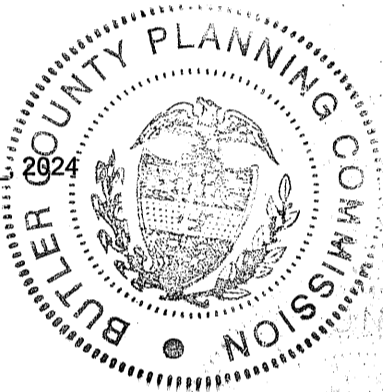


WORTH TOWNSHIP  
LOT, YARD & HEIGHT REQUIREMENTS  
SINGLE FAMILY DWELLING  
(ON LOT SEWAGE AND WATER)  
Min Lot Area- 1.5 acres  
Min Lot Width- 150ft  
Min Front Yard - 50 ft  
Min Side Yard - 25 ft  
Min Rear Yard - 50ft

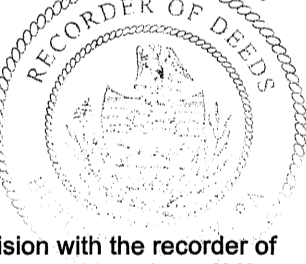
LOT 1-- 6.216 ACRES  
- LOT 1A--0.339 ACRES  
RESIDUAL TRACT--5.877 ACRES

LOT 1  
6.216 ACRES

RESIDUAL TRACT  
330-4F70-A8-000  
5.877 Acres



N/F ALLEGHENY  
MINERAL  
CORPORATION  
202311290017919  
330-4F70-A8CD



N/F JOSEPH  
HEASLEY ET UX  
201612080025836  
330-4F70-A9-0000

Commonwealth of Pennsylvania  
County of Butler

CERTIFICATION OF OWNERSHIP BLOCK

For Renata L. Hall [Trustee]

On this 21st day of February, 2024 before me  
the undersigned officer, personally appeared.

Renata L. Hall [Trustee] of Renata L. Hall Trust

who, being duty sworn according to law, depose and say  
that they are the owners and/or equitable owners of the  
property shown on this plan, and that they acknowledge the  
same be recorded as such, according to law.

NOTARY PUBLIC *[Signature]*

MY COMMISSION EXPIRES Aug 5, 2026

OWNERS *[Signature]*

Commonwealth of Pennsylvania - Notary Seal  
Lesley Renee McDowell, Notary Public  
Butler County  
My commission expires August 5, 2026  
Commission number 1191886  
Member, Pennsylvania Association of Notaries

CERTIFICATION OF OWNERSHIP BLOCK

For Garrett Cooper Hall

On this 13th day of February, 2024 before me  
the undersigned officer, personally appeared,

Garrett Cooper Hall

who, being duty sworn according to law, depose and say  
that they are the owners and/or equitable owners of the  
property shown on this plan, and that they acknowledge the  
same be recorded as such, according to law.

NOTARY PUBLIC *[Signature]*

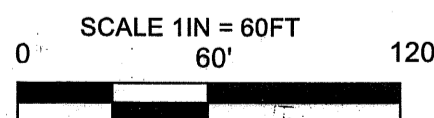
MY COMMISSION EXPIRES Aug 5, 2026

OWNERS *[Signature]*

Commonwealth of Pennsylvania - Notary Seal  
Lesley Renee McDowell, Notary Public  
Butler County  
My commission expires August 5, 2026  
Commission number 1191886  
Member, Pennsylvania Association of Notaries

NOTES:

- All bearings are based on magnetic North
- The purpose of this survey is to subdivide a parcel of land from Garrett Hall Property and add to and combine all properties of Renata Hall into 1 parcel.
- Renata Hall is proposing to drill a new water well on her parcel
- Both properties involved in subdivision have existing access to SR 108
- SR 108 has a 24ft cartway, 50ft ROW and is macadam
- Lot A is being created as a non building lot and to be a side lot addition
- Residual Tract Recently subdivided Plat Bk 414 PG 6
- We are asking for scale modification on this plan to a scale of 1in=60ft



PRELIMINARY/FINAL  
MINOR SUBDIVISION PARCEL 330-4F70-A8-000  
[GARRETT HALL PROPERTY]  
LOT REPLAT  
PARCEL 330-4F70-ABE/330-F70-ABD  
[RENATA HALL PROPERTY]  
WORTH TOWNSHIP, BUTLER COUNTY, PA  
DATED 01/01/2024  
REVISED 02/05/2024

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OWNER'S CERTIFICATION

I, Lewis Thomas, the undersigned, hereby declare that we are the owners of the property shown on this final plan, that the final plan and the proposed subdivision or land development were made with the owner's consent, and that the owners desire the final plan to be recorded as such.

In witness whereof I have set my hand and seal this 15 day of FEBRUARY, 2024

[Signature]  
(Owner signature)

ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA }  
COUNTY OF BUTLER } SS:

Before me, the subscriber, a Notary Public in and for said County and Commonwealth, personally appeared the above named Lewis Thomas

who acknowledged the foregoing final plan of subdivision or land development to be her act and deed and desired the same to be recorded as such.

WITNESS MY HAND AND NOTARIAL SEAL this 15 day of FEBRUARY, 2024.

[Signature] SEAL  
(Notary Public)

My commission expires the 14 day of APRIL, 2027.

Commonwealth of Pennsylvania - Notary Seal  
KARIN JACKSON - Notary Public  
Allegheny County  
My Commission Expires April 14, 2027  
Commission Number 1430931

MUNICIPAL APPROVAL

The Board of Supervisors of the Township of Venango hereby gives public notice that in approving this plan for recording purposes only, the Township of Venango assumes no obligations, legal or otherwise, expressed or implied, either to accept said streets as township streets, or roads, or grades, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in township streets or roads.

Reviewed by the TOWNSHIP of VENANGO BOARD OF SUPERVISORS this 5th day of MARCH, 2024.

[Signature] (Secretary) [Signature] (Chairman)  
SEAL

PROFESSIONAL CERTIFICATE

I, JEFFREY A. SHUTY, a Professional LAND SURVEYOR of the Commonwealth of Pennsylvania, do hereby certify that this plan shown hereon is true and correct to the standards of the Butler County Subdivision and Land Development Ordinance and that the survey and all angles, distances, and courses are accurately shown, that the monuments and markers as shown on the plat have been, or will be set, and to the best of my knowledge, that this plan correctly represents the lots, lands, streets, and highways as surveyed and plotted by me for the owners or agents.

[Signature] SEAL  
(Professional's Name)

SU075509  
(Professional's Registration No.)  
2/12/2024  
(Date)

BUTLER COUNTY PLANNING COMMISSION REVIEW

Approved by the Butler County Planning Commission this 8th day of JAN, 2024.

[Signature] (Secretary) [Signature] (Chairman)

See Comments On File at the Butler County Planning Commission

Plan Number: 23194

SEAL

PROOF OF RECORDING

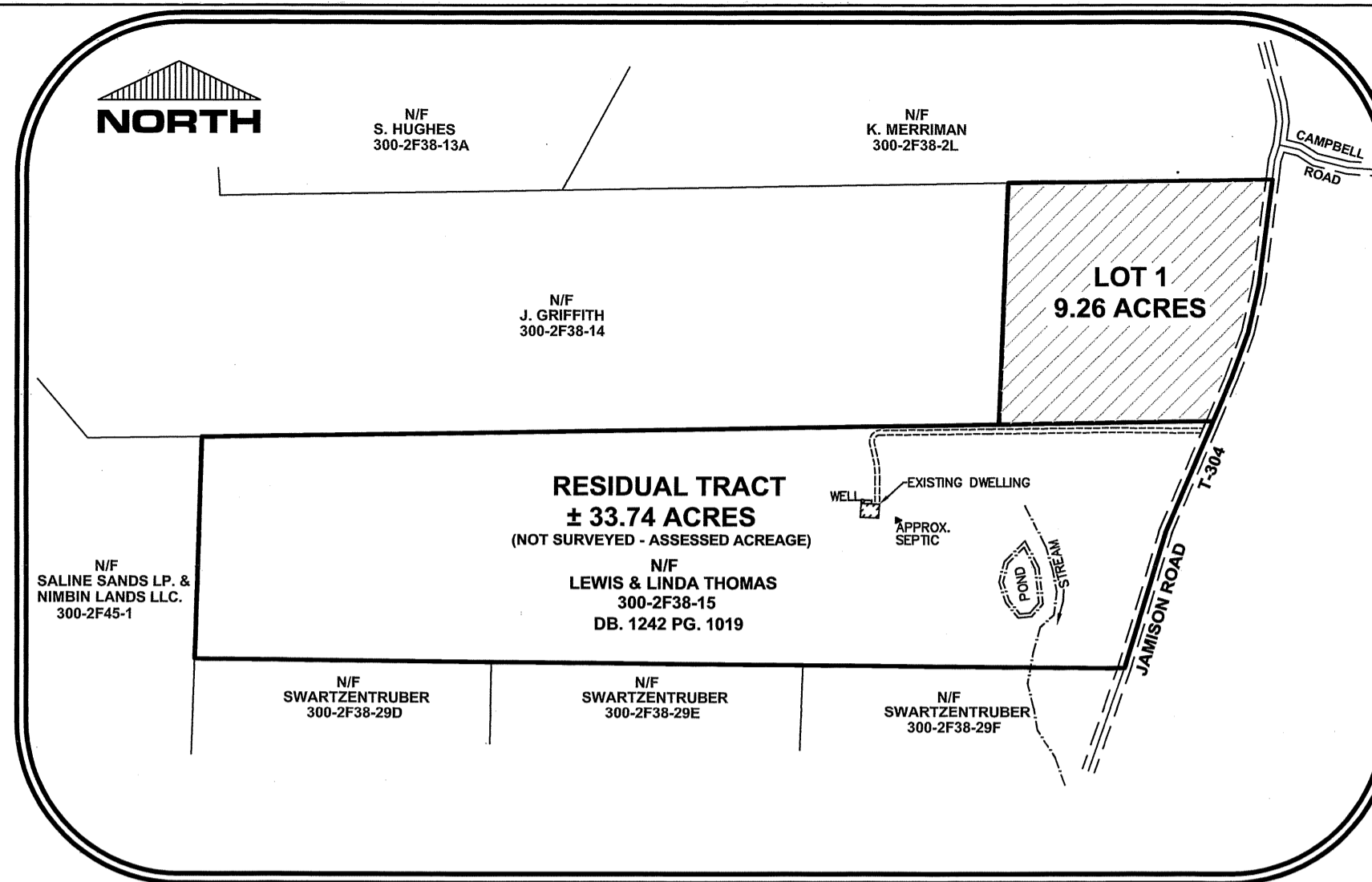
COMMONWEALTH OF PENNSYLVANIA }  
COUNTY OF BUTLER } SS:

Recorded in the office for the recording of deeds, plats and plans in said County, in Plan Book Volume 416 Page(s) 30  
Given under my hand and seal this 14th day of MARCH, 2024.

[Signature]  
(Recorder of Deeds)

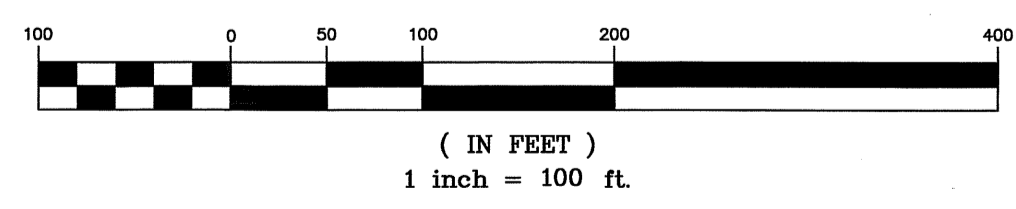
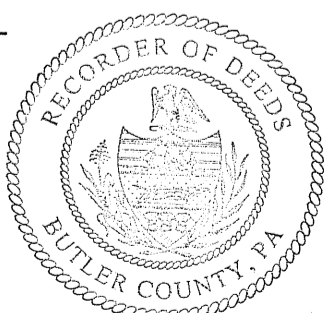
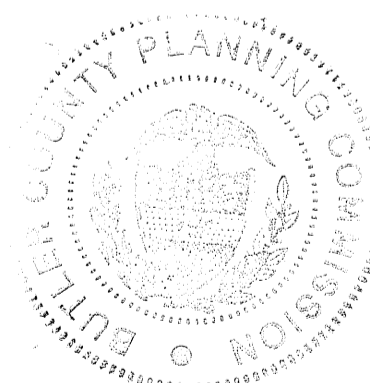
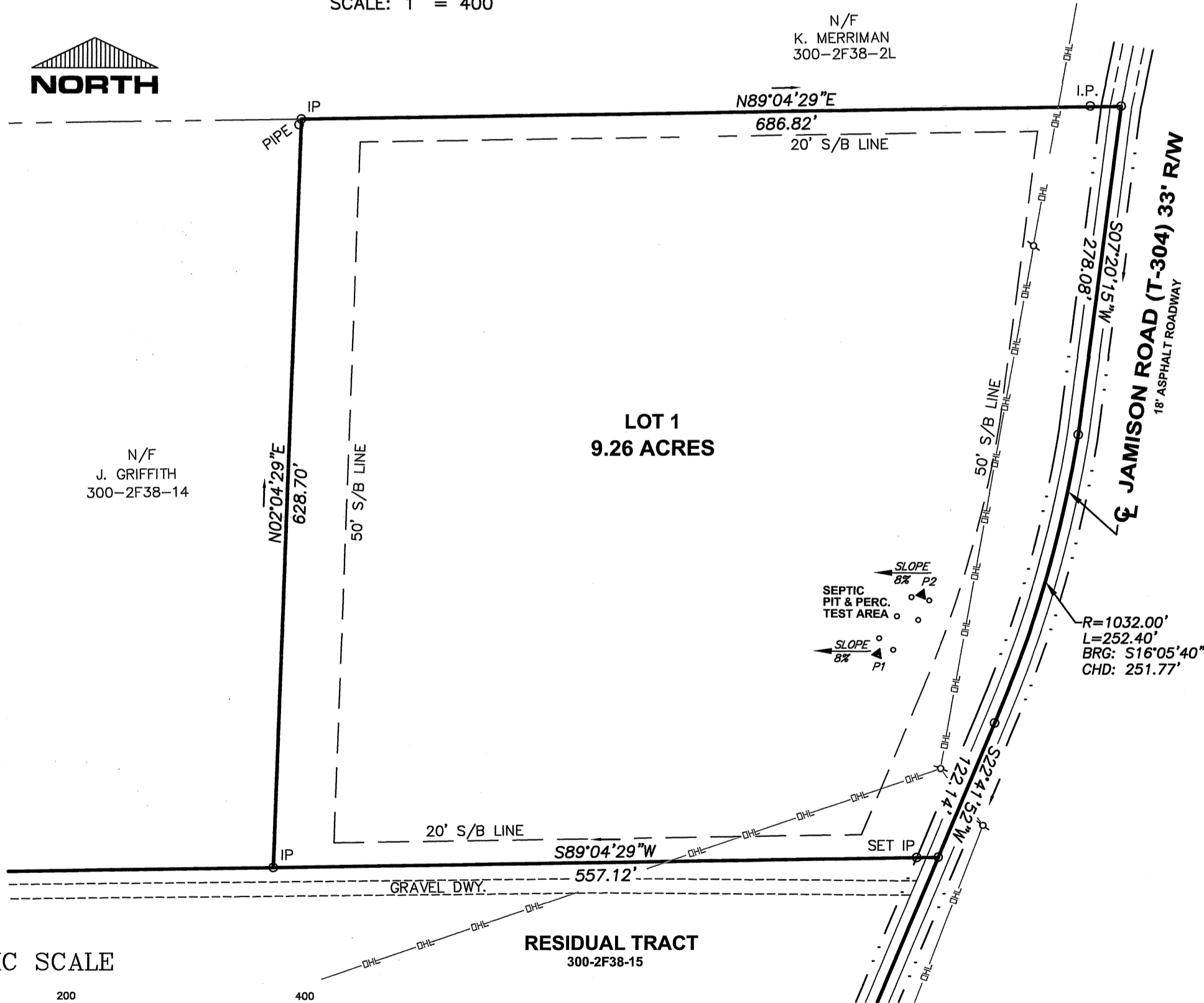
**MICHELE M. MUSTELLO**  
RECORDER OF DEEDS

My Commission Expires First Monday In January 2028



RESIDUAL TRACT MAP

SCALE: 1" = 400'



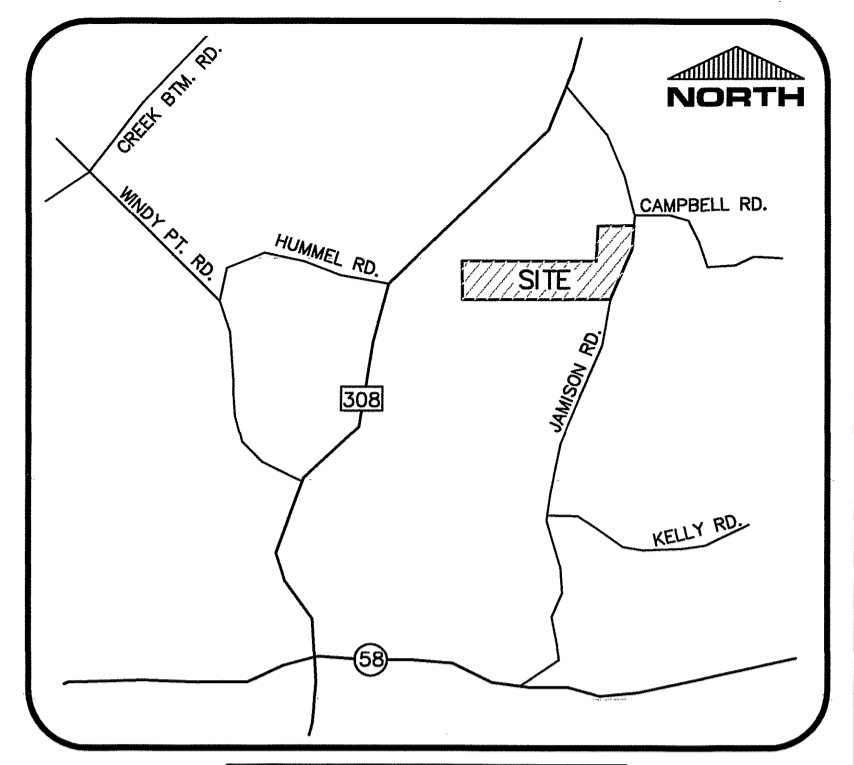
PLAN BOOK	PAGE
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**NORTHERN**  
SURVEYORS AND ASSOCIATES  
137 LINK LANE  
SLIPPERY ROCK, PA 16057  
(724)530-6889

Scale 1" = 100'  
Date FEB. 12, 2024  
Job No. 3659

MINOR SUBDIVISION - FINAL PLAN  
THOMAS - LOT 1 & RESIDUAL TRACT  
Situates in Venango Township  
Butler County, Pa.  
Prepared For  
**Lewis Thomas**  
Sheet No. 1 of 1



VICINITY MAP

NOT TO SCALE

Instr: 202403060003014  
Pgs: 1 F: \$45.00 3/6/2024 10:04 AM  
Michele Mustello T20240002492  
Butler County Recorder PA

TAX ID: 300-2F38-15  
DB. 1242 PG. 1019

TOTAL PLAN AREA ±43.00 ACRES  
LOT 1 9.26 ACRES  
RESIDUAL TRACT ±33.74 ACRES

OWNER:  
LEWIS THOMAS  
LINDA THOMAS(DECEASED)  
136 BUEHNER DR.  
PITTSBURGH, PA 15237

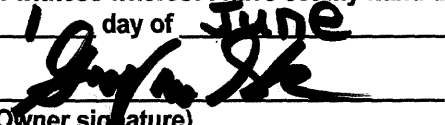
**OWNER'S CERTIFICATION**

I, Gregory & Michelle Steele  
 the undersigned, hereby declare that I is the owner of the property shown on this final plan, that the final plan and the proposed subdivision or land development were made with the owner's consent, and that the owner desire the final plan to be recorded as such.

Instr: 20240306003015  
 Pg: 1 F: \$45.00  
 Michele Mustello  
 Butler County Recorder PA  
 3/6/2024 10:04 A.M  
 T2024002492

NON-BUILDING WAIVER  
 RESIDUAL TRACT

"As of the date of this deed/plot plan recording, the property/subdivision described herein is and shall be dedicated for the express purpose of AGRICULTURE use. No portion of LOT 1 of this property/subdivision has been approved by MERCER TOWNSHIP (Municipality) or the Department of Environmental Protection (DEP) for the installation of sewage disposal facilities. No sewage permit will be issued for the installation, construction, connection to or use of any sewage collection, conveyance, treatment or disposal system (except for repairs to existing systems) unless the municipality and DEP have both approved sewage facilities planning for the property/subdivision described herein in accordance with the Pennsylvania Sewage Facilities Act (35 P.S. Sections 750.1 et seq.) and regulations promulgated thereunder. Prior to signing, executing, implementing or recording any sales contract or subdivision plan, any purchaser or subdivider of any portion of this property should contact appropriate officials of MERCER TOWNSHIP (municipality), which is charged with administering the Sewage Facilities Act to determine what sewage facilities planning is required and the procedure and requirements for obtaining appropriate permits or approvals."

In witness whereof I have set my hand and seal this  
1 day of June, 2023  
  
 (Owner signature)  
Michelle R. Steele  
 (Owner signature)

**ACKNOWLEDGEMENT**

COMMONWEALTH / STATE OF Maine }  
 COUNTY OF Lincoln } SS:

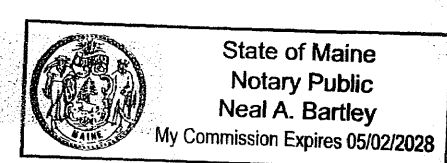
Before me, the subscriber, a Notary Public in and for said County and Commonwealth, personally appeared the above named  
Gregory & Michelle Steele

who acknowledged the foregoing final plan of subdivision or land development to be her act and deed and desired the same to be recorded as such.

WITNESS MY HAND AND NOTARIAL SEAL this 1 day of June, 2023

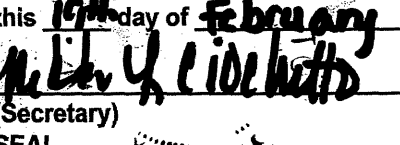

  
 (Notary Public)

My commission expires the 2 day of May, 2028



**MUNICIPAL APPROVAL**

The Board of Supervisors of the Township of MERCER hereby gives public notice that in approving this plan for recording purposes only, the Township of MERCER assumes no obligations, legal or otherwise, expressed or implied, either to accept said streets as township streets, or roads, or grades, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in township streets or roads.

Reviewed by the TOWNSHIP of MERCER BOARD OF SUPERVISORS  
 this 19 day of February, 2024  
  
 (Secretary) SEAL  
  
 (Chairman)

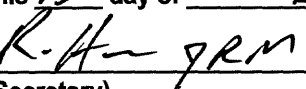
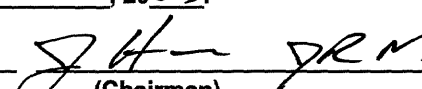
**PROFESSIONAL CERTIFICATE**

I, JEFFREY A. SHUTY, a Professional SURVEYOR  
 of the Commonwealth of Pennsylvania, do hereby certify that this plan shown hereon is true and correct to the standards of the Butler County Subdivision and Land Development Ordinance and that the survey and all angles, distances, and courses are accurately shown, that the monuments and markers as shown on the plat have been, or will be set, and to the best of my knowledge, that this plan correctly represents the lots, lands, streets, and highways as surveyed and plotted by me for the owners or agents.

  
 (Professional's Name) SEAL

SU075509  
 (Professional's Registration No.)  
5/18/2023  
 (Date)

**BUTLER COUNTY PLANNING COMMISSION REVIEW**

Approved by the Butler County Planning Commission  
 this 13 day of DEC, 2023  
  
 (Secretary)   
 (Chairman)

See Comments On File at the Butler County Planning Commission

Plan Number: 23081

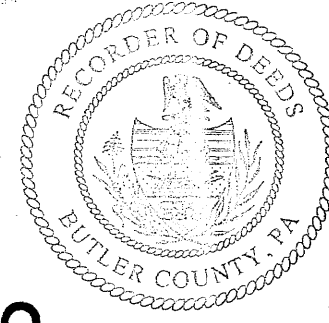
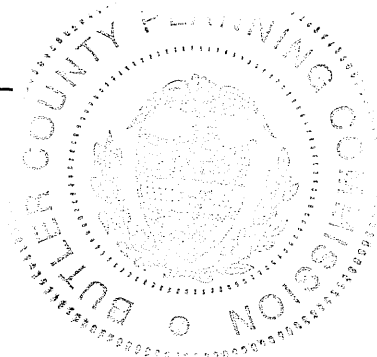
SEAL

**PROOF OF RECORDING**

COMMONWEALTH OF PENNSYLVANIA }  
 COUNTY OF BUTLER } SS:  
 Recorded in the office for the recording of deeds, plats and plans in said County, in  
 Plan Book Volume 416 Page(s) 31  
 Given under my hand and seal this 16 day of March, 2024.

  
 (Recorder of Deeds) **MICHELE M. MUSTELLO**  
 RECORDER OF DEEDS

My Commission Expires First Monday in January 2028



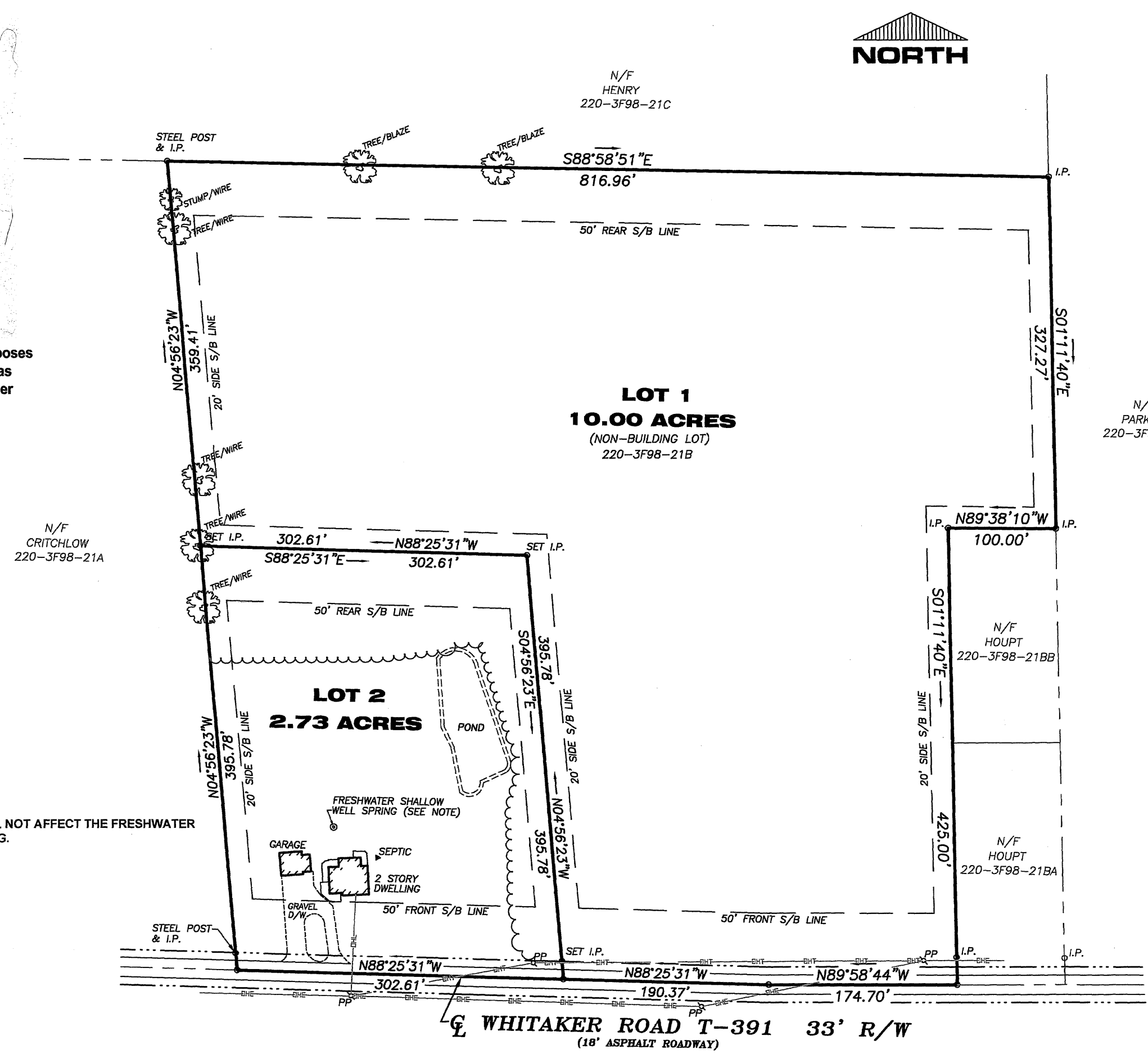
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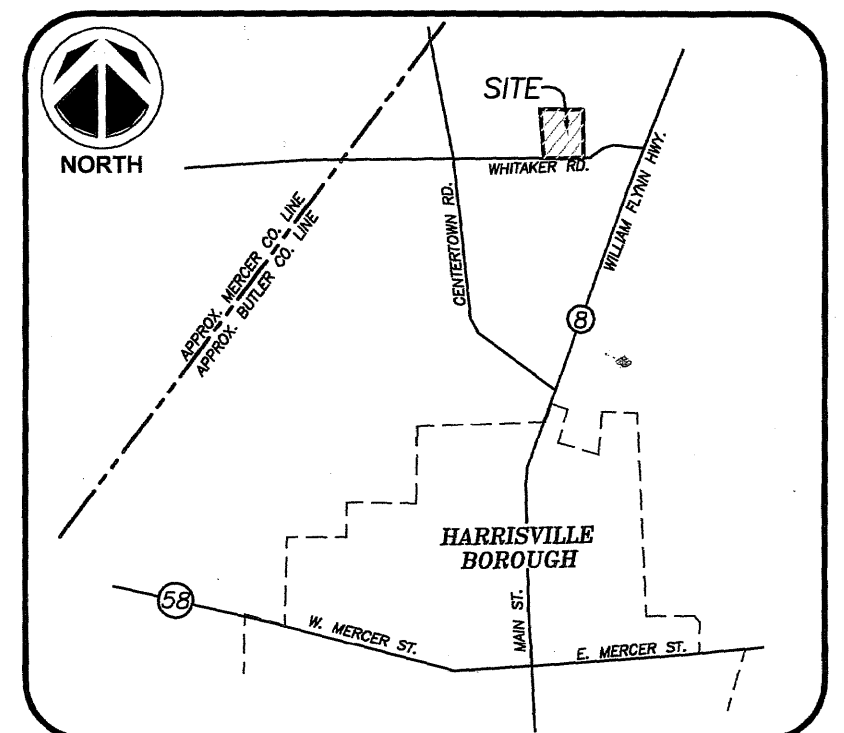
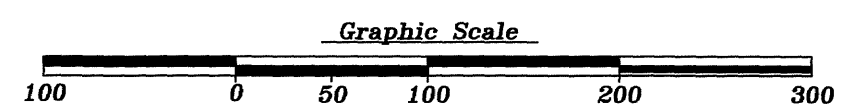
**NORTHERN**  
 SURVEYORS AND ASSOCIATES  
 137 LINK LANE  
 SLIPPERY ROCK, PA 16057  
 (724)530-6889  
 northernsurveyor@gmail.com

Scale 1" = 100'
Date April 12, 2023
Job No. 3320

MINOR SUBDIVISION - FINAL PLAN STEELE - LOT 1 & LOT 2	
Situate in Mercer Township Butler County, Pa.	
Prepared For	Gregory & Michelle Steele
Sheet No. 1 of 1	



NOTE:  
 THIS SUBDIVISION WILL NOT AFFECT THE FRESHWATER SHALLOW WELL SPRING.

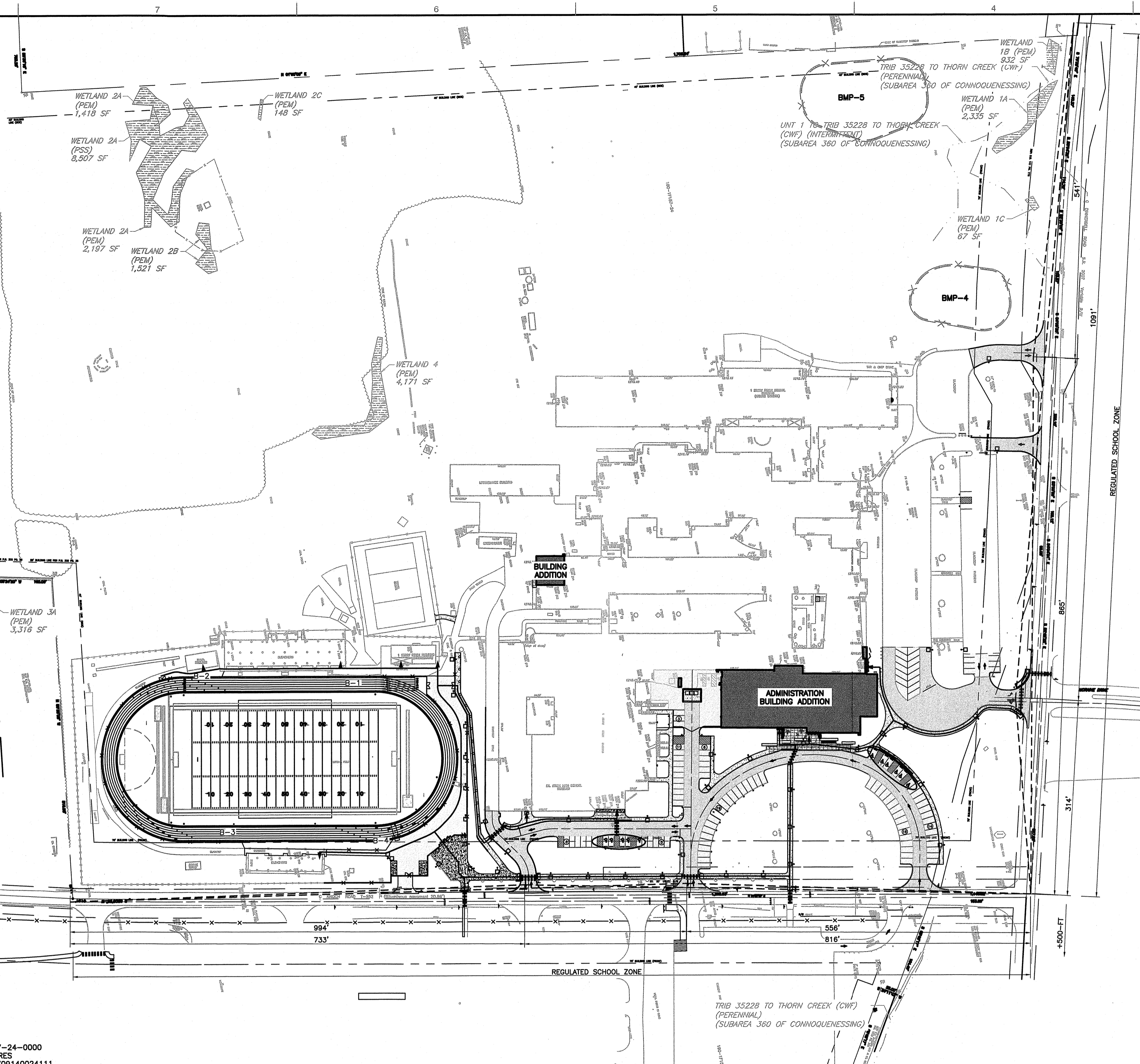


**VICINITY MAP**  
 NOT TO SCALE

TAX ID: 220-3F98-21B  
 INSTR: 202010090022396

TOTAL PLAN AREA 12.73 ACRES  
 LOT 1 10.00 ACRES  
 LOT 2 2.73 ACRES

**OWNER:**  
 GREGORY & MICHELLE STEELE  
 221 WHITAKER RD.  
 HARRISVILLE, PA 16038  
 724-355-6776



**LEGEND**

	EXISTING PROPERTY LINE		PROPOSED INTEGRAL CONCRETE CURB
	EXISTING EASEMENT		PROPOSED CONCRETE CURB
	EXISTING RIGHT-OF-WAY		PROPOSED DEPRESSED CONC. CURB
	EXISTING SWALE		PROPOSED BITUMINOUS CURB
	EXISTING FENCE LINE		PROPOSED CONCRETE
	EXISTING CURB		PROPOSED STRIPING
	EXISTING EDGE OF PAVEMENT		PROPOSED SIDEWALK
	EXISTING ASPHALT PAVEMENT		PROPOSED BUILDING
	EXISTING STRUCTURE		PROPOSED HEAVY DUTY ASPHALT
	EXISTING STREAM		PROPOSED LIGHT DUTY ASPHALT
	EXISTING WETLAND		PROPOSED FENCE
	PROPOSED EDGE OF PAVEMENT		PROPOSED TREELINE
			PROPOSED GUIDE RAIL

COMMONWEALTH OF PENNSYLVANIA : SS  
 COUNTY OF BUTLER : SS

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED THE ABOVE NAMED DONNA EAKIN WHO ACKNOWLEDGED THE FORGOING RELEASE AND DEDICATION AND PLAN OF SUBDIVISION TO BE HER ACT AND DEED AND DESIRED THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THE 7 DAY OF March, 2024.

MY COMMISSION EXPIRES THE 13 DAY OF November, 2024.

*Dianna C. Cebula* (SEAL)  
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal  
 Dianna L. Cebula, Notary Public  
 Allegheny County  
 My commission expires November 13, 2024  
 Commission number 1025034  
 Member, Pennsylvania Association of Notaries

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**OWNER'S ADOPTION**

KNOW ALL MEN BY THESE PRESENTS, THAT (I OR WE) Knock School District OF THE Knock School District (NAME OF OWNER OR OWNERS) (CITY, BOROUGH, TOWNSHIP) OF JEFFERSON COUNTY OF BUTLER STATE OF PENNSYLVANIA

FOR (MYSELF, OURSELVES), (MY, OUR) HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DO HEREBY ADOPT THIS AS (MY, OUR) PLAN OF SUBDIVISION OF (MY, OUR) PROPERTY, SITUATE IN THE TOWNSHIP OF JEFFERSON, COUNTY OF BUTLER AND COMMONWEALTH OF PENNSYLVANIA, AND FOR OTHER ADVANTAGES ACCRUING TO (ME, US), DO HEREBY DEDICATE FOR PUBLIC USE FOR HIGHWAY, DRAINAGE, SEWAGE AND UTILITY PURPOSES, ALL DRIVES, ROADS, STREETS, LANDS, RIGHTS-OF-WAY, EASEMENTS, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN OPENED THROUGH LEGAL PROCEEDINGS AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS, RIGHT-OF-WAY AND EASEMENTS BY SAID COUNTY OF BUTLER AND TOWNSHIP OF JEFFERSON.

(I OR WE) Don Eakin Board President Knock School District (NAME OF OWNER OR OWNERS)

HEREBY AGREE TO AND BY THESE PRESENTS DO RELEASE AND FOREVER DISCHARGE SAID COUNTY OF BUTLER AND SAID TOWNSHIP OF JEFFERSON, THEIR SUCCESSORS OR ASSIGNS, FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID COUNTY FOR PUBLIC HIGHWAYS, AND OTHER PUBLIC USES AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED, THE DEDICATION AND RELEASE SHALL BE BINDING UPON

Don Eakin Board President (NAME OF OWNER OR OWNERS) (MY, OUR) HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, (I OR WE) HERETO SET (MY, OUR) HAND(S) AND SEAL(S) THIS 7<sup>th</sup> DAY OF MARCH, A.D., 2024

ATTEST: Don Eakin Board President (SEAL) (OWNER OR OWNERS)

**OWNER'S ACCEPTANCE OF RESPONSIBILITY FOR PROVIDING STORMWATER DRAINAGE FACILITIES AND CONTROL OF STORMWATER DRAINAGE**

KNOW ALL MEN BY THESE PRESENTS, THAT (I OR WE) Knock School District (NAME OF OWNER OR OWNERS) OF THE TOWNSHIP OF JEFFERSON, COUNTY OF BUTLER, STATE OF PENNSYLVANIA, FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS AND FOR OUR GRANTEES AND PURCHASERS DO HEREBY ACCEPT FULL AND COMPLETE RESPONSIBILITY, LIABILITY, EXPENSE AND PROVISION OF FACILITIES FOR THE CONTROL OF STORMWATER DRAINAGE OVER, ACROSS AND THROUGH THIS SUBDIVISION OF LAND UNTIL SUCH TIME AS (I OR WE), OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS CONSTRUCT STORMWATER DRAINAGE FACILITIES IN ACCORDANCE WITH TOWNSHIP SPECIFICATIONS AND REQUIREMENTS AND THE SAME IS OFFICIALLY ACCEPTED BY ACTION OF THE BOARD OF SUPERVISORS AND UNTIL SUCH FORMAL ACCEPTANCE (I OR WE) FOR OURSELVES, OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS DO HEREBY RELEASE THE TOWNSHIP OF JEFFERSON FROM ANY RESPONSIBILITY IN CONNECTION THEREWITH. THIS ACCEPTANCE OF RESPONSIBILITY SHALL BE BINDING UPON

OUR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, AND ALL PURCHASERS OF LOTS IN THIS PLAN OF SUBDIVISION. IN WITNESS WHEREOF, (I OR WE) HERETO SET OUR HAND AND SEALS THIS 7<sup>th</sup> DAY OF MARCH, A.D., 2024

ATTEST: Don Eakin Board President (SEAL) (OWNER OR OWNERS)

WITNESS MY HAND AND NOTARIAL SEAL THIS 7 DAY OF March, A.D., 2024

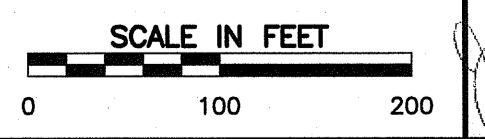
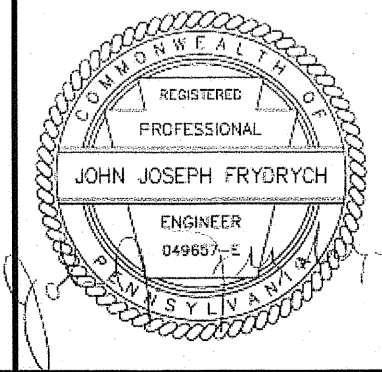
Commonwealth of Pennsylvania - Notary Seal  
 Diane L. Cebula, Notary Public  
 Allegheny County  
 My commission expires November 13, 2024  
 Commission number 1025034  
 Member, Pennsylvania Association of Notaries

*Dianna C. Cebula* (SEAL)  
 (NOTARY PUBLIC)

**BUTLER COUNTY PLANNING COMMISSION REVIEW**

(THE COUNTY PLANNING COMMISSION IS REQUIRED TO REVIEW ALL SUBDIVISION PLANS.) REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 16<sup>th</sup> DAY OF Nov., 2024

*R. H. [Signature]* SECRETARY  
*J. H. [Signature]* CHAIRMAN



**SITE ADDRESS**  
 345 KNOCH ROAD  
 SAXONBURG, PA 16056

**PARCEL**  
 190-1F157-24-0000  
 110.70 ACRES  
 DEED 200709140024111

**\*AREA AND BULK REQUIREMENTS**

	REQUIRED:	PROPOSED:
MINIMUM LOT SIZE (ACRES):	1-ACRE MINIMUM	110.41 ACRES (EXISTING)
SETBACK - FRONT:	75-FT	> 75-FT
SETBACK - SIDE (TWO REQUIRED):	40-FT	> 40-FT
SETBACK - REAR:	60-FT	> 60-FT
CORNER LOT	60-FT	N/A
OFF STREET LOADING BERTH:	40 FT. X 60 FT.	1

**HIGHWAY OCCUPANCY PERMIT REQUIREMENT**

THIS PLAN REQUIRES A HIGHWAY OCCUPANCY PERMIT PURSUANT TO §420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW." APPROVALS OF THE JEFFERSON TOWNSHIP PLANNING COMMISSION AND BOARD OF SUPERVISORS ARE CONDITIONAL, SUBJECT TO ACTION OF THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PURSUANT TO APPLICATION FOR A HIGHWAY OCCUPANCY PERMIT.

**APPROVAL BY TOWNSHIP PLANNING COMMISSION**

REVIEWED AND APPROVED BY THE JEFFERSON TOWNSHIP PLANNING COMMISSION THIS 20<sup>th</sup> DAY OF NOVEMBER, 2023

*Michelle Mustello* SECRETARY  
*Leo J. [Signature]* CHAIRMAN (SEAL)

**APPROVAL BY THE JEFFERSON TOWNSHIP BOARD OF SUPERVISORS**

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF JEFFERSON, BUTLER COUNTY, PENNSYLVANIA HEREBY APPROVES THIS PLAN OF SUBDIVISION FOR RECORDING PURPOSES ONLY. THIS APPROVAL BY JEFFERSON TOWNSHIP DOES NOT CONSTITUTE AN ACCEPTANCE OF THE ROADS, STREETS, STORM AND SANITARY DRAINAGE FACILITIES, EASEMENTS OR RIGHT-OF-WAYS, WATER MAINS OR ANY OTHER SERVICES OR IMPROVEMENTS SHOWN ON THIS PLAN, NOR AN ASSUMPTION OF MAINTENANCE RESPONSIBILITIES, NOR WILL THE SAME BE ACCEPTED OR MAINTAINED UNTIL CONSTRUCTED IN ACCORDANCE WITH ALL TOWNSHIP SPECIFICATIONS AND REQUIREMENTS AND OFFICIALLY ACCEPTED BY ACTION OF THE BOARD OF SUPERVISORS. THIS APPROVAL SHALL IN NO WAY BE DEEMED AN AUTHORIZATION TO COMMENCE CONSTRUCTION OR RELATED ACTIVITIES. THIS PLAN OF SUBDIVISION APPROVED BY RESOLUTION OF THE BOARD OF SUPERVISORS OF JEFFERSON TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, ON THIS 11<sup>th</sup> DAY OF DECEMBER, 2023

ATTEST: *Jan J. [Signature]* SECRETARY  
*Michelle Cebula* CHAIRMAN, BOARD OF SUPERVISORS (SEAL)

**RECOMMENDATION OF THE JEFFERSON TOWNSHIP PLANNING COMMISSION**

THIS PLAN OF LOTS HAS BEEN REVIEWED AND APPROVAL RECOMMENDED BY THE JEFFERSON TOWNSHIP PLANNING COMMISSION THIS 20<sup>th</sup> DAY OF NOVEMBER, 2023, SUBJECT TO THE PROVISIONS AND/OR CONDITIONS IN THE PLANNING COMMISSION'S LETTER TO THE BOARD OF SUPERVISORS DATED 20<sup>th</sup> NOVEMBER, 2023

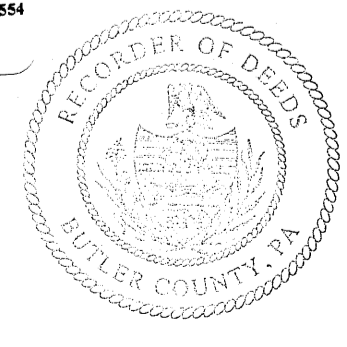
*Michelle Mustello* SECRETARY  
*Leo J. [Signature]* CHAIRMAN

**PROOF OF RECORDING**

COMMONWEALTH OF PENNSYLVANIA : SS  
 COUNTY OF BUTLER : SS

RECORDER IN THE OFFICE FOR THE RECORDING OF DEEDS, PLATS, ETC., IN SAID COUNTY, IN PLAN BOOK VOLUME 416, PAGE 32, GIVEN UNDER MY HAND AND SEAL THIS 7<sup>th</sup> DAY OF March, 2024

*Michelle M. Mustello*  
 RECORDER OF DEEDS



**REVISION RECORD**

NO.	DATE	DESCRIPTION

**Civil & Environmental Consultants, Inc.**  
 4350 Northern Pike - Suite 141 - Monroeville, PA 15146  
 724-327-5200 • 800-898-3610  
 www.cesinc.com

**KNOCH SCHOOL DISTRICT  
 KNOCH HIGH SCHOOL  
 RENOVATIONS & ADDITIONS  
 JEFFERSON TOWNSHIP  
 BUTLER COUNTY, PENNSYLVANIA**

**SITE PLAN**

VLP DATE: 10/25/2023 DRAWN BY: JLF JLF PROJECT NO.: 314-178 APPROVED BY: JLF

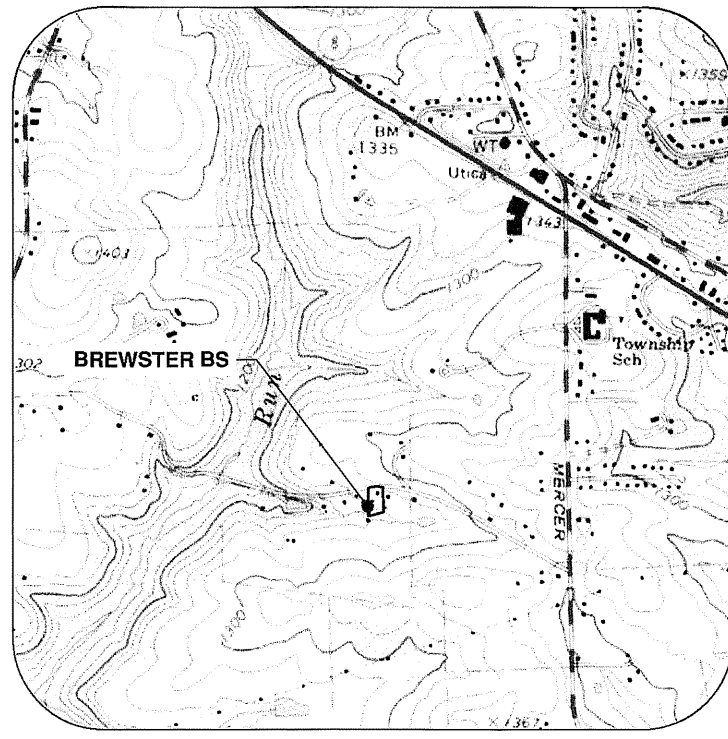
DWG SCALE: 1"=100' CHECKED BY: JLF

EXHIBIT: **A**

SHEET 1 OF 1

P:\2024\001\144-178-1-001\001\144-178-1-001-001.dwg (1:100) 1/14/24 10:48:00 AM - (mst) - 2/5/2024 2:12 PM  
 P:\2024\001\144-178-1-001\001\144-178-1-001-001.dwg (1:100) 1/14/24 10:48:00 AM - (mst) - 2/5/2024 2:12 PM





LOCATION MAP
PARENT TRACT
SCALE: 1"=2000'

AREA TABLE

Table with 2 columns: Description and Area. Includes rows for Current Area of Lot/Block, Less Area to be Conveyed, and Remaining Land.

PLAN INTENT

THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE A PORTION OF TAX PARCEL 060-2F104-BK-0000 OWNED BY LAWRENCE W. & CHRISTINA M. LIGAS...

OWNER

BUTLER AREA SEWER AUTHORITY
100 LITMAN ROAD
BUTLER, PA 16001

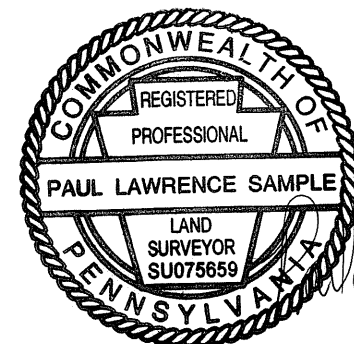
ZONING DISTRICT R-1

R-1 SINGLE FAMILY RESIDENTIAL
W/ CORE INFILL OVERLAY DISTRICT
MINIMUM LOT FRONTAGE: 100'

PROFESSIONAL LAND SURVEYOR CERTIFICATE

I, PAUL L. SAMPLE, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED...

Paul L. Sample
(SURVEYOR'S NAME)
SU075659
(SURVEYOR'S REGISTRATION NO.)
2-12-2024
(SEAL)

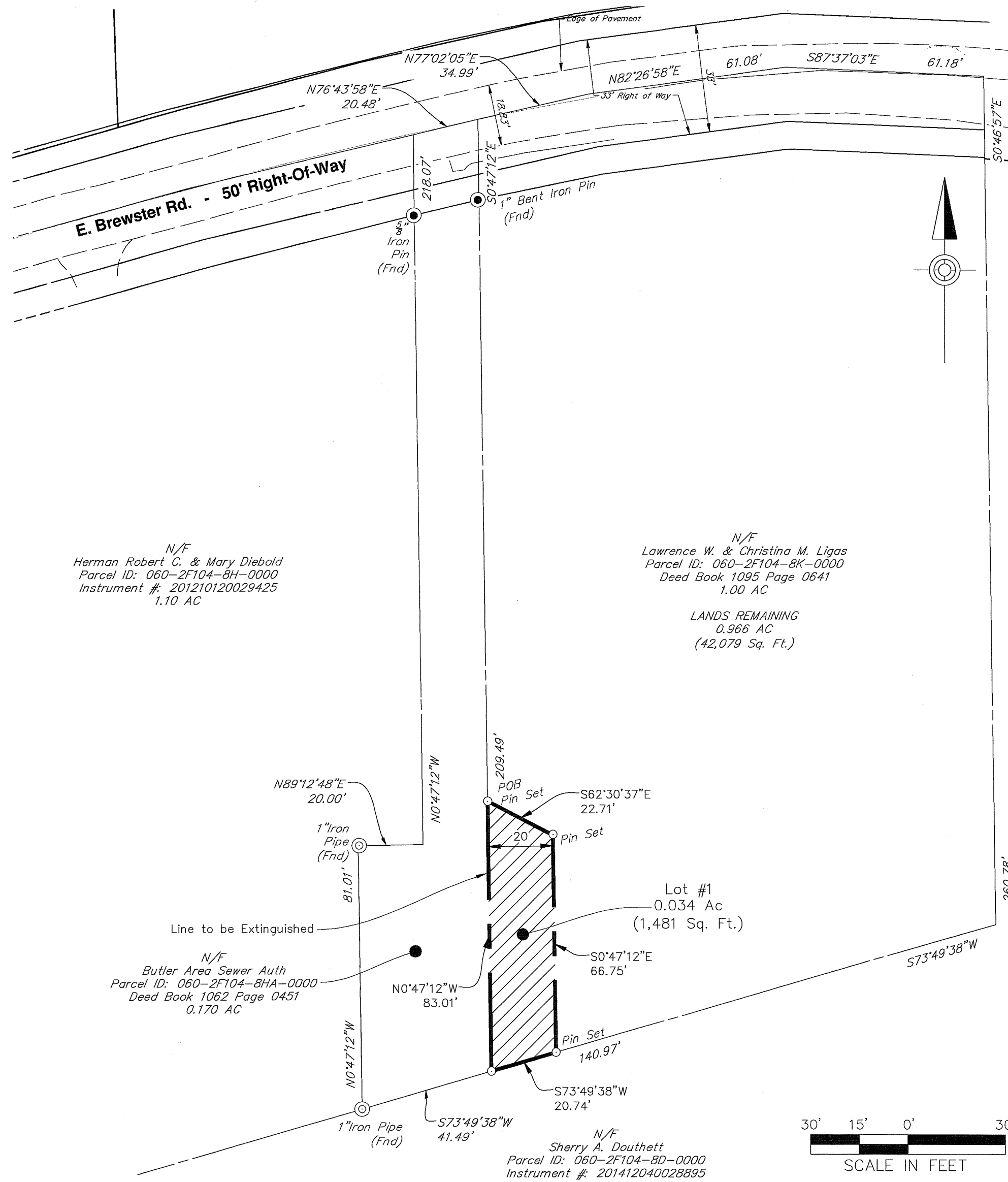


EXISTING LEGEND

Legend table with symbols for Iron Pin To Be Set, Iron Pin, Property Line, Legal Right-of-Way Line, Setback Line, Existing Easement, Floodplain, Existing Stream Line, Road Centerline, Existing Edge of Road, Existing Edge of Gravel, Existing Guide Rail, Existing Fence, and Denotes area to be consolidated with the existing parcel.

SURVEY NOTES

- 1. THIS SUBDIVISION PLAN IS BASED ON FIELD SURVEY PERFORMED BY HERBERT, ROWLAND & GRUBIC, INC. ON JULY 13-14, 2021. INFORMATION COMPILED BY RTK-GPS SURVEY.
2. ALL INFORMATION SHOWN HEREON IS BASED UPON THE PENNSYLVANIA STATE PLANE SOUTH ZONE, 3702, NORTH AMERICAN DATUM OF 1983 (NAD83) AND THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).



SCALE IN FEET

TITLE CLAUSE (NO MORTGAGE)

I, LAWRENCE W. LIGAS OWNER OF THE LANDS SHOWN HEREON, DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF LAWRENCE W. & CHRISTINA M. LIGAS AS RECORDED IN DEED BOOK VOLUME 1085 PAGE 641, RECORDER OF DEEDS OFFICE. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR ENCUMBRANCE AGAINST THIS PROPERTY.

TITLE CLAUSE (NO MORTGAGE)

I, PAUL F. SYBERT OWNER OF THE LANDS SHOWN HEREON, DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF THE BUTLER AREA SEWER AUTHORITY AS RECORDED IN DEED BOOK VOLUME 1082 PAGE 451, RECORDER OF DEEDS OFFICE. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR ENCUMBRANCE AGAINST THIS PROPERTY.

LOCAL AUTHORITY STIPULATION

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CENTER HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

(SECRETARY) (PRESIDENT) (SEAL)

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER }
RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, PLATS AND PLANS IN SAID BUTLER COUNTY, IN PLAN BOOK VOLUME 416 PAGE(S) 33-34 GIVEN UNDER MY HAND AND SEAL THIS 12th DAY OF March 2024

MICHELE M. MUSTELLO
RECORDER OF DEEDS

My Commission Expires First Monday In January 2028

CORPORATION ADOPTION

KNOW ALL MEN BY THESE PRESENTS, THAT BUTLER AREA SEWER AUTHORITY, A CORPORATION DULY REGISTERED UNDER THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, TOWNSHIP OF CENTER, COUNTY OF BUTLER, FOR OURSELVES, HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DOES HEREBY ADOPT THIS PLAN FOR ITS PROPERTY SITUATE IN CENTER TOWNSHIP AND DOES HEREBY DEDICATE FOREVER FOR PUBLIC USE FOR HIGHWAY AND UTILITY PURPOSES...

WE FURTHER AGREE THAT SAID PLAN IS APPROVED BY THE TOWNSHIP OF CENTER FOR "PLANNING PURPOSES ONLY" AND THAT SAID TOWNSHIP SHALL NOT ISSUE ANY "BUILDING PERMITS" FOR LOTS CONTAINED HEREIN...

ATTEST: Virginia Forderber (NOTARY PUBLIC), Paul F. Sybert (OWNER)

CORPORATION ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER

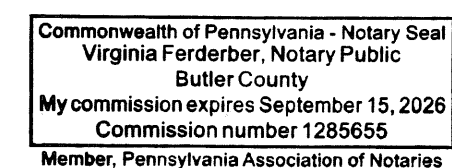
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED PAUL F. SYBERT OF THE BUTLER AREA SEWER AUTHORITY, WHO DULY SWORN, DEPOSETH AND SAITH THAT HE WAS PERSONALLY PRESENT AT THE EXECUTION OF THE ADOPTION, RELEASE AND DEDICATION AND SAW THE COMMON AND CORPORATE SEAL DULY AFFIXED...

(TITLE OF OFFICER) CHAIRMAN

SWORN TO AND SUBSCRIBED BEFORE ME THIS DAY, WITNESS MY HAND AND NOTARIAL SEAL THIS 13th DAY OF February 2024

MY COMMISSION EXPIRES THE 15th DAY OF September 2026

Virginia Forderber (NOTARY PUBLIC)



OWNERS ADOPTION

KNOW ALL MEN BY THESE PRESENTS, THAT LAWRENCE W. LIGAS, OF THE COMMONWEALTH OF PENNSYLVANIA, TOWNSHIP OF CENTER, COUNTY OF BUTLER, FOR OURSELVES, HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DOES HEREBY ADOPT THIS PLAN FOR ITS PROPERTY SITUATE IN CENTER TOWNSHIP AND DOES HEREBY DEDICATE FOREVER FOR PUBLIC USE FOR HIGHWAY AND UTILITY PURPOSES...

WE FURTHER AGREE THAT SAID PLAN IS APPROVED BY THE TOWNSHIP OF CENTER FOR "PLANNING PURPOSES ONLY" AND THAT SAID TOWNSHIP SHALL NOT ISSUE ANY "BUILDING PERMITS" FOR LOTS CONTAINED HEREIN...

ATTEST: Virginia Forderber (NOTARY PUBLIC), Lawrence W. Ligas (OWNER)

INDIVIDUAL ACKNOWLEDGEMENT

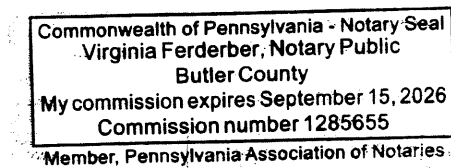
COMMONWEALTH OF PENNSYLVANIA) SS:
COUNTY OF BUTLER

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED THE ABOVE NAMED LAWRENCE W. LIGAS AND ACKNOWLEDGE THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE HIS ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 13th DAY OF February 2024

MY COMMISSION EXPIRES THE 15th DAY OF September 2026

Virginia Forderber (NOTARY PUBLIC)



MUNICIPAL COUNTY-PLANNING COMMISSION REVIEW

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 20th DAY OF December 2023

Secretary and Chairman signatures.

BUTLER CO PLANNING COMMISSION APPROVAL

APPROVED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 20th DAY OF SEPT 2023

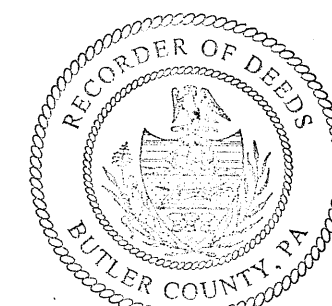
Secretary and Chairman signatures.

SEE COMMENTS ON FILE AT THE BUTLER COUNTY PLANNING COMMISSION PLAN NUMBER: 23156 (SEAL)

MUNICIPAL APPROVAL

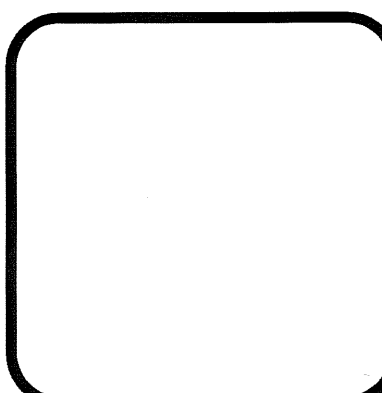
REVIEWED AND APPROVED (OR REVIEWED WITH COMMENTS) BY THE BOARD OF SUPERVISORS THIS 28th DAY OF February 2024

Secretary and Chairman signatures.



PLAN BOOK 416, PAGE 33

Revision table with columns: NO., REVISION, DATE, BY.

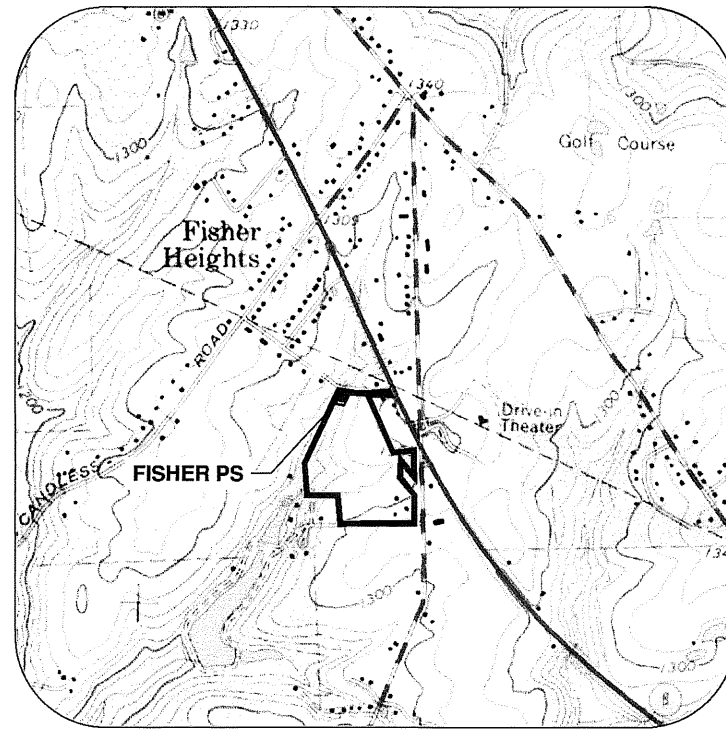


HRG Engineering & Related Services logo and contact information: 220 West Kensing Drive, Suite 100, Cranberry Township, PA 16066.

BUTLER AREA SEWER AUTHORITY logo and address: 100 LITMAN ROAD, BUTLER PENNSYLVANIA 16001.

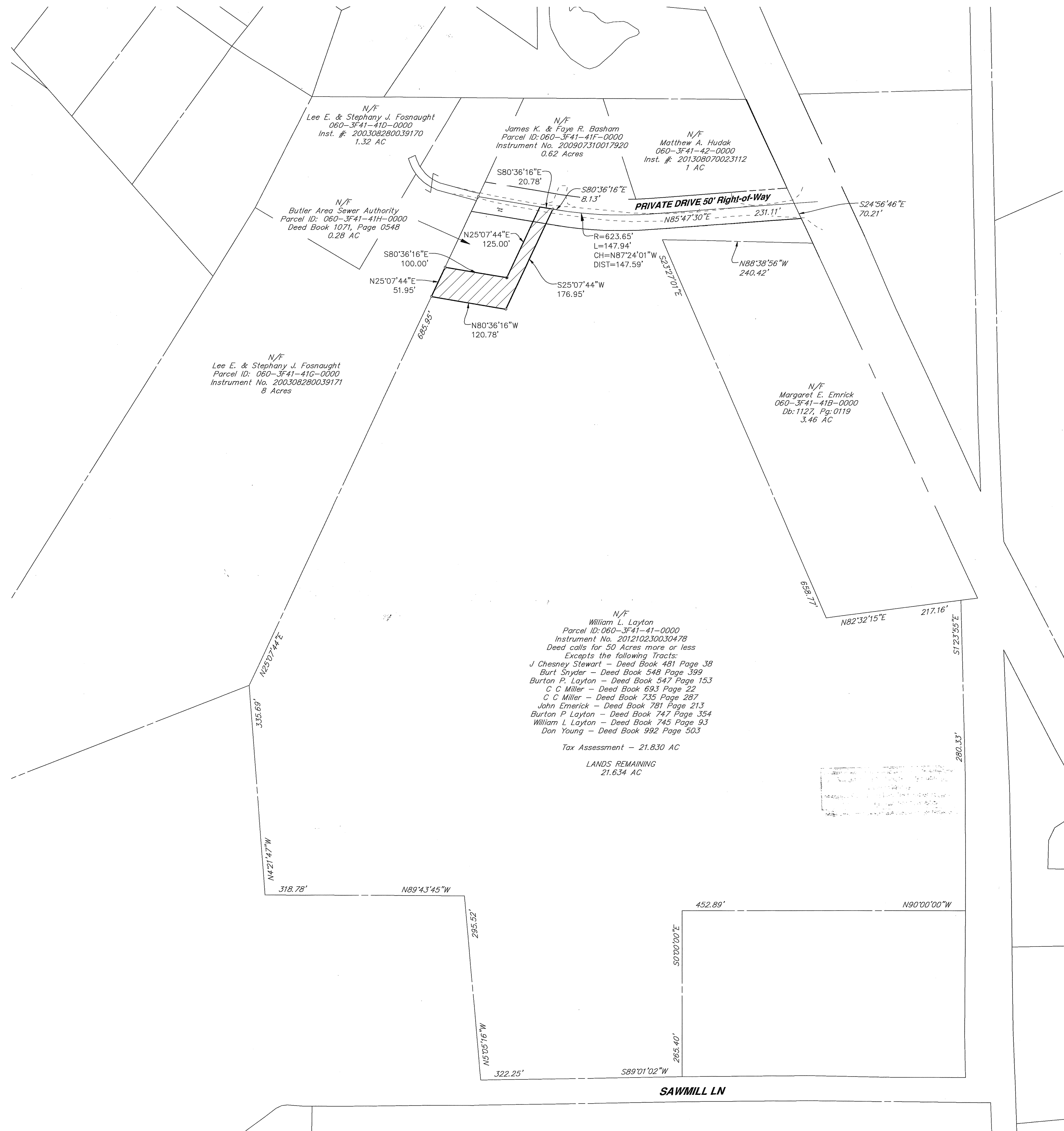
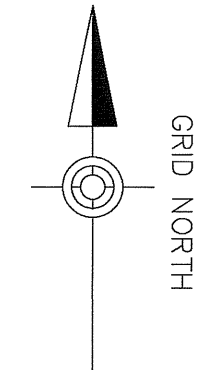
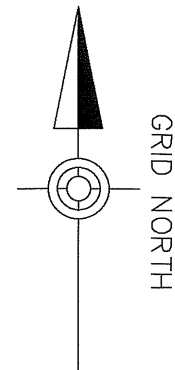
MINOR SUBDIVISION / LOT CONSOLIDATION FINAL PLAN FOR BREWSTER BOOSTER STATION, BUTLER AREA SEWER AUTHORITY.

PROJECT INFORMATION: PROJ. MGR. - JDK, DESIGN - CADD - DMH, CHECKED - PLS, SCALE - AS SHOWN, DATE - JANUARY 2024, DRAWING NO. SD-1, SHEET NO. 1 OF 1, PROJECT R004192.0430.



**LOCATION MAP**

PARENT TRACT  
SCALE: 1" = 2000'  
MOUNT CHESTNUT, PA. 7.5' MINUTE  
USGS QUADRANGLE



**SURVEY NOTES :**

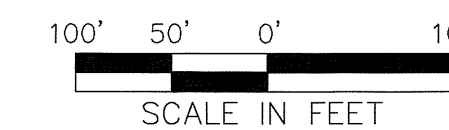
1. THIS SUBDIVISION PLAN IS BASED ON FIELD SURVEY PERFORMED BY HERBERT, ROWLAND & GRUBIC, INC. ON JULY 21-22, 2021. INFORMATION COMPILED BY RTK-GPS SURVEY.
2. ALL INFORMATION SHOWN HEREON IS BASED UPON THE PENNSYLVANIA STATE PLANE SOUTH ZONE, 3702, NORTH AMERICAN DATUM OF 1983 (NAD83) AND THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
3. THE LOCATIONS OF UTILITIES AS SHOWN HEREON ARE BASED ON ABOVEGROUND FEATURES, FIELD OBSERVATIONS/SURVEY, AND RECORD DRAWINGS PROVIDED BY UTILITY COMPANIES. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITY LINES PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
4. THE SUBJECT PROPERTY IS LOCATED IN ZONE X; AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FLOOD INSURANCE MAP NUMBER 42019C0290D, DATED AUGUST 02, 2018.
5. THE PARENT TRACT DEED WAS NOT PLOTTABLE, WAS NOT SURVEYED IN ITS ENTIRETY AND NO RESIDUAL TRACT DESCRIPTION IS POSSIBLE DUE TO THE NINE (9) LESS AND EXCEPTS PARCELS TAKEN FROM THE PARENT TRACT. BEARING AND DISTANCE LABELS OF THE RESIDUAL TRACT DEPICTED HEREON BASED UPON BUTLER COUNTY, PA GIS DATA.

**EXISTING LEGEND**

- Iron Pin / Mag PK To Be Set
- Iron Pin
- Property Line
- Legal Right-of-Way Line
- Setback Line
- Existing Easement
- Floodplain
- Existing Stream Line
- Road Centerline
- Existing Edge of Road
- Existing Edge of Gravel
- Existing Guide Rail
- Existing Fence
- ▨ Denotes area to be consolidated with the existing parcel

**PLAN**

SCALE: 1" = 100'



PLAN BOOK	PAGE
<b>416</b>	<b>34</b>

NO.	REVISION	DATE	BY
2	Address September residual tract comments	10-5-2023	PLS
1	Address July 27, 2023 comments	7-31-2023	PLS

**HRG**  
Herbert, Rowland & Grubic, Inc.  
Engineering & Related Services  
AN EMPLOYEE-OWNED COMPANY

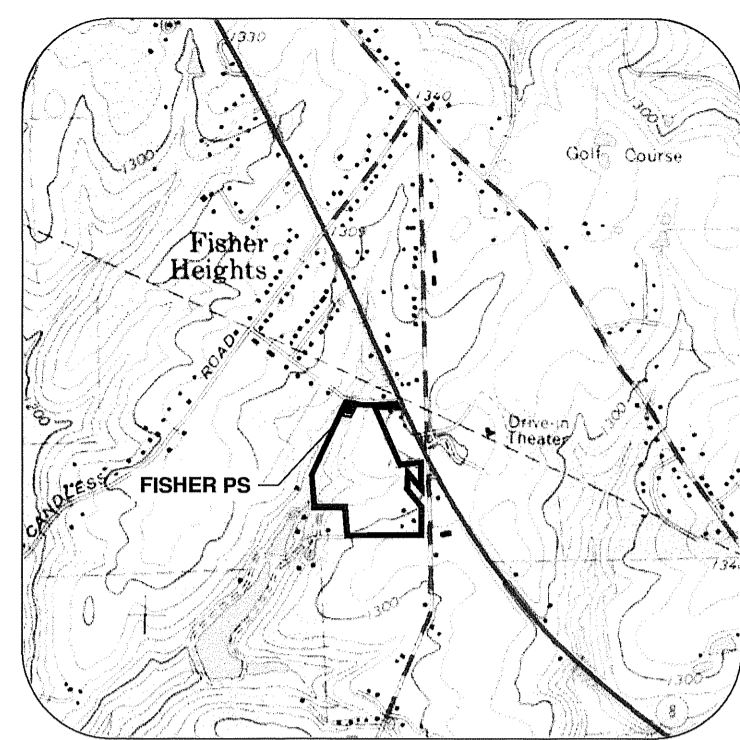
220 West Kensing Drive, Suite 100  
Cranberry Township, PA 16066  
(724) 779-4771  
hrg@hrg-inc.com  
www.hrg-inc.com

**BUTLER AREA SEWER AUTHORITY**  
100 LITMAN ROAD  
BUTLER PENNSYLVANIA 16001

**MINOR SUBDIVISION / LOT CONSOLIDATION FINAL PLAN**  
FOR  
**FISHER PUMP STATION**  
**BUTLER AREA SEWER AUTHORITY**  
CENTER TOWNSHIP BUTLER COUNTY PENNSYLVANIA

PROJ. MGR. - JDK  
DESIGN-  
CADD- DMH  
CHECKED-PLS  
SCALE- AS SHOWN  
DATE- JANUARY 2024

DRAWING NO.  
**SD-1**  
SHEET NO.  
**2 OF 2**  
PROJECT R004192.0430



**LOCATION MAP**

PARENT TRACT  
SCALE: 1"=2000'  
MOUNT CHESTNUT, PA 7.5' MINUTE USGS QUADRANGLE

**AREA TABLE**

Table with 2 columns: Description and Area. Includes rows for Current Area Lot/Block, Less Area to be Conveyed, and Total Area of Consolidated Lot.

**PLAN INTENT**

THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE A PORTION OF TAX PARCEL 060-3F41-41-0000, OWNED BY WILLIAM L. LAYTON, AND CONVEY THAT PORTION TO BUTLER AREA SEWER AUTHORITY TO CREATE LOT #1. THEN TO CONSOLIDATE LOT #1 WITH THE EXISTING PARCEL 060-3F41-41H.

NO SITE DEVELOPMENT IS PROPOSED THROUGH THE SUBMISSION OF THIS PLAN.

**OWNER**

BUTLER AREA SEWER AUTHORITY  
100 LITMAN ROAD  
BUTLER, PA 16001  
PHONE: (724) 282-7656  
CONTACT: DUANE McKEE  
EMAIL: dmckee@basapa.org

**ZONING DISTRICT R-1A**

R-1A SINGLE FAMILY RESIDENTIAL-AGRICULTURE  
W/ RURAL RESOURCE OVERLAY DISTRICT  
MINIMUM LOT FRONTAGE: 125'  
MINIMUM LOT AREA: 1 Acre (43,560 Sq.Ft.)  
MAXIMUM LOT COVERAGE: 25%  
MINIMUM SETBACKS:  
FRONT-50 FT.  
SIDES-30 FT.  
REAR-50 FT.

**PROFESSIONAL LAND SURVEYOR CERTIFICATE**

I, PAUL L. SAMPLE, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES, AND COURSES ARE CORRECTLY SHOWN, THAT THE MONUMENTS AND MARKERS HAVE BEEN SET AS SHOWN ON THE PLAT, AND THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME OR MY AGENTS.

Paul L. Sample  
(SURVEYOR'S NAME)  
SU075659  
(SURVEYOR'S REGISTRATION NO.)  
2-12-2024  
(DATE)

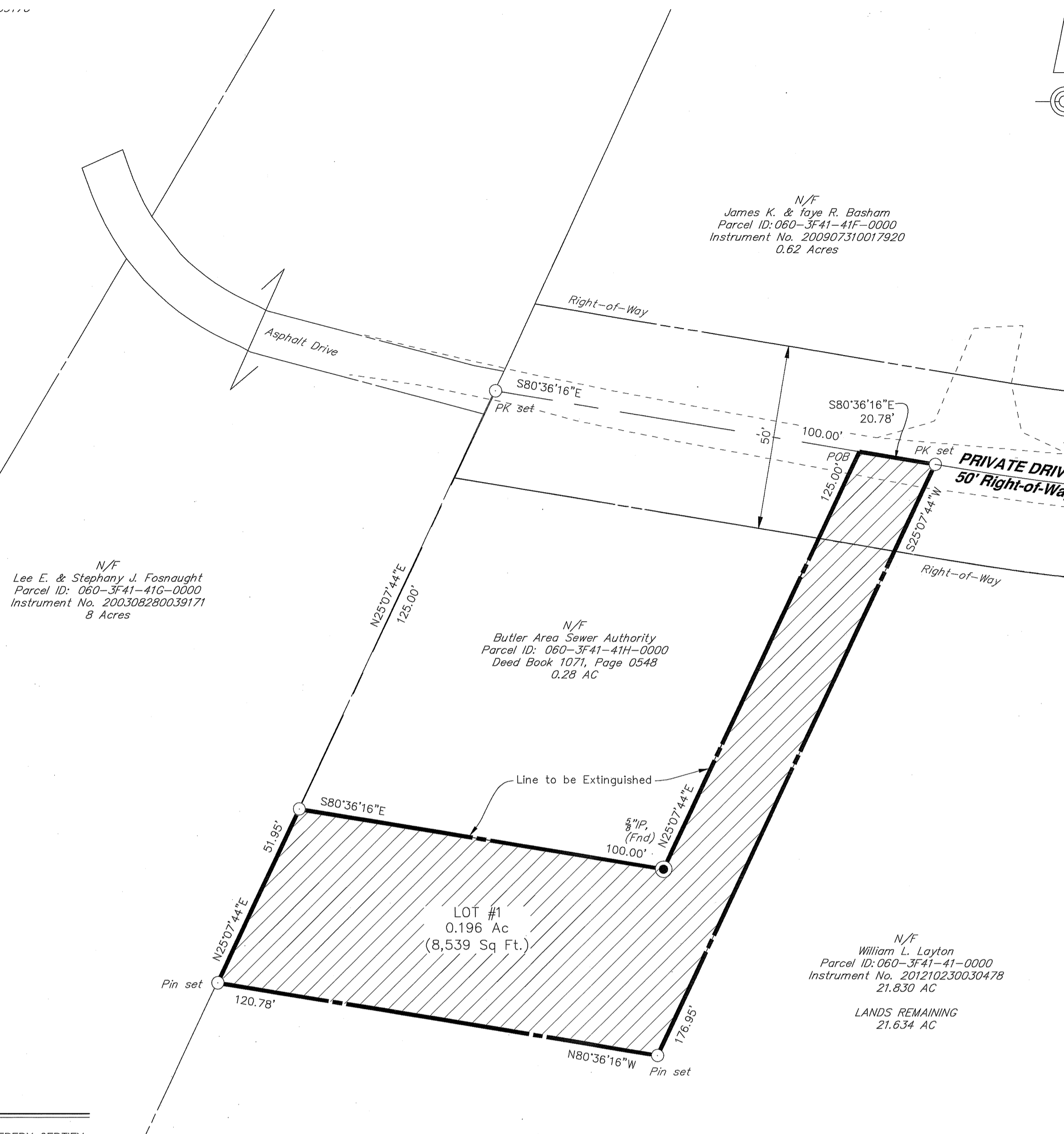


**EXISTING LEGEND**

- Iron Pin / Mag PK To Be Set
- Iron Pin
- Property Line
- Legal Right-of-Way Line
- Setback Line
- Existing Easement
- Floodplain
- Existing Stream Line
- Road Centerline
- Existing Edge of Road
- Existing Edge of Gravel
- Existing Guide Rail
- Existing Fence
- Denotes area to be consolidated with the existing parcel

**SURVEY NOTES :**

- THIS SUBDIVISION PLAN IS BASED ON FIELD SURVEY PERFORMED BY HERBERT, ROWLAND & GRUBIC, INC. ON JULY 21-22, 2021. INFORMATION COMPILED BY RIK-GPS SURVEY.
- ALL INFORMATION SHOWN HEREON IS BASED UPON THE PENNSYLVANIA STATE PLANE SOUTH ZONE, 3702, NORTH AMERICAN DATUM OF 1983 (NAD83) AND THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- THE LOCATIONS OF UTILITIES AS SHOWN HEREON ARE BASED ON ABOVEGROUND FEATURES, FIELD OBSERVATIONS SURVEY, AND RECORD DRAWINGS PROVIDED BY UTILITY COMPANIES. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITY LINES PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- THE SUBJECT PROPERTY IS LOCATED IN ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FLOOD INSURANCE MAP NUMBER 42019C0290D, DATED AUGUST 02, 2018.
- THE PARENT TRACT DEED WAS NOT PLOTTABLE, WAS NOT SURVEYED IN ITS ENTIRETY AND NO RESIDUAL TRACT DESCRIPTION IS POSSIBLE DUE TO THE NINE (9) LESS AND EXCEPTS TAKEN FROM THE PARENT TRACT. BEARINGS AND DISTANCE LABELS OF THE RESIDUAL TRACT SHOW HERON BASED UPON BUTLER COUNTY, PA GIS DATA.



**TITLE CLAUSE (NO MORTGAGE)**

I, WILLIAM L. LAYTON OWNER OF THE LANDS SHOWN HEREON, DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF WILLIAM L. LAYTON AS RECORDED IN INSTRUMENT NO. 201210230030478, RECORDED IN DEEDS OFFICE. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR ENCUMBRANCE AGAINST THIS PROPERTY.

**TITLE CLAUSE (NO MORTGAGE)**

I, PAUL F. SYBERT OWNER OF THE LANDS SHOWN HEREON, DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF THE BUTLER AREA SEWER AUTHORITY AS RECORDED IN DEED BOOK VOLUME 1052 PAGE 451, RECORDED IN DEEDS OFFICE. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR ENCUMBRANCE AGAINST THIS PROPERTY.

**LOCAL AUTHORITY STIPULATION**

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CENTER HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

**PROOF OF RECORDING**

COMMONWEALTH OF PENNSYLVANIA }  
} SS:  
COUNTY OF BUTLER }  
RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, PLATS AND PLANS IN SAID BUTLER COUNTY, IN PLAN BOOK VOLUME 416 PAGE(S) 35 GIVEN UNDER MY HAND AND SEAL THIS 12th DAY OF March, 2024

MICHELE M. MUSTELLO  
RECORDER OF DEEDS

MICHELE M. MUSTELLO  
RECORDER OF DEEDS

My Commission Expires First Monday in January 2026

**CORPORATION ADOPTION**

KNOW ALL MEN BY THESE PRESENTS, THAT BUTLER AREA SEWER AUTHORITY, A CORPORATION DULY REGISTERED UNDER THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, TOWNSHIP OF CENTER, COUNTY OF BUTLER, FOR OURSELVES, HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DOES HEREBY ADOPT THIS PLAN FOR ITS PROPERTY SITUATE IN CENTER TOWNSHIP AND DOES HEREBY DEDICATE FOREVER FOR PUBLIC USE FOR HIGHWAY AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANES, WAYS, RIGHT-OF-WAY AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, AND WE RELEASE, REMISE AND DISCHARGE THE TOWNSHIP OF CENTER, ITS SUCCESSOR OR ASSIGNS, OF AND FROM ALL LIABILITY, COURSES OF ACTION, CLAIMS OR DAMAGES ARISING FROM OR PERTAINING TO IN ANY MANNER SAID ROADS, AND RIGHT-OF-WAY.

WE FURTHER AGREE THAT SAID PLAN IS APPROVED BY THE TOWNSHIP OF CENTER FOR "PLANNING PURPOSES ONLY" AND THAT SAID TOWNSHIP SHALL NOT ISSUE ANY "BUILDING PERMITS" FOR LOTS CONTAINED HEREIN, NOR SHALL ANY LOTS BE DEEDED UNTIL EITHER ALL OF SAID ROADS AND IMPROVEMENTS IN ACCORDANCE WITH CENTER TOWNSHIP ORDINANCE NO. 14-1205 AND ALL OTHER APPLICABLE ORDINANCES HAVE BEEN COMPLETED AND ACCEPTED BY SAID TOWNSHIP OR UNTIL THE TOWNSHIP HAS APPROVED A BOND WITH SUFFICIENT SURETY TO GUARANTEE CONSTRUCTION OF THE SAME. IN WITNESS WHEREOF, WE HERETO SET OUR HAND AND SEAL THIS 13th DAY OF February, 2024

ATTEST: Virginia Forderber (NOTARY PUBLIC), Paul F. Sybert (OWNER)

**CORPORATION ACKNOWLEDGEMENT**

COMMONWEALTH OF PENNSYLVANIA) SS:  
COUNTY OF BUTLER

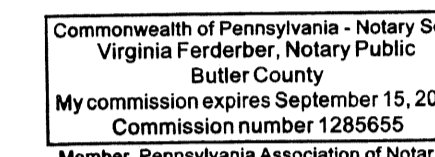
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED PAUL F. SYBERT OF THE BUTLER AREA SEWER AUTHORITY, WHO DULY SWORN, DEPOSETH AND SAITH THAT HE WAS PERSONALLY PRESENT AT THE EXECUTION OF THE ADOPTION, RELEASE AND DEDICATION AND SAW THE COMMON AND CORPORATE SEAL DULY AFFIXED AND THAT THE ABOVE RELEASE AND DEDICATION WAS DULY SIGNED AND SEALED BY AND AS FOR THE ACT AND DEED OF THE SAID BUTLER AREA SEWER AUTHORITY, FOR THE USES AND PURPOSES THEREIN MENTIONED AND THAT THE NAME OF THIS DEPONENT SUBSCRIBED TO THE SAID RELEASE AND DEDICATION AS CHAIRMAN OF SAID CORPORATION, IN ATTESTATION OF THE DUE EXECUTION AND DELIVERY OF SAID RELEASE AND DEDICATION IS THIS DEPONENT'S OWN AND PROPER AND RESPECTIVE HANDWRITING.

Paul F. Sybert (TITLE OF OFFICER) CHAIRMAN

SWORN TO AND SUBSCRIBED BEFORE ME THIS DAY, WITNESS MY HAND AND NOTARIAL SEAL THIS 13th DAY OF February, 2024

MY COMMISSION EXPIRES THE 15th DAY OF September, 2026

Virginia Forderber (NOTARY PUBLIC)



**OWNERS ADOPTION**

KNOW ALL MEN BY THESE PRESENTS, THAT WILLIAM L. LAYTON, OF THE COMMONWEALTH OF PENNSYLVANIA, TOWNSHIP OF CENTER, COUNTY OF BUTLER, FOR OURSELVES, HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DOES HEREBY ADOPT THIS PLAN FOR ITS PROPERTY SITUATE IN CENTER TOWNSHIP AND DOES HEREBY DEDICATE FOREVER FOR PUBLIC USE FOR HIGHWAY AND UTILITY PURPOSES, ALL DRIVES, ROADS, LANES, WAYS, RIGHT-OF-WAY AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, AND WE RELEASE, REMISE AND DISCHARGE THE TOWNSHIP OF CENTER, ITS SUCCESSOR OR ASSIGNS, OF AND FROM ALL LIABILITY, COURSES OF ACTION, CLAIMS OR DAMAGES ARISING FROM OR PERTAINING TO IN ANY MANNER SAID ROADS, AND RIGHT-OF-WAY.

WE FURTHER AGREE THAT SAID PLAN IS APPROVED BY THE TOWNSHIP OF CENTER FOR "PLANNING PURPOSES ONLY" AND THAT SAID TOWNSHIP SHALL NOT ISSUE ANY "BUILDING PERMITS" FOR LOTS CONTAINED HEREIN, NOR SHALL ANY LOTS BE DEEDED UNTIL EITHER ALL OF SAID ROADS AND IMPROVEMENTS IN ACCORDANCE WITH CENTER TOWNSHIP ORDINANCE NO. 14-1205 AND ALL OTHER APPLICABLE ORDINANCES HAVE BEEN COMPLETED AND ACCEPTED BY SAID TOWNSHIP OR UNTIL THE TOWNSHIP HAS APPROVED A BOND WITH SUFFICIENT SURETY TO GUARANTEE CONSTRUCTION OF THE SAME. IN WITNESS WHEREOF, WE HERETO SET OUR HAND AND SEAL THIS 13th DAY OF February, 2024

ATTEST: Virginia Forderber (NOTARY PUBLIC), William L. Layton (OWNER)

**INDIVIDUAL ACKNOWLEDGEMENT**

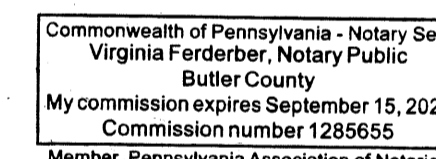
COMMONWEALTH OF PENNSYLVANIA) SS:  
COUNTY OF BUTLER

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED THE ABOVE NAMED WILLIAM L. LAYTON AND ACKNOWLEDGE THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE HIS ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 13th DAY OF February, 2024

MY COMMISSION EXPIRES THE 15th DAY OF September, 2024

Virginia Forderber (NOTARY PUBLIC)



**MUNICIPAL COUNTY PLANNING COMMISSIONER REVIEW**

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 20th DAY OF December, 2023

**BUTLER CO PLANNING COMMISSION APPROVAL**

REVIEWED AND APPROVED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 18th DAY OF OCT, 2023

SEE COMMENTS ON FILE AT THE BUTLER COUNTY PLANNING COMMISSION  
PLAN NUMBER: 23158

**MUNICIPAL APPROVAL**

REVIEWED AND APPROVED (OR REVIEWED WITH COMMENTS) BY THE BOARD OF SUPERVISORS THIS 29th DAY OF February, 2024

Mayor R. M... (CHAIRMAN)

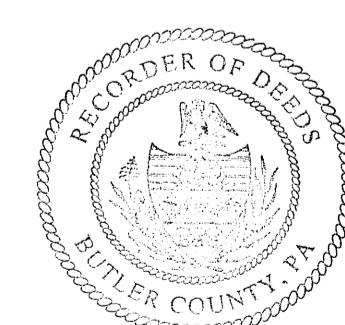
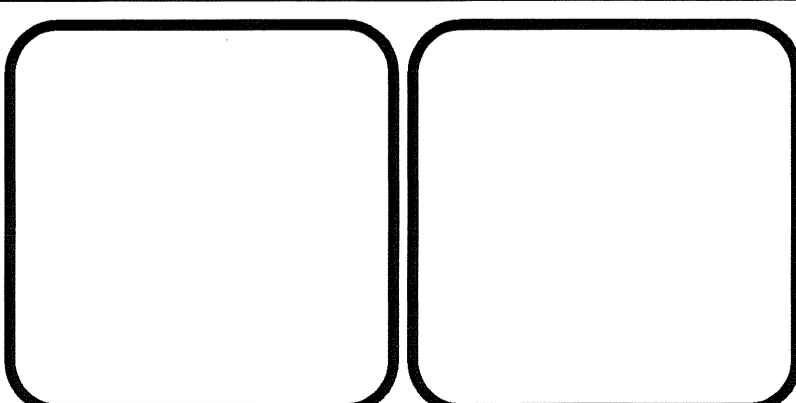


Table with 2 columns: PLAN BOOK and PAGE. Values: 416 and 35.

Table with 4 columns: NO., REVISION, DATE, BY. Includes revision 1 for address September residual tract comments.

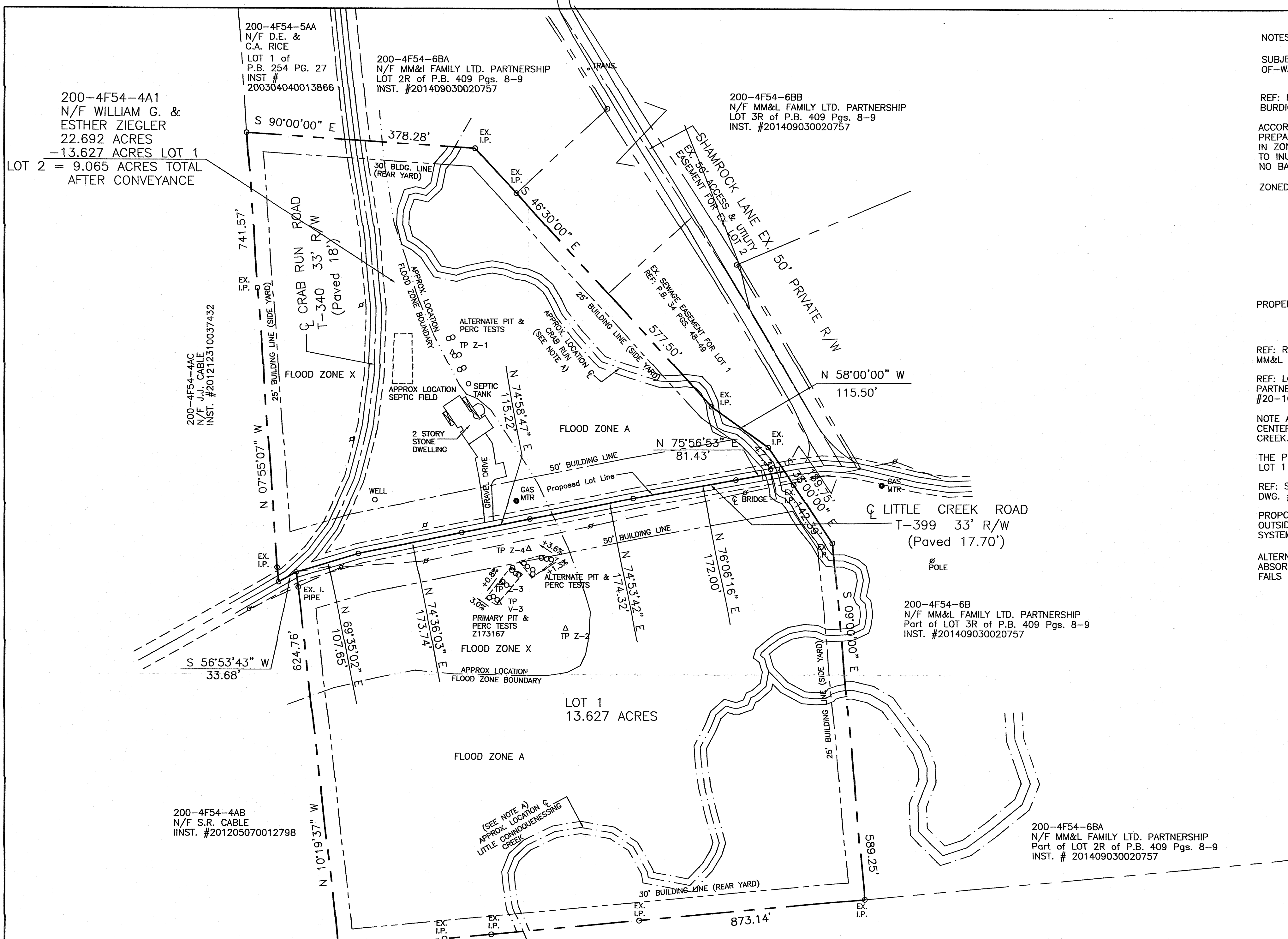


BUTLER AREA SEWER AUTHORITY  
100 LITMAN ROAD  
BUTLER PENNSYLVANIA 16001

MINOR SUBDIVISION / LOT CONSOLIDATION FINAL PLAN  
FOR  
FISHER PUMP STATION  
BUTLER AREA SEWER AUTHORITY

PROJ. MGR. - JDK  
DESIGN -  
CADD - DMH  
CHECKED - PLS  
SCALE - AS SHOWN  
DATE - JANUARY 2024

DRAWING NO. SD-1  
SHEET NO. 1 OF 2  
PROJECT R004192.0430



NOTES:  
 SUBJECT TO ANY AND ALL EXISTING RIGHTS-  
 OF-WAY AND EASEMENTS OF RECORD.



KNOW ALL MEN BY THESE PRESENTS, that we, William G. and Esther Ziegler, of the Township of Lancaster, of the County of Butler, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this plan as our Plan of Lots of our property, situate in Lancaster Township, Butler County, Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Township of Lancaster, we hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Lancaster, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon William G. and Esther Ziegler, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

REF: PROPERTY SURVEY FOR JOHN M. & PATRICIA P. BURDICK BY LSI 10/23/08 SERVICE NO. 09-098

ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE A - SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. NO BASE FLOOD ELEVATIONS DETERMINED.

ZONED: R1: RURAL RESIDENTIAL  
 BUILDING SETBACK REQUIREMENTS:  
 50' FRONT YARD  
 25' SIDE YARD  
 30' REAR YARD  
 MIN. LOT AREA: 2.00 ACRES  
 MIN. LOT WIDTH: 150'

PROPERTY OWNERS: WILLIAM & ESTHER ZIEGLER  
 535 LITTLE CREEK ROAD  
 EVANS CITY, PA 16033

REF: RESIDENTIAL PROPERTY SUBDIVISION PLAN FOR MM&L FAMILY LTD PARTNERSHIP, P.B. 346 PGS. 48-49  
 REF: LOT LINE REVISION FOR M M & L FAMILY LTD. PARTNERSHIP BY LAND SURVEYORS, INC., 09/01/2022, #20-107, P.B. 409 PGS. 8-9.

NOTE A: PROPOSED 20' DRAINAGE EASEMENT ALONG CENTERLINE OF CRAB RUN AND LITTLE CONNOQUENESSING CREEK.

THE PURPOSE OF THIS PLAN IS TO CREATE A NEW BUILDING LOT 1 AND A REMNANT LOT 2.

REF: SURVEY FOR LILIAN CABLE BY JACK RINGEISEN, 05/24/74, DWG. #441

PROPOSED WATER WELL TO SERVE THIS LOT IS TO BE LOCATED OUTSIDE OF THE 100' ISOLATION DISTANCE FROM THE SEPTIC SYSTEM TO BE BUILT.

ALTERNATE DISPOSAL SITE IS RESERVED FOR A REPLACEMENT ABSORPTION AREA IN THE EVENT THE PRIMARY ONLOT SYSTEM FAILS AND THAT AREA MUST NOT BE DISTURBED.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 7 day of March, 2024

ATTEST:  
 [Signature] William G. Ziegler  
 OWNER  
 [Signature] Esther G. Ziegler  
 OWNER

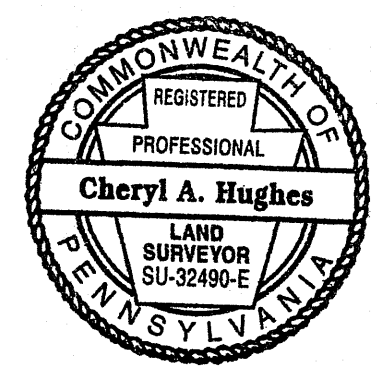
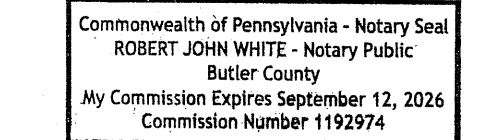
COMMONWEALTH OF PENNSYLVANIA)SS:  
 COUNTY OF BUTLER

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named William G. and Esther Ziegler, and acknowledged the foregoing release and dedication and plan to be their act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day.  
 WITNESS MY HAND AND NOTARIAL SEAL this 7 day of March, 2024

My Commission expires the 12 day of Sept, 2026

SEAL: [Signature]  
 NOTARY PUBLIC



I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.

November 21, 2023 SEAL: [Signature]  
 DATE REG. NO. SU-32490-E

The Board of Supervisors of the Township of Lancaster hereby gives public notice that in approving this plan for recording purposes only, the Township of Lancaster assumes no obligation, legal or otherwise, expressed or implied, either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

SECRETARY: [Signature] SEAL: [Signature] CHAIRMAN/PRESIDENT

Approved by the Supervisors of the Township of Lancaster this 29<sup>th</sup> day of February, 2024

SECRETARY: [Signature] SEAL: [Signature] CHAIRMAN/PRESIDENT

TOWNSHIP ENGINEER'S CERTIFICATION:  
 This plan was reviewed by the Township Engineer for conformance with the Lancaster Township Subdivision and Land Development Ordinance and other applicable Township Ordinances.

3/12/2024 Thomas L. Thompson Ann PE - 003890-E  
 DATE NAME REGISTRATION NUMBER

TOWNSHIP PLANNING DIRECTOR APPROVAL CERTIFICATE:  
 Approved by the Planning Director of Lancaster Township this 29<sup>th</sup> day of February, 2024

Land Development, of the Code of Lancaster Township, as amended. The Planning Director of Lancaster Township gives notice that in approving this plan for recording Lancaster Township assumes no obligation to accept the dedication of streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

TOWNSHIP PLANNING DIRECTOR (Seal) [Signature]

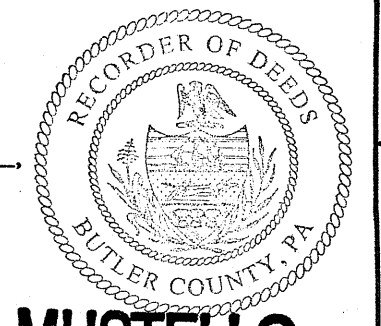
Reviewed by the Butler County Planning Commission this 17<sup>th</sup> day of January, 2024

SECRETARY: [Signature] SEAL: [Signature] CHAIRMAN/PRESIDENT

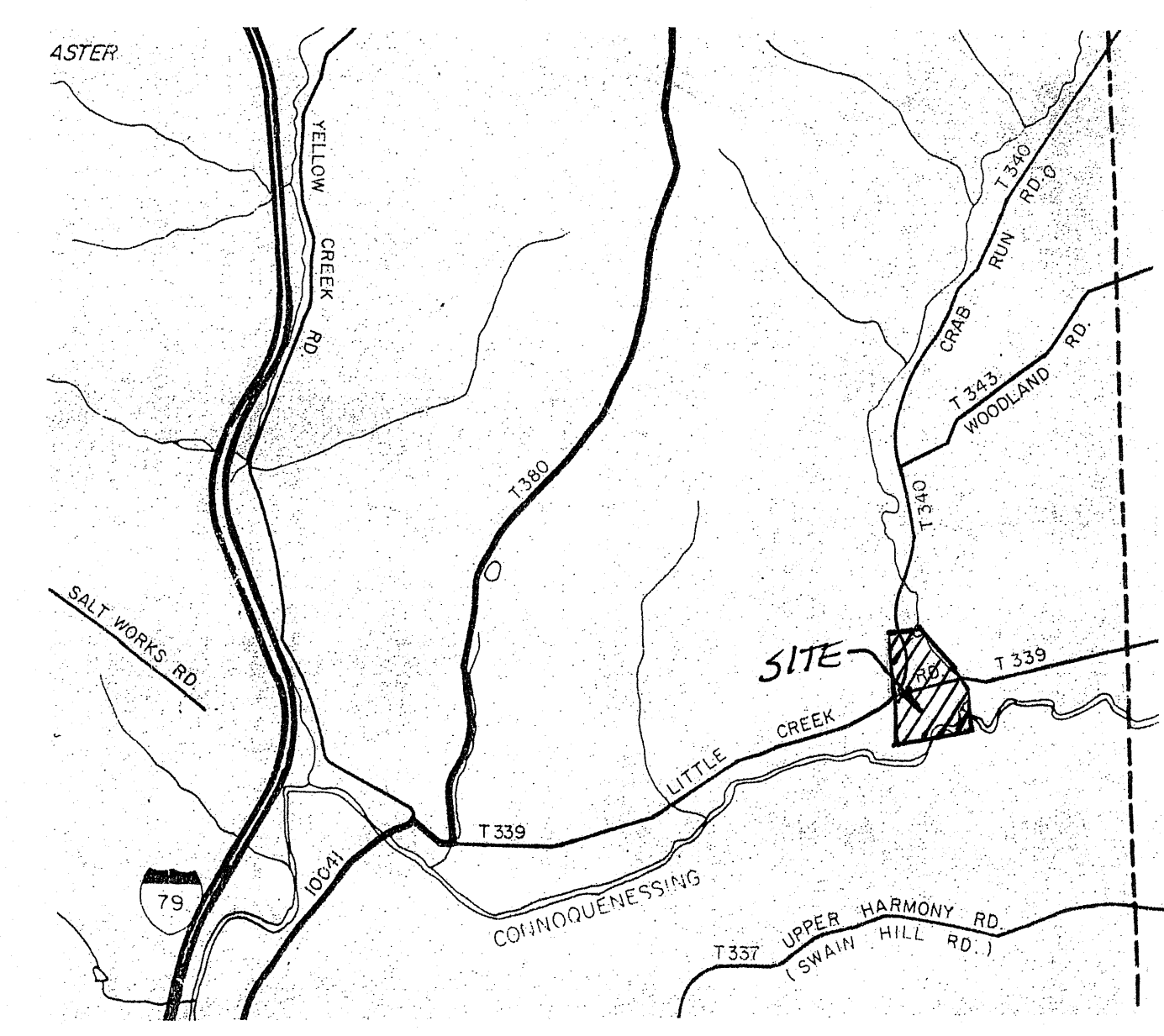


PLAN BOOK	PAGE
416	36

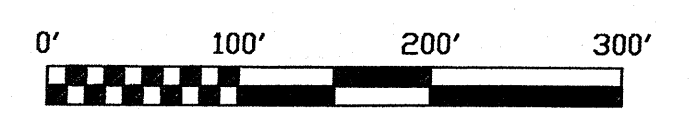
COMMONWEALTH OF PENNSYLVANIA)SS:  
 COUNTY OF BUTLER  
 Recorded in the Recorder's Office for the recording of deeds, plans, etc. in said County in Plan Book Volume 416 page 36  
 Given under my hand and seal this 12<sup>th</sup> day of March, 2024  
 RECORDER: [Signature]



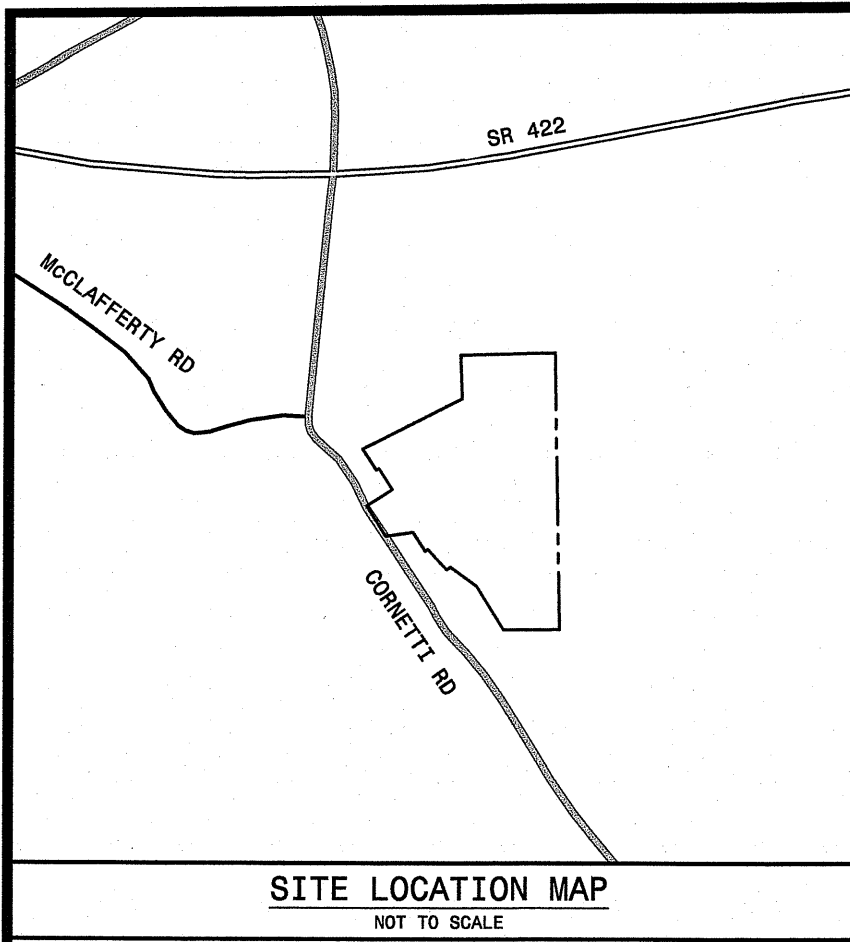
MICHELE M. MUSTELLO  
 RECORDER OF DEEDS  
 My Commission Expires First Monday in January 2028



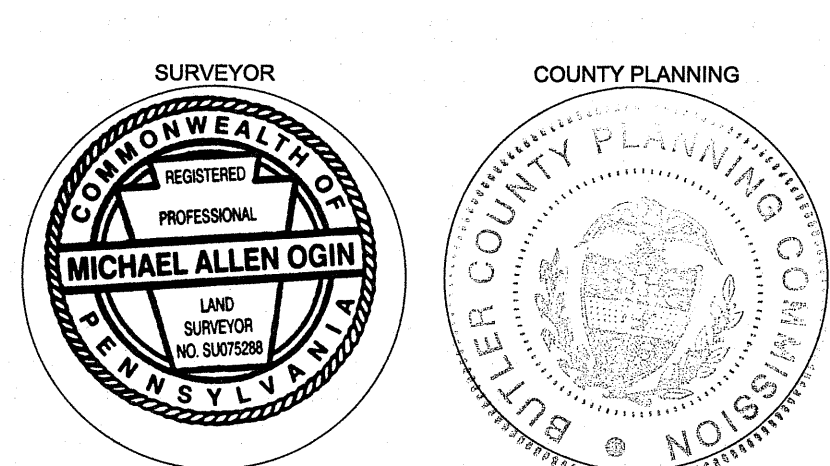
VICINITY MAP Scale: 1" = 2000'



L	Land Surveyors, Inc.
S	523 North Main Street
F	P.O. Box 1061
	Butler, PA 16003-1061
	(724) 287-6865
	Cheryl A. Hughes, PLS Owner
PLAN OF SUBDIVISION	
FOR: WILLIAM G. & ESTHER ZIEGLER	
SITUATE: LANCASTER TWP., BUTLER CO., PA	
Date: 11/21/2023	Scale: 1" = 100'
Parcel No. 200-4F54-4A1	Dwn By: BEC
Address 535 LITTLE CREEK ROAD	Ckd By: CAH
Instrument # 200005310012257	Service No. 23-126



811 Know what's below. Call before you dig. Serial No. 20232074509



CORPORATE ADOPTION... ATTEST: [Signature] TITLE

CORPORATE ACKNOWLEDGEMENT... BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC... MY COMMISSION EXPIRES THE 9th DAY OF August 2024

AREA TABULATION 6.18 ACRES - LOT 2, 46.18 ACRES - LOT 1, + 0.17 ACRES - ROAD DEDICATION, 52.53 TOTAL AREA FOR RECORDIAL (TRACT 1, 202112170035016)

- NOTES: 1. THE BASIS OF BEARING IS INSTRUMENT 202112170035016 RECORDED DECEMBER 17, 2021 IN THE BUTLER COUNTY RECORDER OF DEEDS. 2. THE FIELD SURVEY WAS PERFORMED ON AUGUST 8TH, 2023.

MORTGAGEE OF THE PROPERTY CONTAINED IN THE PLAN, CONSENTS TO THE RECORDING OF SAID PLAN AND TO THE DEDICATIONS AND ALL OTHER MATTERS APPEARING ON THE PLAN.

SURVEYORS CERTIFICATION... I CERTIFY THAT, TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF THE SURVEY AND PLAN SHOWN HEREON ARE CORRECT AND ACCURATE TO THE STANDARDS REQUIRED.

REVIEWED BY THE PLANNING COMMISSION OF CLEARFIELD TOWNSHIP, THIS 2nd DAY OF January 2024. [Signatures]

APPROVED BY THE BOARD OF SUPERVISORS OF CLEARFIELD TOWNSHIP, BY RESOLUTION, THIS 2nd DAY OF January 2024. [Signatures]

BUTLER COUNTY PLANNING COMMISSION APPROVAL... Approved by the Butler County Planning Commission this 11th day of Sept. 2023.

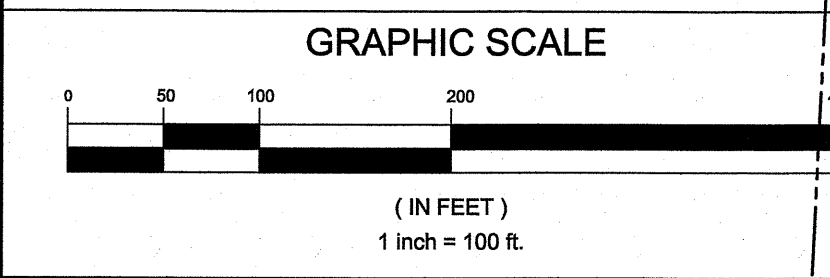
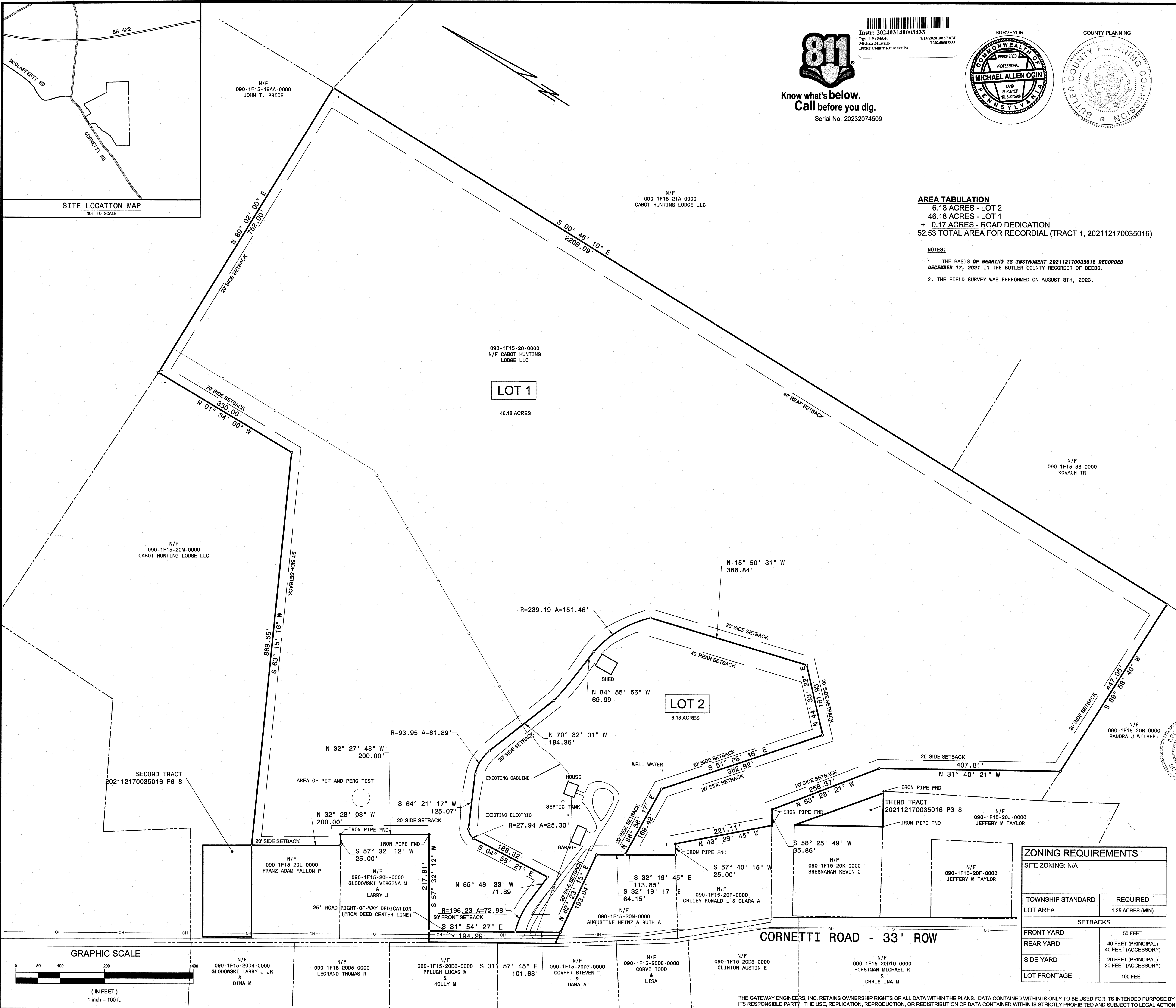
PLAN BOOK 416, PAGE 37

PROOF OF RECORDING... COMMONWEALTH OF PENNSYLVANIA ) SS: MICHELE M. MUSTELLO RECORDER OF DEEDS

GATEWAY ENGINEERS logo and contact information.

TYLER KOVACH TRUST SUBDIVISION... DATE: AUG 2023, SCALE: 1" = 100'

ZONING REQUIREMENTS table with columns for SITE ZONING, TOWNSHIP STANDARD, REQUIRED, and SETBACKS.



**OWNER'S ADOPTION**

I, OWNER OF LANDS SHOWN ON THE PLAN HEREBY ADOPT THIS PLAN AS ITS SUBDIVISION AND IRREVOCABLY DEDICATES ALL STREETS AND OTHER PROPERTY IDENTIFIED FOR DEDICATION ON THE PLAN TO THE PUBLIC. THIS ADOPTION AND DEDICATION SHALL BE BINDING UPON THE PARTNERSHIP AND UPON MY HEIRS, EXECUTORS, AND ASSIGNS.

SIGNATURE OF WITNESS \_\_\_\_\_ SIGNATURE OF OWNER *B.C.S.*  
 NAME OF OWNER of Park Meadows LLC

DATE 3/6/24

COMMONWEALTH OF PENNSYLVANIA ) SS:  
 COUNTY OF Lawrence

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE COMMONWEALTH OF PENNSYLVANIA AND THE COUNTY OF LAWRENCE, PERSONALLY APPEARED THE ABOVE NAMED BRIAN C. SINGER AND ACKNOWLEDGED THE FOREGOING ADOPTION AND DEDICATION TO BE HIS ACT.

WITNESS MY HAND AND NOTARIAL SEAL THIS 6<sup>th</sup> DAY OF MARCH, 2024.

MY COMMISSION EXPIRES THE 12<sup>th</sup> DAY OF MARCH, 2027  
 (SEAL)

*[Signature]*  
 NOTARY PUBLIC

Commonwealth of Pennsylvania - Notary Seal  
 Diane M. Hutchison, Notary Public  
 Lawrence County  
 My commission expires March 12, 2027  
 Commission number 1233392  
 Member, Pennsylvania Association of Notaries

**MUNICIPAL DECLARATIONS (NO ACCEPTANCE OF DEDICATION)**

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY, HEREBY GIVES NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING, THE TOWNSHIP OF CRANBERRY HAS NOT ACCEPTED DEDICATION OF ANY STREETS, LAND OR PUBLIC FACILITIES AND HAS NO OBLIGATION TO IMPROVE OR MAINTAIN SUCH STREETS, LAND OR FACILITIES.

*[Signature]* SECRETARY  
*[Signature]* CHAIRMAN, BOARD OF SUPERVISORS

**MUNICIPAL REVIEW AND APPROVAL**

THIS STATEMENT CERTIFIES ONLY THAT ACTION WAS TAKEN BY THE BOARD OF SUPERVISORS GRANTING FINAL APPROVAL.

APPROVED BY BOARD OF SUPERVISORS OF THE TOWNSHIP OF CRANBERRY BY ORDINANCE/RESOLUTION No. 2019-06 ON THE 31<sup>st</sup> DAY OF JANUARY, 2024.

*[Signature]* SECRETARY  
*[Signature]* CHAIRMAN, BOARD OF SUPERVISORS

(SEAL)

**TOWNSHIP MANAGER APPROVAL**

I, Daniel D. Santoro, TOWNSHIP MANAGER FOR THE TOWNSHIP OF CRANBERRY, CERTIFY THAT THE CONDITIONS FOR FINAL APPROVAL OUTLINED IN ORDINANCE/RESOLUTION NO. 2019-06 HAVE BEEN MET IN ACCORDANCE WITH SECTIONS 22-305 AND 22-307 OF THE TOWNSHIP OF CRANBERRY CODE OF ORDINANCES.

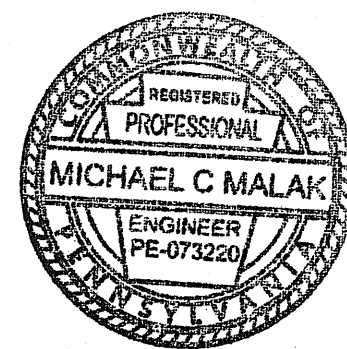
*[Signature]* TOWNSHIP MANAGER

**MUNICIPAL ENGINEER'S CERTIFICATE**

I, Michael C. Malak, A REGISTERED PROFESSIONAL ENGINEER, THE TOWNSHIP ENGINEER FOR CRANBERRY TOWNSHIP, DO HEREBY CERTIFY THAT THIS LAND DEVELOPMENT PLAN MEETS ALL ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP ORDINANCES EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE CRANBERRY TOWNSHIP BOARD OF SUPERVISORS.

SIGNATURE *[Signature]* DATE 3/13/24

REGISTRATION NUMBER PE-073220

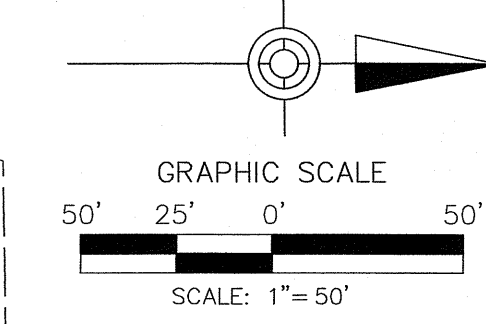
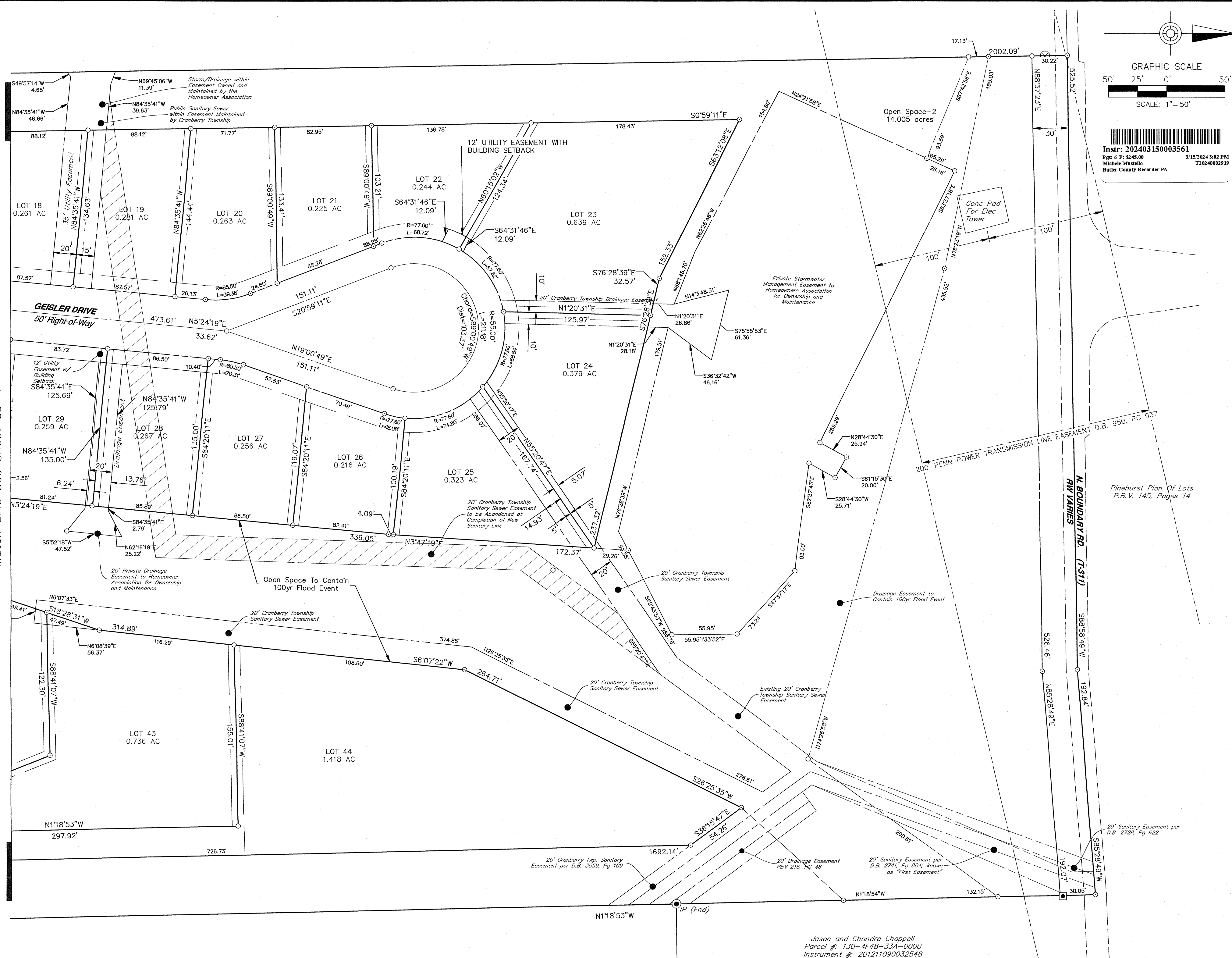


**CERTIFICATION OF TITLE (NO MORTGAGE)**

I HEREBY CERTIFY THAT THE TITLE TO THE PROPERTY CONTAINED IN THE Park Meadows Subdivisions PRD IS IN THE NAME OF Park Meadows, LLC AND IS RECORDED IN DEED BOOK VOLUME \_\_\_\_\_ PAGE \_\_\_\_\_ I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN, OR OTHER ENCUMBRANCE AGAINST THIS PROPERTY.

*[Signature]* WITNESS  
*[Signature]* SIGNATURE OF OWNER  
 NAME OF OWNER BRIAN C. SINGER

INST. NO. 202401220000907  
 INST. NO. 202401220000908  
 INST. NO. 202401220000909



Inst: 202403150003561  
 Page # 11 of 48-89  
 Michele Mustello  
 Butler County Recorder PA

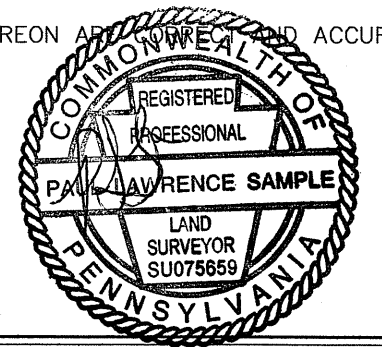
**COUNTY PLANNING COMMISSION REVIEW STATEMENT**

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION ON THIS 22<sup>nd</sup> DAY OF Dec, 2019.  
*[Signature]* CHAIRMAN, BUTLER COUNTY PLANNING COMMISSION  
*[Signature]* SECRETARY



**SURVEYOR'S CERTIFICATION**

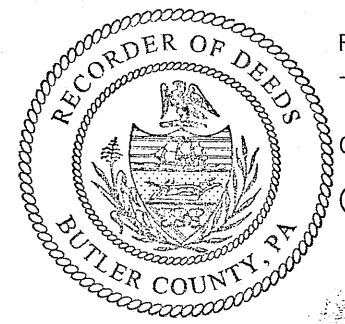
I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN HEREON ARE TRUE AND ACCURATE TO THE STANDARDS REQUIRED.  
 DATE 3-6-2024  
 NAME OF SURVEYOR *[Signature]*  
 REGISTRATION NUMBER 50075659



**PROOF OF RECORDING**

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF COUNTY OF BUTLER, COMMONWEALTH OF PENNSYLVANIA, IN PLAN BOOK VOLUME 416 PAGE(S) 38-43.

GIVEN UNDER MY HAND AND SEAL THIS 15<sup>th</sup> DAY OF MARCH, 2024  
 (SEAL)  
*[Signature]* RECORDER OF DEEDS



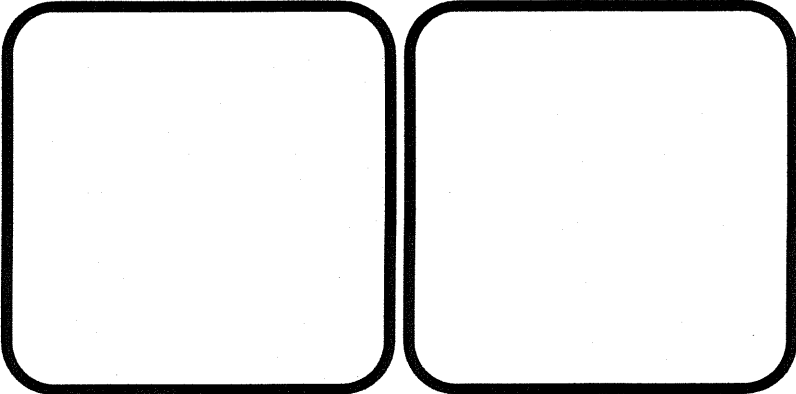
PLAN BOOK	PAGE
<b>416</b>	<b>38</b>

**MICHELE M. MUSTELLO**  
 RECORDER OF DEEDS

My Commission Expires First Monday In January 2028

THIS SHEET NOT VALID WITHOUT SHEET 1

NO.	REVISION	DATE	BY
3	LOT ADJUSTMENTS	01/19/2024	VRL
2	COMMENTS FROM CRANBERRY TOWNSHIP	02/27/2020	VRL
1	COMMENTS FROM CRANBERRY TOWNSHIP	01/11/2019	VRL



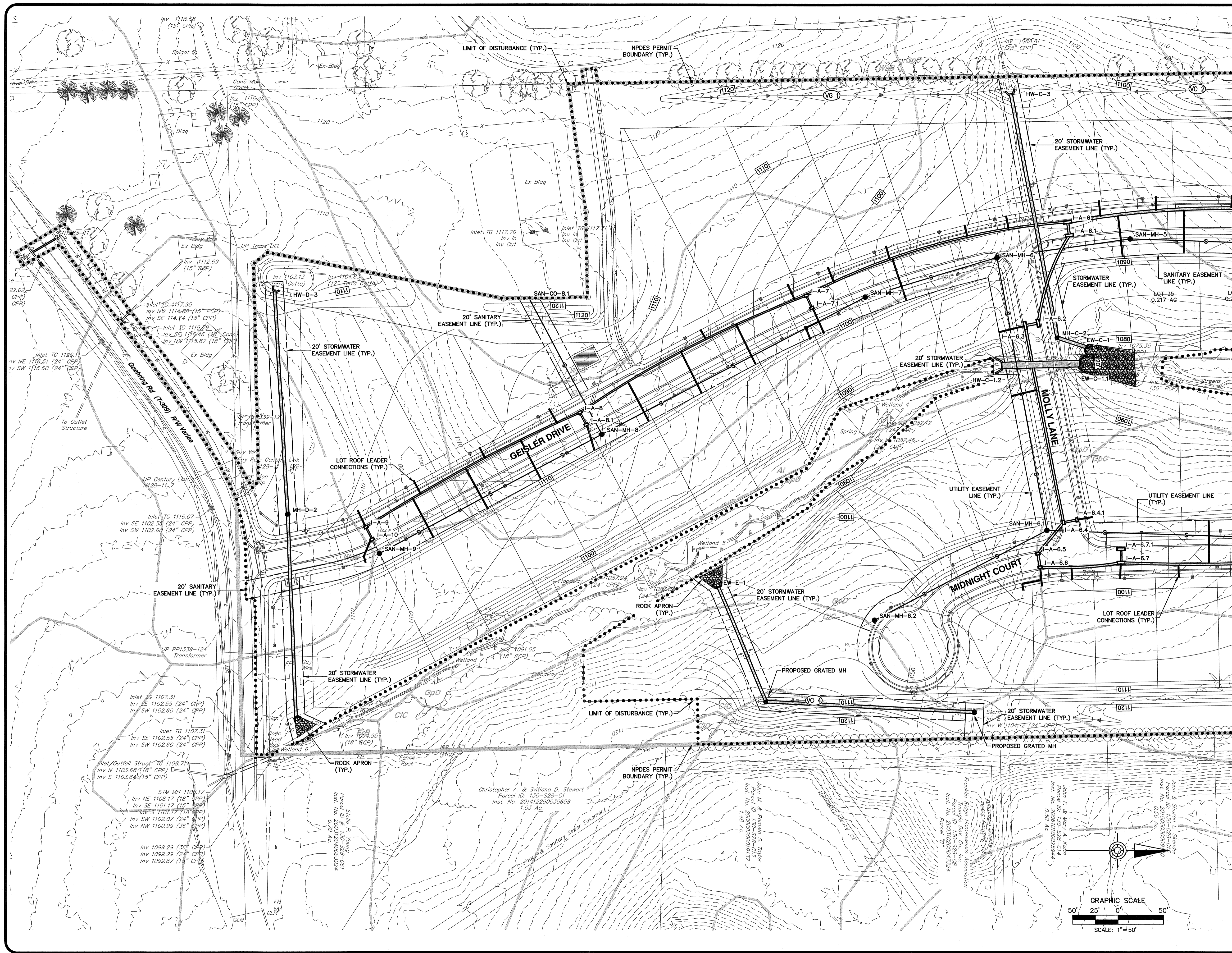
**HRG**  
 HERBERT, ROWLAND & GRUBIC, INC.  
 220 WEST KENSINGER DRIVE  
 SUITE 100  
 CRANBERRY TOWNSHIP, PA 16066  
 724.779.4777 | hrg-inc.com

**PARK MEADOWS, LLC**  
 P.O. BOX 97  
 MARS, PA 16046  
 (724) 935-2424

**SUBDIVISION PLAN FOR PARK MEADOWS PRD**  
 CRANBERRY TOWNSHIP BUTLER COUNTY PENNSYLVANIA

PROJ. MGR. - VRL  
 DESIGN - VRL | B/JH  
 CADD - CRC  
 CHECKED - VRL  
 SCALE - AS SHOWN  
 DATE - JAN. 2024

DRAWING NO. **SD-2**  
 SHEET NO. **51 OF 51**  
 PROJECT R007645.0428



**PROPOSED LEGEND**

- 1010 PROPOSED CONTOUR
- x 410.00 PROPOSED SPOT ELEVATION
- PROPOSED CURB
- PROPOSED EASEMENT
- PROPOSED STORM SEWER & INLET
- S PROPOSED SANITARY LINE
- W PROPOSED WATER LINE
- OCO PROPOSED SANITARY CLEANOUT
- INFLTRATION TEST LOCATION
- SOIL BOUNDARIES
- ..... LIMIT OF DISTURBANCE
- NPDES PERMIT BOUNDARY
- VC# VEGETATED CHANNEL
- OUTLET PROTECTION

**NOTES**

1. ALL LOTS ARE ASSUMED TO HAVE AN IMPERVIOUS AREA OF 4,480 FT<sup>2</sup>.
2. ALL LOTS ARE TO HAVE CONTROLLED ROOF LEADERS.
  - 2.1. LOTS 43, 44, 52, 53, AND 54 SHALL HAVE ROOF LEADERS DRAIN TO THE REAR OF THE LOT ON A SPLASH BLOCK LOCATED A MINIMUM DISTANCE OF 10' FROM THE PROPERTY LINE.
  - 2.2. THE REMAINING LOTS SHALL HAVE ROOF LEADERS CONNECT DIRECTLY INTO THE STORMWATER CONVEYANCE SYSTEM.
  - 2.3. IN INDIVIDUAL CASES WHERE ROOF LEADERS CANNOT BE DIRECTLY INTO THE STORMWATER CONVEYANCE SYSTEM, ROOF LEADERS ARE TO BE SUMPED OR DRAIN TO THE REAR OF THE LOT ON A SPLASH BLOCK LOCATED A MINIMUM OF 10' FROM THE PROPERTY LINE.
3. IT SHALL BE UNLAWFUL TO ALTER OR REMOVE ANY PERMANENT STORMWATER BMP REQUIRED BY AN APPROVED SWM SITE PLAN OR TO ALLOW THE PROPERTY TO REMAIN IN A CONDITION THAT DOES NOT CONFORM TO AN APPROVED SWM SITE PLAN, UNLESS THE TOWNSHIP GRANTS AN EXCEPTION IN WRITING.
4. AS PER THE APPROVED STORMWATER MANAGEMENT PLAN, THE TOWNSHIP SHALL HAVE RIGHT OF ACCESS TO THE ON-SITE DETENTION FACILITY FOR THE RIGHT OF MAINTENANCE, MONITORING, AND/OR SAMPLING, IN THE EVENT THE OWNER, ASSIGNS OR HEIRS DO NOT ADEQUATELY MAINTAIN OR MONITOR THE FACILITY. THE OWNER, ASSIGNS OR HEIRS SHALL REIMBURSE THE TOWNSHIP FOR ALL COSTS ASSOCIATED WITH SAID MAINTENANCE. THE FOREMENTIONED RIGHTS GRANTED TO THE TOWNSHIP IN NO WAY DIMINISH THE RESPONSIBILITY OF THE OWNER, ASSIGNS OR HEIRS OF SAID MAINTENANCE AND MONITORING, AND NO LIABILITY WILL BE ASSUMED BY THE TOWNSHIP ASSOCIATED WITH REQUIRED ACCESS FOR MAINTENANCE OR MONITORING PURPOSES
5. NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, OR ALTER ANY EXISTING STORMWATER BMP, FACILITIES, AREAS, OR STRUCTURES, UNLESS IT IS PART OF AN APPROVED MAINTENANCE PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE TOWNSHIP.
6. APPROVAL OF A STORMWATER MANAGEMENT PLAN BY THE TOWNSHIP SHALL NOT BE CONSTRUED AS AN INDICATION THAT SAID PLAN COMPLIES WITH THE REQUIREMENTS, LAWS, OR STANDARDS OF ANY AGENCY OF THE COMMONWEALTH WHICH MAY OR MAY NOT GOVERN SAID ACTIVITY.
7. CONTRACTOR OR OWNER TO PROVIDE CERTIFICATION OF COMPLETION FROM AN ENGINEER, ARCHITECT, SURVEYOR OR OTHER QUALIFIED PERSON VERIFYING THAT ALL PERMANENT FACILITIES HAVE BEEN CONSTRUCTED ACCORDING TO THE SWM SITE PLAN AND REPORT AND APPROVED REVISIONS THERETO.

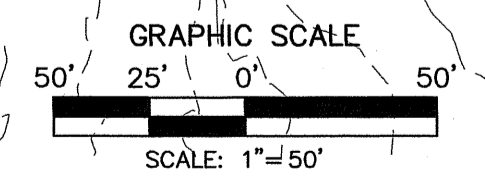
Match Line See Sheet PC-2

**POST CONSTRUCTION STORMWATER MANAGEMENT APPROVAL SIGNATURE BLOCK**

I, VIRGINIA LOUVEY, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE CRANBERRY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE. TITLE: PROJECT MANAGER *Virginia Louvey*

I, Tim Switzman, HAVE REVIEWED THIS STORMWATER MANAGEMENT PLAN IN ACCORDANCE WITH THE DESIGN STANDARDS AND CRITERIA OF THE CRANBERRY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE. TITLE: waterworks coordinator *Tim Switzman*

AS THE LANDOWNER, I BRIAN C. SINGER ACKNOWLEDGE THAT THE STORMWATER BMPs ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY THE TOWNSHIP. OWNER: *Brian C. Singer*



NO.	REVISION	DATE	BY
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PLAN BOOK **416** PAGE **39**

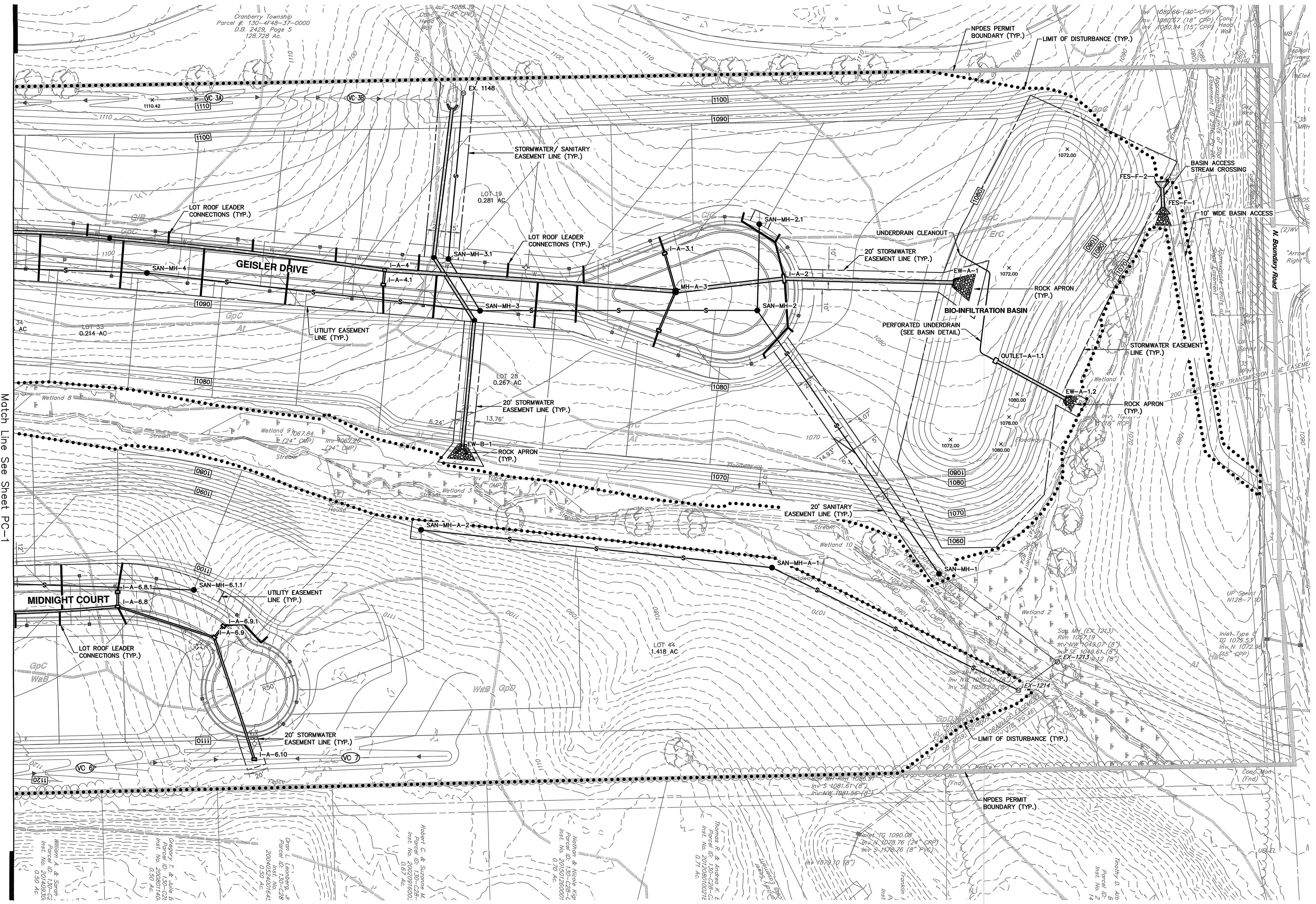
**HRG**  
HERBERT, ROWLAND & GRUBIC, INC.  
220 WEST KENSINGER DRIVE  
SUITE 100  
CRANBERRY TOWNSHIP, PA 16066  
724.778.4777 | hrg-inc.com

**PARK MEADOWS, LLC**  
P.O. BOX 97  
MARS, PA 16046  
(724) 935-2424

**PCSM PLAN FOR PARK MEADOWS PRD**  
CRANBERRY TOWNSHIP BUTLER COUNTY PENNSYLVANIA

PROJ. MGR. - VRL
DESIGN- VRL   BJH
CADD- CRC
CHECKED- VRL
SCALE- AS SHOWN
DATE- JAN. 2024

DRAWING NO. **PC-1**  
SHEET NO. **31 OF 51**  
PROJECT R007645.0428



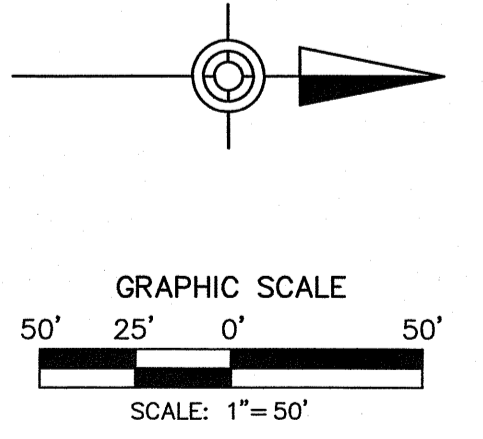
### PROPOSED LEGEND

- 1010 PROPOSED CONTOUR
- x 410.00 PROPOSED SPOT ELEVATION
- PROPOSED CURB
- - - PROPOSED EASEMENT
- +— PROPOSED STORM SEWER & INLET
- S- PROPOSED SANITARY LINE
- W- PROPOSED WATER LINE
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- ⊠ OUTLET PROTECTION

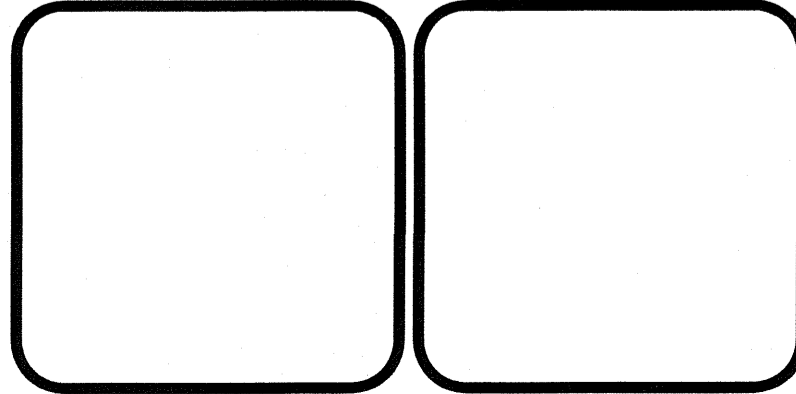
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Match Line See Sheet PC-1

PLAN BOOK	PAGE
<b>416</b>	<b>40</b>



NO.	REVISION	DATE	BY
3	LOT ADJUSTMENTS	01/19/2024	VRL
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1	COMMENTS FROM CRANBERRY TOWNSHIP	01/11/2019	VRL



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 220 WEST KENSINGER DRIVE  
 SUITE 100  
 CRANBERRY TOWNSHIP, PA 16066  
 724.778.4777 | hrg-inc.com

**PARK MEADOWS, LLC**  
 P.O. BOX 97  
 MARS, PA 16046  
 (724) 935-2424

**PCSM PLAN**  
 FOR  
**PARK MEADOWS PRD**

CRANBERRY TOWNSHIP    BUTLER COUNTY    PENNSYLVANIA

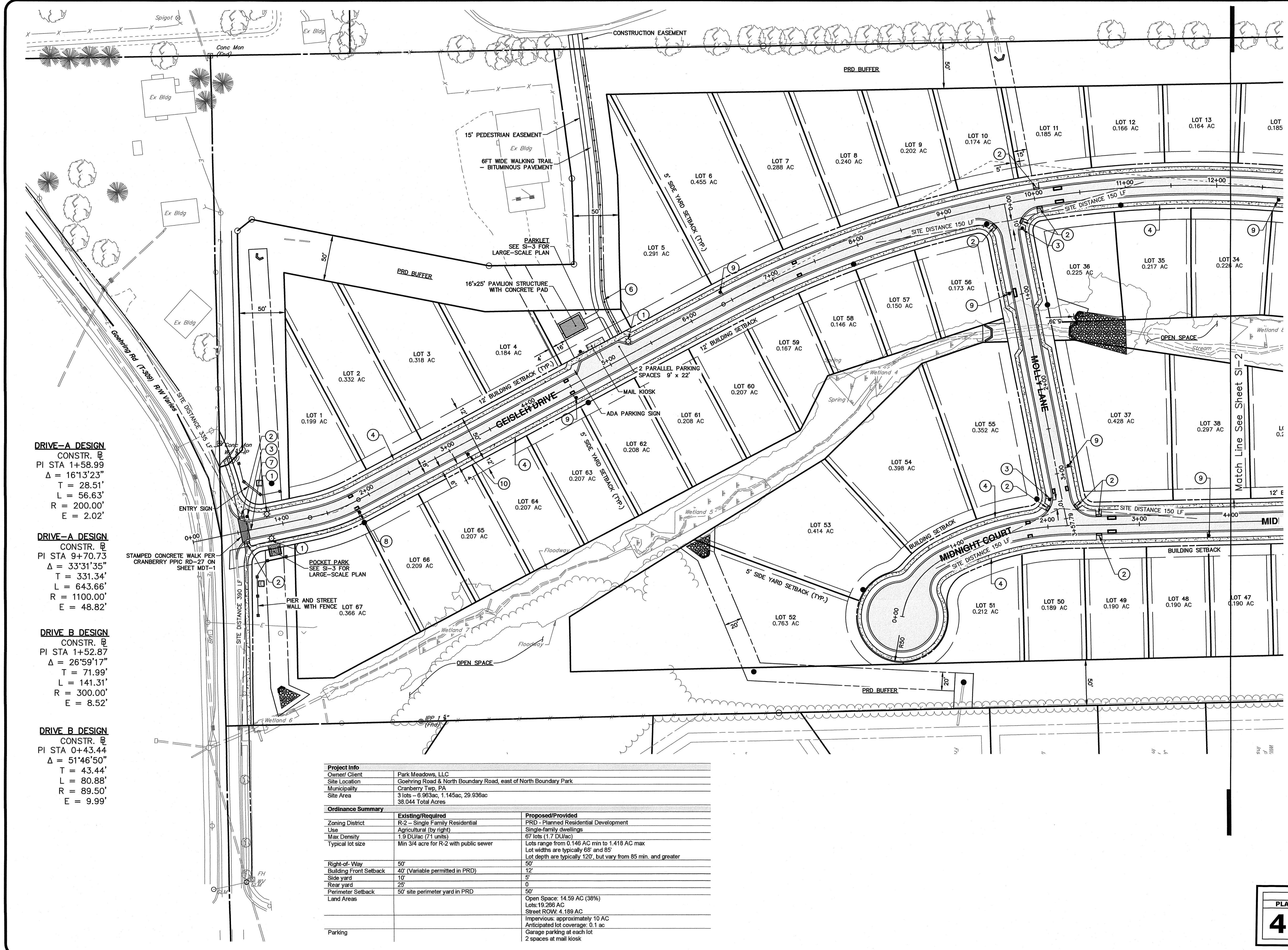
PROJ. MGR. — VRL
DESIGN— VRL   BJH
CADD— CRC
CHECKED— VRL
SCALE— AS SHOWN
DATE— JAN. 2024

DRAWING NO.  
**PC-2**

SHEET NO.  
**32 OF 51**

PROJECT R007645.0428





- ### KEY NOTES
- ① STREET LIGHT
  - ② CURB RAMP WITH DETECTABLE WARNING SURFACE
  - ③ STOP SIGN
  - ④ 4' CONCRETE SIDEWALK
  - ⑤ YIELD TO PEDESTRIANS & DIAGONAL ARROW SIGN
  - ⑥ DECORATIVE FENCE - WOOD SPLIT RAIL
  - ⑦ STOP BAR
  - ⑧ 'NO STREET PARKING BY CRANBERRY ORDINANCE' SIGN
  - ⑨ 'SPEED LIMIT 25' SIGN
  - ⑩ NO OUTLET SIGN

- ### LEGEND
- |  |          |  |                           |
|--|----------|--|---------------------------|
|  | ASPHALT  |  | PROPOSED INLET            |
|  | CONCRETE |  | PROPOSED FIRE HYDRANT     |
|  |          |  | PROPOSED SANITARY MANHOLE |
|  |          |  | PROPOSED ENDWALL/HEADWALL |

- ### NOTES:
1. ALL ROADS TO BE CONSTRUCTED PER ROADWAY SECTIONS ON DT-2. STREAM CROSSING ROADWAY SECTION TO APPLY TO MOLLY LANE BETWEEN STATION 1+10 AND 1+65.5
  2. LOTS 3-6, 11-45 & 51-56 & 67 SHALL HAVE SIDE ENTRY GARAGES.
  3. LOTS SHALL HAVE YARD LAMP POSTS FOR EVERY HOME SITE IN COMPLIANCE WITH TOWNSHIP RECOMMENDATIONS.

ENTRY TYPE		
	67 TOTAL LOTS	PERCENT OF TOTAL
SIDE ENTRY	46	69%
FRONT ENTRY	21	31%

- ### MODIFICATIONS/WAIVERS
1. THE APPLICANT REQUESTS A MODIFICATION TO SECTION 27-903.3.B.1.B, WHICH REQUIRES STREETSCAPE ENHANCEMENTS ALONG ALL PUBLIC AND PRIVATE STREETS AND AT ALL INTERSECTIONS. THE APPLICANT IS PROPOSING TO PROVIDE STREETSCAPE ENHANCEMENTS AT THE ENTRANCE TO THE PLAN THIS INCLUDES STAMPED CONCRETE CROSSWALK AND STREET WALL. JUSTIFICATION: THE ORDINANCE REQUIREMENT IS BEING REVISED IN AN UPCOMING ORDINANCE AND THESE CHANGES ARE IN LINE WITH THAT ORDINANCE.
  2. THE APPLICANT REQUESTS A MODIFICATION TO SECTION 27-903.3.B.1.C, WHICH REQUIRES STREET LIGHTS ALONG ALL PUBLIC AND PRIVATE STREETS. THE APPLICANT IS PROPOSING TO PROVIDE TWO STREET LIGHTS AT THE ENTRANCE TO THE PLAN AS WELL AS A LAMP POST FOR EACH LOT/UNIT NEAR THE STREET SIDEWALK. JUSTIFICATION: THE ORDINANCE REQUIREMENT IS BEING REVISED IN AN UPCOMING ORDINANCE AND THESE CHANGES ARE IN LINE WITH THAT ORDINANCE.
  3. THE APPLICANT REQUESTS A MODIFICATION TO SECTION 27-903.3.B.1.G, WHICH REQUIRES A TRAIL SYSTEM THAT CONNECTS AT LEAST 25% OF ANY CUL-DE-SACS. THE APPLICANT IS PROPOSING TO PROVIDE A TRAIL CONNECTION TO NORTH BOUNDARY PARK. JUSTIFICATION: THE ORDINANCE REQUIREMENT IS BEING REVISED IN AN UPCOMING ORDINANCE AND THESE CHANGES ARE IN LINE WITH THAT ORDINANCE.
  4. THE APPLICANT REQUESTS A MODIFICATION TO SECTION 27-903.3.B.1.I, WHICH REQUIRES BASINS TO PROVIDE PEDESTRIAN CONNECTIONS WITH SEATING/VIEW AREAS AT 50% OF THE BASINS. THE APPLICANT IS PROPOSING TO NOT PROVIDE THIS AMENITY. JUSTIFICATION: THE ORDINANCE REQUIREMENT IS BEING REVISED IN AN UPCOMING ORDINANCE AND THESE CHANGES ARE IN LINE WITH THAT ORDINANCE.
  5. THE APPLICANT REQUESTS A WAIVER TO SECTION 17-401.2.E, WHICH REQUIRES THE LOCAL RESIDENTIAL STREET SECTION (RD-05) TO INCLUDE A 10'-6" DRIVE LANE WIDTH. THE APPLICANT IS PROPOSING FOR A REDUCED DRIVE LANE WIDTH OF 9' AS THE TYPICAL STREET SECTION IN THE DEVELOPMENT. JUSTIFICATION: REDUCING THE ROAD WIDTH PROVIDES AN ENHANCED DESIGN THAT REDUCES ENVIRONMENTAL IMPACTS IN THE AREA, AS WELL AS REDUCING VEHICLE SPEED IN THE DEVELOPMENT.

**DRIVE-A DESIGN**  
CONSTR.  $\square$   
PI STA 1+58.99  
 $\Delta = 16^{\circ}13'23''$   
T = 28.51'  
L = 56.63'  
R = 200.00'  
E = 2.02'

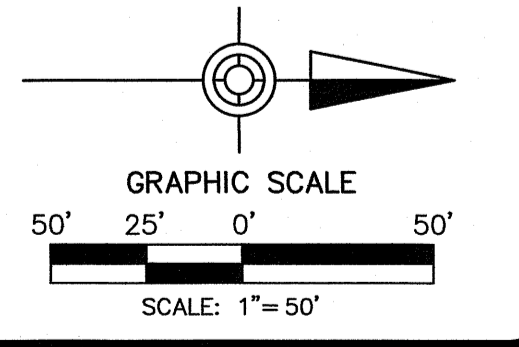
**DRIVE-A DESIGN**  
CONSTR.  $\square$   
PI STA 9+70.73  
 $\Delta = 33^{\circ}31'35''$   
T = 331.34'  
L = 643.66'  
R = 1100.00'  
E = 48.82'

**DRIVE B DESIGN**  
CONSTR.  $\square$   
PI STA 1+52.87  
 $\Delta = 26^{\circ}59'17''$   
T = 71.99'  
L = 141.31'  
R = 300.00'  
E = 8.52'

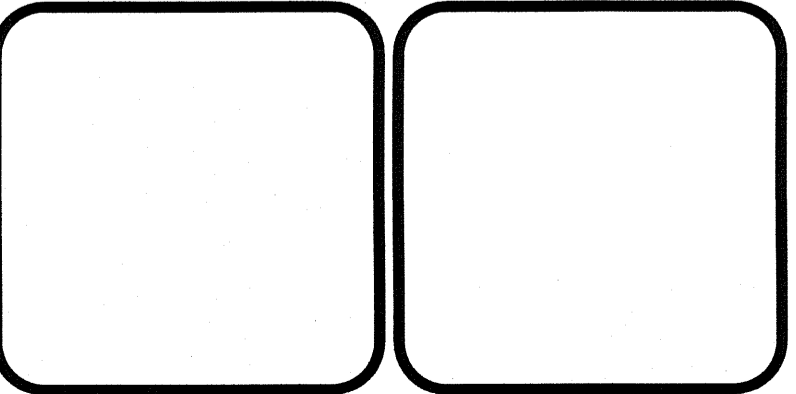
**DRIVE B DESIGN**  
CONSTR.  $\square$   
PI STA 0+43.44  
 $\Delta = 51^{\circ}46'50''$   
T = 43.44'  
L = 80.88'  
R = 89.50'  
E = 9.99'

Project Info		
Owner/ Client	Park Meadows, LLC	
Site Location	Goshring Road & North Boundary Road, east of North Boundary Park	
Municipality	Cranberry Twp, PA	
Site Area	3 lots - 6.963ac, 1.145ac, 29.936ac 38.044 Total Acres	
Ordinance Summary		
Zoning District	Existing/Required	Proposed/Provided
Use	R-2 - Single Family Residential	PRD - Planned Residential Development
Max Density	Agricultural (by right)	Single-family dwellings
Typical lot size	1.9 DU/ac (71 units)	67 lots (1.7 DU/ac)
Right-of-Way	Min 3/4 acre for R-2 with public sewer	Lots range from 0.146 AC min to 1.418 AC max Lot widths are typically 68' and 85' Lot depth are typically 120', but vary from 85 min. and greater
Building Front Setback	50'	50'
Side yard	40' (Variable permitted in PRD)	12'
Rear yard	10'	5'
Perimeter Setback	25'	0'
Land Areas	50' site perimeter yard in PRD	50' Open Space: 14.59 AC (38%) Lots: 19.266 AC Street ROW: 4.189 AC Impervious: approximately 10 AC Anticipated lot coverage: 0.1 ac Garage parking at each lot 2 spaces at mail kiosk
Parking		

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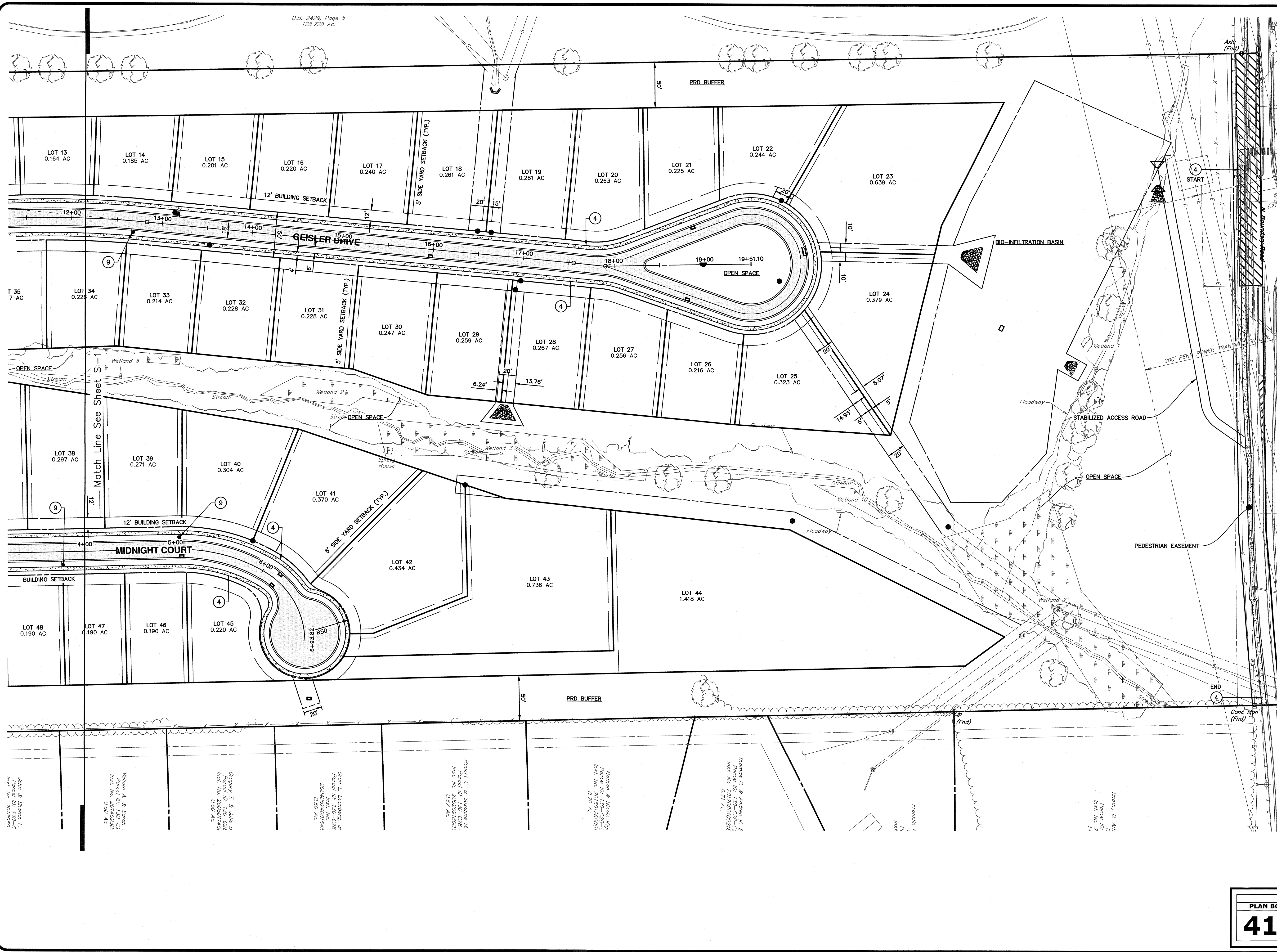
**HERBERT, ROWLAND & GRUBIC, INC.**  
220 WEST KENSINGER DRIVE  
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P.O. BOX 97  
MARS, PA 16046  
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**SITE LAYOUT PLAN**  
FOR  
**PARK MEADOWS PRD**  
CRANBERRY TOWNSHIP BUTLER COUNTY PENNSYLVANIA

PROJ. MGR. - VRL  
DESIGN - VRL | B.J.H.  
CADD - CRC  
CHECKED - VRL  
SCALE - AS SHOWN  
DATE - JAN. 2024

DRAWING NO.  
**SI-1**  
SHEET NO.  
**08 OF 51**  
PROJECT R007645.0428



- KEY NOTES**
- ① STREET LIGHT
  - ② CURB RAMP WITH DETECTABLE WARNING SURFACE
  - ③ STOP SIGN
  - ④ 4" CONCRETE SIDEWALK
  - ⑤ YIELD TO PEDESTRIANS & DIAGONAL ARROW SIGN
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  - ⑦ STOP BAR
  - ⑧ 'NO STREET PARKING BY CRANBERRY ORDINANCE' SIGN
  - ⑨ 'SPEED LIMIT 25' SIGN

- LEGEND**
- ASPHALT
  - CONCRETE
  - PROPOSED INLET
  - PROPOSED FIRE HYDRANT
  - PROPOSED SANITARY MANHOLE
  - PROPOSED ENDWALL/HEADWALL

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ENTRY TYPE		
	67 TOTAL LOTS	PERCENT OF TOTAL
SIDE ENTRY	46	69%
FRONT ENTRY	21	31%

**DRIVE B DESIGN**  
CONSTR. R  
PI STA 5+53.38  
 $\Delta = 30^{\circ}58'14''$   
T = 51.25'  
L = 100.00'  
R = 185.00'  
E = 6.97'

**DRIVE B DESIGN**  
CONSTR. R  
PI STA 6+52.51  
 $\Delta = 59^{\circ}01'46''$   
T = 50.38'  
L = 91.69'  
R = 89.00'  
E = 13.27'

John & Sharon L. Parcel ID: 179-C Parcel No. 0.190 AC

William A. & Sarah Parcel ID: 150-C Parcel No. 0.220 AC

Gregory T. & Julie S. Parcel ID: 130-C Parcel No. 0.228 AC

Open L. Landberg, Jr. Parcel ID: 130-C Parcel No. 0.228 AC

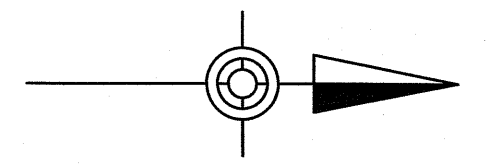
Robert C. & Suzanne M. Parcel ID: 130-C Parcel No. 0.228 AC

Nathan & Nicole K. Parcel ID: 130-C Parcel No. 0.228 AC

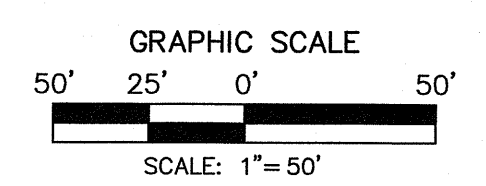
Thomas R. & Andrea K. Parcel ID: 130-C Parcel No. 0.228 AC

Franklin J. Parcel ID: 130-C Parcel No. 0.228 AC

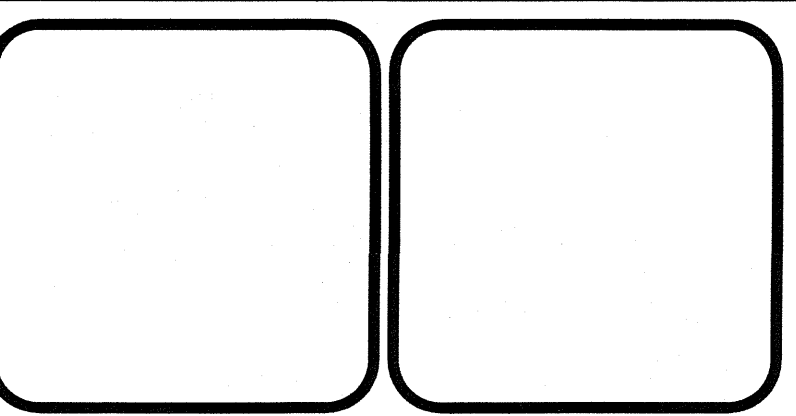
Trinity D. Aig Parcel ID: 130-C Parcel No. 0.228 AC



PLAN BOOK	PAGE
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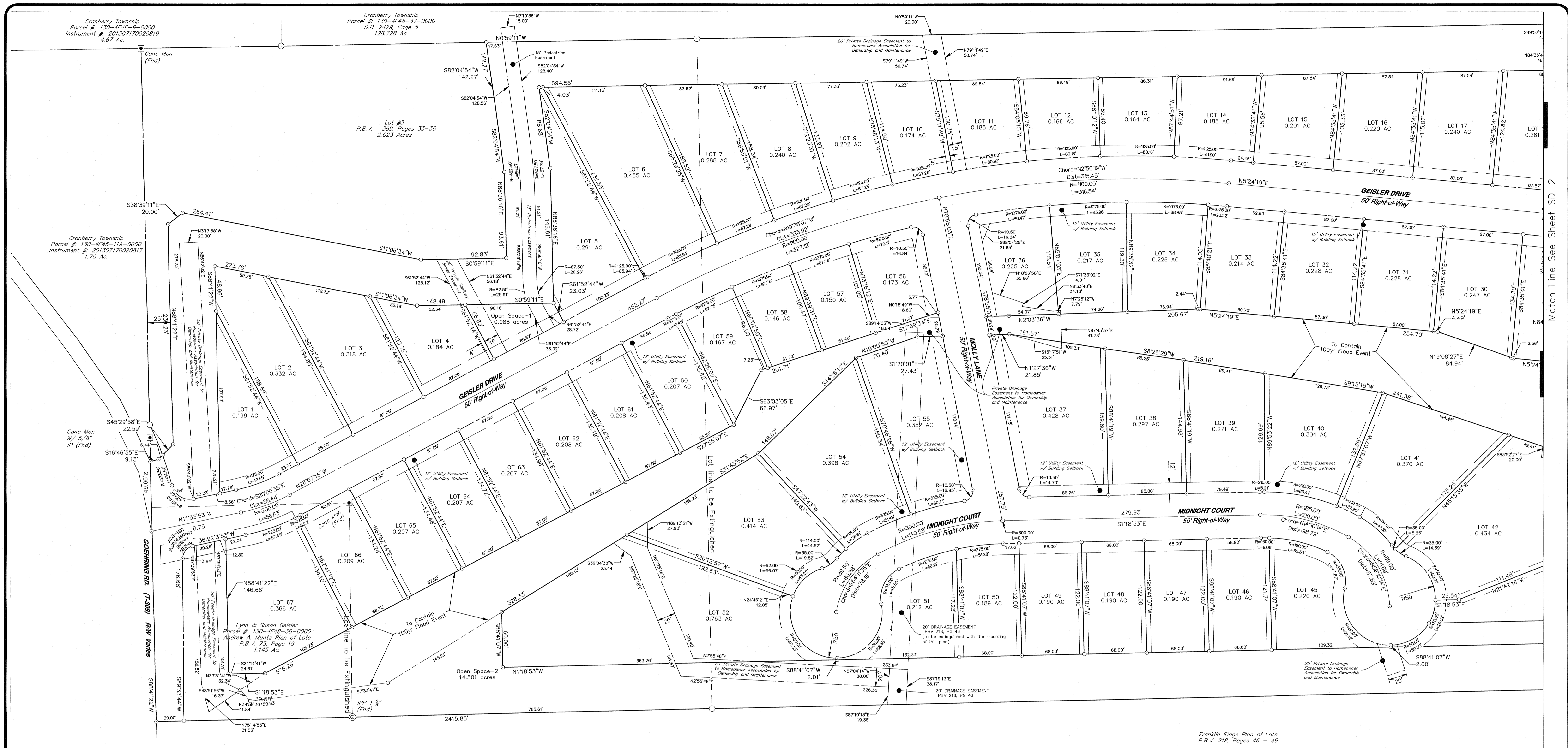
**HRG**  
HERBERT, ROWLAND & GRUBIC, INC.  
220 WEST KENSINGER DRIVE  
SUITE 100  
CRANBERRY TOWNSHIP, PA 16066  
724.779.4777 | hrg-inc.com

**PARK MEADOWS, LLC**  
P.O. BOX 97  
MARS, PA 16046  
(724) 935-2424

**SITE LAYOUT PLAN**  
FOR  
**PARK MEADOWS PRD**  
CRANBERRY TOWNSHIP BUTLER COUNTY PENNSYLVANIA

PROJ. MGR. - VRL  
DESIGN- VRL | BJH  
CADD- CRC  
CHECKED-VRL  
SCALE- AS SHOWN  
DATE- JAN. 2024

DRAWING NO.  
**SI-2**  
SHEET NO.  
**09 OF 51**  
PROJECT R007645.0428



Franklin Ridge Plan of Lots  
P.B.V. 218, Pages 46 - 49

**SURVEY NOTES**

1. THE BOUNDARY SHOWN ON THIS PLAN IS BASED UPON SURVEY PERFORMED ON THE GROUND BY HERBERT, ROWLAND & GRUBIC IN OCTOBER 2016.
2. HORIZONTAL DATUM IS BASED UPON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD83).
3. BEARING BASIS ESTABLISHED AS GRID NORTH, PENNSYLVANIA STATE PLANE, SOUTH ZONE 3702, GPS OBSERVATION AT LATITUDE 40 DEGREES 43 MINUTES 08.49239 SECONDS NORTH, LONGITUDE 80 DEGREES 04 MINUTES 58.54007 SECONDS WEST, HAVING A CONVERGENCE ANGLE OF -01 DEGREES 30 MINUTES 48.9132 SECONDS.
4. TITLE COMMITMENT POLICY NO. 15-5358, EFFECTIVE DATE OF 12/31/2015 BY CHICAGO TITLE INS. CO WAS PROVIDED TO THE UNDERSIGNED.
5. ENTIRE SURVEYED PROPERTY LOCATED IN R-2 ZONING DISTRICT.
6. ALL LOTS HAVE A 12 FOOT FRONT YARD BUILDING SETBACK AND A 5 FOOT SIDE YARD BUILDING SETBACK.
7. THE PURPOSE OF THIS PLAN IS TO CONSOLIDATE LOTS 1 & 2 OF THE LYNN GEISLER SUBDIVISION AS RECORDED IN PLAN BOOK VOLUME 369 PAGES 33-36 WITH THOSE LANDS BEING KNOWN AS LOT 1 AS RECORDED IN PLAN BOOK VOLUME 75 PAGE 19 INTO ONE LOT FOR THE PURPOSE OF SUBDIVIDING FOR PLANNED RESIDENTIAL DEVELOPMENT.

**REFERENCE DOCUMENTS**

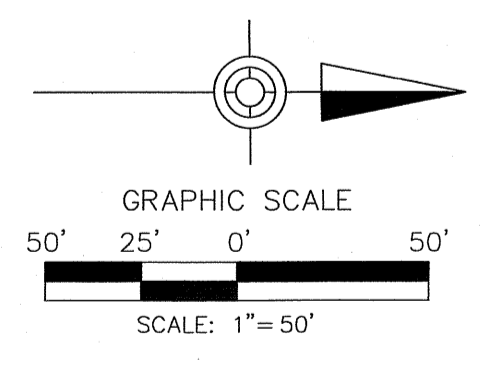
1. ALL DEEDS REFERENCED ON PLAT OF SURVEY.

**AREA TABLE: GROSS ACREAGE**

TOTAL ORIGINAL AREA:	36.899 ACRES
AREA GEISLER LOT:	1.145 ACRES
RIGHT-OF-WAY AREA:	4.189 ACRES
SUBDIVIDED LOTS AREA:	19.266 ACRES
OPEN SPACE:	14.589 ACRES
TOTAL IN PLAN:	38.044 ACRES

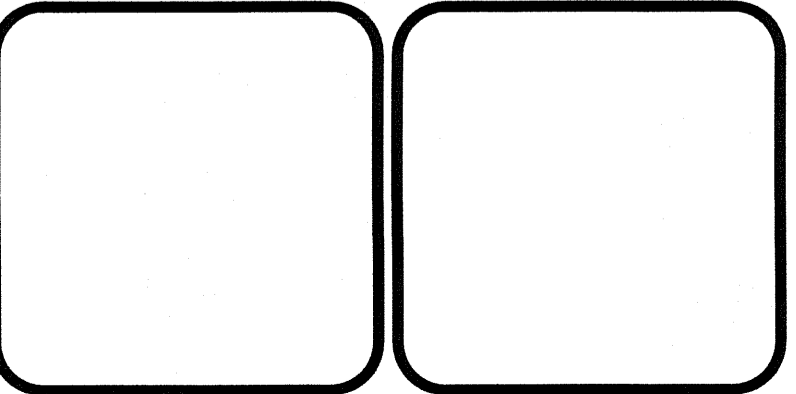
**LEGEND**

- Monument Found
- Iron Pipe Found - Size Indicated
- Iron Pin Found - Size Indicated
- Deed Line
- - - - Legal Right-of-Way Line
- Existing Curb
- - - Existing Edge of Road
- - - Existing Edge of Gravel
- Existing Guide Rail



PLAN BOOK	PAGE
<b>416</b>	<b>43</b>

NO.	REVISION	DATE	BY
3	LOT ADJUSTMENTS	01/19/2024	VRL
2	COMMENTS FROM CRANBERRY TOWNSHIP	02/27/2020	VRL
1	COMMENTS FROM CRANBERRY TOWNSHIP	01/11/2019	VRL



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P.O. BOX 97  
MARS, PA 16046  
(724) 935-2424

**SUBDIVISION PLAN**  
FOR  
**PARK MEADOWS PRD**  
CRANBERRY TOWNSHIP BUTLER COUNTY PENNSYLVANIA

PROJ. MGR. - VRL  
DESIGN - VRL | BJH  
CADD - CRC  
CHECKED - VRL  
SCALE - AS SHOWN  
DATE - JAN, 2024

DRAWING NO.  
**SD-1**  
SHEET NO.  
**50 OF 51**  
PROJECT R007645.0428

Match Line See Sheet SD-2

THIS SHEET NOT VALID WITHOUT SHEET 2

KNOW ALL MEN BY THESE PRESENTS; THAT MARK S. & THEODORA S. KELLOGG, DO HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN SLIPPERY ROCK TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF SLIPPERY ROCK, MARK S. & THEODORA S. KELLOGG, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF SLIPPERY ROCK, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON MARK S. & THEODORA S. KELLOGG, OUR SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 29th DAY OF February 2024.  
 ATTEST:  
Mark S. Kellogg Daniel J. Kellogg  
 OWNER OWNER

COMMONWEALTH OF PENNSYLVANIA ) SS:  
 COUNTY OF BUTLER )  
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED MARK S. & THEODORA S. KELLOGG AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.  
 SWORN AND SUBSCRIBED BEFORE ME THIS DAY.  
 WITNESS MY HAND AND SEAL THIS 29th DAY OF February 2024.  
 MY COMMISSION EXPIRES THE 1st DAY OF July 2025.

LouAnn LoDico  
 NOTARY PUBLIC  
 Commonwealth of Pennsylvania - Notary Seal  
 LouAnn LoDico, Notary Public  
 Butler County  
 My commission expires July 15, 2025  
 Commission number 1277839  
 Member, Pennsylvania Association of Notaries

KNOW ALL MEN BY THESE PRESENTS; THAT KELLOGG FAMILY LTD. PARTNERSHIP, DO HEREBY ADOPT THIS PLAN AS ITS PLAN OF LOTS OF ITS PROPERTY SITUATE IN SLIPPERY ROCK TOWNSHIP, BUTLER COUNTY, PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO IT, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECT AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, AND ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF SLIPPERY ROCK, KELLOGG FAMILY LTD. PARTNERSHIP, HEREBY COVENANTS AND AGREES TO AND BY THESE PRESENTS DOES RELEASE AND FOREVER DISCHARGE SAID COMMONWEALTH OF PENNSYLVANIA, COUNTY OF BUTLER, AND TOWNSHIP OF SLIPPERY ROCK, THEIR SUCCESSORS OR ASSIGNS FROM ANY LIABILITY FOR DAMAGES ARISING AND TO ARISE FROM THE APPROPRIATION OF SAID GROUND FOR PUBLIC HIGHWAYS AND THE PHYSICAL GRADING THEREOF TO ANY GRADES THAT MAY BE ESTABLISHED. THIS DEDICATION AND RELEASE SHALL BE BINDING UPON KELLOGG FAMILY LTD. PARTNERSHIP, OUR SUCCESSORS AND ASSIGNS AND PURCHASERS OF LOTS IN THIS PLAN.

IN WITNESS WHEREOF, WE, HEREUNTO SET OUR HAND AND SEAL THIS 29th DAY OF February 2024.  
 ATTEST:  
Mark S. Kellogg Daniel J. Kellogg  
 OWNER OWNER

COMMONWEALTH OF PENNSYLVANIA ) SS:  
 COUNTY OF BUTLER )  
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED ABOVE NAMED Mark S. Kellogg + Daniel J. Kellogg OF KELLOGG FAMILY LTD. PARTNERSHIP AND ACKNOWLEDGED THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE OUR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN AND SUBSCRIBED BEFORE ME THIS DAY.  
 WITNESS MY HAND AND SEAL THIS 29th DAY OF February 2024.  
 MY COMMISSION EXPIRES THE 1st DAY OF July 2025.

LouAnn LoDico  
 NOTARY PUBLIC  
 Commonwealth of Pennsylvania - Notary Seal  
 LouAnn LoDico, Notary Public  
 Butler County  
 My commission expires July 15, 2025  
 Commission number 1277839  
 Member, Pennsylvania Association of Notaries

APPROVED BY THE SLIPPERY ROCK TOWNSHIP PLANNING COMMISSION THIS 12th DAY OF February, 2024.  
Christina Parkley Dave S...  
 SECRETARY CHAIRMAN

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF SLIPPERY ROCK HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP OF SLIPPERY ROCK ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED, EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS, OR ROADS, OR GRADES, PAVE AND CURB THE STREETS IN SAID PLAN, OR TO CONSTRUCT SEWERS THEREIN OR TO INSTALL ANY OTHER SUCH SERVICE ORDINARILY INSTALLED IN TOWNSHIP STREETS OR ROADS.

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF SLIPPERY ROCK, THIS 12th DAY OF February, 2024.  
Christina Parkley Paul A. Diehl  
 SECRETARY CHAIRMAN, BOARD OF SUPERVISORS

NOTE:  
 The municipality can issue final approval of the subdivision plan or building permit if the plan or permit contains the wording that "A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 420 OF THE STATE HIGHWAY LAW (PL 1242, No. 428)"  
W. Miner  
 SUPERVISOR

I, JEFFREY A. SHUTY, A PROFESSIONAL LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS AND OR AGENTS.  
2/13/2024  
 DATE REG. NO. SU075509

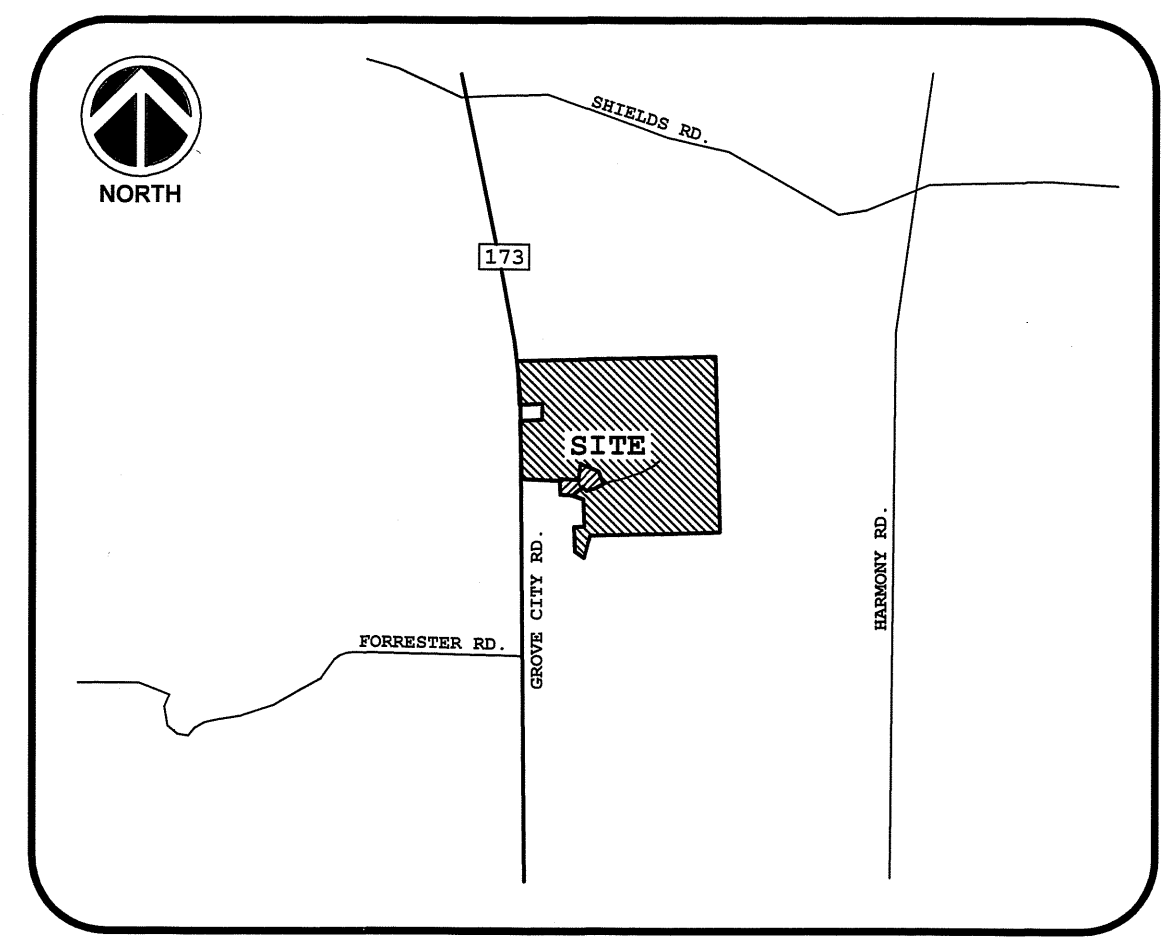
REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 11th DAY OF JAN. 2024.  
R. H. ... J. H. ...  
 SECRETARY CHAIRMAN

COMMONWEALTH OF PENNSYLVANIA ) SS:  
 COUNTY OF BUTLER )  
 RECORDED IN THE RECORDERS OFFICE FOR THE RECORDING OF DEEDS, PLANS, ETC. IN SAID COUNTY IN PLAN BOOK VOLUME 416 PAGE 44  
 GIVEN UNDER MY HAND AND SEAL THIS 19th DAY OF MARCH 2024.  
Michele M. Mustello  
 RECORDER

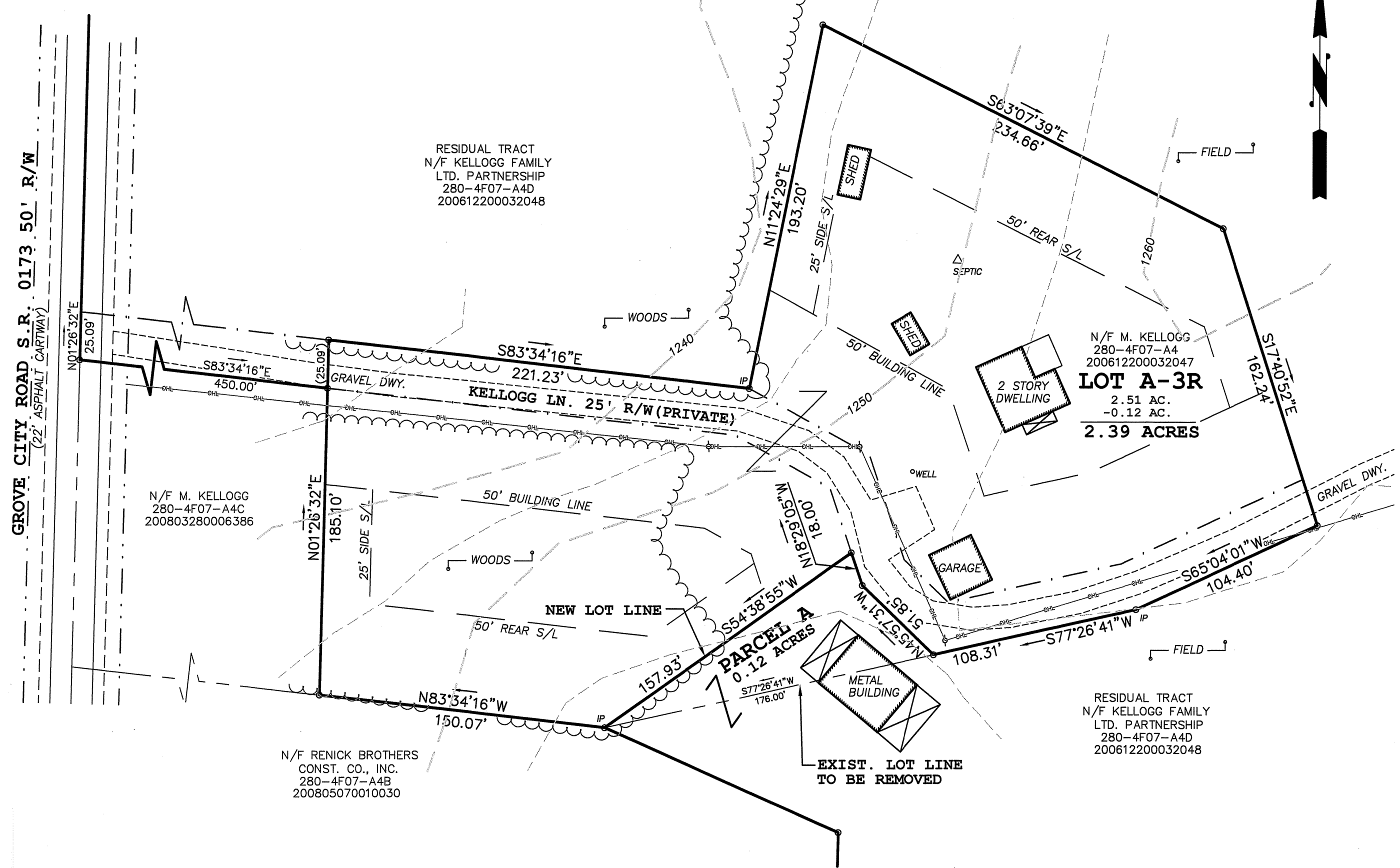
**MICHELE M. MUSTELLO**  
 RECORDER OF DEEDS  
 My Commission Expires First Monday in January 2028

NON-BUILDING WAIVER  
 RESIDUAL TRACT  
 "As of the date of this deed/plot plan recording, the property/subdivision described herein is and shall be dedicated for the express purpose of AGRICULTURE use. No portion of RESIDUAL TRACT property/subdivision has been approved by SLIPPERY ROCK TOWNSHIP (municipality) or the Department of Environmental Protection (DEP) for the installation of sewage disposal facilities. No sewage permit will be issued for the installation, construction, connection to or use of any sewage collection, conveyance, treatment or disposal system (except for repairs to existing systems) unless the municipality and DEP have both approved sewage facilities planning for the property/subdivision described herein in accordance with the Pennsylvania Sewage Facilities Act (35 P.S. Sections 750.1 et seq.) and regulations promulgated thereunder. Prior to signing, executing, implementing or recording any sales contract or subdivision plan, any purchaser or subdivider of any portion of this property should contact appropriate officials of SLIPPERY ROCK TOWNSHIP (municipality), which is charged with administering the Sewage Facilities Act to determine what sewage facilities planning is required and the procedure and requirements for obtaining appropriate permits or approvals."

Instr: 202403190003672  
 Page 1 of 1 84500  
 Michele Mustello  
 Butler County Recorder PA



**VICINITY MAP**  
 NOT TO SCALE



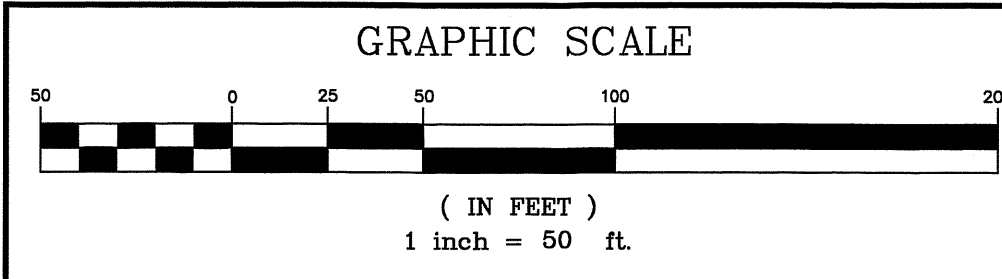
**RESIDUAL MAP**  
 1" = 400'

NOTE:  
 PARCEL A IS NOT A SEPERATE BUILDING LOT AND IS TO BE CONVEYED FROM PARCEL 280-4F07-A4 (KELLOGG) AND BECOME PART OF ADJOINING PARCEL 280-4F07-A4D (KELLOGG FAMILY) RESIDUAL TRACT.

KELLOGG LANE IS AN EXISTING 25' PRIVATE RIGHT OF WAY AS RECORDED IN PLAN BOOK VOLUME 297 PAGE 26.

TOTAL PLAN AREA ±101.04 ACRES  
 LOT A-3R 2.39 AC.  
 RESIDUAL TRACT ±98.65 AC.

ZONING - RC-1 RURAL CONSERVATION	1 ACRE
MIN. LOT AREA	150'
MIN. LOT WIDTH	150'
SETBACKS:	
FRONT YARD	50'
SIDE YARD	25'
REAR YARD	50'
MAX. BLDG. FT.	35'
MAX. COVERAGE	15%



OWNER:  
 MARK S. & THEODORA S. KELLOGG  
 474 GROVE CITY RD.  
 SLIPPERY ROCK, PA 16057  
 724-967-2387  
 OWNER:  
 KELLOGG FAMILY LTD. PARTNERSHIP  
 545-A GROVE CITY RD.  
 SLIPPERY ROCK, PA 16057  
 PARCEL ID: 280-4F07-A4  
 DEED REF: 200612200032047  
 PBV 297 PG 26  
 PARCEL ID: 280-4F07-A4D  
 DEED REF: 200612200032048

Scale 1" = 50'  
 Date Jan. 8, 2024  
**NORTHERN**  
 SURVEYORS AND ASSOCIATES  
 137 LINK LANE  
 SLIPPERY ROCK, PA 16057  
 (724)530-6889  
 northernsurveyor@gmail.com

Kellogg Lot Line Revision  
 Situate in Slippery Rock Township  
 Butler County, Pa.  
 Prepared For  
 Mark & Theodora Kellogg  
 Sheet No. 1 of 1

PLAN BOOK	PAGE
<b>416</b>	<b>44</b>



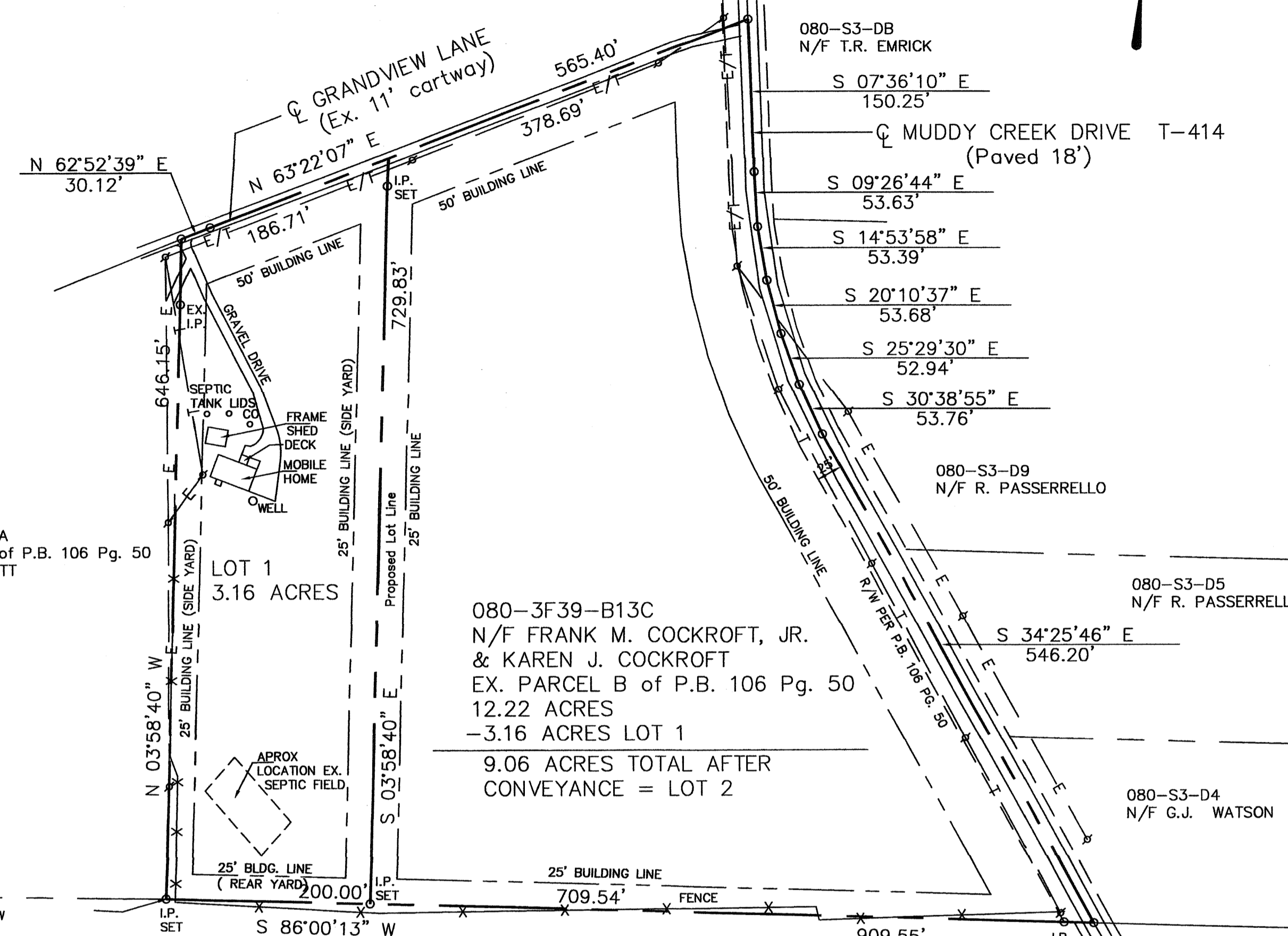
LEGEND

- E/T-E/T- ELECTRIC/TELEPHONE LINE
- X-X-X- FENCE

080-3F39-B13D  
EX. PARCEL A of P.B. 106 Pg. 50  
N/F F.M. COCKROFT, JR.

080-3F39-B13A  
EX. PARCEL C of P.B. 106 Pg. 50  
N/F W.A. ELLIOTT

080-3F39-B14  
N/F R.E. THOMPSON &  
L.L. SMITH



AS OF THE DATE OF THIS DEED/PLOT PLAN/DEED NOTICE RECORDING, THE PROPERTY/SUBDIVISION DESCRIBED HEREON IS AND SHALL BE DEDICATED FOR THE EXPRESS PURPOSE OF AGRICULTURAL USE. THIS WAIVER APPLIES TO REVISED PARCEL B OF THE PLAN AS SHOWN HEREON. NO PORTION OF THIS PROPERTY/SUBDIVISION HAS BEEN APPROVED BY CLAY TOWNSHIP OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES. NO SEWAGE PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE COLLECTION, CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM (EXCEPT FOR REPAIRS TO EXISTING SYSTEMS) UNLESS THE MUNICIPALITY AND THE DEP HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR THE PROPERTY/SUBDIVISION HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT (35 P.S. SECTIONS 750.1 ET SEQ.) AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR SUBDIVIDER OF ANY PORTION OF THIS REMNANT REVISED PARCEL B SHOULD CONTACT APPROPRIATE OFFICIALS OF CLAY TOWNSHIP, WHICH IS CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO DETERMINE WHAT SEWAGE FACILITIES PLANNING IS REQUIRED AND THE PROCEDURE AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR APPROVALS.

Inst#r: 202403200003764  
Page 1 of 1 Pg. 50  
Michele Mustello  
Butler County Recorder PA

CLAY TOWNSHIP DEDICATION  
KNOW ALL MEN BY THESE PRESENTS, That we, Frank M. Cockroft, Jr., and Karen J. Cockroft, of the Township of Clay, of the County of Butler, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this plan as our Plan of Lots of our property, situate in Clay Township, Butler County, Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever, for public use for highway purposes all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler, and Township of Clay, we hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Clay, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Frank M. Cockroft, Jr., and Karen J. Cockroft, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 19 day of March 2024  
ATTEST:  
*[Signatures]*  
NOTARY PUBLIC OWNER OWNER

COMMONWEALTH OF PENNSYLVANIA [S:  
COUNTY OF BUTLER]

Before me, the subscriber, a Notary Public in and for said Commonwealth and Township, personally appeared the above named Frank M. Cockroft, Jr., and Karen J. Cockroft, and acknowledged the foregoing release and dedications and plan to be their act and deed and desired the same to be recorded as such.

Sworn to and subscribed before me this day.  
WITNESS MY HAND AND NOTARIAL SEAL this 19 day of March 2024

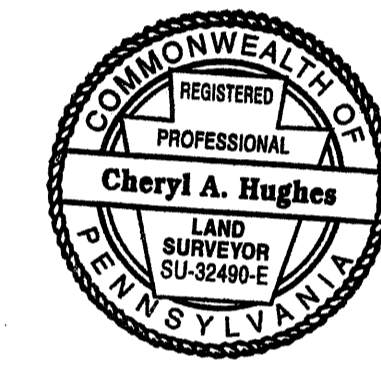
My commission expires this 6<sup>th</sup> day of July 2027

SEAL  
*[Signature]*  
NOTARY PUBLIC  
Commonwealth of Pennsylvania - Notary Seal  
LAURA BELLE RODGERS - Notary Public  
Butler County  
My Commission Expires July 6, 2027  
Commission Number 1435979

TITLE CLAUSE (NO MORTGAGE)

We, Frank M. Cockroft, Jr., and Karen J. Cockroft, owners of this plan of subdivision in our names, do hereby certify that the title of this property is in the names of Frank M. Cockroft, Jr., and Karen J. Cockroft, as recorded in Deed Book Volume 1486 page 764, Recorder of Deeds Office. We further certify that there is no mortgage, lien or encumbrance against this property.

*[Signatures]*  
WITNESS OWNERS



I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan correctly represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.

DATE: January 22, 2024  
*[Signature]*  
SIGNATURE OF LAND SURVEYOR  
REGISTRATION NUMBER SU-32490-E

The Board of Supervisors of the Township of Clay hereby gives public notice that in approving this plan for recording purposes only, the Township of Clay assumes no obligations, legal or otherwise, expressed or implied either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan, or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.

*[Signatures]*  
SECRETARY CHAIRMAN

Approved by the Board of Supervisors of the Township of Clay this 7<sup>th</sup> day of March 2024

*[Signatures]*  
SECRETARY CHAIRMAN

Reviewed by the Clay Township Planning Commission this 13<sup>th</sup> day of February 2024

*[Signatures]*  
SECRETARY CHAIRMAN

Reviewed by the Butler County Planning Commission this 7<sup>th</sup> day of Nov. 2023

*[Signatures]*  
SECRETARY CHAIRMAN

COMMONWEALTH OF PENNSYLVANIA [S:  
COUNTY OF BUTLER]

Recorded in the Recorder's Office for the recording of deeds, plans, etc., in said County in Plan Book Volume 416 page 45

Given under my hand and seal this 20<sup>th</sup> day of MARCH 2024

SEAL  
*[Signature]*  
RECORDER

REVISED 01/22/2024; TWP. REVIEW COMMENTS

**MICHELE M. MUSTELLO**  
RECORDER OF DEEDS  
My Commission Expires First Monday In January 2028

*[Signatures]*  
Land Surveyors, Inc.  
523 North Main Street  
P.O. Box 1081  
Butler, PA 16003-1081  
(724) 287-6865  
Cheryl A. Hughes, PLS Owner

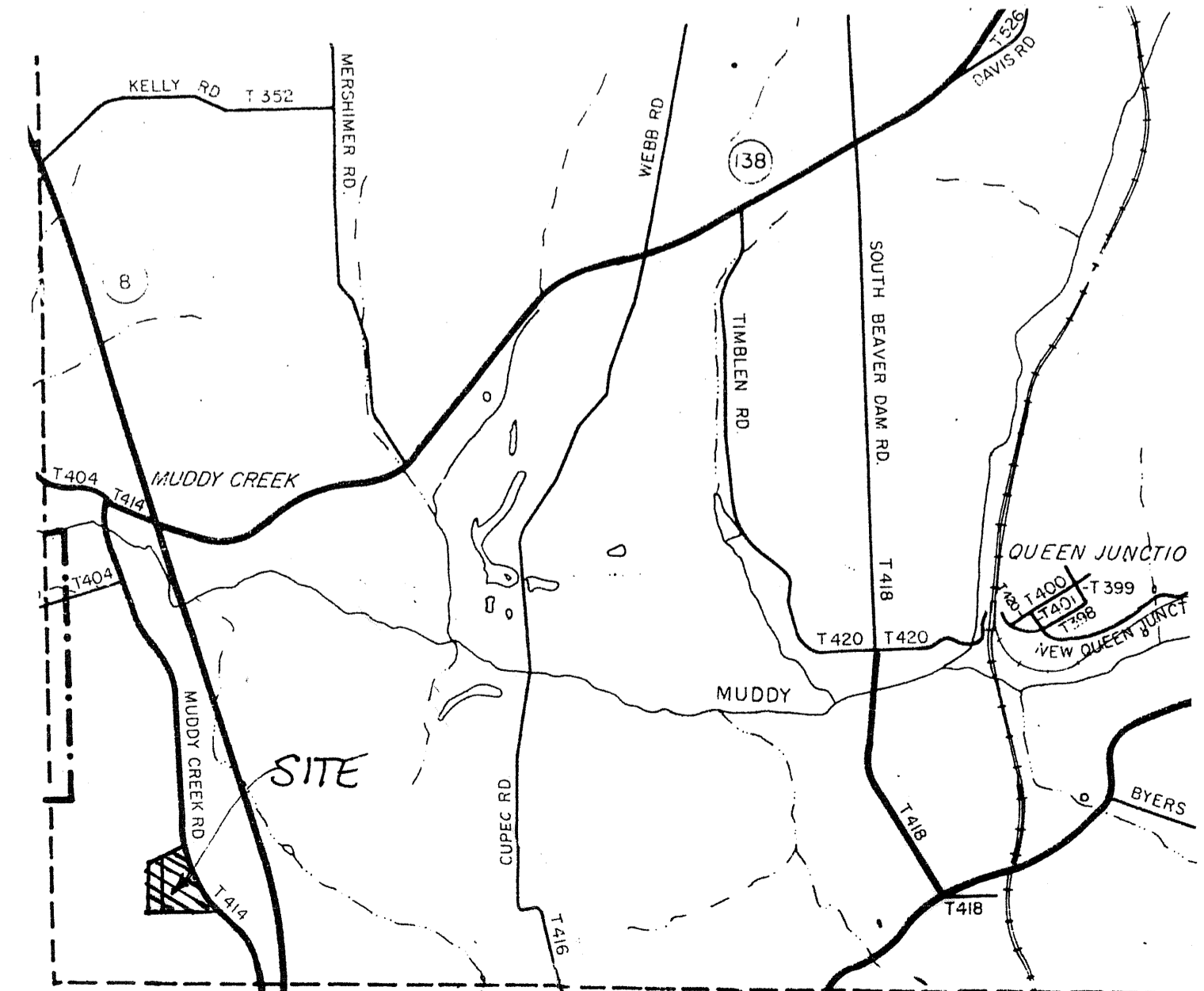
FINAL PLAN OF SUBDIVISION  
FOR: FRANK M. COCKROFT, JR.  
and  
KAREN J. COCKROFT  
SITUATE: CLAY TWP., BUTLER CO., PA

PLAN BOOK	PAGE
<b>416</b>	<b>45</b>

Date 10/12/2023	Scale 1" = 100'	Dwn By BEC	Ckd By CAH
Parcel No. 080-3F39-B13C	Db-Pg 1486-764	Service No. 23-122	
Address 110 GRANDVIEW LANE			

NOTES:  
SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.  
REF: PLAN OF SUBDIVISION FOR ALBERT W. & LEONA ELLIOTT BY OLSEN, ZARNICK & SEYBERT, INC., 06/27/85, #85-221, P.B. 106 PG. 50.  
ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREA OF MINIMAL FLOOD HAZARD DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.  
PROPERTY OWNERS: FRANK M. COCKROFT, JR.  
KAREN J. COCKROFT  
134 GRANDVIEW LANE  
BUTLER, PA 16001

TOTAL PLAN AREA: 12.22 ACRES  
THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE THE EXISTING DWELLING ONTO ITS OWN LOT.



VICINITY MAP Scale: 1" = 2000'



Instr: 20240322003908  
 Pg: 1 of 1  
 Michele Mustello  
 Butler County Recorder PA

I, Kenneth Macadaeg, owner of Macadaeg, LLC, of the land shown on the Plan of Subdivision for Macadaeg, LLC, hereby adopt this plan as my Plan of Lots and irrevocably dedicate all streets and other property identified for dedication on the plan to the public. Any future acceptance of said public streets or property by the Commonwealth of Pennsylvania, County of Butler and Township of Franklin, I hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Franklin, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public streets or property and the physical grading thereof to any grades that may be established. This adoption and dedication shall be binding upon Kenneth Macadaeg, owner of Macadaeg, LLC, my heirs, executors, assigns.

IN WITNESS WHEREOF, I hereunto set my hand and seal this 23 day of February, 2024

ATTEST:  
 [Signature] NOTARY PUBLIC  
 [Signature] KENNETH MACADAEG, OWNER

COMMONWEALTH OF PENNSYLVANIA:SS: COUNTY OF BUTLER  
 This record was acknowledged before me February 23, 2024 by Kenneth Macadaeg, owner of Macadaeg, LLC, who represent that he is authorized to act on behalf of whom the record was executed.

WITNESS MY HAND AND NOTARIAL SEAL this 23 day of February, 2024

My Commission expires the 06 day of March, 2024

SEAL [Signature] NOTARY PUBLIC  
 [Seal: Darrin J. Nichter, Notary Public, Butler County, My commission expires March 6, 2024, Commission number 1120575]

I certify that, to the best of my knowledge, that the survey and plan shown hereon correctly represents the lots, lands streets and highways as surveyed and plotted by me.

DATE January 23, 2024 SEAL [Signature] REG. NO. SU-32490-E

The Board of Supervisors of the Township of Franklin hereby gives public notice that in approving this plan for recording purposes only, the Township of Franklin assumes no obligations, legal or otherwise, to accept all streets and other property identified for dedication on the plan.

Approved by the Board of Supervisors of the Township of Franklin by Resolution No. 24-03, effective this 29th day of February, 2024

[Signature] CHAIRPERSON, BOARD OF SUPERVISORS

Reviewed by the Planning Commission of the Township of Franklin this 29th day of February, 2024

[Signature] CHAIRPERSON, PLANNING COMMISSION

APPROVED MODIFICATIONS:  
 On \_\_\_\_\_, 20\_\_\_\_ a modification was granted by the Franklin Township Board of Supervisors to Ordinance \_\_\_\_\_ Article \_\_\_\_\_ Section \_\_\_\_\_ Subsection \_\_\_\_\_ to allow not to provide contours.

On \_\_\_\_\_, 20\_\_\_\_ a modification was granted by the Franklin Township Board of Supervisors to Ordinance \_\_\_\_\_ Article \_\_\_\_\_ Section \_\_\_\_\_ Subsection \_\_\_\_\_ to not delineate wetlands.

Reviewed by the Butler County Planning Commission this 9th day of JAN, 2024

[Signature] CHAIRPERSON, BUTLER COUNTY PLANNING COMMISSION

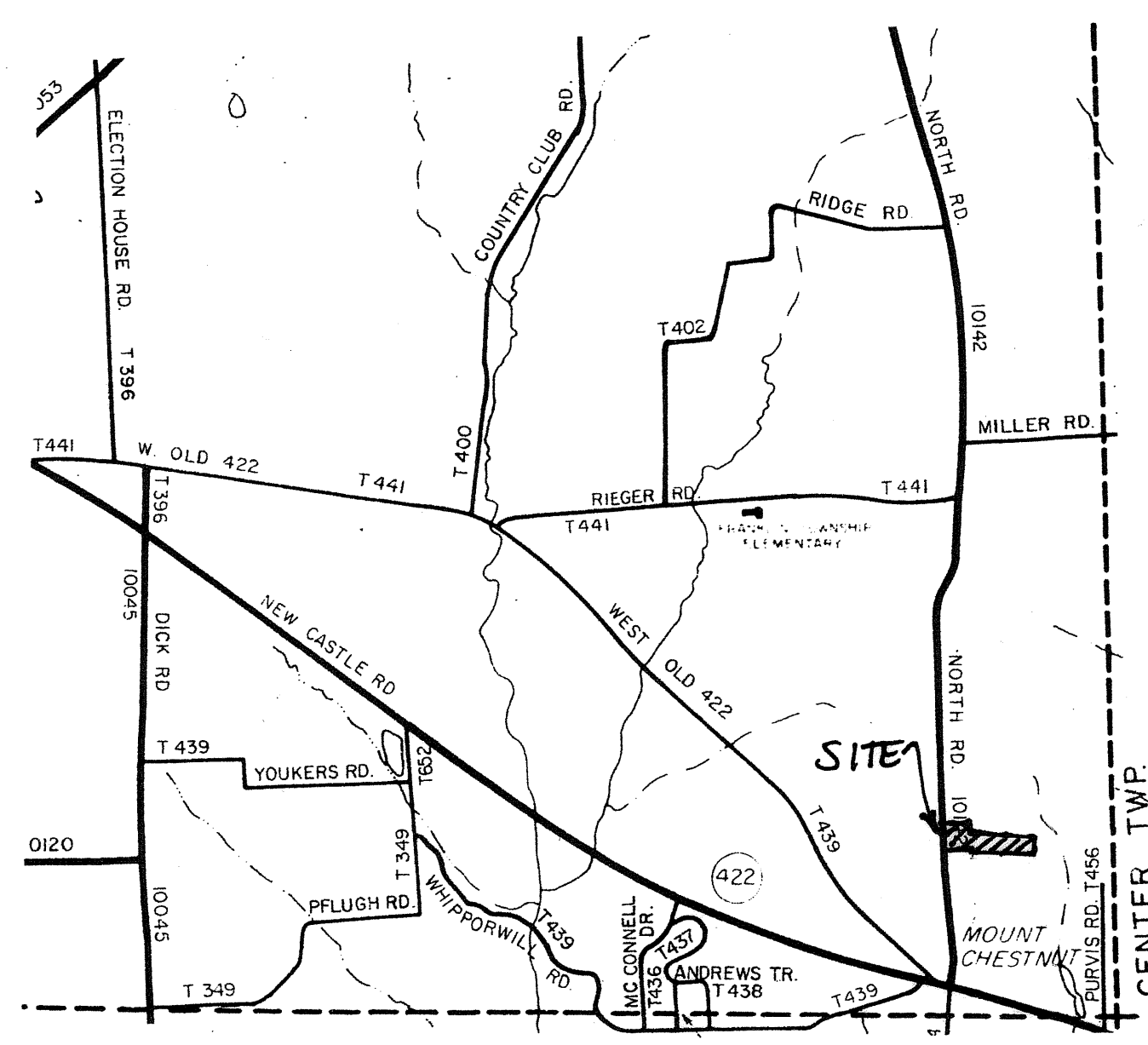
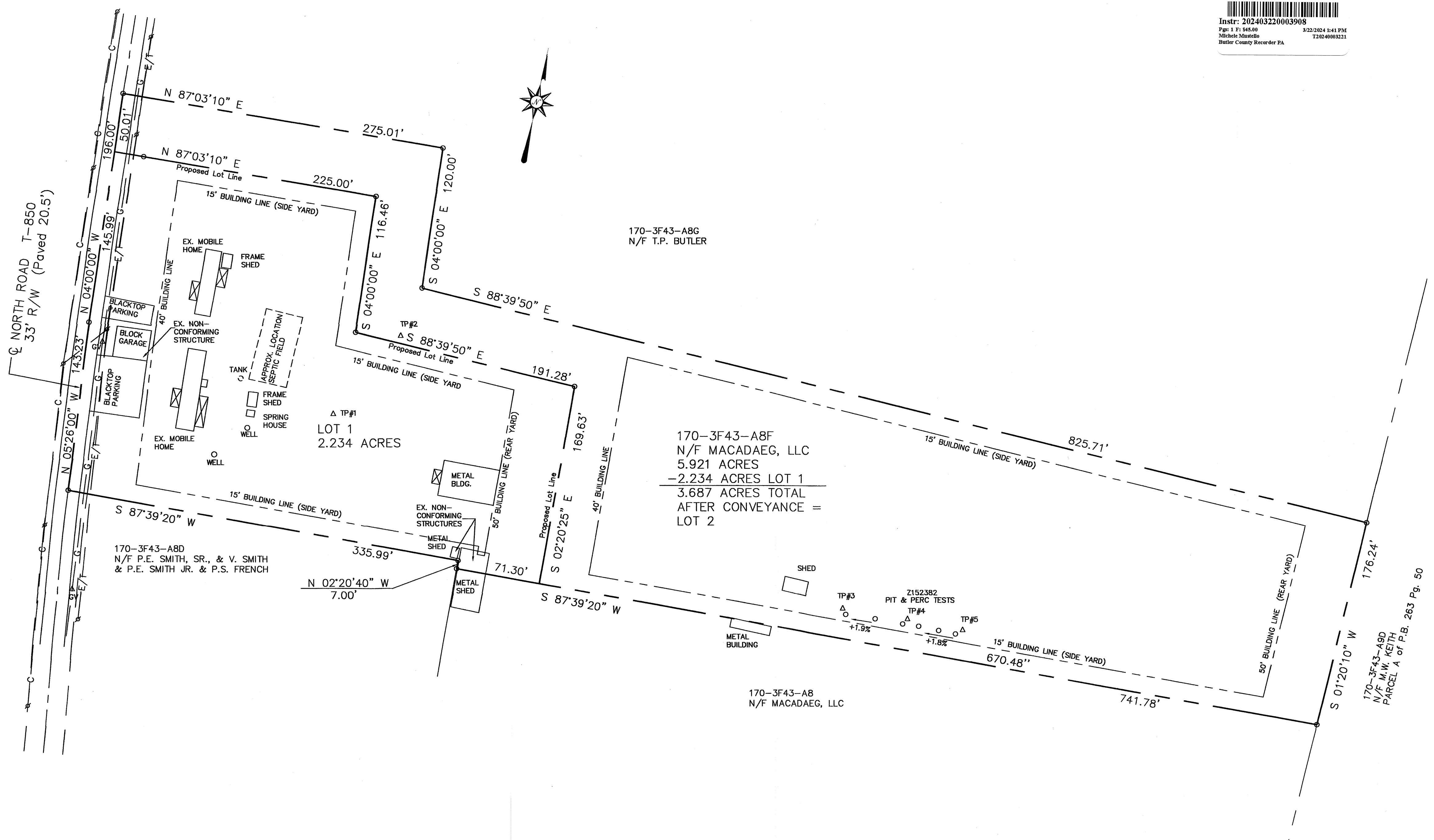
COMMONWEALTH OF PENNSYLVANIA:SS: COUNTY OF BUTLER  
 Recorded in the Recorder's Office for the recording of deeds, plans, etc. in said County in Plan Book Volume 416 page 46  
 Given under my hand and seal this 22nd day of March, 2024

SEAL [Signature] RECORDER

MICHELE M. MUSTELLO  
 RECORDER OF DEEDS  
 My Commission Expires First Monday In January 2028

PLAN BOOK 416 PAGE 46

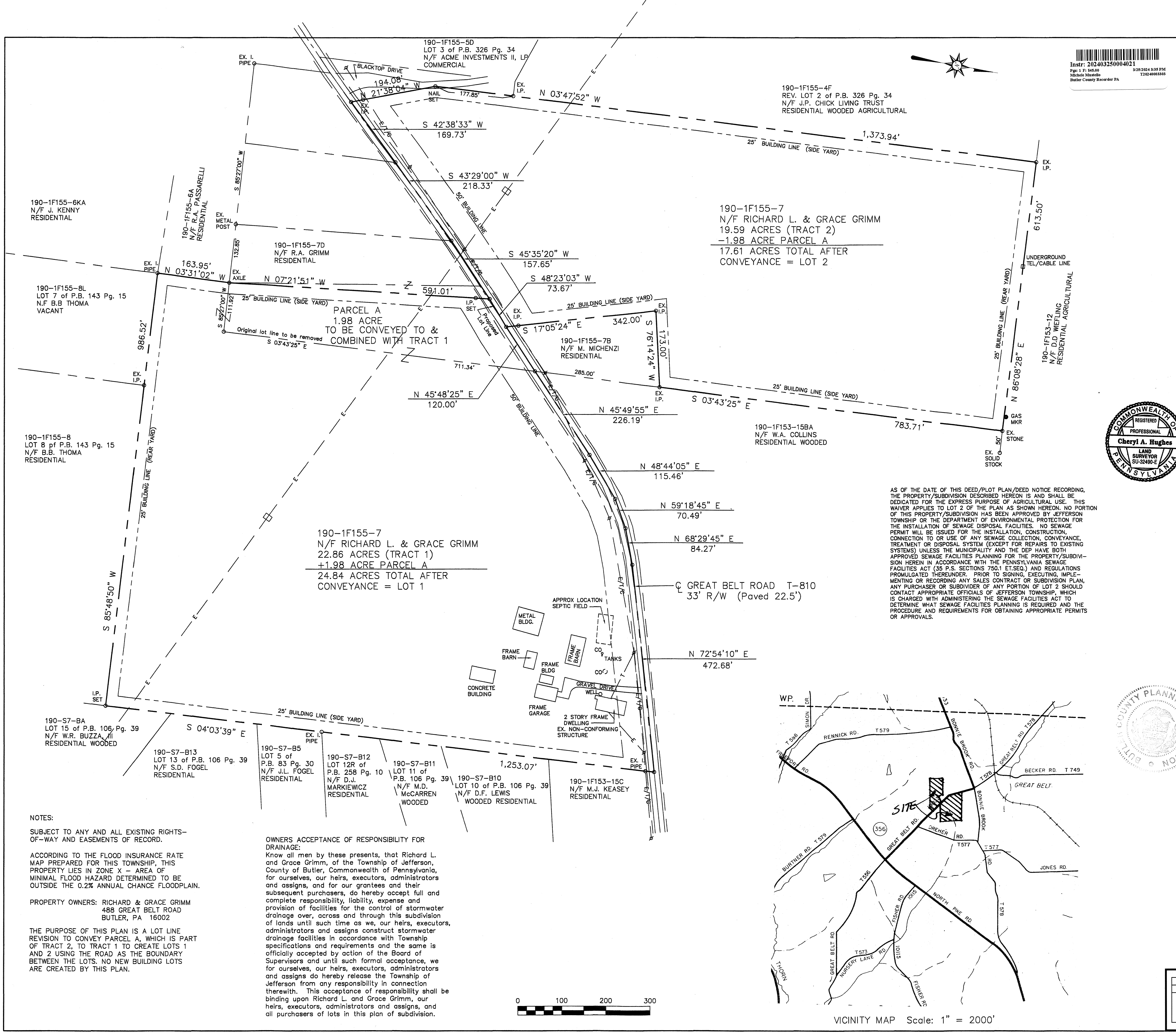
L S J	Land Surveyors, Inc. 523 North Main Street P.O. Box 1061 Butler, PA 16003-1061 (724) 287-6865 Cheryl A. Hughes, PLS Owner
PLAN OF SUBDIVISION FOR: MACADAEG, LLC.	
SITUATE: FRANKLIN TWP., BUTLER CO., PA	
Date 01/03/2024 Scale 1" = 50'	Dwn By BEC Ckd By CAH
Parcel No. 170-3F43-A8F	Instrument # 202012070028776
Address 130 NORTH ROAD	Service No. 23-131



NOTES:  
 SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.  
 ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREA OF MINIMAL FLOOD HAZARD DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.  
 ZONING: C-1; COMMERCIAL  
 BUILDING SETBACK REQUIREMENTS:  
 40' FRONT YARD  
 15' SIDE YARD  
 50' REAR YARD  
 MINIMUM LOT WIDTH: 100'  
 MINIMUM LOT AREA: 43,560 SQ. FT.  
 PROPERTY OWNER: KEN MACADAEG  
 MACADAEG, LLC  
 114 NORTH ROAD  
 BUTLER, PA 16001  
 REF: SUBDIVISION FOR DONALD H. WAITE BY GREENOUGH & GREENOUGH, INC., AS REVISED 10/21/71.  
 PROPOSED WATER WELL TO SERVE THIS LOT IS TO BE LOCATED OUTSIDE OF THE 100' ISOLATION DISTANCE FROM THE SEPTIC SYSTEM TO BE BUILT.  
 THE PURPOSE OF THIS PLAN IS TO CREATE ONE NEW BUILDING LOT.



VICINITY MAP Scale: 1" = 2000'



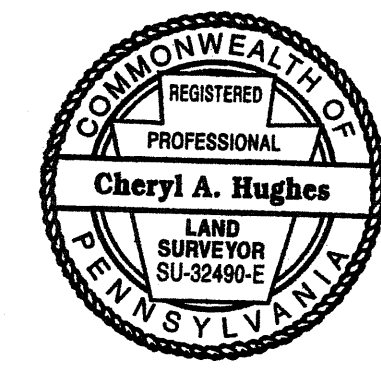
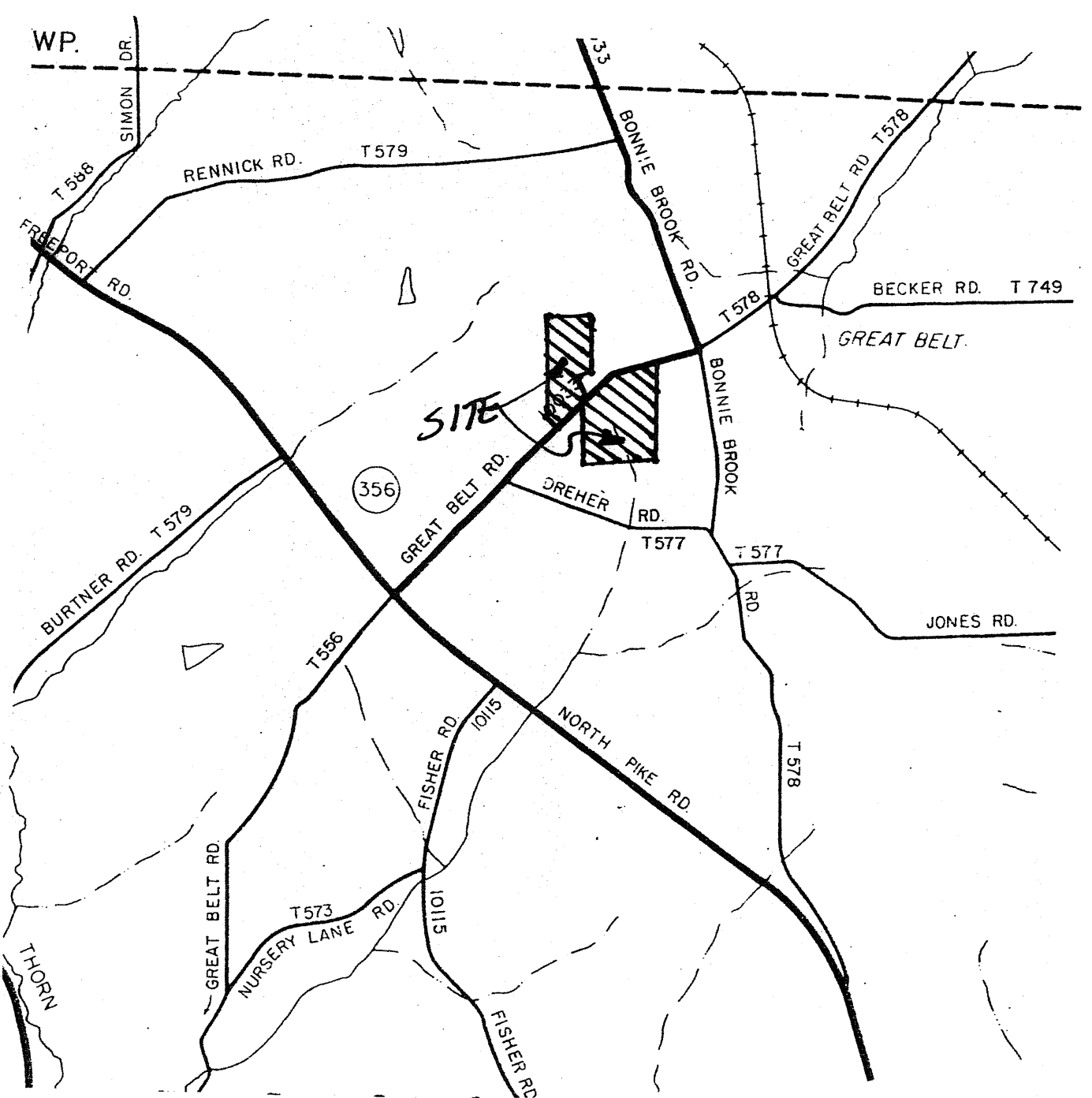
190-1F155-5D  
LOT 3 of P.B. 326 Pg. 34  
N/F ACME INVESTMENTS II, LP  
COMMERCIAL

190-1F155-4F  
REV. LOT 2 of P.B. 326 Pg. 34  
N/F J.P. CHICK LIVING TRUST  
RESIDENTIAL WOODED AGRICULTURAL

190-1F155-7  
N/F RICHARD L. & GRACE GRIMM  
19.59 ACRES (TRACT 2)  
-1.98 ACRE PARCEL A  
17.61 ACRES TOTAL AFTER  
CONVEYANCE = LOT 2

190-1F155-7  
N/F RICHARD L. & GRACE GRIMM  
22.86 ACRES (TRACT 1)  
+1.98 ACRE PARCEL A  
24.84 ACRES TOTAL AFTER  
CONVEYANCE = LOT 1

AS OF THE DATE OF THIS DEED/PLOT PLAN/DEED NOTICE RECORDING, THE PROPERTY/SUBDIVISION DESCRIBED HEREON IS AND SHALL BE DEDICATED FOR THE EXPRESS PURPOSE OF AGRICULTURAL USE. THIS WAIVER APPLIES TO LOT 2 OF THE PLAN AS SHOWN HEREON. NO PORTION OF THIS PROPERTY/SUBDIVISION HAS BEEN APPROVED BY JEFFERSON TOWNSHIP OR THE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR THE INSTALLATION OF SEWAGE DISPOSAL FACILITIES. NO SEWAGE PERMIT WILL BE ISSUED FOR THE INSTALLATION, CONSTRUCTION, CONNECTION TO OR USE OF ANY SEWAGE COLLECTION, CONVEYANCE, TREATMENT OR DISPOSAL SYSTEM (EXCEPT FOR REPAIRS TO EXISTING SYSTEMS) UNLESS THE MUNICIPALITY AND THE DEP HAVE BOTH APPROVED SEWAGE FACILITIES PLANNING FOR THE PROPERTY/SUBDIVISION HEREIN IN ACCORDANCE WITH THE PENNSYLVANIA SEWAGE FACILITIES ACT (35 P.S. SECTIONS 750.1 ET SEQ.) AND REGULATIONS PROMULGATED THEREUNDER. PRIOR TO SIGNING, EXECUTING, IMPLEMENTING OR RECORDING ANY SALES CONTRACT OR SUBDIVISION PLAN, ANY PURCHASER OR SUBDIVIDER OF ANY PORTION OF LOT 2 SHOULD CONTACT APPROPRIATE OFFICIALS OF JEFFERSON TOWNSHIP, WHICH IS CHARGED WITH ADMINISTERING THE SEWAGE FACILITIES ACT TO DETERMINE WHAT SEWAGE FACILITIES PLANNING IS REQUIRED AND THE PROCEDURE AND REQUIREMENTS FOR OBTAINING APPROPRIATE PERMITS OR APPROVALS.



KNOW ALL MEN BY THESE PRESENTS, that we, Richard L. and Grace Grimm, of the Township of Jefferson, of the County of Butler, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, do hereby adopt this plan as our Plan of Lots of our property, situate in Jefferson Township, Butler County, Pennsylvania, and for divers advantages accruing to us, do hereby dedicate forever for public use for highway purposes, all slope areas and all drives, roads, streets, lanes, ways and other public highways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings, and in consideration of the approval of said plan, and any future acceptance of said public highways by the said Commonwealth of Pennsylvania, County of Butler and Township of Jefferson, we hereby covenant and agree to and by these presents do release and forever discharge said Commonwealth of Pennsylvania, County of Butler and Township of Jefferson, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways and the physical grading thereof to any grades that may be established hereafter at any time. This dedication and release shall be binding upon Richard L. and Grace Grimm, our heirs, executors, administrators and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 15<sup>th</sup> day of March 2024  
 ATTEST:  
 Notary Public: Vance Wagner (Seal)  
 Owner: Richard L. & Grace Grimm (Seal)

COMMONWEALTH OF PENNSYLVANIA)SS:  
 COUNTY OF BUTLER )  
 Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Richard L. and Grace Grimm, and acknowledged the foregoing release and dedication and plan to be their act and deed and desired the same to be recorded as such.  
 Sworn to and subscribed before me this day.  
 WITNESS MY HAND AND NOTARIAL SEAL this 15 day of March 2024  
 My Commission expires the 22<sup>nd</sup> day of December, 2024  
 SEAL: Vance Wagner (Seal)  
 NOTARY PUBLIC: My Commission expires December 22, 2024  
 Commission number 1211810  
 Member, Pennsylvania Association of Notaries

I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan as shown hereon is based upon actual field survey of the land described and that all angles, distances and courses are correctly shown, that the monuments and markers have been set as shown on the plan, and that this plan represents the lots, lands, streets and highway as surveyed and plotted by me for the owners or agents.  
 DATE: February 6, 2024 SEAL: Cheryl A. Hughes (Seal)  
 REG. NO. 32490-E

The Board of Supervisors of the Township of Jefferson hereby gives public notice that in approving this plan for recording purposes only, the Township of Jefferson assumes no obligation, legal or otherwise, expressed or implied, either to accept said streets as Township streets or roads or grade, pave and curb the streets in said plan or to construct sewers therein or to install any other such service ordinarily installed in Township streets or roads.  
 Secretary: Lois J. Fennell (Seal)  
 Chairman: John G. ... (Seal)

Approved by the Supervisors of the Township of Jefferson this 11<sup>th</sup> day of MARCH 2024  
 Secretary: Lois J. Fennell (Seal)  
 Chairman: John G. ... (Seal)

Approved by the Jefferson Township Planning Commission this 19<sup>th</sup> day of February 2024  
 Secretary: Mathew Fleming (Seal)  
 Chairman: Paul R. ... (Seal)

Reviewed by the Butler County Planning Commission this 21<sup>st</sup> day of FEB 2024  
 Secretary: R. H. ... (Seal)  
 Chairman: J. H. ... (Seal)

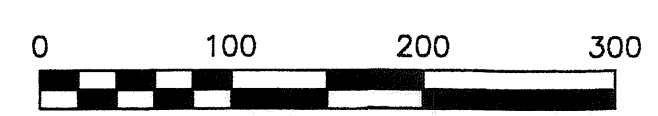
COMMONWEALTH OF PENNSYLVANIA)SS:  
 COUNTY OF BUTLER )  
 Recorded in the Recorder's Office for the recording of deeds, plans, etc. in said County in Plan Book Volume 416 Page 47  
 Given under my hand and seal this 25<sup>th</sup> day of March 2024  
 SEAL: Michele M. Mustello (Seal)  
 RECORDER: **MICHELE M. MUSTELLO**  
 RECORDER OF DEEDS  
 My Commission Expires First Monday In January 2028

PLAN BOOK 416 PAGE 47

L S F	Land Surveyors, Inc. 523 North Main Street P.O. Box 1061 Butler, PA 16003-1061 (724) 287-6865 Cheryl A. Hughes, PLS Owner
	LOT LINE REVISION FOR: RICHARD L. & GRACE GRIMM
SITUATE: JEFFERSON TWP., BUTLER CO., PA	
Date 01/10/2024 Scale 1" = 100'	Dwn By BEC Ckd By CAH
Parcel No. 190-1F155-7	Db-Pg 919-281 Service No. 23-153
Address 488 GREAT BELT ROAD	

NOTES:  
 SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.  
 ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREA OF MINIMAL FLOOD HAZARD DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.  
 PROPERTY OWNERS: RICHARD & GRACE GRIMM  
 488 GREAT BELT ROAD  
 BUTLER, PA 16002  
 THE PURPOSE OF THIS PLAN IS A LOT LINE REVISION TO CONVEY PARCEL A, WHICH IS PART OF TRACT 2, TO TRACT 1 TO CREATE LOTS 1 AND 2 USING THE ROAD AS THE BOUNDARY BETWEEN THE LOTS. NO NEW BUILDING LOTS ARE CREATED BY THIS PLAN.

OWNERS ACCEPTANCE OF RESPONSIBILITY FOR DRAINAGE:  
 Know all men by these presents, that Richard L. and Grace Grimm, of the Township of Jefferson, County of Butler, Commonwealth of Pennsylvania, for ourselves, our heirs, executors, administrators and assigns, and for our grantees and their subsequent purchasers, do hereby accept full and complete responsibility, liability, expense and provision of facilities for the control of stormwater drainage over, across and through this subdivision of lands until such time as we, our heirs, executors, administrators and assigns construct stormwater drainage facilities in accordance with Township specifications and requirements and the same is officially accepted by action of the Board of Supervisors and until such formal acceptance, we for ourselves, our heirs, executors, administrators and assigns do hereby release the Township of Jefferson from any responsibility in connection therewith. This acceptance of responsibility shall be binding upon Richard L. and Grace Grimm, our heirs, executors, administrators and assigns, and all purchasers of lots in this plan of subdivision.



060-3F41-23AA  
N/F L.J. SOOSE

060-S7-E  
N/F R.D. MCCONNELL

Instr: 202403250004023  
Pg. 2 of 2  
3/25/2024 3:36 PM  
Cheryl A. Hughes  
Butler County Recorder PA

060-3F41-25A  
N/F L.D. LARGE

060-3F41-45A (2140 WM. FLYNN HWY)  
LOT 3 of P.B. 99 Pg. 12  
N/F ALEXANDER H. & RHONDA J. RISKOSKY  
15.53 ACRES  
+4.04 ACRES (TAX PARCEL 060-3F41-45)  
19.57 ACRES TOTAL AFTER CONVEYANCE =  
REVISED LOT 3

060-S5-C1A  
REVISED LOT 2 of P.B. 359 Pg. 3  
N/F K.L. WIGTON

060-S5-C1  
REVISED LOT 1 of P.B. 359 Pg. 3  
N/F W.C. ERRERA

060-S5-B12  
LOT 2 of P.B. 326 Pg. 36  
N/F KIGHT CO.

060-3F41-45 (125 NORTHRIDGE LANE)  
N/F ALEXANDER H. & RHONDA J. RISKOSKY  
4.04 ACRES  
TO BE CONVEYED TO &  
COMBINED WITH ADJOINING LAND  
OF RISKOSKY

060-3F41-44A  
N/F D. FLEMING &  
F. TAYLOR

060-3F41-44  
N/F T. SUTTON

\*NOTE: BUILDINGS ON ADJOINING PROPERTIES SHOWN  
IN APPROXIMATE LOCATION ONLY FROM  
BUTLER COUNTY TAX MAP INFORMATION.

PLAN BOOK	PAGE
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REVISED 02/23/2024; TOWNSHIP ENGINEERS REVIEW

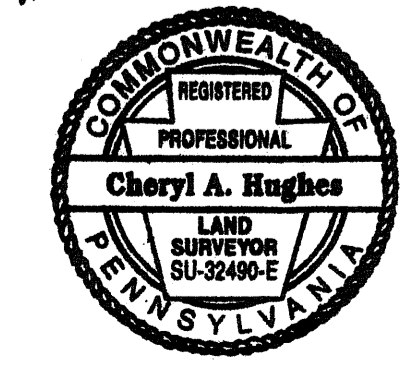
Sheet 1 of 2

*L*  
*S*  
*J*

**Land Surveyors, Inc.**  
523 North Main Street  
P.O. Box 1061  
Butler, PA 16003-1061  
(724) 287-6865  
Cheryl A. Hughes, PLS Owner

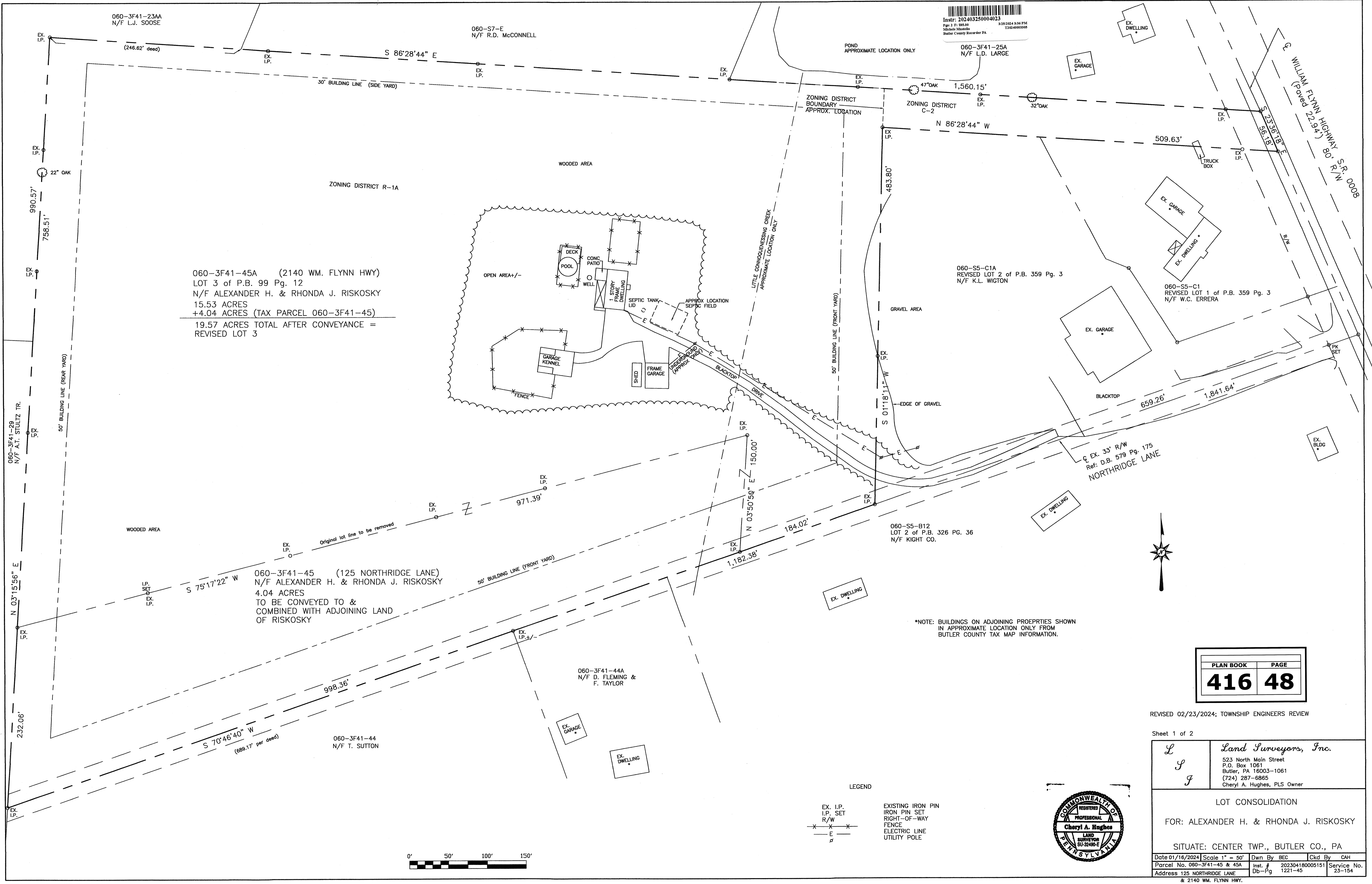
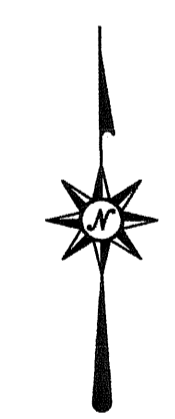
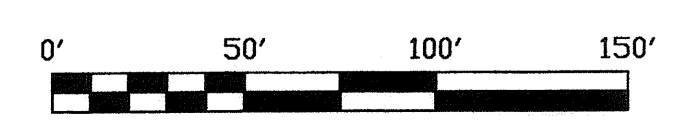
LOT CONSOLIDATION  
FOR: ALEXANDER H. & RHONDA J. RISKOSKY  
SITUATE: CENTER TWP., BUTLER CO., PA

Date 01/16/2024	Scale 1" = 50'	Dwn By BEC	Ckd By CAH
Parcel No. 060-3F41-45 & 45A	Inst. # 202304180005151	Db-Pg 1221-45	Service No. 23-154
Address 125 NORTHRIDGE LANE & 2140 WM. FLYNN HWY.			



LEGEND

EX. I.P.      EXISTING IRON PIN  
I.P. SET      IRON PIN SET  
R/W          RIGHT-OF-WAY  
- - - - -      FENCE  
E              ELECTRIC LINE  
/              UTILITY POLE





NOTES:

SUBJECT TO ANY AND ALL EXISTING RIGHTS-OF-WAY AND EASEMENTS OF RECORD.

REF: SUBDIVISION OF PROPERTY FOR DAVID SARVER BY LUCAS ENGINEERING, R.F. 99 PG. 12.

REF: LOT LINE REVISION FOR WILLIAM ERRERA BY LAND SURVEYORS, INC., #16-134, P.B. 359 PG. 3

REF: PROPERTY SURVEY FOR ALEXANDER H. & RHONDA J. RISKOSKY AND WILLIAM C. ERRERA BY LAND SURVEYORS, INC., #15-136.

ACCORDING TO THE FLOOD INSURANCE RATE MAP PREPARED FOR THIS TOWNSHIP, THIS PROPERTY LIES IN ZONE X - AREA OF MINIMAL FLOOD HAZARD DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

ZONED R-1A: LOW DENSITY RESIDENTIAL DISTRICT

YARD SETBACK REQUIREMENTS:

- 50' FRONT
- 30' SIDE
- 50' REAR

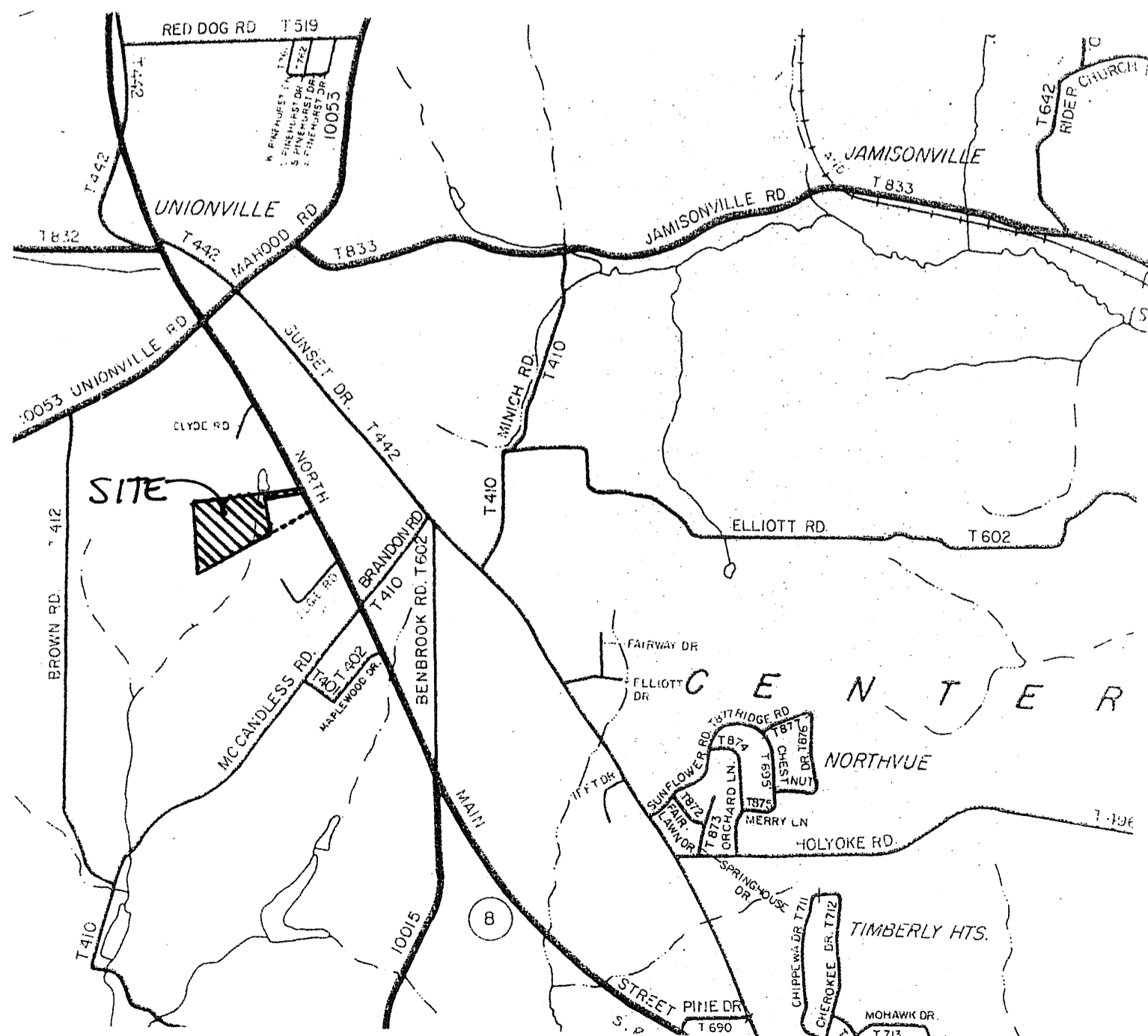
ZONED C-2: HIGHWAY COMMERCIAL DISTRICT

YARD SETBACK REQUIREMENTS:

- 50' FRONT
- 30' SIDE
- 20' REAR

PROPERTY OWNERS: ALEXANDER & RHONDA RISKOSKY  
2140 WILLIAM FLYNN HIGHWAY  
BUTLER, PA 16001



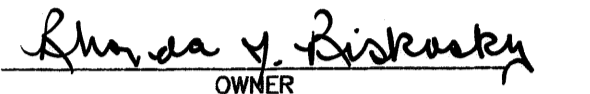
THE PURPOSE OF THIS PLAN IS TO COMBINE TWO ADJOINING TAX PARCELS INTO ONE LOT. NO NEW BUILDING LOTS ARE CREATED BY THIS PLAN.



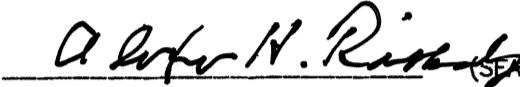
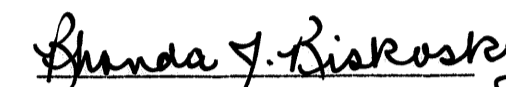
VICINITY MAP Scale: 1" = 2000'

KNOW ALL MEN BY THESE PRESENTS, that we, Alexander H. and Rhonda J. Riskosky, of the Township of Center, County of Butler, Commonwealth of Pennsylvania, for ourselves, heirs, executors, administrators and assigns, do hereby adopt this plan as our Plan of Subdivision of our property, situate in the Township of Center, Butler County, Pennsylvania, and for diverse advantages accruing to us, do hereby dedicate forever, for public use for highway, drainage, sewage and utility purposes, all drives, roads, lands, rights-of-way, easements, ways and other public ways shown upon the plan, with the same force and effect as if the same had been opened through legal proceedings and in consideration of the approval of said plan and any future acceptance of said public highways, rights-of-way and easements by said County of Butler or said Township of Center, we, Alexander H. and Rhonda J. Riskosky, hereby agree to and by these presents do release and forever discharge said County of Butler, or said Township of Center, their successors or assigns from any liability for damages arising and to arise from any appropriation of said ground for public highways, and other public uses and physical grading thereof to any grades that maybe established. This dedication and release shall be binding upon Alexander H. and Rhonda J. Riskosky, and assigns and purchasers of lots in this plan.

IN WITNESS WHEREOF, we, hereunto set our hands and seals this 15 day of MARCH, A.D. 2024

ATTEST:  
 NOTARY PUBLIC  
 OWNER  
 OWNER

The forgoing adoption and dedication is made by Alexander H. and Rhonda J. Riskosky, with the full understanding and agreement that the approval of the Board of Supervisors of the Township of Center, if hereto attached, will become null and void unless this plan is recorded in the Recorder of Deeds Office of Butler County Courthouse, Butler, Pennsylvania within ninety (90) days of said approval.

 OWNER  
 OWNER  
N/A  
 OWNER

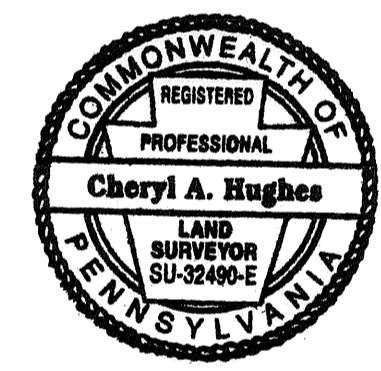
COMMONWEALTH OF PENNSYLVANIA)SS:  
COUNTY OF BUTLER )

Before me, the subscriber, a Notary Public in and for said Commonwealth and County, personally appeared the above named Alexander H. and Rhonda J. Riskosky who acknowledged the foregoing release and dedication and plan of subdivision to be their act and deed and desired the same to be recorded as such.


Sworn to and subscribed before me this 15 day of MARCH 2024

My Commission expires the 01 day of MARCH, 2026

SEAL  NOTARY PUBLIC  
 Commonweath of Pennsylvania - Notary Seal  
 Darrin J. Niehter, Notary Public  
 Butler County  
 My commission expires March 6, 2028  
 Commission number 1126575  
 Member, Pennsylvania Association of Notaries



I, Cheryl A. Hughes, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the lots, lands, streets, alleys, rights-of-way and highways as surveyed and plotted by me for the Owners, developers or agents.

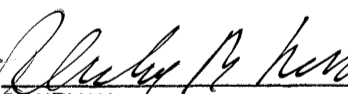
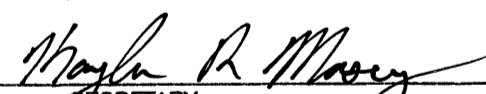
February 13, 2024 DATE  CHL  
 REGISTRATION NUMBER: SU-32490-E

This plot of subdivision has been approved by the Planning Commission of the Township of Center, Butler County, Pennsylvania on this 28<sup>th</sup> day of February, 2024

 CHAIRMAN  
 SEAL  SECRETARY

The Board of Supervisors of the Township of Center, Butler County, Pennsylvania, hereby gives public notice that it is approving this plan of subdivision for recording purposes only. The approval of this subdivision plot by the Township of Center does not constitute an acceptance of the roads, streets, alleys, storm water and sanitary sewage drainage facilities, easements or rights-of-way, water mains or any other services or improvements shown on this plan nor an assumption of maintenance responsibility, nor will the same be accepted or maintained until constructed in accordance with all Township Specification and requirements and officially accepted by action of the Board of Supervisors.

This plot of subdivision approved by resolution of the Board of Supervisors of the Township of Center, Butler County, Pennsylvania on this 15<sup>th</sup> day of March, 2024

 CHAIRMAN  
 SEAL  SECRETARY

Reviewed with comments by the Butler County Planning Commission. Letter to Center Township Board of Supervisors dated this 21<sup>st</sup> day of FEB, 2024

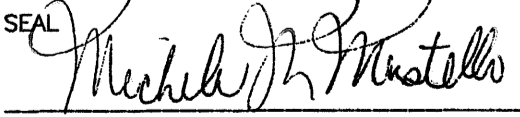
 CHAIRMAN  
 SEAL  SECRETARY

COMMONWEALTH OF PENNSYLVANIA)SS:  
COUNTY OF BUTLER )

Recorded in the office for the recording of deeds, plats, etc. in said

County, in Plan Book Volume 416 page 48-49

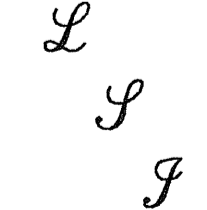
Given under my hand and seal this 25<sup>th</sup> day of MARCH, 2024

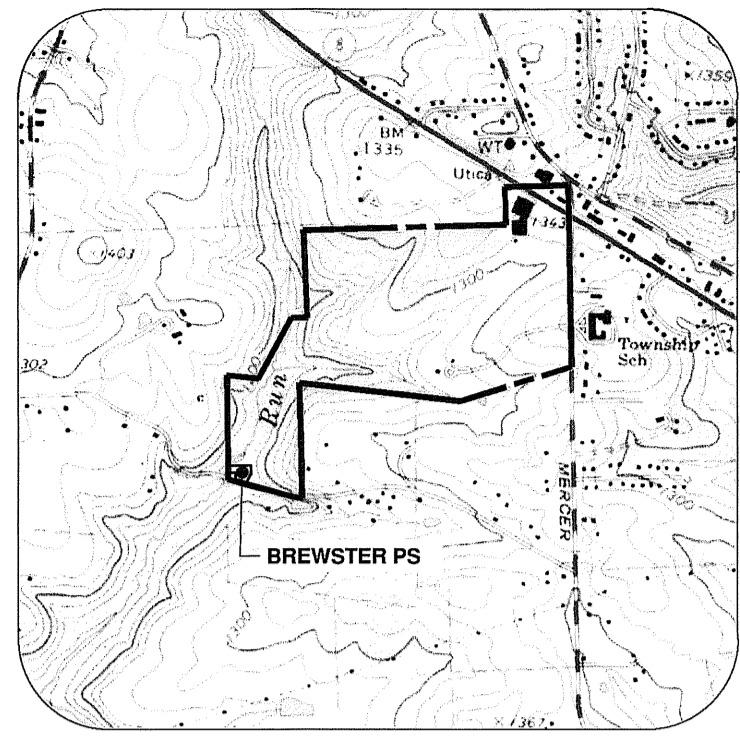
SEAL  MICHELE M. MUSTELLO  
 RECORDER OF DEEDS  
 My Commission Expires First Monday in January 2028

PLAN BOOK	PAGE
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REVISED 02/23/2024; TOWNSHIP ENGINEERS REVIEW

Sheet 2 of 2

	<b>Land Surveyors, Inc.</b> 523 North Main Street P.O. Box 1061 Butler, PA 16003-1061 (724) 287-6865 Cheryl A. Hughes, PLS Owner
	LOT CONSOLIDATION FOR: ALEXANDER H. & RHONDA J. RISKOSKY SITUATE: CENTER TWP., BUTLER CO., PA Date 01/16/2024 Scale 1" = 50' Parcel No. 060-3F41-45 & 45A Address 125 NORTHBRIDGE LANE & 2140 WM. FLYNN HWY.
Dwn By BEC Db-Pg 1221-45	Ckd By CAH 202304180005151 23-154



LOCATION MAP

PARENT TRACT SCALE: 1"=2000' MOUNT CHESTNUT, PA 7.5' MINUTE USGS QUADRANGLE

AREA TABLE

Table with 2 columns: Description and Area. Rows include current area, less area to be conveyed, remaining land, and proposed lot details.

PLAN INTENT

THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE A PORTION OF TAX PARCEL 060-2F104-40-0000 OWNED BY 949 MERCER RD. HOLDINGS, LLC...

OWNER

BUTLER AREA SEWER AUTHORITY 100 LITMAN ROAD BUTLER, PA 16001

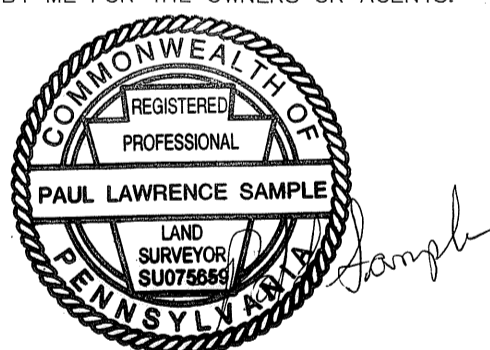
ZONING DISTRICT R-1

R-1 SINGLE FAMILY RESIDENTIAL W/ CORE INFILL OVERLAY DISTRICT MINIMUM LOT FRONTAGE: 100'

PROFESSIONAL LAND SURVEYOR CERTIFICATE

I, PAUL L. SAMPLE, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN SHOWN HEREON IS BASED UPON ACTUAL FIELD SURVEY OF THE LAND DESCRIBED AND THAT ALL ANGLES, DISTANCES, AND COURSES ARE CORRECTLY SHOWN...

Paul L. Sample (SURVEYOR'S NAME) SU075659 (SURVEYOR'S REGISTRATION NO.) 2-12-2024 (DATE)

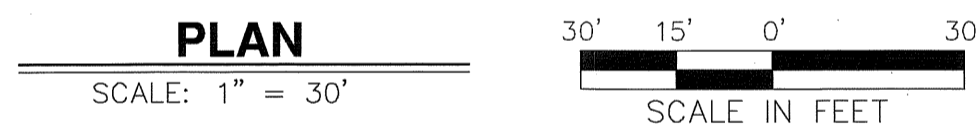
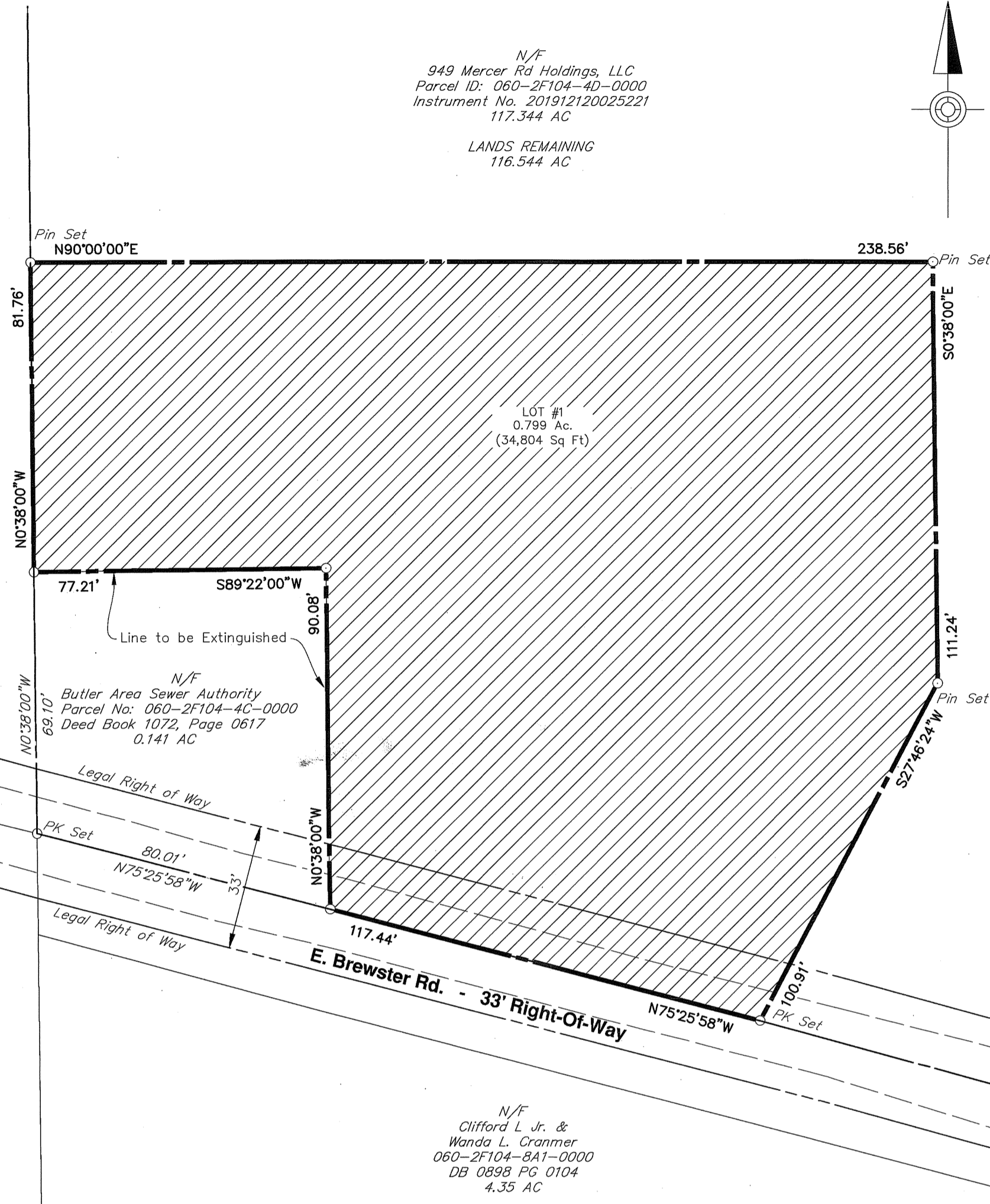


EXISTING LEGEND

Legend table with symbols for Iron Pin To Be Set, Iron Pin, Property Line, Legal Right-of-Way Line, Setback Line, Existing Easement, Floodplain, Existing Stream Line, Road Centerline, Existing Edge of Road, Existing Edge of Gravel, Existing Guide Rail, Existing Fence, and Denotes area to be consolidated with the existing parcel.

SURVEY NOTES

- 1. THIS SUBDIVISION PLAN IS BASED ON FIELD SURVEY PERFORMED BY HERBERT, ROWLAND & GRUBIC, INC. ON JULY 13-14, 2021. INFORMATION COMPILED BY RTK-GPS SURVEY.
2. ALL INFORMATION SHOWN HEREON IS BASED UPON THE PENNSYLVANIA STATE PLANE SOUTH ZONE, 3702, NORTH AMERICAN DATUM OF 1983 (NAD83) AND THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).



TITLE CLAUSE (NO MORTGAGE)

I, JOHN L. WISE III, MANAGER OF THE LANDS SHOWN HEREON, DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF 949 MERCER RD HOLDINGS, LLC AS RECORDED IN INSTRUMENT NO. 201912120025221. RECORDER OF DEEDS OFFICE. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR ENCUMBRANCE AGAINST THIS PROPERTY.

TITLE CLAUSE (NO MORTGAGE)

I, PAUL F. SYBERT, OWNER OF THE LANDS SHOWN HEREON, DO HEREBY CERTIFY THAT THE TITLE OF THIS PROPERTY IS IN THE NAME OF THE BUTLER AREA SEWER AUTHORITY AS RECORDED IN DEED BOOK VOLUME 416 PAGE 617, RECORDER OF DEEDS OFFICE. I FURTHER CERTIFY THAT THERE IS NO MORTGAGE, LIEN OR ENCUMBRANCE AGAINST THIS PROPERTY.

LOCAL AUTHORITY STIPULATION

THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF CENTER HEREBY GIVES PUBLIC NOTICE THAT IN APPROVING THIS PLAN FOR RECORDING PURPOSES ONLY, THE TOWNSHIP ASSUMES NO OBLIGATIONS, LEGAL OR OTHERWISE, EXPRESSED OR IMPLIED EITHER TO ACCEPT SAID STREETS AS TOWNSHIP STREETS OR ROADS OR GRADE, PAVE AND CURB THE STREETS IN SAID PLAN...

PROOF OF RECORDING

COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF BUTLER }
RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, PLATS AND PLANS IN SAID BUTLER COUNTY, IN PLAN BOOK 416 PAGE 50-51 GIVEN UNDER MY HAND AND SEAL THIS 26th DAY OF March, 2024.
MICHELE M. MUSTELLO RECORDER OF DEEDS

CORPORATION ADOPTION

KNOW ALL MEN BY THESE PRESENTS, THAT BUTLER AREA SEWER AUTHORITY, A CORPORATION DULY REGISTERED UNDER THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, TOWNSHIP OF CENTER, COUNTY OF BUTLER, FOR OURSELVES, HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DOES HEREBY ADOPT THIS PLAN FOR ITS PROPERTY SITUATE IN CENTER TOWNSHIP AND DOES HEREBY DEDICATE FOREVER FOR PUBLIC USE FOR HIGHWAY AND UTILITY PURPOSES...

WE FURTHER AGREE THAT SAID PLAN IS APPROVED BY THE TOWNSHIP OF CENTER FOR "PLANNING PURPOSES ONLY" AND THAT SAID TOWNSHIP SHALL NOT ISSUE ANY "BUILDING PERMITS" FOR LOTS CONTAINED HEREIN...

ATTEST: Virginia Funderburk (NOTARY PUBLIC), R.F. Smit (OWNER)

CORPORATION ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA) SS: COUNTY OF BUTLER

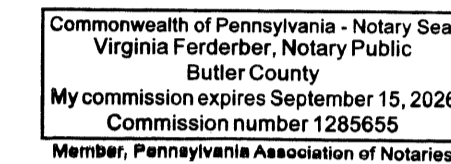
BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED PAUL F. SYBERT OF THE BUTLER AREA SEWER AUTHORITY, WHO DULY SWORN, DEPOSETH AND SAITH THAT HE WAS PERSONALLY PRESENT AT THE EXECUTION OF THE ADOPTION, RELEASE AND DEDICATION AND SAW THE COMMON AND CORPORATE SEAL DULY AFFIXED...

R.F. Smit (TITLE OF OFFICER) CHAIRMAN

SWORN TO AND SUBSCRIBED BEFORE ME THIS DAY. WITNESS MY HAND AND NOTARIAL SEAL THIS 13th DAY OF February, 2024.

MY COMMISSION EXPIRES THE 15th DAY OF September, 2026.

Virginia Funderburk (NOTARY PUBLIC)



CORPORATION ADOPTION

KNOW ALL MEN BY THESE PRESENTS, THAT JOHN L. WISE III, MANAGER OF 949 MERCER RD HOLDINGS, LLC, OF THE COMMONWEALTH OF PENNSYLVANIA, TOWNSHIP OF CENTER, COUNTY OF BUTLER, FOR OURSELVES, HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, DOES HEREBY ADOPT THIS PLAN FOR ITS PROPERTY SITUATE IN CENTER TOWNSHIP AND DOES HEREBY DEDICATE FOREVER FOR PUBLIC USE FOR HIGHWAY AND UTILITY PURPOSES...

WE FURTHER AGREE THAT SAID PLAN IS APPROVED BY THE TOWNSHIP OF CENTER FOR "PLANNING PURPOSES ONLY" AND THAT SAID TOWNSHIP SHALL NOT ISSUE ANY "BUILDING PERMITS" FOR LOTS CONTAINED HEREIN...

ATTEST: John L. Wise III (MANAGER), John L. Wise III (OWNER)

CORPORATION ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA) SS: COUNTY OF BUTLER

BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC IN AND FOR SAID COMMONWEALTH AND COUNTY, PERSONALLY APPEARED THE ABOVE NAMED JOHN L. WISE III, MANAGER OF 949 MERCER RD HOLDINGS, LLC AND ACKNOWLEDGE THE FOREGOING RELEASE AND DEDICATION AND PLAN TO BE HIS ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH.

SWORN TO AND SUBSCRIBED BEFORE ME THIS 8th DAY OF March, 2024.

MY COMMISSION EXPIRES THE 26th DAY OF June, 2027.

Kathrin Minko Munday (NOTARY PUBLIC)

See Attached Form for Notary Certificate

SEAL

MUNICIPAL COUNTY PLANNING COMMISSIONER REVIEW

REVIEWED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 20 DAY OF December, 2023. (Signatures of Secretary and Chairman)

BUTLER CO PLANNING COMMISSION APPROVAL

APPROVED BY THE BUTLER COUNTY PLANNING COMMISSION THIS 18th DAY OF Aug, 2023. (Signatures of Secretary and Chairman)

SEE COMMENTS ON FILE AT THE BUTLER COUNTY PLANNING COMMISSION PLAN NUMBER: 23156 (SEAL)

MUNICIPAL APPROVAL

REVIEWER AND APPROVED (OR REVIEWED WITH COMMENTS) BY THE BOARD OF SUPERVISORS THIS 22nd DAY OF March, 2024. (Signatures of Secretary and Chairman)

Wayne R. Moory (CHAIRMAN), Chad M. Wolf (SECRETARY)

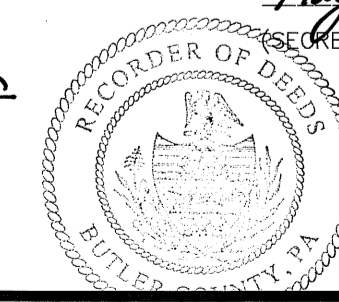


Table with 2 columns: PLAN BOOK and PAGE. Values: 416 and 50.

Revision table with columns: NO., REVISION, DATE, BY.

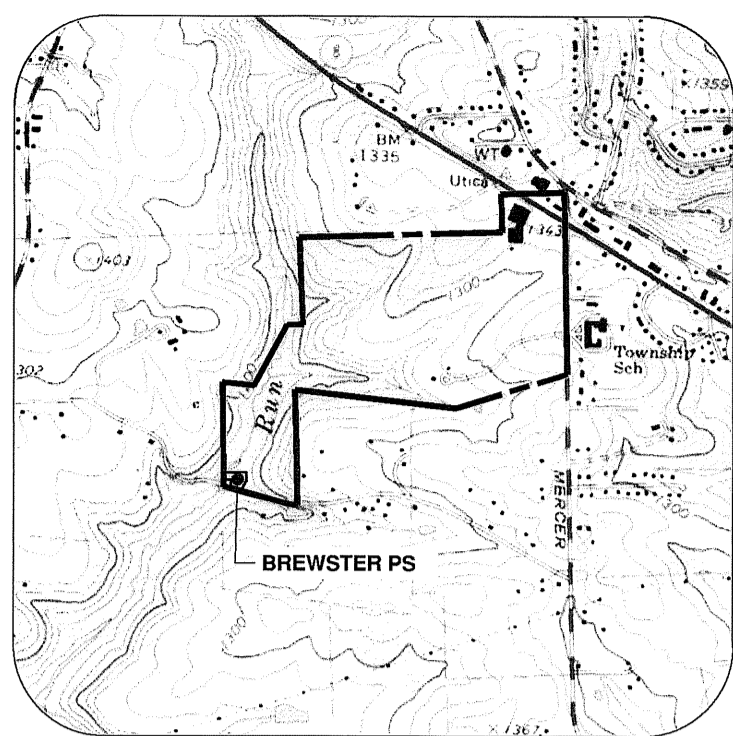
HRG logo and contact information: Herbert, Rowland & Grubic, Inc. Engineering & Related Services.

BUTLER AREA SEWER AUTHORITY 100 LITMAN ROAD BUTLER PENNSYLVANIA 16001

MINOR SUBDIVISION / LOT CONSOLIDATION FINAL PLAN FOR BREWSTER PUMP STATION BUTLER AREA SEWER AUTHORITY

PROJECT INFORMATION: PROJ. MGR. - JDK, DESIGN - CADD - DMH, CHECKED - PLS, SCALE - AS SHOWN, DATE - JANUARY 2024.

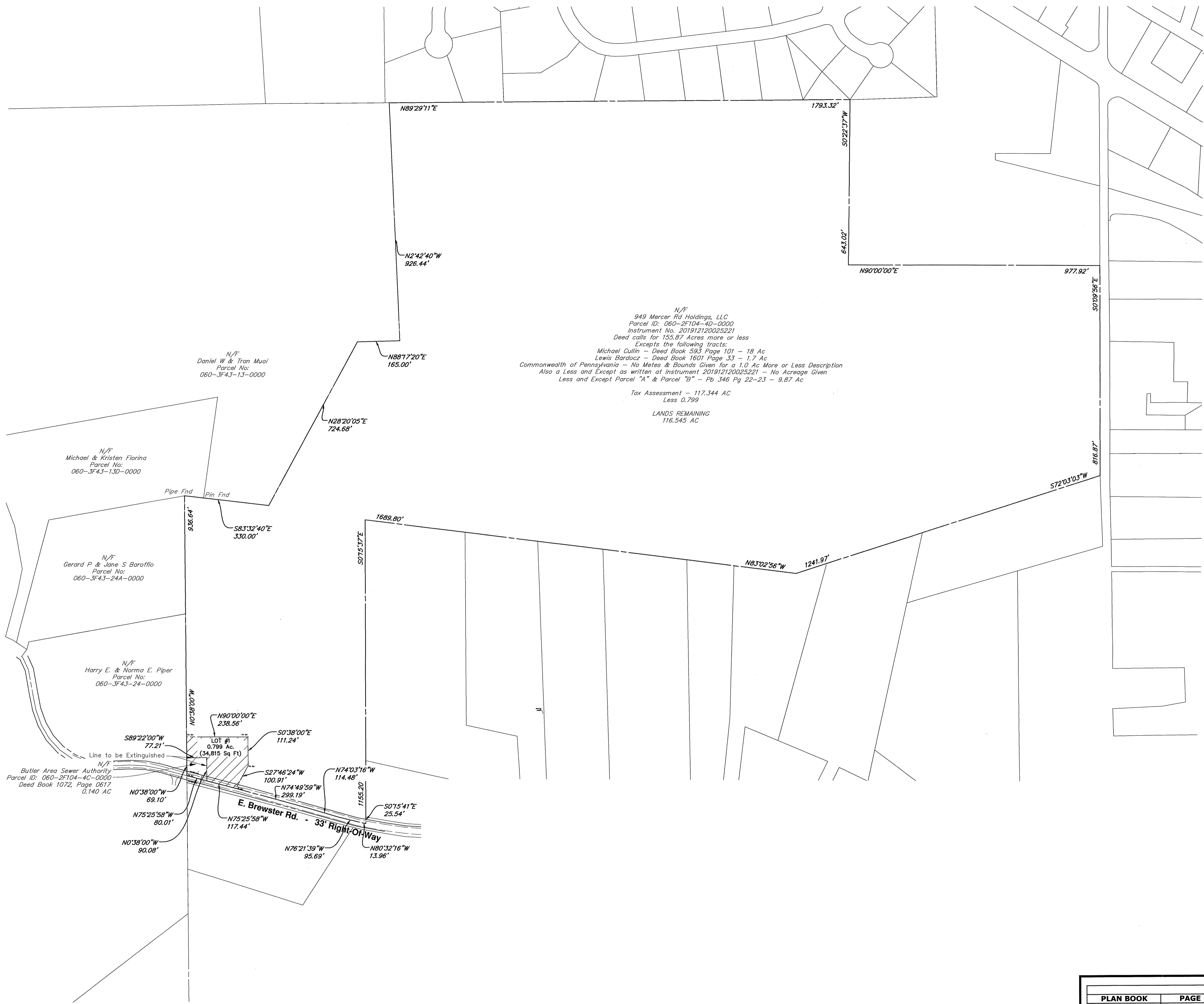
DRAWING NO. SD-1 SHEET NO. 1 OF 2 PROJECT R004192.0430



**LOCATION MAP**

PARENT TRACT  
SCALE: 1"=2000'  
MOUNT CHESTNUT, PA 7.5' MINUTE  
USGS QUADRANGLE

GRID NORTH

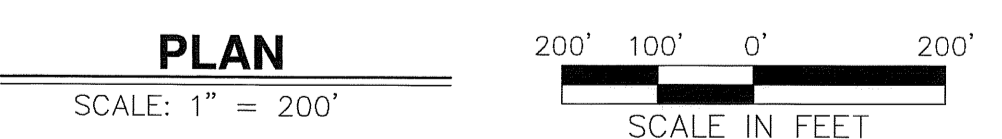


**EXISTING LEGEND**

- Iron Pin / Mag PK To Be Set
- Iron Pin
- Property Line
- Legal Right-of-Way Line
- Setback Line
- Existing Easement
- Floodplain
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- Existing Fence
- ▨ Denotes area to be consolidated with the existing parcel

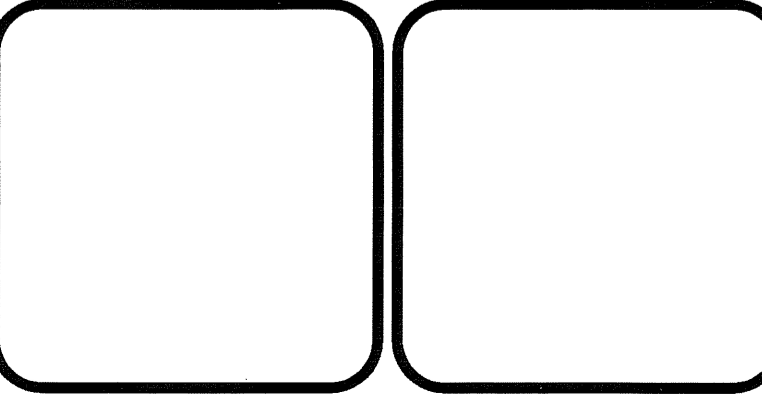
**SURVEY NOTES :**

1. THIS SUBDIVISION PLAN IS BASED ON FIELD SURVEY PERFORMED BY HERBERT, ROWLAND & GRUBIC, INC. ON JULY 13-14, 2021. INFORMATION COMPILED BY RTK-GPS SURVEY.
2. ALL INFORMATION SHOWN HEREON IS BASED UPON THE PENNSYLVANIA STATE PLANE SOUTH ZONE, 3702, NORTH AMERICAN DATUM OF 1983 (NAD83) AND THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
3. THE LOCATIONS OF UTILITIES AS SHOWN HEREON ARE BASED ON ABOVEGROUND FEATURES, FIELD OBSERVATIONS/SURVEY, AND RECORD DRAWINGS PROVIDED BY UTILITY COMPANIES. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITY LINES PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
4. THE SUBJECT PROPERTY IS LOCATED IN ZONE X; AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FLOOD INSURANCE MAP NUMBER 42019C0290D, DATED AUGUST 02, 2018.
5. THE PARENT TRACT WAS NOT SURVEYED IN ITS ENTIRETY AND A RESIDUAL TRACT DESCRIPTION IS NOT POSSIBLE DUE TO THE MANY EXCEPTIONS TAKEN FROM THE PARENT TRACT. BEARING AND DISTANCE LABELS OF THE RESIDUAL TRACT DEPICTED HEREON BASED UPON BUTLER COUNTY, PA GIS DATA.



PLAN BOOK	PAGE
<b>416</b>	<b>51</b>

NO.	REVISION	DATE	BY
2	Address September residual tract comments	10-5-2023	PLS
1	Address July 27, 2023 comments	7-31-2023	PLS



**HRG**  
Herbert, Rowland & Grubic, Inc.  
Engineering & Related Services  
AN EMPLOYEE-OWNED COMPANY

220 West Kensing Drive, Suite 100  
Cranberry Township, PA 16066  
(724) 779-4777  
Fax (724) 779-4711  
hr@hrg-inc.com  
www.hrg-inc.com

**BUTLER AREA SEWER AUTHORITY**  
100 LITMAN ROAD  
BUTLER PENNSYLVANIA 16001

**MINOR SUBDIVISION / LOT CONSOLIDATION FINAL PLAN**  
FOR  
**BREWSTER PUMP STATION**  
**BUTLER AREA SEWER AUTHORITY**  
CENTER TOWNSHIP BUTLER COUNTY PENNSYLVANIA

PROJ. MGR. - JDK  
DESIGN -  
CADD - DMH  
CHECKED - PLS  
SCALE - AS SHOWN  
DATE - AUGUST 2023

DRAWING NO.  
**SD-1**  
SHEET NO.  
**2 OF 2**  
PROJECT R004192.0430